

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: _____

Inside City limits? Yes No

Property address(es): _____

Site P.I.N.(s): _____

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s):

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder

Company: _____ Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
-------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

ADMINISTRATIVE SITE PLAN

ARBORETUM PARTERS

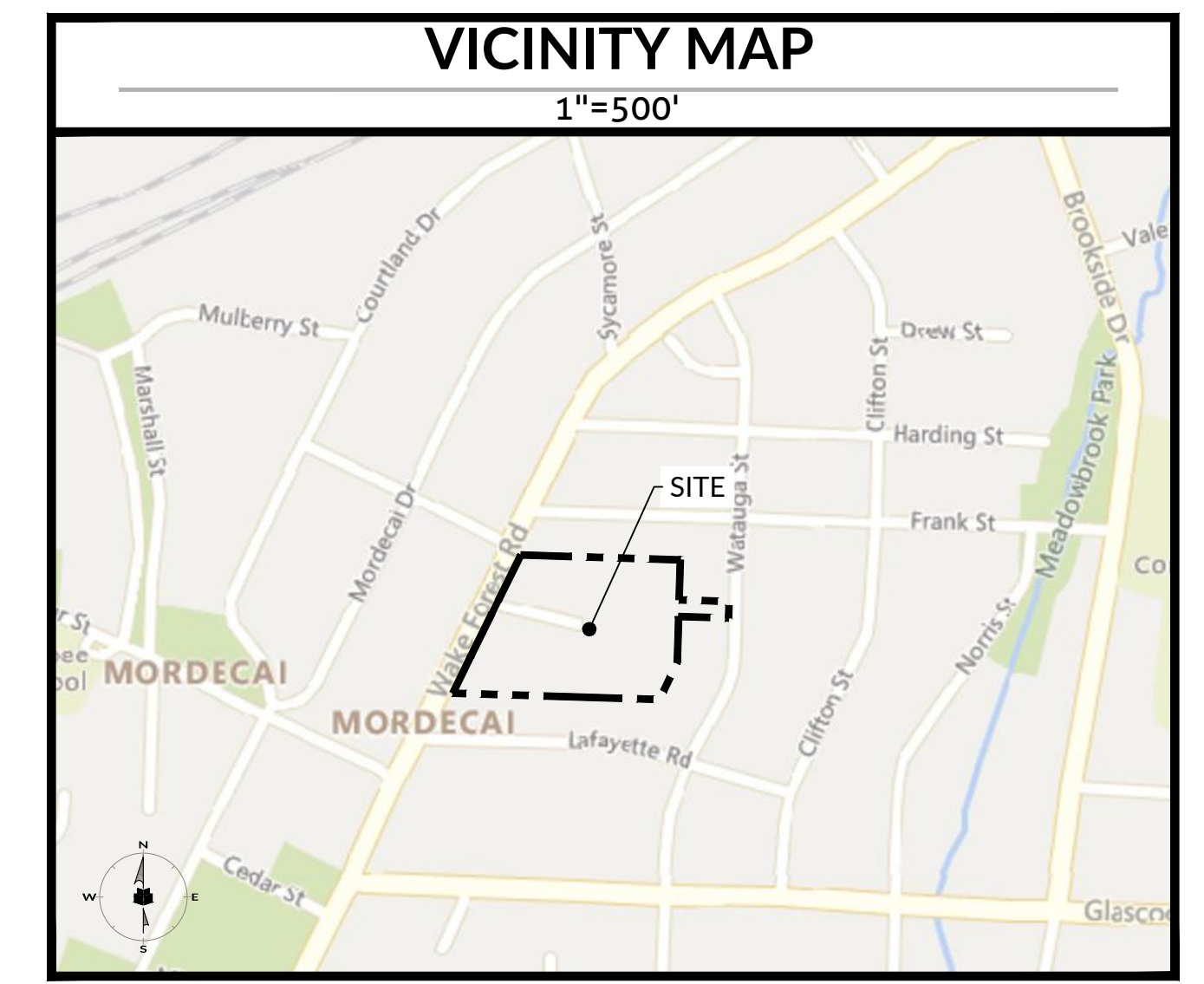
CLOVER LANE

ASR-XXXX-2024

405 CLOVER LANE | RALEIGH, NC | WAKE COUNTY
1ST SUBMITTAL: SEPTEMBER 6, 2024

SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE.
SEE SHEET C.1.00 FOR BENCHMARK INFORMATION.
VERTICAL DATUM BASED ON NAVD 88.



SITE DATA TABLE

MUNICIPAL PROJECT NO.	ASR-XXXX-2024
ASSOCIATED CASE NUMBERS	Z-43-22
SITE ADDRESS	405 CLOVER LANE
PARCEL PIN NO.	1704947576
DEED BOOK AND PAGE	DB 019504, PG 01384
ZONING	RX-5-GR-CU (5.52 AC) R-6-CU (0.17 AC)
EXISTING SITE AREA	5.67 AC
PROPOSED SITE AREA	5.60 AC
OVERLAY DISTRICT	NCOD (RX-6-CU)
EXISTING LAND USE	TOWNHOMES
PROPOSED USE	MULTIFAMILY
PROPOSED NUMBER OF UNITS	280
PROPOSED NUMBER OF BUILDINGS	1
PROPOSED GROSS BUILDING SF	±273,009 SF
IMPERVIOUS AREA	±3.84 AC
LIMITS OF DISTURBANCE	±4.96 AC
PROPOSED TCA	6.07%
BUILDING SETBACKS:	
PRIMARY STREET	5'
SIDE STREET	5'
SIDE LOT LINE	0' OR 6'
REAR LOT LINE	0' OR 6'
ALLEY	4' OR 20' MIN
AMENITY AREA:	
MINIMUM AMENITY AREA REQUIRED	10% (PER UDO SEC. 2.2.3)
PROPOSED AMENITY AREA	10.5%
PARKING:	
MAXIMUM PARKING	1 SPACE PER 0-1 BED x 143 UNITS + 2.25 SPACES PER 2 BED x 122 UNITS + 3 SPACES PER 3 BED x 15 UNITS = 463 SPACES
PROVIDED PARKING	47 SURFACE SPACES (INCLUDING 1 ADA VAN) + 250 GARAGE/DRIVEWAY SPACES = 297 TOTAL SPACES
BIKE PARKING:	
MINIMUM SHORT TERM BIKE PARKING REQUIRED	(1 SPACE PER 20 UNITS) * 280 UNITS = 14 SPACES
PROPOSED SHORT TERM BIKE PARKING	14 SPACES
MINIMUM LONG TERM BIKE PARKING REQUIRED	(1 SPACE PER 7 BEDROOMS) * 417 BEDS = 60 SPACES
PROPOSED LONG TERM BIKE PARKING	64 SPACES

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Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option
<input type="checkbox"/> Open lot	

GENERAL INFORMATION

Development name: Arboretum Partners Clover Lane

Inside City limits? Yes No

Property address(es): 405 Clover Ln, Raleigh NC 27604

Site P.I.N.(s): 1704947576

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Proposed 4 story multifamily building with parking and associated infrastructure.

Current Property Owner(s): Brooks Family I LLC Ward Clover Lane LLC

Company: Brooks Family I LLC Ward Clover Lane LLC Title: _____

Address: 2320 Beechridge Road Raleigh, NC 27608

Phone #: 252-526-1231 Email: meubanks@arboretumpartners.com

Applicant Name (if different from owner. See "who can apply" in instructions): Amber Mason, PE

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: WithersRavenel Address: 137 S Wilmington Street, Suite 200

Phone #: 919-535-5200 Email: amason@withersravenel.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Michael Eubanks

Company: Arboretum Partners Title: Co-Founder and Managing Partner

Address: 1520 Glenwood Avenue 2nd Floor Raleigh, NC 27608

Phone #: 252-526-1231 Email: meubanks@arboretumpartners.com

Applicant Name: Amber Mason, PE

Company: WithersRavenel Address: 137 S Wilmington Street, Suite 200

Phone #: 919-535-5200 Email: amason@withersravenel.com

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning (district) (please provide the acreage of each): RX-5-GR-CU (5.52 AC) RX-6-CU (0.17 AC)	Existing gross floor area (not to be demolished): 0
Gross site acreage: 5.67	Existing gross floor area to be demolished: 61,224
# of parking spaces proposed: 297	New gross floor area: 273,009
Max # parking permitted (7.1.2.C): 463	Total at gross (to remain and new): 273,009
Overlay District (if applicable): NCOD (RX-6-CU)	Proposed # of buildings: 1
Existing use (UDO 6.1.4): TOWNHOMES	Proposed # of stories for each: 4
Proposed use (UDO 6.1.4): MULTIFAMILY	Proposed # of basement levels (UDO 1.5.7.A.6): 1

STORMWATER INFORMATION

Imperious Area on Parcel(s): _____

Existing (sf) 105,935 Proposed total (sf) 187,269

Imperious Area for Compliance (includes ROW): _____

Existing (sf) 105,935 Proposed total (sf) 187,269

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 280 Total # of hotel bedrooms: N/A

of bedroom units: 1br 143 2br 122 3br 15 4br or more 2

of beds: 1 Is your project a cottage court? Yes No
A frequent transit development? Yes No

Continue to Applicant Signature Block on Page 4.

Revision 03.01.24
raleighnc.gov

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raleighnc.gov

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-720(d)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Amber Mason Date: _____

Printed Name: _____ Date: _____

Signature: _____ Date: _____

Printed Name: _____

INDEX OF SHEETS

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	GENERAL NOTES AND LEGENDS
C0.02	COMPLIANCE TABLE
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C4.00	UTILITY PLAN
C5.00	FIRE ACCESS PLAN
C8.01	SCM 1 & 2 PLAN
C8.02	SCM 1 DETAILS
C8.03	SCM 2 DETAILS
TC100	TREE CONSERVATION PLAN
TC200	TREE CONSERVATION DETAILS
LP100	LANDSCAPE PLAN
LP200	LANDSCAPE DETAILS
LT100	LIGHTING PLAN
A01	ARCHITECTURAL ELEVATIONS
A02	ARCHITECTURAL ELEVATIONS

SOLID WASTE INSPECTION STATEMENT

- WASTE WILL BE COLLECTED INTERNAL TO THE BUILDING. WASTE WILL BE STORED IN A TRASH ROOM AT THE BACK OF THE BUILDING ON THE GARAGE LEVEL WITH A ROLL UP DOOR FOR VENDOR PICKUP. A PRIVATE VENDOR WILL BE UTILIZED FOR TRASH PICK UP. A WILL-SERVE WILL BE PROVIDED AT SITE PERMIT REVIEW.
- PER Z-043-22: TRASH AND RECYCLING FACILITY SERVICE ON THIS PROPERTY SHALL BE ALLOWED ONLY BETWEEN 8AM AND 6PM. THIS CONDITION DOES NOT RESTRICT WHEN CITY-PROVIDED TRASH AND RECYCLING SERVICES CAN OPERATE ON THE PROPERTY.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA TYPE 13 SPRINKLER SYSTEM IS PROPOSED).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCF, SECTION 507.3.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CONTACT LIST:

CIVIL ENGINEER Amber Mason, PE WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-535-5200 amason@withersravenel.com	LANDSCAPE ARCHITECT Joshua Karrick, PLA Cline Design Associates 125 N Harrington Street Raleigh, NC 27601 919-833-6413 joshuak@clinedesignassoc.com	DEVELOPER Michael Eubanks Arboretum Partners 1520 Glenwood Ave, 2nd Floor Raleigh, NC 27608 252-526-1231 m.eubanks@arboretumpartners.com	OWNER BROOKS FAMILY I LLC WARD CLOVER LANE LLC 2320 BEECHRIDGE RD RALEIGH, NC 27608
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PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION



WithersRavenel
137 S Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

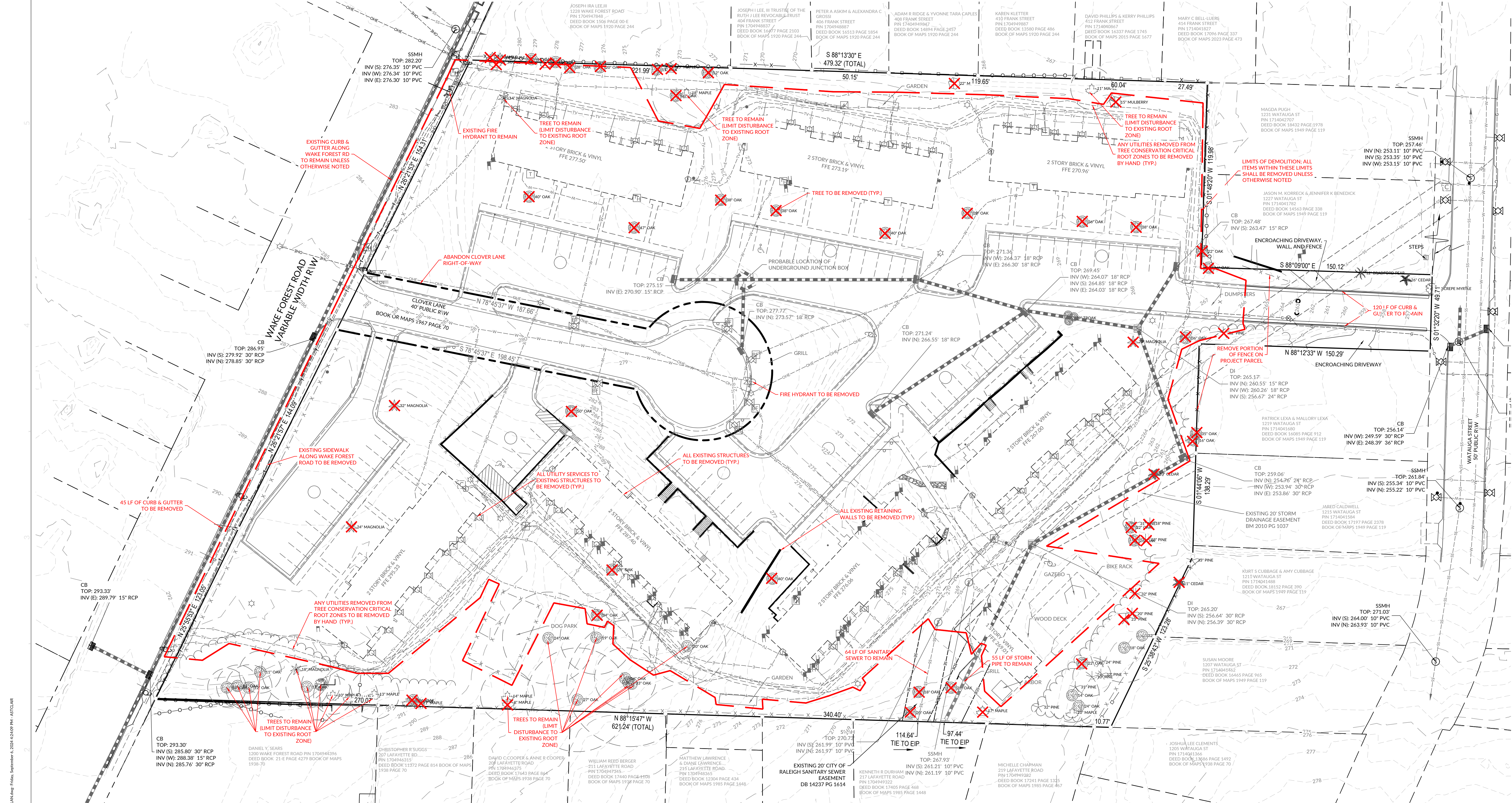
PREPARED BY:

DEVELOPER:

ARBORETUM PARTNERS
1520 GLENWOOD AVENUE, 2ND FLOOR
RALEIGH, NC 27608
PHONE #: 252-526-1231
ATTENTION: MICHAEL EUBANKS



ADMINISTRATIVE SITE PLAN
ARBORETUM PARTERS
CLOVER LANE
ASR-XXXX-2024
WR PROJECT NO. 23-1118
CITY OF RALEIGH
MUNI PRO NO. ASR-XXXX-2024
INITIAL PLAN DATE: 09/06/2024



DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	LIMITS OF DEMOLITION
	TREE TO BE REMOVED

- EXISTING CONDITIONS AND DEMOLITION NOTES:**
- THE LIMITS OF DEMOLITION IS SHOWN IN RED. ALL ITEMS SHOWN WITHIN THE LIMITS OF DEMOLITION SHALL BE DEMOLISHED OR ABANDONED IN PLACE, UNLESS OTHERWISE NOTED.
 - ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCING WORK.
 - SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
 - TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
 - SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
 - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
 - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
 - CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

115 MackKern Drive | Cary, NC 27511
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

1520 GLENWOOD AVENUE, 2ND FLOOR
RALEIGH, NC 27608

ADMINISTRATIVE SITE PLAN
**ARBORETUM PARTERS
CLOVER LANE
ASR-XXXX-2024**

405 CLOVER LANE | RALEIGH, NC | WAKE COUNTY

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

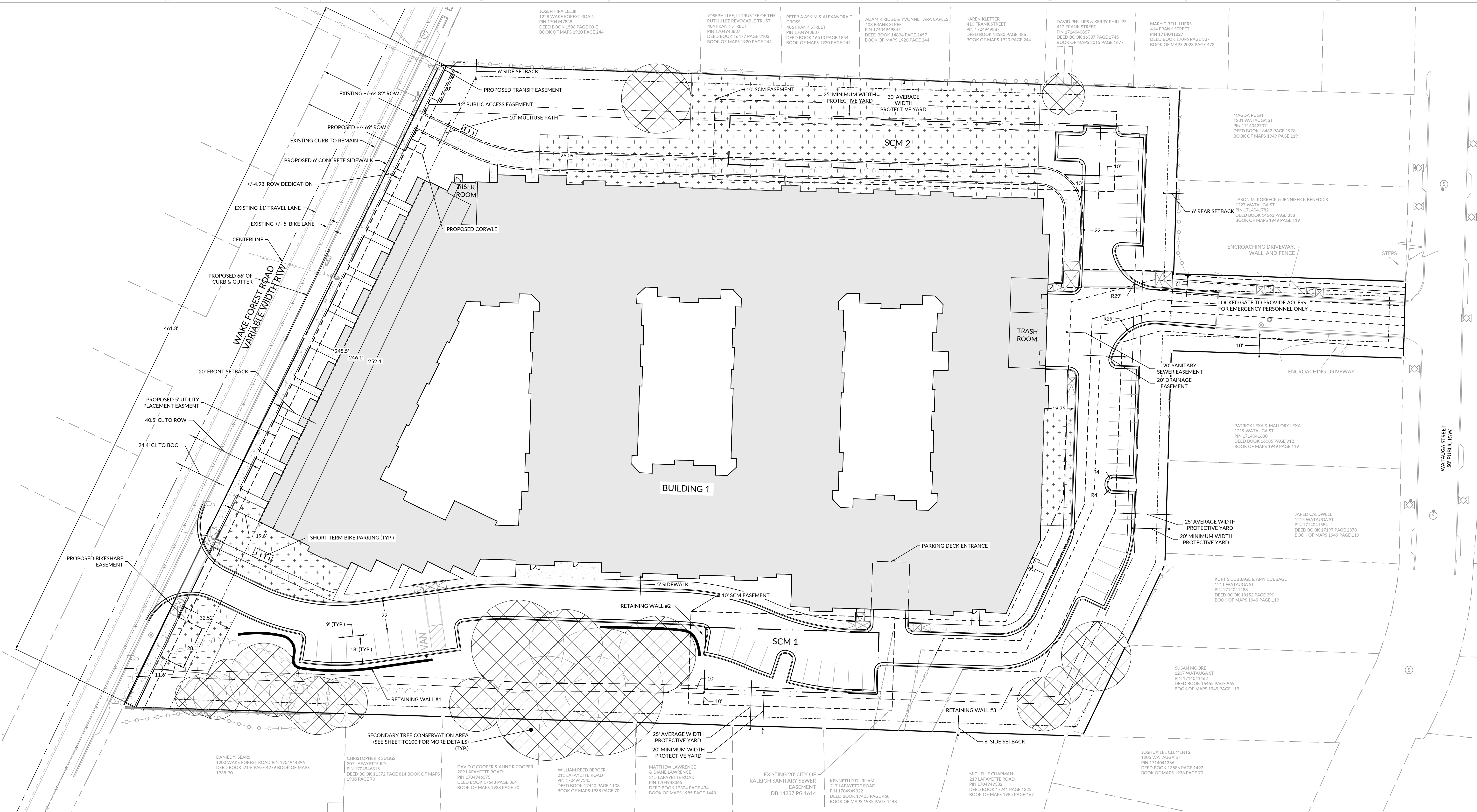
SCALE: 1 inch = 30 ft.

INITIAL PLAN DATE: 09/06/2024
REVISIONS:

WR JOB NUMBER: 23-1118
DRN: WR DGN: WR CKD: WR

EXISTING
CONDITIONS AND
DEMOLITION PLAN

C1.00



SITE LEGEND

- AMENITY AREA
- RAMP
- LANDING
- ADA ROUTE
- RETAINING WALL
- FENCE
- TREE CONSERVATION AREA (REFER TO SHEET TC100 FOR MORE INFORMATION)
- STANDARD CURB & GUTTER

NET SITE AREA CALCULATION

PARCEL SITE AREA: 5.37 AC
 CLOVER LANE ROW AREA: 0.32 AC
 COMBINED EXISTING SITE AREA: 5.67 AC OR 246,999 SF
 TOTAL ROW DEDICATION: 0.07 AC OR 2,950 SF
TOTAL PROPOSED SITE AREA: 5.60 AC OR 244,049 SF

SITE CALCULATIONS

USE CATEGORY: MULTI-UNIT LIVING
 OUTDOOR AMENITY AREA (MIN.)
 REQUIRED: 10% OF LOT AREA FOR APARTMENT USE (PER UDO SEC. 3.2.4.A4)
 5.62 AC LOT x 10% = **0.56 AC (24,405 SF)**
 PROPOSED: **0.59 AC (25,580 SF)**

BUILD TO:
 WAKE FOREST ROAD PROPOSED LOT WIDTH: 461.3'
 MINIMUM BUILDING WIDTH: 245.5'
 BUILDING WIDTH: 252.4'
 252.4' / 461.3' = **55% (50% MIN)**

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR REVENUE OF ANY PLAT FOR THIS DEVELOPMENT.
4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
5. ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT IN MARCH 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
7. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, UNLESS OTHERWISE STATED ON PLANS.
8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
9. TRASH AND CARDBOARD DUMPS/TERIS) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
11. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
12. THE CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT N.C. ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
13. HANDICAP PARKING SPACES(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
14. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
15. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
16. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
17. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
18. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
19. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
20. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
21. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
22. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
23. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
25. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTTOPWAYSERVICES@RALEIGHNC.GOV.
26. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
27. ALL WALLS WITH HEIGHTS IN EXCESS OF 28" REQUIRE A SAFETY FENCE TO BE INSTALLED ALONG THE TOP OF WALL.
28. ALL HANDICAP RAMPS AND STAIRS REQUIRE A HANDRAIL TO BE INSTALLED ALONG THE LENGTH OF IT.
29. FIRE/SOLID WASTE TRUCK ROUTE TO BE PAVED WITH HEAVY DUTY ASPHALT. PAVEMENT DETAILS WILL BE PROVIDED ON SPR PLANS.

RETAINING WALL NOTES:

1. THE CONTRACTOR SHALL ADHERE TO THE HORIZONTAL AND VERTICAL LOCATION OF THE WALLS SHOWN ON THE PLANS. THE STRUCTURAL WALL DESIGN SHALL BE COMPLETED BY OTHERS, UNLESS OTHERWISE NOTED.
2. TFW REFERS TO TOP FACE OF WALL ELEVATION. BWV REFERS TO THE BOTTOM FACE OF WALL ELEVATION AT FINISHED GRADE, NOT FOOTING GRADE.
3. IF STAKED BY WITHERSRAVENEL, INC., BOTTOM OF WALL GRADE AT FINISHED GRADE WILL BE STAKED. ANY DIFFERENCES BETWEEN FOUNDATION OF WALL AS COMPARED TO FINISHED GRADE BOTTOM IS TO BE STATED SO ON RETAINING WALL PLANS BY OTHERS.
4. IF WALL CONTRACTOR REQUIRES ADDITIONAL STAKING BEYOND WALL AT FINISHED GRADE, THE ENGINEER MAY PROVIDE A CAD FILE NOTING LOCATION OF THE ITEMS TO BE STAKED. LOCATIONS WHERE WALL BREAKS OR CHANGES IN WALL ANGLES ARE TO BE NOTED ON THE CAD FILE.
5. WALL BATTER ASSUMPTIONS
 - 5.a. 1" PER 8' VERTICAL RISE
 - 5.b. THE WALL CONTRACTOR OR ENGINEER OF RECORD FOR THE PROPOSED WALL SHALL NOTIFY WITHERSRAVENEL, INC. IF THE RETAINING WALL BATTER MUST DEVIATE FROM THE ABOVE WALL ASSUMPTIONS AT THE TIME OF DESIGN FOR VERIFICATION TO MEET SITE DESIGN CRITERIA.
6. PRIOR TO WALL STAKING, A MEETING SHALL BE HELD BY THE SURVEYOR AND WALL CONTRACTOR TO DETERMINE STAKING CRITERIA.
7. CONTRACTOR TO INSTALL TEMPORARY FENCING/BARRICADES DURING CONSTRUCTION UNTIL PERMANENT FENCING IS INSTALLED.
8. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO PERMANENT DURING CONSTRUCTION. REPAIR OF DAMAGES SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND SHALL BE DONE TO THE SATISFACTION OF THE ENGINEER AND OWNER.

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION

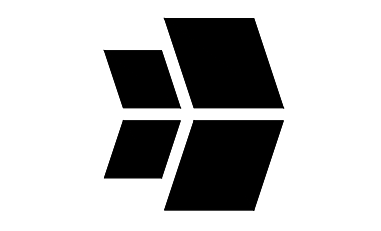
INITIAL PLAN DATE: 09/06/2024
 REVISIONS:



WR JOB NUMBER: 23-1118
 DRN: WR DGN: WR CKD: WR

SITE PLAN

C2.00



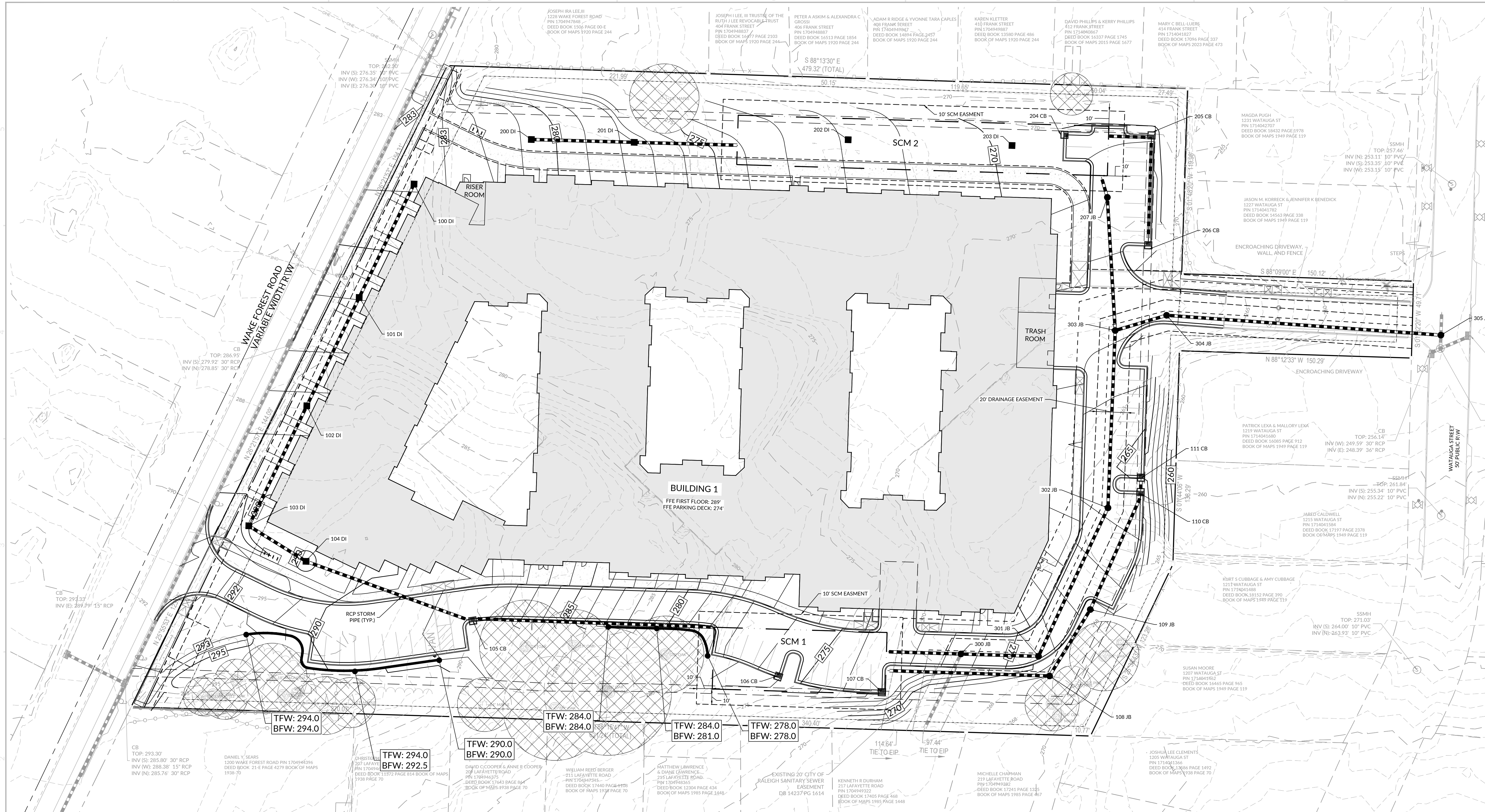
ARBOR ETUM
 PARTNERS

ARBOR ETUM PARTERS
CLOVER LANE
ASR-XXXX-2024

ADMINISTRATIVE SITE PLAN

1520 GLENWOOD AVENUE, 2ND FLOOR
 RALEIGH, NC 27608

405 CLOVER LANE | RALEIGH, NC | WAKE COUNTY



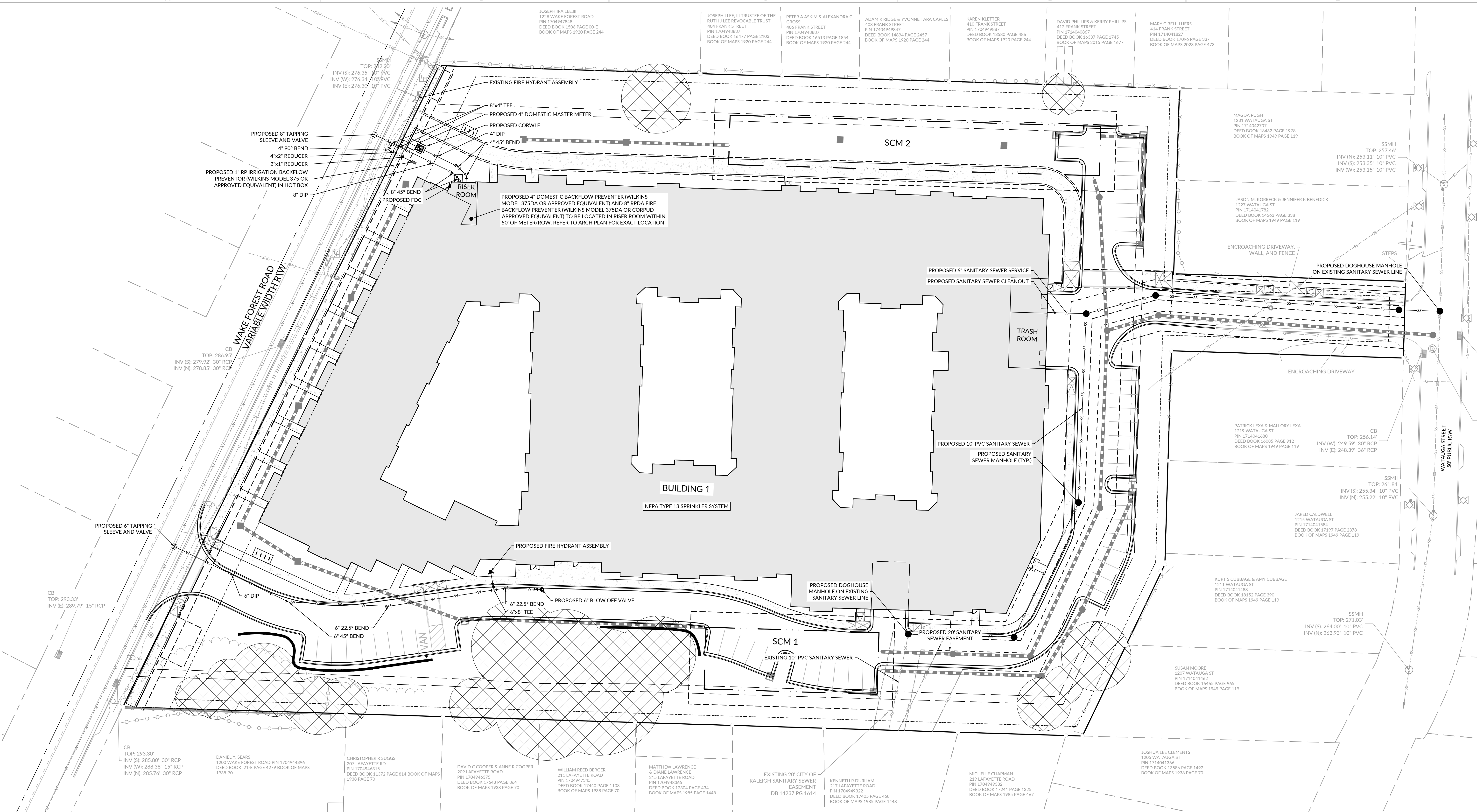
GRADING AND DRAINAGE LEGEND

SYMBOL	DESCRIPTION
— 100 —	EXISTING MAJOR CONTOUR
— 100 —	EXISTING MINOR CONTOUR
— 100 —	PROPOSED MAJOR CONTOUR
— 100 —	PROPOSED MINOR CONTOUR
— — —	STORM PIPE
— — —	TRENCH DRAIN
■	CATCH BASIN (CB)
●	JUNCTION BOX (JB)
■	YARD INLET (YI)/DROP INLET (DI)

AVERAGE GRADE CALCULATION

THE AVERAGE GRADE FOR THIS SITE IS MEASURED FROM KENT ROAD, THE PRIMARY STREET FOR THIS PROJECT. THE AVERAGE GRADE CALCULATION IS BELOW:

BUILDING #1
 (LOWEST ELEVATION + HIGHEST ELEVATION) / 2 = AVERAGE GRADE
 LOWEST ELEVATION = 284.00
 HIGHEST ELEVATION = 290.00
 (284.00 + 290.00) / 2 = **287.00**



UTILITIES NOTES

- REFER TO DEMOLITION PLAN, SHEET C1.10, FOR MORE INFORMATION REGARDING EXISTING UTILITY SERVICES AND STRUCTURES TO BE ABANDONED.

UTILITIES LEGEND

SYMBOL	DESCRIPTION
	PROPOSED FIRE HYDRANT
	PROPOSED FDC
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED CLEAN OUT
	PROPOSED SANITARY SEWER/ STORM MANHOLE
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM DROP INLET WITH GRATE
	PROPOSED STORM PIPE

COR APPENDIX D STANDARD UTILITY NOTES

- ALL STANDARD MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARD, DETAILS, & SPECIFICATIONS (REFERENCE CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS, HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & 5-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN S/O/R PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 4" DIP WATER SERVICE WITH A MASTER METER LOCATED AT ROW OR WITHIN A WATERLINE EASEMENT IMMEDIATELY ADJACENT. *NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE*
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

115 McKinnon Drive | Cary, NC 27511
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

1520 GLENWOOD AVENUE, 2ND FLOOR
RALEIGH, NC 27608

ADMINISTRATIVE SITE PLAN
**ARBORETUM PARTERS
CLOVER LANE
ASR-XXXX-2024**

405 CLOVER LANE | RALEIGH, NC | WAKE COUNTY

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

SCALE: 1 inch = 30 ft.

INITIAL PLAN DATE: 09/06/2024
REVISIONS:

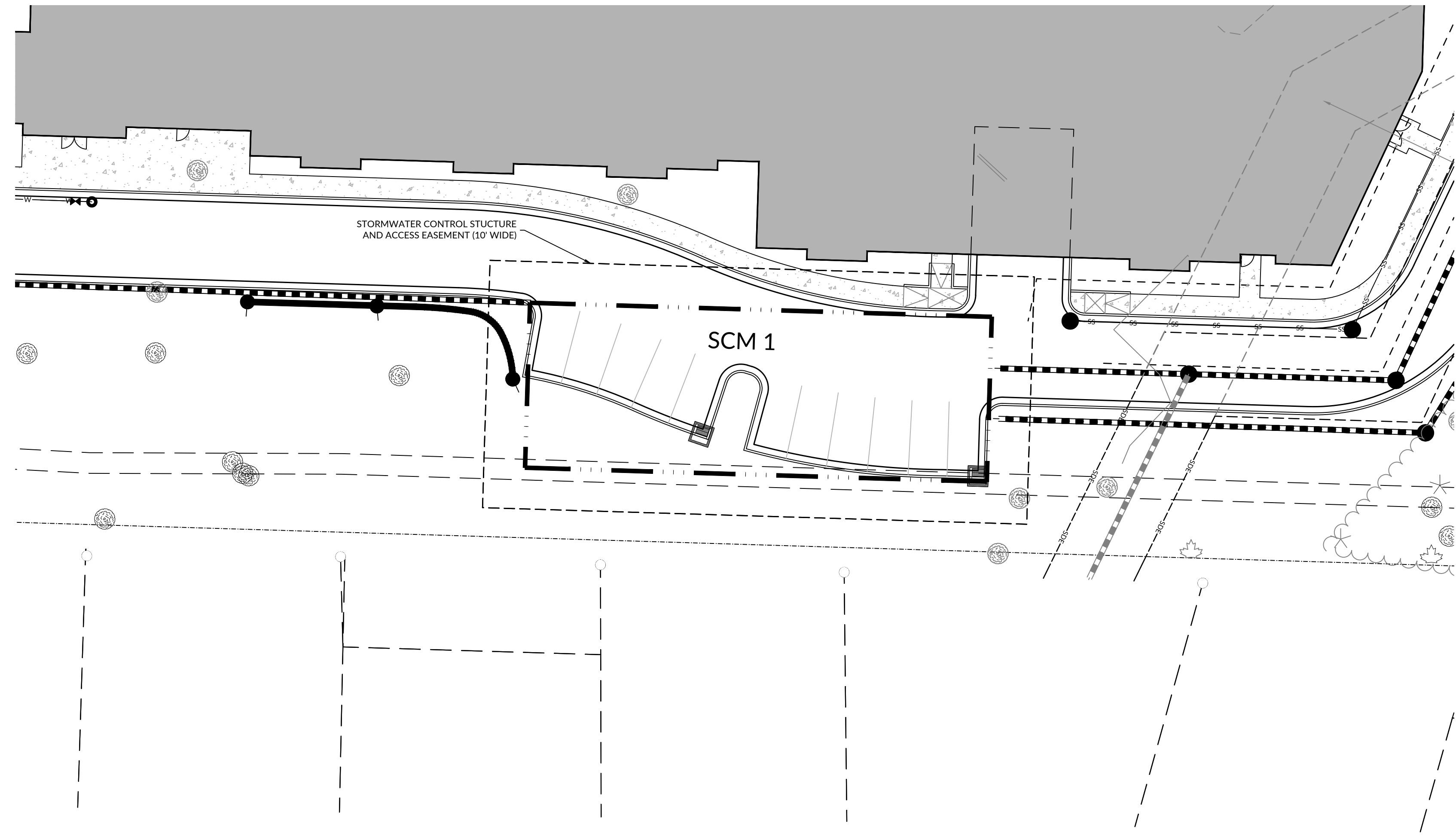
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DRN: WR	DGN: WR
CKD: WR	

UTILITY PLAN

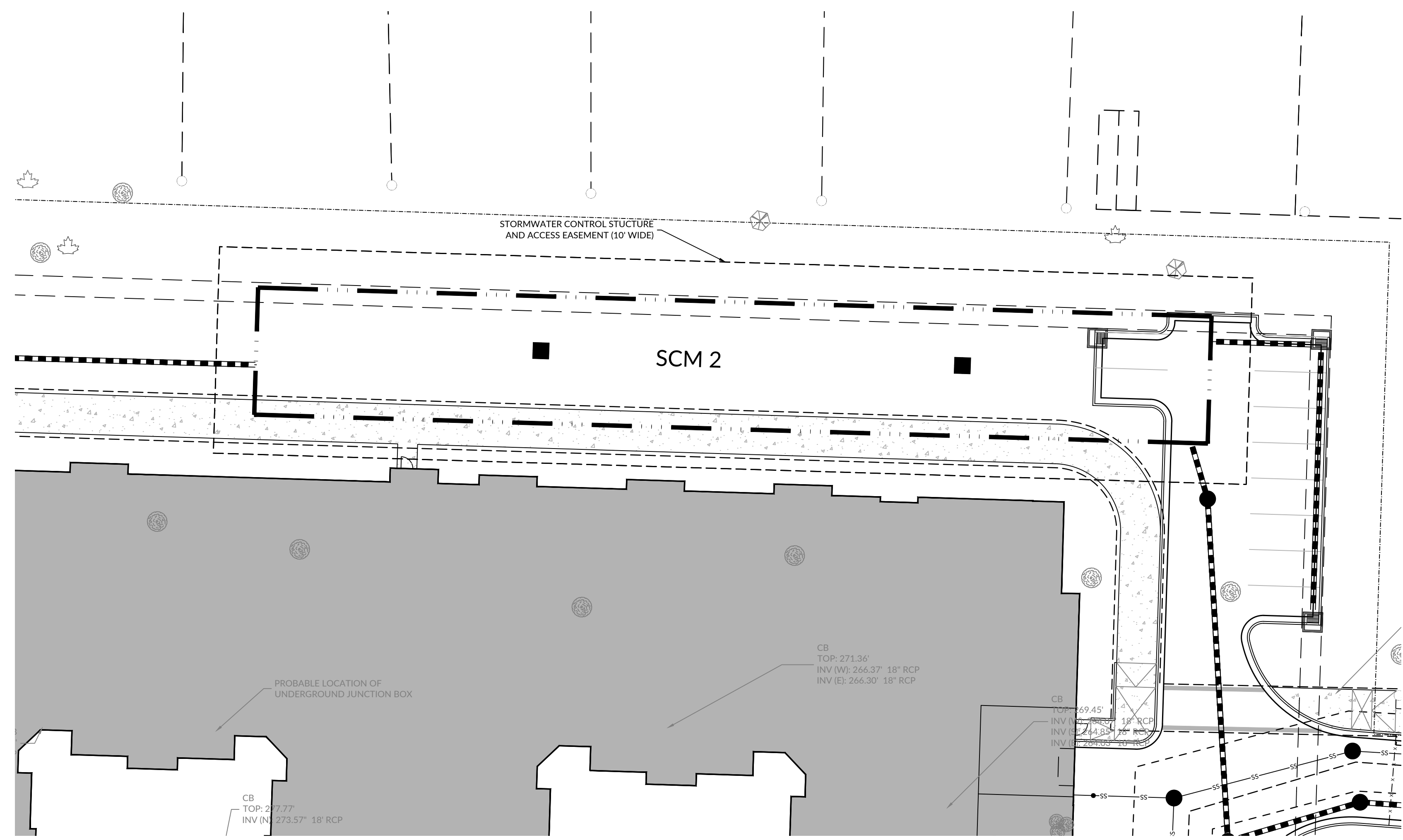
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SCM 1 PLAN

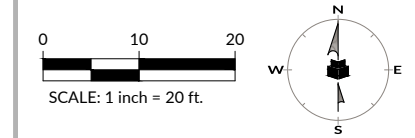


SCM 2 PLAN

- STORMWATER CONTROL MEASURE (SCM) NOTES:**
1. PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
 2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS.
 3. GEOTECHNICAL ENGINEER SHALL EVALUATE SOILS ONSITE FOR SUITABILITY OF CONSTRUCTION.
 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING STRUCTURES.
 5. ONCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL OBTAIN APPROVAL BY EROSION CONTROL INSPECTOR IN ORDER TO REMOVE EROSION CONTROL DEVICES.
 6. ONCE ALL SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN REMOVED:
 - 6.1. ALL SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 - 6.2. CONVERT STRUCTURES TO SAND FILTER BY INSTALLING UNDERDRAINS AND SAND PER PLAN.
 - 6.3. TOWN OF CARY REQUIRES FINAL CERTIFICATION OF SCM BY PROFESSIONAL ENGINEER.
 7. SAND FILTER MEDIA SHALL HAVE A SURFACE INFILTRATION RATE OF AT LEAST 27"HR.
 8. WASHED COARSE SAND MATERIAL SHALL BE CLEAN AASHTO-M-6 OR ASTM C-33 COARSE SAND WITH AN AVERAGE PARTICLE SIZE OF 2 MM OR LESS.
- PRECAST CONCRETE MATERIALS**
1. ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM TO ASTM C913 (RECTANGULAR) OR C478 (ROUNDS).
 2. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C76, CLASS III (UNLESS OTHERWISE NOTED).
 - 2.1. O-RING JOINTS SHALL CONFORM TO ASTM C443 & ASTM C361, OR ENGINEER APPROVED EQUAL.
 - 2.2. NON-O-RING JOINTS SHALL CONFORM TO ASTM C990.
- ADDITIONAL NOTES**
1. MANUFACTURER TO PROVIDE SPECIFICATIONS TO ENSURE WATER TIGHTNESS TO PREVENT GROUNDWATER SEEPAGE INTO SCM 1, FOR ENGINEER APPROVAL.
 2. MANUFACTURER TO PROVIDE SPECIFICATIONS FOR COUNTER BUOYANCY TO A MINIMUM FACTOR OF SAFETY OF 1.30.

ADMINISTRATIVE SITE PLAN
**ARBORETUM PARTERS
 CLOVER LANE
 ASR-XXXX-2024**
 405 CLOVER LANE | RALEIGH, NC | WAKE COUNTY

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION

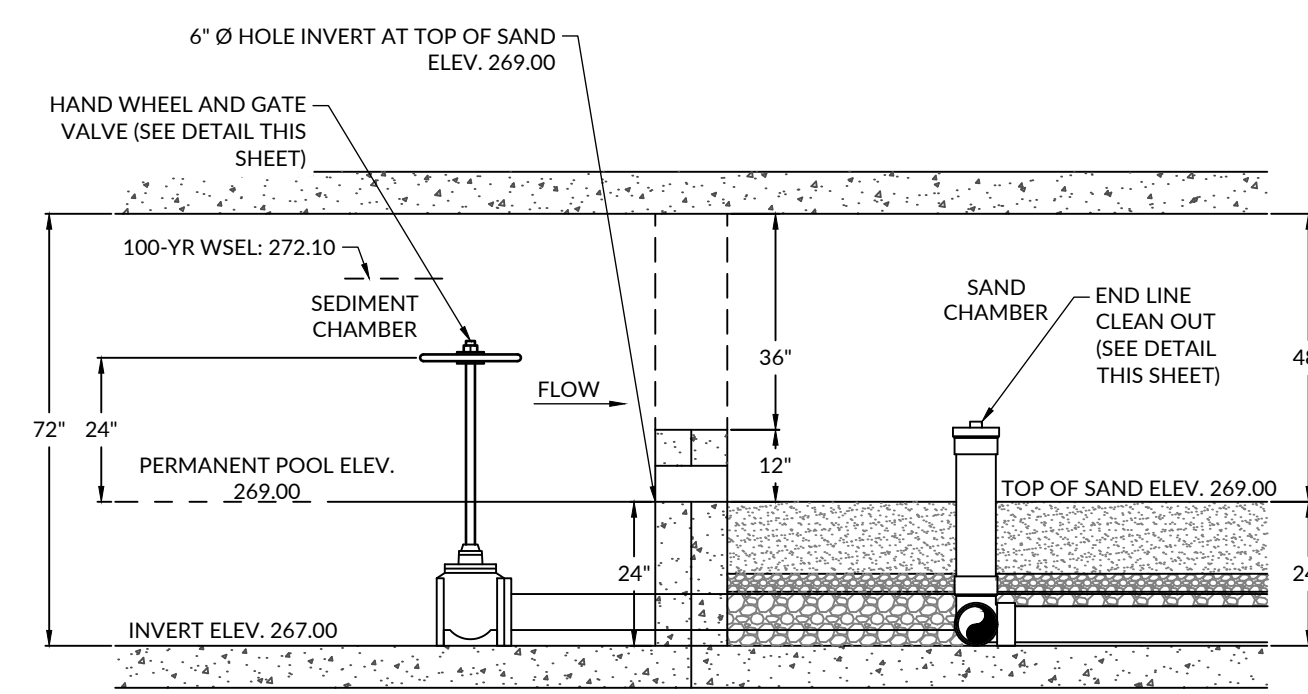


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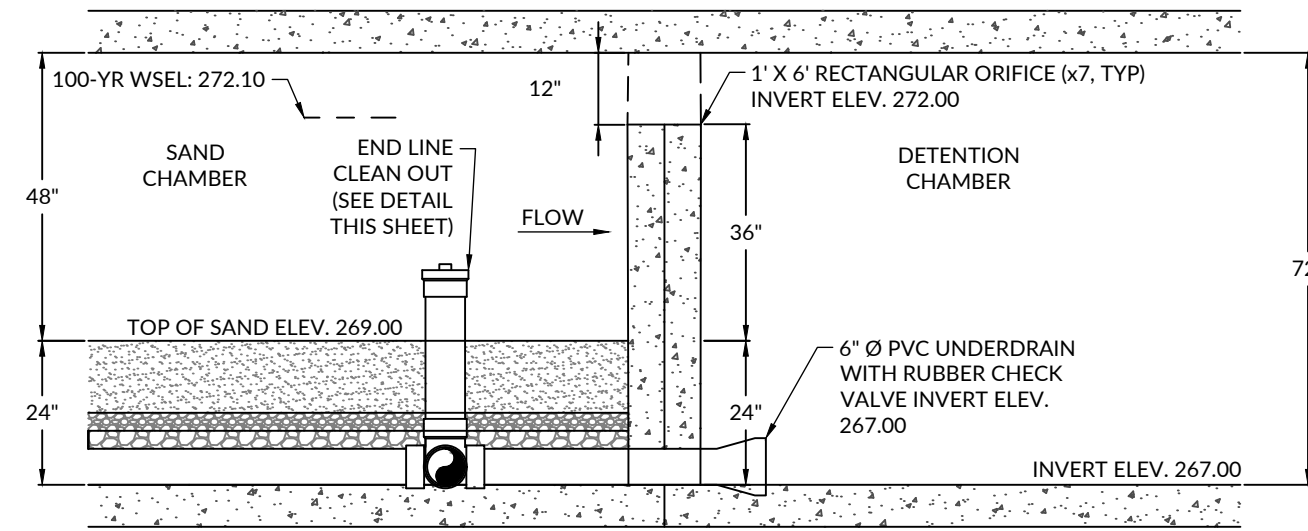
WR JOB NUMBER 23-1118
 DRN: WR DGN: WR CKD: WR

SCM 1 & 2 PLAN

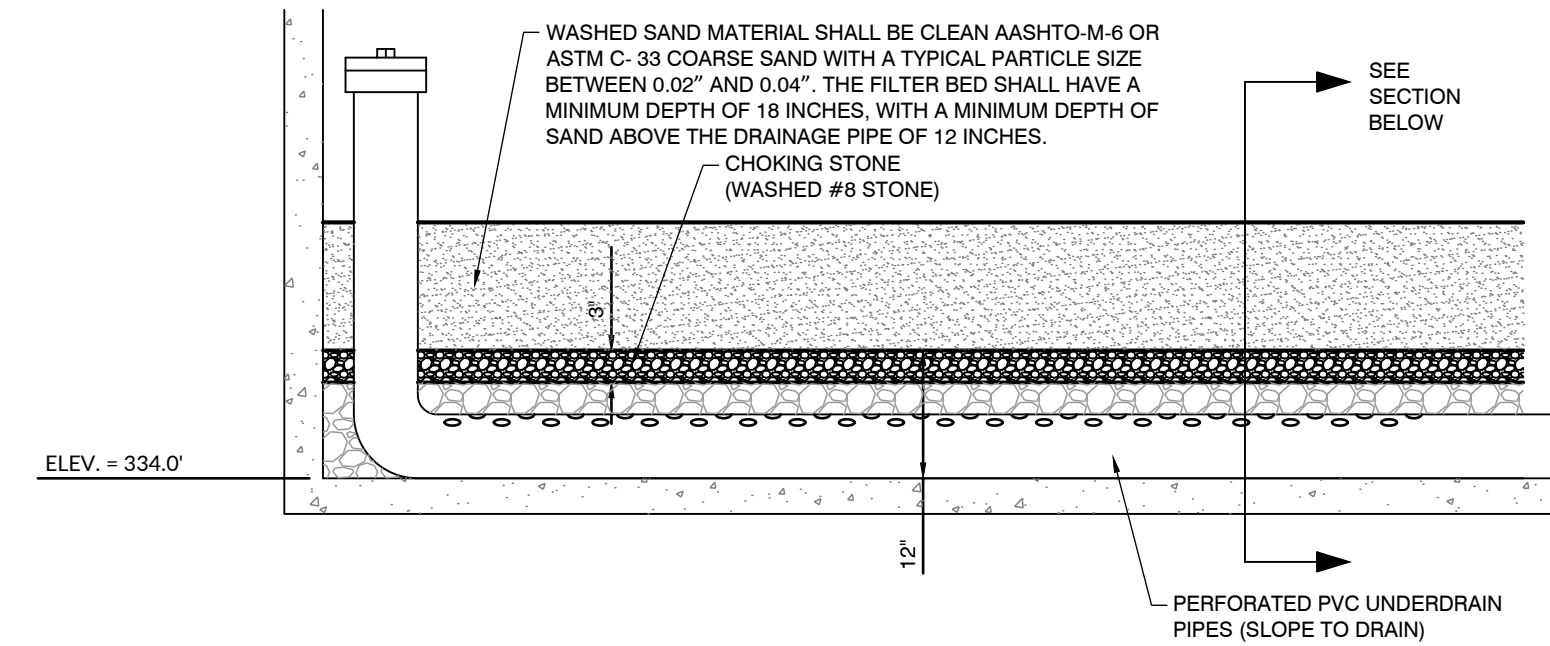
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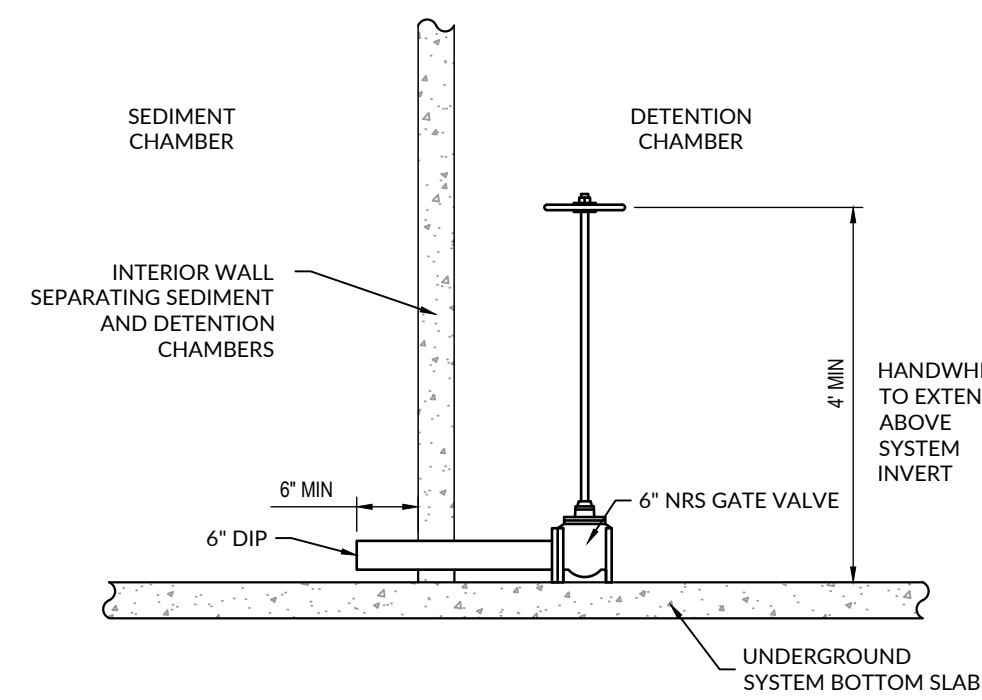
SCM 1 TYPICAL CROSS SECTION -
SEDIMENT CHAMBER TO SAND
CHAMBER
1/8" = 1'-0"



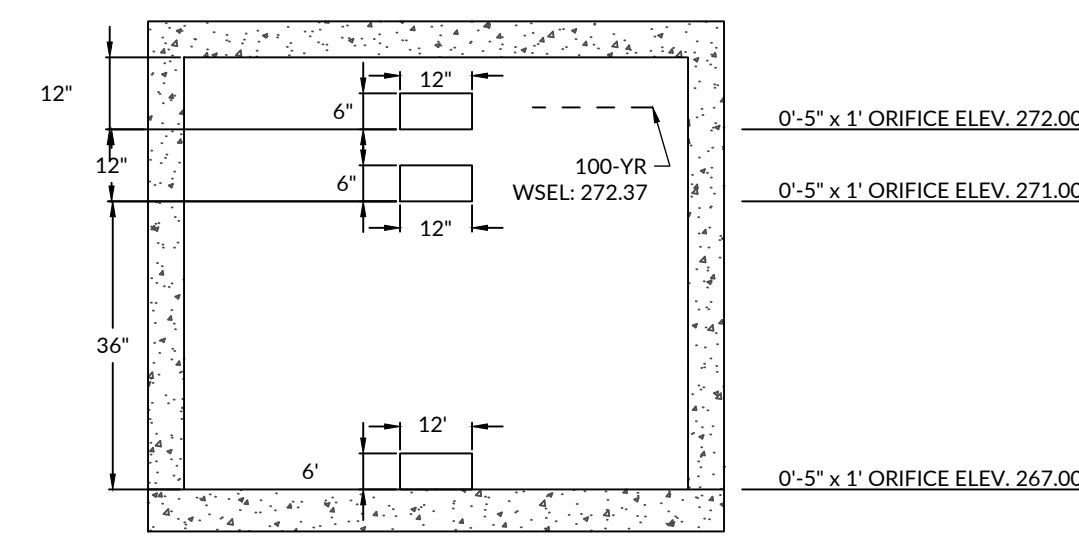
SCM 1 TYPICAL CROSS SECTION -
SAND CHAMBER TO DETENTION
CHAMBER
1/8" = 1'-0"



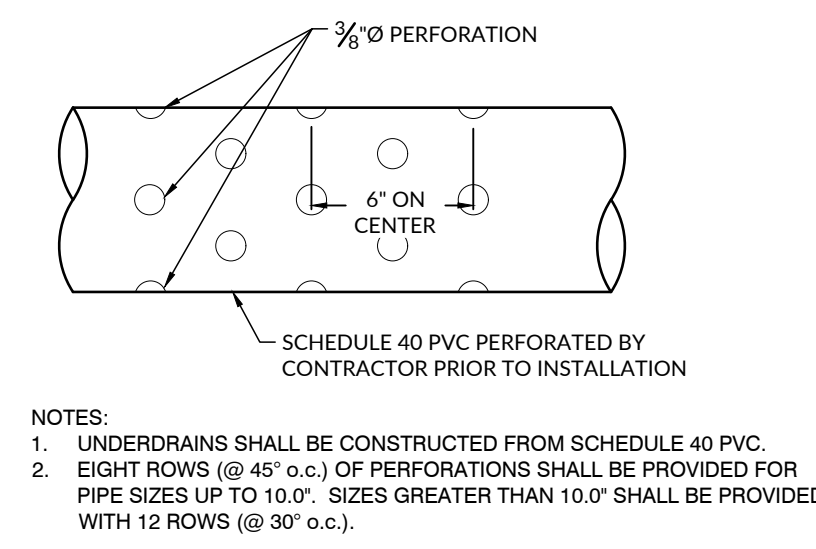
UNDERDRAIN BEDDING DETAIL
NOT TO SCALE



MAINTENANCE GATE VALVE LOCATION DETAIL
NOT TO SCALE

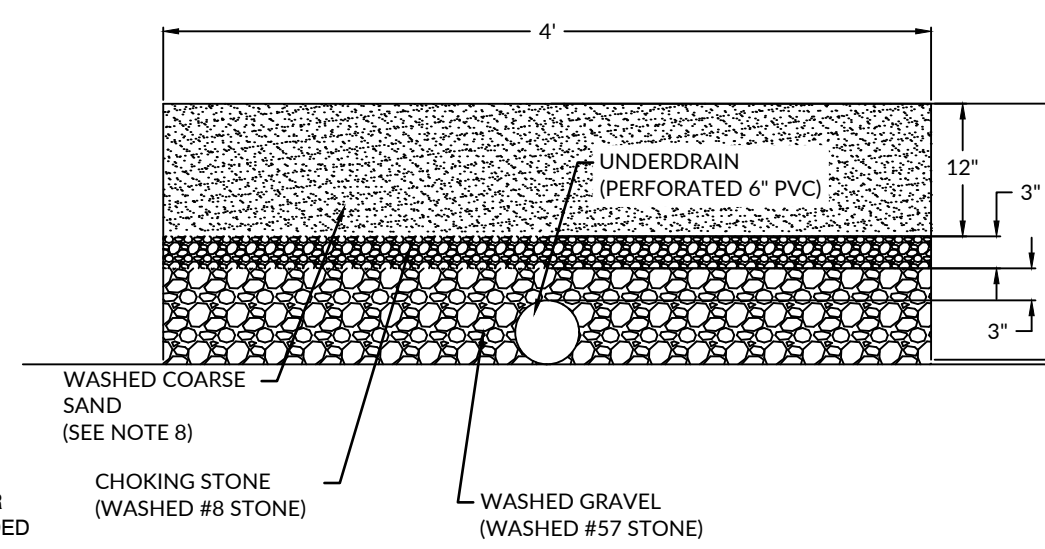


SCM 1 OUTLET CHAMBER
1/8" = 1'-0"

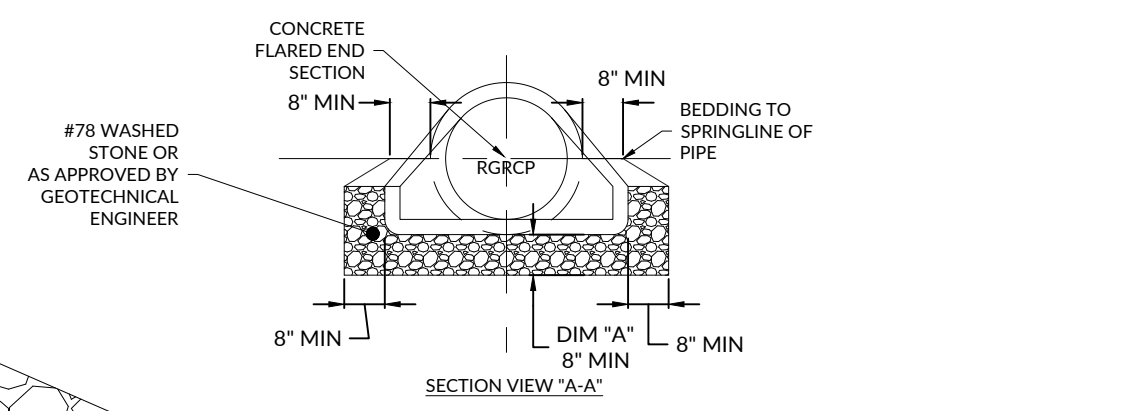


- NOTES:
1. UNDERDRAINS SHALL BE CONSTRUCTED FROM SCHEDULE 40 PVC.
2. EIGHT ROWS (@ 45° o.c.) OF PERFORATIONS SHALL BE PROVIDED FOR PIPE SIZES UP TO 10.0". SIZES GREATER THAN 10.0" SHALL BE PROVIDED WITH 12 ROWS (@ 30° o.c.).

PERFORATED UNDERDRAIN DETAIL
NOT TO SCALE

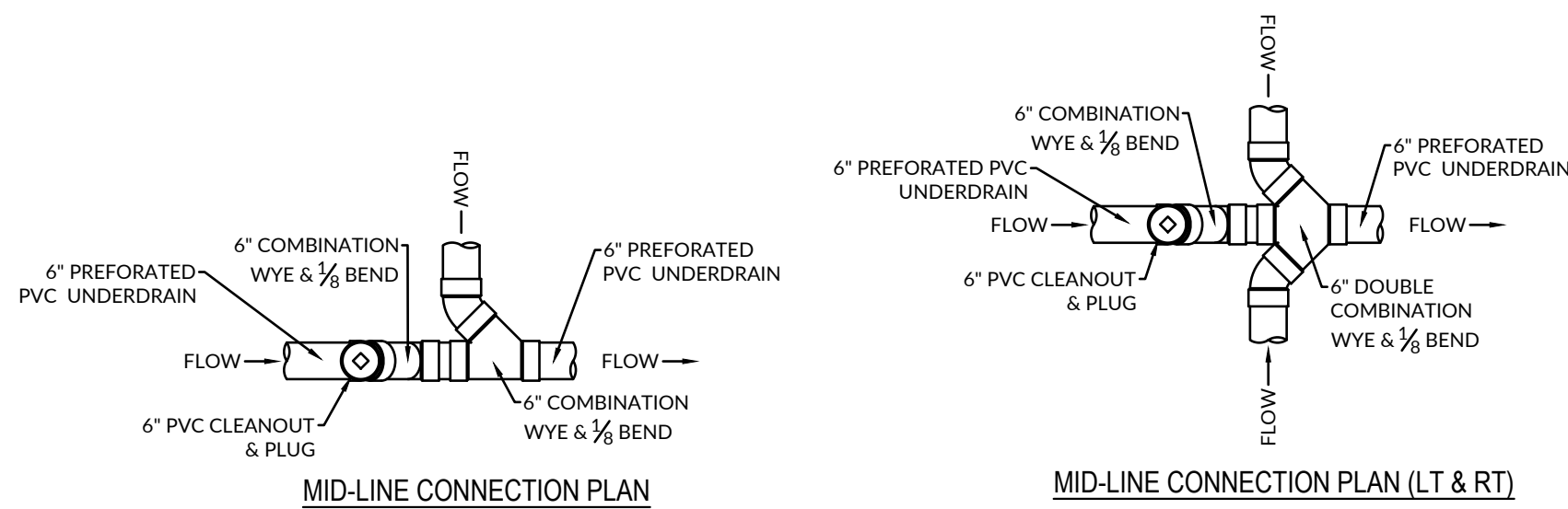


UNDERDRAIN BEDDING DETAIL - SECTION
NOT TO SCALE



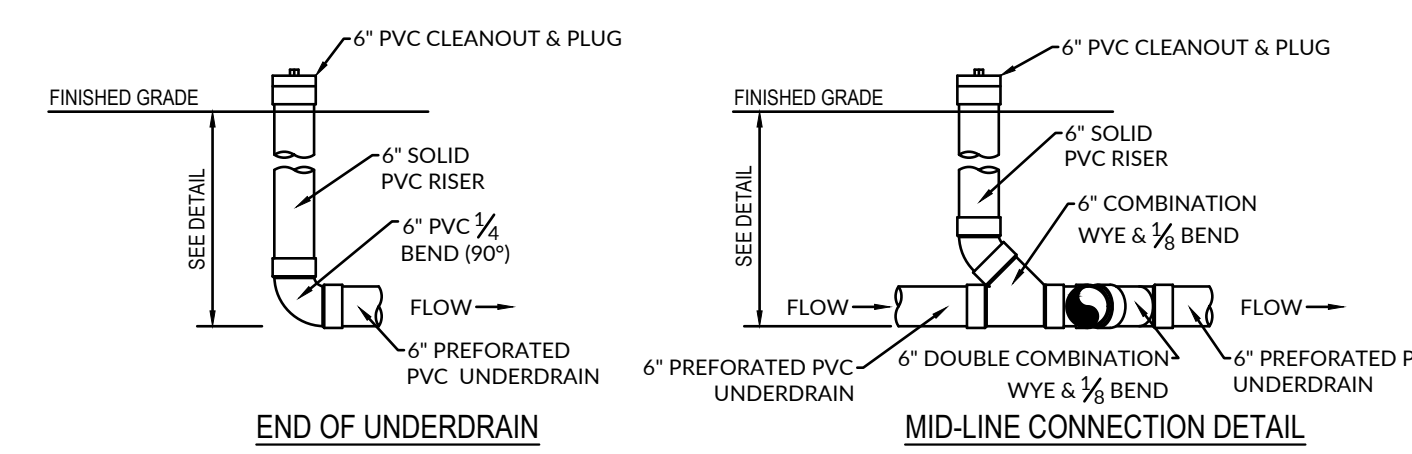
NOMINAL PIPE SIZE	DIM A' (Ø D)	DIM B (PIPE ID)	DIM C (DIM A + 12")	SCM #
18	8	18	20	1
24	8	24	20	
30	10	30	22	
36	12	36	24	
42	14	42	26	
48	16	48	28	

ALL DIMENSIONS IN INCHES
DIM A - 8" MINIMUM
18" MINIMUM PIPE DIAMETER



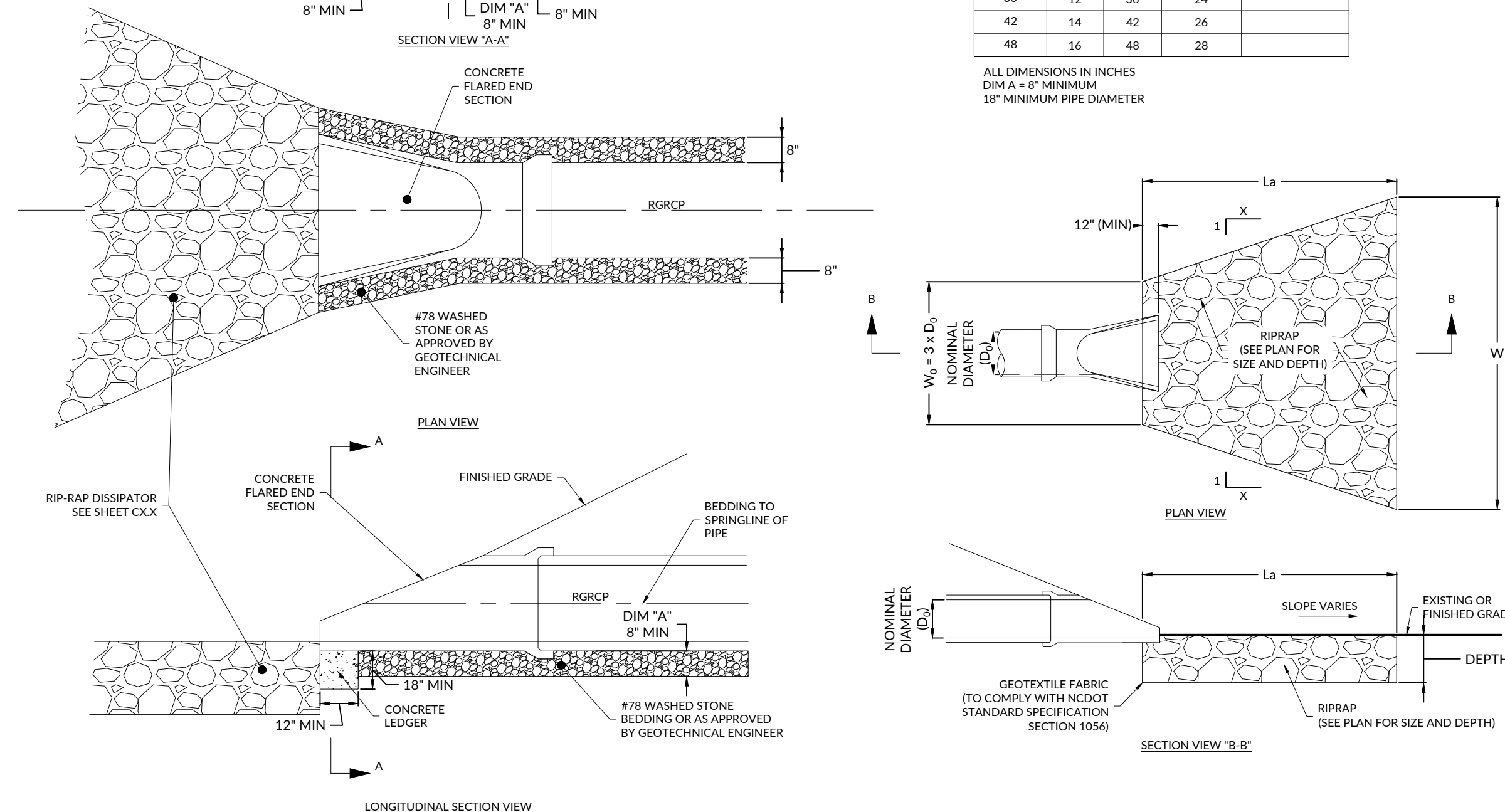
MID-LINE CONNECTION PLAN

MID-LINE CONNECTION PLAN (LT & RT)

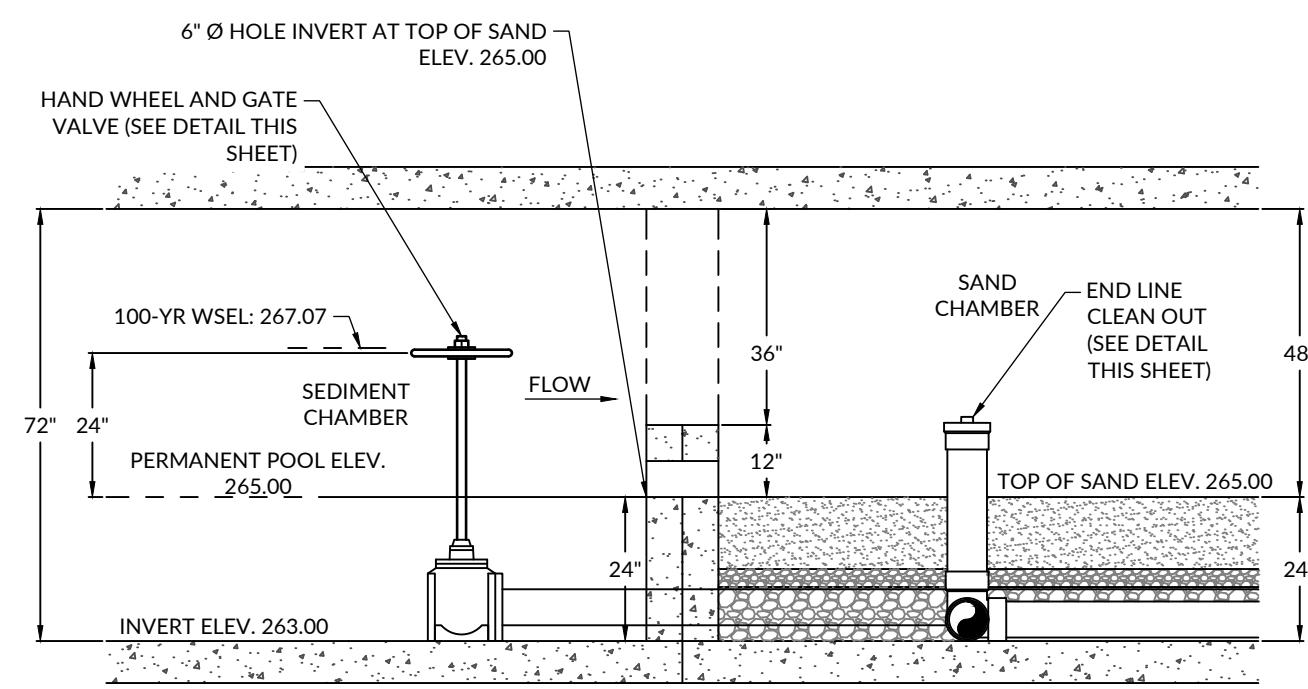


END OF UNDERDRAIN

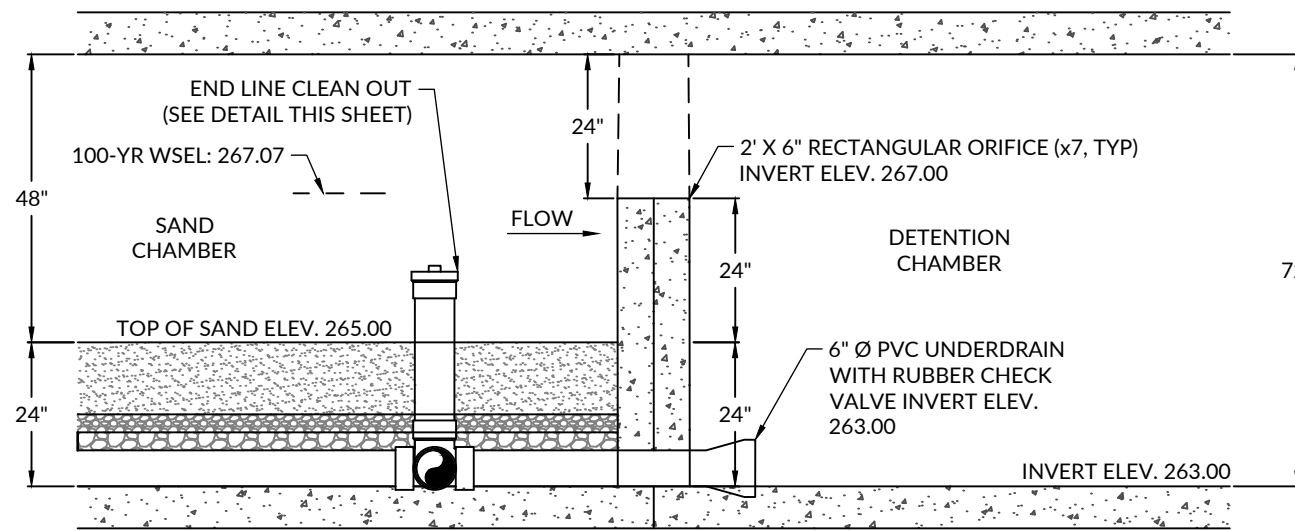
MID-LINE CONNECTION DETAIL



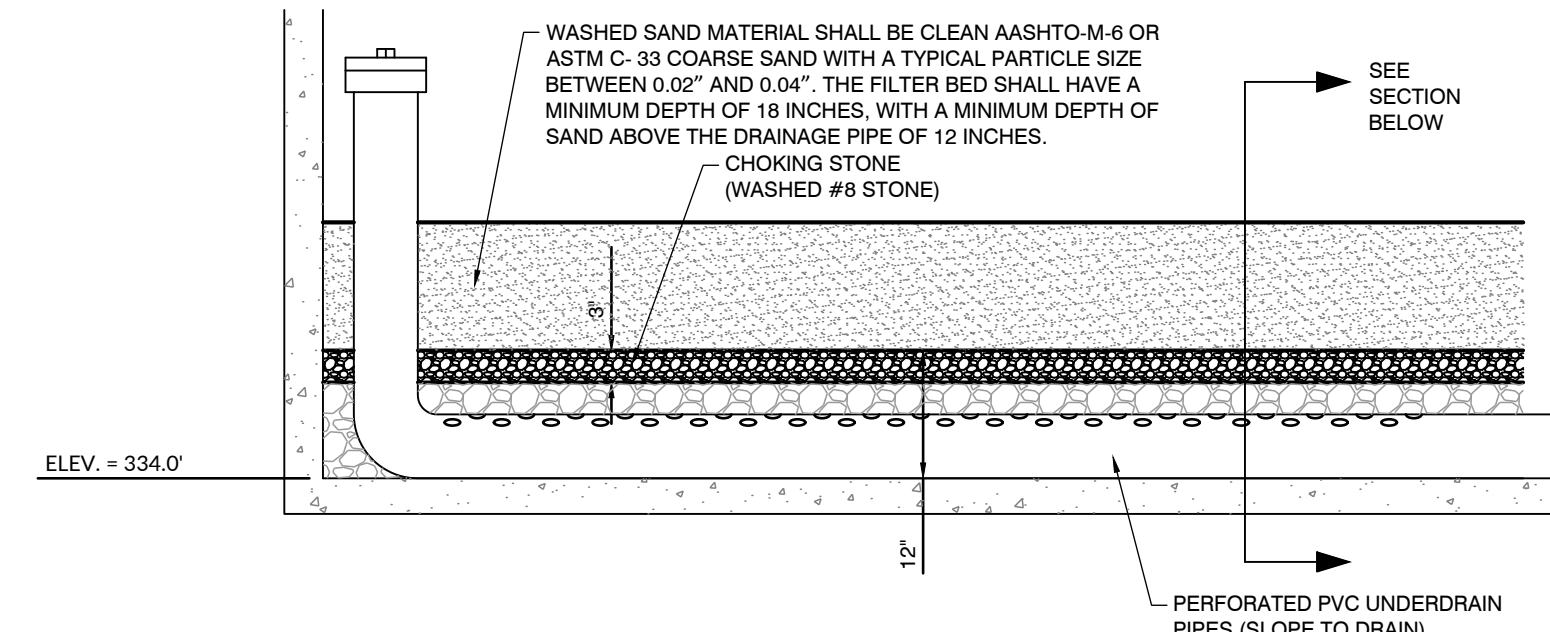
LONGITUDINAL SECTION VIEW



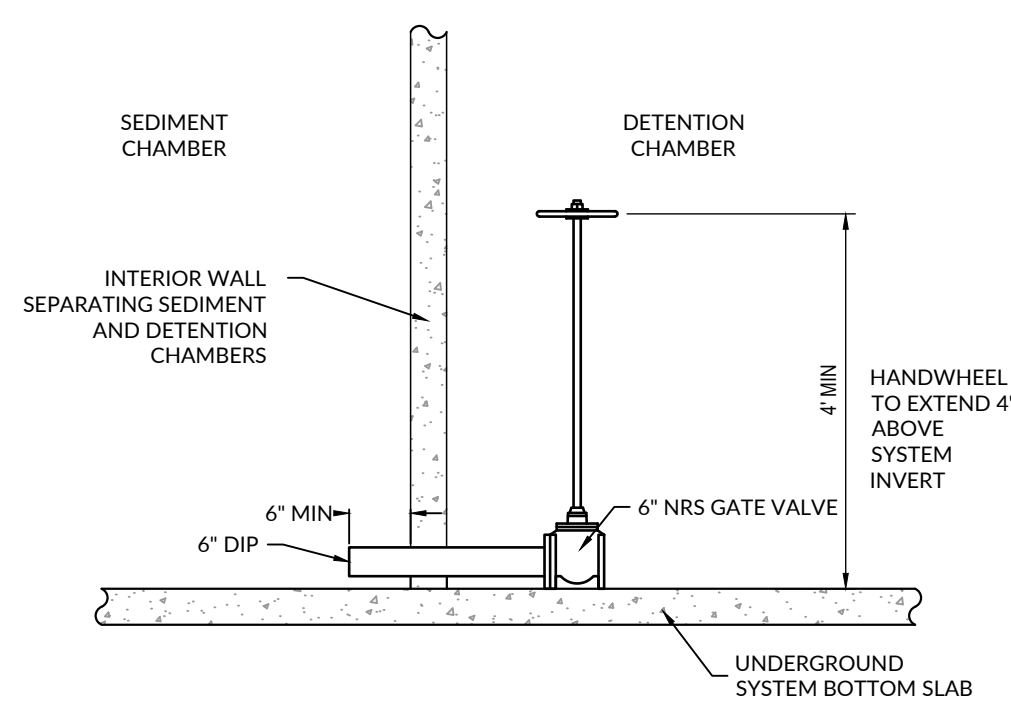
SCM 2 TYPICAL CROSS SECTION -
SEDIMENT CHAMBER TO SAND
CHAMBER
1/8" = 1'-0"



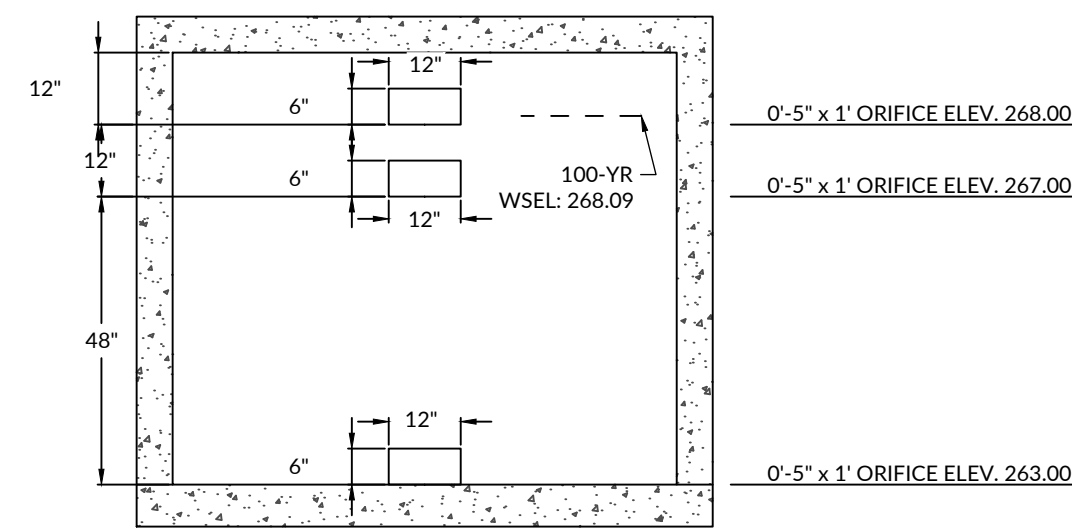
SCM 2 TYPICAL CROSS SECTION -
SAND CHAMBER TO DETENTION
CHAMBER
1/8" = 1'-0"



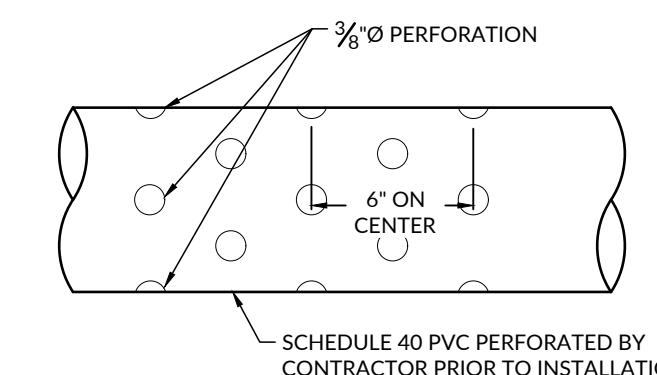
UNDERDRAIN BEDDING DETAIL
NOT TO SCALE



MAINTENANCE GATE VALVE LOCATION DETAIL
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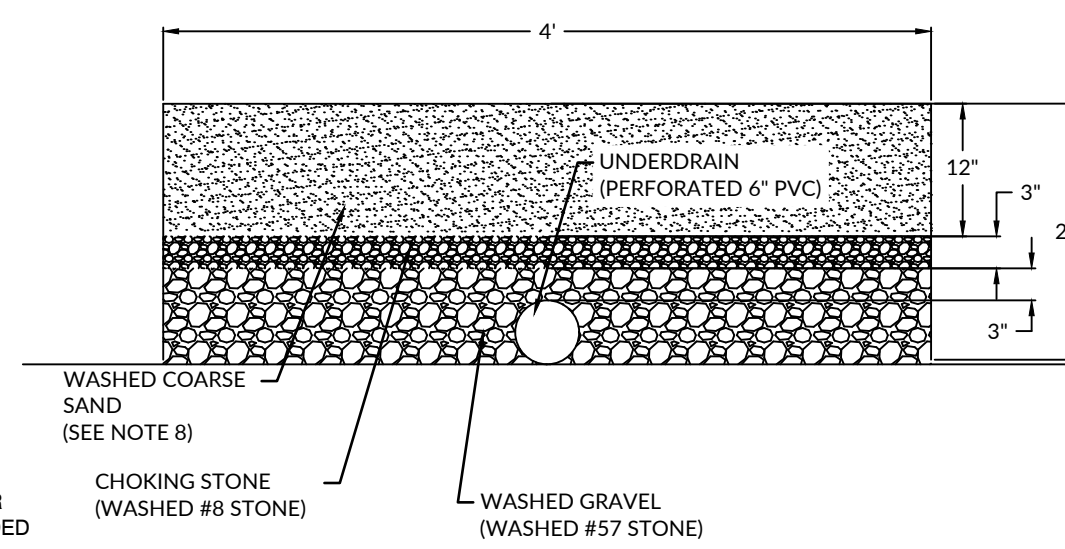


SCM 2 OUTLET CHAMBER
1/8" = 1'-0"

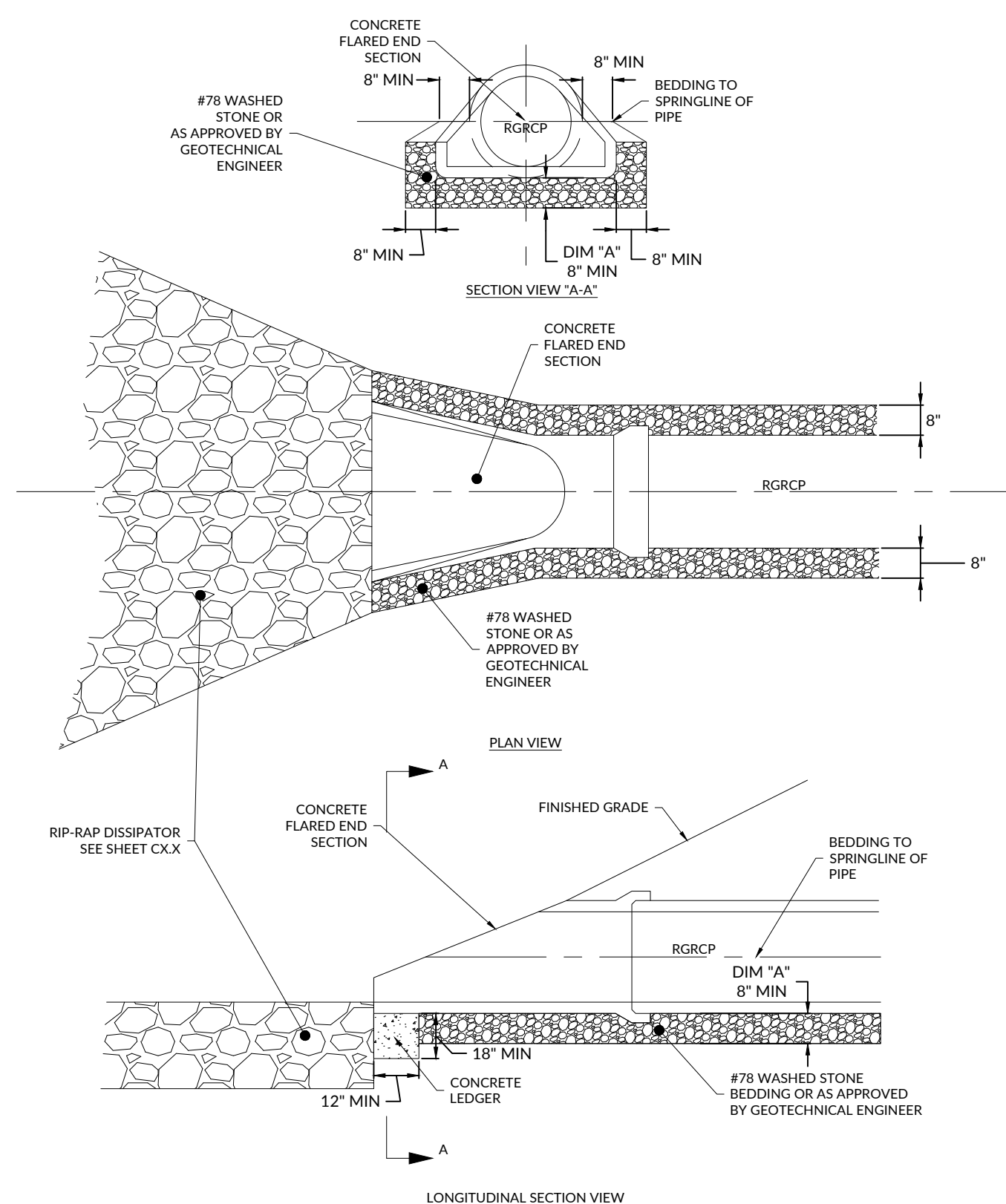


- NOTES:
1. UNDERDRAINS SHALL BE CONSTRUCTED FROM SCHEDULE 40 PVC.
 2. EIGHT ROWS (@ 45° o.c.) OF PERFORATIONS SHALL BE PROVIDED FOR PIPE SIZES UP TO 10.0". SIZES GREATER THAN 10.0" SHALL BE PROVIDED WITH 12 ROWS (@ 30° o.c.).

PERFORATED UNDERDRAIN DETAIL
NOT TO SCALE



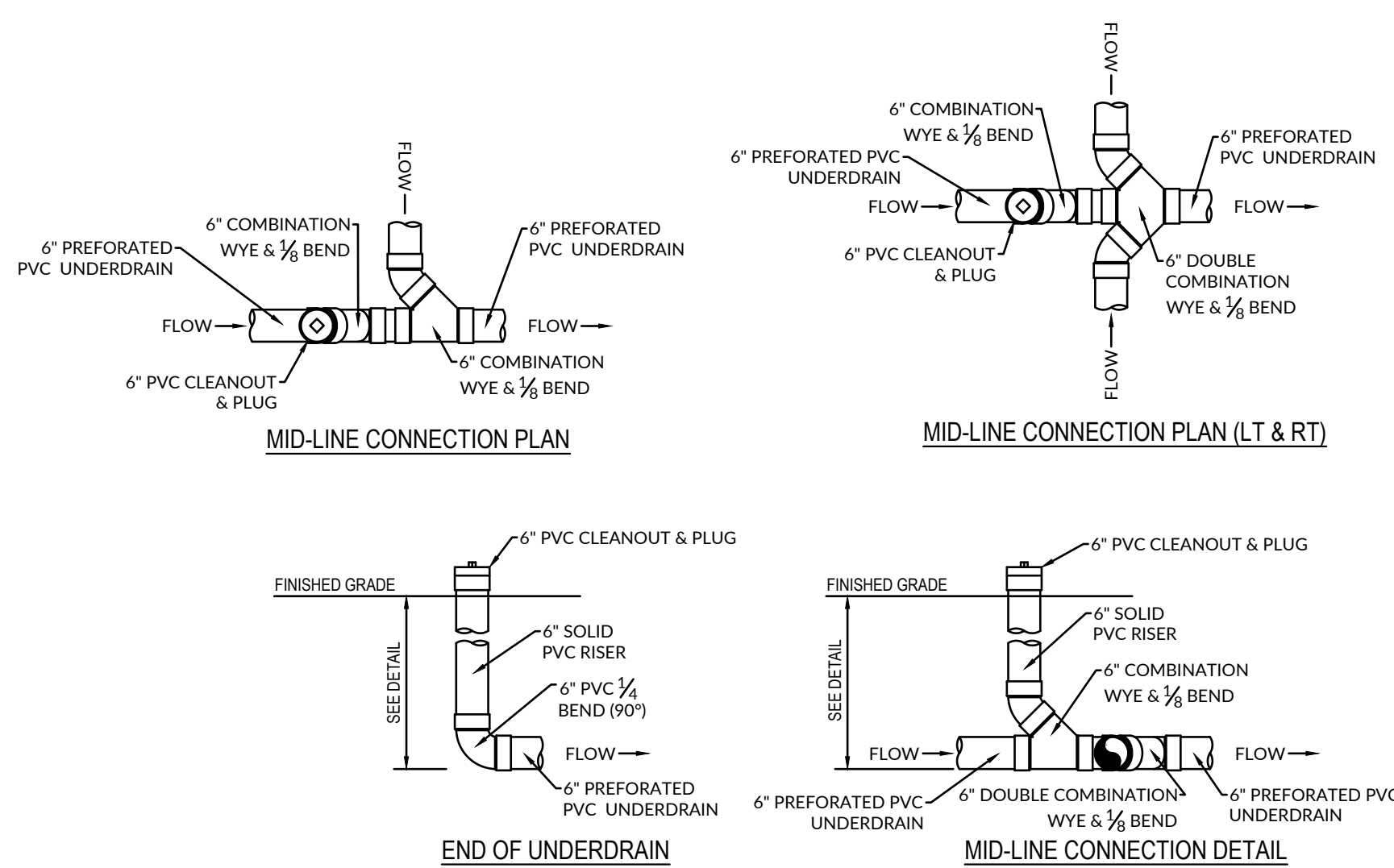
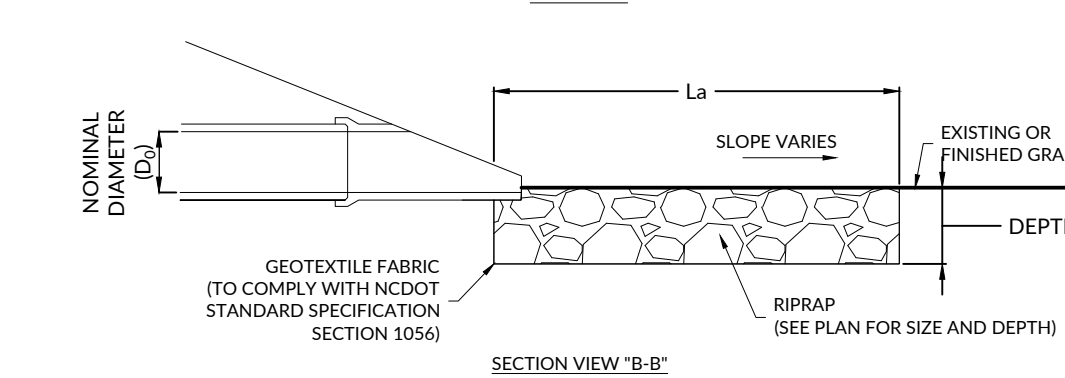
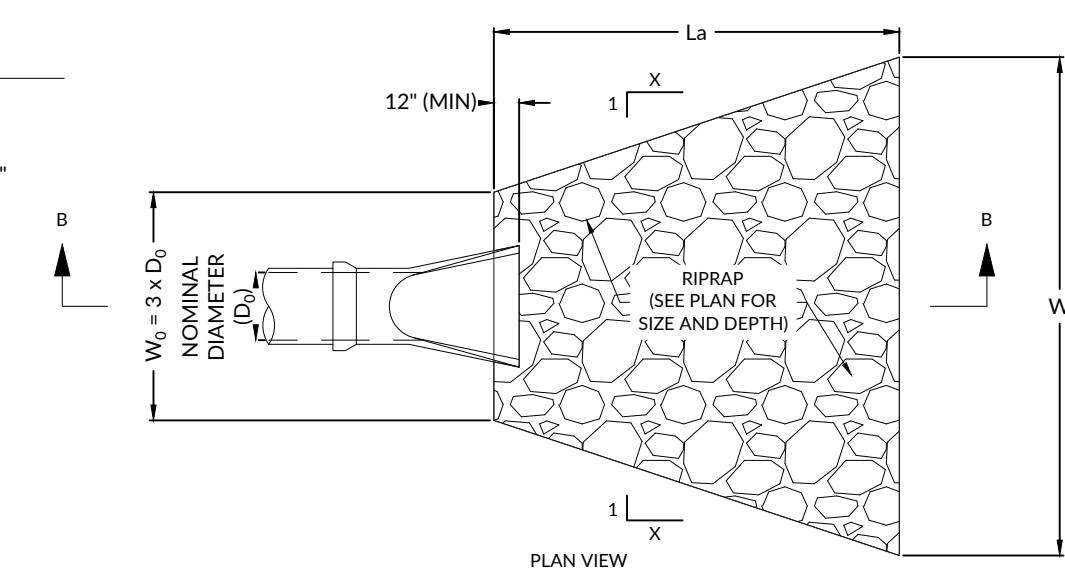
UNDERDRAIN BEDDING DETAIL - SECTION
NOT TO SCALE



LONGITUDINAL SECTION VIEW

NOMINAL PIPE SIZE	DIM A' (Ø D)	DIM B (PIPE ID)	DIM C (DIM A + 12")	SCM #
18	8	18	20	1
24	8	24	20	
30	10	30	22	
36	12	36	24	
42	14	42	26	
48	16	48	28	

ALL DIMENSIONS IN INCHES
DIM A - 8" MINIMUM
18" MINIMUM PIPE DIAMETER



MID-LINE CONNECTION PLAN

MID-LINE CONNECTION PLAN (LT & RT)

END OF UNDERDRAIN

MID-LINE CONNECTION DETAIL

STORMWATER CONTROL MEASURE (SCM) NOTES:

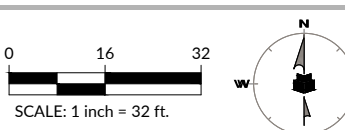
1. PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS.
3. GEOTECHNICAL ENGINEER SHALL EVALUATE SOILS ON SITE FOR SUITABILITY OF CONSTRUCTION.
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING STRUCTURES.
5. ONCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL OBTAIN APPROVAL BY EROSION CONTROL INSPECTOR IN ORDER TO REMOVE EROSION CONTROL DEVICES.
6. ONCE ALL SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN REMOVED:
 - 6.1. ALL SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 - 6.2. CONVERT STRUCTURES TO SAND FILTER BY INSTALLING UNDERDRAINS, AND SAND PER PLAN.
 - 6.3. TOWN OF CARY REQUIRES FINAL CERTIFICATION OF SCM BY PROFESSIONAL ENGINEER.
7. SAND FILTER MEDIA SHALL HAVE A SURFACE INFILTRATION RATE OF AT LEAST 2" HR.
8. WASHED COARSE SAND MATERIAL SHALL BE CLEAN AASHTO-M-6 OR ASTM C-33 COARSE SAND WITH AN AVERAGE PARTICLE SIZE OF 2 MM OR LESS.

PRECAST CONCRETE MATERIALS

1. ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM TO ASTM C913 (RECTANGULAR) OR C478 (ROUND).
2. ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C75, CLASS III (UNLESS OTHERWISE NOTED).
 - 2.1. O-RING JOINTS SHALL CONFORM TO ASTM C443 & ASTM C361, OR ENGINEER APPROVED EQUAL.
 - 2.2. NON-O-RING JOINTS SHALL CONFORM TO ASTM C909.

ADDITIONAL NOTES

1. MANUFACTURER TO PROVIDE SPECIFICATIONS TO ENSURE WATER TIGHTNESS TO PREVENT GROUNDWATER SEEPAGE INTO SCM 1, FOR ENGINEER APPROVAL.
2. MANUFACTURER TO PROVIDE SPECIFICATIONS FOR COUNTER BUOYANCY TO A MINIMUM FACTOR OF SAFETY OF 1.30.



INITIAL PLAN DATE: 09/06/2024
REVISIONS:

WR JOB NUMBER 23-1118
DRN: WR DGN: WR CKD: WR

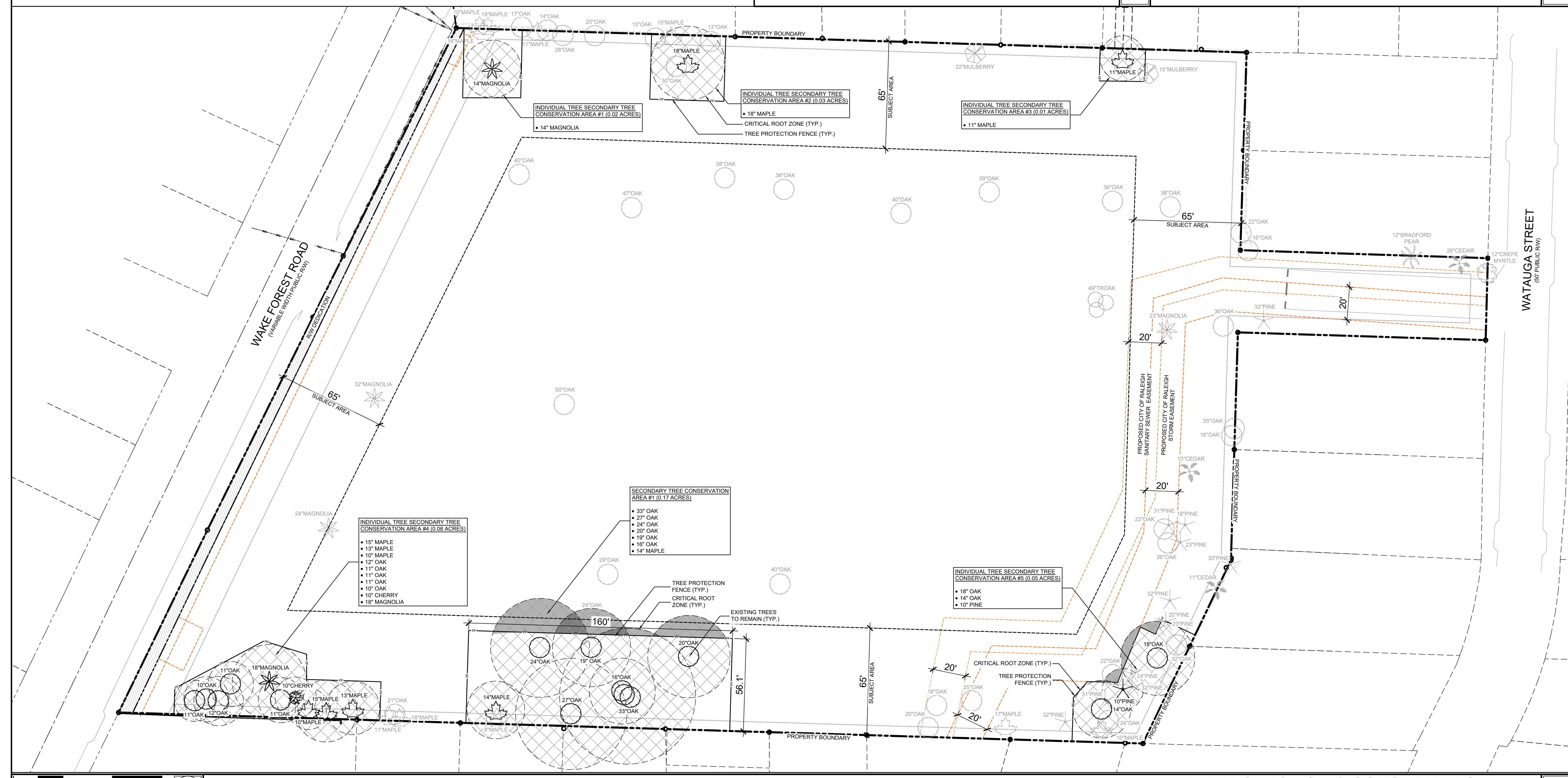
Tree Conservation Plan Data Sheet			
UDO Article 9.1 Tree Conservation			
(Include applicable information on the plan sheet)			
Project Name: Clover Lane			
Gross Site Acres:	5.66	ac	
Right-of-way to be dedicated with this project:	0.06	ac	
Net Site Acres:	5.60	ac	
		Number of Trees	Percent of Total
UDO 9.1.4.A. Primary Tree Conservation Areas			
1. Primary Tree Conservation Area - SHOD 1		ac	%
1. Primary Tree Conservation Area - SHOD 2		ac	%
2. Primary Tree Conservation Area - Parkway Frontage		ac	%
3. Primary Tree Conservation Area - CM		ac	%
4. Primary Tree Conservation Area - MPOD		ac	%
5. Primary Tree Conservation Area - Champion Tree XX" dbh species		ac	%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2		ac	%
7. Primary Tree Conservation Area - 45% Slopes		ac	%
8. Primary Tree Conservation Area - Thoroughfare		ac	%
Subtotal of Primary Tree Conservation Areas:		ac	%
UDO 9.1.4.D.2 Tree Conservation Area - Greenway			
		ac	%
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas			
(include perimeter buffers and their alternate compliance areas)			
	0.17	ac	3.03 %
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas			
(include individual trees and their alternate compliance areas)			
	0.19	ac	3.39 %
Subtotal of Secondary Tree Conservation Areas:	0.36	ac	6.42 %
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	0.36	ac	6.42 %

TREE PROTECTION NOTES:

- EXISTING TREE DATA PROVIDED BY JAECO CONSULTING ENGINEERS AND LAND SURVEYORS.
- REFER TO TREE COVER REPORT BY JAECO CONSULTING ENGINEERS AND LAND SURVEYORS FOR ADDITIONAL INFORMATION.
- SEE SHEET TC200 FOR TREE PROTECTION FENCE DETAIL.
- REMOVING TREES NEAR THE TREE CONSERVATION AREA (TCA) BOUNDARY AND TREE PROTECTION FENCE MUST HAPPEN WITHOUT ENCRoACHING INTO THE TCA.

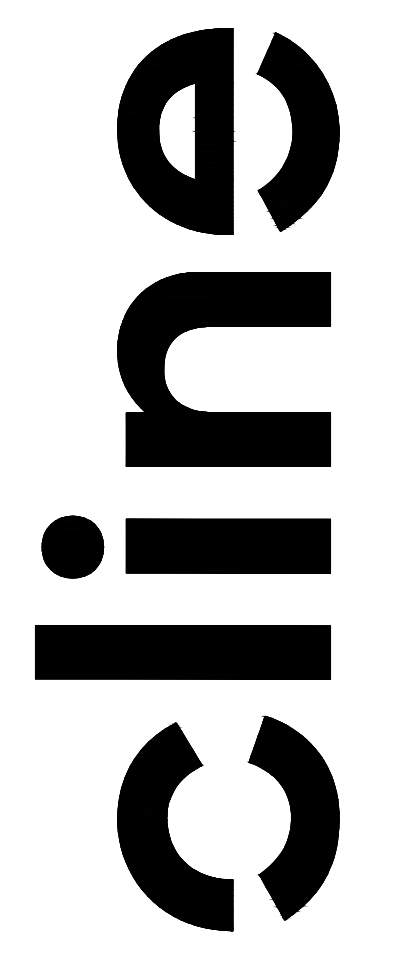
TREE CONSERVATION PLAN DATA SHEET 3

TREE PROTECTION NOTES 2



TREE PROTECTION & CONSERVATION PLAN 1

Scale: 1" = 30'



125 N. Harrington St.
Raleigh, NC 27603
919 / 833-6413
ClineDesignAssoc.com

ARBORUM PARTNERS
CLOVER LANE
RALEIGH, NORTH CAROLINA

PROJECT:	022102
DATE:	09.06.2024
REVISIONS:	DATE

DRAWN BY: ST
CHECKED BY: JK

TREE PROTECTION & CONSERVATION PLAN

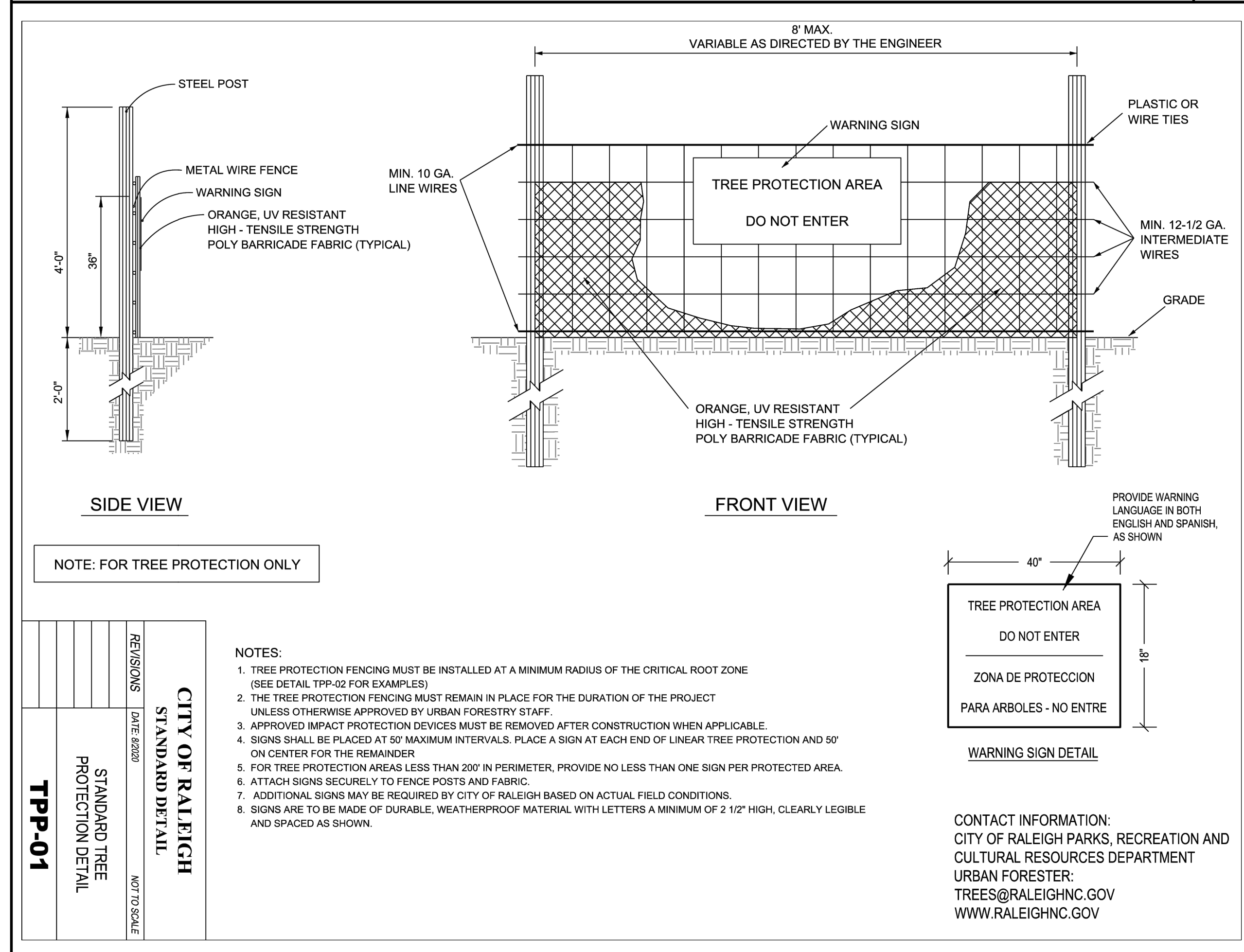
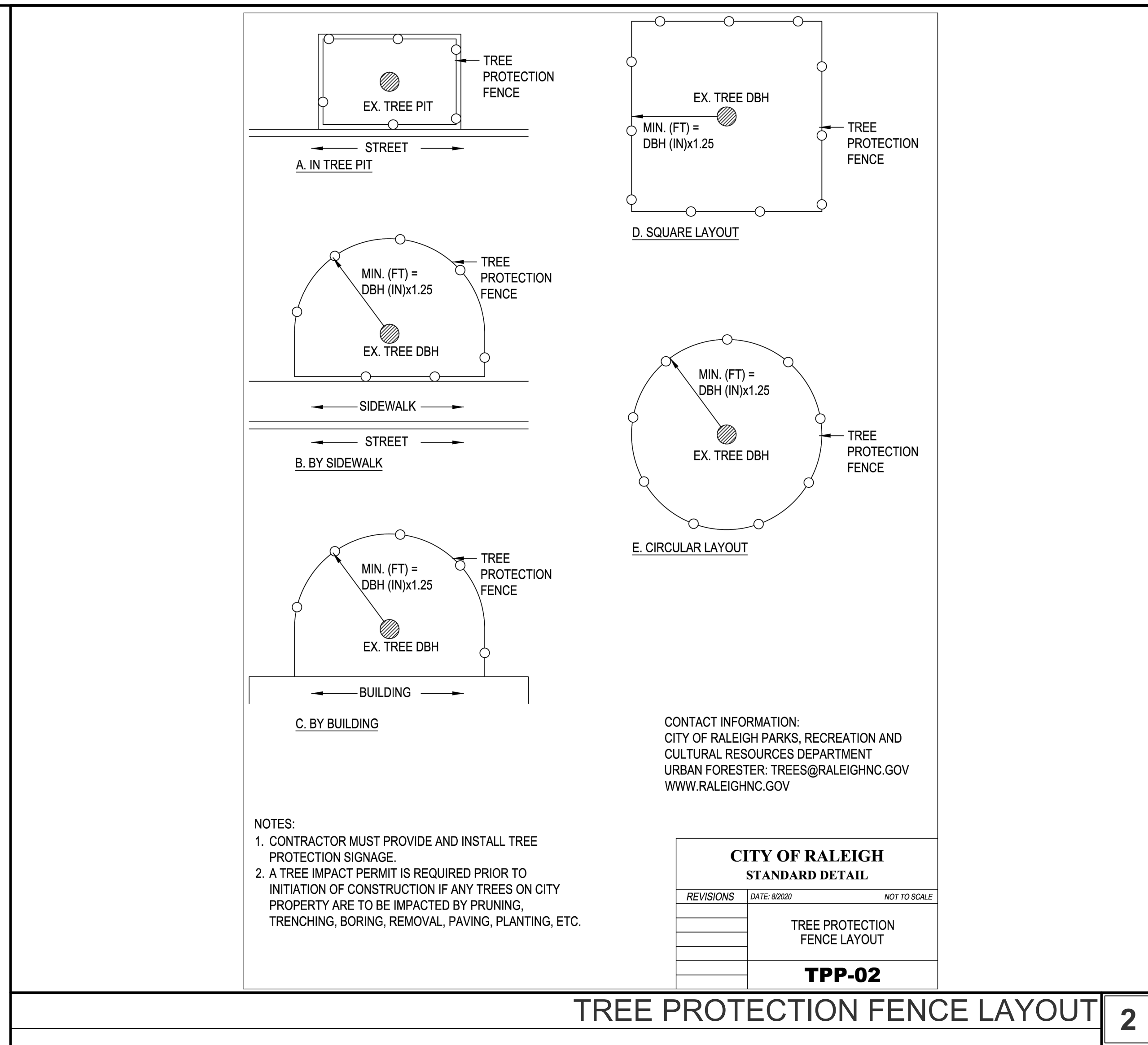
TC100

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PROJECT:	022102
DATE:	09.06.2024
REVISIONS:	DATE

DRAWN BY:	ST
CHECKED BY:	JK

TREE PROTECTION DETAILS



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PLANT SCHEDULE												
SYMBOL	CODE	QTY	EAST	NORTH	SOUTH	STREET	VUA	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	REMARKS
SHADE TREE												
+	ACE BUE	11		11				ACER BUERGERIANUM	TRIDENT MAPLE	3" MIN.	12'-14'	
+	CAR FST	13			13			CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT EUROPEAN HORNBEAM	3" MIN.	12'-14'	
+	QUE PHE	3	3					QUERCUS PHELLOS	WILLOW OAK	3" MIN.	12'-14'	
+	QUE SHU	16					16	QUERCUS SHUMARDII	SHUMARD OAK	3" MIN.	12'-14'	
+	QUE TEX	11		11				QUERCUS TEXANA	NUTTALL OAK	3" MIN.	12'-14'	
+	STY JAP	17	17					STYRAX JAPONICUS	JAPANESE SNOWBELL	3" MIN.	12'-14'	
UNDERSTORY TREES												
+	AME GRA	24		12	12			AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	1.5" MIN	8' MIN.	SINGLE STEM
+	CER FOR	21	12	9				CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY EASTERN REDBUD	1.5" MIN	8' MIN.	SINGLE STEM
+	ILE XOA	18	5		13			ILEX X 'MAGLAND'	OAKLAND™ HOLLY	1.5" MIN	8' MIN.	
+	MAG LIT	11			11			MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	1.5" CAL.	8' MIN.	
+	PRU EME	10		10				PRUNUS CAROLINIANA 'EMERALD KING'	EMERALD KING CHERRY LAUREL	1.5" MIN	8' MIN.	

SEC 3.5.3 ZONE A: PROTECTIVE YARD

► TYPE 2: MEDIUM (20 FEET) PROTECTIVE YARD
-AVERAGE WIDTH OF AT LEAST 20FT

► INSTALLATION TYPE 2 PROTECTIVE YARD REQUIREMENTS
-A WALL OR FENCE BETWEEN 6.5FT AND 9FT HEIGHT
-FIVE (5) SHADE TREES PER 100LF (3" CAL, 10' HT MIN)
-FOUR (4) UNDERSTORY TREES PER 100LF (1.5" CAL, 6FT HT MIN)
-THIRTY (30) SHRUBS PER 100 LF (18" HT MIN)

PROPERTY LINE: 1,444 LF TOTAL
NORTH BOUNDARY: 479 LF
TWO (2) EXISTING TREES TO REMAIN.

REQUIRED TREES: 24 TREES REQUIRED
LF X (5 TREE/100 LF)
PROPOSED TREES: 22 TREES PROPOSED

REQUIRED UNDERSTORY: 19 TREES REQUIRED
LF X (4 TREE/100 LF)
PROPOSED UNDERSTORY: 19 TREES PROPOSED

REQUIRED SHRUBS: 144 SHRUBS REQUIRED
LF X (30 SHRUB/100 LF)
PROPOSED SHRUBS: ... SHRUBS PROPOSED

EAST BOUNDARY: 431 LF
THREE (3) EXISTING TREES TO REMAIN.

REQUIRED TREES: 22 TREES REQUIRED
LF X (5 TREE/100 LF)
PROPOSED TREES: 20 TREES PROPOSED

REQUIRED UNDERSTORY: 17 TREES REQUIRED
LF X (4 TREE/100 LF)
PROPOSED UNDERSTORY: 17 TREES PROPOSED

REQUIRED SHRUBS: 129 SHRUBS REQUIRED
LF X (30 SHRUB/100 LF)
PROPOSED SHRUBS: ... SHRUBS PROPOSED

SOUTH BOUNDARY: 621 LF
EIGHTEEN (18) EXISTING TREES TO REMAIN.

REQUIRED TREES: 31 TREES REQUIRED
LF X (5 TREE/100 LF)
PROPOSED TREES: 13 TREES PROPOSED

REQUIRED UNDERSTORY: 25 TREES REQUIRED
LF X (4 TREE/100 LF)
PROPOSED UNDERSTORY: 25 TREES PROPOSED

REQUIRED SHRUBS: 186 SHRUBS REQUIRED
LF X (30 SHRUB/100 LF)
PROPOSED SHRUBS: ... SHRUBS PROPOSED

SEC 7.2.5 SCREENING

► MECHANICAL
-OPAQUE LANDSCAPE SCREEN NO LOWER THAN HIGHEST POINT ON EQUIPMENT
-ROOF-TOP CONDENSING UNITS PROPOSED SCREENED BY PARAPET WALLS, REFER TO BUILDING ELEVATIONS

SEC 7.2.7 DESIGN AND INSTALLATION

► PLANT MATERIAL
-SHADE TREES- 3" MIN CAL INSTALLED, 35' MIN MATURE HT.
-UNDERSTORY TREES- 1.5" MIN CAL & 6' MIN HT. INSTALLED, 15' MIN MATURE HT.
-PARKING SHRUBS- 18" MIN HT. INSTALLED, 3' MIN MATURE HT.
-PROTECTIVE YARD SHRUBS- 18" MIN HT INSTALLED, 3' X 3' MIN MATURE SIZE
-STREET YARD SHRUBS- CONTINUOUS ROW 5' OC

SEC 8.5.2 STREETSCAPES

► STREET TREES

WAKE FOREST ROAD: 463 LF
REQUIRED UNDERSTORY TREES: 23 TREES REQUIRED
LF X (1 TREE/20 LF)
PROPOSED UNDERSTORY TREES: 23 TREES PROPOSED

SEC 7.1.7 VEHICULAR PARKING LOT LANDSCAPING

► INTERIOR ISLANDS

INTERIOR ISLAND & SHADE TREE PER 10 PARKING SPACES
ALL ROWS OF PARKING MUST END WITH ISLAND
SHALL BE MIN. 8' WIDTH & 300 SF

► PERIMETER ISLANDS

ALONG PRIMARY ACCESS DRIVES
5' MIN. WIDTH
30 SHRUBS PER 100 LF (MIN. 3' HT X 3' SPR AT MATURITY)

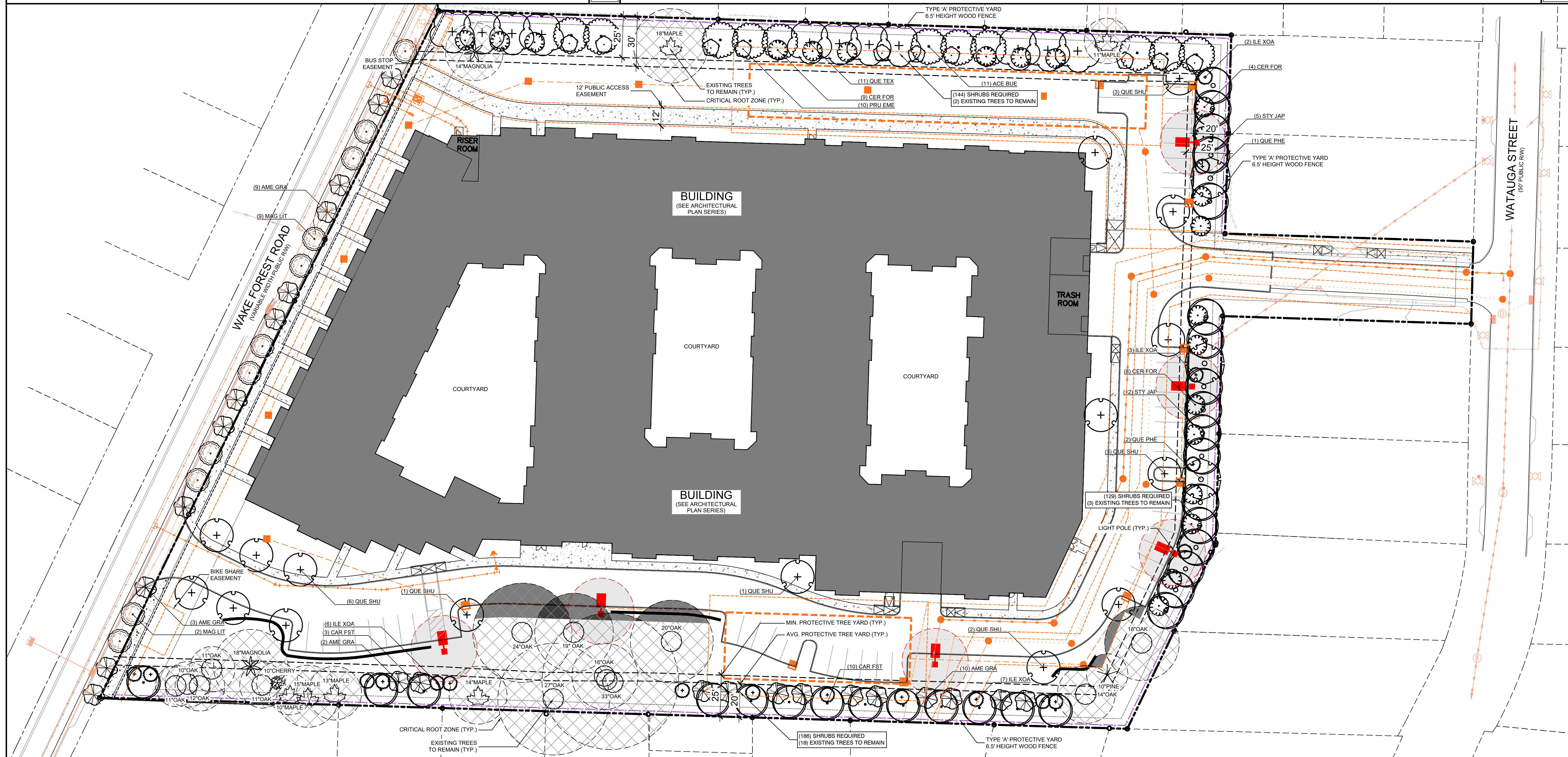
► TREE COVERAGE

31,731 SF VEHICULAR USE AREA (VUA)
EACH INTERIOR ISLAND SHALL HAVE TREE
1 SHADE TREE PER 2000 SF VUA

REQUIRED SHADE TREES: 16 TREES REQUIRED
31,731 SF X (1 TREE/2000 SF)
PROPOSED SHADE TREES: 16 TREES PROPOSED

CODE COMPLIANT PLANT SCHEDULE 3

CODE LANDSCAPE CALCULATIONS 2



CODE LANDSCAPE PLAN 1
Scale: 1" = 30'

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LANDSCAPE PLANTING NOTES

1. VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS AND IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO FINAL BIDDING OR INSTALLATION.
2. ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
3. SOIL ANALYSIS SHALL BE OBTAINED BY LANDSCAPE CONTRACTOR PRIOR TO PLANTING. SEE SOIL PREPARATION AND AMENDMENT NOTES
4. SHRUB BED AREA PREPARATION IS HIGHLY PREFERRED TO INDIVIDUALLY DUG HOLES.
5. TREES WITH ROOT FLARE COVERED BY MORE THAN 1.5" OF SOIL WILL BE REJECTED PRIOR TO INSTALLATION.
6. LANDSCAPE MATERIAL PLACED IN PREPARED HOLES SHALL BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
7. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
8. ALL PREPARED GROUND COVER AND ANNUAL BED INSTALLATIONS SHALL BE PROPERLY SOAKED AND MULCHED PRIOR TO THE END OF THE DAY.
9. LANDSCAPE ARCHITECT SHALL APPROVE ANY ON-SITE PLANT STORAGE AREA FOR ACCESSIBILITY, SHADE CONDITIONS, HEALING-IN MULCH MATERIAL AND TEMPORARY WATERING METHODS.
10. LIFT AND SET THE TREE BY ROOT BALL ONLY. DO NOT LIFT USING THE TREE TRUNK. DO NOT USE TREE TRUNK AS A LEVER.
11. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED BY HAND PRIOR TO PLACEMENT AND BACK FILLING WITH PREPARED SOILS. HAND TOOLS ARE NOT TO BE USED TO SCARIFY ROOT BALLS.
12. ALL ROPE AND WRAPPING TWINE SHALL BE CUT AND REMOVED FROM AROUND THE UPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BURLAP SHALL BE PULLED BACK AND TUCKED UNDER THE EDGES OF THE SAUCER RINGS ON ALL TREES AND LARGE SHRUBS. ALL SYNTHETIC BURLAP SHALL BE REMOVED FROM PLANT BALLS PRIOR TO BACK FILLING.
13. ALL PLANT BEDS OR RAISED SAUCER RINGS SHALL BE EDGED WITH SMOOTH, CONTINUOUS CURVES.
14. ALL PLANT MATERIAL SHALL BE PLANTED AT HEIGHTS AS ILLUSTRATED IN PLANT DETAILS.
15. TREE GUYING SHALL BE PERFORMED WITHIN A WEEK OF PLANTING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE GUYING STRAPPING AND STAKES AFTER THE FIRST FULL GROWING SEASON OR ONE YEAR, WHICHEVER COMES FIRST.
16. B & B AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED AND BURLAPPED.
17. CONTRACTOR SHALL VERIFY LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO PLANTING. ANY EXPOSED OR UNCOVERED LINES SHALL BE SHOWN TO GENERAL CONTRACTOR PRIOR TO BACKFILLING.
18. ALL PLANT BEDS AND RAISED SAUCER RINGS SHALL BE GRADED TO PROVIDE ADEQUATE DRAINAGE AND SHALL BE MULCHED AS SPECIFIED.
19. ALL MATERIALS, PLANTING AND LANDSCAPE WORK SHALL CONFORM TO THE CURRENT MUNICIPAL AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS.
20. ALL LANDSCAPE AREAS THAT ARE NOT PLANTED AND MULCHED OR PAVED SHALL BE SEEDED OR SODDED PER OWNERS DIRECTION, UNLESS OTHERWISE NOTED.
21. TREE PROTECTION FENCE SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO THE ISSUANCE OF ANY GRADING OR OTHER PERMITS.
22. FIRST YEAR PRUNING OF TREE CROWN SHALL BE LIMITED TO REMOVAL OF DEAD & DAMAGED WOOD.
23. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING BY
 - KEEPING LAWNS MOWED
 - MAINTAINING PLANTS DISEASE FREE
 - KEEPING ALL PLANTING BEDS GROOMED AND WEED FREE PER MUNICIPALITY REQUIREMENTS (EXCEPT IN AREAS OF PRESERVED EXISTING NATURAL VEGETATION I.E. THICKETS)
 - KEEPING ALL PLANTING BEDS FREE FROM TRASH, DEBRIS AND OTHER MATERIALS, AFTER THE FIRST YEAR FROM PLANTING.
24. THE OWNER SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY REQUIRED PLANTING, WHICH IS REMOVED OR DIES AFTER THE FIRST YEAR FROM THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON.
25. TREES WITHIN MUNICIPALITY RIGHT-OF WAY TO BE PLANTED FROM OCTOBER 1ST TO APRIL 30TH ONLY.

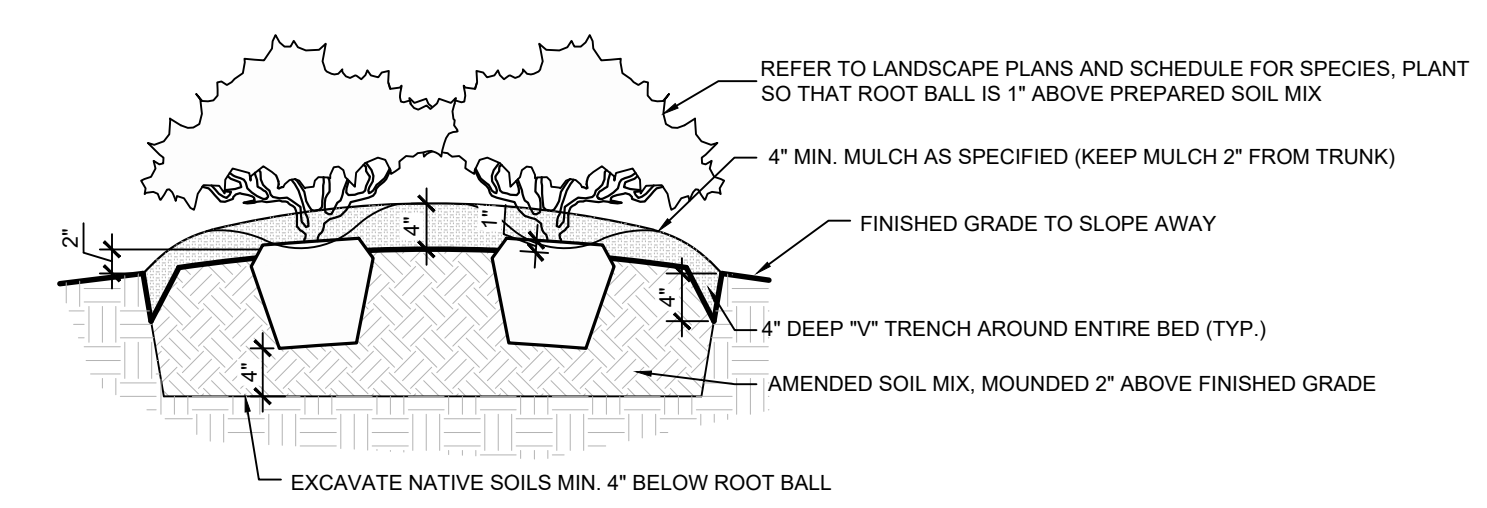
SOIL PREPARATION AND AMENDMENT NOTES

1. SOIL SAMPLES SHALL BE TAKEN AND SUBMITTED TO INDEPENDENT SOURCE. RESULTS TO BE SENT TO LANDSCAPE ARCHITECT. PER RECOMMENDATION OF SOILS REPORT, LANDSCAPE CONTRACTOR TO SUPPLEMENT SOIL WITH LIME, MACRONUTRIENTS AND MICRONUTRIENTS.
3. CONTRACTOR TO AMEND SOIL WITH ORGANIC MATERIAL AND/OR SAND TO YIELD THE FINAL SOIL RATIO:
 - 33.3% SAND/SILT
 - 33.3% CLAY
 - 33.3% ORGANIC MATERIAL *

* ORGANIC MATERIAL TO BE COMPOST MADE SOLELY FROM PLANT-BASED PRODUCTS. PEAT MOSS IS ALLOWED IN SANDY SOILS
4. NATIVE SOIL, LIME, NUTRIENTS AND AMENDMENTS TO BE TILLED TO A MINIMUM WIDTH OF 3-5 X ROOT BALL FOR TREES, SHRUB AND GROUND COVER PLANTING AREAS SHALL BE TILLED TO A MINIMUM 4" BELOW ROOTBALL OR A MINIMUM 12" DEEP.

PLANTING AND SOIL NOTES 2

- GENERAL NOTES:
1. PLANT SO THAT TOP OF ROOT BALL IS 1" ABOVE FINISH GRADE.
 2. SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
 3. BACKFILL PLANTING PIT WITH SPECIFIED PLANTING SOIL MIXTURE (OR AMENDED SOIL) IN 6" LAYERS, HAND-TAMPED, TO REMOVE VOIDS.
 4. WHEN PLANTING PIT IS 2/3 BACKFILLED, WATER MATERIAL.
 5. AFTER PLACING AND HAND-TAMPING FINAL LAYERS, WATER AGAIN UNTIL NO MORE IS ABSORBED.
 6. ROOTBALL IS TO BE DISTURBED SO THAT ROOTS WILL GROW OUT INTO SOIL MIX
 7. SEE SOIL PREPARATION AND AMENDMENT NOTES



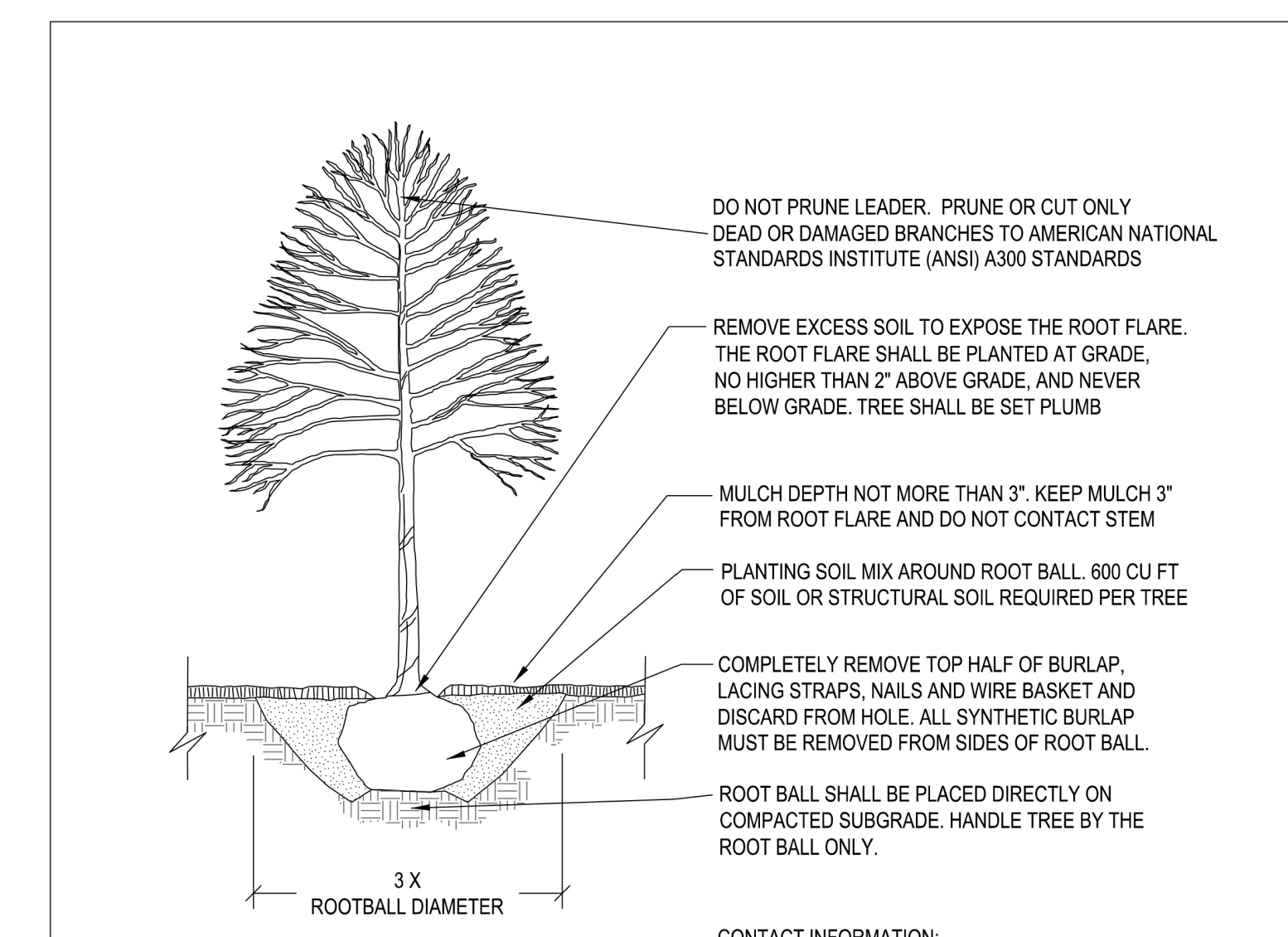
TYPICAL SHRUB PLANTING 4

Scale: 3/4" = 1'-0"

LANDSCAPE MAINTENANCE NOTES

- A. FERTILIZATION: AVOID ANY NITROGEN FERTILIZATION OF COOL-SEASON GRASSES, SUCH AS TALL FESCUE, AFTER THE FEBRUARY APPLICATION UNTIL SEPTEMBER. FERTILIZE LAWNS THREE TIMES PER YEAR SEPTEMBER 15, OCTOBER 31, AND FEBRUARY 15 ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING GROWING SEASON PER SOIL TEST.
- B. PRUNING: PURPOSE OF PRUNING IS TO IMPROVE HEALTH AND VIGOR OF WOODY PLANTS, ADJUSTMENTS TO THE FOLIAGE AND BRANCHING DENSITY FOR VISUAL SCREENS AND MANAGING COMPETITION, AND IMPROVING THE APPEARANCE OF TREES AND SHRUBS. PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES. SAFETY REASONS FOR THE FIRST YEAR. THE ANSI A300 TREE CARE OPERATIONS STANDARDS SHALL BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
1. SHRUBS IN BUFFERS ALLOWED TO REMAIN FULL TO GROUND AND 6'-8" HEIGHT.
 2. SHRUBS IN STREETSCAPE BUFFER TRIMMED TO CONTINUOUS SOFT HEDGES BELOW TREES.
 3. SHRUBS IN PLANTING ISLANDS KEPT TRIMMED TO 36" MAXIMUM HEIGHT.
- C. PEST CONTROL: PRE-EMERGENT WEED CONTROL FOR LAWNS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
- D. MULCHING: MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2"-3" IN PLANT BEDS. MULCH SHALL BE REAPPLIED EVERY YEAR.
- E. MOWING PRIMARY FESCUE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 3". SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
- F. PLANT PROTECTION: AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS. INSTALL TREE PROTECTION FENCING AS SHOWN DURING CONSTRUCTION.
- G. WATERING: IF ANY IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON.
- H. MAINTENANCE NOTES FOR BIORETENION BASIN PLANT MATERIALS:
1. VISUALLY INSPECT AND REPAIR EROSION AROUND BIORETENSION AREAS ON A MONTHLY BASIS.
 2. INSPECT MULCH COVER MONTHLY AND REPLACE ANY VOID AREA AS NEEDED. ADDITIONAL MULCH SHALL BE APPLIED IN THE SPRING WHERE NEEDED.
 3. REMOVE AND REPLACE ALL DEAD OR DISEASED VEGETATION TWICE ANNUALLY. TREAT ALL DISEASED SHRUBS AND TREES AS NEEDED TO INSURE PROPER GROWTH.
 4. ALL PLANT MATERIALS SHALL BE WATERED BY HAND FOR TWO WEEKS AFTER INSTALLATION.
 5. REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED.
 6. REMOVE ALL TRASH WEEKLY.

LANDSCAPE MAINTENANCE NOTES 3



- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
10/2019		
TREE PLANTING DETAIL		
TPP-03		

PROJECT:	022102
DATE:	09.06.2024
REVISIONS:	DATE

DRAWN BY:	ST
CHECKED BY:	JK

CODE LANDSCAPE
DETAILS

STANDARD TREE PLANTING 1

PROJECT: 022102
DATE: 09.06.2024
REVISIONS: DATE

DRAWN BY:	EWB
CHECKED BY:	JK

OVERALL SITE LIGHTING PLAN

LT100

Outdoor Lighting
Shoebox "S" Pedestrian LED

Light source: LED (white)
Wattage: 50
Lumens: 3,730
Light pattern: IESNA Type III (oval)
IESNA Backlight - Uplight - Glare (BUG) Rating: B1-US-G1
Color temperature: 4,000K



light distribution pattern

Poles available:	
Name	Mounting height
Fiberglass	16'
Style V	12', 16'
Style VI	12'
Style VII	13'

Features		Benefits	
Little or no installation cost	Press up capital for other projects	Meets industry standards and lighting ordinances	Eliminates high and unexpected repair bills
Design services by lighting professionals included	Less expensive than metered service	Warranty included	Worry-free
Maintenance included	One low monthly cost on your electric bill	Turnkey operation	Convenience and savings for you
Electricity included	Backed by over 40 years of experience		Provides hassle-free installation and service
			A name you can trust today ... and tomorrow

Outdoor Lighting
Shoebox "S" Pedestrian LED

The energy-efficient Shoebox "S" Pedestrian LED combines a decorative, contemporary style with versatility and ample lighting effect that is perfect for streets, parking lots, commercial buildings and residential communities. The Shoebox "S" Pedestrian LED provides excellent color rendition along with a controlled light pattern that reduces glare and keeps the light directed only where you want it.

LED (Light Emitting Diode) **50 watts**

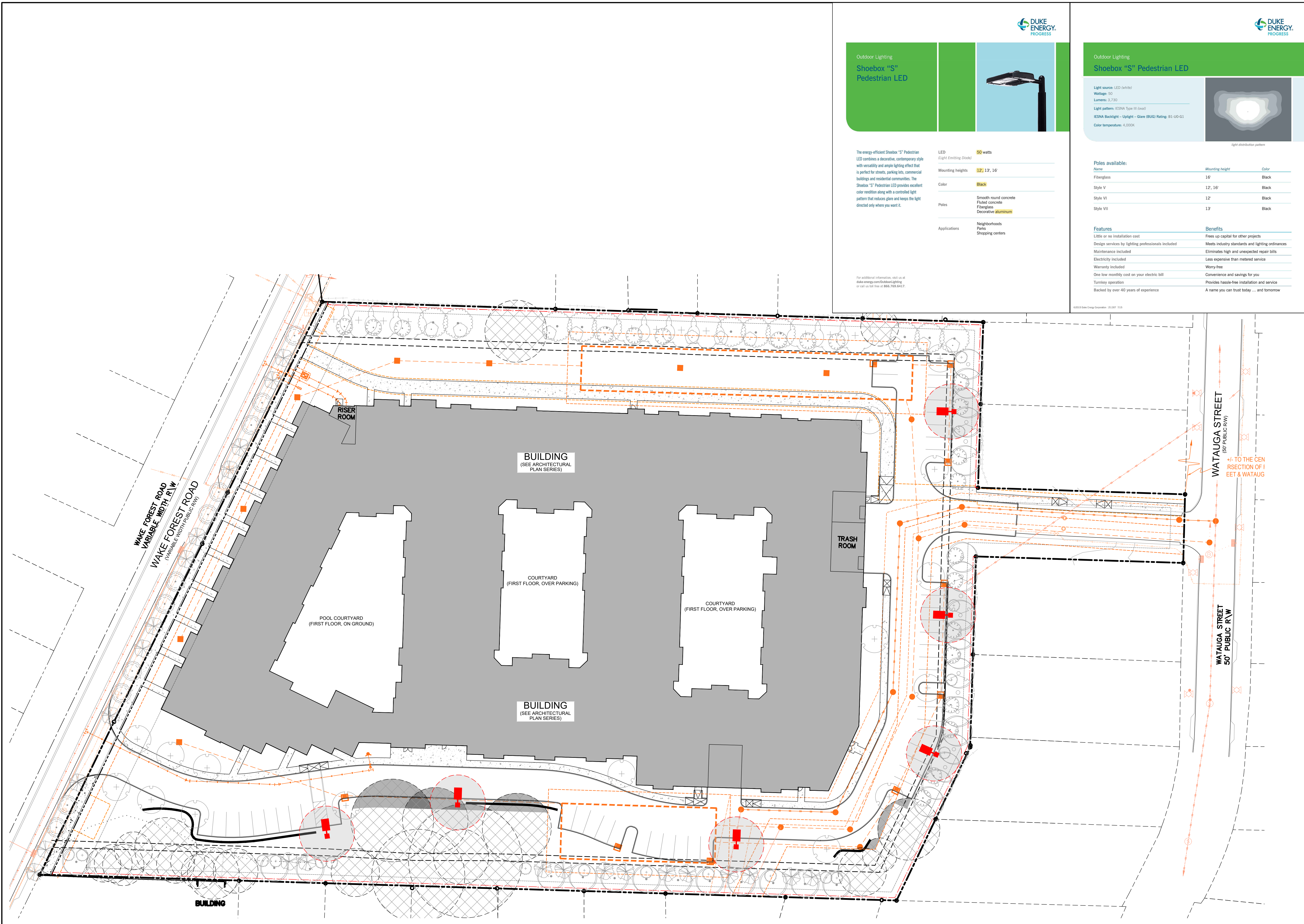
Mounting heights: **12', 13', 16'**

Color: **Black**

Poles: Smooth round concrete
Fluted concrete
Fiberglass
Decorative aluminum

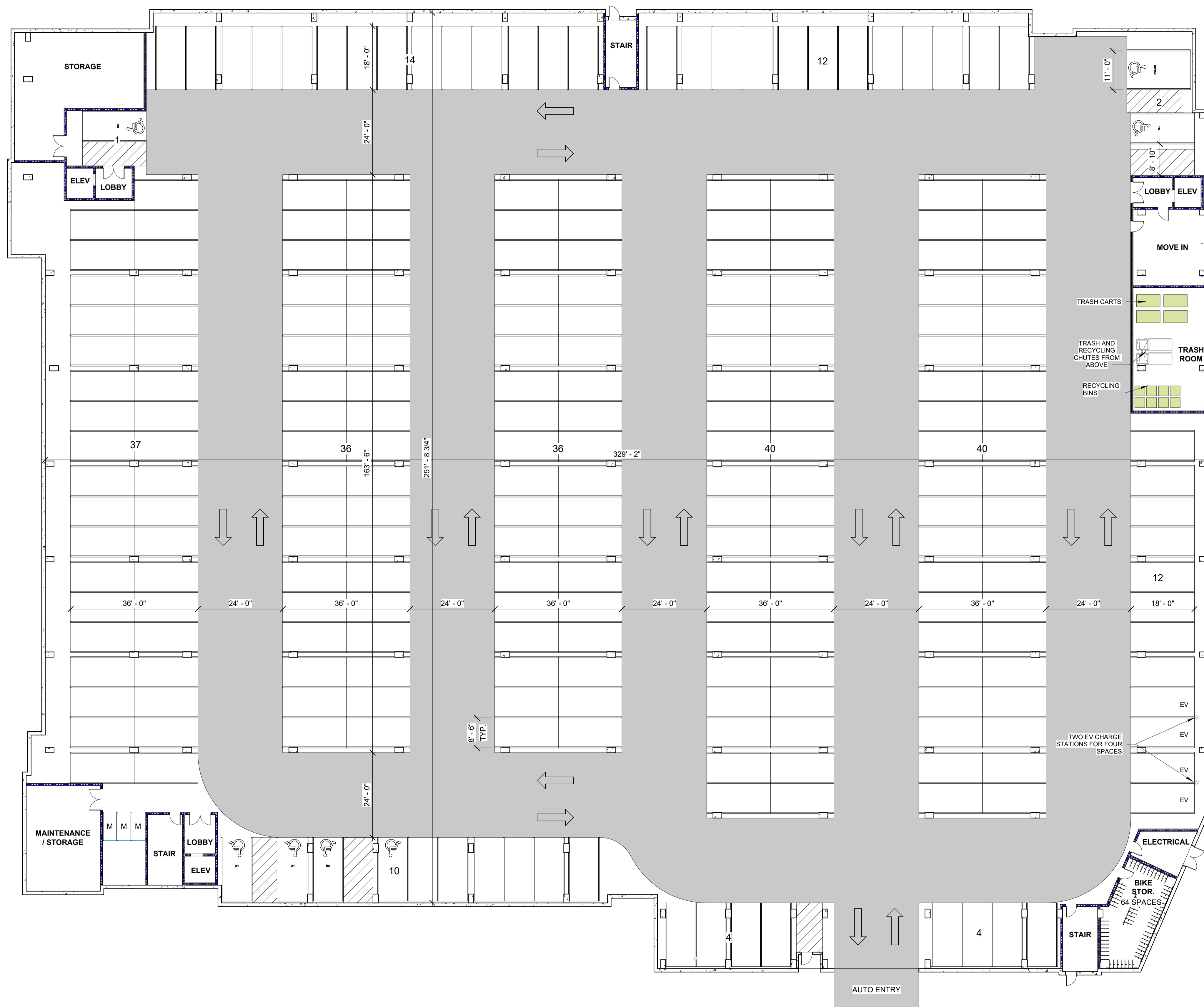
Applications: Neighborhoods
Parks
Shopping centers

For additional information, visit us at duke-energy.com/outdoorlighting or call us toll free at 866.769.6417.



OVERALL SITE LIGHTING PLAN 1
Scale: 1" = 30'

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HC PARKING CALCS

248 TOTAL SPACES
201-300 TOTAL SPACES = 7 HC SPACES
1/6 HC SPACES TO BE VAN
1 VAN HC
6 HC
PER ADA TABLE 208.2

EV PARKING CALCS

2 REQUIRED.
4 PROVIDED.

PARKING SCHEDULE - VEHICLES

STANDARD	237
EV	4
HC	6
HC VAN	1

TOTAL: 248

LONG TERM CALCS

432 BEDS, 1 SPACE PER 7 BEDS = 62 SPACES.

SHORT TERM CALCS

280 UNITS, 1 SPACE PER 20 UNITS = 14 SPACES.

PARKING SCHEDULE - BIKES

LONG TERM BIKE	64
SHORT TERM BIKE	14

TOTAL: 78

PER RALEIGH UDO SEC. 7.1.2 REQUIRED PARKING

PROJECT: 022102
DATE: 09.06.2024
REVISIONS: DATE

DRAWN BY: MC, JDB
CHECKED BY: AK

PARKING LEVEL PLAN

09/06/2024 4:10:30 PM
 Autodesk Docs\1022102_Clover Lane\Drawings\A01.dwg
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GROUND LEVEL TRANSPARENCY:

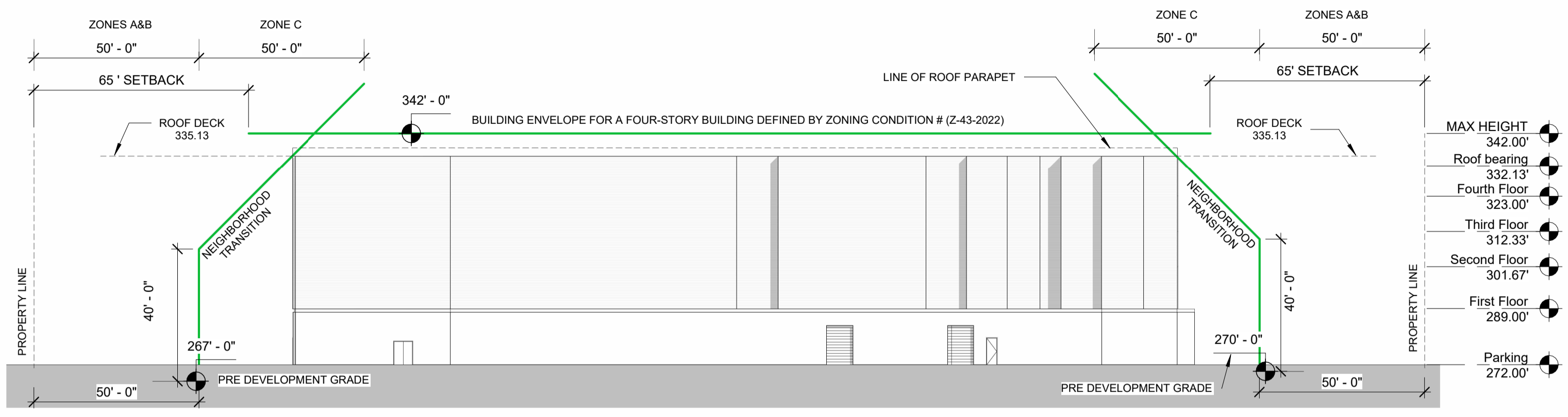
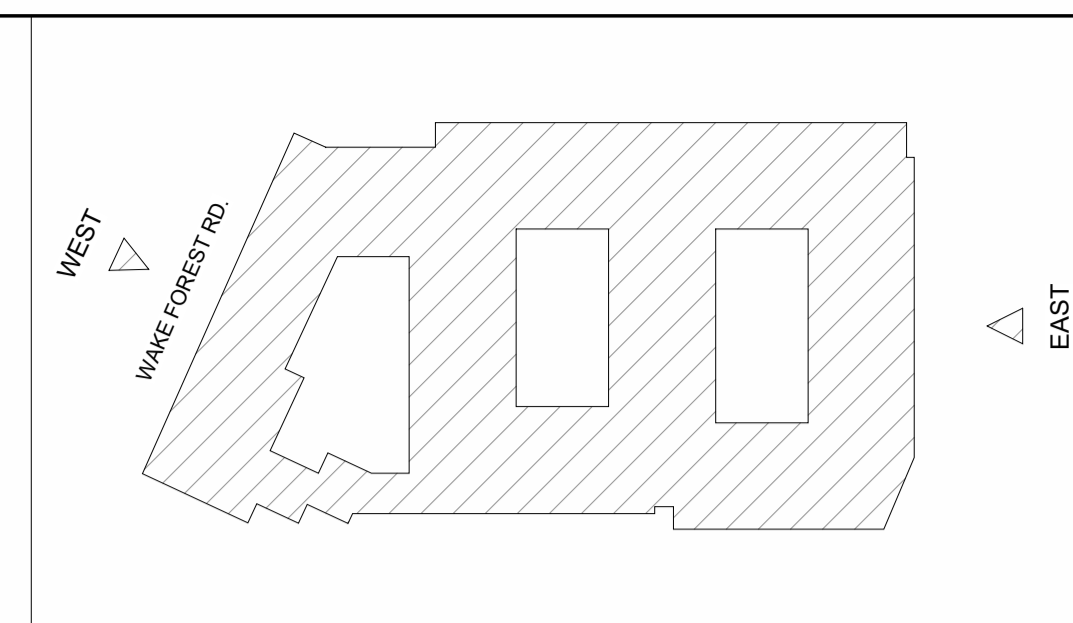
OVERALL: 3609 SF
 OPENINGS: 961.5 SF

REQUIRED: 20%
 PROVIDED: 26%

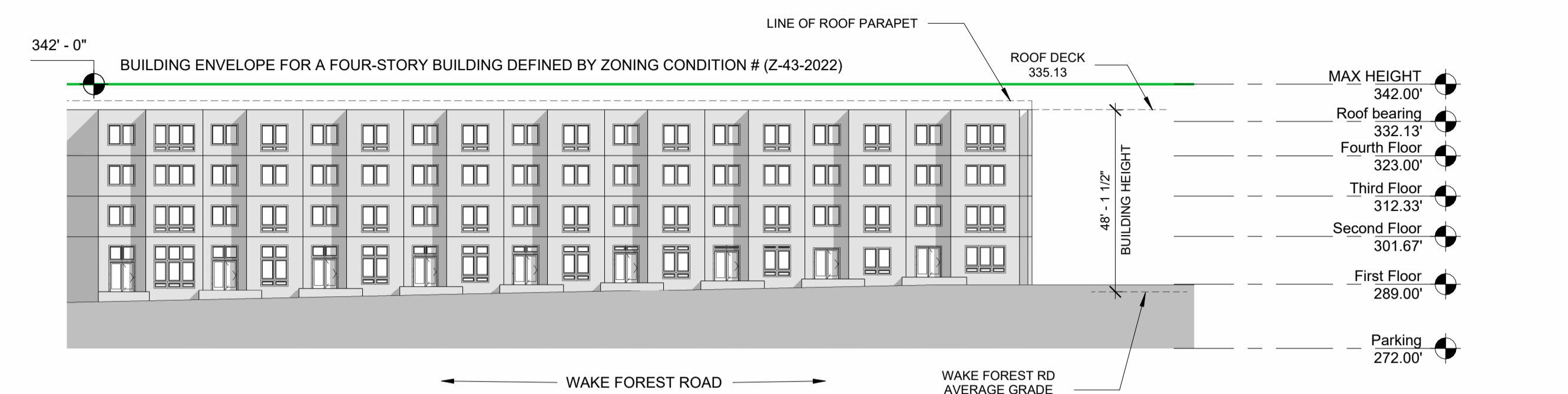
UPPER LEVELS TRANSPARENCY:

OVERALL: 8167 SF
 OPENINGS: 1841 SF

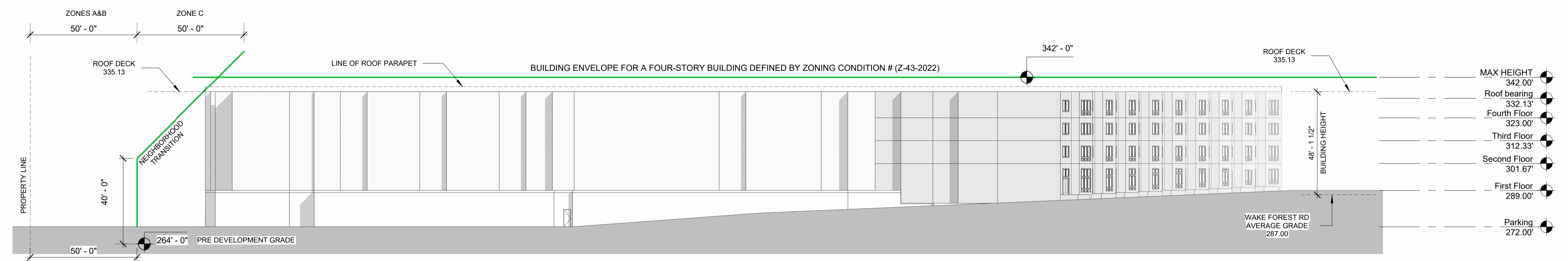
REQUIRED: 15%
 PROVIDED: 22%



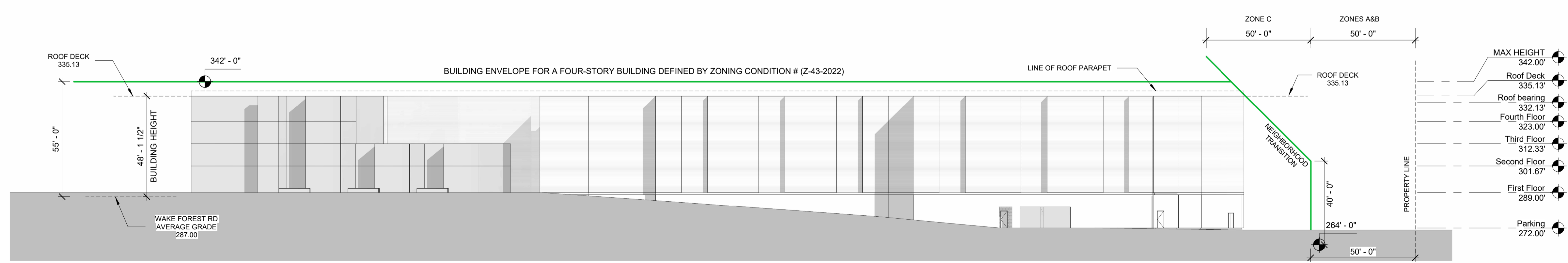
EAST ELEVATION 4
 1" = 30'-0"



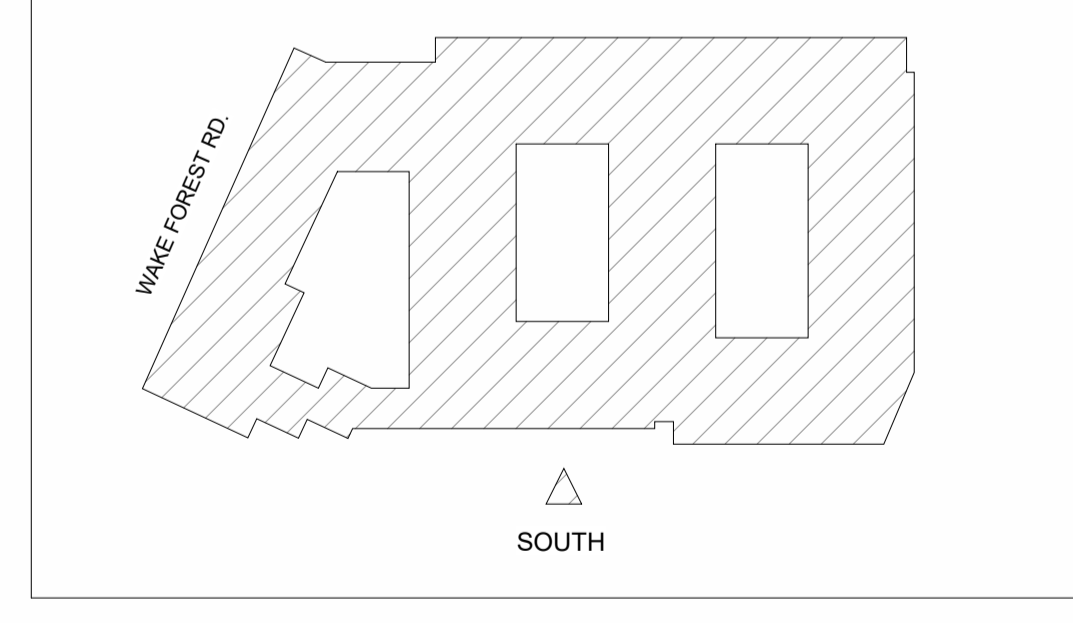
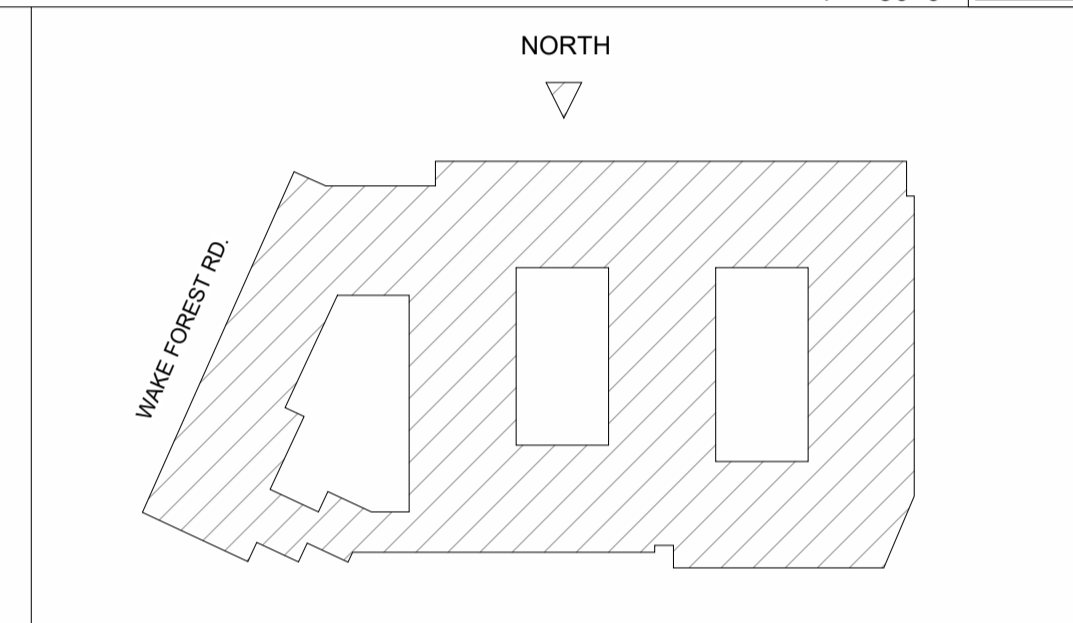
WEST ELEVATION 3
 1" = 30'-0"



NORTH ELEVATION 2
 1" = 30'-0"



SOUTH ELEVATION 1
 1" = 30'-0"



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PROJECT:	022102
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REVISIONS:	DATE

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 CHECKED BY: AK

ELEVATIONS