



# Administrative Approval Action

Case File / Name: ASR-0063-2020  
1428 Gavin st

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the south side of Pershing Road, north of Gavin Street, at 1428 Gavin St. (this approved ASR is a revision to the previously withdrawn site plan case ASR-0049-2020 on the same site).

**REQUEST:** Design Alternate - (DA-2-20) Approved December 3, 2020 by the Appearance Commission for complete relief from cross access requirements per Sec.8.3.5.D of the UDO.  
Development of an approximately 0.25 acre (11,172 sf) tract zoned IX-3 into a proposed 3,143 square foot 2-story Mixed-Use building (1,345 sf Animal Service & 1,798 sf Light Manufacturing).

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 5, 2021 by Coaly Design, PC.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **General**

1. Provide the gross total site area of the lot on all plats for recording.

### **Engineering**

2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



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## Stormwater

4. The new maximum allocated impervious area for the lot will be the existing lot impervious minus proposed impervious to be added to the right-of-way, and should be identified on all maps for recording.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. A demolition permit shall be obtained.

## Engineering

2. A public infrastructure surety for 2 street trees in tree lawn shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

## Stormwater

4. The new maximum allocated impervious area for the lot will be the existing lot impervious minus proposed impervious to be added to the right-of-way, and must be recorded on a plat prior to building permit issuance.

## Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 understory street trees along Gavin St.

*The following are required prior to issuance of building occupancy permit:*

## Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following



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must take place by the following dates:

**3-Year Expiration Date:** June 10, 2024

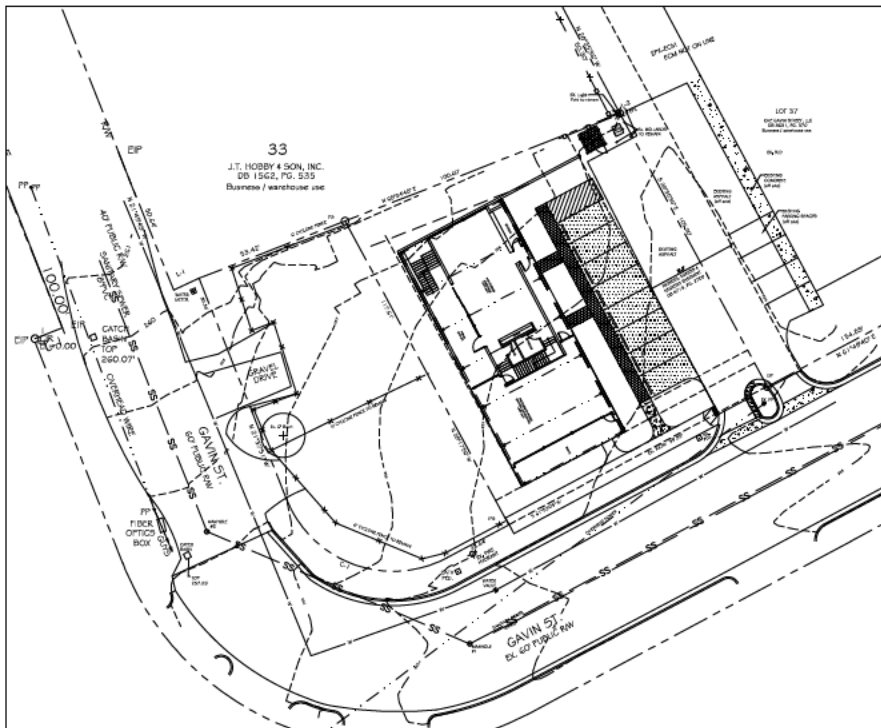
Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 02/11/2021  
Development Services Dir/Designee  
Staff Coordinator: Jermont Purifoy



Site Data Table: UDO section 3.2.6  
Total (Net) Site Area - 10,722 sf or .24 acres

General Use Building - D-3 Zoning

REQUIRED:

Outdoor Amenity Area:

10% of site area (net) = 1,072 SF

Building Setbacks:

Primary Street - 3' (min.)

Side Street - 3' (min.)

Side Lot Line - 0' or 6'

Rear Lot Line - 0' or 6'

Alley - 5'

Parking Setbacks:

Primary Street - 10'

Side Street - 10'

Side Lot Line - 0' or 3'

Rear Lot Line - 0' or 3'

Building Height:

Principal Building Height: 3 stories / 50'

Floor Heights:

Ground Floor Elevation: 0'

Ground Story Height (Floor to Floor): 11'

Upper Story Height (Floor to Floor): 9'

Transparency:

Only applies to ground floor, public ROW fronting side (South elevation)

Ground Story: 20% (min)

Upper Story: 20% (min)

Blank Wall Max: 50'

Parking:

Animal Service - 1/400 SF

Light Manufacturing - 1/600 SF (office) + 1/3,000 (of additional indoor area)

Photography studio

746 SF (indoor area, second floor)

Office (Photography studio office)

1,345 SF (gross floor area ground floor) = 3 spaces

1,052 SF (gross floor area ground floor) = 1 space

746 SF (indoor area, second floor) = 1 space

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746 SF (indoor area, second floor) = 1 space

Owner:

Name(s): Lot 1428 LLC - Jerry Strfelman

Address: 1507 Gavin Street

Raleigh, NC 27608

PIN: 1704877525

Contact Person:

Name: Kimberly Wicker, RLA Coaly Design

Address: 300/200 Parham Street Suite G

Raleigh, NC 27601

Telephone: (919) 539-0012

E-mail address: kimberly@coalydesign.com

General Notes:

1. Site is zoned IX-3. The current use is vacant. The gross total site area is 10,722 sf or .24 acres.

2. The proposed use is a pet service business (Animal Care) - Indoor only, plus Light Manufacturing - Photo studio

The pet services use is a business which provides foundational obedience and rehabilitation training for dogs and their owners. This building / use will be specifically for private follow-up sessions with clients and their dogs and human only classes.

The training is indoor only; the dogs at this facility will not access the outdoor area, with the exception of short, human-supervised visits - i.e. bathroom breaks.

Section 6.4.9 B - Use Standards:

1. No overnight outdoor activity associated with the care of animals. For the purposes of this section "overnight" constitutes the hours between 11 pm and 7 am.

2. Outdoor activity, including but not limited to, walking and bathing of animals, is permitted during the day, provided that no more than 4 animals are engaged in outdoor activity at a time. For the purposes of this section, "during the day" constitutes the hours between 7 am and 11 pm.

3. A proposed mixed use building will be located on the lot totaling 3,143 SF.

4. Gavin Street is classified as an industrial street. Required and Provided: 69' ROW, 41' b-b street, 6' planted area (tree lawn), 6' sidewalk, 2' maintenance strip, and a 5' utility strip. See RCMP-0208-2020 for the map that is in submittal for the review and approval of the recorded map. The ROW dedication and utility easement is indicated.

5. City of Raleigh Solid Waste Compliance Statement: "Developers have reviewed and are in compliance with the requirements set forth in the City of Raleigh Solid Waste Design Manual. See LA-2 for placement of recycling and trash cans - cart corral and the required screening of the containers from public view.

City of Raleigh Solid waste manual section B-3 states small businesses may be serviced by using 96 gallon City of Raleigh solid waste collection carts. Carts will be brought to the curb of Gavin Street on appropriate City collection day.

6. A Design Alternate for complete relief from the cross access requirements set forth in Section 8.3.5.D, of the Unified Development Ordinance, was granted by the Appearance Commission on December 3, 2020. DA-2-20

## SHEET INDEX

COVER SHEET

RECORDED MAP

LA-1 EXISTING CONDITIONS PLAN

LA-2 SITE PLAN

LA-3 GRADING PLAN

LA-4 LANDSCAPE PLAN

LA-5 DETAIL SHEET

C-1 UTILITY PLAN

C-2 UTILITY DETAILS

A101 FIRST FLOOR PLAN

A102 SECOND FLOOR PLAN

A103 ROOF PLAN

A201 ARCHITECTURAL ELEVATIONS

## 1428 GAVIN STREET

ADMINISTRATIVE

SITE REVIEW

ASR-0063-2020

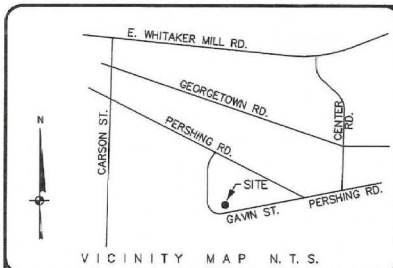
August 12, 2020

Revised January 5, 2021



**Coaly**  
DESIGN  
300 / 200 Parham Street  
Suite G  
Raleigh, NC 27601  
919.539.0012





**LEGEND**

--- LINES SURVEYED  
 --- LINES NOT SURVEYED  
 E.I.P. --- EXISTING IRON PIPE  
 I.P.S. --- IRON PIPE SET  
 C.M.S. --- CONCRETE MONUMENT SET  
 E.C.M. --- EXISTING CONCRETE MONUMENT  
 F.K.S. --- F.K. NAIL SET  
 E.P.K. --- EXISTING P.K. NAIL  
 R/W --- RIGHT OF WAY  
 D.B. --- DEED BOOK  
 P.P. --- POWER POLE  
 O.H.W. --- OVER HEAD WIRE  
 R.R.S. --- RAILROAD SPIKE  
 (1234) --- ADDRESSES

O a. This survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.  
 O b. This survey is located in a portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land.  
 O c. Any one of the following:  
 1. That the survey is of an existing parcel or parcels of land and does not create a new street or change an existing street;  
 2. That the survey is of an existing building or other structure, or natural feature, such as a watercourse; or  
 3. That the survey is a control survey.  
 O d. This survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exception to the definition of subdivision.  
 O e. The information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a) through (d) above.

This parcel is located in the RALEIGH Planning Jurisdiction.

NORTH CAROLINA  
 WAKE COUNTY

I, Barry L. Scott, certify that this plat was drawn under my supervision from (an actual survey made under my supervision)(deed description recorded in Book 16070, page 267 etc.) (other), that the boundaries not surveyed are clearly indicated as drawn from information found in Book REF., that the ratio of position or positional accuracy as calculated is 1:10,000+; that this plat was prepared in accordance with NCGS 47-30 amended. Witness my original signature, registration number and seal this 16th day of March A.D. 2020

**PRELIMINARY PLAT**  
 NOT FOR RECORDATION,  
 SALES, OR CONVEYANCES

**PROPERTY OWNER CERTIFICATE**

This certifies and warrants that the undersigned is (are) the sole owner(s) of the property shown on the map or plat, and any accompanying sheets having acquired the property in fee simple by deed(s) recorded in the county register of deeds office where the property is located and as such has (have) the right to convey the property in fee simple and that the dedicatory(s) hereby agree to warrant and defend the title against any claims of all persons whomsoever excepted as specifically listed herein and that by recording this plat or map I (we) do irrevocably dedicate to the City of Raleigh for public use all streets, easements, rights-of-way, parks and greenways (as those interest are defined in the City Code) and as the same are shown on the plat for all lawful purposes to which the City may devote or allow the same use and upon acceptance thereof, in accordance with all City policies, ordinances, regulations or conditions of the City of Raleigh, for the benefit of the public provided any dedication of easements for storm drainage not specifically labeled City of Raleigh or public are not made to the City of Raleigh, but are irrevocably made to the subsequent owners of any and all properties shown hereon for their use and benefit.

16070 Book No.  
 267 Page No.  
 Signature(s) of property owner(s)

CLASS OF SURVEY: A  
 POSITIONAL ACCURACY: 0.02 U.S. SURVEY FEET  
 TYPE OF GPS FIELD PROCEDURE: RTK  
 DATES OF SURVEY: 6-20-19  
 DATUM/EPOCH: NAD 83/2011  
 PUBLISHED/FIELD-CONTROL USE: NC CORS "NCUL2"  
 GEOID MODEL: 2012  
 COMBINED GRID FACTOR(S): 0.99991274  
 UNITS: U.S. SURVEY FEET

OWNER  
 LOT 1428 LLC  
 1507 GAVIN ST.  
 RALEIGH, N.C. 27608

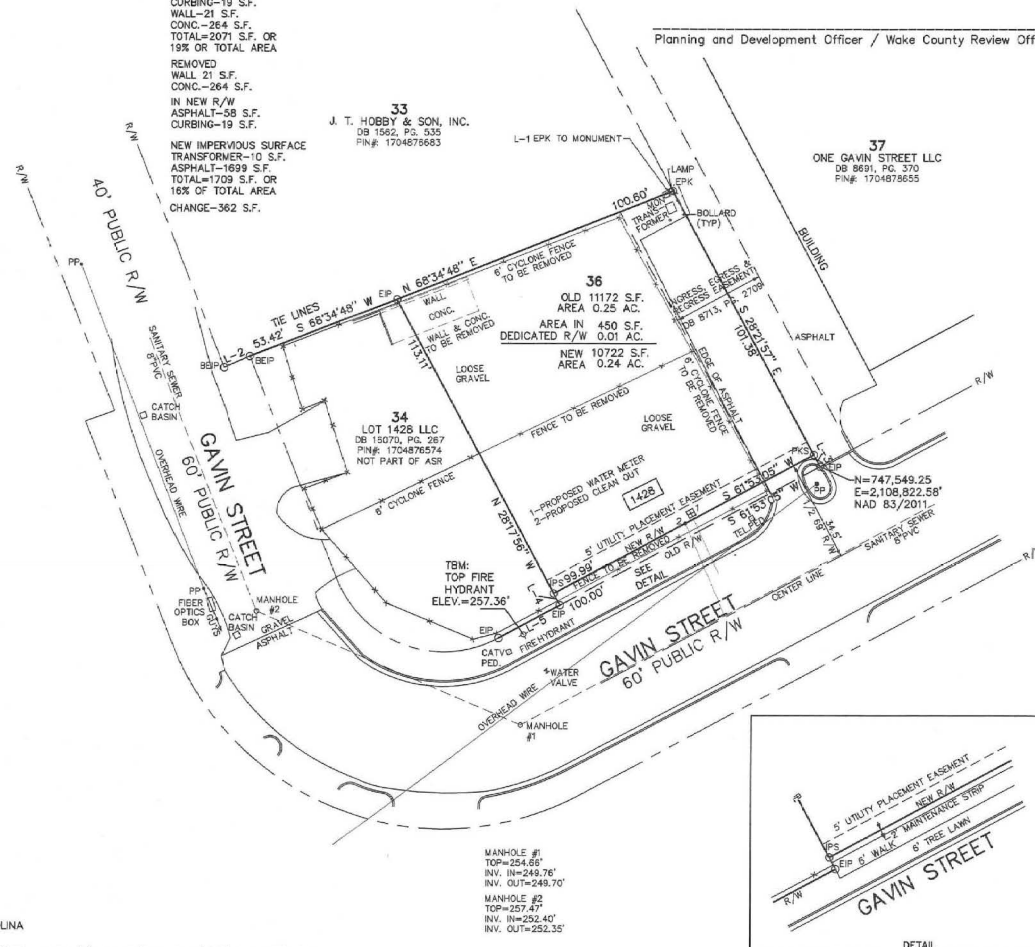
LINE DATA		
NUMBER	BEARING	DIST.
L-1	S 62°28'08" W	2.70'
L-2	S 61°44'49" W	9.50'
L-3	S 26°21'57" E	4.50'
L-4	N 28°17'56" W	4.50'
L-5	S 81°53'05" W	23.64'

EXISTING IMPERVIOUS SURFACE:  
 TRANSFORMER-10 S.F.  
 ASPHALT-1757 S.F.  
 CURBING-19 S.F.  
 WALL-21 S.F.  
 CONC.-264 S.F.  
 TOTAL=2071 S.F. OR  
 18% OF TOTAL AREA

REMOVED  
 WALL 21 S.F.  
 CONC.-264 S.F.  
 IN NEW R/W  
 ASPHALT-58 S.F.  
 CURBING-19 S.F.

NEW IMPERVIOUS SURFACE  
 TRANSFORMER-10 S.F.  
 ASPHALT-1699 S.F.  
 TOTAL=1709 S.F. OR  
 16% OF TOTAL AREA  
 CHANGE=362 S.F.

J. T. HOBBS & SON, INC.  
 DB 1562, PG. 635  
 PIN# 1704875653



"I, the undersigned Planning Director of the City of Raleigh, and Review Officer for Wake County, do hereby certify that this map or plat meets all the statutory requirements for recording, and that the City of Raleigh, as provided by the City Code, on the \_\_\_\_\_ day of \_\_\_\_\_ in the year \_\_\_\_\_ approved this plat or map and accompanying sheets and accepted for the City of Raleigh the dedication as shown thereon, but on the further condition that the City assumes no responsibility to open or maintain the same until in the discretion and opinion of the governing body of the City of Raleigh it is in the public interest to do so.

Planning and Development Officer / Wake County Review Officer\*

COMBINED FACTOR  
 0.99991274

RIGHT-OF-WAY AND 5' UTILITY PLACEMENT EASEMENT DEDICATION PLAT  
 PROPERTY OF

**B. L. SCOTT**  
**LAND SURVEYING**  
 PROFESSIONAL LAND SURVEYORS  
 1507 GAVIN ST.  
 RALEIGH, NORTH CAROLINA 27608  
 TEL 919/898-0464  
 JOB NO : 20-03-04

**LOT 1428 LLC**  
**1428 GAVIN ST. - RALEIGH, N.C.**  
 PIN(S): 1704875657  
 STATE OF NORTH CAROLINA, U.S.A.

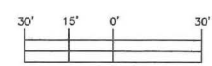
PARCEL(S):  
 COUNTY: WAKE  
 TAX MAP:  
 ZONED: IX-3  
 TOWNSHIP: RALEIGH

DATE: 03-16-20  
 FIELD BK: M670/15  
 SURVEYED BY: CP  
 REVISED:  
 DATE: 10-21-20  
 TOWNSHIP: RALEIGH

THIS PLAT NOT TO BE RECORDED  
 AFTER \_\_\_\_\_ DAY OF \_\_\_\_\_  
 1 COPY TO BE RETAINED FOR THE CITY.  
 THIS PLAT IS X IN \_\_\_\_\_ OUT OF \_\_\_\_\_  
 THE CITY LIMITS.

NOTES:  
 1. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA MAP # 3720170400J  
 EFFECTIVE DATE: MAY 2, 2006

PLAT REFERENCE  
 BOM 1620, PG. 186 W.C.R.  
 BOM 2019, PG. 1571 W.C.R.

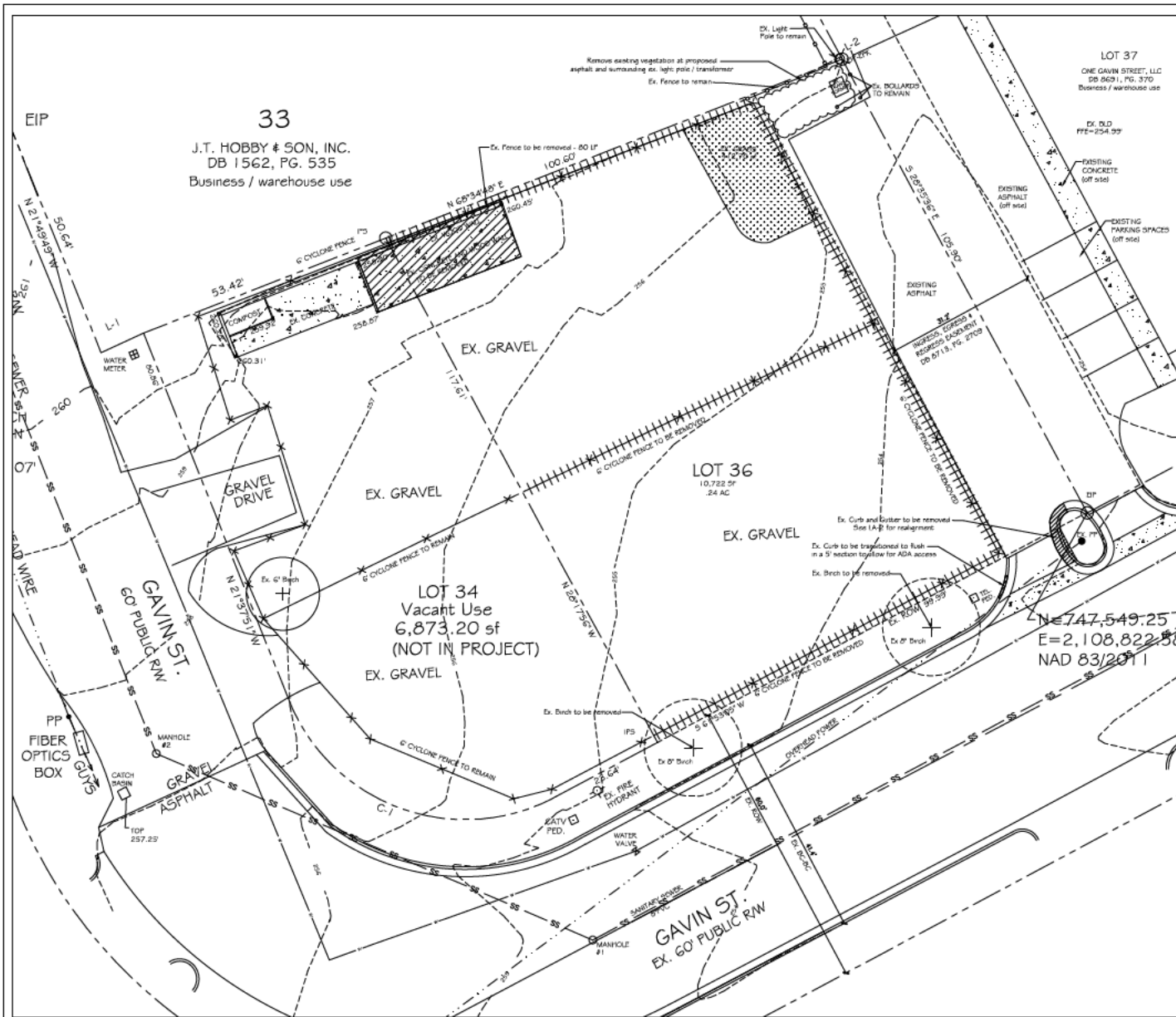


1" = 30'  
 HORIZONTAL GROUND DISTANCE  
 AREA COMPUTED BY COORD.  
 GEOMETRY METHOD

RCMP-0208-2020  
 ASR-0049-2020  
 A-178-19

THIS PLAT RECORDED IN B.O.M. / P.B. / P.C. \_\_\_\_\_, PG. \_\_\_\_\_, WAKE COUNTY REGISTRY

LOT 36, GEORGETOWN AS RECORDED IN B.O.M. 2019, PG. 1571 W.C.R.



- Existing Conditions Notes:**
- Existing site is impervious (gravel) with the exception of a small grass area in the northeast corner.
  - Ex. Lot Area - 10,722 sf
  - Ex. Grass Area - 412.70 sf
  - Ex. Impervious surface - 10,309.3 sf
  - See DB 8713, Page 2709 for deed reference of access easement.
  - Contractor shall be responsible to immediately fix any active utilities damaged during construction at contractor's expense. The owner will pay to move or repair any utilities encountered during construction which are not identified on construction documents or site survey.
  - All material generated by the demolition will be hauled from the site and disposed of per local ordinances.
  - Saw-cut concrete and asphalt pavement, sidewalk or curb and gutter before excavation where construction plans show toe-ins.
  - Gavin Street shall remain open and unobstructed to traffic at all times. Contractor is responsible for traffic control during construction, as needed. Repair or replace any adjacent concrete curbing and/or sidewalk damaged as part of demolition process.
  - Base survey provided by Barry Scott, LLC, dated June 2019.
  - Site is less than 2 acres, no tree conservation is required.

- Legend:**
- To Be Removed
  - Existing Asphalt
  - Existing Concrete Paving
  - Ex. Fence to be removed

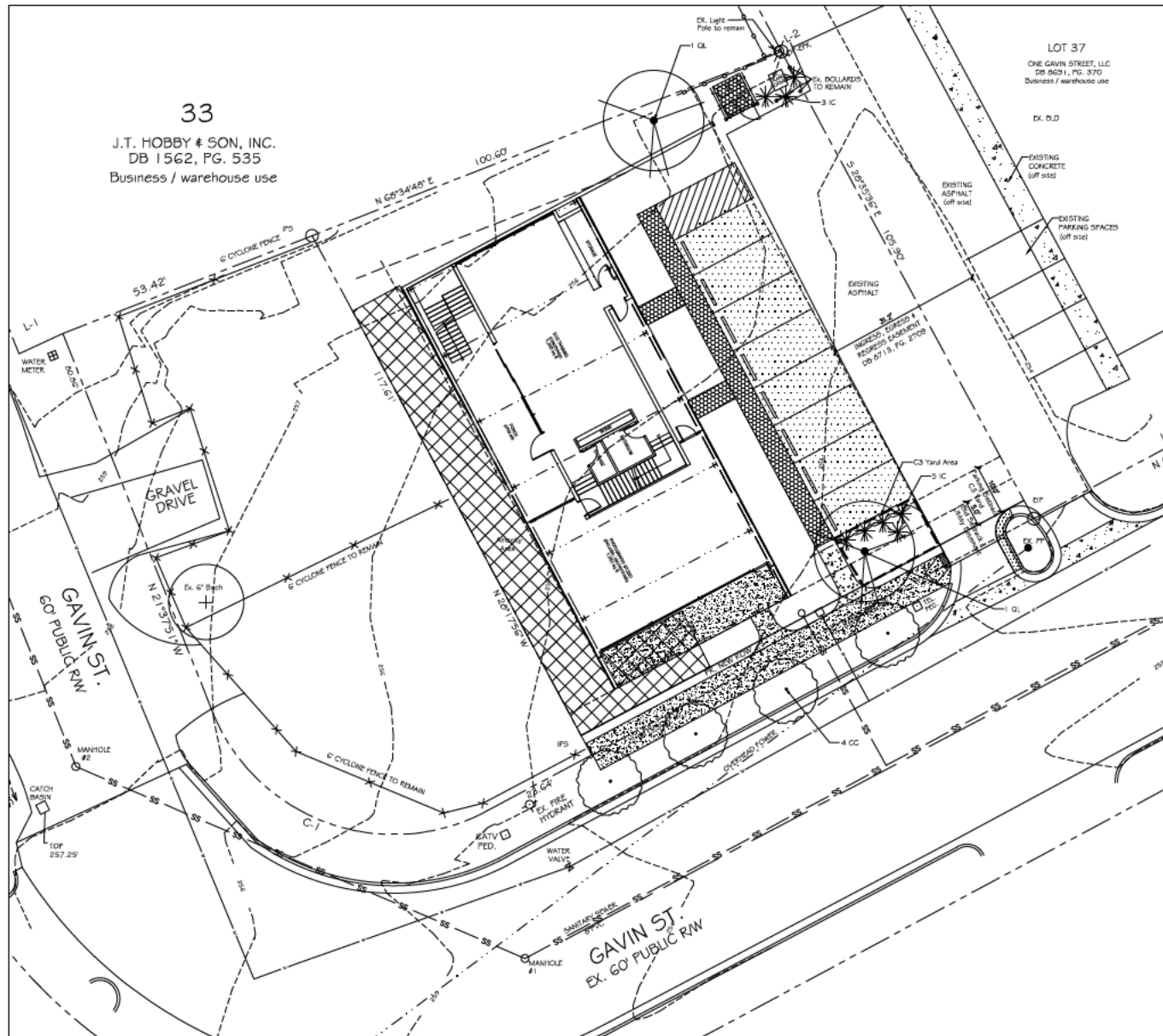
Revisions	No.	Description	Date Issued	Scale	By	Scale	1"=10'
	1	Per Comments	11.5.21	1"=10'	RBS	1"=10'	
		Checked by:	KJW				

J.T. HOBBY & SON, INC.  
DB 1562, PG. 535  
Business / warehouse use



33

J.T. HOBBY & SON, INC.  
DB 1562, PG. 535  
Business / warehouse use



LOT 37  
ONE GAVIN STREET, LLC  
DB 8651, PG. 370  
Business / warehouse use

#### City of Raleigh Planting Requirements:

- STREET TREES:** Gavin Street  
Street trees provided at 1 / 20 ft of frontage  
Following TC 17.13, changes to UDO article 8.4 and 8.5  
100 ft of frontage = 4 trees required.  
4 Proposed Red Buds (for planting under power lines)
- VEHICULAR SURFACE AREA:**  
Trees provided per 7.1.7.  
1 tree / island - No perimeter drive exists for this site.
- TRANSITIONAL PROTECTIVE YARD:**  
None required - pet service use is indoor only
- SCREENING**  
HVAC unit (roof mounted) is screened from public view

Parking is screened from public view with a C3 yard.  
C3 Yard average 10' width - 1.6 ft x 10' = 1.60 sf required and provided  
1.6 ft / 100' = .16 x 30 = 5 shrubs required.

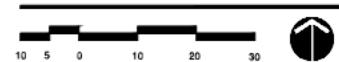
#### PLANT SCHEDULE

QTY	KEY	BOTANICAL / COMMON NAME	SIZE AT INSTALL	ROOT SPACING	MATURE HT / SPREAD
2	QL	QUERCUS LYRA HYBRID / OUTCROP OAK - Shrub Tree	9" Cal. 11' Ht.	25 GAL.	N/A
4	CC	CORCO CHANDLER'S YORREY PANEY / REDWOOD - Small Medium	1.5" Cal. 18' Ht.	25 GAL.	10' O.C.
8	IC	BOX ORNAMENTA YELLER / JAPANESE HOLLY - European Shrub	18"	5 GAL.	4' O.C.

#### Planting Notes:

- All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications.
- All plant material shown a minimum required by the City Code.
- Street trees @ 20' O.C. installed at least 10' from utility lines and in the center of the 6' tree lawn. Overhead power lines exist.
- Contractor will obtain Tree Impact Permit.

#### LANDSCAPE PLAN



**Coaly**

DESIGN  
LANDSCAPE ARCHITECTURE  
LAND PLANNING  
308 / 200 Public Square  
Raleigh, NC 27601  
713.333.0611

1428 GAVIN STREET  
1428 GAVIN STREET  
RALEIGH, NC

Consultants

Professional Seals

Date Issued: 8.12.20  
Scale: 1"=10'

By: [Signature]  
Drawn by: RBS  
Checked by: KJW

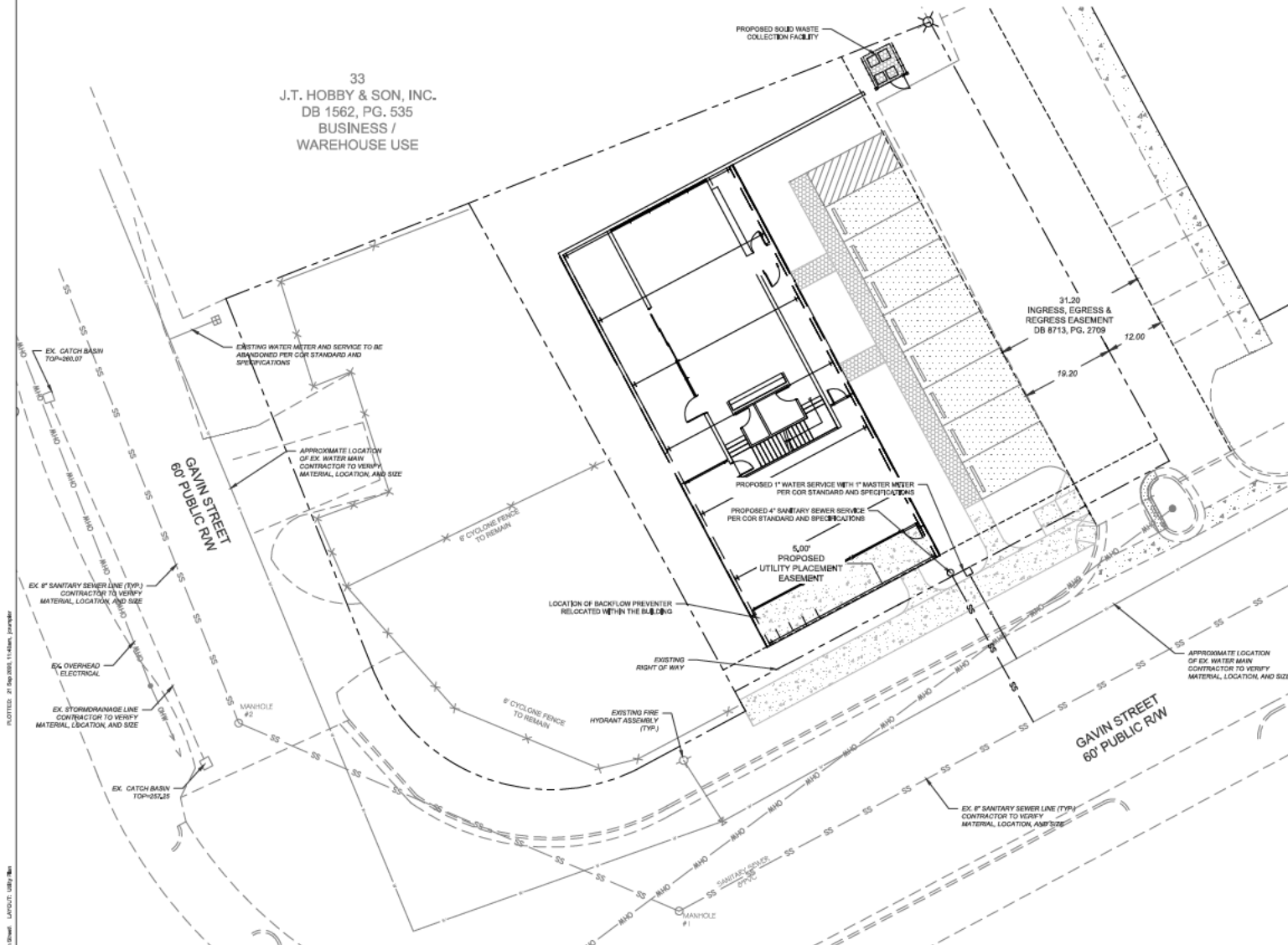
Revisions

No. Description

1 Per Comments

LA-4





**LEGEND**

---	EXISTING PROPERTY LINE
---	EXISTING ADJUTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING OVERHEAD POWER LINE
---	EXISTING ADJUTING PROPERTY LINE
---	EXISTING BUILDING SETBACK LINE
---	EXISTING PARKING SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING WATERLINE
---	PROPOSED SANITARY SEWER SERVICE
---	PROPOSED WATER SERVICE

- CITY OF RALEIGH UTILITY NOTES**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
  - UTILITY SEPARATION REQUIREMENTS:**
    - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FURNISH SANITARY SEWER WITH A WATERMAIN OR MATERIALS OR STEEL ENCASUREMENT EXTENDED 1' ON EACH SIDE OF DRINKING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN OR MATERIALS OR STEEL ENCASUREMENT EXTENDED 1' ON EACH SIDE OF DRINKING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - AT MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & RCP STORM DRAIN CROSINGS. MINIMUM 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY OF MATERIAL & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER CORPUS DETAILS (W41 & W45).
    - ALL OTHERS AND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN APPROVED PLAN AND PROVIDED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - AT MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. AT MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAKE & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURES.
  - INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
  - INSTALL 4" PVC SEWER SERVICES @ 1/2% MINIMUM GRADE WITH CLEANOUTS. SEWER SERVICE LINES TO PASS BELOW WATER MAIN WITH A MINIMUM 18" VERTICAL CLEARANCE.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINAGE LOWER THAN 12' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOT, USACE & RFP FIRM FOR ANY REPAIR BUFFER, WETLAND & AQUATIC LIFE IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR BEING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS HANDBOOK COORDINATOR PRIOR TO SUBMITTAL OF A BUILDING PERMIT. CONTACT TM REASLEY AT (919) 996-2234 OR tmreasley@cityofraleigh.gov FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. WHOEVER IS MORE STRINGENT, CONTACT JOANNE HARTLEY AT (919) 996-4863 OR jhartley@cityofraleigh.gov FOR MORE INFORMATION.

**CRUMPLER**  
 Consulting Services, PLLC

2000 Major Road  
 Raleigh, NC 27612  
 Phone: 919-433-1704  
 Fax: 919-433-1704

**ISSUED FOR CONSTRUCTION**

DATE	DESCRIPTION
10/08/19	CITY OF RALEIGH COMMENTS
02/11/20	CITY OF RALEIGH COMMENTS
08/11/20	BUILDING AND SITE LAYOUT UPDATES
09/12/20	CITY OF RALEIGH COMMENTS

**UTILITY PLAN**

**1428 GAVIN STREET**

1428 GAVIN STREET  
 RALEIGH, NORTH CAROLINA

PROJECT NO.: 19018

DRAWN BY: JAC

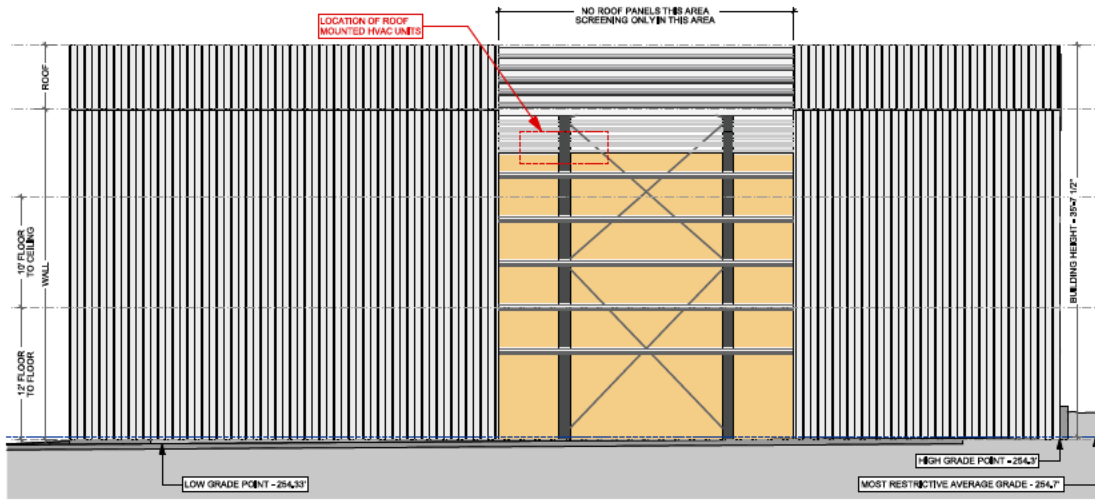
CHECKED BY: JAC

DATE: 07/15/19

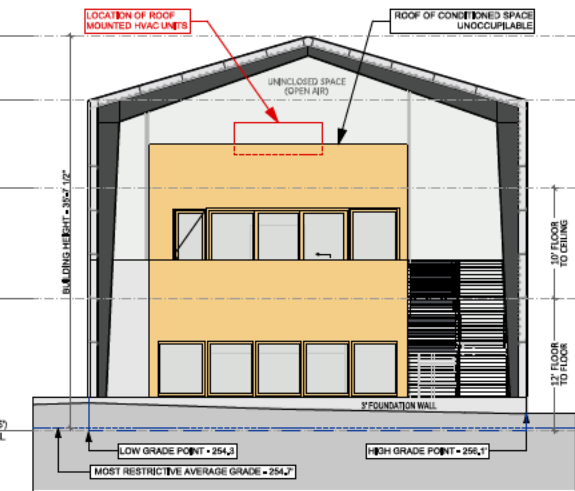
SCALE: 1" = 10'

**C-1**

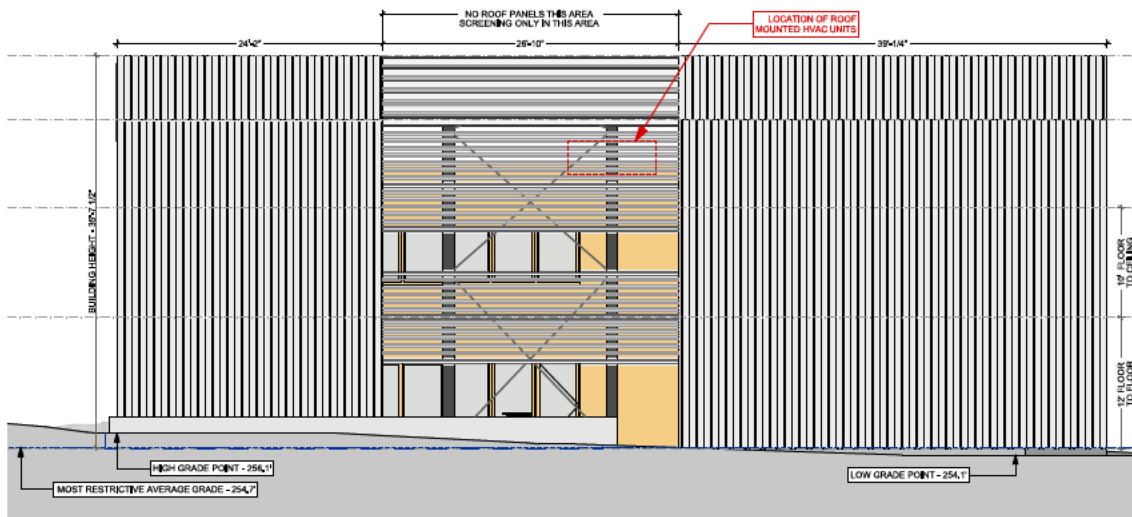
1 of 2



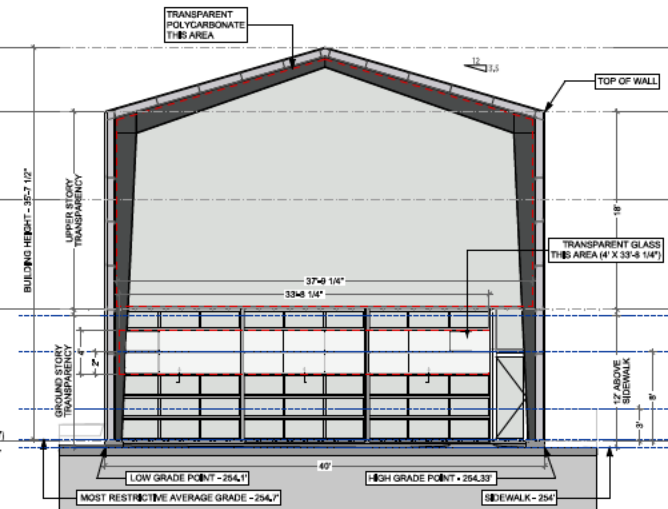
1 EAST  
SCALE 3/16" = 1'-0"  
0 4' 8' 12'



2 NORTH (Rear Elevation)  
SCALE 3/16" = 1'-0"  
0 4' 8' 12'



3 WEST  
SCALE 3/16" = 1'-0"  
0 4' 8' 12'



4 SOUTH  
SCALE 3/16" = 1'-0"  
0 4' 8' 12'

Facade	Pre-development Grade			Improved Grade			
	Lowest Elevation (ft)	Highest Elevation (ft)	Average Elevation (ft)	Lowest Elevation (ft)	Highest Elevation (ft)	Average Elevation (ft)	
North	254.3	254.25	254.28	254.3	254.33	254.33	
South	254.3	254.5	254.4	254.3	254.33	254.33	
East	254.3	254.3	254.3	254.3	254.33	254.33	
West	254.3	254.25	254.28	254.3	254.33	254.33	
Pre-development Grade Average Elevation =			254.33	Improved Grade Average Elevation =			254.33
Most Restrictive Average Grade = 254.71							

#### General Notes:

- Per UDO Sec. 1.5.9.B.4 - Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.
- Grade levels are taken from the building structure (enclosed structure).
- Allowable building height = 50/3 stories  
Proposed principal building height = 35'-7 1/2" / 2 stories
- Photography studio at front of building, behind south facade, is a double height space (no second story behind facade).

#### Transparency

Ground story facade = 40'Wx12'H = 480 sq ft  
Required transparency for ground story 20% = 96 sq ft  
Provided ground story transparency = 33.7'Wx4'H = 134.8 sq ft  
Provided ground story transparency percentage = 134.8/480 = 28%

50% of Required transparency between 3' and 8' = 48 sq ft  
Provided transparency between 3' and 8' = 33.7'Wx2'H = 67.4 sq ft  
Provided transparency between 3' and 8' percentage = 67.4/96 = 70%  
Required area located between 3'-8' of the facade is shown on 4-A201.

Upper story facade = 40'Wx18'H = 720 sq ft  
Required transparency for upper story 20% = 144 sq ft  
Provided upper story transparency = 37.8'Wx18'H = 680.4 sq ft  
Provided upper story transparency percentage = 680.4/720 = 95%



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Not FOR  
CONSTRUCTION  
Unless Signed

Printed  
9/18/2020

Oliveto-Stifelman  
Studio

1428 Gay St.  
Raleigh, NC 27608

ELEVATIONS

A201