Administrative Site Review Application

Raleigh

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #:

Planner (print):

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the <u>Permit and Development Portal</u>. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan	n Tier Three	Site Plan		
Building and Development Type		Site Transaction History		
(Check all that apply)				
Detached Get Attached Mix Townhouse Civ Apartment Cot Tiny house Free Open lot Detached	neral ed use ic tage Court quent Transit velopment Option GENERAL IN	Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Design Alternate #: NFORMATION		
Development name:				
Inside City limits? Yes No				
Property address(es):				
Site P.I.N.(s):				
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).				
Current Property Owner(s):				
Company:		Title:		
Address:				
Phone #:	Email:			
Applicant Name (If different from	owner. See "who can	apply" in instructions):		
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder				
Company:	Address:			

Phone #:	Email:		
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.			
Developer Contact:			
Company:	Title:		
Address:			
Phone #:	Email:		
Applicant Name:			
Company: Address:			
Phone #: Email:			

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)			
SITE DATA	BUILDING DATA		
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):		
Gross site acreage:	Existing gross floor area to be demolished:		
# of parking spaces proposed:	New gross floor area:		
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):		
Overlay District (if applicable):	Proposed # of buildings:		
Existing use (UDO 6.1.4):	Proposed # of stories for each:		
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)		

STORMWATER INFORMATION			
Imperious Area on Parcel(s): Existing (sf) Proposed total (sf)	Impervious Area for Compliance (includes ROW):		
	Existing (sf) Proposed total (sf)		

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS				
Total # of dwelling units:	Total # of hotel bedrooms:			
# of bedroom units: 1br 2br 3br	4br or more			
# of lots:	Is your project a cottage court? O Yes O No			
	A frequent transit development? O Yes O No			

Continue to Applicant Signature Block on Page 4.

SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE. SEE SHEET C1.00 FOR BENCHMARK INFORMATION. VERTICAL DATUM BASED ON NAVD 88.

SITE DATA TABLE

MUNCIPAL PROJECT NO. ASSOCIATED CASE NUMBERS SITE ADDRESS PARCEL PIN NO. DEED BOOK AND PAGE ZONING EXISTING SITE AREA PROPOSED SITE AREA OVERLAY DISTRICT EXISTING LAND USE PROPOSED USE PROPOSED NUMBER OF UNITS PROPOSED NUMBER OF BUILDINGS PROPOSED GROSS BUILDING SF **IMPERVIOUS AREA** LIMITS OF DISTURBANCE PROPOSED TCA **BUILDING SETBACKS:** PRIMARY STREET SIDE STREET SIDE LOT LINE REAR LOT LINE ALLEY AMENITY AREA:

MINIMUM AMENITY AREA REQUIRED PROPOSED AMENITY AREA PARKING:

MAXIMUM PARKING

PROVIDED PARKING

BIKE PARKING:

MINIMUM SHORT TERM BIKE PARKING REQUIRED (1 SPACE PER 20 UNITS) * 280 UNITS = 14 SPACES PROPOSED SHORT TERM BIKE PARKING PROPOSED LONG TERM BIKE PARKING

ASR-XXXX-2024 Z-43-22 405 CLOVER LANE 1704947576 DB 019504, PG 01384 RX-5-GR-CU (5.52 AC) R-6-CU (0.17 AC) 5.67 AC 5.60 AC NCOD (RX-6-CU) TOWNHOMES MULTIFAMILY 280 ±273,009 SF ±3.84 AC ±4.96 AC 6.07% 0' OR 6' 0' OR 6'

4' OR 20' MIN

10% (PER UDO SEC. 2.2.3) 10.5%

1 SPACE PER 0-1 BED x 143 UNITS + 2.25 SPACES PER 2 BED x 122 UNITS + 3 SPACES PER 3 BED x 15 UNITS = 463 SPACES 47 SURFACE SPACES (INCLUDING 1 ADA VAN) + 250 GARAGE/DRIVEWAY SPACES = 297 TOTAL SPACES

14 SPACES

MINIMUM LONG TERM BIKE PARKING REQUIRED (1 SPACE PER 7 BEDROOMS) * 417 BEDS = 60 SPACES 64 SPACES



BROOKS FAMILY I LLC WARD CLOVER LANE 2320 BEECHRIDGE RD RALEIGH, NC 27608



CIVIL ENGINEER Amber Mason, PE WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-535-5200 amason@withersravenel.com

LANDSCAPE ARCHITECT Joshua Karrick, PLA Cline Design Associates 125 N Harrington Street Raleigh, NC 27601 919-833-6413 joshuak@clinedesignassoc.com

DEVELOPER

Michael Eubanks Arboretum Partners 1520 Glenwood Ave, 2nd Floor Raleigh, NC 27608 252-526-1231 m.eubanks@arboretumpartners.com

ADMINISTRATIVE SITE PLAN ARBORETUM PARTERS CLOVER LANE ASR-XXX-2024

405 CLOVER LANE | RALEIGH, NC | WAKE COUNTY **1ST SUBMITTAL: SEPTEMBER 6, 2024**

s form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 2.8. Please check the appropriate building types and include the plan checklist document when submitting. ffice Use Only: Case #: Planner (print): ase review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed ite Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a for this verification service.) te Plan Tier: Tier Two Site Plan Tier Three Site Plan Site Transaction History (Check all that apply) Detached General Subdivision case #: Townhouse Civic Certificate of Appropriateness #: Townhouse Civic Constant details as submitted on the plan checklist document when submitting as the plan	Address: 1520 Glenwood Avenue 2nd Floor Raleigh, NC 27608 Phone #: 252-526-1231 Email: meubanks@arboretumpartners.com Applicant Name: Amber Mason, PE Company: WithersRavenel Address: 137 S Wilmington Street, Suite 200 Phone #: 919-535-5200 Email: amason@withersravenel.com
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Attached Mixed use Scoping/sketch plan case #: Townhouse Civic Certificate of Appropriateness #:	SITE DATA BUILDING DATA
	Zoning district(s) (please provide the acreage of each): Existing gross floor area (not to be demolished): RX-5-GR-CU (5.52 AC). RX-6-CU (0.17 AC)
Board of Adjustment #:	Gross site acreage: Existing gross floor area to be demolished:
Tiny house Erequent Transit	5.67 61,224
Open lot Development Option Design Alternate #:	# of parking spaces proposed: 297 New gross floor area: 273,009
	Max # parking permitted (7.1.2.C): 463 Total sf gross (to remain and new): 273,009
GENERAL INFORMATION	Overlay District (if applicable): NCOD (RX-6-CU) Proposed # of buildings: 1
evelopment name: Arboretum Partners Clover Lane	Existing use (UDO 6.1.4): TOWNHOMES Proposed # of stories for each: 4
side City limits? Yes 🖌 No	Proposed # of basement levels (UDO 1.5.7.A.6) 1
operty address(es): 405 Clover Ln. Raleigh NC 27604	
	STORMWATER INFORMATION
te P.I.N.(s): 1704947576	Imperious Area on Parcel(s): Impervious Area for Compliance
ease describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).	Existing (sf) 105,935 Proposed total (sf) 167,369
	Existing (sf) 105,935 Proposed total (sf) 167,369
sposed 4 story multiramily building with parking and associated infrastructure.	RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS
	Total # of dwelling units: 280 Total # of hotel bedrooms: N/A
urrent Property Owner(s): Brooks Family I LLC Ward Clover Lane LLC	# of bedroom units: 1br 143 2br 122 3br 15 4br or more 0
ompany: Brooks Family I LLC Ward Clover Lane LL Title:	# of lots: 1 Is your project a cottage court? Yes No
Idress: 2320 Beechridge Road Raleigh, NC 27608	A frequent transit development? Yes No
one #: 252-526-1231 Email: meubanks@arboretumpartners.com	
oplicant Name (If different from owner. See "who can apply" in instructions): Amber Mason, PE	Continue to Applicant Signature Block on Page 4.
elationship to owner: ☐ Lessee or contract purchaser ☑ Owner's authorized agent ☐ Easement holder	
Address: 137 S Wilmington Street, Suite 200 Revision 03.01.24 raleighnc.gov	3 Revision 03.0 raleighn
Address: 137 S Wilmington Street, Suite 200 Revision 03.01.24 raleighnc.gov PLICANT SIGNATURE BLOCK ² ursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized gent of the landowner. An easement holder may also apply for development approval for such development a is outhorized but the accompany.	3 Revision 03.0 raleighn
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Address: 137 S Wilmington Street, Suite 200 Revision 03.01.24 raleighnc.gov	3 reviews 2013
Address: 137 S Wilmington Street, Suite 200 Revision 03.01.24 raleighnc.gov APPLICANT SIGNATURE BLOCK Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made yo the landowner, An easement holder may also apply for development approval for such development as is authorized agent of the landowner, An easement holder may also apply for development approval for such development as is a uthorized agent requires written permission from the property owner for the purposes of making his development multiplication. Written permission from the property owner to act as an uthorized agent multiplication, the undersigned application. Written permission from the property owner to act as an uthorized agent must be made available to the City of Raleigh upon request. By submitting this application, the undersigned also acknowledges that the information and statements made in the application. The undersigned also acknowledges that the information and statements made in the application. The undersigned understands that development approval, pursuant to N.C. Gen. Stat. § 160D-403(f). The undersigned indicates that the property owner(s) is aware of this application and that the propsed project lescribed in the isapplication will be maintained in all respects in accordance with the pans and specifications ubmitted herewith, and in accordance with the provides and regulations of the City of Raleigh Unified 2velopment Ordinance. The undersigned has the queuest of the application review is discontinued, and a new application is ergoned for a period of six consecutive months or more, or if he applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, or if he applicant fails to respond to comments or provide additio	3
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PREPARED BY:





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C0.02	COMPLIANCE TABLE
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C2.00	SITE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C4.00	UTILITY PLAN
C5.00	FIRE ACCESS PLAN
C8.01	SCM 1 & 2 PLAN
C8.02	SCM 1 DETAILS
C8.03	SCM 2 DETAILS
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LP200	LANDSCAPE DETAILS
LT100	LIGHTING PLAN
A01	ARCHITECTURAL ELEVATIONS
A02	ARCHITECTURAL ELEVATIONS

SOLID WASTE INSPECTION STATEMENT

- WASTE WILL BE COLLECTED INTERNAL TO THE BUILDING. WASTE WILL BE STORED IN A TRASH ROOM AT THE BACK OF THE BUILDING ON THE GARAGE LEVEL WITH A ROLL UP DOOR FOR VENDOR PICKUP. A PRIVATE VENDOR WILL BE UTILIZED FOR TRASH PICK UP. A WILL-SERVE WILL BE PROVIDED AT SITE PERMIT REVIEW. 2. PER Z-043-22: TRASH AND RECYCLING FACILITY SERVICE ON THIS PROPERTY SHALL BE ALLOWED ONLY BETWEEN 8AM AND 6PM.
- THIS CONDITION DOES NOT RESTRICT WHEN CITY-PROVIDED TRASH AND RECYCLING SERVICES CAN OPERATE ON THE PROPERTY.

FIRE DEPARTMENT NOTES

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA TYPE 13 SPRINKLER SYSTEM IS PROPOSED).
- 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1). 3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- 4. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE,
- OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION. 3. A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH
- PERMIT AND DEVELOPMENT PORTAL. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING
- INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED. 5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT
- LIMITED TO: 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
- 5.2. PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
- AMERICAN DISABILITY ACT (ADA) REQUIREMENTS; 5.3.
- 5.4. RALEIGH STREET DESIGN MANUAL (RSDM).
- 6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

DEVELOPER:

ARBORETUM PARTNERS ARBORETUM 1520 GLENWOOD AVENUE, 2ND FLOOR RALEIGH, NC 27608

PHONE #: 252-526-1231

ATTENTION: MICHAEL EUBANKS



ADMINISTRATIVE SITE PLAN ARBORETUM PARTERS CLOVER LANE ASR-XXXX-2024 WR PROJECT NO. 23-1118 CITY OF RALEIGH: MUNI PRO NO: ASR-XXXX-2024 INITIAL PLAN DATE: 09/06/2024

1.	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND NCDOT STANDARD DETAILS AND SPECIFICATIONS, LATEST REVISIONS, AS APPLICABLE.	4.5
2.	WORK ON THIS PROJECT SHALL CONFORM TO THESE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE NCDOT ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, MUNICIPAL STANDARDS AND SPECIFICATIONS, ANY GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN, UNLESS OTHERWISE	15
3.	NOTED IN THESE PLANS. ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING IF APPLICABLE. WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES WITHOUT WRITTEN CLARIFICATION FROM THE ENGINEER AND	16
4.	APPROVAL BY OWNER SHALL BE DONE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH MUNICIPAL, COUNTY AND STATE REGULATIONS, AND O.S.H.A. STANDARDS. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED	18
5.	UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA). THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT LIE IN OR ADJACENT TO THE PROJECT SITE. THE CONTRACTOR SHALL CALL "811" FOR	19
6.	THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS, INCLUDING BUT NOT LIMITED TO SIGNS, ROADWAYS, PATHS, STRUCTURES,	20
7	ELECTRICAL, COMMUNICATION, AND OTHER DRY UTILITIES, WET UTILITIES (SEWER, WATER, STORM SEWER), NATURAL VEGETATION, AND OTHER EXISTING PROPERTY ITEMS, DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING ITEMS DAMAGED DURING CONSTRUCTION.	22
7.	AND CONSTRUCTION STAKES. A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE SHALL REPLACE PROPERTY IRONS, MONUMENTS, AND OTHER PERMANENT POINTS OF REFERENCE DESTROYED BY THE CONTRACTOR.	23
8.	THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND/OR AS FURTHER DIRECTED BY THE MUNICIPALITY AND/OR NCDOT.	24
9.	CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN SUITABLE BARRIERS, FENCES, SIGNS, FLAGMEN, WATCHMEN, AND OTHER ADEQUATE PROTECTION AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC AND THOSE ENGAGED IN THE CONSTRUCTION WORK. ALL SAFETY MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK. CONSTRUCTION SIGNING SHALL BE CLEARLY LEGIBLE, PROMINENTLY DISPLAYED, AND IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", UNLESS OTHERWISE NOTED ON THE PLANS.	25 26
10.	CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC AND SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL REGULATORY AGENCIES ON TRAFFIC CONTROL PLANS.	EROS
11.	CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE AND IF APPLICABLE AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EASEMENTS ON THE	1.
13.	JOB SITE AT ALL TIMES. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE	2.
14.	DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S.	3.
15.	CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS, ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID.	4. 5. 6.
16.	. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL PAINT FOR PAVEMENT MARKINGS SHALL ADHERE TO NCDOT STANDARDS, UNLESS NOTED OTHERWISE.	7.
17.	TESTING OF MATERIAL REQUIRED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LAB AND THE PAYMENT OF EACH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENT OF THE NCDOT AND MUNICIPAL SPECIFICATIONS.	9.
<u>емс</u> 1.	<u>DLITION NOTES:</u> CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN	10
2.	NECESSARY. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED	11 12
3.	TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION. DEMOLITION SHALL INCLUDE, BUT IS NOT LIMITED TO, THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS, CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES; ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED	13
4.	AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOLES ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED.	14 15
5.	DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST TO OWNER. ELECTRIC. TELEPHONE. SANITARY SEWER. WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED	
6.	DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.	
7.	ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER DISPOSAL.	<u>GENI</u> 1.
8.	CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.	2.
9. 10.	PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA	3.
11.	REGULATIONS. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.	4.
<u>TOR</u> 1.	IM DRAINAGE NOTES: CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB	5.
2.	INCETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.	6.
3. 4.	ALL RCP STORM SEWER SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED. THE LOCATIONS OF STORM SEWER STRUCTURES SHOWN ON THESE PLANS ARE APPROXIMATE. WHERE PROPOSED STORM SEWER PIPING TIES	
5.	TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES	7
	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT	7.
6.	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS,	8.
6. 7.	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.	7. 8. 9.
6. 7. 8.	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS.	7. 8. 9. 10
6. 7. 8. 9.	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.	7. 8. 9. 10
 6. 7. 8. 9. 10. 	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES.	7. 8. 9. 10 11
6. 7. 8. 9. 10. <u>RAE</u>	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES.	7. 8. 9. 10 11 12 13
 6. 7. 8. 9. 10. <u>iRAE</u> 1. 2. 	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5.1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. DING NOTES: REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE CONTRACTION.	7. 8. 9. 10 11 12 13 14
 6. 7. 8. 9. 10. <u>iRAE</u> 1. 2. 3. 	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. DING NOTES: REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM DIVERSION DICHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM DIVERSION DICHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS, AND TO PREVENT SILT AND CONSTRUCTION DERIS FROM FLOWING ONTO ADJACENT PROPERTIES , ROADWAYS, AND ENVIRONMENTALLY SENSITIVE AREAS SUCH AS BUFFERS AND WET	7. 8. 9. 10 11 12 13 14 15 16
 6. 7. 8. 9. 10. 10. 11. 12. 3. 4. 	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES.	7. 8. 9. 10 11 12 13 14 15 16
 6. 7. 8. 9. 10. iRAE 1. 2. 3. 4. 5. 	UPON COMPLETION OF A PROJECT. AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED. THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL 'AS BUILT' PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED.' ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5.1 SLOPE. THE BENCH SHALL BEGIN TO FONE-HALF THE PIPE DIAMETER FOR 12 TO 2.4 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES.	7. 8. 9. 10 11 12 13 14 15 16 17 18
 6. 7. 8. 9. 10. 11. 2. 3. 4. 5. 6. 	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT FALL BE GRANTED, THAA CONSTRUCTION IS COMPLETED." ACTUAL 'AS BUILT' PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEIGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALE THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GRATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES.	 7. 8. 9. 10 11 12 13 14 15 16 17 18 19
 6. 7. 8. 9. 10. FRAE 1. 2. 3. 4. 5. 6. 7. 	UPON COMPLETION OF A PROJECT. AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAISS AND DESIGNS, AND SHALL SUBMIT ACTUAL 'AS BUILT 'PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED.' ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEICH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5.1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE HALE THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 70.48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. DISTINGTORY REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS. THE CONTRACTOR SHALL USE INTERIM MORE ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS. THE CONTRACTOR SHALL USE INTERIM ONE ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN ON THESE PLANS. THE CONTRACTOR SHALL USE INTERIM WIGHTS AND DERRIS FROM FLOWING ONTO ADJACENT PROPERTIES, ROADWAYS, AND ENVIRONMENTALLY SENSITIVE AREAS SUCH AS BUFFERS AND WETLANDS. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS. ALL MATERIALS USED FOR BACKFILL SHAL	7. 8. 9. 10 11 12 13 14 15 16 17 18 19 20
 6. 7. 8. 9. 10. FRAL 1. 2. 3. 4. 5. 6. 7. 8. 9. 	UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED. THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIONS, AND SHALLS SUBMIT ACTUAL' AS BUILT? UNAN SFOR ALL STORMWATER MANAGEMENT FACILITIES OF PRACTICES ATTER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS, UNLESS APPROVED BY THE CITY OF RALEGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN 71 FO ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GRAFTER THAN 48 INCHES. ALL CACH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. INGENES REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION DEALS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION DEALS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION DEALS FOR ON THE METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN IN THESE PLANS. AND TO PREVENT SILT AND CONSTRUCTION DEALS FOR ANY EQUIRED TO DIRECT DRAINAGE, SHOWN IN THESE PLANS, AND TO PREVENT SILT AND CONSTRUCTION DEBRIS REAM PLOYING ONTO ADJACENT PROPERTIES. ROADWAYS, AND ENVIRONMENTALLY SENSITIVE AREAS SUCH AS BUFFRS AND WETLANDS. CONTRACTOR SHALL GOORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED TO THEST AND/	7. 8. 9. 10 11 12 13 14 15 16 17 18 19 20 21
 6. 7. 8. 9. 10. FRAI 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 	UND COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ACTUAL "AS BUILT PLANS FOR ALL STORMWATER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMIT ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS. UNLESS APPROVED BY THE CITY OF RALEGH. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE FINDS SHALL BE FURNISHED WITH REINFORCED CONCERTE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. ALL STORM DRAINAGE FIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCERTE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. ALL CATCH BASINGE SHALL BE FURNISHED WITH REINFORCED CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 51 SLOPE. THE BICH SHALL BECIN AT A HEIGHT OF ONE-HAIF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. MING MOTES REFER TO STE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING. CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING. CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO CONTRACTOR SHALL DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERM DURESION DITCHES, BERNG, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS, AND TO THE DRAINAGE AND ONTERS. SEGNO, OR OTHER METHOD TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERM DURESION	7. 8. 9. 10 11 12 13 14 15 16 17 18 19 20 21 22
 6. 7. 8. 9. 10. FRAE 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 	UNDERSONG STRUCTURE SHALL BAVE A MINIMUM COVER OF 0.2 FORTIFICATE OF OCCUPANCY SHALL BE GRANTED. THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORWWATER MAAAGEMENT PLANS AND DESKINS. AND SHALL SUBMIT ACTUAL 'NS BUILT PLANS FOR ALL STORWWATER MAAAGEMENT PLANS AND DESKINS. AND SHALL SUBMIT ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.2 FOET FOM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS. STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEVER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. SECH DRAINAGE PIPE SHALL HAVE A SHARPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5.1 SLOPE. THE BENCH SHALL BECK ON A SHARPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5.1 SLOPE. THE BENCH SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICENTIAL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. ALL DATE AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL USE INTERM DIVERSION DUCTION BERS STORM ON THESE PLANS. THE CONTRACTOR SHALL USE INTERM DIVERSION DUCTION DEBIS FROM ON THE PLANS. THE CONTRACTOR SHALL USE INTERM DIVERSION DUCTION DEBIS FROM ON THE PLANS. THE CONTRACTOR SHALL USE DEVICES AND	7. 8. 9. 10 11 12 13 14 15 16 17 18 19 20 21 22 21 22 21 22 21
 6. 7. 8. 9. 10. FRAE 1. 2. 3. 4. 5. 6. 7. 8. 9. 10. 11. 12. 	ULCONDOUT INCLUDING CONTROL CONTROL CONTROL OF ADDRESS OF CONTROL OF A POLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT: IN ACCORDANCE WITH THE APPROVED STORWAYER MANAGEMENT PLANS AND ESISTING, AND SHALL SUBMIT ACTUAL'S BUTTEY PLANS FOR ALL STORWAYER MANAGEMENT FACILITIES OR PRACTICES STER FINAL CONSTRUCTION IS COMPLETED." ALL STORM DRAINAGE PIPE SHALL HAVE A MININUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS. STORM SEVER PIPE SHALL HAVE A MININUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS. STORM SEVER PIPE SHALL HAVE A MININUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEVER PIPE SHALL HAVE A MININUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEVER PIPE SHALL HAVE A MININUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS. STORM SEVER PIPE SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE AND A BENCH WITH A MAXIMUM SJ SLOPE THE BEACH SHALL BECONFECTURE THE DIMETER FOR THE GRAFT THAT A BINCHES. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES. INCH THE AND ONE-FOURT. THE DIMETER FOR THE GRAFT THATA BINCHES. NET DISTICTOR STRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. ALL AREAS SHALL BE CRODED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL SHOWING THESE PLANS. THE CONTRACTOR SHALL USE NITERM DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS ALL AREAS SHALL BE CRODED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DUP THE REVENT SLIT, AND DOCUSTRUCTION DEBRIS FOR ANY SOLACET. TROPHENES, ROADWAYS, AND ENVIRONMENTALLY SUBSTIVE STEE DRAINAGE STRUCTION. ALL AREAS SHALL BE CRODED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL DUP THE REVENT SLIT. BRONTRACE WIT	7. 8. 9. 10 11 12 13 14 15 16 17 18 19 20 21 21 22 21 22 21 22 21 22 21 22 21

- MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE, THE PRESENT PHASE THE CONSTRUCTION DRAWINGS.
- WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE USACOE & NCEDNR-DWO.
- DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S. ARMY CORPS OF ENGINEERS AND NCDENR-DWQ.
- ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND WIRE UTILITY STRUCTURES
- SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10' SHALL BE MADE TO CONFORM TO
- THE EXISTING HEIGHTS AND SHAPES. ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- ASTM D-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- . FILL SHALL BE PLACED AND COMPACTED AS DIRECTED BY THE GEOTECHNICAL ENGINEER. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5'. ALL JOINTS SHALL BE
- SEALED WITH JOINT SEALANT. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND OWNER.
- COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

SION & SEDIMENT CONTROL NOTES:

- MEASURES.
- FENCE, SEDIMENT BASINS, DIVERSION DITCHES, AND THEN BEGIN GRADING ROADWAYS.
- IF STORM CROSS DRAINAGE CAN NOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HDPE SHALL BE USED TO CROSS WET WEATHER CHANNELS.
- CONTRACTOR SHALL ENSURE GRADING OPERATION IS CONDUCTED IN A MANNER THAT DOES NOT ALLOW ANY SEDIMENT INTO CREEKS. ALL STORM DRAINAGE PIPE SHALL BE PROTECTED DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE RIP RAP LINED TAIL DITCHES AT THE STORM DRAINAGE PIPE DISCHARGE POINTS AS REQUIRED TO ENSURE POSITIVE DRAINAGE

TO AVOID SLOPE EROSION, CONTRACTOR SHALL INSTALL TEMPORARY SLOPE DRAINS PER DETAIL AT LOCATIONS WHERE TEMPORARY

- DIVERSION DITCHES DISCHARGE INTO A SKIMMER BASIN. SEDIMENT BASINS SHALL BE KEEP OUT OF WETLAND AREAS.
- DISTURBANCE. TOPSOIL SHALL BE WASTED OFFSITE OR IN FILL AREAS AS SHOWN.
- STABILIZED.
- FOREBAY WILL NOT BE REQUIRED WHILE SCM IS ACTING AS AN EROSION CONTROL DEVICE.
- B. A GRAVEL CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF CONSTRUCTION ACCESS.
- ALL CATCH BASIN HOODS SHALL BE STAMPED "DRAINS TO RIVER" WITH 3/4" HIGH LETTERING.
- SHALL REMAIN IN PLACE UNTIL ALL ADJACENT DISTURBED AREAS HAVE BEEN COMPLETED AND STABILIZED.

ERAL LANDSCAPE NOTES:

- ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
- MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
- ALL PLANTS ARE TO BE FULLY GUARANTEED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL ACCEPTANCE.
- PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS
- APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
- REPRESENTATIVE
- ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC NOTICE FOR REVIEW
- AND ALLOWED TO DISSIPATE PRIOR TO INSTALLATION OF ANY PLANT MATERIAL
- ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC GRADING INFORMATION.
- . ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
- LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- MIXED GROUNDCOVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN GROUPS OF 3-7 AND LOCATED AS REQUIRED TO
- BRANCHES IN ORDER TO SATISFY SIGHT AND CLEARANCE REQUIREMENTS WHILE MAINTAINING THE INTEGRITY OF THE TREES.
- FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.
- ANY PLANT WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM AND SIZE TO MEET PLAN SPECIFICATIONS.
- . UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWINGS FOR EXISTING AND PROPOSED UTILITY UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
- . THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- OR WALL. TREE MANUAL.

E PROTECTION NOTES

- THE END OF THE PROJECT

GENERAL NOTES:

14. THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER AND UPON COMPLETION OF THE EARTHWORK ACTIVITIES THE TOWN MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.

SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED. MASS GRADING AND CLEARING SHALL NOT EXCEED 20 ACRES PER PHASE INCLUDING GRADING NECESSARY FOR INFRASTRUCTURE, EXCEPT WHERE THE TECHNICAL REVIEW COMMITTEE APPROVES AN INCREASE SUBJECT TO REVIEW OF AN EROSION CONTROL PLAN SUBMITTED WITH

. CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS,

BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS

ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF

TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT. FENCING SHALL NOT BE REQUIRED ADJACENT TO AREAS WITHOUT WOODED VEGETATION. FENCING SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS

CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION CONTROL

CONTRACTOR SHALL CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENT CONTROL MEASURES. CONTRACTOR SHALL INSTALL SILT

PERMANENT GROUND COVER SHALL BE ESTABLISHED PER NPDES LATEST REQUIREMENTS. ALL PERIMETER DIKES. SWALES. DITCHES. PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 SHALL BE PROVIDED GROUND COVER WITHIN 7 CALENDAR DAYS FROM THE LAST DISTURBANCE. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED GROUND COVER WITHIN 14 CALENDAR DAYS FROM THE LAST

TEMPORARY DIVERSIONS ARE TO REMAIN IN PLACE UNTIL THE STORM DRAINAGE SYSTEM IS IN PLACE AND THE UPSTREAM AREA IS

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE

THE CONTRACTOR SHALL MARK THE LIMITS OF THE BUFFER WITH ORANGE TREE PROTECTION FENCE WITH APPROPRIATE SIGNAGE. TREE PROTECTION FENCE SHALL BE INSTALLED ALONG THE OUTER ZONE OF ANY STREAM BUFFERS IF THERE IS ANY CONSTRUCTION WITHIN 50 FEET OF THE EDGE OF THE BUFFER. THIS MUST BE DONE PRIOR TO STARTING ANY CLEARING, AND MUST BE DONE TO OBTAIN A CERTIFICATE OF COMPLIANCE. IF THE DEVELOPER HAS RECEIVED APPROVAL TO WORK IN THE FIRST 20 FEET OF THE BUFFER, THEN THE LAST 30 FEET BOUNDARY SHALL BE MARKED IN THE AREA ADJACENT TO THIS WORK. OTHERWISE THE ENTIRE 50 FEET SHALL BE MARKED. THIS MARKING

THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION. MUD AND DUST-FREE.

NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS,

ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK. ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT

PLANTING SHALL FOLLOW NCDOT STANDARD SPECIFICATIONS AS OUTLINED IN SECTION 1670. PLANTING SEASON IS OCTOBER 15 - MARCH 15. UNLESS OTHERWISE NOTED OR APPROVED BY NCDOT ENGINEER. ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED AS NEEDED TO

THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR

LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S

ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS

A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, MULCH SHALL BE DARK BROWN. DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. NO PINE STRAW IS PERMITTED. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY

FINISH OFF 2-4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT

PROVIDE A GENERAL MIXING OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE DIRECTED. ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOW CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST, AND ADHERE TO THE ANSI A300 PRUNING STANDARD. PRUNING CUTS ARE TO BE DELIBERATE AND TARGETED ONLY TO THE NECESSARY

. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING,

THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, IN ACCORDANCE WITH THE APPROPRIATE PLANTING SEASON, QUANTITY

LOCATIONS. THE CONTRACTOR MUST LOCATE AND VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON THE PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER AND THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER AND THE

ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE,

STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH'S

ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH 6' TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT

NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT

ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR DEBRIS; TRENCHING; OR DISPOSAL OF ANY LIQUIDS.

- 3. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.
- 4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS. BRANCHES AND ROOTS. 5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT
- ALL TIMES. 6. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING
- WORK. 7. TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.

UTILITIES NOTES:

- 1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- 2. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE. 3. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS
- SHOWN. [DG NOTE- DO WE EXPAND THIS TO INCLUDE ALL UTILITIES, OR JUST THE STORM SEWER?] 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK. THERE WILL BE NO ADDITIONAL OR SEPARATE PAY ITEM FOR THIS WORK UNLESS SPECIFICALLY CALLED OUT IN THE BID FORM. ANY
- RELOCATION OF EXISTING UTILITIES MUST BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND FEES FOR THE ABANDONMENT OF WELLS AND SEPTIC SYSTEMS.
- 6. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NCDEQ WELL AND SEPTIC SYSTEM STANDARDS. AN ABANDONMENT PERMIT
- SHALL BE OBTAINED FROM THE COUNTY ENVIRONMENTAL HEALTH DIVISION PRIOR TO COMMENCING ABANDONMENT WORK. 7. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3') CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ANY HYDRANT, FDC OR OTHER FIRE DEPARTMENT EQUIPMENT.
- 8. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- 9. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- 10. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S).
- 11. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- 12. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT. 13. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRONICALLY SUPERVISED. PLEASE WORK WITH YOUR FIRE SPRINKLER AND
- ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH. 14. ROADWAYS AND BUILDINGS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION.
- 15. FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PERMITS PER THE 2012 NCFPC, SECTION 507.3. THIS IS THE AVAILABLE FIRE FLOW FROM THE HYDRANT AND THE MINIMUM REQUIRED FIRE FLOW CALCULATION FROM 2012 NCFPC APPENDIX B OR OTHER APPROVED METHOD.
- 16. PLANS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- 17. CONTRACTOR SHALL REPLACE WITH NEW ALL DRIVEWAY PIPES AND OTHER DRAINAGE PIPES/CULVERTS THAT ARE DISTURBED WHILE INSTALLING THE UTILITIES. ALL PIPE/CULVERTS SHALL MEET THE REQUIREMENTS OF NCDOT.
- 18. ALL ROADWAY DITCHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER AND CONFORM TO NCDOT REQUIREMENTS. ALL DITCHES SHALL BE LINED WITH EROSION CONTROL MATTING UNLESS OTHERWISE NOTED.
- 19. ALL EXCAVATED MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE DURING UTILITY INSTALLATION. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SEDIMENT AND EROSION CONTROL MEASURES TO CONTROL RUN-OFF. ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF LEGALLY.

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&	AND	MWSE	MAXIMUM WATER SURFACE ELEVATION
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BFW	BOTTOM FACE OF WALL	PS	PUMP STATION
ЗM	BENCHMARK	PSI	POUNDS PER SQUARE INCH
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CB	CATCH BASIN	S	SOUTH
C-C	CENTER TO CENTER	SC	STANDARD CURB
CF	CUBIC FOOT (FEET)	SCH	SCHEDULE
CFS	CUBIC FEET PER SECOND	SCM	STORMWATER CONTROL MEASURE
	CENTERLINE CLEAR SPACE	SDR SE	STANDARD DIMENSION RATIO
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		SVV SV	SOUTH WEST SOUARE YARD
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DIP	DUCTILE IRON PIPE	TCA	TREE CONSERVATION AREA
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EGCL	EXISTING GRADE CENTERLINE	TOC	TOP OF CURB
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HORIZ	HORIZONTAL	PGE	GREENWAY EASEMENT (PRIVATE)
		MUPE	MULTI-USE PATH EASEMENT (PUBLIC)
HW	HIGH PERFORMANCE POLITPROPILEINE PIPE	PMUPE	MULTI-USE PATH EASEMENT (PRIVATE)
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JDE	UTILITY/DRAINAGE EASEMENT (PUBLIC)
UDE	UTILITY/DRAINAGE EASEMENT (PRIVATE)
CMMAE	SCM MAINTENANCE AND ACCESS EASEMENT
JE	UTILITY EASEMENT (PUBLIC)
UE	UTILITY EASEMENT (PRIVATE)
/WDE	VARIABLE WIDTH DRAINAGE EASEMENT (PUBLIC)
VWDE	VARIABLE WIDTH DRAINAGE EASEMENT (PRIVATE)

LIMIT OF DISTURBANCE

RIGHT OF WAY

BUILDING

CONCRETE PAVING

HEAVY DUTY ASPHALT PAVING

HEAVY DUTY CONCRETE PAVING

🗕 🗕 🗕 🗕 LOT LINE

PHASE LINE

----- SETBACK

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NOT APPROVED FOR CONSTRUCTION



INITIAL PLAN DATE: 09/06/2024 **REVISIONS:**

GENERAL NOTES AND LEGENDS

DRN: WR DGN: WR CKD: WR



WR JOB NUMBER

23-1118

	ΖΟΝΙΝΙς ΓΟΜΡΙ ΙΔΝΙζΕ ΤΔΡΙ Ε				
	ZONING COMPLIANCE TABLE ZONING CONDITIONS PER 7-043-22 DATED 4/9/2023				
	ZUNING CUNDITIONS PER Z-043-22 DATED 4/9/2023	Denence			
	Condition The following conditions apply to the entire Property:	Reponse			
1	The portion of the Property zoned RX-5-GR-CU may only have driveway access to Watauga Street for the exclusive use of utility and emergency vehicles and personnel. Driveway access to Watauga Street reserved exclusively for utility and emergency vehicles and personnel shall be limited by a locked gate or similar device	Access to Watauga Street is restricted for emergency personnel only and is limited by a locked gate.			
2	Developer shall install a multiuse path ("Path") connecting Wake Forest Road and Watauga Street. The Path shall be a minimum of ten (10) feet wide on the portion of the Property zoned RX-5-GR- CU and a minimum of six (6) feet wide on the portion of the Property zoned R-6-CU. In addition to the Path, Developer shall dedicate a public access easement no less than twelve (12) feet wide on that portion of the Property on which the Path is built. The Path does not need to be physically separated from any drives or parking lots.	A 10' multiuse path on the portion of property zoned RX-5-GR-CU and a 6' multiuse path on the portion of the property zoned R-6-CU and 12' public access easement along the entire path are shown on site.			
	The following conditions apply to that portion of the Property zoned RX-5-GR-CU:				
3	The following Principal Uses as listed in UDO Section 6.1.4 that are permitted, limited, or special uses in the RX- District shall be prohibited: Dormitory, Fraternity, Sorority; Cemetery; Multi-unit Supportive Housing; Supportive housing residence; Boarding House; Congregate Care; Continuing care retirement community; Rest home; Social service Use Category; telecommunications tower (either <250 ft or >250 ft); Outdoor sports or entertainment facility (<250 seats or >250 seats); or Parking facility.	The proposed use of multfamily housing is an allowable use.			
4	There shall be no more than 280 dwelling units on this portion of the Property	There are 280 dwelling units proposed on site.			
5	The maximum building height within this portion of the Property shall be 55 feet, as measured from average post-development grade along the building elevation most parallel and closest to Wake Forest Road.	The proposed building height is less than 55'.			
6	Buildings on this portion of the Property shall have no more than four stories of conditioned space. Buildings may have five stories if one story is unconditioned space.	The proposed building is four stories tall with an unconditoned garage space in the basement.			
7	If a building with height of 4 or more stories is built on this portion of the Property, the following conditions shall apply: a) There shall be a minimum sixty-five foot (65) primary building setback from the northern, eastern, and southern to lines shared with the following adjoining properties to the north, east, and south (the "Specified Adjacent Properties"): PIN Nos. 1714/948837,1704/948887,1704/948887, 1704/94887, 1704/94887, and 1714041827 (Lots 15-52 and 25-26, Book of Maps 1920, Page 244, Wake County registry): PIN Nos. 1704/940367 (lots 23 and 24, Book of Maps 2015, Page 1677, WAke County registry): PIN Nos. 1704/948934 and 1704/94836 (Lots 6-7, Book of Maps 1925, Page 148, Wake County registry): PIN Nos. 1704/949304 and 1704/948365 (Lots 6-7, Book of Maps 1985, Page 148, Wake County registry): PIN Nos. 1704/949322 and 1704/9493932 (Lots 8 and 9, Book of Maps 1985, Page 476, Wake County registry): PIN Nos. 1704/948304 and 1704/948365 (Lots 6-7, Book of Maps 1985, Page 148, Wake County registry): PIN Nos. 1704/949322 and 1704/949837, 1704/949847, 1704/94987, and 1714041827 (Lots 15-22 and 25-26, Book of Maps 1920, Page 244, Wake County registry): PIN Nos. 1704/947848, 1704/948837, 1704/949847, 1704/94987, and 1714041827 (Lots 15-22 and 25-26, Book of Maps 1920, Page 244, Wake County registry): PIN Nos. 1704/947848, 1704/948837, 1704/949847, 1704/94987, and 1714041827 (Lots 15-22 and 25-26, Book of Maps 1920, Page 244, Wake County registry): PIN Nos. 1704/948837, 1704/948837, 1704/949847, 1704/94887, 1704/94887, 1704/94887, 1704/94887, Page 100 lineal feet, militonu width of 20 feet and an average width of 25 feet shall be located along astern and southern lot lines shared with the following adjoining properties to the antitic width of 20 feet and an average width of 25 feet shall be located along astern and southern lot lines shared with the following adjoining properties to the east and south of the Property. PIN Nos. 1714041488, 1714041584, 1714041680, 1714041782, and 1714042707 (Lots 1-6, Book of M	All protective yards are proposed with this plan.			
8	The maximum building height for the townhouse building type shall be 45 feet and 3 stories.	This site has a proposed multifamily building.			
9	Any site plan will provide sufficient mitigation measures so that the flood level differences between pre- development and post-development conditions for the 25-, 50- and 100-year storm events does not exceed 0.04 feet at the site(s) of documented downstream structural flooding near the intersection of Clifton St. and Frank St.	The flood level differences do not exceed 0.04'.			
10	Trash and recycling facility service on this portion of the Property shall be allowed only between the hours of 8AM and 6PM. This condition does not restrict when City-provided trash and recycling services can operate on the Property.	Proposed trash and recycling services will only occur between 8AM and 6PM.			
11	Pole-mounted lighting shall be limited to a maximum height of 15' and shall be of full cut-off design. Pole- mounted lighting shall not be located within 25 feet (25') of the northern, eastern, and southern lot lines shared with the Specified Adjacent Properties.	Proposed pole mounted lighting does not exceed 15' and is greater than 25' from the specificed property lines.			
12	Prior to, or as part of, any site plan for development of any portion of the property that would result in a Tier 3 level site plan, a location on the property or adjacent right-of-way shall be provided and solidified through a recorded and dedicated easement, to accommodate a City bikeshare station with no fewer than 10 docks, which shall be installed by the property owner. If a bikeshare station with 10 docks is installed, the property owner shall provide six (6) e-bikeswith installation of the station. If more than 10 docks are installed, one (1) e-bike for every 1.6 docks shall be provided by the property owner, rounded up to the nearest whole bike, with the installation of the station.	A bikeshare easement is proposed and a bikshare station will be installed.			
13	At the discretion of the City of Raleigh Department of Transportation, prior to issuance of a building permit and/or recordation of a subdivision plat (whichever is earlier), the property owner shall dedicate a transit easement along Wake Forest Road with a width of 20' and a depth of 6'. The location and size of the easement shall be established within 50' of the northern property line shared with PIN No. 1704947848 (Lots 15-16, Book of Maps 1920, Page 244, Wake County registry) during site plan or subdivision review, with the final decision made by City transit staff.	An easement for a future bus station has been proposed on site.			
14	The following building siding and cladding material shall be prohibited: vinyl siding, synthetic stucco (EIFS). This zoning condition shall not restrict the materials that can be used for window frames, door frames, soffits, or miscellaneous trim	The restricted materials are not proposed for the building.			
15	Residential tenants of buildings that exist on the Property prior to the effective date of these conditions (the "Existing Buildings") are entitled to 180 days' written notice before the termination of their leases due to redevelopment of the property. The owner of the Property, or their designee, shall provide the Planning and Development Staff with a sworn affidavit confirming compliance with this condition prior to approval of the site plan. A rent roll and sample copy of the notification letter shall be attached to and referenced in the affidavit.	Written notice will be provided.			



















STORMWATER CONTROL MEASURE (SCM) NOTES:

- 1. PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE
- DESIGN ENGINEER FOR RESOLUTION.
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CURRENT TOWN OF CARY STANDARDS AND SPECIFICATIONS.
- 3. GEOTECHNICAL ENGINEER SHALL EVALUATE SOILS ONSITE FOR SUITABILITY OF CONSTRUCTION. 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE DESIGN
- ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING STRUCTURES. 5. ONCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL OBTAIN
- APPROVAL BY EROSION CONTROL INSPECTOR IN ORDER TO REMOVE EROSION CONTROL DEVICES.6. ONCE ALL SEDIMENT AND EROSION CONTROL DEVICES HAVE BEEN REMOVED:
- 6.1. ALL SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY. 6.2. CONVERT STRUCTURES TO SAND FILTER BY INSTALLING UNDERDRAINS, AND SAND PER PLAN.
- 6.3. TOWN OFCARY REQUIRES FINAL CERTIFICATION OF SCM BY PROFESSIONAL ENGINEER. 7. SAND FILTER MEDIA SHALL HAVE A SURFACE INFILTRATION RATE OF
- AT LEAST 2"/HR 8. WASHED COARSE SAND MATERIAL SHALL BE CLEAN AASHTO-M-6 OR ASTM C- 33 COARSE SAND WITH AN AVERAGE PARTICLE SIZE OF 2 MM OR LESS.
- PRECAST CONCRETE MATERIALS
- 1. ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM TO ASTM C913 (RECTANGULAR) OR C478 (ROUND).
- ALL REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM C76, CLASS III (UNLESS OTHERWISE NOTED).
- 2.1. O-RING JOINTS SHALL CONFORM TO ASTM C443 & ASTM C361, OR ENGINEER APPROVED EQUAL.
 2.2. NON-O-RING JOINTS SHALL CONFORM TO ASTM C990.
- ADDITIONAL NOTES
- MANUFACTURER TO PROVIDE SPECIFICATIONS TO ENSURE WATER TIGHTNESS TO PREVENT GROUNDWATER SEEPAGE INTO SCM 1, FOR
- ENGINEER APPROVAL. MANUFACTURER TO PROVIDE SPECIFICATIONS FOR COUNTER BUOYANCY TO A MINIMUM FACTOR OF SAFETY OF 1.30.





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INITIAL PLAN DATE: 09/06/2024 REVISIONS:

WR JOB NUMBER23-1118DRN: WRDGN: WRCKD: WR

SCM 1 & 2 PLAN

C8.01







LONGITUDINAL SECTION VIEW





STORMWATER CONTROL MEASURE (SCM) NOTES:

- 1. PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE
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- 2. MANUFACTURER TO PROVIDE SPECIFICATIONS FOR COUNTER BUOYANCY TO A MINIMUM FACTOR OF SAFETY OF 1.30.





WR JOB NUMBER 23-1118 DRN: WR DGN: WR CKD: WR

SCM 2 DETAILS











	SEC 3.5.3 ZONE A: PROTECTIVE YARD	<u>SOUTH BOUNDARY: 621 LF</u> EIGHTEEN (18) EXISTING TREES TO	REMAIN.	SEC 8.5.2 STREETSCAPES ▶ STREET TREES	
GHT REMARKS	► TYPE 2: MEDIUM (20 FEET) PROTECTIVE YARD -AVERAGE WIDTH OF AT LEAST 20FT	REQUIRED TREES: LF X [5 TREE/100 LF]	31 TREES REQUIRED	WAKE FOREST ROAD: 463 LF REQUIRED UNDERSTORY TREES:	_23 TREES
14`	► INSTALLATION TYPE 2 PROTECTIVE YARD REQUIREMENTS -A WALL OR FENCE BETWEEN 6.5FT AND 9FT HEIGHT -FIVE (5) SHADE TREES PER 100LF (3" CAL, 10' HT MIN)	REQUIRED UNDERSTORY:	13 TREES PROPOSED	PROPOSED UNDERSTORY TREES:	_23 TREES
44	-FOUR (4) UNDERSTORY TREES PER 100LF (1.5" CAL, 6FT HT MIN) -THIRTY (30) SHRUBS PER 100 LF (18" HT MIN)	PROPOSED UNDERSTORY:	25 TREES PROPOSED	► INTERIOR ISLAND	
14	NORTH BOUNDARY: 479 LF TWO (2) EXISTING TREES TO REMAIN.	LF X [30 SHRUB/100 LF] PROPOSED SHRUBS:		ALL ROWS OF PARKING MUST END WITH SHALL BE MIN. 8' WIDTH & 300 SF	H ISLAND
14`	REQUIRED TREES: 24 TREES REQUIRED LF X [5 TREE/100 LF] PROPOSED TREES: 22 TREES PROPOSED	SEC 7.2.5 SCREENING MECHANICAL	EN NO LOWER THAN HIGHEST	► PERIMETER ISLANDS	
14`	REQUIRED UNDERSTORY:19 TREES REQUIRED LF X [4 TREE/100 LF]	POINT ON EQUIPMENT -ROOF-TOP CONDENSING UN PARAPET WALLS, REFER TO	NITS PROPOSED SCREENED BY BUILDING ELEVATIONS	5' MIN. WIDTH 30 SHRUBS PER 100 LF (MIN. 3' HT x 3' S	PR AT MAT
14`	PROPOSED UNDERSTORY:19 TREES PROPOSED REQUIRED SHRUBS:144 SHRUBS REQUIRED	SEC 7.2.7 DESIGN AND INSTA	ALLATION	► TREE COVERAGE	
14`	LF X [30 SHRUB/100 LF] PROPOSED SHRUBS: SHRUBS PROPOSED	-SHADE TREES- 3" MIN CAL IN -UNDERSTORY TREES- 1.5" M MIN MATURE HT	STALLED, 35' MIN MATURE HT. MIN CAL & 6' MIN HT. INSTALLED, 15'	EACH INTERIOR ISLAND SHALL HAVE TR 1 SHADE TREE PER 2000 SF VUA	RE
14	EAST BOUNDARY: 431 LF THREE (3) EXISTING TREES TO REMAIN.	-PARKING SHRUBS- 18" MIN I -PROTECTIVE YARD SHRUBS MATURE SIZE	HT. INSTALLED, 3' MIN MATURE HT. 8- 18" MIN HT INSTALLED, 3' X 3' MIN	REQUIRED SHADE TREES: 31,73 SF X [1 TREE/2000 SF] PROPOSED SHADE TREES:	_ 16 TREE
IIN. SINGLE STEM	REQUIRED TREES: 22 TREES REQUIRED LF X [5 TREE/100 LF] PROPOSED TREES: 20 TREES PROPOSED	-STREET YARD SHRUBS- CO	NTINUOUS ROW 5' OC		
IIN. SINGLE STEM	REQUIRED UNDERSTORY:17 TREES REQUIRED LF X [4 TREE/100 LF] PROPOSED UNDERSTORY:17 TREES PROPOSED				
IIN.	REQUIRED SHRUBS: 129 SHRUBS REQUIRED LF X [30 SHRUB/100 LF] 129 SHRUBS REQUIRED				
IN.	PROPOSED SHRUBS: SHRUBS PROPOSED				
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3					
			6.5' HEIGHT WOOD FENCE		
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	BUILDING (SEE ARCHITECTURAL PLAN SERIES)			(129) SHRUBS F (3) EXISTING TREES T	
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	20"OAK MIN. PROT	ECTIVE TREE YARD (TYP.) TECTIVE TREE YARD (TYP.)	(2) QUE SHU	18"OA	ĸ
19" OAK					X .
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$\mathbf{X} \mathbf{X}$		SHRUBS REQUIRED			
$\bigvee \mathbb{X} \times \mathbb{X}$		KISTING TREES TO REMAIN	6.5' HEIGHT V	VOOD FENCE /	



	LUNDSCAPE PLANTING NOTES 1. VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS AND IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE MONITOR OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS AND IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE MONITOR OF TOTAL LANDSCAPE MONITOR TO HIVE DEDUCED SHOWN OF INSTALLATION. 2. ALL LANSCOVER MICRITIS SHALL BE NOTIFIED OF MAY DISCREPANCIDES PRANT OF THAL BEDING OF INSTALLATION. 3. SOL, ANALYSIS SHALL ES OPTIMED DET LANDSCAPE CONTRACTOR HIVEN TO HALE BOOM OF INSTALLATION. 4. ALL DISCOVER DISCREPANCIDES PLANDSCAPE CONTRACTOR HIVEN TO ANY MICH SERVICE STRALIDATED BY THE AMERICAN ASSOCIATION OF NURSERY YORK 4. ALL DISCOVER DISCREPANCES PHANE DET LANDSCAPE CONTRACTOR HIVEN TO ANY MICH SERVICE STRALIDATION 4. ALL DISCOVER AND SHALL ES OPTIMUES TO MARKET SENSETTE PRIOR TO THE END OF THE WORKING DAY. 7. ALL SHOREDS PLANDSCAPE CONTRACTORS SHALL BE PROPERTY VERVER DAY DISCREPTIONED TO THE HIVE ON THE MONITOR THE PLANT HIVEN AND ALL DISCREPTIONED TO THE HIVE ON THE MICH AND THE PLANT HIVEN AND ALL DISCREPTIONED TO THE HIVE ON THE MICH AND THE PLANT HIVEN AND ALL DISCREPTIONED TO THE HIVE ON THE DISCREPTIONED THE DISCREPTIONE HIVEN AND ALL DISCREPTIONED AND AND AND THE PLANT HIVEN AND ALL DISCREPTIONED HILD DISCREPTIONED HILD DISCREPTIONED HILD DISCREPTIONED HILD DISCREPTIONE HILD DISCREPTIONED HILD DISCREPTIONED HILD DISCREPTIONED HILD DISCREPTIONED HILD DISCREPTIONED HILD DISCREPTIONE HILD DISCREPTIONED HILD DISCREPTIONED HILD DISCREPTIONE HILD DISCREPTIONE HILD DISCREPTIONE HILD DISCREPTIONE HILD DISCREPTIONED HILD DISCREPTIONE HILD DISCREPTION	T25 N. Harrington St. Raleigh, NC 27603 919 / 833-6413 ClineDesignAssoc.com
	25. THESE WITHIN MUNICIPALITY RIGHT-OF WAY TO BE PLANTED FROM OCTOBER 1ST TO APRIL 30TH ONLY. SOIL SAMPLES SHALL BE TAKEN AND SUBMITTED TO INDEPENDENT SOURCE; RESULTS TO BE SENT TO LANDSCAPE ARCHITECT. PER RECOMMENDATION OF SOILS REPORT; LANDSCAPE CONTRACTOR TO SUPPLEMENT SOIL WITH LIME, MACRONUTRIENTS AND MICRONUTRIENTS. 30. CONTRACTOR TO AMEND SOIL WITH ORGANIC MATERIAL AND/OR SAND TO YIELD THE FINAL SOIL RATIO: -33.% SAND/SILT -33.% SAND/SILT -33.% ORGANIC MATERIAL TO BE COMPOST MADE SOLELY FROM PLANT-BASED PRODUCTS. PEAT MOSS IS ALLOWED IN SANDY SOILS - NORTHER SOIL, LIME, NUTRIENTS AND AMENDMENTS TO BE TILLED TO A MINIMUM WIDTH OF 3-5 X ROOT BALL FOR TREES. SHRUB AND GROUNDCOVER PLANTING AREAS SHALL BE TILLED TO A MINIMUM 4* BELOW ROOTBALL OR A MINIMUM 12* DEEP. DI ANITIMICA AND C. AND C. OCUL. NUCCESSION	IN OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGN I PARTNERS I PARTNERS I PARTNERS ORTH CAROLINA
GENERAL NOTES: 1. PLANT SO THAT TOP OF ROOT BALL IS 1" ABOVE FINISH GRADE. 2. SCARINF SIDES AND BOTTOM OF PLANTING PIT. 3. SCARINF SIDES AND BOTTOM OF PLANTING SUL MIXTURE (OR AMENDED SOIL) IN 6" LAYERS, HAND-TAMPED. TO REMOVE VOIDS. 4. AFTER PLANTING FIT IS 23 BACKFILLED. WATER MATERIAL. 5. AFTER PLANTING FIT IS 23 BACKFILLED. WATER MATERIAL. 6. AFTER PLANTING FIT IS 23 BACKFILLED. WATER MATERIAL. 7. SEE SOIL PREPARATION AND HAND-TAMPING FINAL LAYERS, WATER GAIN WITL NO MORE IS ABSORBED. 7. SEE SOIL PREPARATION AND AMENDMENT NOTES 7. SEE SOIL P	D NOT PRUNE LEADER. PRUNE OR CUT ONLY Dead OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2' ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET FLUMB HULCH DEPTH NOT MORE THAN 3', KEEP MULCH 3' FROM ROOT FLARE AND DO NOT CONTACT STEM PLANTING SOIL MIX AROUND ROOT BALL (600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE COMPLETELY REMOVE TOP HALF OF BURLAP, LOCING STRAPS, NOLIS AND WIRE BASKET AND	THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED ON COPIED IN ANY FOR COLONER COLONER RALEIGH, NO
LANDSCAPE MAINTENANCE NOTES A. FERTILIZATION: AVOID ANY NITROGEN FERTILIZATION OF COOL-SEASON GRASSES, SUCH AS TALL FESCUE, AFTER THE FEBRUARY APPLICATION UNTIL SEPTEMBER. FERTILIZE LAWNS THREE TIMES PER B. PRUNING: PURPOSE OF PRUNING IS TO IMPROVE HEATH AND VIGOR OF WOODY PLANTS, ADJUSTMENTS TO THE FOLIAGE AND BRANCHING DENSITY FOR VISUAL SCREENS AND MANAGING COMPETITION, AND IPPOVING THE APPEARANCE OF TREES AND SHRUBS. PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OF FOR SIGHT DISTANCES/SAFETY REASONS FOR THE FIRST YEAR. THE ANSI A300 TREE CARE OPERATIONS STANDARDS SHALL BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES. 1. SHRUBS IN BUFFERS ALLOWED TO REMAIN FULL TO GROUND AND 6'-8' HEIGHT. 2. SHRUBS IN PLANTING ISLANDS KEPT TRIMMED TO 36' MAXIMUM HEIGHT.	NOTES:	PROJECT: 022102 DATE: 09.06.2024 REVISIONS: DATE
C. PEST CONTROL: PRE-EMERGENT WEED CONTROL FOR LAWNS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM. D. MULCHING: MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2'-3' IN PLANT BEDS. MULCH SHALL BE REAPPLIED EVERY YEAR. E. MOWING PRIMARY FESCUE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 3', SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS. F. PLANT PROTECTION: AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS. INSTALL TREE PROTECTION FENCING AS SHOWN DURING CONSTRUCTION. G. WATERING: IF ANY IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1' OF RAINFALL PER WEEK DURING THE GROWING SEASON. H. MAINTENANCE NOTES FOR BIORETENION BASIN PLANT MATERIALS: 1. VISUALLY INSPECT AND REPARE REGISION AROUND BIORETENSION AREA SO NA MONTHLY BASIS. 2. INSPECT MULCH COVER MONTHLY AND REPLACE ANY VOID AREA AS NEEDED. ADDITIONAL MULCH SHALL BE APPLIED IN THE SPRING WHERE NEEDED. 3. REMOVE AND REPLACE ALL DEAD OR DISEASED VEGETATION TWCE ANNUALLY. THEAT ALL DISEASED SHRUBS AND TREES AS NEEDED TO INSURE PROPER GROWTH. 4. ALL PLANT MATERIALS SHALL BE WATERED BY HAND FOR TWO WEEKS AFTER INSTALLATION. 5. REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 6. REMOVE AND REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 7. BLANCE AND REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 7. BLANCE AND REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 7. BLANCE AND REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 7. BLANCE AND REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 7. BLANCE AND DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 7. BLANCE AND REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 7. BLANCE AND REPLACE ANY DEFICIENT STAKES OR WIRES WHENEVER NEEDED. 7. BLANCE AND REPLACE ANY DEFICIENT STAKES OR W	 TREES MUST MEET THE TREE QUALITY STANDARDS I. TREES MUST MEET THE TREE MANUAL. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT) TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH. A TREE IMPACT PERMIT IS REQUIRED. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY. STANDARD TDEEE DI ANITING.	DRAWN BY: ST CHECKED BY: JK CODE LANDSCAPE DETAILS

HC PARKING CALCS

248 TOTAL SPACES

201-300 TOTAL SPACES = 7 HC SPACES 1/6 HC SPACES TO BE VAN

1 VAN HC 6 HC

PER ADA TABLE 208.2

EV PARKING CALCS

2 REQUIRED. 4 PROVIDED.

PARKING SCHEDULE - VEHICLES

STANDARD	237
EV	4
HC	6
HC VAN	1

TOTAL:

248

78

LONG TERM CALCS

432 BEDS, 1 SPACE PER 7 BEDS = 62 SPACES.

SHORT TERM CALCS

280 UNITS, 1 SPACE PER 20 UNITS = 14 SPACES.

PARKING SCHEDULE - BIKES				
LONG TERM BIKE	64			
SHORT TERM BIKE	14			

TOTAL:

PER RALEIGH UDO SEC. 7.1.2 REQUIRED PARKING

