



Administrative Approval Action

Case File / Name: ASR-0063-2019
Evans Place on Burt Subdivision

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located on the south side of Burt Drive and east side of Collegeview Avenue. The site is addressed at 3609 Burt Drive and is located inside City limits.

REQUEST: Redevelopment of a 0.63-acre tract zoned R-10 and located in the Special Residential Parking Overlay District (SRPOD). The plans propose three attached houses, each on their own lot, with a total gross floor area of 7,695 SF (each attached house to be 2,565 SF). This project is affiliated with Preliminary Subdivision SUB-S-29-2019 which was approved on 9/25/19, but not yet recorded at the time of this plan approval.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0282-2019: DSLC - Site Permitting Review/Major [Signature Set]
SUB-S-29-2019: DSLC - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 31, 2019 by Capital Civil Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The Site Permitting Review plans for Preliminary Subdivision SUB-S-29-2019 will be signed/approved by City staff prior to submittal of Site Permitting Review plans for this Administrative Site Review (ASR-0063-2019).
2. In the Site Permitting Review plans, the average curb level for each proposed Attached House will be clearly stated/labelled on the Grading Plan and the Elevations. All dimensions provided in the elevations for ground floor elevation will clearly demonstrate compliance with UDO 2.2.2.E and 1.5.7.B.
3. In the Site Permitting Review plans, the Grading Plan will identify/label all spot grades used for the average grade determination (i.e. for pre-development and post-development), per UDO 1.5.7.A.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

1. The approved preliminary subdivision plan for this site, case SUB-S-29-19, shall be recorded and all conditions of subdivision approval shall be met prior to issuance of building permits on this site.

Engineering

2. A cross access agreement among the 3 lots shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Stormwater

4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance. Amount of fee in lieu right of way improvements must be subtracted from impervious limit for each lot.

Urban Forestry

5. Tree impact permits must be obtained for the approved streetscape tree installation in the rights-of-way. This development proposes 5 street trees along Burt Drive and 3 street trees along Collegeview Avenue.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: December 3, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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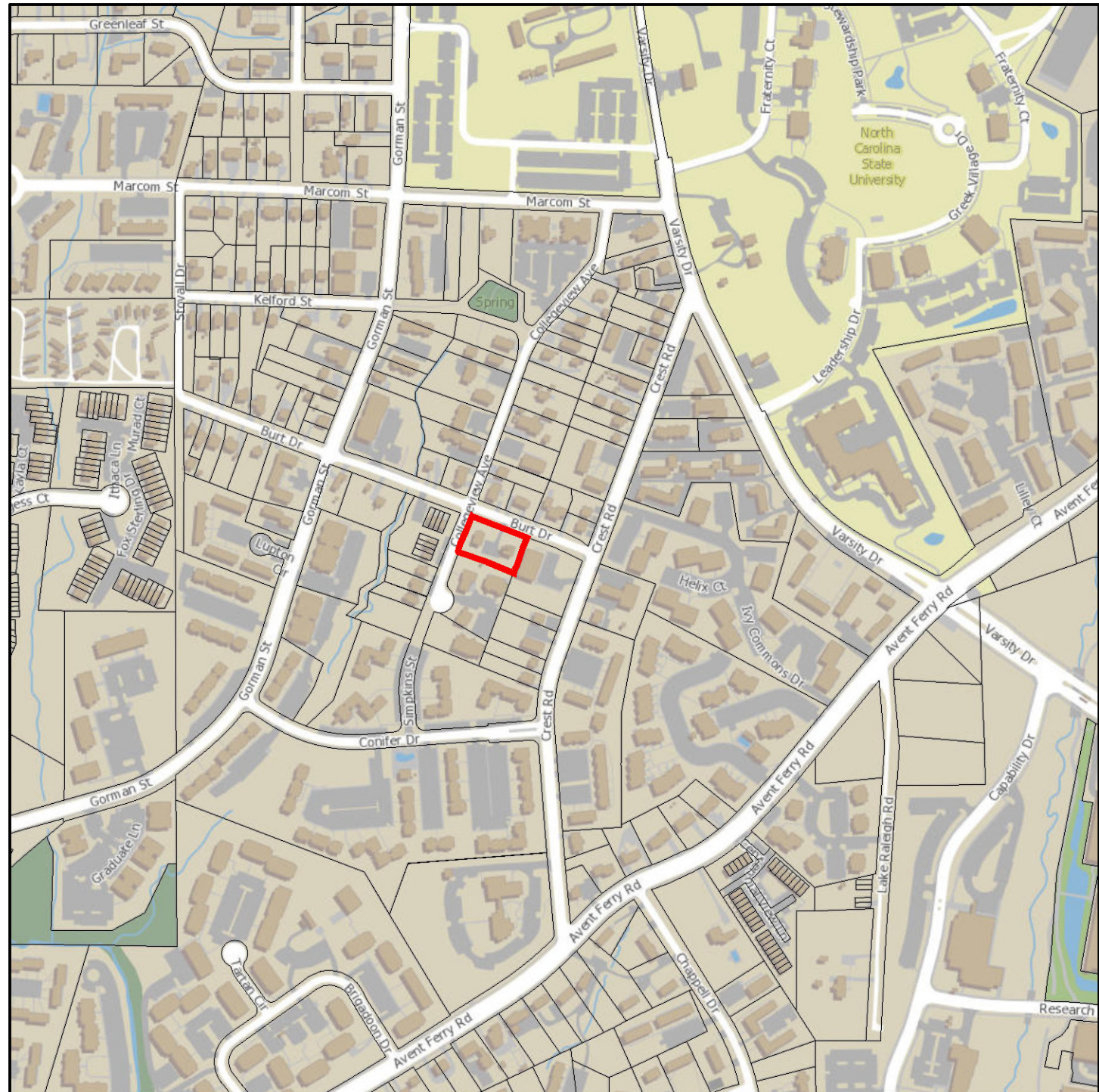
I hereby certify this administrative decision.

Signed: _____

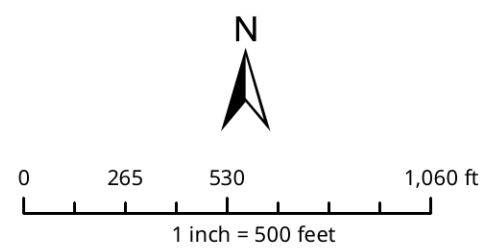
Development Services Dir/Designee

Staff Coordinator: Ryan Boivin

Date: 12/04/2019



3609 BURT DRIVE

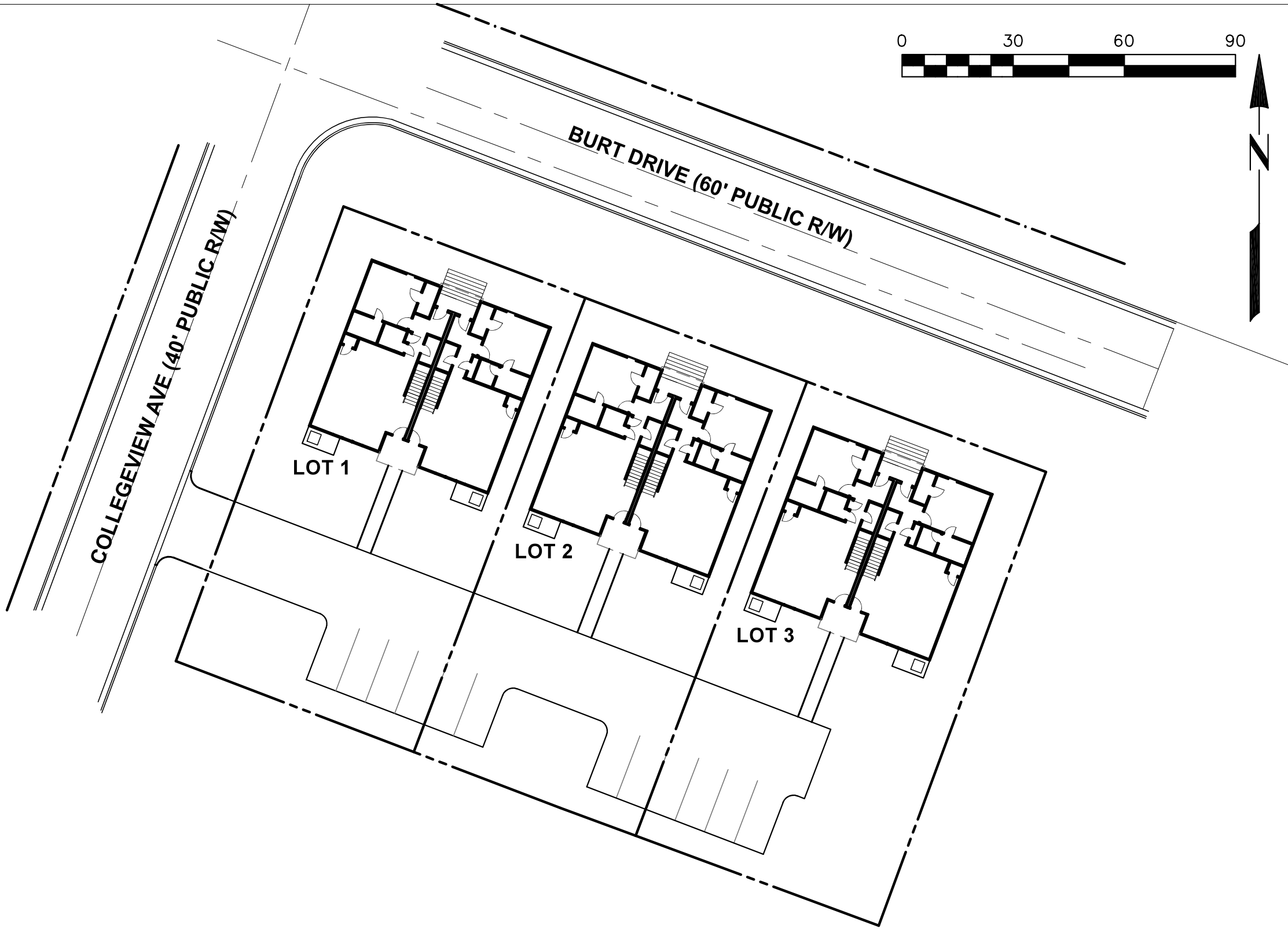


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EVANS PLACE ON BURT

3609 BURT DRIVE - R-10 ZONED RESIDENTIAL ATTACHED HOMES

ADMINISTRATIVE SITE PLAN - ASR-0063-2019



OVERVIEW
SCALE: 1" = 30'

SOLID WASTE SERVICES STATEMENT

– DEVELOPER/OWNER HAS REVIEWED THE CITY OF RALEIGH SOLID WASTE DESIGN MANUAL AND PLANS TO COMPLY WITH ITS REQUIREMENTS.
– REFUSE CONTAINERS TO BE STORED ADJACENT TO EACH UNIT.
– REFUSE TO BE ROLLED OUT TO THE COLLEGEVIEW ROADSIDE FOR CITY OF RALEIGH SOLID WASTE SERVICES PICK UP.

STORMWATER EXCEPTION

PER UDO SECTION 9.2.2.A.1 SITE CLAIMS STORMWATER EXCEPTION FOR DETACHED SINGLE-UNIT AND ATTACHED TWO-UNIT LIVING PART OF A SUBDIVISION 1 ACRE OR LESS IN AGGREGATE SIZE.

LOT SUMMARY

TOTAL NUMBER OF LOTS	3
NEW LOT 1	0.21 AC (9,054 SF)
NEW LOT 2	0.19 SC (8,386 SF)
NEW LOT 3	0.21 AC (9,073 SF)
R/W DEDICATION	0.02 AC (980 SF)

AFFILIATED APPROVALS

PRELIMINARY SUBDIVISION – SUB-S-29-19

SITE DATA	
PLAT	BM 1985 PG 1855
DEED	BK 5037 PG 0610
ADDRESS	3609 BURT DRIVE
PARCEL ID NO	0793-37-1426
ZONING	R-10
OVERLAY	SRPOD – SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT
FRONTAGE TYPE	N/A FOR RESIDENTIAL ZONED PROPERTIES
AREA GROSS EXISTING	0.63 AC
AREA NET AFTER R/W	0.61 AC
EXISTING USE	SINGLE FAMILY
PROPOSED USE	6 UNITS (THREE, TWO UNIT DUPLEXES)
DENSITY	9.5 UNITS/AC PROPOSED (6/0.63), 10 ALLOWABLE
PARKING REQUIRED	12 (2 SPACES PER UNIT)
PARKING PROPOSED	12 SPACES
PRIMARY STREET	BURT DRIVE
EXISTING IMPERVIOUS	6,523 SF
PROPOSED IMPERVIOUS	15,553 SF
EXISTING BUILDING	2 (2,376 SF)
PROPOSED BUILDINGS	3 (2,565 SF FOOTPRINT EACH, 7,695 SF TOTAL)
100YR FLOOD PLAIN	NONE ON THIS LOT
HEIGHT ALLOWABLE	40' / 3 STORIES
HEIGHT PROPOSED	27' 4" / 2 STORIES
LAND DISTURBANCE	28,500 SF

INDEX

COVER	ASR1
EXISTING CONDITIONS & DEMO	ASR2
SITE PLAN, UTILITY & LANDSCAPING PLAN	ASR3
GRADING PLAN	ASR4
DETAILS	ASR5-ASR6
ARCHITECTURAL ELEVATIONS	A2.1A-A2.3B

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____ Planning Coordinator: _____	
Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
GENERAL INFORMATION	
Development name: Evans Place on Burt	
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Property address(es): 3609 Burt Drive, Raleigh, NC 27606	
Site P.I.N.(s): 0793-37-1426	
Please describe the scope of work. Include any additions, expansions, and change of use. Demo two existing single family homes on site and re-develop with three attached homes per preliminary subdivision lots proposed with SUB-S-29-19.	
Current Property Owner/Developer Contact Name: Kirk Preiss	
NOTE: please attach purchase agreement when submitting this form.	
Company: Carpenter-Preiss Investments	Title: Partner
Address: 1700 Hillsborough St, Raleigh, NC 27605	
Phone #: 919 870-5080	Email: kirk@tpco.com
Applicant Name: Michael J. Kane, PE	
Company: Capital Civil Engineering, PLLC	Address: 1011 Pemberton Hill Rd, Ste 203, Apex, NC 27502
Phone #: 919 249-8587	Email: mkane@capitalcivil.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): Existing gross floor area to be demolished: 2,376 sf (per Wake Co Real Estate Data)
Gross site acreage: 0.63	New gross floor area: 14,160
# of parking spaces required: 12 (2 spaces per unit)	Total sf gross (to remain and new): 14,160
# of parking spaces proposed: 12	Proposed # of buildings: 3
Overlay District (if applicable): SRPOD	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): Residential Detached	
Proposed use (UDO 6.1.4): Residential Attached	
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.15 Square Feet: 6,523	Proposed Impervious Surface: Acres: 0.36 Square Feet: 15,553
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu: _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 6	Total # of hotel units: _____
# of bedroom units: 1br: _____ 2br: _____ 3br: _____ 4br or more: 6	
# of lots: 3	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Michael J. Kane of Capital Civil Engineering to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date: 8/19/19
Printed Name: Kirk Preiss	

REVISION:
8/20/2019 – ASR REVIEW 1
10/14/2019 – ASR REVIEW 2
10/31/2019 – ASR REVIEW 3

EVANS PLACE ON BURT - ADMINISTRATIVE SITE PLAN

3609 BURT DRIVE, RALEIGH, NORTH CAROLINA, 27606

R-10 ZONING, SRPOD OVERLAY, PRELIM. SUBDIVISION SUB-S-29-19

COVER SHEET



CAPITAL CIVIL ENGINEERING -
1011 PEMBERTON HILL RD, STE 203, APEX, NC 27502
PH: 919 249-8587 FX: 919 590-1687
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ENGINEER

CAPITAL CIVIL ENGINEERING, PLLC
1011 PEMBERTON HILL RD, STE 203
APEX, NC 27502
PH: 919 249-8587
MICHAEL J. KANE, PE
mkane@capitalcivil.com

OWNER

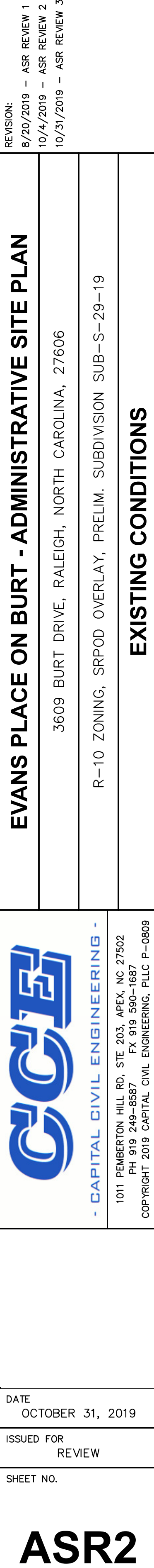
CARPENTER-PREISS INVESTMENTS
1700 HILLSBOROUGH STREET
RALEIGH, NC 27605
PH: 919 870-5080
etpcontracting@yahoo.com

DATE
OCTOBER 31, 2019

ISSUED FOR
REVIEW

SHEET NO.

ASR1





A. TOTAL SITE LESS THEN 5 ACRES
YES, ONLY 0.63 ACRES

B. THE SUBJECT LOT'S PRIMARY STREET FRONTAGE IS ON A STREET SECTION THAT WAS PLATTED FOR AT LEAST 20 YEARS INCLUDING SUBSEQUENT RIGHT-OF-WAY DEDICATIONS.
YES, STREET PLATTED GREATER THAN 20 YEARS AGO.

C. IF A COMPARATIVE SAMPLE CAN BE DEFINED AS OUTLINED IN SEC. 2.27.C. AND AT LEAST THREE OF THE PRINCIPAL BUILDINGS CONTAINED IN THE COMPARATIVE SAMPLE HAVE PRIMARY STREET FRONTAGE ON A STREET SECTION THAT HAS BEEN PLATTED FOR AT LEAST 20 YEARS INCLUDING SUBSEQUENT RIGHT-OF-WAY DEDICATIONS.
NO, THERE ARE NOT AT LEAST THREE PRINCIPAL DETACHED OR ATTACHED HOUSES WITHIN 300 FEET OF THE SUBJECT PROJECT ALONG THE BLOCK FACE OR ON THE OPPOSITE SIDE OF THE STREET.

ALL ITEMS A THRU C MUST BE PRESENT FOR RESIDENTIAL IN-FILL COMPATIBILITY TO APPLY THEREFORE THIS SITE IS NOT SUBJECT TO IN-FILL COMPATIBILITY REQUIREMENTS.

SUBDIVISION WAS LESS THAN 1 ACRE IN CUMULATIVE SIZE PROPOSING NO MORE THAN SINGLE FAMILY OR DUPLEX ON EACH LOT THEREFORE QUALIFIES FOR EXEMPTION TO ACTIVE STORMWATER CONTROL REQUIREMENTS PER UDO SECTION 9.2.2.A.1.

DRIVEWAY AND PARKING SPACES TO BE ASPHALT OR CONCRETE

NO ONSITE STRUCTURAL RETAINING WALLS THAT WOULD REQUIRE SPECIAL PERMITTING ARE PROPOSED WITH THIS PROJECT.

BUILDINGS TO BE ON CRAWL SPACE FOUNDATIONS.

FF = TOP OF FINISHED FLOOR ELEVATION
NO CURB AND GUTTER PROPOSED

2 SPACES PER UNIT REQUIRED. 6 UNITS THEREFORE 12 SPACES.
12 SPACES PROVIDED.

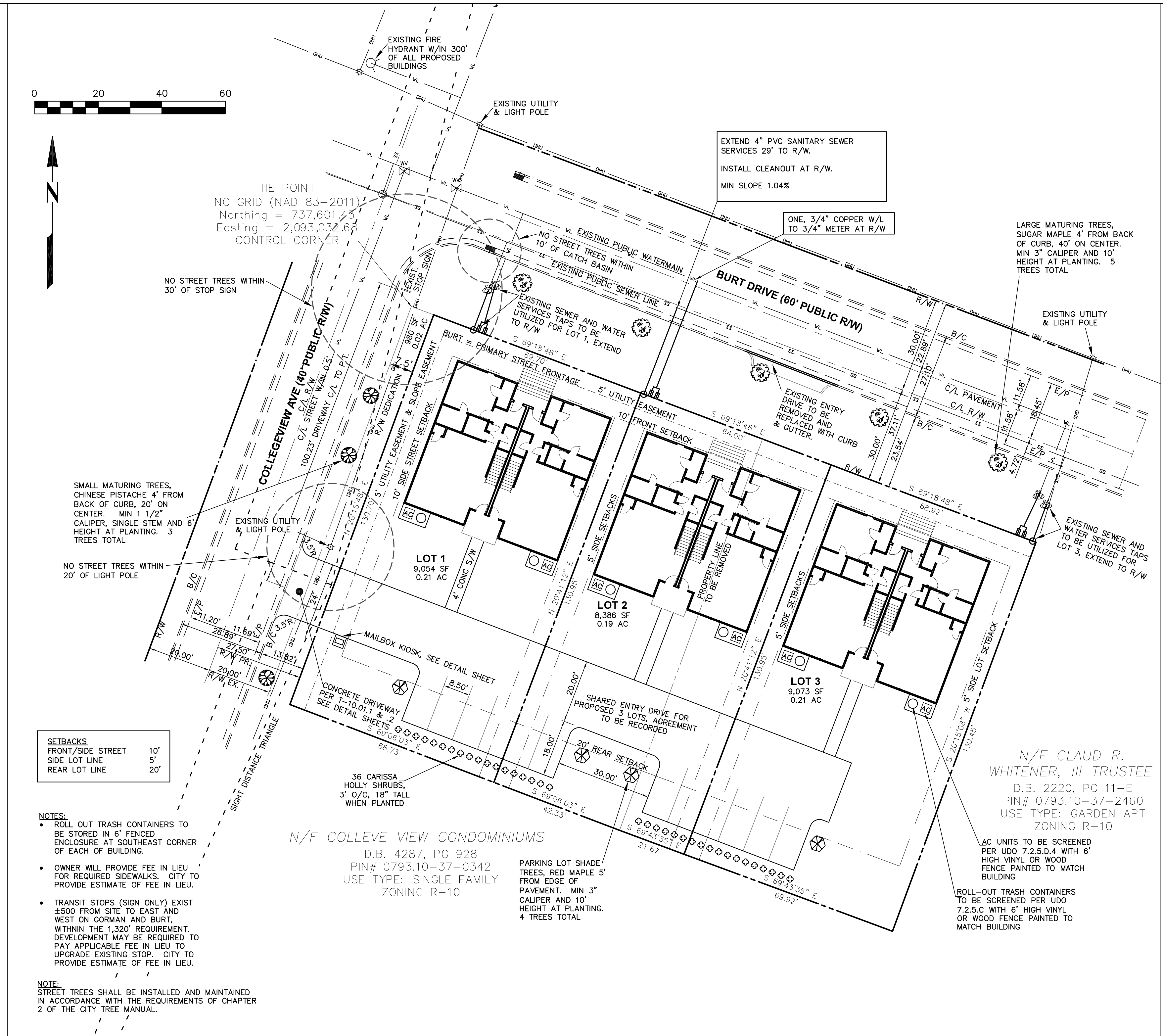
NO BICYCLE SPACES REQUIRED.

BURT DR - CREST RD - CONIFER DR - COLLEGEVIEW AVE
IS A 2300 LINEAR FOOT BLOCK.

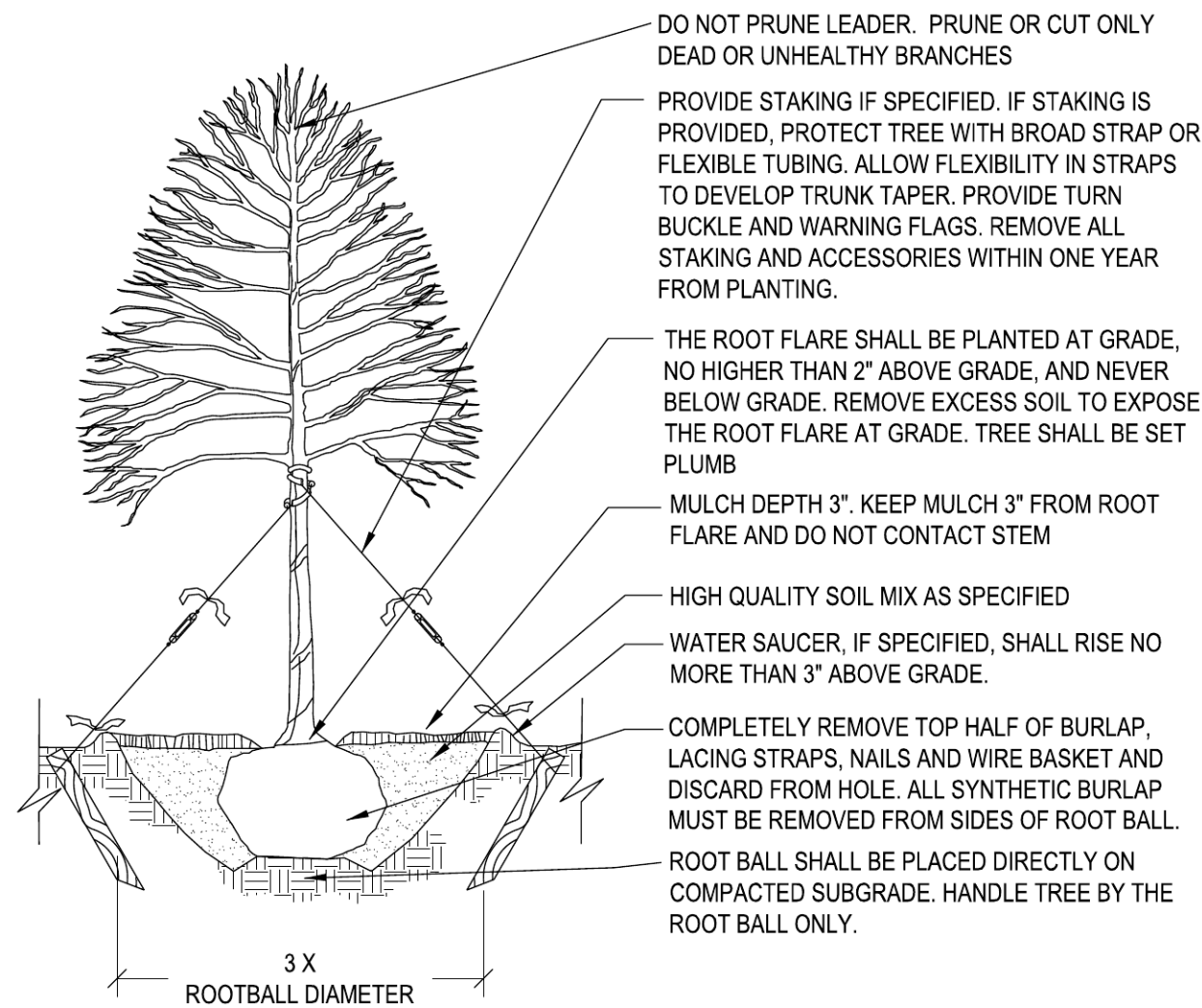
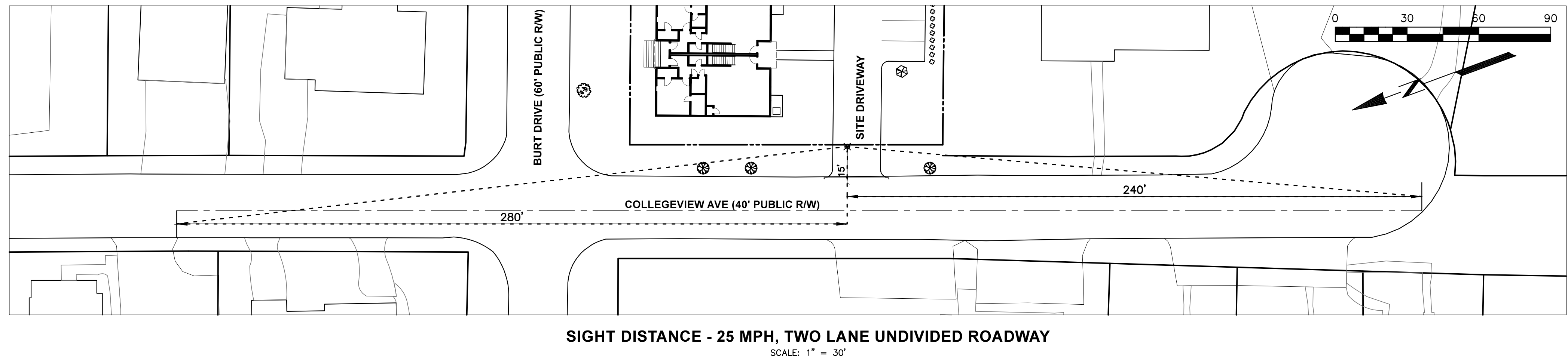
TOTAL NUMBER OF LOTS	3
NEW LOT 1	0.21 AC (9,054 SF)
NEW LOT 2	0.19 AC (8,386 SF)
NEW LOT 3	0.21 AC (9,073 SF)
R/W DEDICATION	0.02 AC (980 SF)

(INCLUDING R/W SIDEWALK PAID IN LIEU)			
LOT	AREA	IMPERVIOUS	IMP%
1	9,054	5,415	59.8%
2	8,386	5,318	63.4%
3	9,073	4,820	53.1%

TOTAL PARKING LOT AREA	6,656 SF
1 TREE REQUIRED PER	2,000 SF
TOTAL TREES REQUIRED	3.33
TOTAL TREES PROVIDED	4



SCALE: 1" = 20'



CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL
RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
3. STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
4. PLANTING SEASON OCTOBER - APRIL.
5. A TREE IMPACT PERMIT IS REQUIRED.
6. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

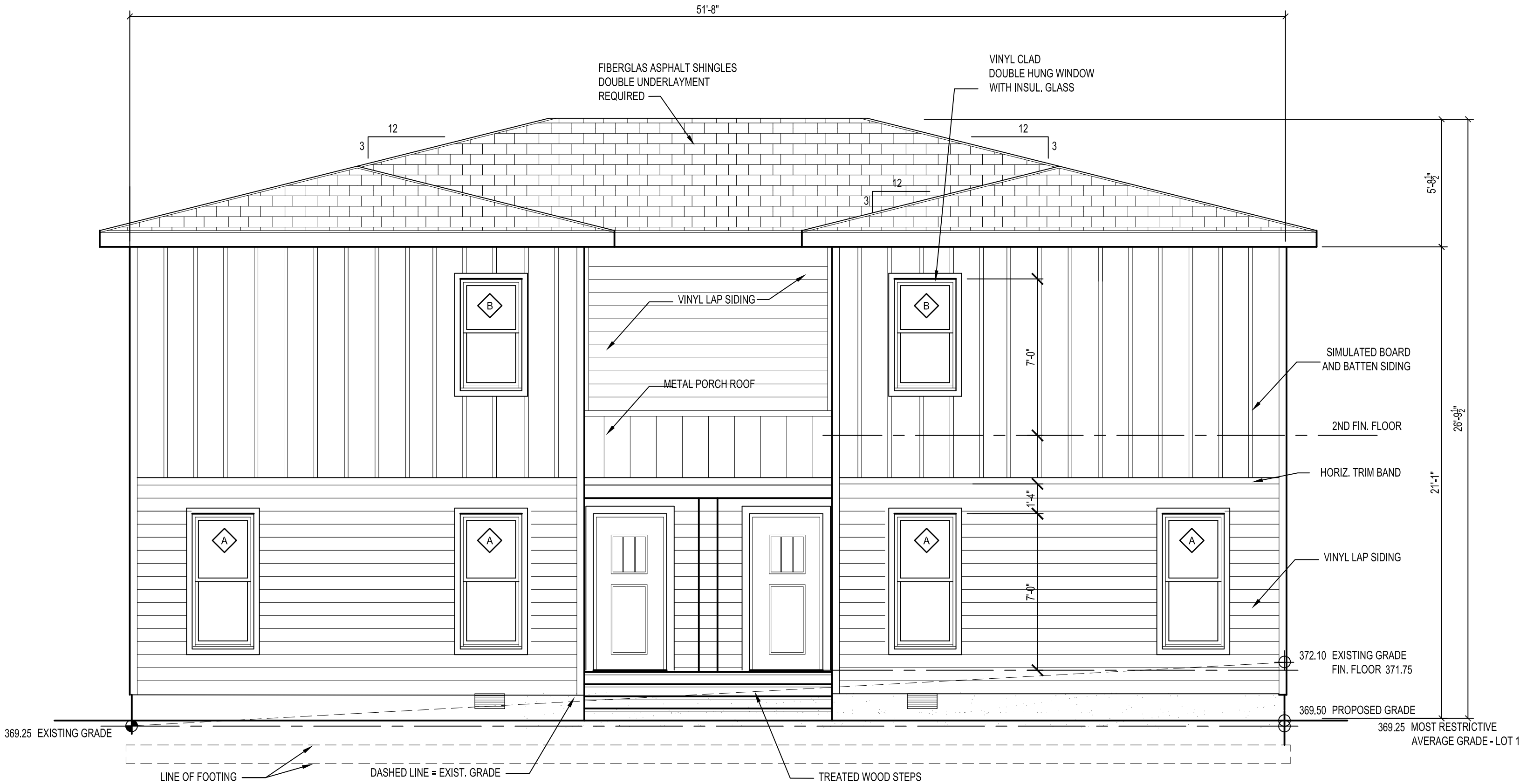
<h1 style="text-align: center;">CITY OF RALEIGH</h1> <h2 style="text-align: center;">STANDARD DETAIL</h2>		
REVISIONS	DATE: 8/1/18	NOT TO SCALE
	TREE PLANTING DETAIL	
	TPP-03	

NOTES:
COMPLIES TO UDO SECTION 1.5.7, 2.3 – NO A MIXED USE DISTRICT
TRANSPARENCY NOT APPLICABLE; NO BLANK WALLS
FACADES GREATER THAN 50’ ARE INTERUPPED WITH 5’–4” RECESS

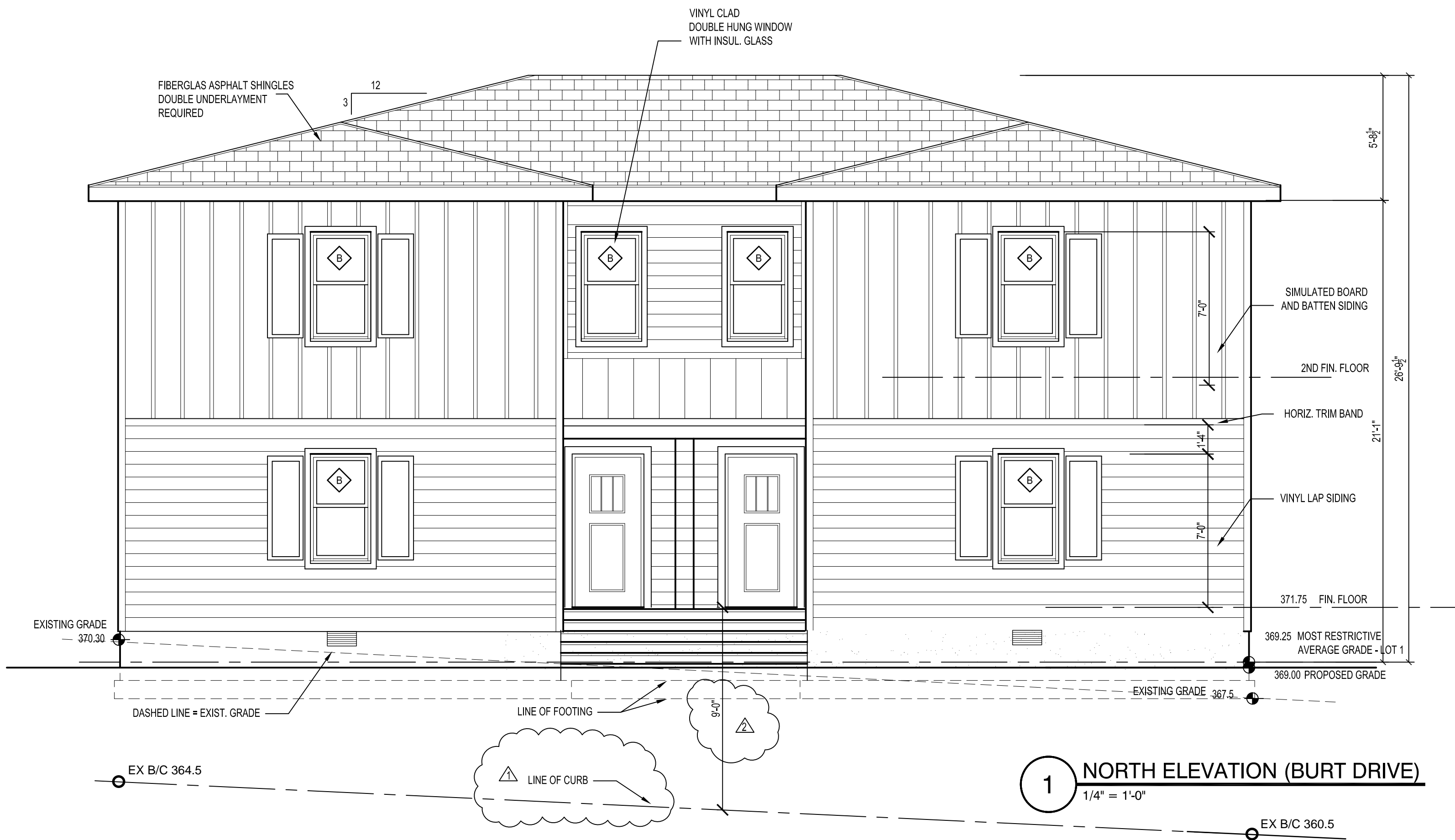
EXISTING ELEVATION CHART – LOT 1		
NORTH ELEVATION – BURT DRIVE ELEVATION	EXISTING ELEVATIONS NORTHWEST CORNER = 367.5 NORTHEAST CORNER = 370.3	737.8 /2 =368.9
EAST ELEVATION – SIDE	EXISTING ELEVATIONS NORTHEAST CORNER = 370.3 SOUTHWEST CORNER = 372.1	742.4 /2 =371.2
SOUTH ELEVATION – REAR PARKING LOT SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 369.25 SOUTHEAST CORNER = 372.1	741.35 /2 =370.68
WEST ELEVATION – SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 369.25 NORTHWEST CORNER = 367.5	736.75 /2 =368.38
368.9+371.2+370.68+368.38=1479.16/4= 369.79 AVERAGE EXISTING GRADE		

PROPOSED ELEVATION CHART – LOT 1		
NORTH ELEVATION – BURT DRIVE ELEVATION	PROPOSED ELEVATIONS NORTHWEST CORNER = 369.00 NORTHEAST CORNER = 369.00	738 /2 =369.00
EAST ELEVATION – SIDE	PROPOSED ELEVATIONS NORTHEAST CORNER = 369.00 SOUTHWEST CORNER = 369.50	738.5 /2 =369.25
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WEST ELEVATION – SIDE	PROPOSED ELEVATIONS SOUTHWEST CORNER = 369.50 NORTHWEST CORNER = 369.00	738.5 /2 =369.25
369+369.25+369.5+369.25=1477/4= 369.25 AVERAGE EXISTING GRADE		
NOTE: FIRST FIN. FL. IS 9.0’ ON AVERAGE ABOVE CURB (AT DOOR)		

3 ELEVATION CHARTS



2 REAR ELEVATION
1/4" = 1'-0"

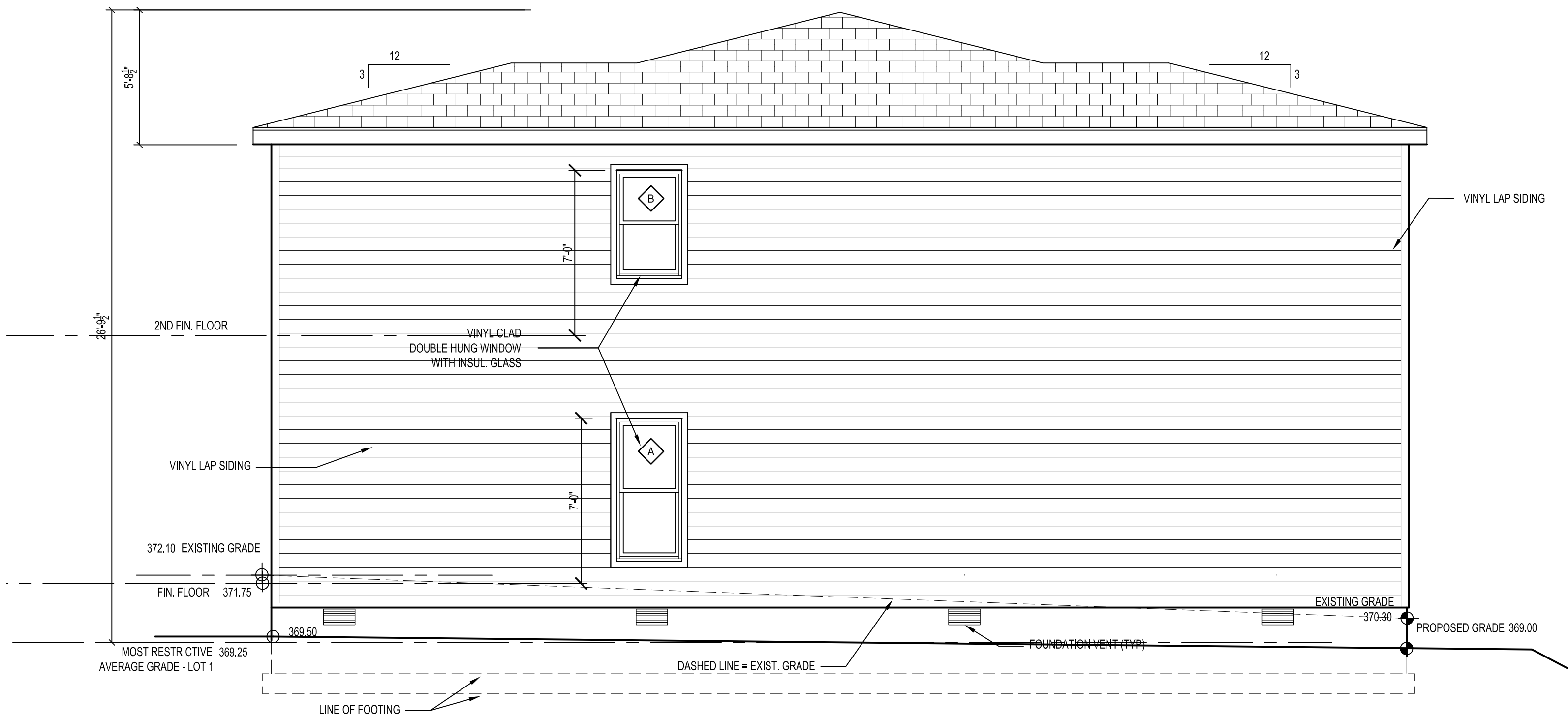


1 NORTH ELEVATION (BURT DRIVE)
1/4" = 1'-0"

REV. 1
NOTE ADDED TO SHOW FIN. FL. ABOVE CURB 10.4.19 ASR COMMENTS

PROJECT NO: BD.19
DRAWN BY: rpc
CHECKED BY: rpc
SHEET TITLE:
ELEVATIONS - LOT 1

A2.1a



2 EAST ELEVATION
1/4" = 1'-0"

NOTES:

COMPLIES TO UDO SECTION 1.5.7, 2.3 – NO A MIXED USE DISTRICT

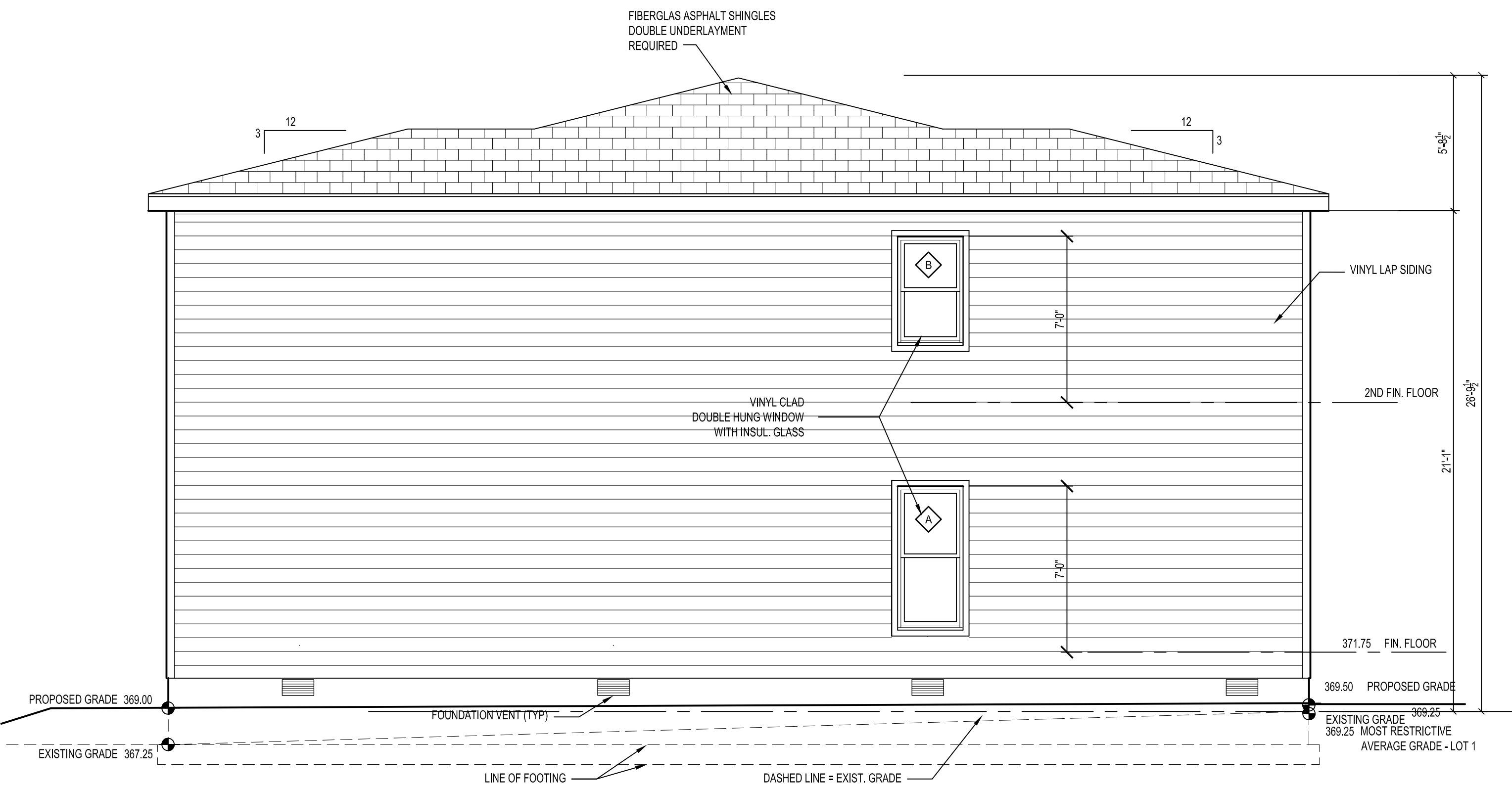
TRANSPARENCY NOT APPLICABLE; NO BLANK WALLS

FACADES GREATER THAN 50' ARE INTERRUPTED WITH 5'-4" RECESS

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369+369.25+369.5+369.25=1477/4= 369.25 AVERAGE EXISTING GRADE		
NOTE: FIRST FIN. FL. IS 9.0' ON AVERAGE ABOVE CURB (AT DOOR)		

3 ELEVATION CHARTS



1 WEST ELEVATION (COLLEGEVIEW AVE)
1/4" = 1'-0"

REV. 1
REVISOR
REVISION
NOTE: ADDED TO SHOW FIN. FL. ABOVE CURB 10.4.19 ASR COMMENTS

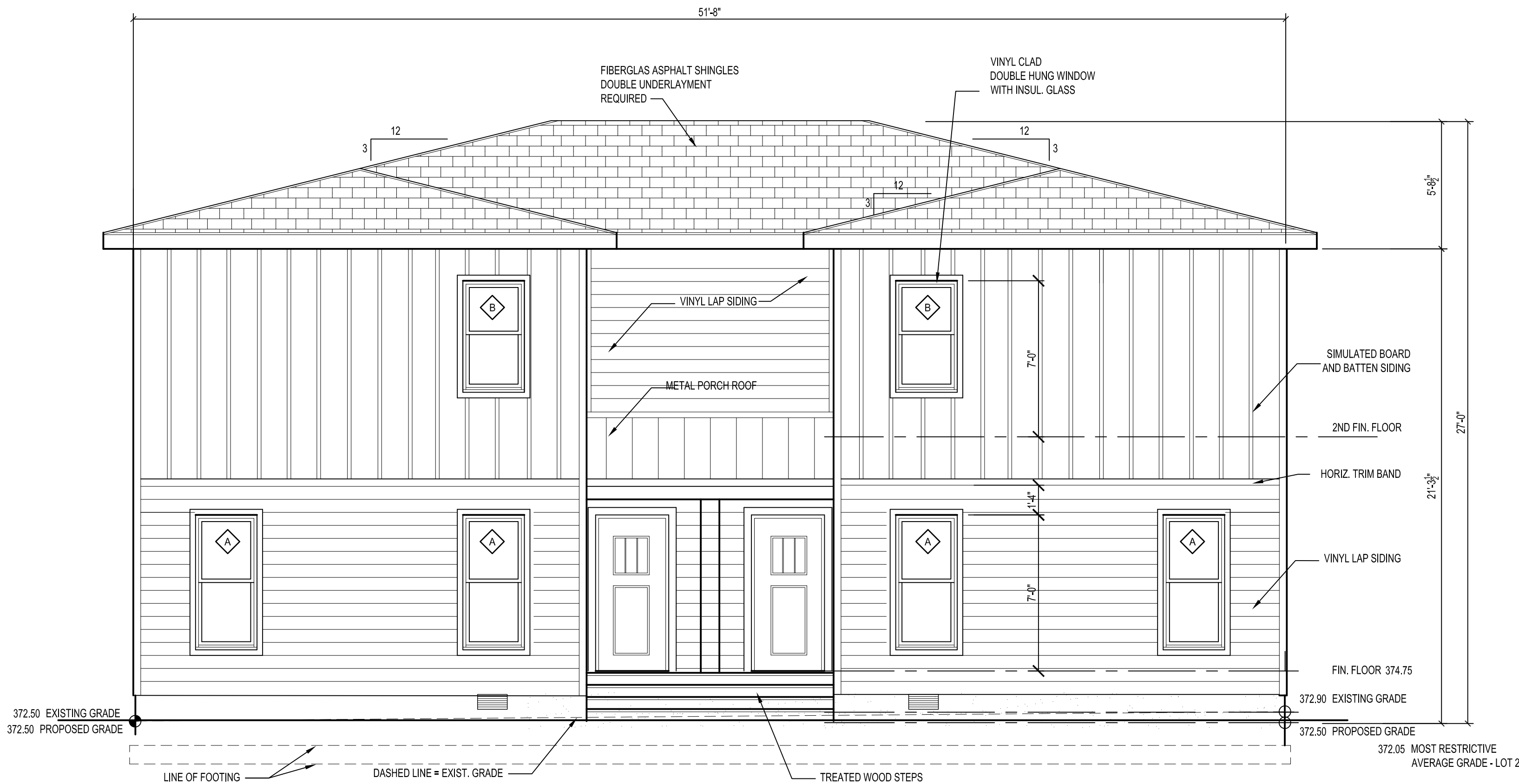
PROJECT NO: BD.19
DRAWN BY: rpc
CHECKED BY: rpc
SHEET TITLE: ELEVATIONS - LOT 1

A2.1b

REV.	REVIS	REVISION
1	Δ	REVISED AVERAGE GRADE TO CURB
2	Δ	NOTE ADDED TO SHOW FIN. FL. ABOVE CURB. 10.4.19. ASR COMMENTS

PROJECT NO: BD.19
DRAWN BY: rpc
CHECKED BY: rpc
SHEET TITLE:
ELEVATIONS - LOT 2

A2.2a



2 REAR ELEVATION
1/4" = 1'-0"

NOTES:

COMPLIES TO UDO SECTION 1.5.7, 2.3 - NO A MIXED USE DISTRICT

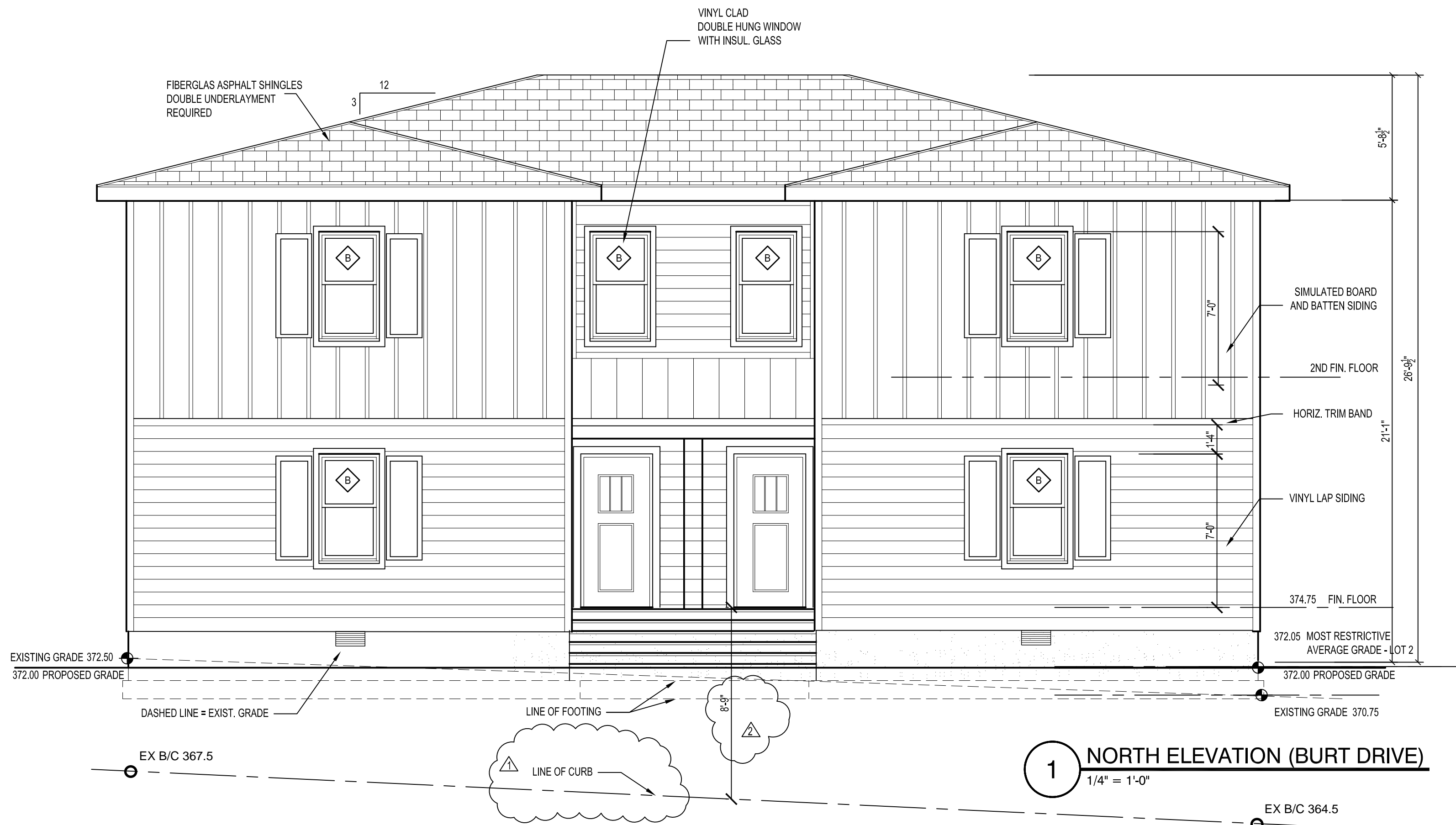
TRANSPARENCY NOT APPLICABLE; NO BLANK WALLS

FACADES GREATER THAN 50' ARE INTERUPPED WITH 5'-4" RECESS

EXISTING ELEVATION CHART - LOT 2		
NORTH ELEVATION - BURT DRIVE ELEVATION	EXISTING ELEVATIONS NORTHWEST CORNER = 370.75 NORTHEAST CORNER = 372.50	743.25 /2 =371.63
EAST ELEVATION - SIDE	EXISTING ELEVATIONS NORTHEAST CORNER = 372.50 SOUTHWEST CORNER = 372.90	745.40 /2 =372.70
SOUTH ELEVATION - REAR PARKING LOT SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 372.50 SOUTHEAST CORNER = 372.00	744.50 /2 =372.25
WEST ELEVATION - SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 372.50 NORTHWEST CORNER = 370.75	743.25 /2 =371.63
371.63+372.70+372.25+371.63=1488.21/4= 372.05 AVERAGE EXISTING GRADE		

PROPOSED ELEVATION CHART - LOT 2		
NORTH ELEVATION - BURT DRIVE ELEVATION	PROPOSED ELEVATIONS NORTHWEST CORNER = 372.00 NORTHEAST CORNER = 372.00	744 /2 =372.00
EAST ELEVATION - SIDE	PROPOSED ELEVATIONS NORTHEAST CORNER = 372.00 SOUTHWEST CORNER = 372.50	744.5 /2 =372.25
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372+372.25+372.5+372.25=1489/4= 372.25 AVERAGE EXISTING GRADE		
NOTE: FIRST FIN. FL. IS 8.75' ON AVERAGE ABOVE CURB (AT DOOR)		

3 ELEVATION CHARTS



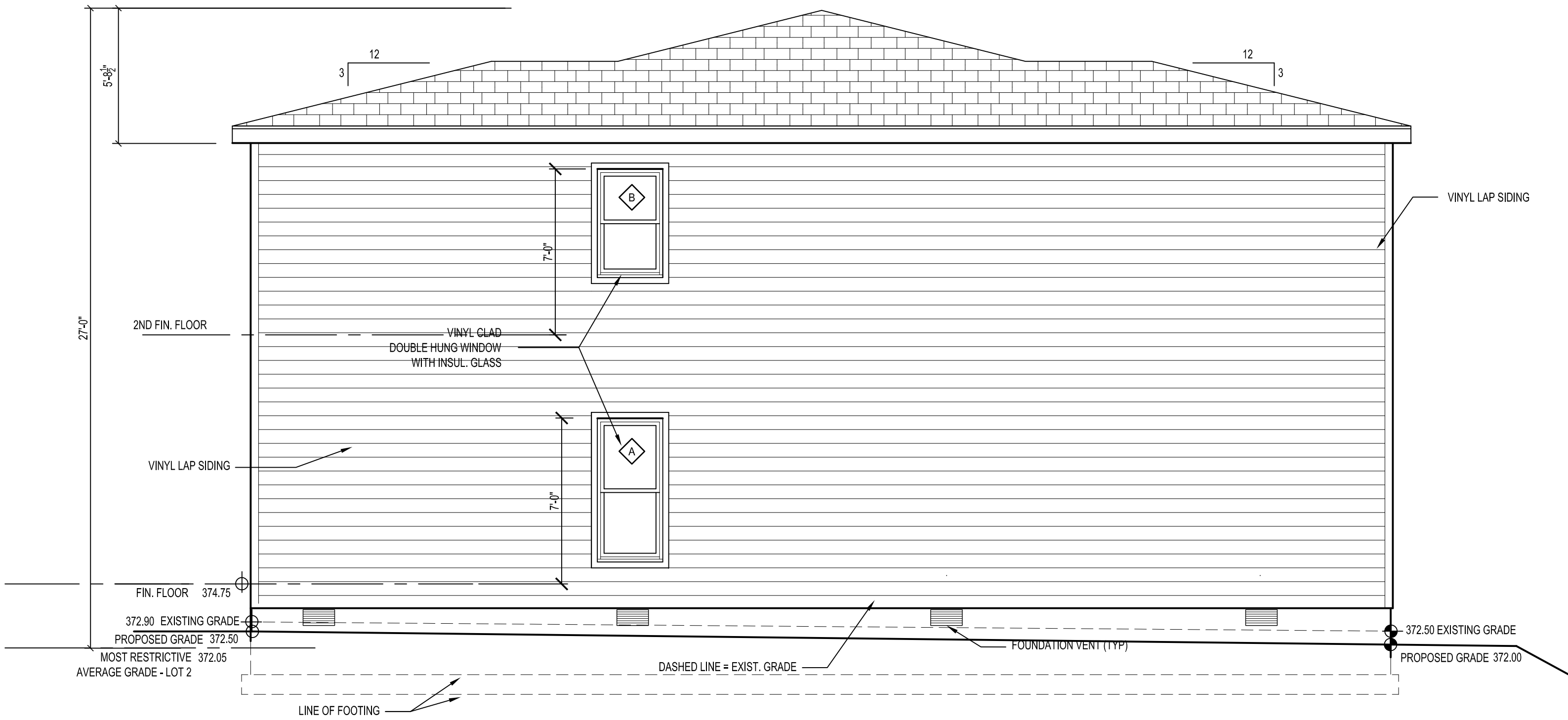
1 NORTH ELEVATION (BURT DRIVE)
1/4" = 1'-0"

NOTES:
COMPLIES TO UDO SECTION 1.5.7, 2.3 – NO A MIXED USE DISTRICT
TRANSPARENCY NOT APPLICABLE; NO BLANK WALLS
FACADES GREATER THAN 50' ARE INTERRUPTED WITH 5'-4" RECESS

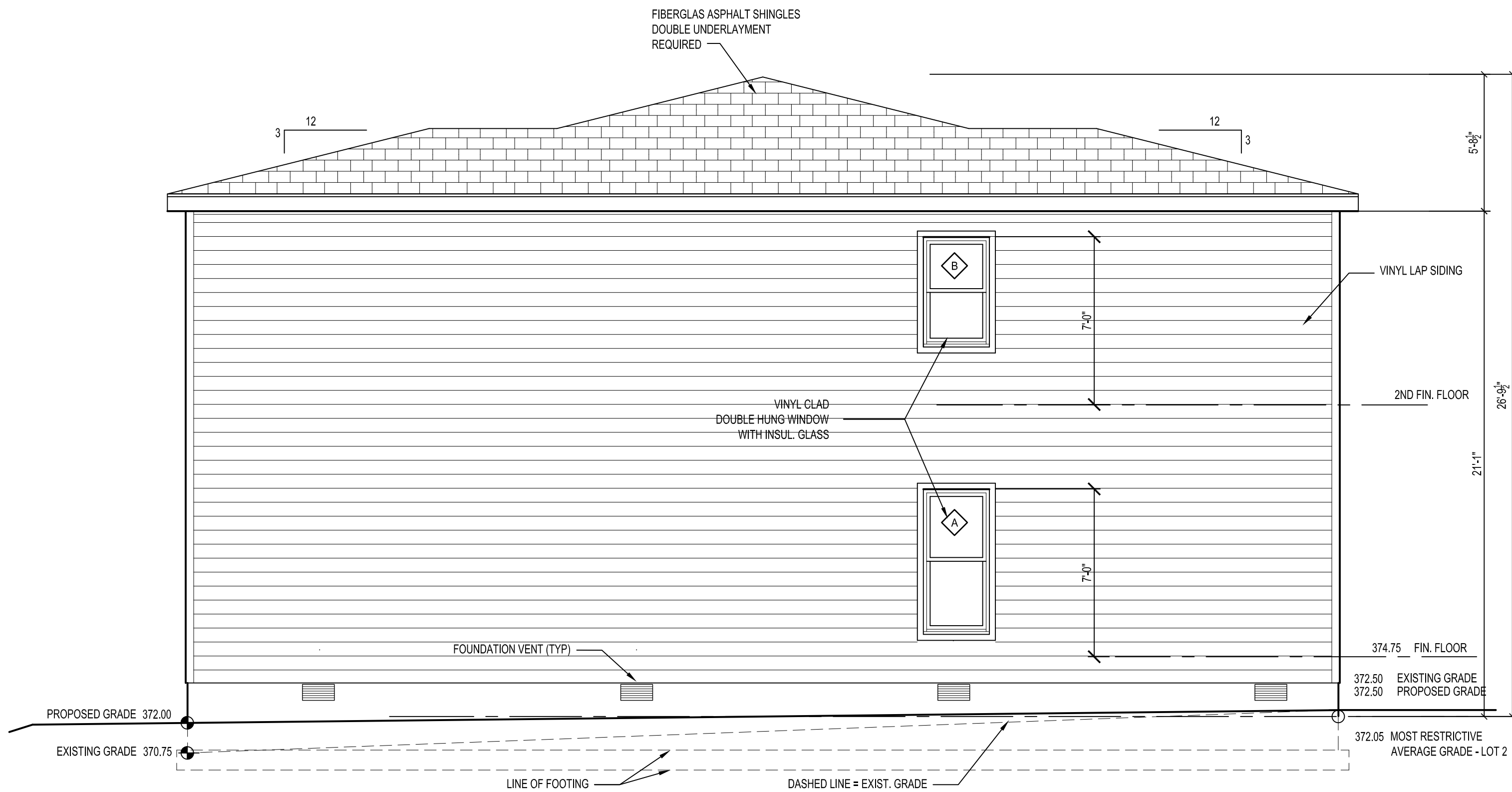
EXISTING ELEVATION CHART – LOT 2		
NORTH ELEVATION – BURT DRIVE ELEVATION	EXISTING ELEVATIONS NORTHWEST CORNER = 370.75 NORTHEAST CORNER = 372.50	743.25 /2 =371.63
EAST ELEVATION – SIDE	EXISTING ELEVATIONS NORTHHEAST CORNER = 372.50 SOUTHWEST CORNER = 372.90	745.40 /2 =372.70
SOUTH ELEVATION – REAR PARKING LOT SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 372.50 SOUTHEAST CORNER = 372.00	744.50 /2 =372.25
WEST ELEVATION – SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 372.50 NORTHWEST CORNER = 370.75	743.25 /2 =371.63
371.63+372.70+372.25+371.63=1488.21/4= 372.05 AVERAGE EXISTING GRADE		

PROPOSED ELEVATION CHART – LOT 2		
NORTH ELEVATION – BURT DRIVE ELEVATION	PROPOSED ELEVATIONS NORTHWEST CORNER = 372.00 NORTHEAST CORNER = 372.00	744 /2 =372.00
EAST ELEVATION – SIDE	PROPOSED ELEVATIONS NORTHHEAST CORNER = 372.00 SOUTHWEST CORNER = 372.50	744.5 /2 =372.25
SOUTH ELEVATION – REAR PARKING LOT SIDE	PROPOSED ELEVATIONS SOUTHWEST CORNER = 372.50 SOUTHEAST CORNER = 372.50	745.0 /2 =372.50
WEST ELEVATION – SIDE	PROPOSED ELEVATIONS SOUTHWEST CORNER = 372.50 NORTHWEST CORNER = 372.00	744.5 /2 =372.25
372+372.25+372.5+372.25=1489/4= 372.25 AVERAGE EXISTING GRADE		
NOTE: FIRST FIN. FL. IS 8.75' ON AVERAGE ABOVE CURB (AT DOOR)		

3 ELEVATION CHARTS



2 EAST ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

REV. 1
REVIS
NOTE ADDED TO SHOW FIN. FL. ABOVE CURB 10.4.19 ASR COMMENTS

PROJECT NO: BD.19
DRAWN BY: rpc
CHECKED BY: rpc
SHEET TITLE:
ELEVATIONS - LOT 2

A2.2b

REV.

△	REVISED AVERAGE GRADE TO CURB
△	NOTE ADDED TO SHOW FIN. FL. ABOVE CURB 10.4.19 ASR COMMENTS

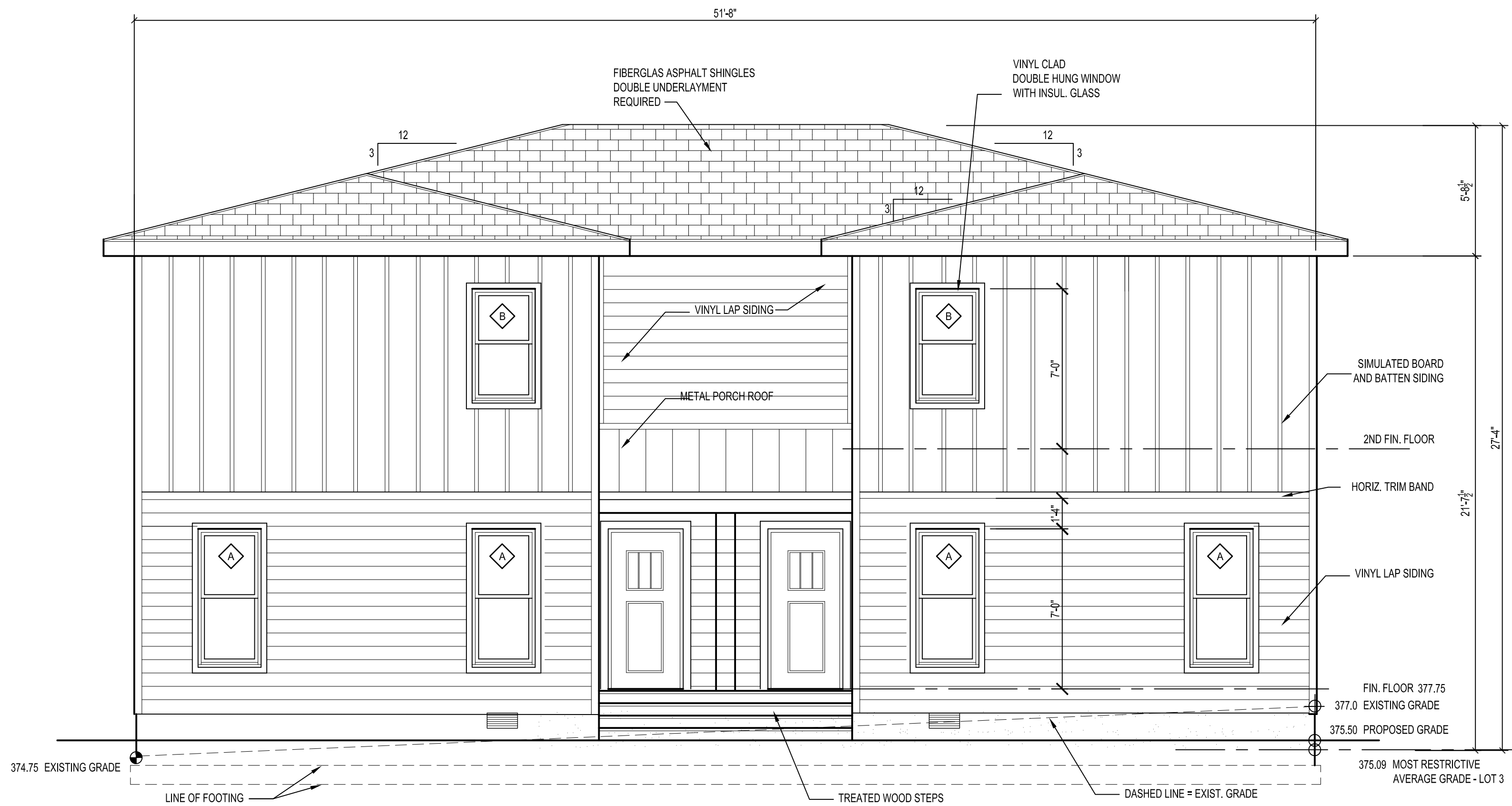
PROJECT NO: BD.19

DRAWN BY: rpc

CHECKED BY: rpc

SHEET TITLE:
ELEVATIONS - LOT 3

A2.3a



2 REAR ELEVATION
1/4" = 1'-0"

NOTES:

COMPLIES TO UDO SECTION 1.5.7, 2.3 - NO A MIXED USE DISTRICT

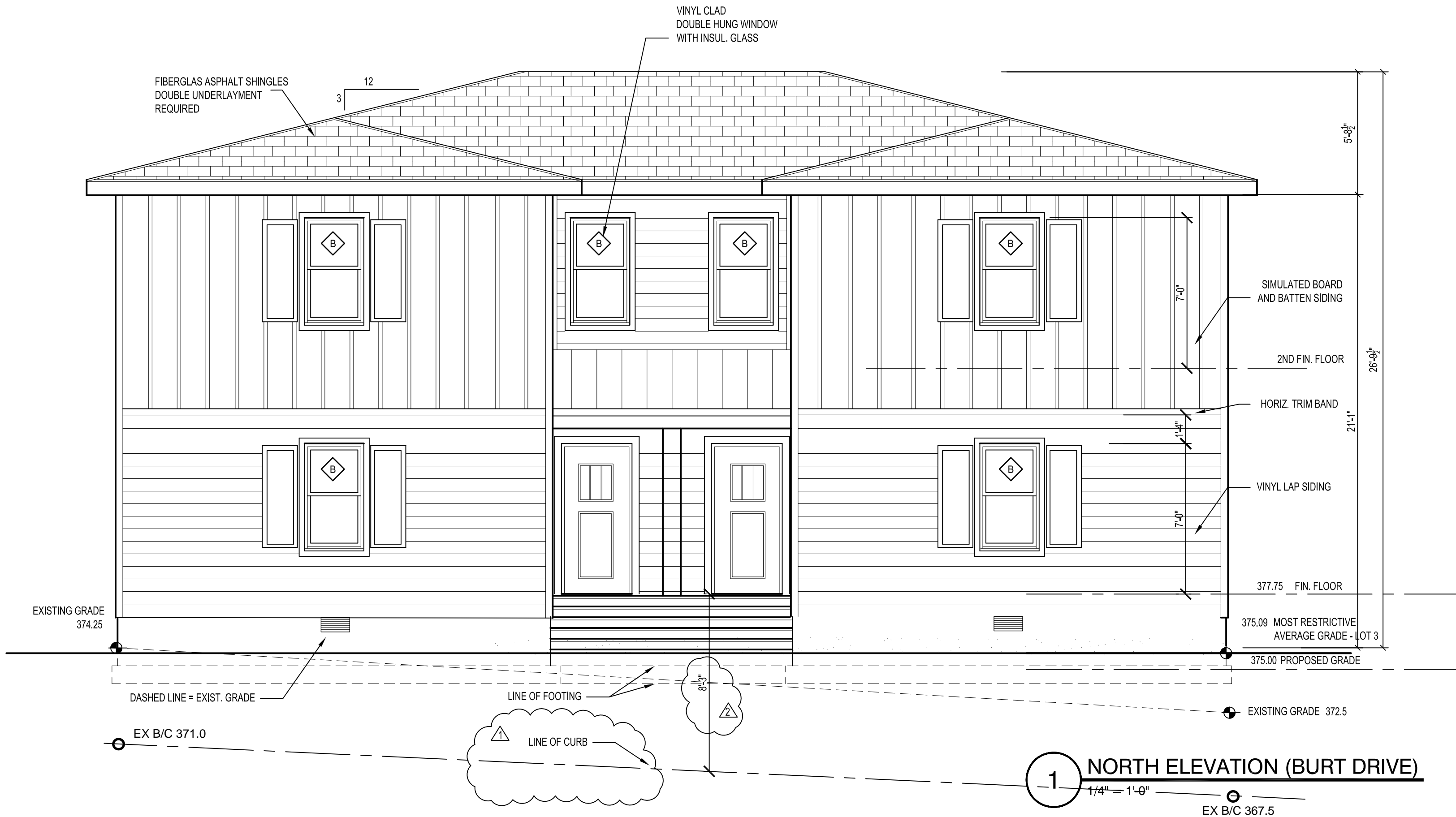
TRANSPARENCY NOT APPLICABLE; NO BLANK WALLS

FACADES GREATER THAN 50' ARE INTERRUPTED WITH 5'-4" RECESS

EXISTING ELEVATION CHART - LOT 3		
NORTH ELEVATION - BURT DRIVE ELEVATION	EXISTING ELEVATIONS NORTHWEST CORNER = 372.5 NORTHEAST CORNER = 374.25	746.45 /2 =375.23
EAST ELEVATION - SIDE	EXISTING ELEVATIONS NORTHWEST CORNER = 374.25 SOUTHWEST CORNER = 377.0	751.25 /2 =375.63
SOUTH ELEVATION - REAR PARKING LOT SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 374.75 SOUTHEAST CORNER = 377.0	751.75 /2 =375.86
WEST ELEVATION - SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 374.75 NORTHWEST CORNER = 372.5	747.25 /2 =373.63
375.23+375.763+375.86+373.63=1500.35/4= 375.09 AVERAGE EXISTING GRADE		

PROPOSED ELEVATION CHART - LOT 3		
NORTH ELEVATION - BURT DRIVE ELEVATION	PROPOSED ELEVATIONS NORTHWEST CORNER = 375.00 NORTHEAST CORNER = 375.00	750 /2 =375.00
EAST ELEVATION - SIDE	PROPOSED ELEVATIONS NORTHWEST CORNER = 375.00 SOUTHWEST CORNER = 375.50	750.5 /2 =375.25
SOUTH ELEVATION - REAR PARKING LOT SIDE	PROPOSED ELEVATIONS SOUTHWEST CORNER = 375.50 SOUTHEAST CORNER = 375.50	739.0 /2 =375.50
WEST ELEVATION - SIDE	PROPOSED ELEVATIONS SOUTHWEST CORNER = 375.50 NORTHWEST CORNER = 375.00	750.5 /2 =375.25
375+375.25+375.5+375.25=1501/4= 375.25 AVERAGE EXISTING GRADE		
NOTE: FIRST FIN. FL. IS 8.25' ON AVERAGE ABOVE CURB (AT DOOR)		

3 ELEVATION CHARTS



1 NORTH ELEVATION (BURT DRIVE)
1/4" = 1'-0"

REV.	△	REVISED AVERAGE GRADE TO CURB
	△	NOTE ADDED TO SHOW FIN. FL. ABOVE CURB 10.4.19 ASR COMMENTS

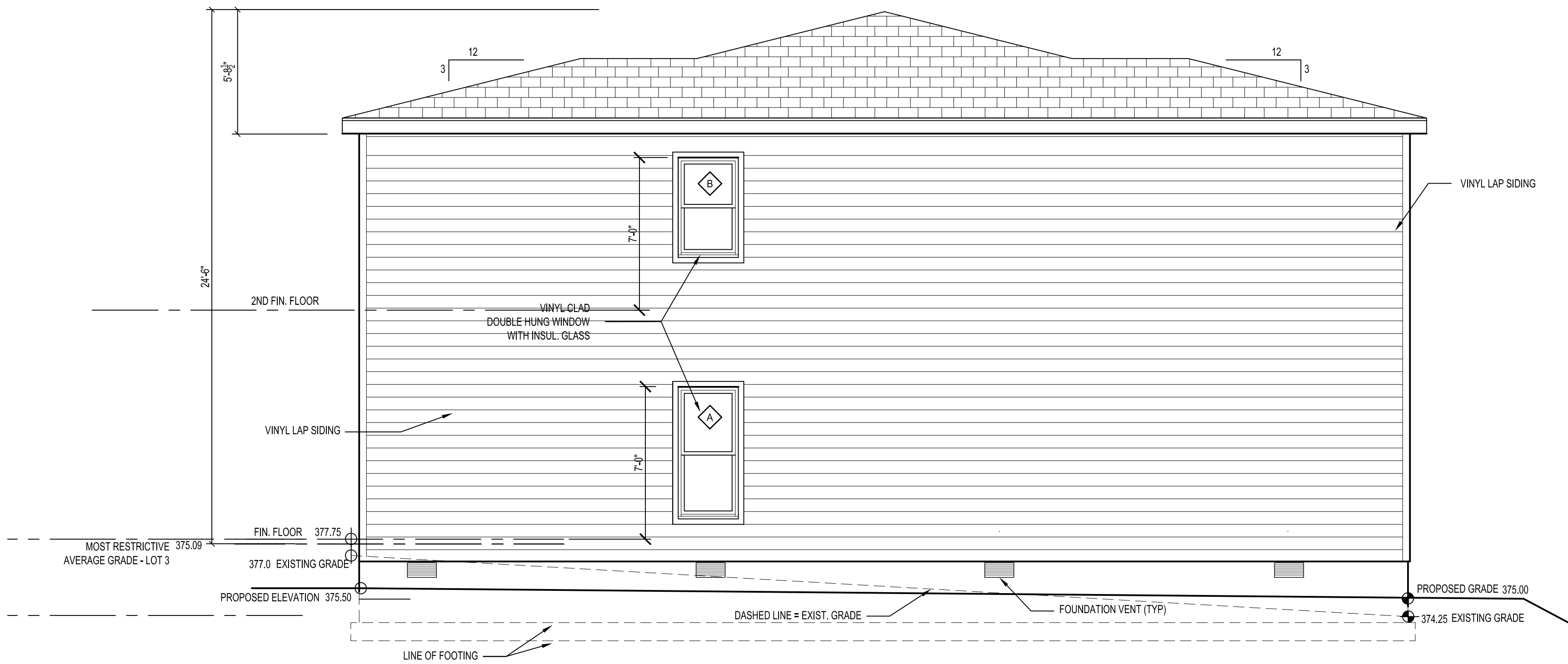
PROJECT NO: BD.19

DRAWN BY: rpc

CHECKED BY: rpc

SHEET TITLE:
ELEVATIONS - LOT 3

A2.3b



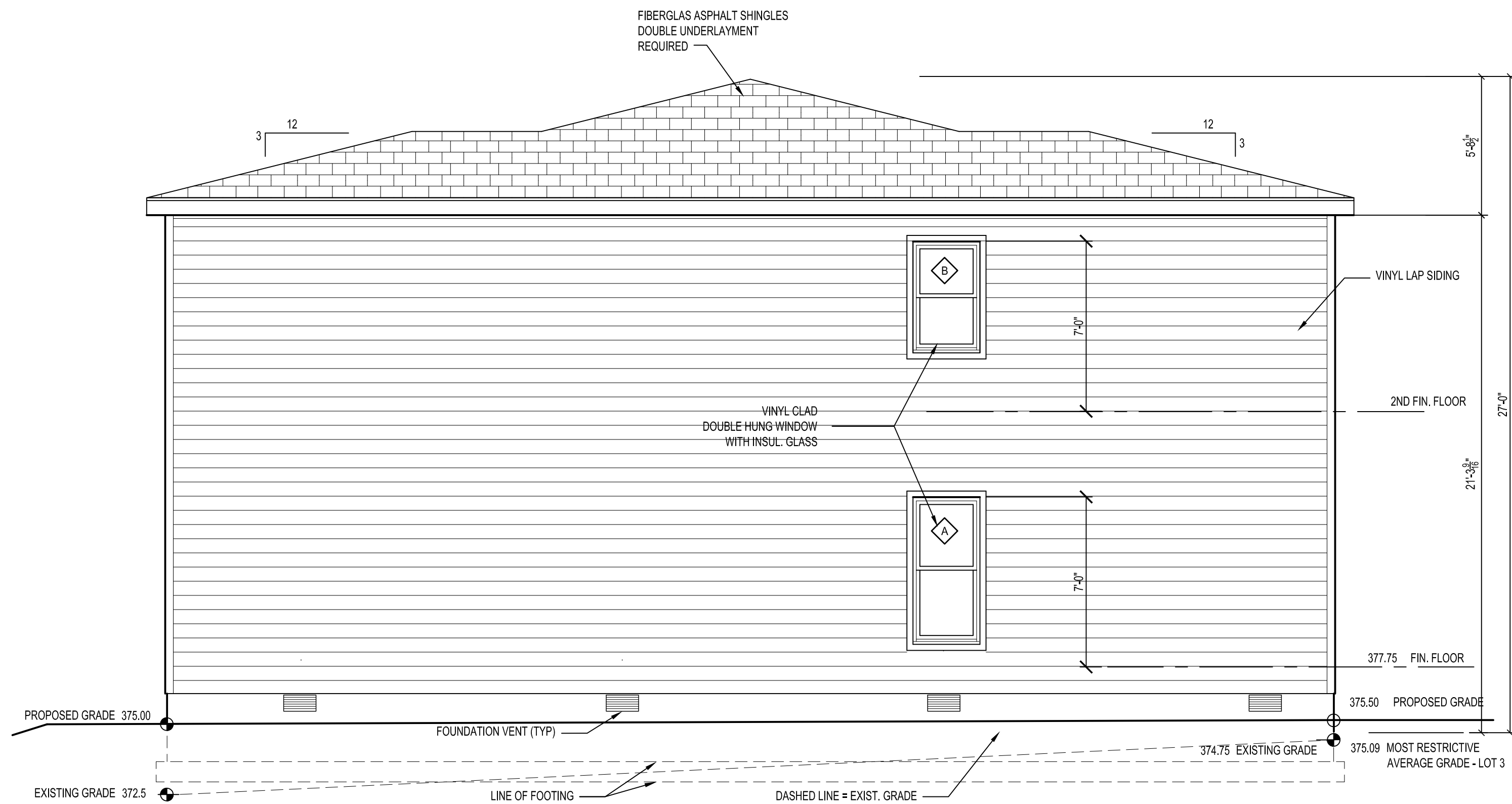
2 EAST ELEVATION
1/4" = 1'-0"

NOTES:
COMPLIES TO UDO SECTION 1.5.7, 2.3 - NO A MIXED USE DISTRICT
TRANSPARENCY NOT APPLICABLE; NO BLANK WALLS
FACADES GREATER THAN 50' ARE INTERRUPTED WITH 5'-4" RECESS

EXISTING ELEVATION CHART - LOT 3		
NORTH ELEVATION - BURT DRIVE ELEVATION	EXISTING ELEVATIONS NORTHWEST CORNER = 372.5 NORTHEAST CORNER = 374.25	746.45 /2 =375.23
EAST ELEVATION - SIDE	EXISTING ELEVATIONS NORTHEAST CORNER = 374.25 SOUTHWEST CORNER = 377.0	751.25 /2 =375.63
SOUTH ELEVATION - REAR PARKING LOT SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 374.75 SOUTHEAST CORNER = 377.0	751.75 /2 =375.86
WEST ELEVATION - SIDE	EXISTING ELEVATIONS SOUTHWEST CORNER = 374.75 NORTHWEST CORNER = 372.5	747.25 /2 =373.63
375.23+375.763+375.86+373.63=1500.35/4= 375.09 AVERAGE EXISTING GRADE		

PROPOSED ELEVATION CHART - LOT 3		
NORTH ELEVATION - BURT DRIVE ELEVATION	PROPOSED ELEVATIONS NORTHWEST CORNER = 375.00 NORTHEAST CORNER = 375.00	750 /2 =375.00
EAST ELEVATION - SIDE	PROPOSED ELEVATIONS NORTHEAST CORNER = 375.00 SOUTHWEST CORNER = 375.50	750.5 /2 =375.25
SOUTH ELEVATION - REAR PARKING LOT SIDE	PROPOSED ELEVATIONS SOUTHWEST CORNER = 375.50 SOUTHEAST CORNER = 375.50	739.0 /2 =375.50
WEST ELEVATION - SIDE	PROPOSED ELEVATIONS SOUTHWEST CORNER = 375.50 NORTHWEST CORNER = 375.00	750.5 /2 =375.25
375+375.25+375.5+375.25=1501/4= 375.25 AVERAGE EXISTING GRADE		
NOTE: FIRST FIN. FL. IS 8.25' ON AVERAGE ABOVE CURB (AT DOOR)		

3 ELEVATION CHARTS



1 WEST ELEVATION
1/4" = 1'-0"