

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>
Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name: ROSE LANE TOWNHOMES		
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Property address(es): 409, 411, 413, 413, 415, 417, & 419 ROSE LANE		
Site P.I.N.(s): 1713-95-2849		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Construction of an two apartment buildings containing 36 units.		
Current Property Owner(s): Stuart Cullinan		
Company:		Title: Owner
Address: 319 SEWELL AVE RALEIGH NC 27601		
Phone #: 919.398.3927		Email: stuart@copernicaprops.com
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder		
Company:		Address:

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact: Corey Mason	
Company: Copernica Properties	Title: Owner
Address: 319 SEWELL AVE RALEIGH NC 27601	
Phone #:	Email: coreyNFH@gmail.com
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-6	Existing gross floor area (not to be demolished): 5,271
Gross site acreage: 1.03ac	Existing gross floor area to be demolished:
# of parking spaces proposed: 36	New gross floor area: 52,000
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new): 52,000
Overlay District (if applicable): Frequent Transit Opti	Proposed # of buildings: 4
Existing use (UDO 6.1.4): Attached	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): Attached and Apartmen	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) <u>10,454</u> Proposed total (sf) <u>26,136</u>	Impervious Area for Compliance (includes ROW): Existing (sf) <u>10,454</u> Proposed total (sf) <u>26,136</u>
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 36	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br <u>36</u> 3br _____ 4br or more _____	
# of lots: 2	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input checked="" type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page Three.

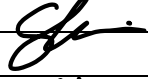
APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

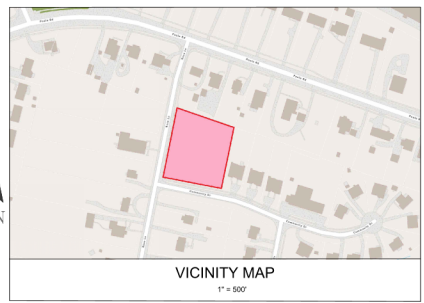
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 10/9/23
Printed Name: Stuart Cullinan	

ADMINISTRATIVE SITE REVIEW PLANS FOR ROSE LANE TOWNHOMES

409, 411, 413, 413, 415, 417, & 419 ROSE LANE RALEIGH, NORTH CAROLINA



VICINITY MAP
1" = 500'

Administrative Site Review Application
Planning and Development Customer Services Center • 1704 Centenary Plaza, Suite 101 • Raleigh, NC 27617 • 919-589-2800

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.3. Please check the appropriate building type and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.3 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request form can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> College Court <input type="checkbox"/> Frequent Transit <input type="checkbox"/> Development Option	Subdivision case # _____ Scoping/Health plan case # _____ Certificate of Appropriateness # _____ Board of Adjustment # _____ Zoning Case # _____ Design Alternate # _____

GENERAL INFORMATION

Development name: ROSE LANE TOWNHOMES
 Inside City limits? Yes No N/A
 Property address(es): 409, 411, 413, 413, 415, 417, & 419 ROSE LANE
 Site # (N/C): 1719-95-2803
 Please describe the scope of work, include any additions, expansions, and uses (UDO § 1.4).
 Construction of a two apartment buildings containing 36 units.

Current Property Owner(s): Stuart Cullinan
 Company: _____ Title: Owner
 Address: 319 SEWELL AVE RALEIGH NC 27601
 Phone #: 919.398.3627 | Email: stuart@copernicaprop.com
 Applicant Name (if different from owner, the "who can apply" in instructions): _____
 Relationship to owner: lease or contract purchaser Owner's authorized agent Easement holder

Company: _____ Address: _____
 Phone #: _____ Email: _____

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Cory Mason
 Company: Copernica Properties
 Address: 319 SEWELL AVE RALEIGH NC 27601
 Phone #: _____ Email: cory@CPH@gmail.com
 Applicant Name: _____
 Company: _____ Address: _____
 Phone #: _____ Email: _____

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): 5,271
Grass site acreage: 1.02ac	Existing gross floor area to be demolished:
# of parking spaces proposed: 36	New gross floor area: 52,000
Max # parking permitted (7.1.2.C):	Total of gross floor remain and new: 52,000
Overlay District of application: Frequent Transit Opt	Proposed # of buildings: 4
Existing use (UDO § 1.4): Attached	Proposed # of stories for each: 3
Proposed use (UDO § 1.4): Attached and Apartment	Proposed # of basement levels (UDO 1.5.7.A.6.G):

STORMWATER INFORMATION	
Impervious Area on Parcels: Existing (sf): 10,454 Proposed total (sf): 26,136	Impervious Area for Compliance (includes ROW): Existing (sf): 10,454 Proposed total (sf): 26,136

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 36	Total # of hotel bedrooms:
# of bedroom units: 10r 26r 36r	4r or more:
# of lots: 2	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Is a frequent transit development? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

APPLICANT SIGNATURE BLOCK

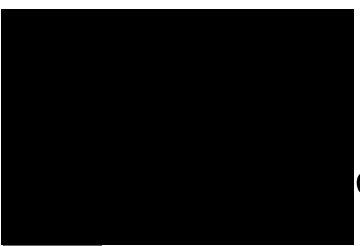
Pursuant to state law (N.C. Gen. Stat. § 160C-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for such development as is authorized by the assessment.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160C-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160C-403(b).

The undersigned indicates that the property owner(s) is aware of the application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to be prepared and the development regulations may be applied at the time the permit application is received and applied to the new application.

Signature: *Stuart Cullinan* Date: 8/19/23
 Printed Name: Stuart Cullinan



CITY OF RALEIGH FILE: ASR-XXXX-2023

PREPARED FOR:
COPERNICA PROPERTIES, LLC
319 SEWELL AVE
RALEIGH, NORTH CAROLINA 27601

PREPARED BY:
CRUMPLER
Consulting Services, PLLC

2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-413-1704
F-1533

SITE EXEMPTION NOTES:

- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF CROSS ACCESS AS ALL ABUTTING PROPERTIES ARE DETACHED HOUSES PER UDO SECTION §.5.5.D.5.A.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERMITTER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDO SECTION §.3.2.A.1.A.IX.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION §.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

NOTES

- BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS SURVEY PROVIDED BY CAYTHORNE, MOSS, AND PANGIERA ON 06-23-2022.
- THE PROPERTY IS LOCATED IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720171300K DATED JULY 19, 2022.
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL, AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.
- EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURB AND GUTTER, NEW DRIVEWAYS WILL CONFIRM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. SOLID WASTE WILL BE USING THE CITY'S STANDARD 96-GALLON RESIDENTIAL ROLL-OUT SOLID WASTE CONTAINERS STORED IN THE GARAGE.
- RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF PERMITTING. WHEN DESIGNING THE SITE, THE DESIGNER SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARD DETAILS AND REGULATIONS AS FOUND IN RALEIGH STREET DESIGN MANUAL ARTICLE 9.5 AND SECTION 4.6.1.

SHEET	DESCRIPTION
C-1	COVER
C-2	EXISTING CONDITIONS
C-3	SITE AND LANDSCAPING PLAN
C-4	UTILITY PLAN
C-5	GRADING AND STORMWATER PLAN
D-1	DETAILS
D-2	DETAILS
D-3	DETAILS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

CALL 48 HOURS BEFORE YOU DIG

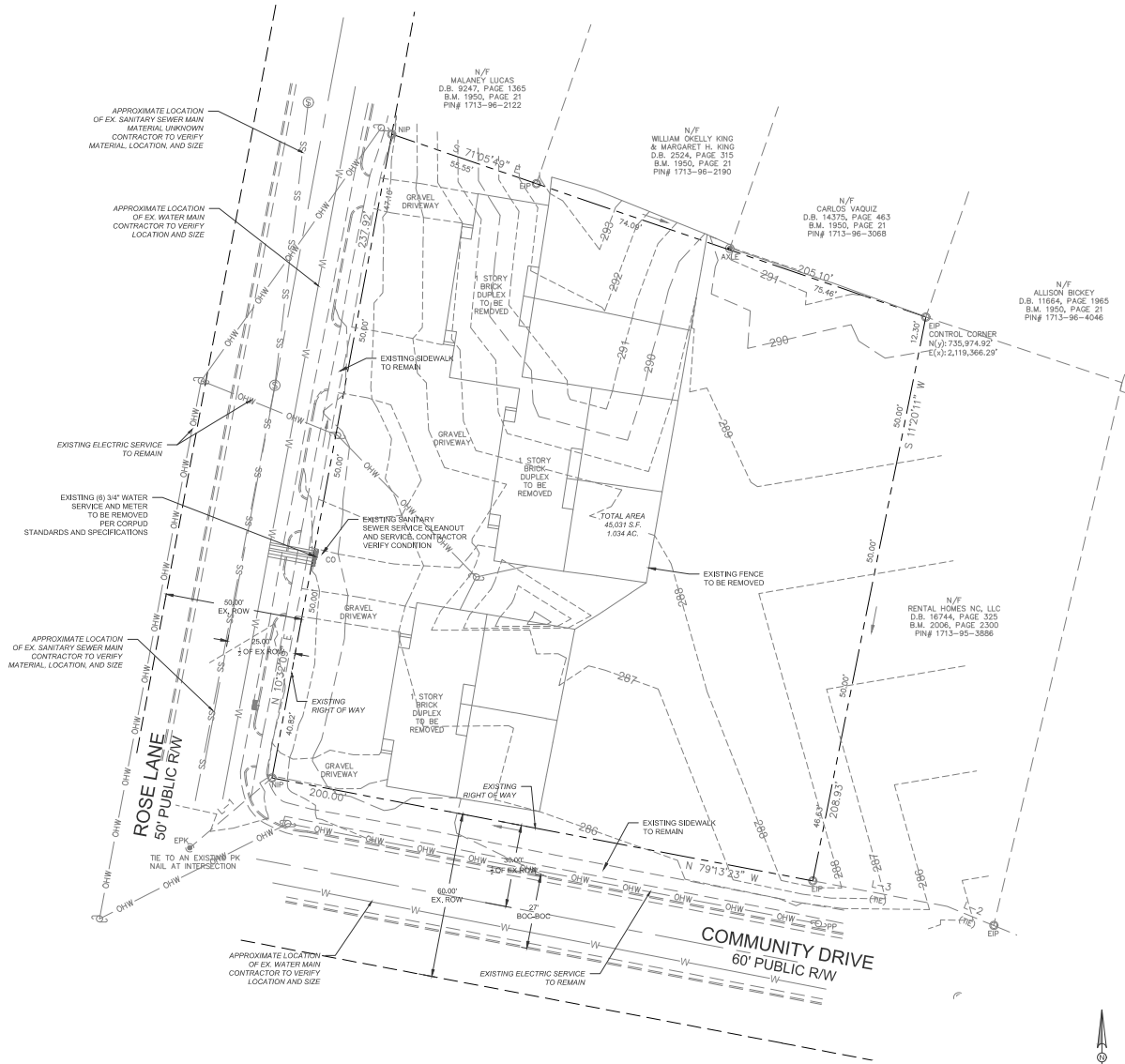


PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE	DESCRIPTION	REV

COVER
ROSE LANE TOWNHOMES
409, 411, 413, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

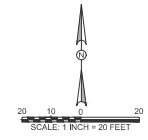
PROJECT NO.:	23026
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	09/29/23
SCALE:	1" = 1'



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING OVERHEAD POWER LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING PARKING SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING SANITARY SEWER
---	EXISTING WATER MAIN

- NOTES**
- BOUNDARY TOPOGRAPHY AND EXISTING CONDITIONS SURVEY PROVIDED BY CAWTHORNE, MOSES, AND PANCIERA ON 06-23-2023.
 - THE PROPERTY IS LOCATED IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720171300K DATED JULY 19, 2022.
 - NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
 - THIS DRAWING IS NOT FOR RECORDATION.
 - EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURBS AND GUTTER. NEW DRIVEWAYS WILL CONFORM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. SOLID WASTE WILL BE USING THE CITY'S STANDARD 96-GALLON RESIDENTIAL ROLL-OUT SOLID WASTE CONTAINERS STORED IN THE GARAGE.
 - RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF PERMITTING. WHEN DESIGNING THE SITE, THE DESIGNER SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARD DETAILS AND REGULATIONS AS FOUND IN RALEIGH STREET DESIGN MANUAL ARTICLE 9.5 AND SECTION 4.6.1



CRUMPLER
Consulting Services, PLLC

2300 Ridge Road
Raleigh, NC 27612
Ph: 919-435-7304
F: 919-435-7304

CONCEPTUAL PLANS
NOT FOR CONSTRUCTION

DATE	DESCRIPTION	REV.

EXISTING CONDITIONS
ROSE LANE TOWNHOMES
4109, 411, 413, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

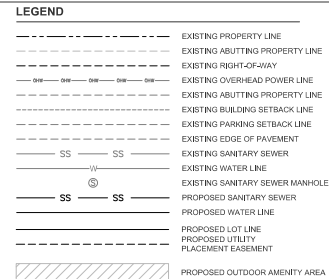
PROJECT NO.:	23007
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	10/02/23
SCALE:	1" = 20'

CONCEPTUAL PLANS
NOT FOR CONSTRUCTION

DATE	DESCRIPTION	REV

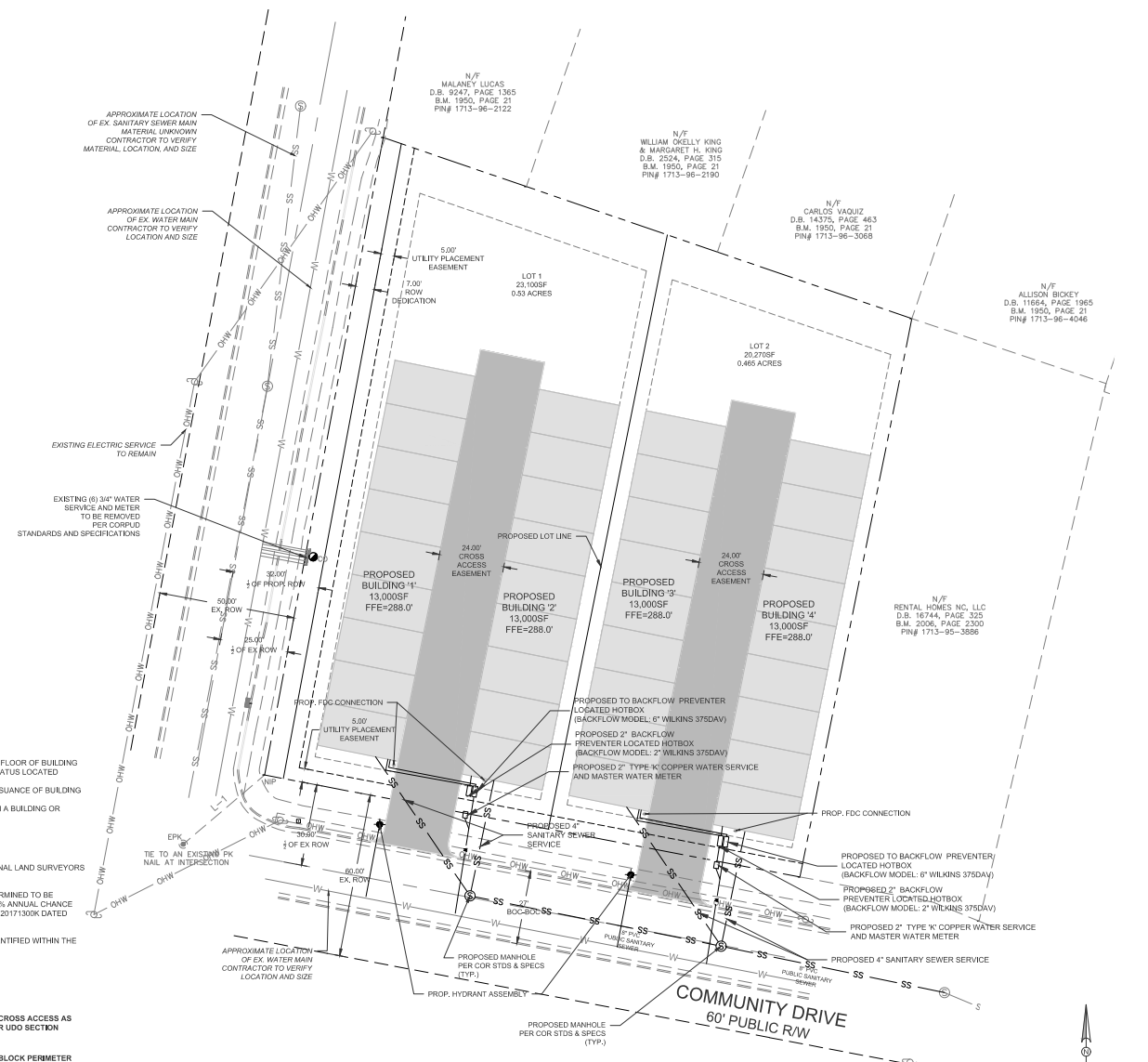
UTILITY EXHIBIT
ROSE LANE TOWNHOMES
409, 411, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

PROJECT NO.:	23007
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	10/02/23
SCALE:	1" = 20'



CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORP/ID HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STEEL ENCASUREMENT EXTENDED 12" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DP MATERIALS & A CONCRETE GRADE HAVING 6" MIN. CLEARANCE (PER CORP/ID DETAILS W41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRANSVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORP/ID HANDBOOK PROCEDURE.
- INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 60 PSIG. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1/2" ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR OR OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A U.C. / BLDG PERMIT. CONTACT (919) 996-6116 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC. TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A U.C. / BLDG PERMIT. CONTACT (919) 996-6233 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.



FIRE PROTECTION NOTES:

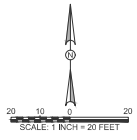
- ALL PORTION OF THE EXTERIOR WALL OF THE FIRST FLOOR OF BUILDING SHALL BE LOCATED WITHIN 150 FEET OF FIRE APPARATUS LOCATED WITHIN ROADWAY.
- FIRE FLOW ANALYSIS MUST BE PROVEN PRIOR TO ISSUANCE OF BUILDING PERMITS.
- FIRE HYDRANTS SHALL BE NO MORE THAN 400' FROM A BUILDING OR HOUSE AS HOW THE FIRE HOSE LAYS.

NOTES

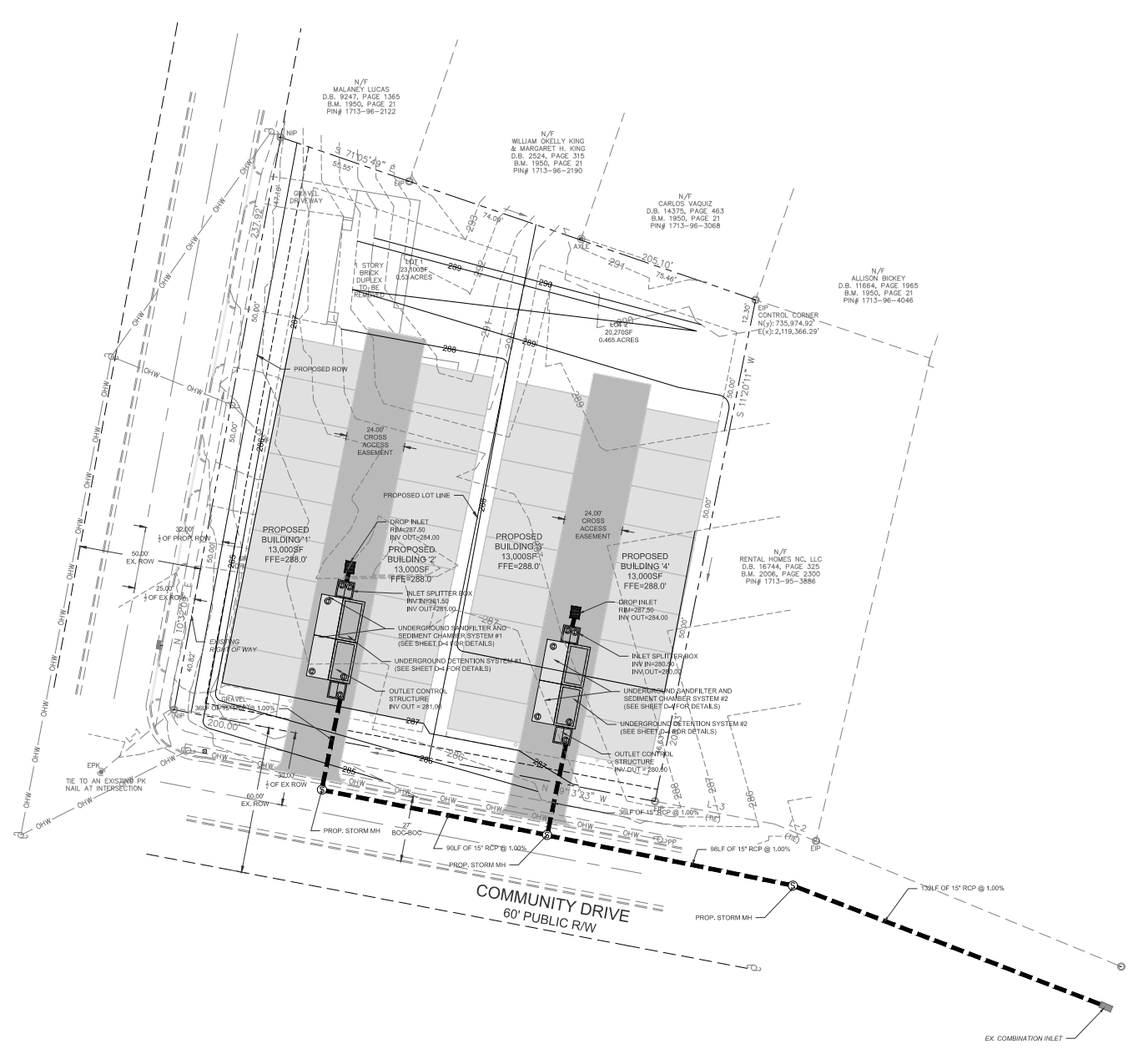
- BOUNDARY SURVEY PROVIDED BY CMP PROFESSIONAL LAND SURVEYORS DATED ON JUNE 21, 2022.
- THE PROPERTY IS LOCATED IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN BASED ON THE FEMA MAP NUMBER 372011300K DATED JULY 19, 2022).
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDDATION.

SITE EXEMPTION NOTES:

- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF CROSS ACCESS AS ALL ABUTTING PROPERTIES ARE DETACHED HOUSES PER UDO SECTION 8.3.5.5.5.4.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERMITTER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDO SECTION 8.3.2.2.1.1.1.4.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGHOUT THE CITY OF RALEIGH'S UNITED DEVELOPMENT CODE SECTION 8.3.2 FOR PARCELS 0.5 ACRES OR LESS.



CADD FILE: D:\CADD\Projects\2020\202007_Crumpler\Drawings.dwg L:\VCS\JAC



LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING OVERHEAD POWER LINE
---	EXISTING ABUTTING PROPERTY LINE
---	EXISTING PARKING SETBACK LINE
---	EXISTING EDGE OF PAVEMENT
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	EXISTING STORM SEWER
---	EXISTING CATCH BASIN
---	EXISTING STORMWATER MANHOLE
---	PROPOSED LOT LINE
---	PROPOSED UTILITY PLACEMENT EASEMENT
---	PROPOSED CURB LINE
---	PROPOSED AMENITY AREA
---	PROPOSED STORMWATER PIPE
---	PROPOSED FLARED END SECTION
---	PROPOSED CATCH BASIN
---	PROPOSED CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR

SITE EXEMPTION NOTES:

- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF CROSS ACCESS AS ALL ABUTTING PROPERTIES ARE DETACHED HOUSES PER UDO SECTION 8.3.5.0.5.a.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERMETER AS THE SITE WILL BE DEVELOPED FOR DETACHED RESIDENTIAL USES ON LOTS NO LARGER THAN 2 ACRES PER EXEMPTION BASED ON UDO SECTION 8.3.2.1.1.b.iv.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION N.12 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

- NOTES**
- BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS SURVEY PROVIDED BY CAWTHORNE, MOSS, AND PANCIERA ON 05-25-2023.
 - THE PROPERTY IS LOCATED IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEMA MAP NUMBER 3720171300K DATED JULY 19, 2022.
 - NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
 - THIS DRAWING IS NOT FOR RECORDATION.
 - EXISTING DRIVEWAY WILL BE ABANDONED AND REPLACED WITH STANDARD CITY OF RALEIGH CURB AND GUTTER. NEW DRIVEWAYS WILL CONFIRM TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. SOLID WASTE WILL BE USING THE CITY'S STANDARD 96-GALLON RESIDENTIAL ROLL-OUT SOLID WASTE CONTAINERS STORED IN THE GARAGE.
 - RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF PERMITTING. WHEN DESIGNING THE SITE, THE DESIGNER SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARD DETAILS AND REGULATIONS AS FOUND IN RALEIGH STREET DESIGN MANUAL ARTICLE 9.5 AND SECTION 4.6.1

CRUMPLER
Consulting Services, PLLC
2200 Ridge Road
Raleigh, NC 27612
Ph: 919-435-1704
F: 919-435-1533

CONCEPTUAL PLANS
NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION

GRADING AND STORMDRAINAGE PLAN
ROSE LANE TOWNHOMES
4109, 411, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

PROJECT NO.: 23007
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 10/02/23
SCALE: 1" = 20'

C-5

5 of 8

SECTION VIEW

NOTES:
 1. 1.5" TYP. WALL SHOULD BE INSTALLED TO ENSURE PROPER PROTECTION OF THE TREE TRUNK.
 2. 20" HIGH WALL WITH 1.5" BASE AND 1.5" TOP.
 3. 1.5" SIDE WALL WITH 1.5" BASE AND 1.5" TOP.
 4. 1.5" SIDE WALL WITH 1.5" BASE AND 1.5" TOP.

CITY OF RALEIGH STANDARD DETAIL

REVISION	DATE	BY	APP'D

CONSTRUCTION ENTRANCE

SW-20,09

SECTION VIEW

NOTES:
 1. 1.5" CONCRETE CATCH BASIN SHALL BE PLACED ON THE EXISTING GRADE.
 2. 1.5" CONCRETE CATCH BASIN SHALL BE PLACED ON THE EXISTING GRADE.
 3. 1.5" CONCRETE CATCH BASIN SHALL BE PLACED ON THE EXISTING GRADE.
 4. 1.5" CONCRETE CATCH BASIN SHALL BE PLACED ON THE EXISTING GRADE.

CITY OF RALEIGH STANDARD DETAIL

REVISION	DATE	BY	APP'D

STANDARD CATCH BASIN

SW-20,15

SECTION VIEW

NOTES:
 1. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 2. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 3. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 4. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.

CITY OF RALEIGH STANDARD DETAIL

REVISION	DATE	BY	APP'D

STANDARD TREE PROTECTION DETAIL

TPP-01

SECTION VIEW

NOTES:
 1. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 2. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 3. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 4. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.

CITY OF RALEIGH STANDARD DETAIL

REVISION	DATE	BY	APP'D

BLOCK AND GRAVEL INLET PROTECTION ON CURB INLET

SW-20,26

SECTION VIEW

NOTES:
 1. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 2. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 3. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 4. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.

CITY OF RALEIGH STANDARD DETAIL

REVISION	DATE	BY	APP'D

DRIVEWAY AND SIDEWALK DETAIL

T-10,01,1

SECTION VIEW

NOTES:
 1. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 2. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 3. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 4. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.

CITY OF RALEIGH STANDARD DETAIL

REVISION	DATE	BY	APP'D

STANDARD TREE PROTECTION DETAIL

SW-20,24

SECTION VIEW

NOTES:
 1. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 2. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 3. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 4. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.

CITY OF RALEIGH STANDARD DETAIL

REVISION	DATE	BY	APP'D

DRIVEWAY AND SIDEWALK DETAIL

T-10,01,2

SECTION VIEW

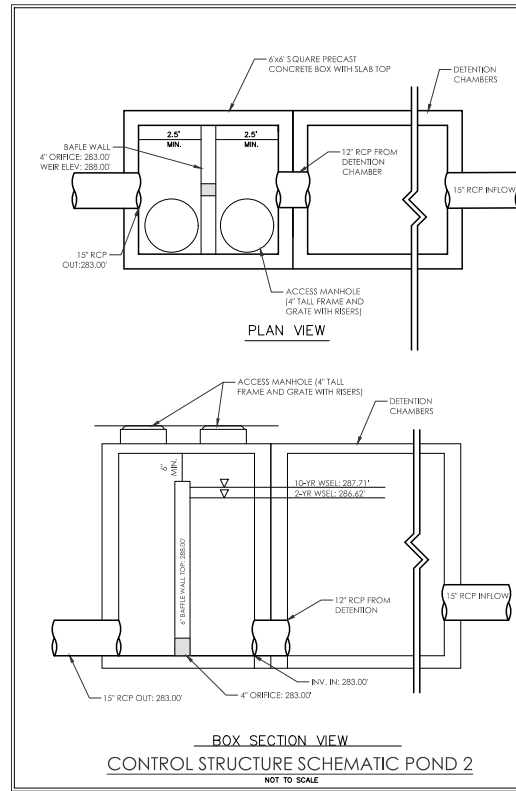
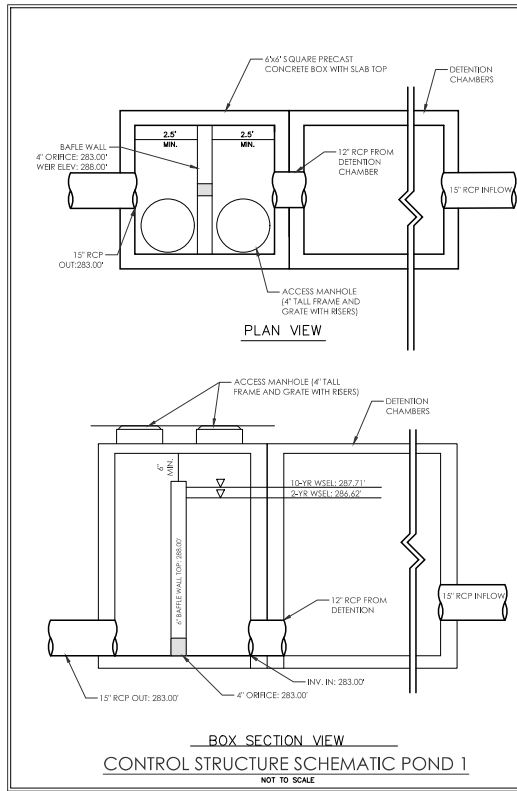
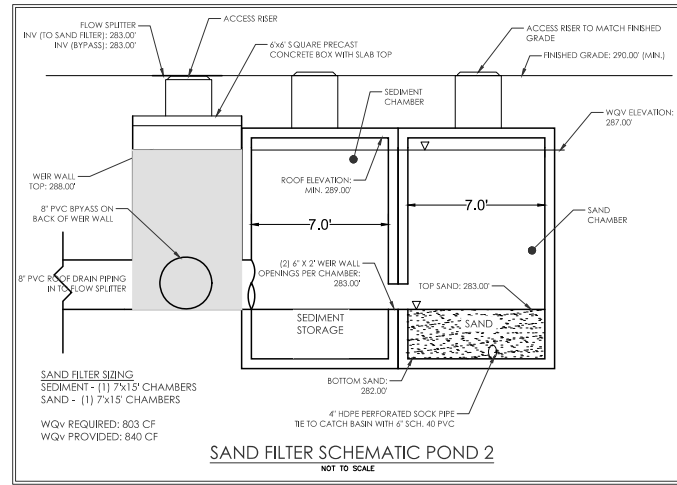
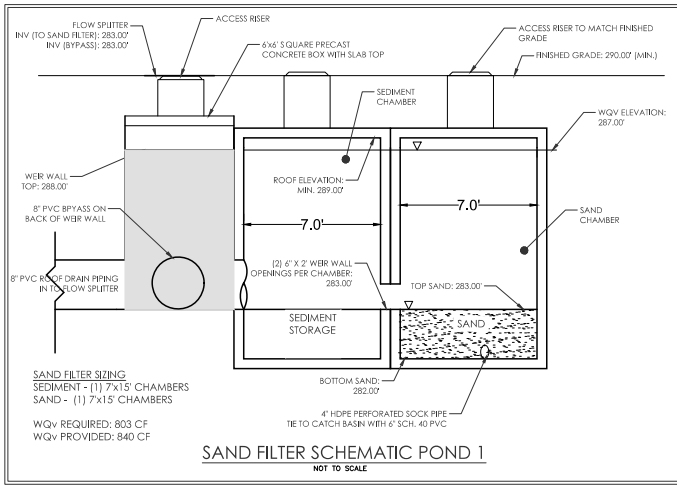
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 2. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 3. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.
 4. 1.5" CONCRETE CURB SHALL BE PLACED ON THE EXISTING GRADE.

CITY OF RALEIGH STANDARD DETAIL

REVISION	DATE	BY	APP'D

STANDARD TREE PROTECTION DETAIL

B-20,01



CONCEPTUAL PLANS
NOT FOR CONSTRUCTION

DATE	DESCRIPTION	REV

DETAILS

4109, 411, 413, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

PROJECT NO.: 23007
DRAWN BY: JAC
CHECKED BY: JAC
DATE: 10/02/23
SCALE: NTS



EAST ELEVATION



WEST ELEVATION

AVERAGE GRADE CALCULATION

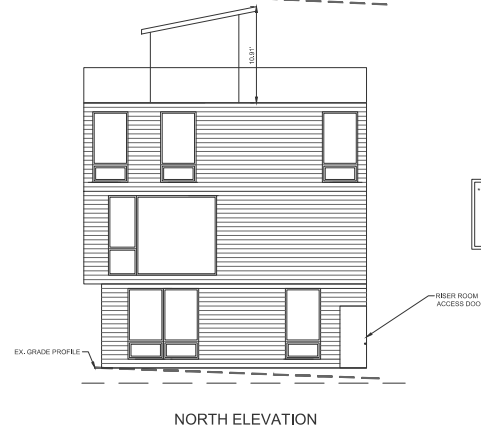
PER SECTION 1.1.1 OF THE UDD, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE TO THE TOP OF THE HIGHEST POINT OF A FITCHED OR FLAT ROOF EXCLUDING THE PARAPET.

AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE OR IMPROVED GRADE (WHICHEVER IS MOST RESTRICTIVE) ALONG THE FRONT OF THE BUILDING PARALLEL TO THE PRIMARY STREET SETBACK.

WHERE THE PROPERTY SLOPE INCREASES TO THE REAR, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE POINT AT GRADE OF THE FRONT AND REAR WALL PLANE.



SOUTH ELEVATION



NORTH ELEVATION

"BUILDING ELEVATIONS, ARCHITECTURAL FEATURES, WINDOW/DOOR LOCATIONS AND SIZES, SHOULD BE CONSIDERED PRELIMINARY AND ARE SUBJECT TO CHANGE PENDING FINAL BUILDING DESIGN AND LAYOUT. FINAL BUILDING ELEVATIONS WILL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE."

CONCEPTUAL PLANS
NOT FOR CONSTRUCTION

REV#	DESCRIPTION	DATE

ARCHITECTURAL ELEVATION
BUILDING 1
ROSE LANE TOWNHOMES
409, 411, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

PROJECT NO.:
DRAWN BY:
CHECKED BY:
DATE:
SCALE:

A-1

1 of 4



WEST ELEVATION



EAST ELEVATION

AVERAGE GRADE CALCULATION

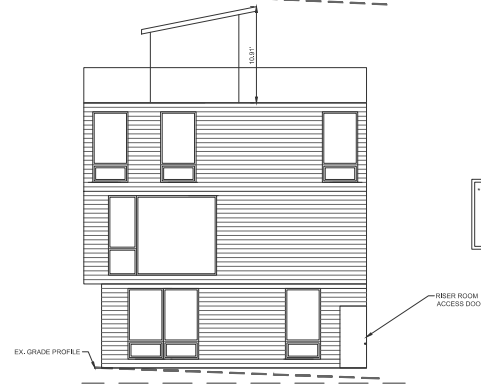
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WHERE THE PROPERTY SLOPE INCREASES TO THE REAR, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE POINT AT GRADE OF THE FRONT AND REAR WALL PLANE.



NORTH ELEVATION



SOUTH ELEVATION

"BUILDING ELEVATIONS, ARCHITECTURAL FEATURES, WINDOW/DOOR LOCATIONS AND SIZES, SHOULD BE CONSIDERED PRELIMINARY AND ARE SUBJECT TO CHANGE PENDING FINAL BUILDING DESIGN AND LAYOUT. FINAL BUILDING ELEVATIONS WILL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE."

CONCEPTUAL PLANS
NOT FOR CONSTRUCTION

REV#	DESCRIPTION	DATE

ARCHITECTURAL ELEVATION
BUILDING 2
ROSE LANE TOWNHOMES
409, 411, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

PROJECT NO.:
DRAWN BY:
CHECKED BY:
DATE:
SCALE:



EAST ELEVATION



WEST ELEVATION

AVERAGE GRADE CALCULATION

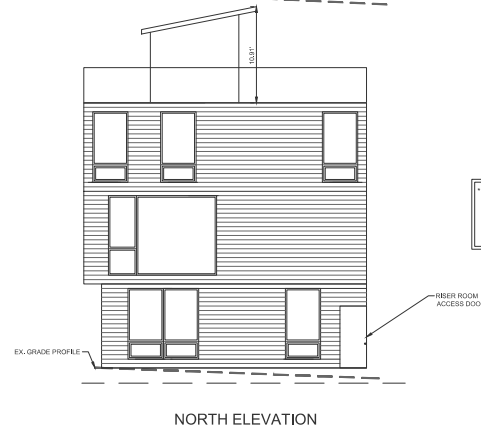
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WHERE THE PROPERTY SLOPE INCREASES TO THE REAR, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE POINT AT GRADE OF THE FRONT AND REAR WALL PLANE.



SOUTH ELEVATION



NORTH ELEVATION

"BUILDING ELEVATIONS, ARCHITECTURAL FEATURES, WINDOW/DOOR LOCATIONS AND SIZES, SHOULD BE CONSIDERED PRELIMINARY AND ARE SUBJECT TO CHANGE PENDING FINAL BUILDING DESIGN AND LAYOUT. FINAL BUILDING ELEVATIONS WILL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE."

CONCEPTUAL PLANS
NOT FOR CONSTRUCTION

REV#	DESCRIPTION	DATE

ARCHITECTURAL ELEVATION
BUILDING 3
ROSE LANE TOWNHOMES
409, 411, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

PROJECT NO.:
DRAWN BY:
CHECKED BY:
DATE:
SCALE:



WEST ELEVATION



EAST ELEVATION

AVERAGE GRADE CALCULATION

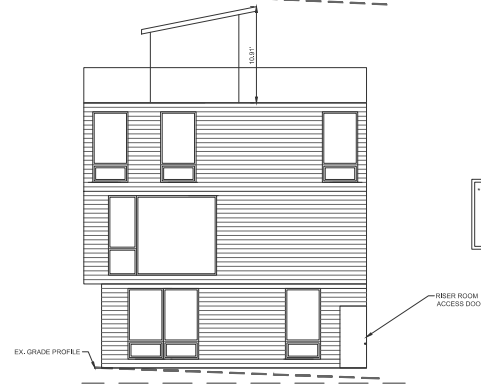
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AVERAGE GRADE IS DETERMINED BY CALCULATING THE AVERAGE OF THE HIGHEST AND LOWEST ELEVATION ALONG PRE-DEVELOPMENT GRADE OR IMPROVED GRADE (WHICHEVER IS MOST RESTRICTIVE) ALONG THE FRONT OF THE BUILDING PARALLEL TO THE PRIMARY STREET SETBACK.

WHERE THE PROPERTY SLOPE INCREASES TO THE REAR, BUILDING HEIGHT IS MEASURED FROM THE AVERAGE POINT AT GRADE OF THE FRONT AND REAR WALL PLANE.



NORTH ELEVATION



SOUTH ELEVATION

"BUILDING ELEVATIONS, ARCHITECTURAL FEATURES, WINDOW/DOOR LOCATIONS AND SIZES, SHOULD BE CONSIDERED PRELIMINARY AND ARE SUBJECT TO CHANGE PENDING FINAL BUILDING DESIGN AND LAYOUT. FINAL BUILDING ELEVATIONS WILL ADHERE TO ALL APPLICABLE REQUIREMENTS OF THE UNIFIED DEVELOPMENT ORDINANCE."

CONCEPTUAL PLANS
NOT FOR CONSTRUCTION

REV#	DESCRIPTION	DATE

ARCHITECTURAL ELEVATION
BUILDING 1
ROSE LANE TOWNHOMES
409, 411, 413, 415, 417, & 419 ROSE LANE
RALEIGH, NORTH CAROLINA

PROJECT NO.:
DRAWN BY:
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DATE:
SCALE: