

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____		Planning Coordinator: _____	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: 1428 Gavin Street			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 1428 Gavin Street			
Site P.I.N.(s): 1704877557			
Please describe the scope of work. Include any additions, expansions, and change of use. The proposed use is a personal services business (Animal Care), Indoor only, with a photography studio and office (Light Manufacturing). The pet services use provides foundational obedience and rehabilitation training for dogs and their owners. This building / use will be specifically for private follow-up sessions with clients and their dogs, and human-only classes. Dogs will not have unsupervised access to the outdoor areas.			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: Lot 1428 LLC - Jerry Stifelman		Title: registered agent of the LLC	
Address: 1507 Gavin Street Raleigh, NC 27608			
Phone #: 919-259-0405		Email: jerrystifelman@fightbullshitcreatetruth.com	
Applicant Name: Kimberly J Wicker, PLA			
Company: Coaly Design, PC		Address: 537 E. Martin Street Raleigh, NC 27601	
Phone #: 919-539-0012		Email: kimberly@coalydesign.com	

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: .24	New gross floor area: 3,143 sf
# of parking spaces required: 5	Total sf gross (to remain and new): 3,143 sf
# of parking spaces proposed: 8	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): vacant	
Proposed use (UDO 6.1.4): personal service animal care (indoor) and photo studio	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: .24 Square Feet: 10,309.3	Proposed Impervious Surface: Acres: .16 Square Feet: 7,149
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu: _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS


Total # of dwelling units: 0	Total # of hotel units:
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

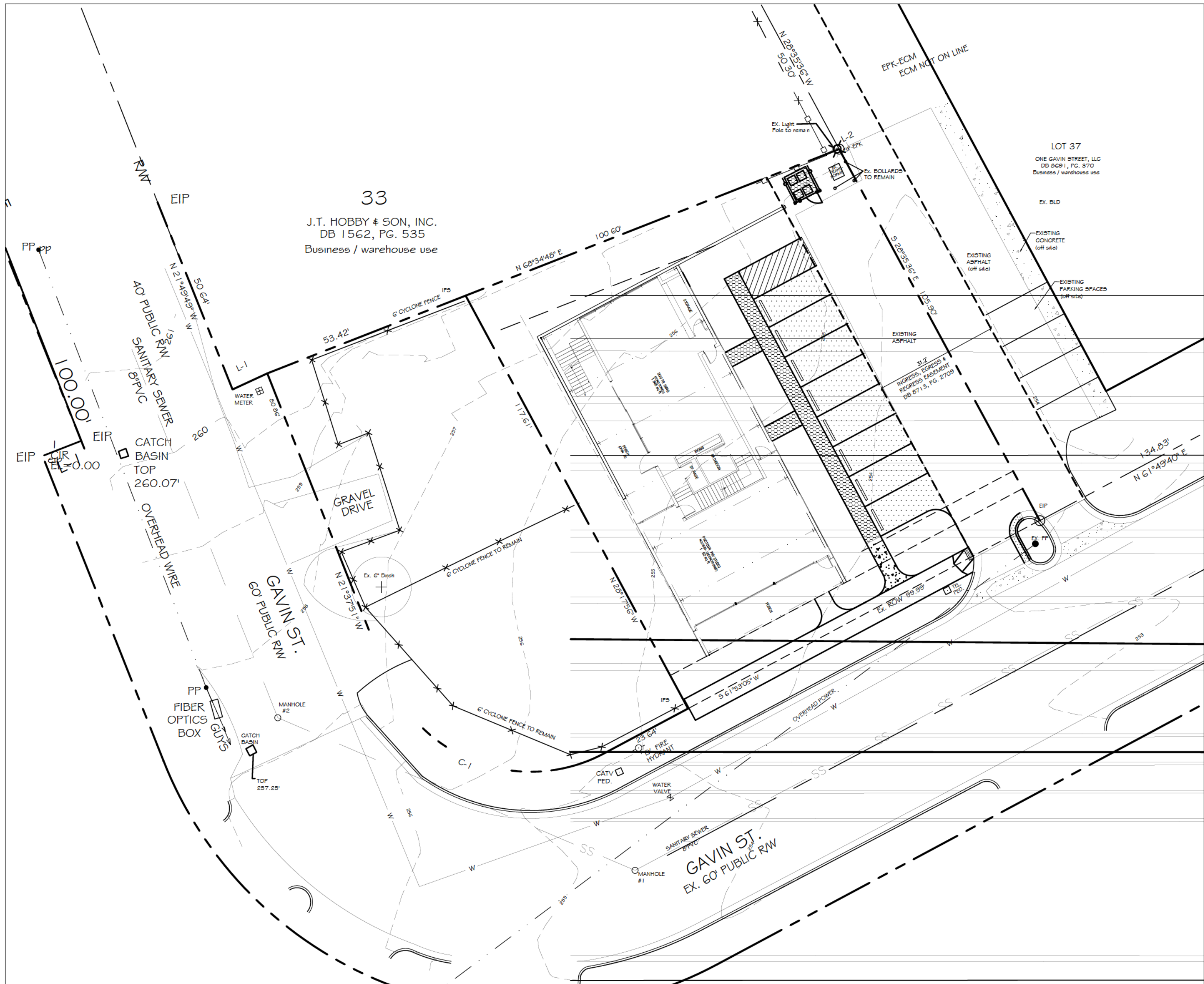
SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Kimberly J Wicker, RLA to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 11 AUG 2020
Printed Name: JERRY STIFELMAN	



Site Data Table: UDO section 3.2.6
Total (Net) Site Area - 10,722 sf or .24 acres

General Use Building - IX-3 Zoning	
REQUIRED:	PROVIDED:
Outdoor Amenity Area:	
10% of site area (net) = 1,072 SF	1,245 SF
Building Setbacks:	
Primary Street - 3' (min.)	3'
Side Street - 3' (min.)	N/A
Side Lot Line - 0' or 6'	10'
Rear Lot Line - 0' or 6'	11.2'
Alley - 5'	N/A
Parking Setbacks:	
Primary Street - 10'	10'
Side Street - 10'	N/A
Side Lot Line - 0' or 3'	N/A
Rear Lot Line - 0' or 3'	8.6'
Building Height:	
Principal Building Height: 3 stories / 50'	35' 7 1/2"
Floor Heights:	
Ground Floor Elevation: 0'	254.5
Ground Story Height (Floor to Floor): 11'	12'
Upper Story Height (Floor to Floor): 9'	10'
Transparency:	
Only applies to ground floor, public ROW fronting side (South elevation)	
Ground Story: 20% (min)	28%
Upper Story: 20% (min)	95%
Blank Wall Max: 50'	N/A
Parking:	
Animal Service - 1/400 SF (indoor only)	1,345 SF (gross floor area ground floor) = 3 spaces
Light Manufacturing - 1/600 SF (office) + 1/3,000 (of additional indoor area)	1,052 SF (gross floor area ground floor) = 1 space
-Photography studio	746 SF (indoor area, second floor) = 1 space
-Office (Photography studio office)	
TOTAL PARKING REQUIRED:	
5 spaces (3 pet service, 2 light manufacturing)	8 PROVIDED
Bicycle Parking: -Light manufacturing - min. of 4 (long term)	
-Pet services - min. of 4 (short term)	4
TOTAL BIKE PARKING REQUIRED: 8	
	8 Provided

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 402 | Raleigh, NC 27601 | 919-696-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #

Planning Coordinator

Building Type

Site Transaction History

☐ Detached

☐ Attached

☐ Apartment

☐ Townhouse

☒ General

☐ Mixed use

☐ Open lot

☐ Civic

Subdivision transaction #:

Certificate of Appropriateness #:

Board of Adjustment #:

Zoning Case #:

Administrative Alternate #:

GENERAL INFORMATION

Development name: 1428 Gavin Street

Inside City limits? ☒ Yes ☐ No

Property address(es): 1428 Gavin Street

Site P.I.N.(s): 1704877557

Please describe the scope of work. Include any additions, expansions, and change of use.

The proposed use is a personal services business (Animal Care). Indoor only, with a photography studio and office (Light Manufacturing). The pet services use provides foundational obedience and rehabilitation training for dogs and their owners. This building / use will be specifically for private follow-up sessions with clients and their dogs, and human-only classes. Dogs will not have unsupervised access to the outdoor areas.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: Lot 1428 LLC - Jerry Stifelman

Title: registered agent of the LLC

Address: 1507 Gavin Street Raleigh, NC 27608

Phone #: 919-259-0405

Email: jerrystifelman@fightbulshitcreatetruth.com

Applicant Name: Kimberly J Wicker, PLA

Company: Coaly Design, PC

Address: 537 E. Martin Street Raleigh, NC 27601

Phone #: 919-539-0012

Email: kimberly@coalydesign.com

Page 1 of 2

REVISION 05.01.19

raleighnc.gov

Owner:
Name(s): Lot 1428 LLC - Jerry Stifelman
Address: 1507 Gavin Street
Raleigh, NC 27608

PIN: 1704877525

Contact Person:
Name: Kimberly Wicker, RLA Coaly Design
Address: 300/200 Parham Street Suite G
Raleigh, NC 27601

Telephone: (919) 539-0012
E-mail address: kimberly@coalydesign.com

General Notes:

- Site is zoned IX-3. The current use is vacant. The gross total site area is 10,722 sf or .24 acres.
- The proposed use is a pet service business (Animal Care) - Indoor only, plus Light Manufacturing - Photo studio
The pet services use is a business which provides foundational obedience and rehabilitation training for dogs and their owners. This building / use will be specifically for private follow-up sessions with clients and their dogs and human only classes.
The training is indoor only; the dogs at this facility will not access the outdoor area, with the exception of short, human-supervised visits - i.e. bathroom breaks.
Section 6.4.9 B - Use Standards:
 - No overnight outdoor activity associated with the care of animals. For the purposes of this section "overnight" constitutes the hours between 11 pm and 7 am.
 - Outdoor activity, including but not limited to, walking and bathing of animals, is permitted during the day, provided that no more than 4 animals are engaged in outdoor activity at a time. For the purposes of this section, "during the day" constitutes the hours between 7 am and 11 pm.
- A proposed mixed use building will be located on the lot totaling 3,143 SF.
- Gavin Street is classified as an industrial street. Required and Provided: 69' ROW, 41' b-b street, 6' planted area (tree lawn), 6' sidewalk, 2' maintenance strip, and a 5' utility strip. See RCMP-0208-2020 for the map that is in submittal for the review and approval of the recorded map. The ROW dedication and utility easement is indicated.
- City of Raleigh Solid Waste Compliance Statement: "Developers have reviewed and are in compliance with the requirements set forth in the City of Raleigh Solid Waste Design Manual. See LA-2 for placement of recycling and trash cans - cart corral and the required screening of the containers from public view.
City of Raleigh Solid waste manual section B-3 states small businesses may be serviced by using 96 gallon City of Raleigh solid waste collection carts. Carts will be brought to the curb of Gavin Street on appropriate City collection day.
- A Design Alternate for complete relief from the cross access requirements set forth in Section 8.3.5.D, of the Unified Development Ordinance, was granted by the Appearance Commission on December 3, 2020. DA-2-20

SHEET INDEX
COVER SHEET
RECORDED MAP
LA-1 EXISTING CONDITIONS PLAN
LA-2 SITE PLAN
LA-3 GRADING PLAN
LA-4 LANDSCAPE PLAN
LA-5 DETAIL SHEET
C-1 UTILITY PLAN
C-2 UTILITY DETAILS
A101 FIRST FLOOR PLAN
A102 SECOND FLOOR PLAN
A103 ROOF PLAN
A201 ARCHITECTURAL ELEVATIONS

1428 GAVIN STREET

ADMINISTRATIVE
SITE REVIEW
ASR-0063-2020

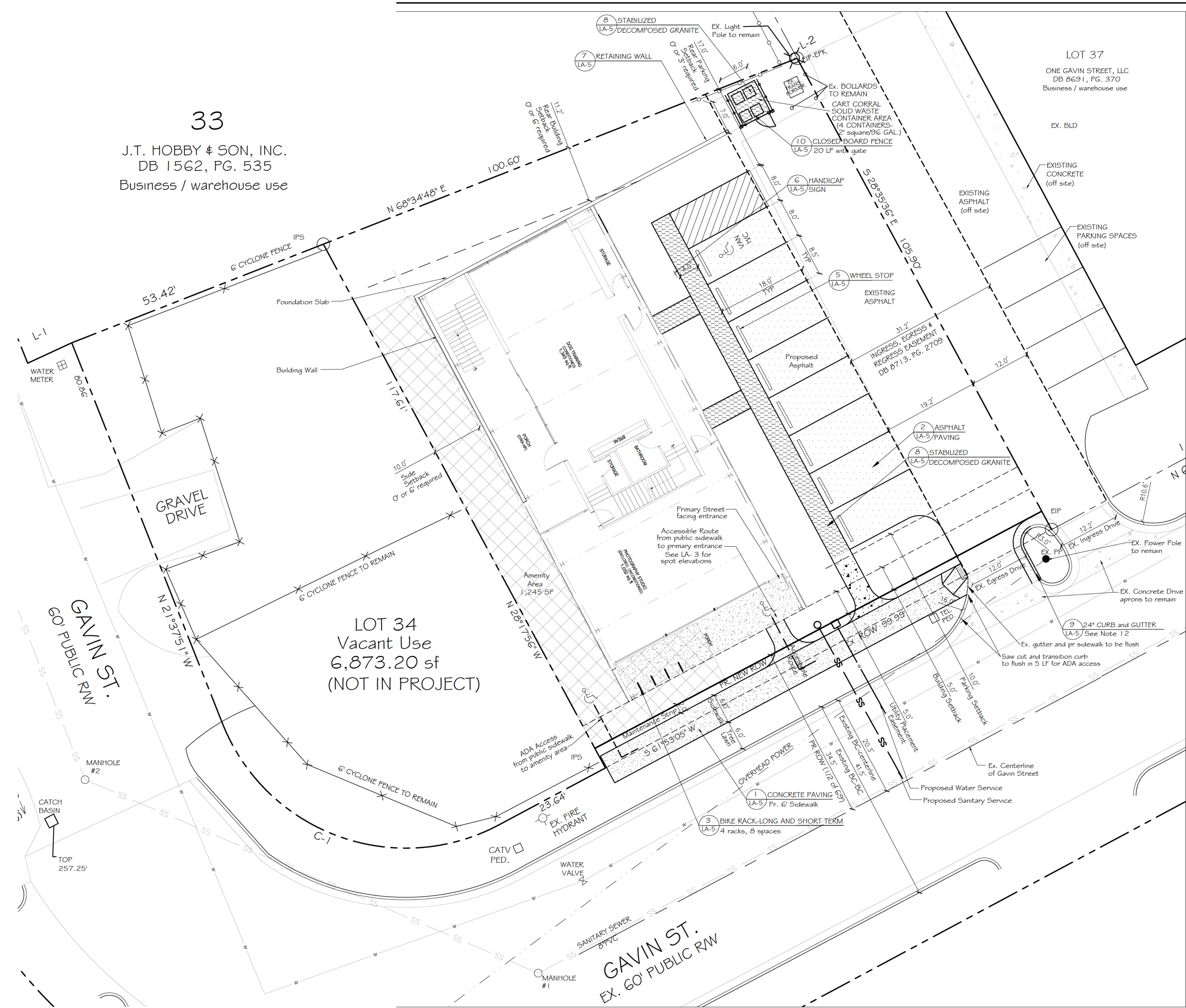
August 12, 2020

Revised January 5, 2021

Coaly
DESIGN
300 / 200 Parham Street
Suite G
Raleigh, NC 27601
919 539 0012

33

J.T. HOBBY & SON, INC.
DB 1562, PG. 535
Business / warehouse use



SITE HAS AN APPROVED DESIGN ADJUSTMENT FOR CROSS ACCESS TO THE ADJACENT PROPERTY TO THE WEST - DA-2-20

Site Plan Notes

1. Site plan reflects a proposed mixed use building at 1428 Gavin Street. Existing Lot 34 not in project.
2. All dimensions are at 90° unless otherwise noted.
3. Base survey provided by Barry Scott, PLLC, dated June 2019.
4. All dimensions are to back of curb, face of building, or centerline unless otherwise noted.
5. Gavin Street is classified as an Industrial Street - 69' ROW with a 41' BC-BC. (1/2 of a 69' ROW is provided). No pavement width change- existing pavement width is 41.5'. Gavin Street provides a Mixed Use Streetscape section. Centerline of street is noted on site plan.
6. The centerline of Gavin street is measured as stated in Chapter 7 of RSDM. Landscape architect field verified the centerline.
7. Proposed Net Lot area - 10,722 sf, .24 acres. Amenity Area - 10,722 sf x 10% = 1,072 sf required. Amenity area indicated on the site plan; 1,245 sf provided. A 6' public sidewalk has been provided to access the amenity area and accessible routes are indicated with spot elevations on LA-3.
8. UDO Section 9.2.2.A.4, This lot is subject to a maximum impervious coverage based on zoning or the documented existing coverage, whichever is greater.
Ex. Lot Area - 10,722 sf (Gross area, excluding ROW dedication)
Ex. Grass Area - 412.70 sf
Ex. impervious surface - 10,309.3 sf
Proposed impervious surface (building, concrete, and asphalt parking) = 7,149 sf
9. Bike parking: Min of 4 short term and 4 long term - total of 8 bike parking spaces provided.
10. City of Raleigh Solid Waste Compliance Statement: Developers have reviewed and are in compliance with the requirements set forth in the City of Raleigh Solid Waste Design Manual, B3 and C7 (for cart corral).
11. No Tree Conservation Plan required - site is less than 2 acres.
12. HVAC unit to be mounted on the roof of building - not visible from the public ROW.
13. Existing curb and gutter at egress drive to be saw cut at points indicated on demolition plan, as needed to ensure egress drive is minimum 12' wide. Proposed curb and gutter to meet existing to remain, flush.
14. The proposed use is a pet service business (Animal Care) - Indoor only.
The pet services use is a business which provides foundational obedience and rehabilitation training for dogs and their owners. This building / use will be specifically for private follow-up sessions with clients and their dogs and human only classes.
The training is indoor only; the dogs at this facility will not access the outdoor area, with the exception of short, human-supervised visits. i.e. bathroom breaks
Section 6.4.9 B - Use Standards:
1. No overnight outdoor activity associated with the care of animals. For the purposes of this section "overnight" constitutes the hours between 11 pm and 7 am.
2. Outdoor activity, including but not limited to, walking and bathing of animals, is permitted during the day, provided that no more than 4 animals are engaged in outdoor activity at a time. For the purposes of this section, "during the day" constitutes the hours between 7 am and 11 pm.

Additional use for the building is Light Manufacturing - Photo studio with a small office.

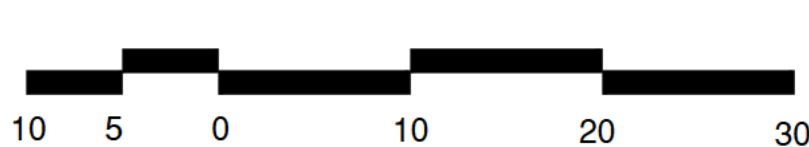
LEGEND

	Proposed Asphalt Paving / Curb and gutter		Proposed Amenity Area 1,245 sf provided
	Existing Asphalt Paving		Stabilized Decomposed Granite Sidewalk Meeting requirements of ICC A117.1-2009 Section 403.2
	Proposed sidewalk		Foundation Wall
			Retaining Wall

Site Data Table: UDO section 3.2.6
Total (Net) Site Area - 10,722 sf or .24 acres

General Use Building - IX-3 Zoning		REQUIRED:		PROVIDED:	
Outdoor Amenity Area:		10% of site area (net)= 1,072 SF		1,245 SF	
Building Setbacks:		Primary Street - 3' (min.)		3'	
		Side Street - 3' (min.)		N/A	
		Side Lot Line - 0' or 6'		10'	
		Rear Lot Line - 0' or 6'		11.2'	
		Alley - 5'		N/A	
Parking Setbacks:		Primary Street - 10'		10'	
		Side Street - 10'		N/A	
		Side Lot Line - 0' or 3'		N/A	
		Rear Lot Line - 0' or 3'		8.6'	
Building Height:		Principal Building Height: 3 stories / 50'		35' 7 1/2"	
Floor Heights:		Ground Floor Elevation: 0'		254.5	
		Ground Story Height (Floor to Floor): 11'		12'	
		Upper Story Height (Floor to Floor): 9'		10'	
Transparency:		Only applies to ground floor, public ROW fronting side (South elevation)			
		Ground Story: 20% (min)		28%	
		Upper Story: 20% (min)		95%	
		Blank Wall Max: 50'		N/A	
Parking:		Animal Service - 1/400 SF (indoor only)		1,345 SF (gross floor area ground floor) = 3 spaces	
		Light Manufacturing - 1/600 SF (office) + 1/3,000 (of additional indoor area)		1,052 SF (gross floor area ground floor = 1 space	
		-Photography studio		746 SF (indoor area, second floor) = 1 space	
		-Office (Photography studio office)			
TOTAL PARKING REQUIRED:		5 spaces (3 pet service, 2 light manufacturing)		8 PROVIDED	
Bicycle Parking:		-Light manufacturing - min. of 4 (long term)		4	
		-Pet services - min. of 4 (short term)		4	
TOTAL BIKE PARKING REQUIRED:		8		8 Provided	

SITE PLAN



Coaly

DESIGN
LANDSCAPE ARCHITECTURE
LAND PLANNING
300 / 200 Potham Street
Raleigh, NC 27601
919.539.0012

1428 GAVIN
1428 GAVIN STREET
RALEIGH, NC

Consultants

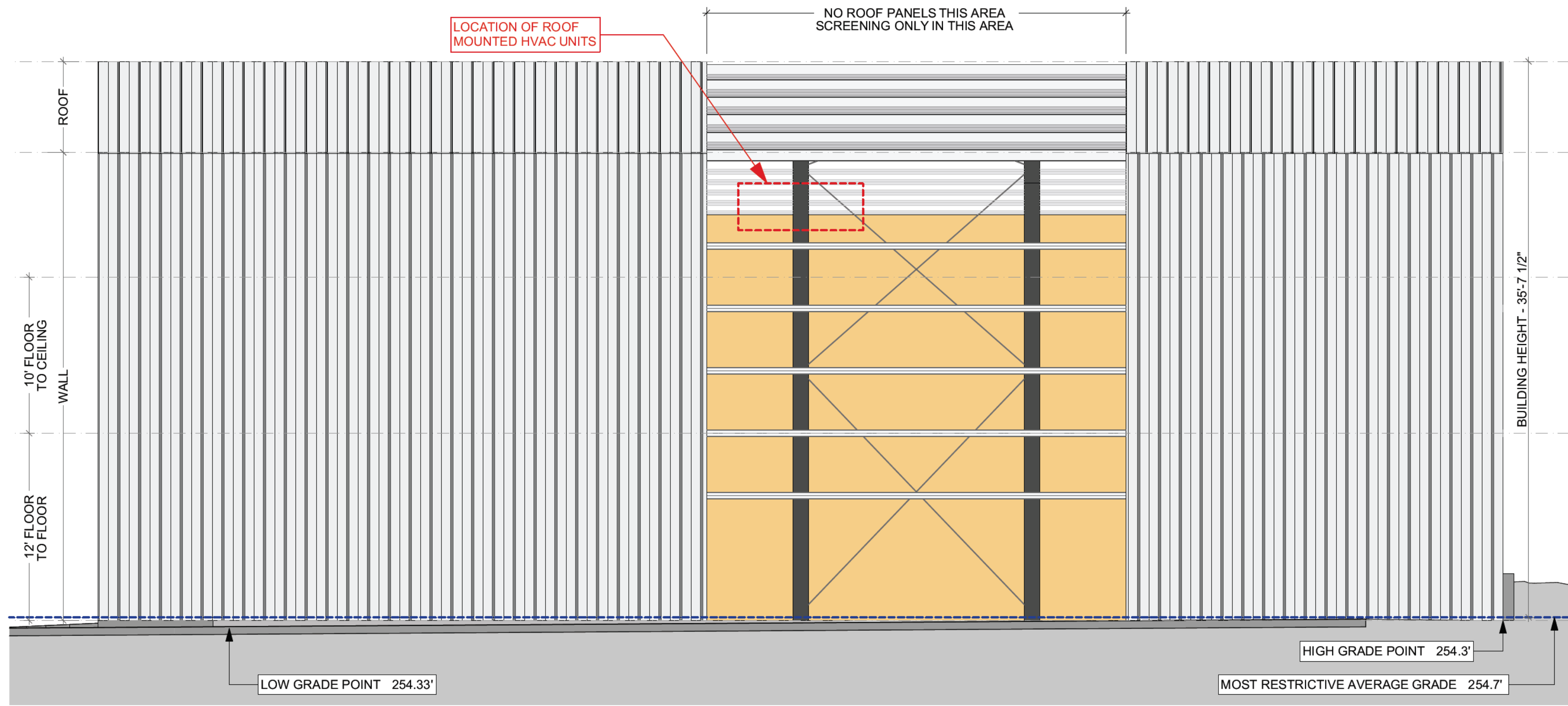
Professional Seals

Date Issued:	8.12.20	Scale	1"=10'	By	RBS	Checked by:	KJW
No.	1	Description	Per Comments	Date	1.5.21	Drawn by:	KJW

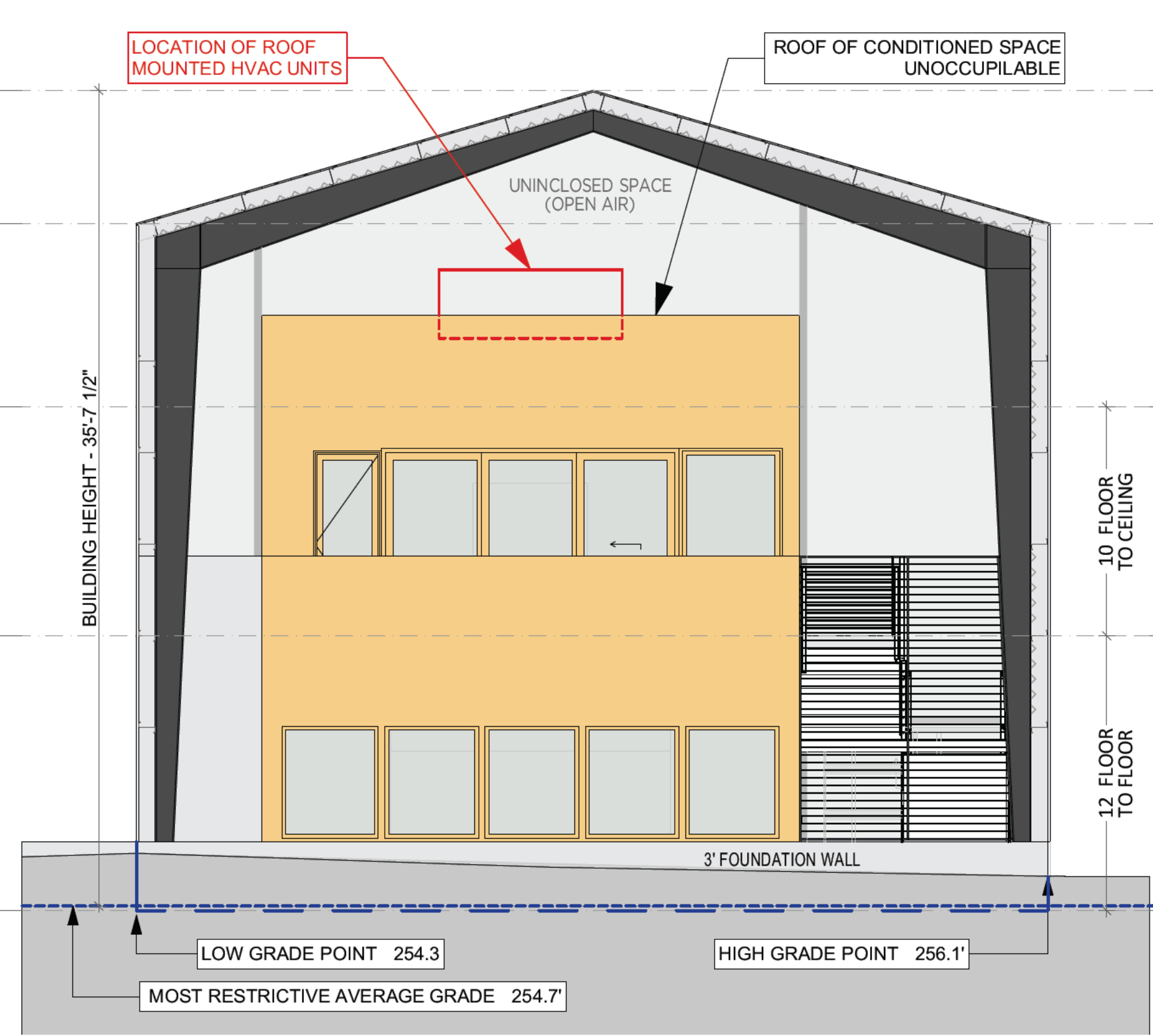
Revisions

No.	Description	Date	Drawn by:	Checked by:
1	Per Comments	1.5.21	KJW	KJW

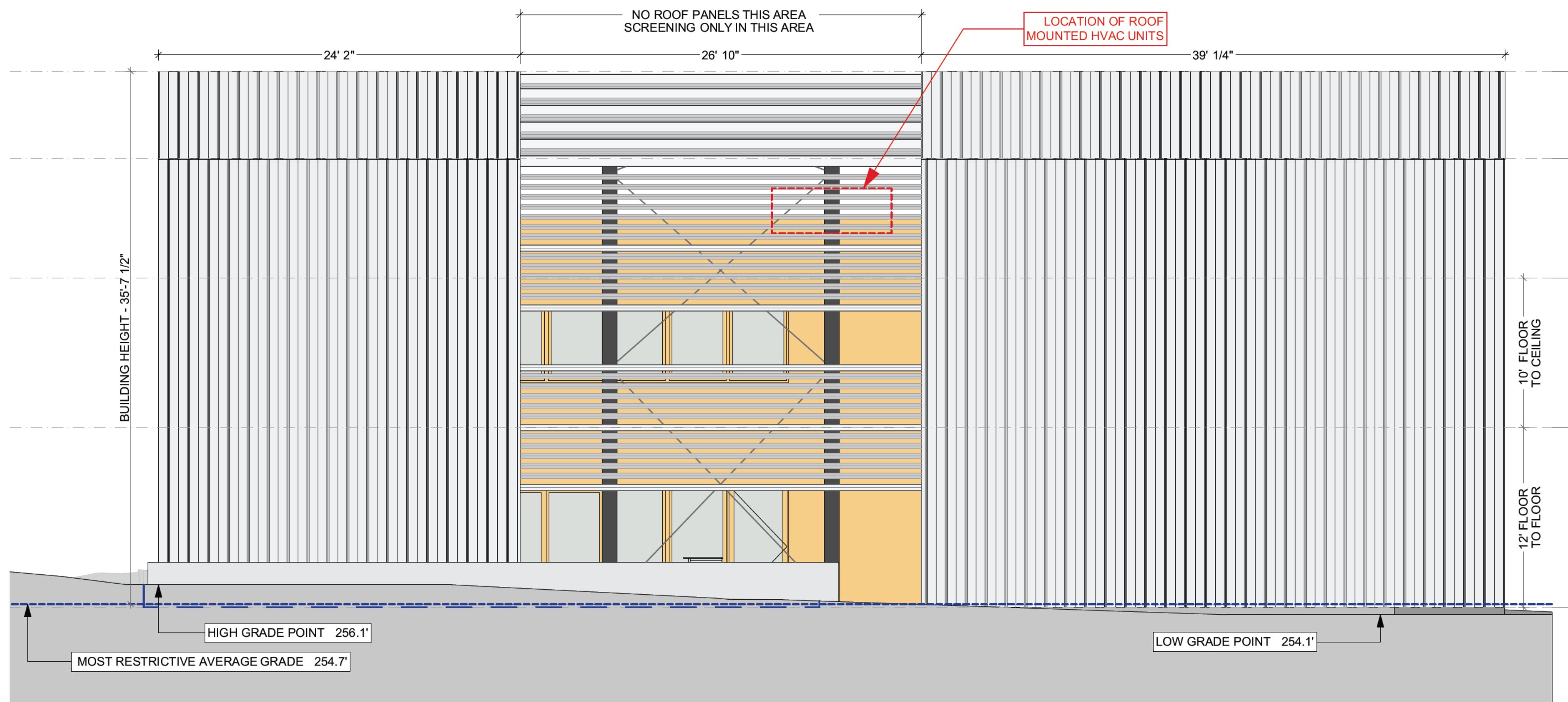
LA-2



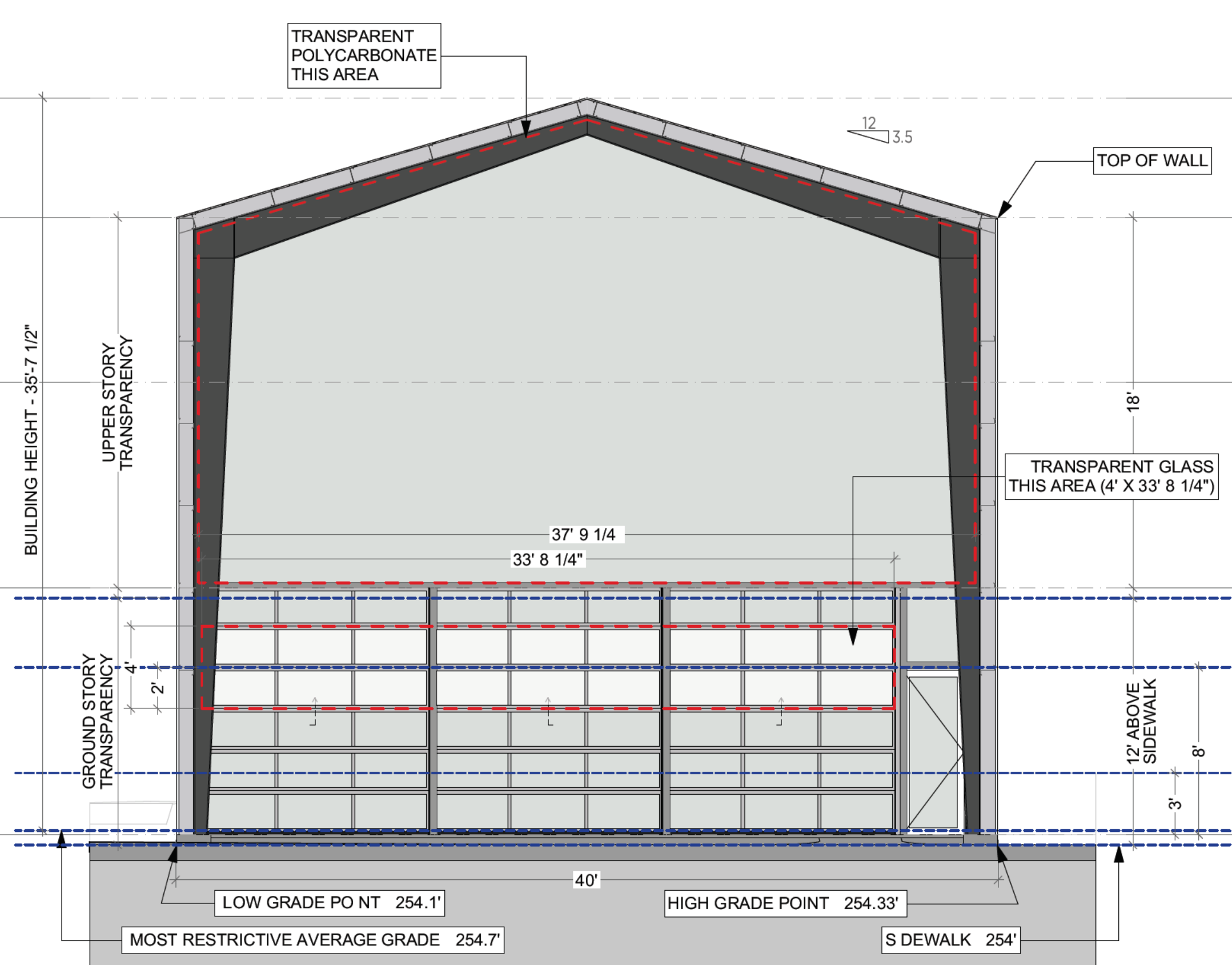
1 EAST
A201 SCALE: 3/16" = 1' 0" 0 4' 8' 12'



2 NORTH (Rear Elevation)
A201 SCALE: 3/16" = 1' 0" 0 4' 8' 12'



3 WEST
A201 SCALE: 3/16" = 1' 0" 0 4' 8' 12'



4 SOUTH
A201 SCALE: 3/16" = 1' 0" 0 4' 8' 12'

Façade	Pre-development Grade			Improved Grade		
	Lowest Elevation (ft)	Highest Elevation (ft)	Average elevation (ft)	Lowest Elevation (ft)	Highest Elevation (ft)	Average elevation (ft)
North	256.2	257.25	256.725	254.3	256.1	255.2
South	254.1	254.5	254.3	254.1	254.33	254.22
East	254.1	256.2	255.15	254.3	254.33	254.32
West	254.5	257.25	255.88	254.1	256.1	255.1
Pre-development Grade Average Elevation =			255.51	Improved Grade Average Elevation = 254.71		
Most Restrictive Average Grade = 254.71'						

General Notes:

- Per UDO Sec. 1.5.9.B.4 - Glass shall be considered transparent when it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.
- Grade levels are taken from the building structure (enclosed structure).
- Allowable building height = 50'/3 stories
Proposed principal building height = 35'-7 1/2'/ 2 stories
- Photography studio at front of building, behind south facade, is a double heighted space (no second story behind facade).

Transparency

Ground story facade = 40'Wx12'H = 480 sq ft
Required transparency for ground story 20% = 96 sq ft
Provided ground story transparency = 33.7'Wx4'H = 34.8 sq ft
Provided ground story transparency percentage = 134.8/480 = 28%

50% of Required transparency between 3' and 8' = 48 sq ft
Provided transparency between 3' and 8' = 33.7'Wx2'H = 67.4 sq ft
Provided transparency between 3' and 8' percentage = 67.4/96 = 70%
Required area located between 3'-8' of the facade is shown on 4-A201.

Upper story facade = 40'Wx18'H = 720 sq ft
Required transparency for upper story 20% = 144 sq ft
Provided upper story transparency = 37.8'Wx18'H = 680.4 sq ft
Provided upper story transparency percentage = 680.4/720 = 95%



REdesign.build
po box 10330
raleigh nc 27605

ph 919.829.0109
fax 919.829.3579

Not FOR
CONSTRUCTION
Unless Signed

Printed
9/18/2020

Oliveto-Stifelman
Studio

1428 Gavin St.
Raleigh, NC 27608

ELEVATIONS

A201