



# Administrative Approval Action

Case File / Name: ASR-0063-2024  
DSLCL - ARBORETUM PARTNERS CLOVER LANE

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This 5.37-acre site is located north of Glascock Street, south of Frank Street, east of Wake Forest Road, and west of Watauga Street. The majority of the site is zoned RX-5-GR-CU. A portion of the site adjacent Watauga Street is zoned R-6 CU. Zoning conditions of Z-43-22 apply to the whole site. The entire site is located in a frequent transit area. The portion adjacent Watauga Street is in the Mordecai 2 NCOD. The site is addressed as 405 Clover Lane.
- REQUEST:** The development plan proposes a five-story apartment consisting of four levels of multi-unit living and one level of parking. The project includes 280 units, 316 parking spaces (surface and structured), amenity areas, site lighting, bicycle parking, and other site improvements. Total proposed building space is 274,991 square feet.
- DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 21, 2025 by WithersRavenel.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Will Serve Letter must be transposed on the plan that is submitted for SPR.
2. Provide more information and details for proposed retaining walls including elevations so appropriate permits may be added, prior to SPR approval. Retaining walls less than 5 feet will be issued zoning permits.
3. Prior to SPR approval, provide a full lighting plan that is compliant with UDO Article 7.4 and other applicable standards. This includes specific information on fixture cut sheets, footcandle array, and distance of pictures to exterior property lines. If any exterior building lighting is proposed, this shall also be included on the plans.
4. Plan shall clearly show how the proposed development meets requirements for outdoor amenity area. Label each outdoor amenity area (#1, #2, #3, etc.). Add a chart to the site plan (Sheet C2.00) with each outdoor amenity area and area of each (acres and square feet). If any rooftop amenity is proposed to meet this requirement, it needs to be clearly shown on floor plan and site plan sheets.



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5. Transparency is not applicable for residential portions of the building. Remove calculations for transparency from building elevations (Sheet A02), unless non-residential uses will be located on ground level and upper stories of the building.
6. Plan shall show compliance with Green (-GR) Frontage Build-To requirements (UDO Section 3.4.6.C). The build-to lines (minimum and maximum) shall be shown on the site plan.
7. Demonstrate compliance with e-bike requirement set forth in condition number 12 of Z-043-2022.

## Engineering

8. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

## Stormwater

9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
10. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
11. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

## Urban Forestry

12. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
13. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.
14. Submit a schedule for the timing of the removal of invasive English ivy on trees within the 0.17 acre Secondary Tree Conservation Area.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



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*The following items must be approved prior to recording the plat:*

## Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation. (prior to recorded map).
2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
4. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. That the existing right-of-way for Clover Lane is abandoned and a resolution number shown on all plats.

## Public Utilities

6. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater

7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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***The following items must be approved prior to the issuance of building permits:***

## **General**

1. A demolition permit shall be obtained.
2. Comply with all conditions of Z-43-22.

## **Public Utilities**

3. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).
4. Initiation of the easement release process with Raleigh Real Estate is required. The new easement is dedicated with a plat and the old easement abandoned with a deed and exhibit (via dedication of new easement on record plat, ending with abandonment of old easement on subsequent deed).

## **Stormwater**

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## **Urban Forestry**

6. A public infrastructure surety for street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for 23 street trees for the NCDOT portion and 125% of the improvement cost for 2 street trees for the City of Raleigh infrastructure.
7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.34 acres of tree conservation area.
8. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 23 street trees along Wake Forest Road and 2 street trees along Watauga Street for a total of 25 street trees.

***The following are required prior to issuance of building occupancy permit:***

## **General**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and rights-of-way street trees by Urban Forestry Sta

## **Stormwater**





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3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** May 1, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

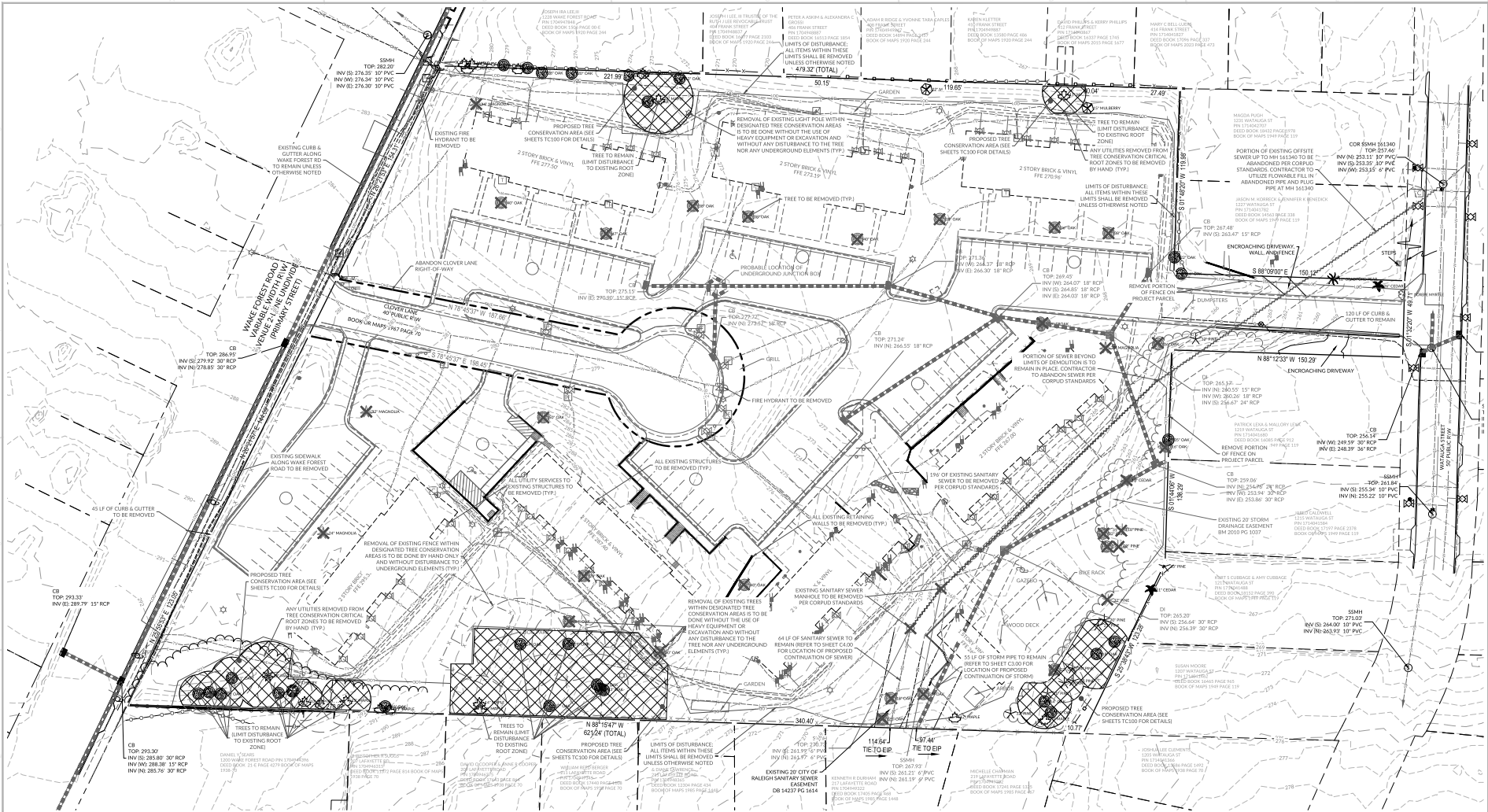
I hereby certify this administrative decision.

Signed: Keegan McDonald  Digitally signed by Keegan.McDonald@raleighnc.gov  
Reason: I am approving this document  
Date: 2025.05.01 13:01:35-04'00' Date: 05/01/2025  
Development Services Dir/Designee  
Staff Coordinator: Jessica Gladwin





ADMINISTRATIVE SITE PLAN  
**CLOVER, LLC  
 CLOVER LANE  
 -0063-2024**  
 | RALEIGH, NC | WAKE COUNTY



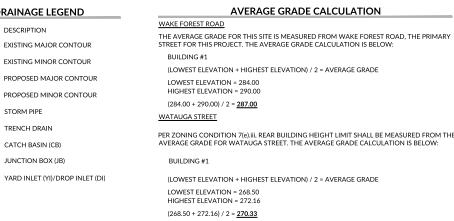
DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	LIMITS OF DISTURBANCE
	TREE TO BE REMOVED
	SEWER PIPE TO BE REMOVED

#### EXISTING CONDITIONS AND DEMOLITION NOTES:

1. THE LIMITS OF DISTURBANCE IS SHOWN IN RED. ALL ITEMS SHOWN WITHIN THE LIMITS OF DEMOLITION SHALL BE DEMOLISHED OR ABANDONED IN PLACE, UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
3. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCING WORK.
4. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
5. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
6. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
8. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
9. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO 'CITY OF RALEIGH STREET DESIGN MANUAL' AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
10. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
11. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
13. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV). COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO [RIGHTOFWAYSERVICES@RALEIGHNC.GOV](mailto:RIGHTOFWAYSERVICES@RALEIGHNC.GOV).
14. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
15. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
16. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.



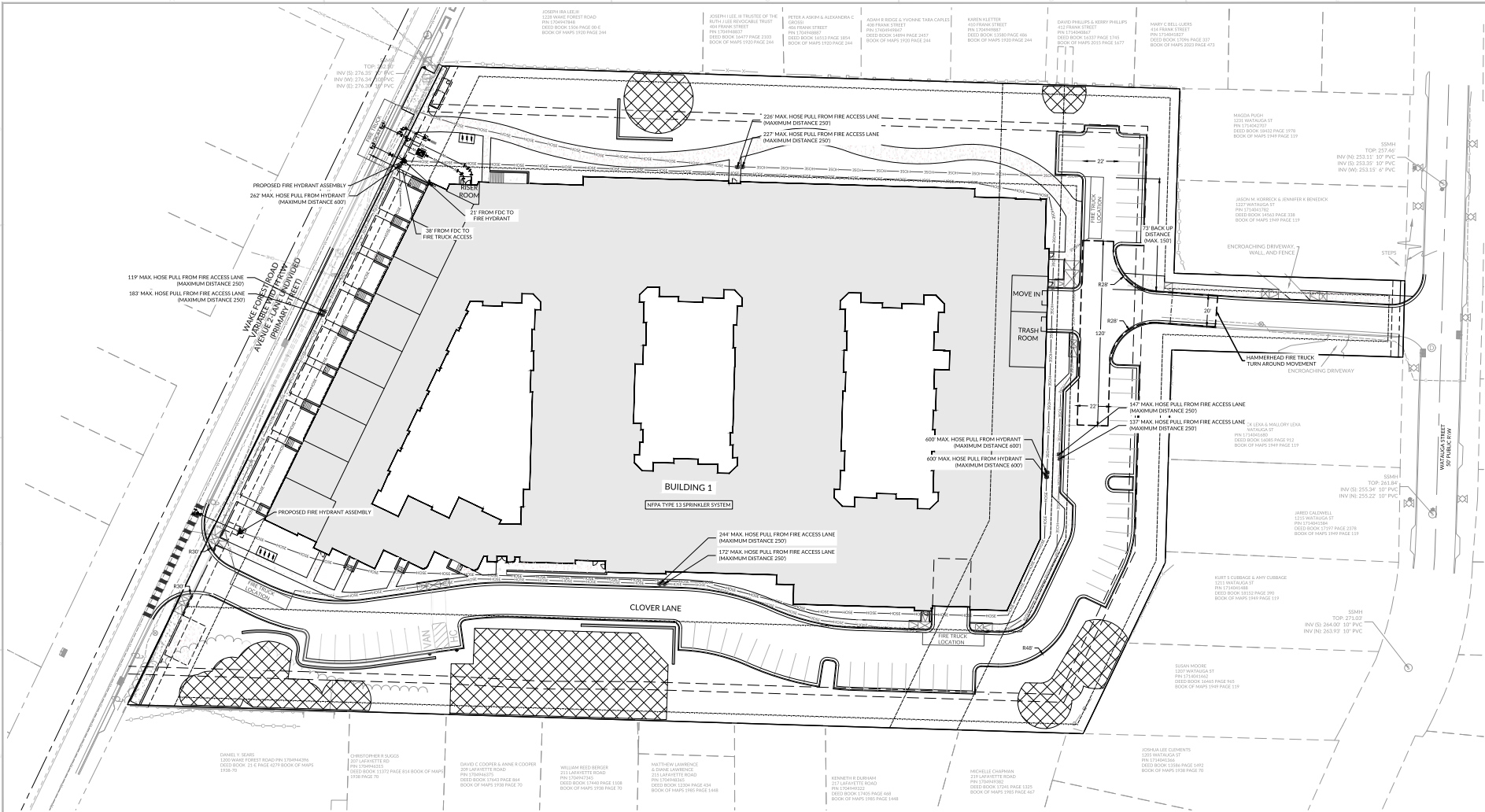




**C3.00**







FIRE ACCESS LEGEND	
SYMBOL	DESCRIPTION
	FIRE DEPARTMENT CONNECTION (FDC)
	FIRE HYDRANT ASSEMBLY
	WATER LINE
	FIRE LINE
	HOSE PULL LENGTH FROM TRUCK
	HOSE PULL LENGTH FROM HYDRANT
	BACKFLOW PREVENTER
	BLOW OFF
	WATER METER
	WATER VALVE

- FIRE ACCESS NOTES**
- HEAVY DUTY PAVEMENT SHALL BE PROVIDED IN ALL FIRE TRUCK ACCESS LANES.
  - HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 30,000 LB. AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PER NCFC 503.2.3.

WithersRavenel  
ARCHITECTS  
1000 W. HARRIS STREET  
RALEIGH, NC 27601  
Phone: 919.447.1111 | Fax: 919.447.1112  
www.withersravenel.com

APF CLOVER, LLC  
1100 HANCOCK AVENUE, SUITE 1000  
RALEIGH, NC 27608

ADMINISTRATIVE SITE PLAN  
**APF CLOVER, LLC  
CLOVER LANE  
ASR-0063-2024**  
405 CLOVER LANE | RALEIGH, NC | WAKE COUNTY

**PRELIMINARY**  
NOT APPROVED  
FOR CONSTRUCTION

SCALE: 1" = 20'-0"

INITIAL PLAN DATE: 09/06/2024  
REVISIONS:  
1 - 11/19/2024 WR  
COR. COMMENTS  
2 - 02/05/2025 WR  
COR. COMMENTS  
3 - 03/21/2025 WR  
COR. COMMENTS

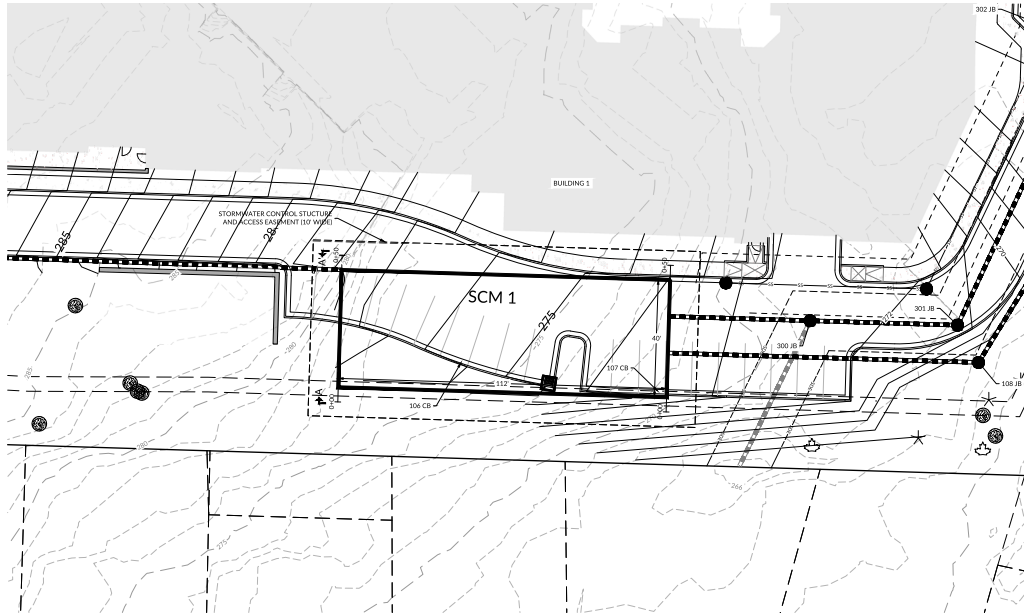
WR JOB NUMBER: 23-1178  
CNS: WR CKD: WR

**FIRE ACCESS PLAN**

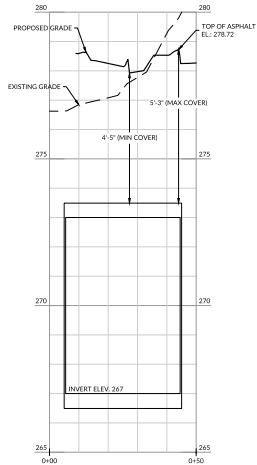
**C5.00**

our people

YOUR SUCCESS



SCM 1 PLAN



SCM 1 MAXIMUM COVER  
CONDITIONS PROFILE (A - A')

#### STORMWATER CONTROL MEASURE (SCM) NOTES

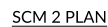
1. PRIOR TO BEGINNING CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER FOR RESOLUTION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CURRENT TOWNSHIP OF HALEIGH, NORTH CAROLINA, SPECIFICATIONS.
3. GEOTECHNICAL ENGINEER SHALL CHALLENGE SOIL CONDITIONS FOR SUITABILITY OF CONSTRUCTION.
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
5. SINCE THE SITE HAS BEEN STABILIZED, CONTRACTOR SHALL OBTAIN APPROVAL BY DESIGN CONTROL INSPECTOR IN ORDER TO REMOVE DESIGN CONTROL DEVICES.
6. ONCE ALL EROSION AND DESIGN CONTROL DEVICES HAVE BEEN REMOVED.
7. ALL SEDIMENT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
8. CURBSHEDS SHALL BE TO BE FILLED BY INSTALLING UNDERDRAIN, AND SAND FILL PLAN.
9. TOWNSHIP OF HALEIGH REQUIRES FINAL VERIFICATION OF SCM BY PROFESSIONAL ENGINEER.
10. SAND FILL MATERIAL SHALL HAVE A SURFACE INFILTRATION RATE OF AT LEAST 1 INH.
11. WASHED COARSE SAND MATERIAL SHALL BE CLEAN AND WASHED 10-6 OR BETTER, 10-6 COARSE SAND WITH AN AVERAGE PARTICLE SIZE OF 3.0MM OR LESS.

#### PRECAST CONCRETE MATERIALS

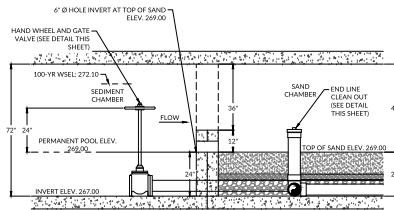
1. ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM TO ASTM C938 (RECTANGULAR) OR ASTM C941 (ROUND).
2. ALL PRECAST CONCRETE SHALL CONFORM TO ASTM C938, CLASS II (UNLESS OTHERWISE NOTED).
3. CURBSHEDS SHALL CONFORM TO ASTM C938 & ASTM C941, OR ENGINEER APPROVED EQUIVALENT.
4. NON-CURBSHEDS SHALL CONFORM TO ASTM C938.

#### ADDITIONAL NOTES

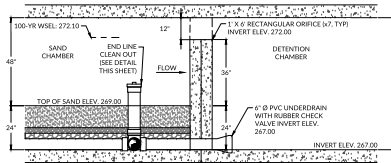
1. MANUFACTURER TO PROVIDE SPECIFICATIONS TO ENSURE WATER TIGHTNESS TO PREVENT GROUNDWATER SEepage INTO SCM FOR ENGINEER APPROVAL.
2. MANUFACTURER TO PROVIDE SPECIFICATIONS FOR COUNTERSUCH THAT TO A MINIMUM FACTOR OF SAFETY OF 1.30.



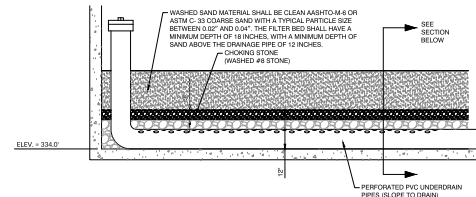
- ADDITIONAL NOTES**
1. MANUFACTURER TO PROVIDE SPECIFICATIONS TO ENSURE WATER TIGHTNESS TO PREVENT GROUNDWATER SEEPAGE INTO SCM FOR ENGINEER APPROVAL.
  2. MANUFACTURER TO PROVIDE SPECIFICATIONS FOR COUNTER BUOYANCY TO A MINIMUM FACTOR OF SAFETY OF 1.30.



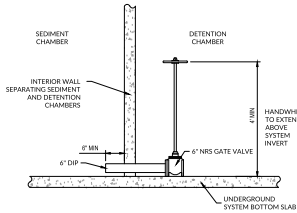
SCM 1 TYPICAL CROSS SECTION -  
SEDIMENT CHAMBER TO SAND  
CHAMBER  
R = 1'-0"



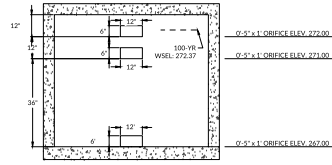
SCM 1 TYPICAL CROSS SECTION -  
SAND CHAMBER TO DETENTION  
CHAMBER  
R = 1'-0"



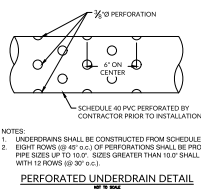
UNDERDRAIN BEDDING DETAIL  
R = 1'-0"



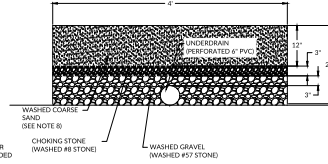
MAINTENANCE GATE VALVE LOCATION DETAIL  
NOT TO SCALE



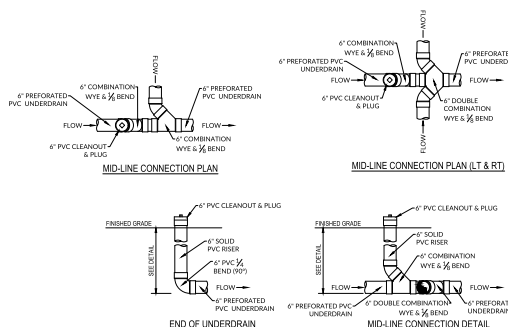
SCM 1 OUTLET CHAMBER  
R = 1'-0"



PERFORATED UNDERDRAIN DETAIL  
R = 1'-0"



UNDERDRAIN BEDDING DETAIL - SECTION  
R = 1'-0"

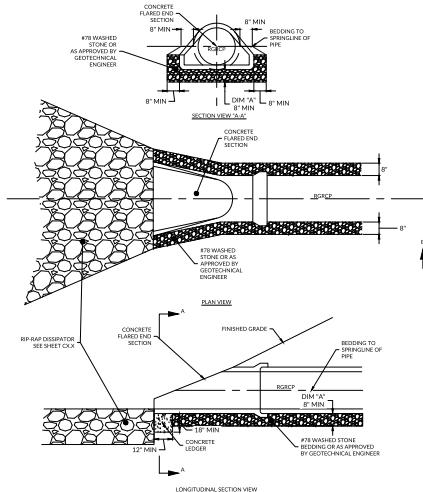


MID-LINE CONNECTION PLAN

MID-LINE CONNECTION PLAN (LT & RT)

END OF UNDERDRAIN

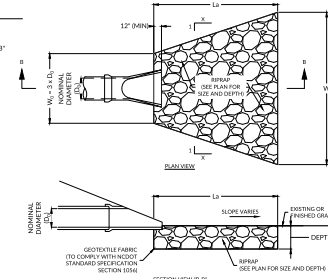
MID-LINE CONNECTION DETAIL



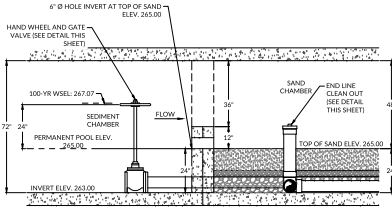
LONGITUDINAL SECTION VIEW

NOMINAL PIPE SIZE	DM A (PIPE ID)	DM B (PIPE ID)	DM C (PIPE ID)	SCM #
18	8	18	20	1
24	8	24	26	1
30	10	30	32	1
36	12	36	38	1
42	14	42	44	1
48	16	48	50	1

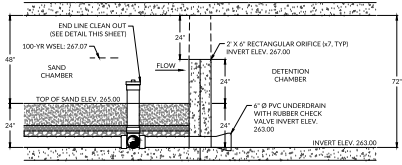
ALL DIMENSIONS IN INCHES  
DM A = 6" MINIMUM  
DM B = 18" MINIMUM PIPE DIAMETER



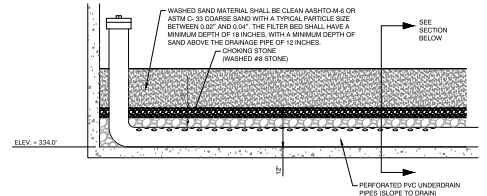
SECTION VIEW



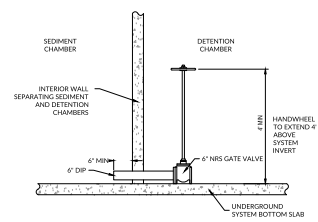
SCM 2 TYPICAL CROSS SECTION -  
SEDIMENT CHAMBER TO SAND  
CHAMBER  
E = 1'-0"



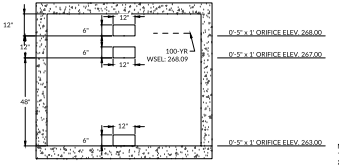
SCM 2 TYPICAL CROSS SECTION -  
SAND CHAMBER TO DETENTION  
CHAMBER  
E = 1'-0"



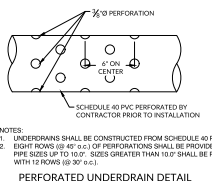
UNDERDRAIN BEDDING DETAIL  
E = 1'-0"



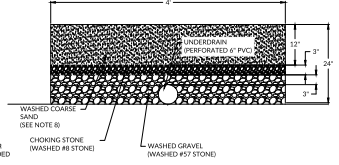
MAINTENANCE GATE VALVE LOCATION DETAIL  
NOT TO SCALE



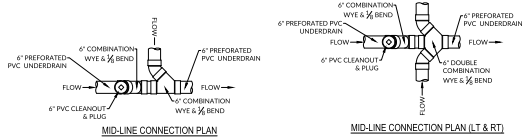
SCM 2 OUTLET CHAMBER  
E = 1'-0"



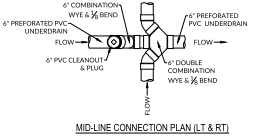
PERFORATED UNDERDRAIN DETAIL  
E = 1'-0"



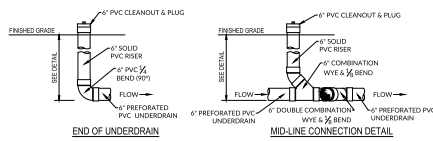
UNDERDRAIN BEDDING DETAIL - SECTION  
E = 1'-0"



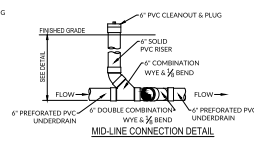
MID-LINE CONNECTION PLAN



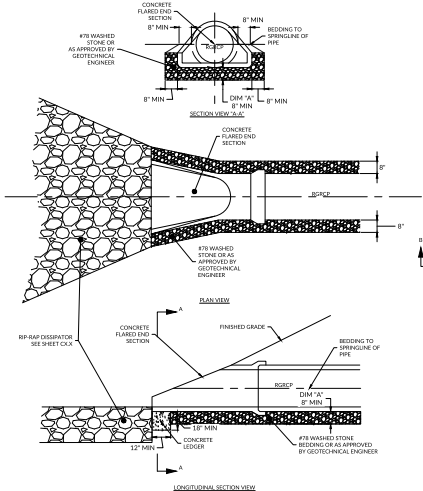
MID-LINE CONNECTION PLAN (L & R)



END OF UNDERDRAIN



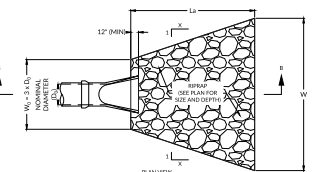
MID-LINE CONNECTION DETAIL



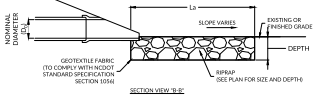
PLAN VIEW

NOMINAL PIPE SIZE	DM A (PIPE ID)	DM B (PIPE ID)	DM C (DM A + 12)	SCM #
18	8	18	30	1
24	8	24	36	1
30	10	30	42	1
36	12	36	48	1
42	14	42	54	1
48	16	48	60	1

ALL DIMENSIONS IN INCHES  
DM A = 6" MINIMUM  
18" MINIMUM PIPE DIAMETER



PLAN VIEW



SECTION VIEW

PANEL A BASAL DENSITY				
TREE	TREE AREA (SF)	LAND AREA (AC)	LAND AREA (AC)	BASAL DENSITY (TREE AREA SF / LAND AREA AC)
#11 (16" MAPLE)	1.39	1.39	1948	0.045
TOTAL	1.39			30.89

PANEL B BASAL DENSITY				
TREE	TREE AREA (SF)	LAND AREA (AC)	LAND AREA (AC)	BASAL DENSITY (TREE AREA SF / LAND AREA AC)
#12 (24" OAK)	3.14	3.14		
#14 (19" OAK)	1.97	1.97		
TOTAL	5.11	2783	0.064	79.8

PANEL C BASAL DENSITY				
TREE	TREE AREA (SF)	LAND AREA (AC)	LAND AREA (AC)	BASAL DENSITY (TREE AREA SF / LAND AREA AC)
#15 (16" OAK)	1.4	1.4		
#16 (33" OAK)	5.94	5.94		
TOTAL	7.34	2676	0.059	124.4

TREE CONSERVATION AREAS			
(SEE SHEET TC100)			
SECONDARY TREE CONSERVATION AREAS			
AREA 1 - 0.17 ACRES			
TOTAL - 0.17 ACRES			
INDIVIDUAL TREE SECONDARY TREE CONSERVATION AREAS			
AREA 2 - 0.03 ACRES			
AREA 3 - 0.01 ACRES			
AREA 4 - 0.07 ACRES			
AREA 5 - 0.06 ACRES			
TOTAL - 0.17 ACRES			

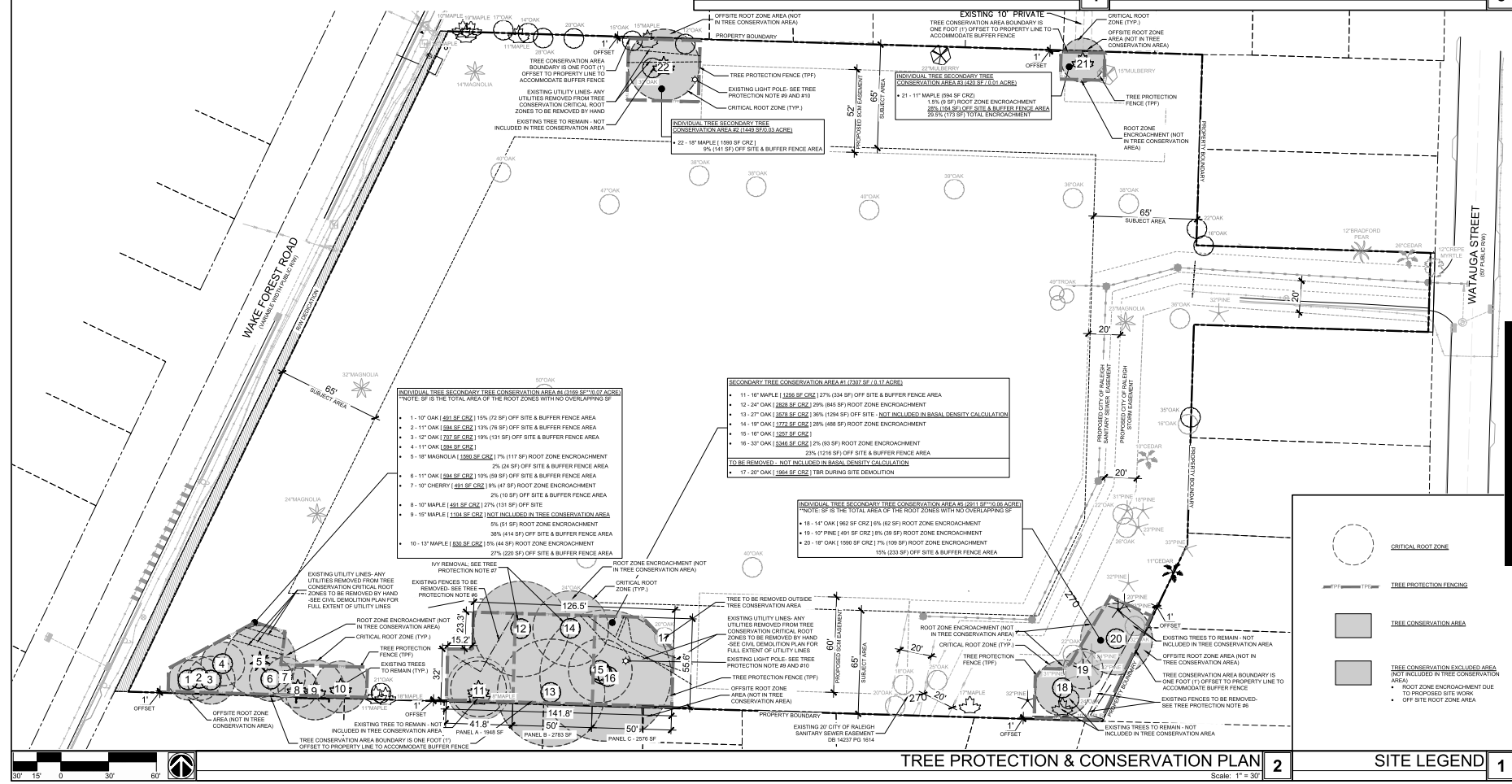
  

Tree Conservation Plan Data Sheet			
USO Method 9.1 Tree Conservation (includes applicable information on the plan sheet)			
Project Name: <u>Clover Lane</u>	Grass Site Acres: <u>5.66</u>		
Right-of-way to be dedicated on this project: <u>5.66</u>	Grass Site Acres: <u>5.66</u>		
	Net Site Acres: <u>5.66</u>		
	Number of Trees: <u>11</u>	Percent of Total: <u>100%</u>	
USO 9.1.4.4. Primary Tree Conservation Areas			
1. Primary Tree Conservation Area - 30'x11'			
2. Primary Tree Conservation Area - 30'x11'			
3. Primary Tree Conservation Area - 30'x11'			
4. Primary Tree Conservation Area - 30'x11'			
5. Primary Tree Conservation Area - 30'x11'			
6. Primary Tree Conservation Area - 30'x11'			
7. Primary Tree Conservation Area - 30'x11'			
8. Primary Tree Conservation Area - 30'x11'			
9. Primary Tree Conservation Area - 30'x11'			
10. Primary Tree Conservation Area - 30'x11'			
Subtotal of Primary Tree Conservation Areas:			
USO 9.1.4.5.2. Tree Conservation Area - Greenway			
USO 9.1.4.5.2.1. a. & b. Secondary Tree Conservation Areas (includes particular buffers and their alternate compliance areas)	0.17		3.03%
USO 9.1.4.5.2.1. c. & d. Individual Tree Secondary Tree Conservation Areas (includes individual trees and their alternate compliance areas)	0.17		3.03%
Subtotal of Secondary Tree Conservation Areas:	0.34		6.07%
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	0.34		6.07%

- TREE PROTECTION NOTES:**
- EXISTING TREE DATA PROVIDED BY WITHERSRAVENEL.
  - REFER TO TREE COVER REPORT BY CLINE DESIGN.
  - SEE SHEET TC200 FOR TREE PROTECTION FENCE DETAIL.
  - SITE DEMOLITION AND TREE REMOVAL NEAR THE TREE CONSERVATION AREA (TCA) BOUNDARY AND TREE PROTECTION FENCE SHALL NOT ENCRoACH INTO THE TREE CONSERVATION AREA.
  - REMOVAL OF EXISTING VEGETATION WITHIN THE DESIGNATED TREE CONSERVATION AREA SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST. WITHOUT THE USE OF HEAVY EQUIPMENT OR EXCAVATION, AND WITHOUT ANY DISTURBANCE TO THE TREE TO REMAIN NOR ANY UNDERGROUND ELEMENTS.
  - REMOVAL OF EXISTING FENCES WITHIN THE DESIGNATED TREE CONSERVATION AREAS SHALL BE DONE BY HAND ONLY AND WITHOUT DISTURBANCE TO UNDERGROUND ELEMENTS AND UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
  - REMOVAL OF EXISTING ENGLISH IVY GROWING ON TREES WITHIN TREE CONSERVATION AREAS SHALL BE DONE BY HAND ONLY AND WITHOUT DISTURBANCE TO UNDERGROUND ELEMENTS AND UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.
  - INSTALLATION OF NEIGHBORHOOD TRANSITION BUFFER FENCING IMMEDIATELY ADJACENT TO AND ACCESSED VIA TREE CONSERVATION AREAS SHALL BE DONE BY HAND ONLY AND WITHOUT DISTURBANCE TO UNDERGROUND ELEMENTS.
  - EXISTING UTILITY POLES WILL BE COUNTED TOWARD THE IMPERVIOUS AREA IN THE CRITICAL ROOT ZONE CALCULATION.
  - REMOVAL OF EXISTING LIGHT AND UTILITY POLES SHALL BE SAWN AT GRADE, AND THE PORTION OF THE POLE IN THE GROUND WILL BE ABANDONED IN PLACE. NO HEAVY EQUIPMENT SHALL ENCRoACH CRITICAL ROOT ZONE AREAS TO REMOVE THE TOP OF POLES.

**TREE CONSERVATION PLAN DATA SHEET**

**TREE PROTECTION NOTES**



**TREE PROTECTION & CONSERVATION PLAN**

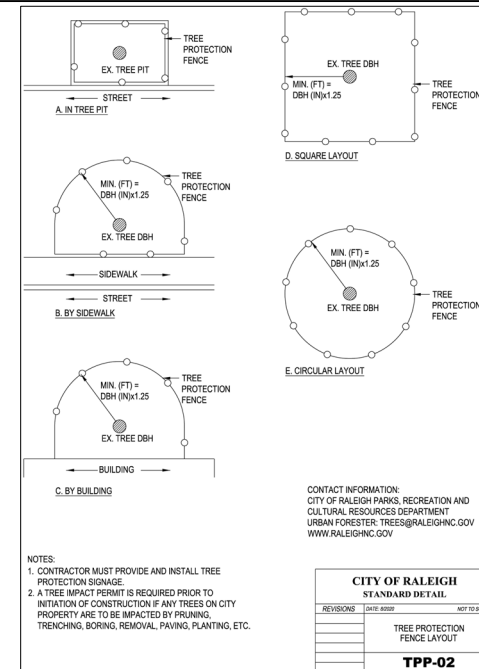
**SITE LEGEND**

RESUBMITTAL	11.20.24
RESUBMITTAL	02.05.25
RESUBMITTAL	03.21.25

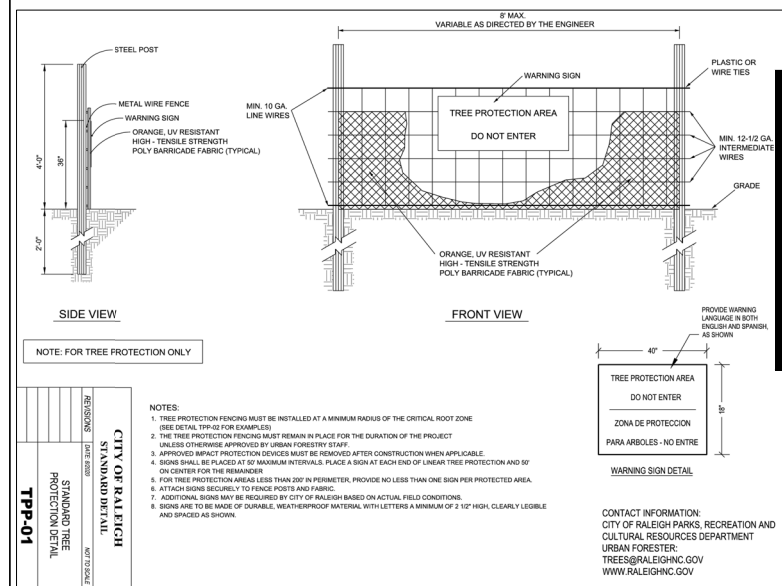
DRAWN BY: ST  
CHECKED BY: JK

TREE PROTECTION & CONSERVATION PLAN

TC100



TREE PROTECTION FENCE LAYOUT 2



STANDARD TREE PROTECTION FENCE 1

THIS DOCUMENT IS THE PROPERTY OF CLINE DESIGN ASSOCIATES, P.A. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CLINE DESIGN ASSOCIATES, P.A.

DATE:	09.06.2024
REVISIONS:	DATE
RESUBMITTAL	11.20.24
RESUBMITTAL	02.05.25
RESUBMITTAL	03.21.25

DRAWN BY: ST  
CHECKED BY: JK

TREE PROTECTION DETAILS

[illegible]

SEC 3.5.3 FOR EXISTING A PROTECTIVE VARD		
EAST PROTECTIVE VARD 95-186 LF TOTAL 202' X 50' = 10,100 SF		
SEE PLAN FOR EXTENTS OF TREE CONSERVATION AREA		
REQUIRED TREES:		10 TREES REQUIRED
LP X 8 TREE(100 LF)		10 TREES PROPOSED
PROPOSED TREES		
REQUIRED UNDERSTORY:		8 TREES REQUIRED
LP X 4 TREE(100 LF)		8 TREES PROPOSED
PROPOSED UNDERSTORY		
REQUIRED SHRUBS:		67 SHRUBS REQUIRED
LP X 8 SHRUB(100 LF)		67 SHRUBS PROPOSED
PROPOSED SHRUBS		
SOUTH PROTECTIVE VARD 303 LF TOTAL 202' X 50' = 10,100 SF		
SEE PLAN FOR EXTENTS OF TREE CONSERVATION AREA		
REQUIRED TREES:		10 TREES REQUIRED
LP X 8 TREE(100 LF)		10 TREES PROPOSED
PROPOSED TREES		
REQUIRED UNDERSTORY:		10 TREES REQUIRED
LP X 4 TREE(100 LF)		10 TREES PROPOSED
PROPOSED UNDERSTORY		
REQUIRED SHRUBS:		91 SHRUBS REQUIRED
LP X 8 SHRUB(100 LF)		91 SHRUBS PROPOSED
PROPOSED SHRUBS		

**SEC 8.5.2 STREETSCAPES**  
**• STREET TREES**

WAKE FOREST ROAD: 482 LF  
 REQUIRED URBAN TREES: \_\_\_\_\_ 27 TREES REQUIRED  
 1/3 LF @ 1 TREE/30 LF  
 PROPOSED STREET TREES: \_\_\_\_\_ 27 TREES PROPOSED

WATUGA STREET: 49 LF  
 REQUIRED URBAN TREES: \_\_\_\_\_ 27 TREES REQUIRED  
 1/3 LF @ 1 TREE/30 LF  
 PROPOSED STREET TREES: \_\_\_\_\_ 27 TREES PROPOSED

**SEC 7.1.7 VEHICULAR PARKING LOT LANDSCAPING**  
**INTERIOR ISLANDS**

ALL INTERIOR ISLANDS SHALL BE 100' LONG AND 100' WIDE  
 ALL FLOWERS OF PARKING MUST BE WITH ISLAND

1. 10' WIDE, 10' HIGH X 100' LONG  
 2. 10' WIDE, 10' HIGH X 100' LONG

**PERIMETER ISLANDS**

1. 10' WIDE, 10' HIGH X 100' LONG  
 2. 10' WIDE, 10' HIGH X 100' LONG

**• ALONG PRIMARY ACCESS DRIVES**  
 2 MIN. WIDTH  
 10' WIDE, 10' HIGH X 100' LONG (MIN. 3' HT X 3' SPR AT MATURITY)

**• TREE COVERAGE**

1. 71.7% OF VEHICULAR USE AREA (LAND  
 EACH INTERIOR ISLAND SHALL HAVE TREE  
 COVERAGE PER 100' OF VIA

REQUIRED SHADE TREES: \_\_\_\_\_ 16 TREES REQUIRED  
 21.7% X 1/3 @ 1 TREE/30 LF  
 PROPOSED SHADE TREES: \_\_\_\_\_ 16 TREES PROPOSED

**SEC 7.2.4.8 SITE PROTECTIVE YARD**

► **TYPE C3**

- WALL SHALL NOT BE USED IN PLACE OF SHRUBS  
- 10' MAX AVERAGE WIDTH  
- THIRTY (30) SHRUBS PER 100' MIN. HEIGHT  
- 3.5 SHRUBS PER HEIGHT MIN.

WAKE FOREST ROAD 431 LF  
L.F. 100 SHRUBS (100 FT) 109 SHRUBS REQUIRED  
PROPOSED SHRUBS \_\_\_\_\_ 109 SHRUBS PROPOSED

**SEC 7.2.5 SCREENING**

► **MECHANICAL**

- OPAQUE LANDSCAPE SCREEN NO LOWER THAN HIGHEST  
- 10' MIN. SCREEN HEIGHT  
- ROOF-TOP CONDENSING UNITS PROPOSED SCREENED BY  
- PERMANENT WALLS; REFER TO BUILDING ELEVATIONS

**SEC 7.2.7 DESIGN AND INSTALLATION**

► **PLANT MATERIAL**

- TREES: 3" MIN. CAL. INSTALLED, 90 MIN. NATURAL HT.  
- TREES: 5" MIN. CAL. INSTALLED, 15' MIN. NATURAL HT.  
- TREES: 6" MIN. CAL. INSTALLED, 15' MIN. NATURAL HT.  
- PAVING STRIPS: 18" MIN. HT. INSTALLED, 3' MIN. NATURAL HT.  
- 10' MIN. NATURAL YARD SHRUBS: 1" MIN. NATURAL HT. 3" X 2' MIN. NATURAL SIZE  
- STREET HARDY SHRUBS: CONTINUOUS ROW 9" OC

## CODE LANDSCAPE CALCULATIONS





LANDSCAPE PLANTING NOTES

1. VERIFICATION OF TOTAL LANDSCAPE MATERIAL QUANTITIES AS SHOWN ON THE LANDSCAPE PLANS AND IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LANDSCAPE INSTALLATION.
2. ALL LANDSCAPE MATERIALS SHALL CONFORM TO THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
3. SOIL ANALYSIS SHALL BE OBTAINED BY LANDSCAPE CONTRACTOR PRIOR TO PLANTING. SOIL PREPARATION AND AMENDMENT SHALL BE AS REQUIRED.
4. IRRIGATION AREA PREPARATION IS HIGHLY PREFERRED TO INDIVIDUAL PLANT PREPARATION.
5. TREES WITH ROOT FLECK DAMAGE BY MORE THAN 1" OF SOIL WILL BE REJECTED FOR INSTALLATION.
6. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
7. ALL PLANTS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
8. ALL PREPARED GROUND COVER AND ANNUAL BED INSTALLATIONS SHALL BE PROPERLY SOAKED AND MULCHED PRIOR TO THE END OF THE DAY.
9. LANDSCAPE ARCHITECT SHALL PROVIDE AN IRRIGATION SCHEDULE, PLANTING SCHEDULE, SHADING CONDITIONS, HEATING AND MULCHING MATERIALS AND TEMPORARY WATERING METHODS.
10. LIFT AND SET BY TREE ROOT BALL ONLY. DO NOT CUT FROM THE TREE TRUNK. DO NOT USE TREE TRUNK AS A LEVER.
11. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
12. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
13. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
14. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
15. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
16. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
17. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
18. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
19. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
20. ALL PLANTS AND TREES TO BE PLANTED MUST BE PREPARED HOLES TO BE PROPERLY BACKFILLED PRIOR TO THE END OF THE WORKING DAY.
21. TREE PROTECTION FENCE SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO THE BEGINNING OF ANY GRADING OR OTHER UNDESIRABLE ACTIVITIES.
22. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING.
23. KEEPING PLANTING METHOD.
24. MAINTAINING PLANTS DURING FREEZE.
25. KEEPING ALL PLANTING BEDS GROOMED AND WEED FREE PER MUNICIPALITY REQUIREMENTS EXCEPT IN AREAS OF PRESERVED EXISTING NATURAL VEGETATION I.E. THATCHES.
26. THE OWNER SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY REQUIRED PLANTING BEDS DURING THE FIRST YEAR FROM PLANTING.
27. THE OWNER SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY REQUIRED PLANTING BEDS DURING THE FIRST YEAR FROM THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT PLANTING SEASON.
28. TREES WITH MUNICIPALITY INSET OF WAY SHALL BE PLANTED FROM OCTOBER 15 TO APRIL 30TH ONLY.

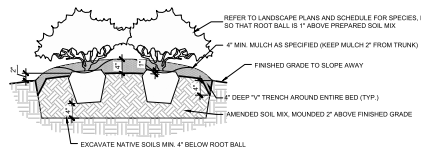
## SOIL PREPARATION AND AMENDMENT NOTES

1. SOIL SAMPLES SHALL BE TAKEN AND SUBMITTED TO INDEPENDENT SOURCE. RESULTS TO BE SENT TO LANDSCAPE ARCHITECT. PER RECOMMENDATION OF SOILS REPORT; LANDSCAPE CONTRACTOR SHALL SOILS TO COMPLY WITH LANDSCAPE ARCHITECTS AND MICROPLANTS.
- CONTRACTOR TO AMEND SOIL WITH ORGANIC MATERIAL AND/OR SAND TO YIELD THE FINAL SOIL RATIO:
- 33% SAND
  - 33% SILT
  - 33% CLAY
  - 33% ORGANIC MATERIAL \*
- \* ORGANIC MATERIAL TO BE COMPOST MADE SOLELY FROM PLANT-BASED PRODUCTS. PEAT MOSS IS ALLOWED IN SANDY SOILS
1. NATIVE SOIL, LIKE NUTRIENTS AND AMENDMENTS TO BE FILLED TO A MINIMUM WIDTH OF 3.5 x 8" ROLL BALL FOR TREES, SHRUBS AND GROUNDCOVER PLANTING AREAS SHALL BE FILLED TO A MINIMUM 4" BELOW FOOTBALL OR A MINIMUM 12" DEEP.

## PLANTING AND SOIL NOTES

#### GENERAL NOTES

1. PLANT SO THAT TOP OF ROOT BALL IS 1" ABOVE FINISH GRADE.
2. SCAREY SIDES AND BOTTOM OF PLANTING PIT.
3. BACKFILL PLANTING PIT WITH SPECIFIED PLANTING SOIL MIXTURE (OR AMENDED SOIL) IN 6" LAYERS, HAND-TAMPED TO REMOVE VOIDS.
4. WHEN PLANTING PIT IS 2/3 BACKFILLED, WATER MATERIAL.
5. AFTER PLACING AND HAND-TAMPING FINAL LAYERS, WATER AGAIN UNTIL NO MORE IS ABSORBED.
6. ROOTBALL IS TO BE DISTURBED SO THAT ROOTS WILL GROW OUT INTO SOIL MIX
7. SEE SOIL PREPARATION AND AMENDMENT NOTES



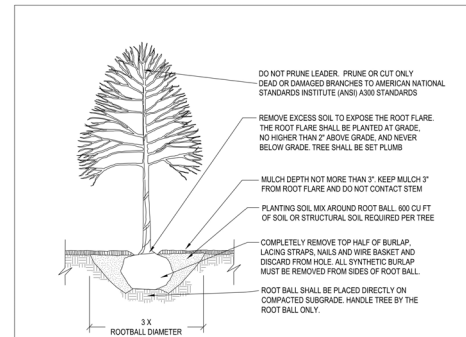
## TYPICAL SHRUB PLANTING

Scale:  $3/4" = 1'-0"$

LANDSCAPE MAINTENANCE NOTES

4. FERTILIZATION: AVOID ANY NITROGEN FERTILIZATION OF COOL SEASON GRASSES, SUCH AS TALL FESCUE, AFTER THE FEBRUARY APPLICATION UNTIL SEPTEMBER. FERTILIZE LANIHS THREE TIMES PER YEAR: ON SEPTEMBER 15, OCTOBER 31, AND FEBRUARY 15 ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONLY DURING GROWING SEASON PER SOIL TEST.
5. PRUNING: PURPOSE OF PRUNING IS TO REMOVE HAZARD AND VOOR OF WOODY PLANTS, ADJUSTMENTS TO THE FOLIAGE AND BRANCHING DENSITY FOR VISUAL SCREENS AND MAINTAINING COMPETITION FOR LIGHT. PRUNING SHOULD BE DONE IN WINTER OR EARLY SPRING. PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOL OR BRANCHES FOR TREES OR FOR LIGHT OBSTRUCTIONS. SAFETY REASONS FOR THE FIRST YEAR, THE ANSI A300 TREE CARE OPERATIONS STANDARDS SHALL BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT OFFSPRING FOR SHARDED HEIGHTS.
6. SHRUBS IN BUFFERS ALLOWED TO REMAIN FLAT TO GROUND AND 4-6 HEIGHT.
7. SHRUBS IN STRIPSCAPE BUFFER TRIMMED TO CONTINUOUS SOFT EDGES BELOW TREES.
8. SHRUBS IN PLANTING LANIHS KEPT TRIMMED TO 30" MAXIMUM HEIGHT.
9. PEST CONTROL: PRE-EMERGENT WEED CONTROL FOR LANIHS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT PESTIFICATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
10. MULCHING: MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN PLANT BEDS. MULCH SHALL BE REAPPLIED EVERY YEAR.
11. MOWING: PRIMARY FESCUE LANIHS SHALL BE MAINTAINED AT A HEIGHT OF 3". SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
12. PLANT PROTECTION: AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS. INSTALL TREE PROTECTION FENCING AS SHOWN DURING CONSTRUCTION.
13. WATERING: IF ANY IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON.
14. MAINTENANCE NOTES FOR BIORETENTION BASIN PLANT MATERIALS:
1. VISUALLY INSPECT AND REPAIR EXCESSOR ABOVE BORETENTION AREAS ON A MONTHLY BASIS.
2. REPLACE ADDITIONAL COVER MONTHLY AND REPAIR ANY VOOR AREA AS NEEDED.
3. REMOVE AND REPLACE ALL DEAD OR DISEASED VEGETATION TWICE ANNUALLY. TRIM ALL DEAD/DISEASED SHRUBS AND TREES AS NEEDED TO INSURE PROPER IRRIGATION.
4. ALL PLANT MATERIALS SHALL BE WATERED BY HAND FOR TWO WEEKS AFTER INSTALLATION.
5. REPLACE ANY CORRODENT STAKES OR WIRES WHENEVER NEEDED.
6. REMOVE ALL TRASH WEEKLY.

## LANDSCAPE MAINTENANCE NOTES



CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL  
RESOURCES DEPARTMENT URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

NOTES:

1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH 2 OF THE CITY TREE MANUAL.
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM TREE)
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
4. A TREE IMPACT PERMIT IS REQUIRED.
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

<b>CITY OF RALEIGH</b>		
<b>STANDARD DETAIL</b>		
REVISIONS	DATE: 6/20/20	NOT TO SCALE
10/20/19		
	<b>TREE PLANTING DETAIL</b>	
	<b>TPP-03</b>	

## STANDARD TREE PLANTING 4

RESUBMITTAL	11.20.24
RESUBMITTAL	02.05.25
RESUBMITTAL	03.21.25

DRAWN BY: EWB  
CHECKED BY: JK

OVERALL SITE  
LIGHTING PLAN

LT100



## Outdoor Lighting Shoebox "S" Pedestrian LED



The energy-efficient Shoebox "S" Pedestrian LED luminaire is a versatile, contemporary style with versatility and simple lighting effect that is a perfect choice for parking lots, commercial buildings and residential communities. The Shoebox "S" Pedestrian LED provides excellent color rendering along with a controlled light pattern that reduces glare and keeps the light directed only where you want it.

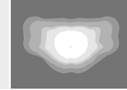
LED	50 watts
LED Footing Class	
Mounting heights	32', 32', 36'
Color	Black
Finish	Smooth round concrete Fluted concrete Polycarbonate Decorative glass/lens
Poles	
Applications	Neighborhoods Parks Shopping centers

For additional information, visit us at [www.clineenergy.com](http://www.clineenergy.com) or call us at 919-853-6413.



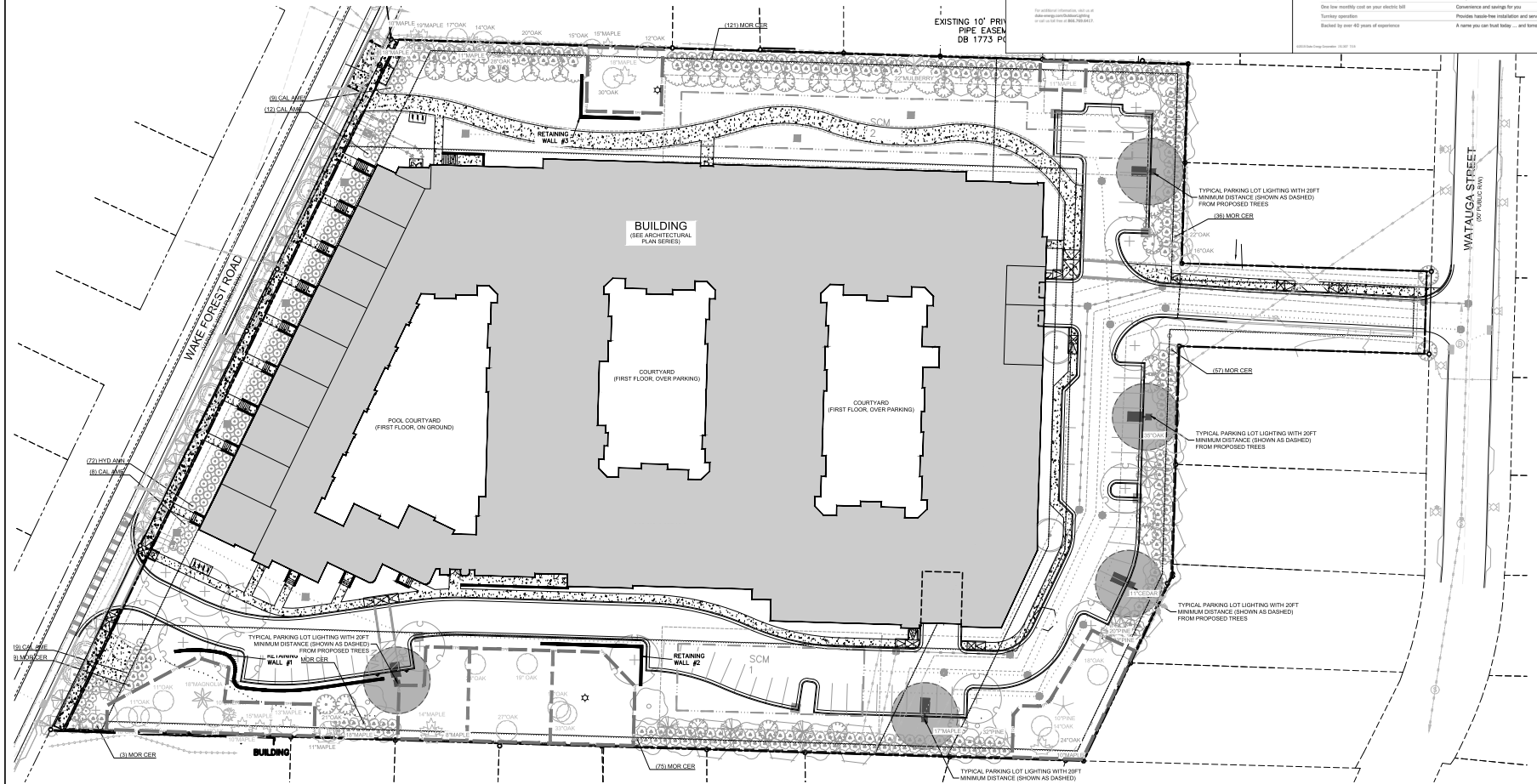
## Outdoor Lighting Shoebox "S" Pedestrian LED

Light source: LED luminaire  
Rating: 50  
Lumens: 3,120  
Light pattern: 120° Type II beam  
Color Rendering Index: 90 (CRI) (CRI 90)  
Color temperature: 4,000K



Poles available:	Mounting height	Color
Flangeless	16'	Black
Style V	12', 14'	Black
Style VI	12'	Black
Style VII	13'	Black

Features	Benefits
LEDs or no installation cost	Free up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Consistent light and appearance over time
Electricity included	Less expensive than traditional service
Warranty included	Worry free
One low monthly cost on your electric bill	Convenience and savings for you
Turbine operation	Provides hands-free installation and service
Backed by over 40 years of experience	A name you can trust today...and tomorrow



OVERALL SITE LIGHTING PLAN 1  
Scale: 1" = 30'



#### HC PARKING CALCS

318 TOTAL SPACES  
13 TOTAL HC SPACES  
(2 VAN HC + 11 HC)

#### EV PARKING CALCS

2 REQUIRED.  
5 PROVIDED.  
(4 STANDARD + 1 HC VAN)

#### PARKING SCHEDULE - VEHICLES

STANDARD	269
COMPACT	4
TANDEM	25
EV (INCL. 1 HC VAN)	5
HC	11
HC VAN	2
MOTORCYCLE	2

(13 TOTAL HC SPACES IN DECK)  
TOTAL: 318

#### LONG TERM CALCS

432 BEDS, 1 SPACE PER 7 BEDS = 62 SPACES.

#### SHORT TERM CALCS

280 UNITS, 1 SPACE PER 20 UNITS = 14 SPACES.

#### PARKING SCHEDULE - BIKES

LONG TERM BIKE	69
SHORT TERM BIKE	14

TOTAL: 83

PER RALEIGH UDO SEC. 7.1.2 REQUIRED PARKING

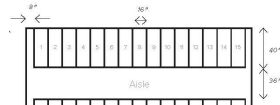
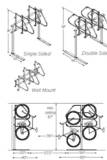


#### BIKE PARKING LEGEND



DERO VERTICAL RACK

\* BIKE PARKING FACILITIES TO HAVE 4'-0" CLEAR ABLE TO DRIVE LANE



DERO SPACE SAVER BIKE RACK DETAIL

2

1/4" = 1'-0"

PARKING LEVEL ASR

1

1" = 20'-0"

# cline

125 N. Harrington St.  
Raleigh, NC 27603  
919 / 833-6413  
ClineDesignAssoc.com

ARBORUM PARTNERS  
Clover Lane at Mordecia  
Raleigh, North Carolina

NOT FOR  
CONSTRUCTION

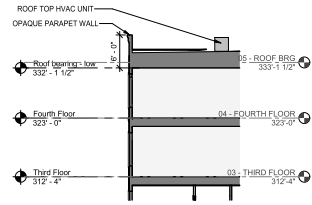
Case # ASR-0063-2024

ASR  
SUBMITTAL

PROJECT: 022102  
DATE: 03.04.2025  
REVISIONS: DATE  
A1 ASR REV 1 11/18/2024  
A2 ASR REV 2 1/31/2025  
A3 ASR REV 3 3/19/2025

DRAWN BY: MC\_JDB  
CHECKED BY: AK  
PARKING LEVEL PLAN

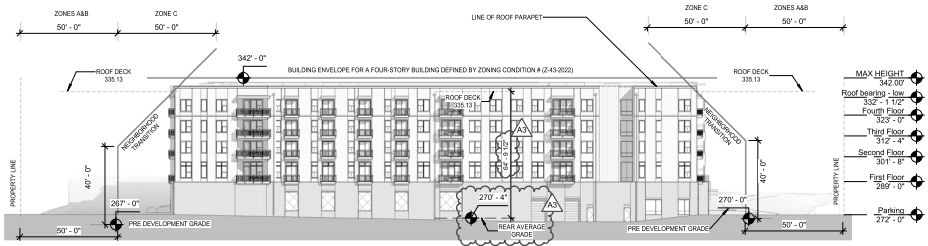
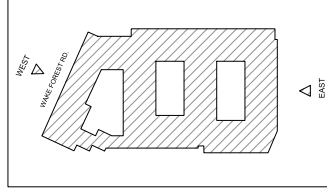
A01



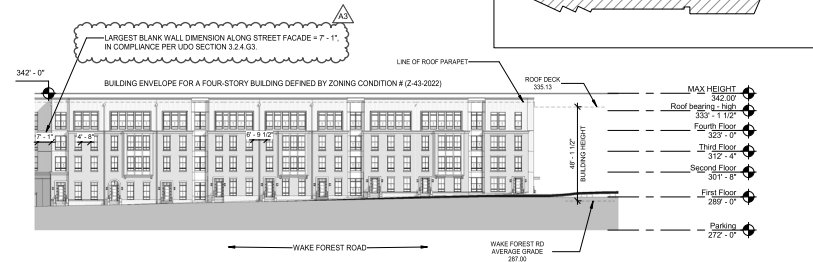
**ROOFTOP HVAC SCREENING DIAGRAM** 5  
3/32" = 1'-0"

**GROUND LEVEL TRANSPARENCY:**  
OVERALL: 3,609 SF REQUIRED: 20%  
OPENINGS: 808 SF PROVIDED: 22%

**UPPER LEVELS TRANSPARENCY:**  
OVERALL: 7,678 SF REQUIRED: 15%  
OPENINGS: 3,163 SF PROVIDED: 41%



ELEVATION FACING CLOVER LANE TO EAST **EAST ELEVATION** 4  
1" = 30'-0"



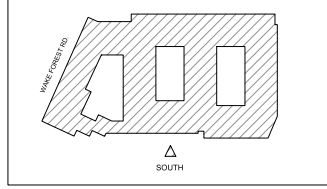
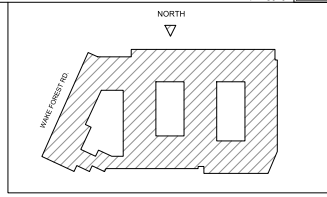
ELEVATION FACING WAKE FOREST ROAD **WEST ELEVATION** 3  
1" = 30'-0"



ELEVATION FACING CLOVER LANE TO NORTH **NORTH ELEVATION** 2  
1" = 30'-0"

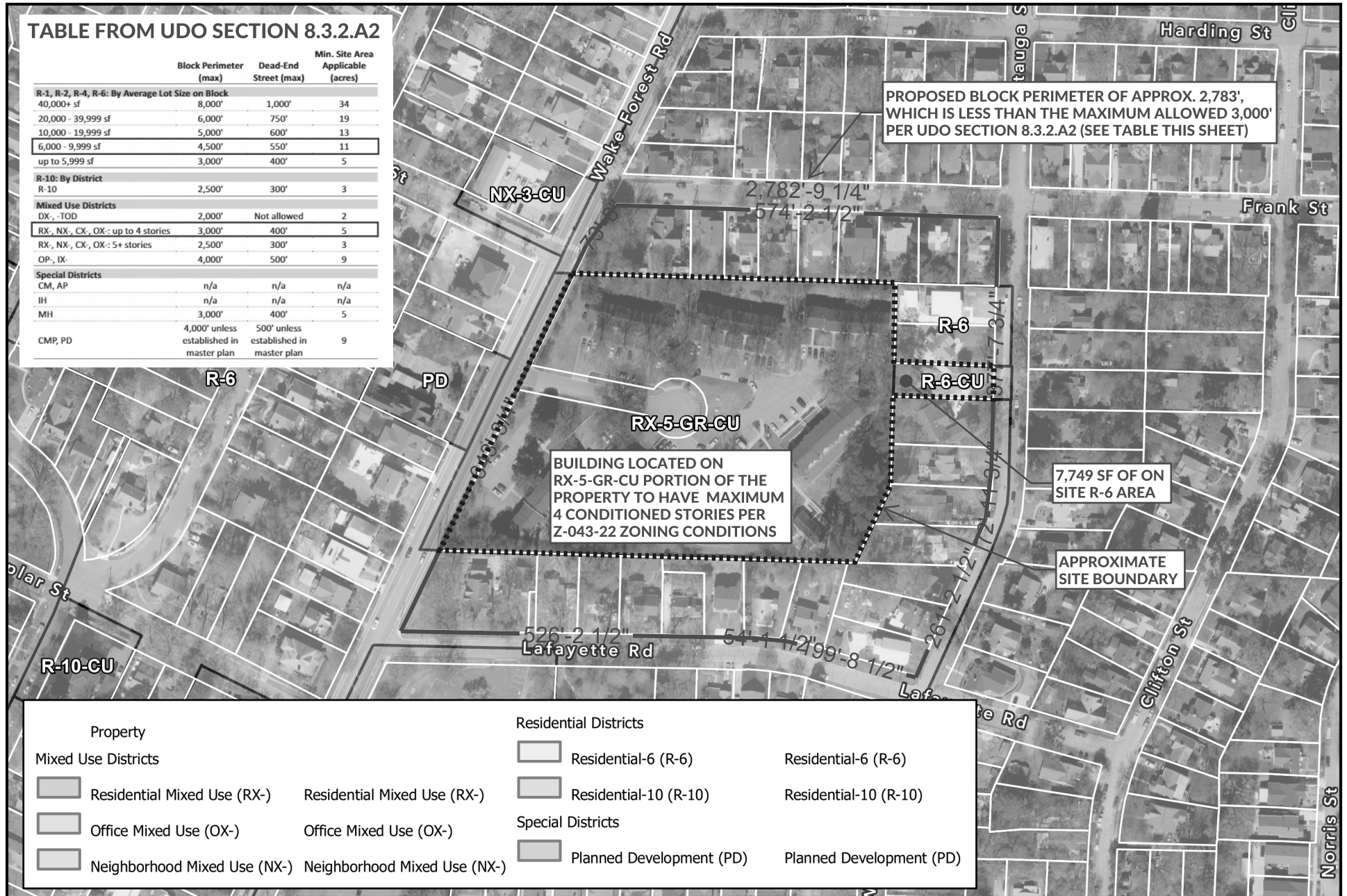


ELEVATION FACING CLOVER LANE TO SOUTH **SOUTH ELEVATION** 1  
1" = 30'-0"



## TABLE FROM UDO SECTION 8.3.2.A2

	Block Perimeter (max)	Dead-End Street (max)	Min. Site Area Applicable (acres)
<b>R-1, R-2, R-4, R-6: By Average Lot Size on Block</b>			
40,000+ sf	8,000'	1,000'	34
20,000 - 39,999 sf	6,000'	750'	19
10,000 - 19,999 sf	5,000'	600'	13
6,000 - 9,999 sf	4,500'	550'	11
up to 5,999 sf	3,000'	400'	5
<b>R-10: By District</b>			
R-10	2,500'	300'	3
<b>Mixed Use Districts</b>			
DX, -TOD	2,000'	Not allowed	2
RX, NX, CX, OX: up to 4 stories	3,000'	400'	5
RX, NX, CX, OX: 5+ stories	2,500'	300'	3
OP, IX	4,000'	500'	9
<b>Special Districts</b>			
CM, AP	n/a	n/a	n/a
IH	n/a	n/a	n/a
MH	3,000'	400'	5
CMP, PD	4,000' unless established in master plan	500' unless established in master plan	9



0 100 200 400 ft

1 inch equals 200 feet

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## CLOVER LANE - BLOCK PERIMETER EXHIBIT