

Case File / Name: ASR-0063-2024
DSLC - ARBORETUM PARTNERS CLOVER LANE

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 5.37-acre site is located north of Glascock Street, south of Frank Street, east

of Wake Forest Road, and west of Watauga Street. The majority of the site is zoned RX-5-GR-CU. A portion of the site adjacent Watauga Street is zoned R-6 CU. Zoning conditions of Z-43-22 apply to the whole site. The entire site is located in a frequent transit area. The portion adjacent Watauga Street is in the Mordecai

2 NCOD. The site is addressed as 405 Clover Lane.

REQUEST: The development plan proposes a five-story apartment consisting of four levels of

multi-unit living and one level of parking. The project includes 280 units, 316 parking spaces (surface and structured), amenity areas, site lighting, bicycle parking, and other site improvements. Total proposed building space is 274,991 square feet.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 21, 2025 by

WithersRavenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- 1. Will Serve Letter must be transposed on the plan that is submitted for SPR.
- Provide more information and details for proposed retaining walls including elevations so appropriate permits may be added, prior to SPR approval. Retaining walls less than 5 feet will be issued zoning permits.
- 3. Prior to SPR approval, provide a full lighting plan that is compliant with UDO Article 7.4 and other applicable standards. This includes specific information on fixture cut sheets, footcandle array, and distance of pictures to exterior property lines. If any exterior building lighting is proposed, this shall also be included on the plans.
- 4. Plan shall clearly show how the proposed development meets requirements for outdoor amenity area. Label each outdoor amenity area (#1, #2, #3, etc.). Add a chart to the site plan (Sheet C2.00) with each outdoor amenity area and area of each (acres and square feet). If any rooftop amenity is proposed to meet this requirement, it needs to be clearly shown on floor plan and site plan sheets.



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- Transparency is not applicable for residential portions of the building. Remove calculations for transparency from building elevations (Sheet A02), unless non-residential uses will be located on ground level and upper stories of the building.
- 6. Plan shall show compliance with Green (-GR) Frontage Build-To requirements (UDO Section 3.4.6.C). The build-to lines (minimum and maximum) shall be shown on the site plan.
- 7. Demonstrate compliance with e-bike requirement set forth in condition number 12 of Z-043-2022.

Engineering

8. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Stormwater

- A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 10. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 11. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

- 12. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 13. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.
- 14. Submit a schedule for the timing of the removal of invasive English ivy on trees within the 0.17 acre Secondary Tree Conservation Area.

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑	Public Access Deed of Easement Required
V	Right of Way Deed of Easement Required

V	Utility Placement Deed of Easement Required

 $\ensuremath{\mathbb{Z}}$ RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



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The following items must be approved prior to recording the plat:

Engineering

- 1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation. (prior to recorded map).
- 2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 3. A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 4. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 5. That the existing right-of-way for Clover Lane is abandoned and a resolution number shown on all plats.

Public Utilities

6. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

 All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

- 1. A demolition permit shall be obtained.
- 2. Comply with all conditions of Z-43-22.

Public Utilities

- 3. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).
- 4. Initiation of the easement release process with Raleigh Real Estate is required. The new easement is dedicated with a plat and the old easement abandoned with a deed and exhibit (via dedication of new easement on record plat, ending with abandonment of old easement on subsequent deed).

Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

- 6. A public infrastructure surety for street trees shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for 23 street trees for the NCDOT portion and 125% of the improvement cost for 2 street trees for the City of Raleigh infrastructure.
- 7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.34 acres of tree conservation area.
- 8. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 23 street trees along Wake Forest Road and 2 street trees along Watauga Street for a total of 25 street trees.

The following are required prior to issuance of building occupancy permit:

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. Final inspection of all tree conservation areas and rights-of-way street trees by Urban Forestry Sta

Stormwater



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- 3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 1, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision. Digitally signed by Keegan.McDonald@raleighnc.gov Keegan Mc Donald Reason: I am approving this document Date: 2025.05.01 13:01:35-04'00' Signed: Date: 05/01/2025 Development Services Dir/Designee

Staff Coordinator: Jessica Gladwin

THE FOLLOWING CONDITIONS SHALL ARRY TO THE BUTIEF RIDDERTY.

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IN FECTION OF CONTIONS APPLY TO THE PORTION OF PROPERTY ZONED RX-5 GR.CU.

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PROHIBITED COMMON OF PROMISE USES LISTED IN UDD SECTION 6.14 THAT ARE PERMITTED, LIMITED, OR SPECIAL USES IN THE -RXX DISTRICT SHALL BE PROHIBITED COMMON OF PROPERTY SECRET.

CATCORN TELECOMMUNICATIONS TOWER BETHER < 250 FT OR >250 FT), OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (< 250 SEATS OR ASSEMBLY FACILITY.

4. THERE SHALL BE NO MOBE THAN 280 DWELLING UNITS ON THIS PORTION OF THE PROPERTY. A MEASURED FROM A VERAGE

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REGISTRY, PRIN NOS. 17140414284 (2015 14, BOOK) OF MAPS 1940, PAGE 2179, PAGE 237, 1704947873, 170494735, 17049 1714041366 (LOTS 1-5 AND LOT 10, BOOK OF MAPS 1938, PAGE 70, WAKE COUNTY REGISTRY); PIN NOS. 1704948304 AND 1704948365 (LOTS 6-7, BOOK OF MAPS 1985, PAGE 1448, WAKE COUNTY REGISTRY); PIN NOS. 1704949322 AND 17049499382 (LOTS 8 AND 9, BOOK OF MAPS 1985,

PAGE 476, WAKE COUNTY REGISTRY). A PROTECTIVE YARD WITH A MINIMUM WIDTH OF 25 FEET AND AN AVERAGE WIDTH OF 30' SHALL BE LOCATED ALONG THE NORTHERN LOT LINE SHARED WITH THE FOLLOWING ADJOINING PROPERTIES TO THE NORTH OF THE PROPERTY: PIN NOS. 17049/7848, 17049/48837. A PROTECTIVE YARD WITH A MINIMUM WIDTH OF 25 FEET AND AN AVERAGE WIDTH OF 30 SHALL BE LOCATED ALONG THE NORTHERING LIKE SHARED WITH THE FOLLOWING ADDISING PROPERTIES TO THE NORTHER THE PROPERTY PIN PIN SO. 5,10947948,17,09494837, 170494887, 17049487, 1704947, 17049487, 17049487, 17049487, 17049487, 17049487, 17049487, 1

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SHADE TREES AND UNDERSTORY TREES MAY BE EVERGREEN.

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1714041462, 1714041488, 1714041584, 1714041590, 1714041782, AND 1714042707 (LOTS 1-6, BOXO OF MAPS 1949, PAGE 119).

I. NO PORTION OF THE BUILDING THAT IS WITHIN 75' OF THE EASTERN ADJACENT PROPERTIES SHALL EXCEED 3 STORIES AND 45' IN

17-140-140 AND 17-140

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SOLID WASTE INSPECTION STATEMENT

A WILL-SERVE WILL LETTER FROM A PRIVATE HAULER WILL BE PROVIDED AT SITE PERMIT REVIEW (SPR).

PER Z-043-22: TRASH AND RECYCLING FACILITY SERVICE ON THIS PROPERTY SHALL BE ALLOWED ONLY BETWEEN 8AM AND 6PM. THIS CONDITION DOES NOT RESTRICT WHEN CITY-PROVIDED TRASH AND RECYCLING SERVICES CAN OPERATE ON THE PROPERTY.

SITE LIGHTING NOTES

PROPOSED SITE LIGHTING WITH FOOTCANDLE ARRAY WILL BE PROVIDED WITH THE SITE PERMIT REVIEW (SPR) DOCUMENTS. A PROPOSED LIGHTING PLAN SHALL BE APPROVED BY THE CITY OF RALEIGH PRIOR TO THE RECEIPT OF THE SITE PERMIT.

SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE.
SEE SHEET C1.00 FOR BENCHMARK INFORMATION.
VERTICAL DATUM BASED ON NAVD 88.

INDEX OF SHEETS

	II ID EX CI CITEE IO
Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	GENERAL NOTES AND LEGENDS
C0.02	COMPLIANCE TABLE
C1.00	EXISTING CONDTIONS AND DEMOLITION PLA
C2.00	SITE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C4.00	UTILITY PLAN
C5.00	FIRE ACCESS PLAN
C8.01	SCM 1 PLAN
C8.02	SCM 2 PLAN
C8.03	SCM 1 DETAILS
C8.04	SCM 2 DETAILS
TC100	TREE CONSERVATION PLAN
TC200	TREE CONSERVATION DETAILS
LP100	LANDSCAPE PLAN
LP200	LANDSCAPE DETAILS
LT100	LIGHTING PLAN
A01	ARCHITECTURAL ELEVATIONS
A02	ARCHITECTURAL ELEVATIONS
	CLOVER LANE - BLOCK PERIMETER EXHIBIT

SITE DATA TABLE

MUNCIPAL PROJECT NO ASR-0063-2024 ASSOCIATED CASE NUMBERS Z-043-22 SITE ADDRESS 405 CLOVER LANE PARCEL PIN N 1704947576 DEED BOOK AND PAGE DB 019504, PG 01384 RX-5-GR-CU (5.52 AC) ZONING 5.37 AC (PARCEL) + 12 (CLOVER LANE ROW) = 5.67 AC / 246.999 SF EVICTING SITE ADEA 0.07 AC / 2,950 SF PROPOSED ROW DEDICATION OVERLAY DISTRICT NCOD (RX-6-CU) EXISTING LAND LISE TOWNHOMES MULTIFAMILY PROPOSED USE 142 ONE BEDROOM UNITS + PROPOSED NUMBER OF UNITS 280 TOTAL UNITS PROPOSED NUMBER OF BUILDING

PROPOSED GROSS BUILDING SE ±274.991 SF ±3.90 AC / ±169,795 SF IMPERVIOUS AREA PROPOSED TCA 6.07% (REFER TO SHEET TC100 FOR CALCULATION) BUILDING SETBACKS: PRIMARY STREET SIDELOTLINE 0' OR 6' REAR LOT LINE 0' OR 6' 4' OR 20' MIN

AMENITY AREA: 10% (PER UDO SEC. 3.2.4) MINIMUM AMENITY AREA REQUIRED 0.56 AC (24.405 SF) 10.3% (REFER TO SHEET C2.00 FOR CALCULATION) 0.58 AC (25,334 SF)

PARKING SPACE PER 0-1 BED x 142 UNITS + 2.25 SPACES PER 2 BED x 122 UNITS + 3 SPACES PER 3 BED x 16 UNITS = 465 SPACES

60 SURFACE SPACES (INCLUDING 2 ADA SPACES) 4

BIKE PARKING MINIMUM SHORT TERM BIKE PARKING REQUIRED (1 SPACE PER 20 UNITS) * 280 UNITS = 14 SPACES PROPOSED SHORT TERM BIKE PARKING MINIMUM LONG TERM BIKE PARKING REQUIRED. (1 SPACE PER 7 BEDROOMS) * 434 BEDS = 62 SPACES

PROPOSED LONG TERM BIKE PARKING 64 SPACES

NOT APPROVED FOR CONSTRUCTION

APFI CLOVER, LLC

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.

PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS

THE STREET, LANE, SIDEWALK, CLOSURE FERMIT IS REQUIRED FOR ANY CLOSURE ON CITY 3 INCLED AND ALL NCOOT STREETS WITHIN RELIGIEST JUMINION CHEMICAL SUBJECT OF THE TOTAL STREETS WITHIN REQUEST WITH A TCPED PLAN SHALL BE SUBJECT TO THE TOTAL STREETS WITHIN A TCPED PLAN SHALL BE SUBJECT TO THE CONTROLLATION SERVICE THROUGHT HELD CITY OF RAZIEGHT PROVIDENT FOR THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE RENORMERING INSPECTIONS COORDINATION TO REVIEW THE SPECIFIC COMPONENTS OF

WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE RECEIVE COMPONENTS OF THE SPECIFIC COMPONEN

ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED ALL YOUR SUPERVISION OF THE AND THE ACCESSION OF THE AND THE AND THE ACCESSION OF THE ACCES

THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA TYPE 13 SPRINKLER SYSTEM IS PRODOSED)

ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ

FIRE DEPARTMENT NOTES

FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS

CONNECTION.
FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC,
SECTION 507.3



VICINITY MAP

ADMINISTRATIVE SITE PLAN

APFI CLOVER, LLC

CLOVER LANE

ASR-0063-2024

405 CLOVER LANE | RALEIGH, NC | WAKE COUNTY

1ST SUBMITTAL: SEPTEMBER 6, 2024

2ND SUBMITTAL: NOVEMBER 19, 2024 3RD SUBMITTAL: FEBRUARY 5, 2025 4TH SUBMITTAL: MARCH 21, 2025

CONTACT LIST:

PRELIMINARY

PREPARED BY:

DEVELOPER:

- WORK ON THIS PROJECT SHALL CONFORM TO THISE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLIMA DEPARTMENT OF TRANSPORTATION INCOORDING AND BROCKS SECTIONS. THE MOST INCOME AND BROCKS SYMMOSISM, THE NORTH CAROLINA SHADOWN AND BROCKS SYMMOSISM, THE NORTH CAROLINA SHADOWN AND BROCKS SYMMOSISM, THE NORTH CAROLINA SHADOWN AND WAS INFORMATION OF THE STATE OF THE NORTH CAROLINA SHADOWN AND WAS INFORMATION LEGISLATION AND OF THE STATE OF THE NORTH CAROLINA SHADOWN AND WAS INFORMATION AND STREAMS AND WAS INFORMATION OF THIS STANDARD, SPECIFICATIONS, OR PLANS, THE MOST STREAMS THE SHALL GOVERN UNLESS OTHERWIS MOST DISTRIBUTIONS.
- THE CONTRACTOR SHALL BE SOLD WEIGHDER FOR ALL DOST EASETY DURING ALL PHASES OF CONTRACTOR, ALL NORSE COME Y WITH HEARICHAL COURTY AND STATE REGULATIONS, AND OSLAY, STANDARDS, CONTRACTOR SHALL COMEY WITH THE RESERVED LABORS SHETTY AND HEALTH REGULATIONS FOR CONSTRUCTION HOUSE SHETS AND HEALTH REGULATIONS FOR CONSTRUCTION HOUSE THE COCCURRENCE AND HEALTH REGULATIONS FOR CONSTRUCTION HOUSE.
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- THE CONTRACTOR SHALL ROTTED ALL DESTINGS. STEERINGS, RECLEDING BUT NOT UNITED TO SICKS, ROADPAWS, PATHS, STRUCTURES BECTRISAL, COMPRINCATION, AND OTHER DRY UTILITIES BUSINES, WATER STORM SHEER NATION, STORM SHEER NATION, STORM SHEER NATIONS, STORM SHEER NATION, STORM SHEER NATION, STORM SHEER NATION, STORM SHEER NATION, STORM SHEER NATIONAL SHEER NA
- CONTRACTOS SHALL MAKE EVERY EFFORT TO SAVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONTRUCTIONS TAKES. A LICENSED LAND DUMEYOR AT THE CONTRACTOR'S DEFINES SHALL REPLACE PROPERTY BONS, MONUMENTS AND OTHER REPRANCE PROPERTY BONS, MONUMENTS AND OTHER REPRANCE PROPERTY BONS, MONUMENTS AND OTHER BONS AND OTHER PROPERTY BONS, MONUMEN
- TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THESE PLANS, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND/OR AS FURTHER DIRECTED BY THE MUNICIPALITY AND/OR RICDOT.
- CONTRACTOR SHALL PROVIDE, EBECT, AND PROVIDED SHALL PROVIDED SHALL
- IO. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM INCOMMENENCE TO THE OWNER AND THE PUBLIC AND SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL RECULATORY AGENCIES ON TRAFFIC CONTROL PLANS.
- I. ALL MATERIAL CLEARED OR DEMOUSHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE AND IF APPLICABLE AT AN APPROVED DISPOSAL FACILITY.
- 2. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EASIMENTS ON THE JOB STE AT ALL TIMES.
- WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE ISSACOL & NOTIONS-DAYO.
- DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S.
 ARMY CORPS OF ENGINEERS AND INCIDENT-DWQ.
- S. CONSTRUCTIONS TANGED IF OR THE PROJECT HAVE BE EXPENDED BY THE CONTRACTOR, UNIX. A DOTTAL (ACRD) HE, PROVIDED BY THE NONINER. THE CONTRACTOR SMALL MOTHET HE PROMEDED BY THE MORECULATE OF AN INCREMANCIES FOUND BETWEEN THE DOTTAL RELEASED. THE CRITICAL STANCE DEMINSIONS SHOWN ON THIS FLAN HE, PAMEMBER WITHING CLIBS BACEL BULDING STEMACK, BRILDING FOOTPRINTS ETC., ANY MODERATIONS MAKE BY OTHERS TO THE DIGITAL HE PROMIDED BY THE BURDIEST WAY BRIDGET WOULD.
- CONTRACTOR SHALL FURMEN AND INSTALL ALL PAYEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE FLANS. ALL PAINT FOR PAYEMENT MARKINGS SHALL ADHERE TO NOOTO STANDARDES, UNLESS NOTED OTHERWISE.
- . TISTIMG OF MATERAL REQUIRED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR THIS MATERIAL SHALL BE PERFORMED BY AN APPROVED AGENCY FOR THIS MATERIAL SHALL BE MADE BY THE MATERIAL SHALL BY THE MATERIAL BY

- MOLITION NOTES:

 ONLINEATION TO COORDINATE WITH THE DWINER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION.
- DENOMINON SHALL NOTICE BUT IS NOT LIMITED TO, THE EXCHANTION HALLING AND OFFSET EXPOSED OF CONCERTE ADDS, CONCERTE
 DETOMES, FOUNDATIONS SAIRS, STEPS, AND STRUCTURES, AND MODERN DUTINES, BUILDINGS, PROMEMENT AND DIAL METRICAL SCIENCE
 AND STREPPED TO THE DISTRICT NICESSARY AS DESCRIBE THE SOLIS PROMEME FOR THE INSTALLATION OF THE NEW MIRROWEMENTS AND
 WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THE SET SOLION OF THE STALLATION OF THE NEW MIRROWEMENTS AND
 WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THE SET SHOWN.
- THE CONTRACTOR BUILD PROTECT ALLADMEENT REOPERTY, STRUCTURES AND UTILITIES ON THE REOPERTY MOT TO BE DEMONSHED.

 DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST
 TO CONNER.
- . ILECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND LININSTURBED DURING DEMOLITION
- . CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOUSHED.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA
 REQUIATIONS.
- I. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES INCESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.

 3. ALL RCP STORM SEWER SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED.
- UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMANTER MANAGEMENT PLANS AND DESIGNS, AND SHALL SUBMI ACTUAL 'AS BULLY' PLANS FOR ALL STORMANTER MANAGEMENT FACILITIES OF PRACTICES AFTER FINAL CONSTRUCTION IS COMMETTED.'
- ALL STORM DRAINAGE RIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINGHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS UNLESS APPROVED BY THE CITY OF RALEGH.
- ALL STORM DRAININGS BIRE SHALL HAVE A MINIMUM COVER OF A SPOOT TO THE BIRE CROWN IN NON-TRACEIC AREAS
- STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON PLANS.
- EACH DRAINAGE STRUCTURE SHAUL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 51 SLOPE.
 THE BENCH SHAUL BEGIN AT A HEIGHT OF DISK-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48
 INCH PIPE. AND DIFFOURTH THE DAMETER FOR PIC GERATIES THAN 48 INCHES.
- IO. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES.

- CAME AREA SHALL BE ADDRESS AND RESTRICT ORBITISES. AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAWAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MISABLES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAWAGE DURING CONTRACTOR SHALL PROMISED AND ASSESS OF THE MISABLE PROMISED SHOWN IN THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADDRESS OF THE MISABLE PROMISED AND ASSESS OF THE MISABLE PROMISED AND ASSESS OF THE MISABLE PLANS OF
- CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATION
- ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS, OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL, UNBATES/ACTORY MATERIALS AND INCLUDE MAN-MADE FILLS AND RETUSE DEBIS DEBYED FROM ANY SOURCE. REFER TO FINAL GOTTECHNICAL REPORT FOR ANY SPECIAL FILL MATERIAL REQUIRED FOR THIS PROJECT, EARL FROM
- MATERIAL LICED TO CONSTRUCT DEMONSTRUCTS CO. ANY PROPOSE BACKET, AND UND CRAMMAGE STRUCTURES, CORMUNITARY TO FOR INFO OTHER OPPOSEDON REQUIREMENT, LOT OR BACKET, INFO, WITH A THE FOR ALL OFFICENCIAL, BITOSIT RECOMMENDATIONS, AND SHALL AT A MINIMUM BE COMPACTED TO 1935 OF MAXIMUM DEMOSTY AS DETERMINED BY THE MODIFIED PROCTOR TEST AS SET OUT IN ASTATS AND ADD 1935.
- . THE CONTRACTOR SHALL PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMITTHE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TISTED SERVISIONATING OF THE MATERIAS TO BE LISTED ON THE PROCESS. THAT SHALL BE CONDUCTED OF A CERT END MATERIAS TESTING LOGGRATORY AND CERTIFICATIONS MADE OF A LECTRICE PROFESSIONAL ENGINEER
- RETAINING SYSTEMS PROVIDING A LAMALATIVE VIREAL RILES GRAFES THAN INFEST HAN HELF HIGHT WITHIN A DORDOTTAL STANKE OF THE RESEARCH OF THE RESE ALL DEMOLITION DEBRIS AND OTHER EXCESS MATERIAL SHALL BE HAULED OFF-SITE.
- REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD AND INFORMATION.
- . PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLASTING ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS.
- 12. CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- 2. ACCESSBLE BOUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT ADA REQUIREMENTS. THE RUNNING SLOPE OIT WALKING SURFACES CANNOT BE STEEPER THAN 1:20 AND CROSS SLOPE OF WALKING SURFACES CANNOT BE STEEPER THAN 1:40.

- 14. THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER AND LIVEN COMMERTION OF THE EARTHWOOR ACTIVITIES THE FOTOWN MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION STET REJULTS AND CERTIFIES THE TYPE OF FILL MATERIAL, AND ITS PROPER PLACEMENT.
- MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE. THE PRESENT PHASE
 SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED. MASS GRADING AND CLEARING SHALL NOT EXCEED OACES FOR PHASE ROLLENDER GOOD AND HAVE ALL INFRASTRUCTURE INSTALLED.

 MASS GRADING AND CLEARING SHALL NOT EXCEED OACES FOR PHASE ROLLENDING GRADING NICLESSARY FOR INPRASTRUCTURE WHERE THE TICHNICAL REVIEW OF AN EROSION CONTROL PLAN SUBMITTED WITH CONSTRUCTION DRAWMAN.
- WEILANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE USACCE & NCTION-DWO.
- 17. DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S. ARMY COMPS OF ENGINEERS AND INCIDENCEWO.
- CONSTRUCTION STANDOUT FOR HIS PROJECT ANY SET REPORTED BY THE CONTROLLED HIS A PROFILE COLD FIRST PROPERTY.
 CONSTRUCTION STANDOUT FOR HIS PROJECT ANY SET REPORTED BY THE CONTROLLED HIS PROJECT AND SET REPORTED HIS PROJECT AND SANDER HIS PROJECT BY THE ROUNDING HIS HIS REPORTED HIS PROJECT AND SANDER HIS REPORTED HIS PROJECT BY THE ROUNDING HIS HIS REPORTED HIS PROJECT BY THE ROUNDING HIS HIS REPORT BY THE ROUNDING HIS REPORT BY THE ROUNDING HIS HIS REPORT BY THE ROUNDING HIS HIS REPORT BY THE ROUNDING HIS REPORT BY THE REPORT BY THE
- THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND WIRE UTILITY STRUCTURES
 SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES.
- 20. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10' SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES.
- 2). BEFORE ANY EARTHMORK IS DONE. THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAYEMENT AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHMORE. 22. ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF B INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D-1557 DENSITY AT DIFFIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GOTOLIC HOLDING LINGUISE.
- 23. FILL SHALL BE PLACED AND COMPACTED AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5°. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
- 25. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND OWNER.
- 26. TREE PROTECTION FINCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT, FENCING SHALL NOT BE SEQUERED ADJACEDS TO REAST WITHOUT WOODED VECTATIONS FINCING SHALL BE MANIFAMED ON THE SITE UNIT, ALL SITE WORS SERVICED PROOF TO INNIA, SITE INSPECTION FOR THE OF ECRIFICATION OF COCCERAIN'S (OS) SCHOOLSED. THE PRICEMS SHALL BE SERVICED PROOF TO INNIA, SITE INSPECTION FOR THE OFFI

EROSION & SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION CONTROL MEASURES.
- CONTRACTOR SHALL CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENT CONTROL MEASURES. CONTRACTOR SHALL INSTALL SILT FENCE. SEDIMENT BASINS, DIVERSION DITCHES, AND THEN BEGIN GRADING ROADWAYS.
- 3. IF STORM CROSS DRAINAGE CAN NOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HOPE SHALL BE USED TO CROSS WET WEATHE
- 4. CONTRACTOR SHALL ENSURE GRADING OPERATION IS CONDUCTED IN A MANNER THAT DOES NOT ALLOW ANY SEDIMENT INTO CREEKS
- S. ALL STORM DRAINAGE PIPE SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE RIP RAP LINED TAIL DITCHES AT THE STORM DRAINAGE PIPE DISCHARGE POINTS AS REQUIRED TO ENSURE
 POSITIVE DRAINAGE.
- TO AVOID SLOPE EROSION, CONTRACTOR SHALL INSTALL TEMPORARY SLOPE DRAINS PER DETAIL AT LOCATIONS WHERE TEMPORARY DIVERSION DITCHES DISCHARGE INTO A SKIMMER BASIN. B. SEDIMENT BASINS SHALL BE KEEP OUT OF WETLAND AREAS.
- PERMANENT GROUND COVER SHALL BE ESTABLISHED PER NPDES LATEST REQUIREMENTS, ALL PRIMETER DIMES SWALES, DITCHES.
 FERMATITIS SLOTES AND ALL SCOPES STEERED HAND 25 SHALL DE PROVIDED DOCUME COVER WHITHIN 7 CALLED AND ANY SPOM THE LIST DESTRUMENT. OFFOSTI, SHALL DE WANTED OFFSTEC OR N. FL. AREAS AS SHOWN, WHITHIS 14 CALLEDAR DAMPS FINCH THE CALLED DESTRUMENT. OFFOSTI, SHALL DE WANTED OFFSTEC OR N. FL. AREAS AS SHOWN.

- 12. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE
- 13. A GRAVEL CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF CONSTRUCTION ACCESS.
- 14. ALL CATCH BASIN HOODS SHALL BE STAMPED "DRAINS TO RIVER" WITH 3/4" HIGH LETTERING.
- 1. THE CONTRACTOR SHALL MAKE THE BLAST OF THE BLAST WITH THE MAKE THE TREATMENT THE CONTRACT THE PROPRIET OF THE BLAST WITH AND THE BLAST WITH THE SHALL SHALL

- ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND
 SPECIFICATIONS IF APPLICABLE.
- NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT UMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
- 4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANTTABLE AND CONFORM TO THE MARRICAL STANDARD OF INJUSTICS STOCK, AND 2201-1973 IN REGION OF SURFACE, CROWNING AND BILD SPECIFICATIONS. PLANTS SHALL MEETING THESE COURSELYS AND EXQUISE SPEACHEST. MILE OF PLANTER, LANSSCEPE ASSENTED SHALL SERVE THAT PLANT NOT MEETING THESE COURSELYS AND EXQUISE SPEACHEST.
- 5. ALL PLANTS ARE TO BE FULLY GUARANTEED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL ACCEPTANCE.
- ALACEMINA.

 RAITHIG SHALL FOLLOW INCOOT STANDAMD SPROPE/ATIONS AS OUTLINED IN SECTION 16/0°, PLANTING SHALON IS OCTOBER 15 MARCH.

 ISLINESS OFHERWER NOTED OR PAPROVIDED IN ACCOOT ROWNER, ALL PLANTS THAT ARE URBIGET OR BE PRAMERATELY PLANTING SHALL BE
 FORSEDED AN APPORTED AREA OUT OF DESIRED SHAND WINDS, PLANTINGS SHALL BE REVINE AND CONSTITUTIVE WHERE AS RESECT OF
 PREVENT DEFINED OF THE ACCOUNTY OF THE ACCOUNT OF THE ACC
- THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARFY ANY DISCREPANCIES WITH LANDSCAPE ARCHIT PRIDER TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCLINSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTANT OF THE PROPERTY OF T
- ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BULDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE CAVEN TO DISJUST THAT PLANTS INDIVIDUALLY SHOWN DIT HE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE PERIOR BY THE LONDSCAPE ACCHIEFT FRIPR TO TO INSTALLATION. CONTRACTOR SHALL PROVIDE 68 HOUR
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSPATE PRICE TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC GRADING INFORMATION.
- 12. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
- ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER GRADE, DOUBLE-SHEEDDED HARDWOOD. NO PINE STRAW IS PERMITTED, CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LAMPSCAPE ACKITECT FROM TO UPDERCHAGE AND DELIVENTY OF ROSICET STITE.
- 14. FINISH OFF 2-4" CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE.
- 15. MIXED GROUNDCOVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN GROUPS OF 3-7 AND LOCATED AS REQUIRED TO PROVIDE A CEMERAL MIGHIS OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE DIRECTED.
- 15. ALL TRESS ADJACENT TO PRESTREM/NEW WAYS AND IN SIGHT THANKES SHALL BE UNDER-TREWEND DIFFICIENTLY TO ALLOW CLAR. SHOT HAID PRESTREM ACCESS TO THE FREE AND SHOWN ALL EVANDO. ALL PROPRISE AND LE PREPORTED BY A CLARITHED ARROUND AND ADMERT TO THE AND ADDORROWS THAN DELPHANCE CHARGE THE RESTREMENT AND TRACETED ONLY TO THE INCESSARY BRANCHES NO ROBORT TO SATING YETH AND CLARAMICE REQUIREMENTS WHE SMATIANISH THE RETESTAY OF THE TRESS.
- CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.
- AND SECTIONS INCOMPROMISSIONS.

 IN UTILISES SHOW ON THE LABOURDE DROWNESS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWNESS FOR DISTINGS AND PROPOSED UTILITY LOCATIONS. THE CONTRACTOR WIST LOCATIONS. THE CONTRACTOR WIST LOCATION AND VERY ALL SLOCK RECORDS INCOMPROMISSION FOR RECORDING LITTLE OF RECORDING LITTLE OF RECORDING LITTLE OF RECORD AND VERY LITTLE ORDER OF RECORD LITTLE ORDER OF RECORD LITTLE ORDER OF THE ORDER OF T
- 20. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (COL
- ALL ABOVE GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC] SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.

TREE PROTECTION NOTES:

- 2. MONE OF THE EDITIONING SHALL COOKING MITHIN THE BOOT TONE OF A TREE WITHOUT FROMESON OF LANDSCARE ADMITTED OR DOLLET

- ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR DEBRIS: TRENCHING; OR DISPOSAL OF ANY LIQUIDS.
- 3. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE
- APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE
 INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
- 5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORST.
 EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE VIRAPPED IN BLIELAP OR OTHER APPROVED MATERIAL AND KEPT MOSET AT
- 6. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB STE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORDS FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
- . TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.

<u>UTILITIES NOTES:</u> 1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

- ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS
 SHOWN, [DG NOTE- DO WE EXPAND THIS TO INCLUDE ALL UTILITIES, OR JUST THE STORM SEWER?]
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK.
 THERE WILL BE NO ADDITIONAL OR SERVANTE PAY (THEF FOR THIS WORK
 REJOCATION OF EXISTING UTILITIES MUST BE COGGONATED WITH THE AFFECTED UTILITY COMPANY.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND FEES FOR THE ABANDONMENT OF WELLS AND SEPTIC SYSTEMS.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE INCIDED WILL AND SEPTIC SYSTEM STANDARDS. AN ABANDONMENT PERMIT SHALL BE OBTAINED FROM THE COUNTY ENMRONMENTAL HEALTH DIMISION PROR TO COMMENCING ABANDONMENT WORK.
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FDOT (3) CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ANY HYDRANT, FDC OR OTHER FIRE DEPARTMENT EQUIPMENT. B. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- 9. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- 10. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDINGISL. 11. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION
- 12. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRONICALLY SUPERVISED. PLEASE WORK WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO KUNNING WIRE FOR TAMPER SWITCH.
- 14. ROADWAYS AND BUILDINGS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION.
- 15. FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PRIMITS FER THE 2012 NCFRC, SECTION 507.3. THIS IS THE AVAILABLE FIRE FLOW FROM THE HYDRANT AND THE MINIMUM SEQUISED FIRE FLOW CALCULATION FROM 2012 NCFPC APPENDIX B OR OTHER APPROVED METHOD.
- 16. PLANS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- 17. CONTRACTOR SHALL REPLACE WITH NEW ALL DRIVEWAY PIPES AND OTHER DRAINAGE PIPES/CULVERTS THAT ARE DISTURBED WHILE INSTALLING THE UTILITIES. ALL PIPE/CULVERTS SHALL MEET THE REQUIREMENTS OF NCDOT.
- ALL ROADWAY DITCHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER AND
 CONFORM TO NODOT REQUIREMENTS. ALL DITCHES SHALL BE UNED WITH EROSION CONTROL MATTING UNLESS OTHERWISE NOTED.
- 19. ALL EXCAVATED MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE DURING UTILITY INSTALLATION. THE CONTRACTOR SHALL PROVIDE THE INCESSARY SEDMENT AND EROSION CONTROL MEASURES TO CONTROL RUN-OFF. ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND DEPOSID OF LIGALITY.

	ABBR	EVIATIONS	3
AND		MWSE	MAXIMUM WATER SURFACE ELEVATION
AT		N	NORTH
	N ASSOCIATION OF STATE HIGHWAY	NE	NORTH EAST
	NSPORTATION OFFICIALS	NIC	NOT IN CONTRACT
	TE BASE COURSE	NO./# NTS	NUMBER
ACRTEON	ITRILE BUTADIENE STYRENE N CONCRETE INSTITUTE	NW	NOT TO SCALE NORTH WEST
AREA INL		OC	ON CENTER
	N NATIONAL STANDARDS INSTITUTE	OD	OUTSIDE DIAMETER
	ASE VALVE	OH	OVERHEAD UTILITY
	N SOCIETY FOR TESTING AND	OHE	OVERHEAD ELECTRICAL LINE
MATERIAL		OS	OPEN SPACE
AMERICA	N WATER WORKS ASSOCIATION	PA	PLANTING AREA
BACK TO	BACK	PCF	POUNDS PER CUBIC FOOT
	OD ELEVATION	PE	POLYETHYLENE
	IT FINISHED FLOOR ELEVATION	PG	PROPOSED GRADE
	W PREVENTER	PGCL	PROPOSED GRADE CENTERLINE
BUTTERFI		PH	PHASE
	FACE OF WALL	PS	PUMP STATION
BENCHM		PSI	POUNDS PER SQUARE INCH
	F ASSEMBLY	PVC	POLYVINYL CHLORIDE PIPE
BOTTOM		R	RADIUS
BACK OF	CURB RESTRICTION LINE	R/W RCBC	RIGHT OF WAY REINFORCED CONCRETE BOX CULVERT
COMMON		RCP RECP	REINFORCED CONCRETE PIPE
COMMUN	GGREGATE BASE COURSE	RGRCP	ROLLED EROSION CONTROL PRODUCT RING-GASKETED REINFORCED CONCRETE PIPE
COARTAL	AREA MANAGEMENT ACT	RI	RESTRAINED JOINT
CABLE TE		RT	RIGHT
CATCH B		S.	SOUTH
	O CENTER	sc	STANDARD CURB
CUBIC FO		SCH	SCHEDULE
	ET PER SECOND	SCM	STORMWATER CONTROL MEASURE
CENTERLI		SDR	STANDARD DIMENSION RATIO
CLEAR SP	ACE	SE	SOUTH EAST
CORRUGA	ATED METAL PIPE	SF	SQUARE FEET
	E MASONRY UNIT	SPC	SPILL CURB
CLEAN OF		SSTL	STAINLESS STEEL
CONCRET	3	STA	STATION
CORRUGA	NTED PLASTIC PIPE	SW	SOUTH WEST
CUBIC YA		SY	SQUARE YARD
DROP INL		T	TELEPHONE
DIAMETE		TBM	TEMPORARY BENCHMARK
DUCTILE	KON PIPE	TCA	TREE CONSERVATION AREA
EAST FACH		TDD	TEMPORARY DIVERSION DITCH
EXISTING	CRADE	TOB	TOP FACE OF WALL TOP OF BANK
	GRADE CENTERLINE	TOC	TOP OF CURB
ELEVATIO	N .	TOE	TOE OF SLOPE
ELECTRIC		TRM	TURF REINFORCEMENT MAT
	PAVEMENT	TYP	TYPICAL
EXISTING		UG	UNDERGROUND
FACE TO I		UP	UTILITY POLE
FIRE DEPA	ARTMENT CONNECTION	USGS	UNITED STATES GEOLOGICAL SURVEY
	EMERGENCY MANAGEMENT AGENCY	VERT	VERTICAL
	ND SECTION	w	WEST
	FLOOR ELEVATION	W/	WITH
	PAD ELEVATION	WM	WATER METER
FINISHED		WSE	WATER SURFACE ELEVATION
	OR FINISHED GRADE CENTERLINE	WWF	WOVEN WIRE FABRIC
FIRE HYD	RANT ASSEMBLY	WWM	WELDED WIRE MESH
FLOW LIN	lt.	YI	YARD INLET
FORCE M		FACELUCA	TEC.
FACE OF I		EASEMEN	4130
GAUGE	E1	AE	ACCESS EASEMENT (PUBLIC)
GALVANII	urn.	PAE	
	INISHED FLOOR ELEVATION	CORUE	ACCESS EASEMENT (PRIVATE) CITY OF RALEIGH UTILITY EASEMENT
	PAD ELEVATION		CITY OF RALEIGH SANITARY SEWER EASEMENT
	PER MINUTE	DHMAE	DRAINAGE AND HEADWALL MAINTENANCE AND
GATE VAL		DESIMAL	ACCESS EASEMENT
GUY WIRI		DE	DRAINAGE EASEMENT (PUBLIC)
HORIZON	TAL DIRECTIONAL DRILL	PDE	DRAINAGE EASEMENT (PRIVATE)
HICH DEA	ISITY POLYETHYLENE PIPE	GE	CREENWAY EASEMENT ID IBLICS

- HORIZONTAL DIRECTIONAL DRILL
 HIGH DENSITY PULTHYLENE PIPE
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 MAXIMUM
 MANUFACTURER
 MILLION GALLONS PER DAY
 MANHOLE
 MINIMUM
 MECHANICAL JOINT

EXISTING CONDITIONS LEGEND

— FO — FIBER OPTIC LINE

---- GRAVEI

500 YR FLOOD LINE

- - OHE - OVERHEAD ELECTRIC

PAVEMENT STRIPING

— — SS — — SANITARY SEWER PIPE

TOR OF BANK

WATER MAIN

CONTROL POIN

FIBER OPTIC BOX

FLARED END SECTION

FIRE HYDRANT

GUY WIRE

LIGHT POLE

POWER POLE

TV PEDESTAL

WATER METER

SITE PLAN LEGEND

DESCRIPTION

CURB & GUTTER

- LOD- LOD- LIMIT OF DISTURBANCE

RIGHT OF WAY

HEAVY DUTY CONCRETE PAVING TREE CONSERVATION AREA

HEAVY DUTY ASPHALT PAVING

---- EASEMENT

_____ LOT LINE

— — PHASE LINE

----- SETBACK

BUILDING CONCRETE PAVING

SEWER MANHOLE STORM DRAINAGE MANHOLI

UNDERGROUND TELEPHONE BOX

DROP INLET

— — UGE — UNDERGROUND ELECTRIC

RIGHT OF WAY

- STORM PIPE

STREAM

. TREELINE

WETLAND

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SYMBOL

100 YR FLOOD LINE

EXISTING CONDITIONS LEGEND		PROPOSED GRADING LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ADJOINER	— — 100 — —	EXISTING MAJOR CONTOUR
	BOUNDARY		EXISTING MINOR CONTOUR
	BUILDING	100	PROPOSED MAJOR CONTOUR
	BUFFER		PROPOSED MINOR CONTOUR
	CONCRETE		
	CURB LINE	DDODOSED S	TORM DRAINAGE LEGEND
		FROFOSED 3	TORM DIVAINAGE LEGEND
	EASEMENT	SYMBOL	DESCRIPTION
	EDGE OF PAVEMENT	*****	STORM PIPE

TRENCH DRAIN CATCH DASIN (CD) FLARED END SECTION (FES) HEAD WALL (HW) HINCTION DOY/ID) YARD INLET (YI)/DROP INLET (DI)

PROPOSED UTILITIES LEGEND SYMBOL DESCRIPTION - FIRE LINE — FORCEMAIN SANITARY SEWER PIPE WATER MAIN R RECLAIMED WATER LINE FIRE LANE 100 BACKELOW PREVENTER • BLOW OFF EIRE DEPARTMENT CONNECTION (EDC) FIRE HYDRANT ASSEMBLY SEWER CLEANOUT SEWER MANHOLE WATER METER

DEMOLITION LEGEND SYMBOL DESCRIPTION TREE TO BE REMOVED

FE, LLC LANE 1-2024 APFI CLOVE CLOVER LA CLOVER LA ASR-0063-2

PRELIMINARY NOT APPROVED FOR CONSTRUCTION

CLOVER LANE

105

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CLOVI

INITIAL PLAN DATE: 09/06/2024

WR JOB NUMBER 23-1118 DRN: WR DGN: WR CKD: WR

GENERAL NOTES AND LEGENDS

C0.01

FOR CONSTRUCTION

C0.02

TABLE

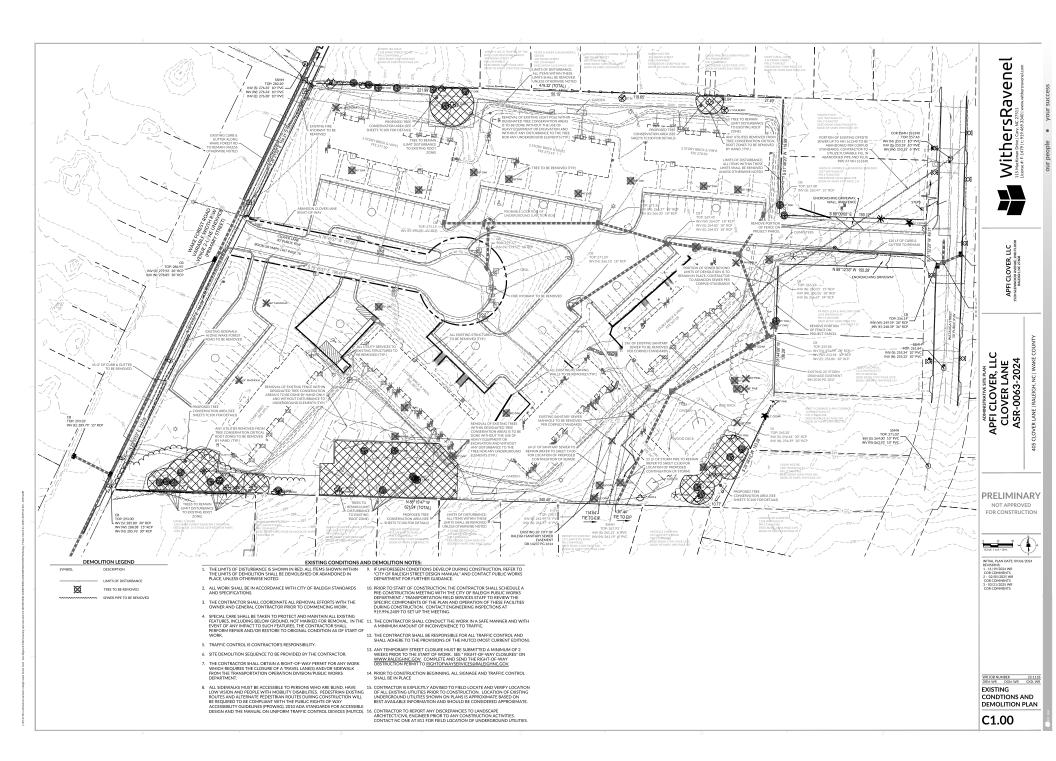
ZONING COMPLIANCE TABLE ZONING CONDITIONS PER Z-043-22 DATED 4/9/2023 Beyonce

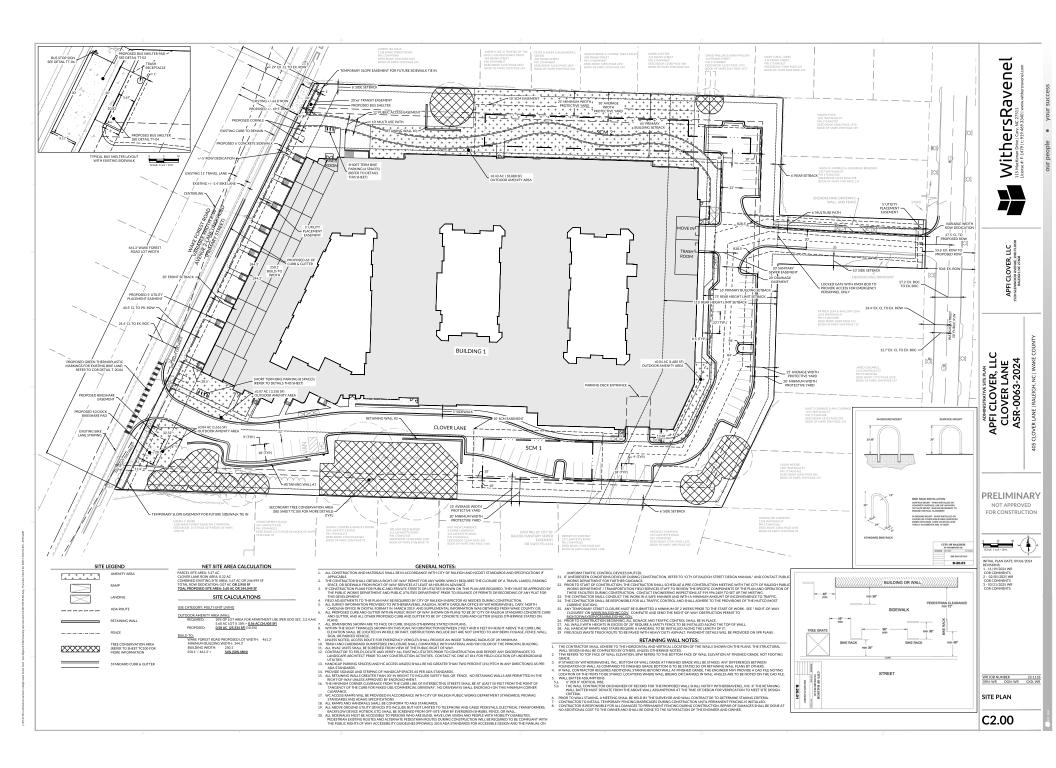
The profits of the Property coved BY, 5 GR CU pay any have driveney access to Wildiags Direct for the exclusive conditions, again to the exclusive coverage and personnel. Diversing access to Wildiags Direct for the exclusive coverage and control to the exclusive coverage and personnel. Diversing access to Wildiags Direct for the exclusive coverage and the control of the exclusive coverage and the exclusive coverage and the exclusive coverage and the exclusive coverage and the control of the exclusive coverage and the exclusive c and is limited by a locked gate.

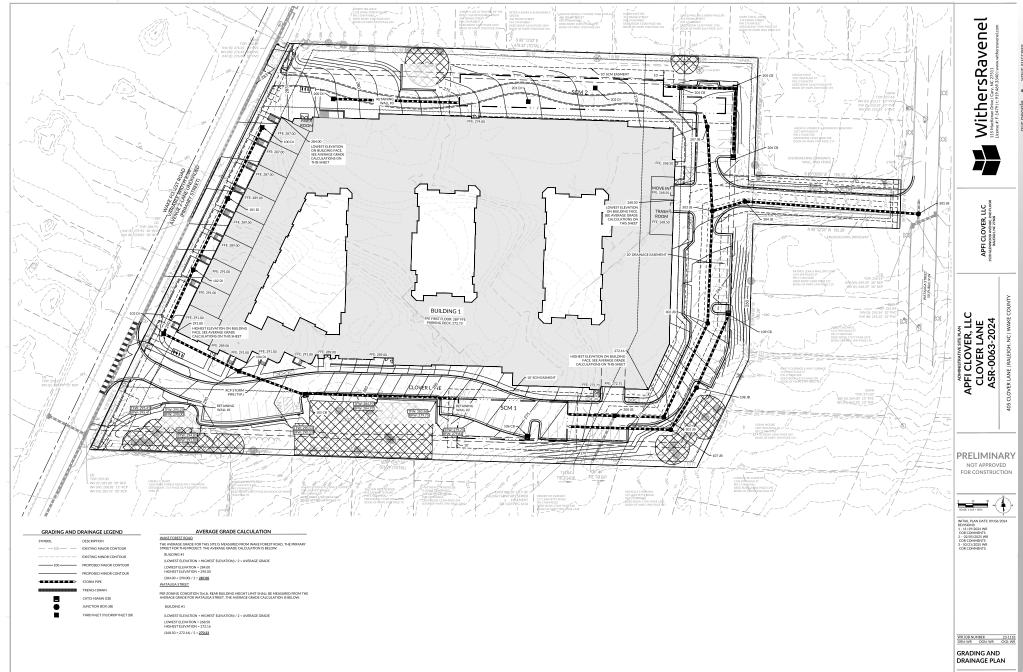
A 10 maltisse path on the portion of property zoned RX-5-GR-CU and 6 militable path on the portion of property zoned RX-5-GR-CU and a 6 multisse path on the portion of the property zoned R-6-CU and 12 public access easement along the entire path are shown on site. The following derived planes are proportion for Property or more than 20 miles and the proportion for Property or Section for Section for Property or The proposed Principle use is multi-unit living. Multi-unit living is a allowable use per UDO Section 6.1.4. The proposed Principle use is not prohibited under this zoning condition.

There are 280 dwelling units proposed on site. to Wake Forest Road. The proposed building is four stories tall with an u Buildings on this portion of the Property shall have no more than four stories of conditioned space. Buildings may have five stories if one story is unconditioned space. Buildings on this portion of the Property shall have no more than flour stories of conditional capes. Buildings may have five stories of constraints of the stories of the space in the basement. © Outdoor to the and executing facilities shall not be located within 65 of the northern, extern, and southern lot lines shared with the Specified Algorithm Properties. This conditions had not explain your strain for executing facilities called the Joshidge.

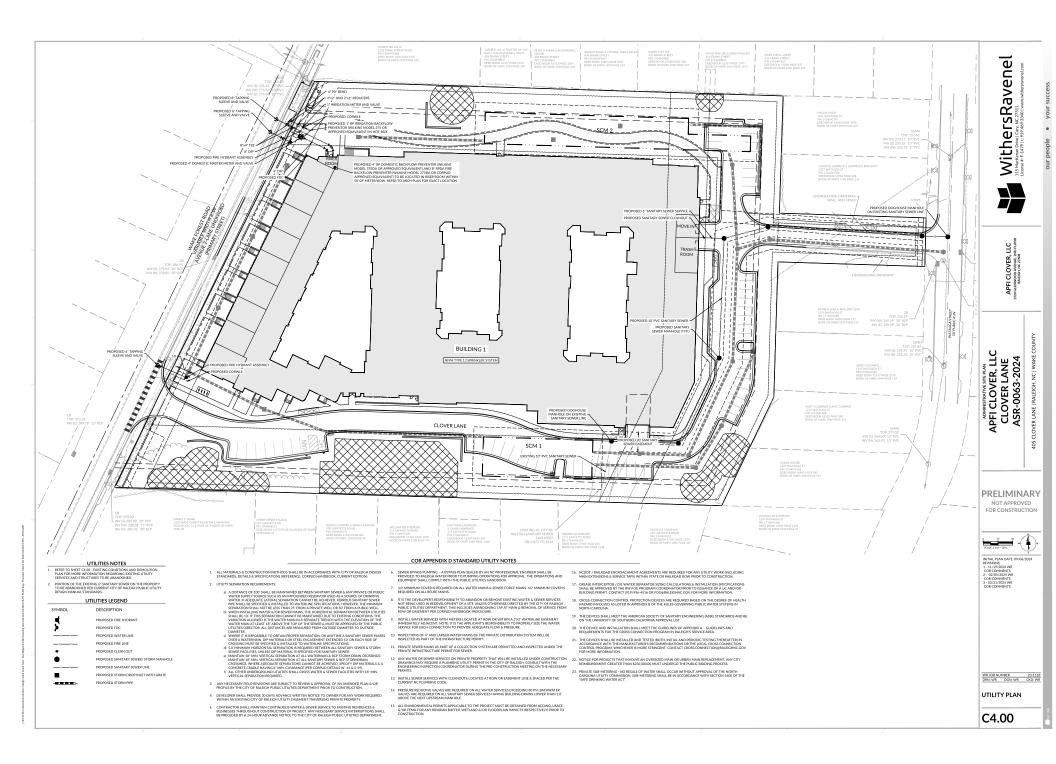
(b) In addition to the height faints excellabilities by Section 3.5.5 of the Vision of Section 1.5.5 of the Vision 1.5.5 of the Visi This sate has a proposed apartment building, No townhome building. No townhome building in the form the reventue of the property and a proposed apartment building. No townhome building in the sate has a proposed apartment building. No townhome building in the form the reventue of the proposed apartment building. No townhome building to the form the reventue of the proposed apartment building. No townhome building to the form the reventue of the form the reventue of the proposed apartment building. No townhome building to the form the proposed apartment building. No townhome building to the form the proposed apartment building. No townhome building to the form the proposed apartment building. No townhome building to the form the proposed apartment building. No townhome building to the form the proposed apartment building. No townhome building to the form the proposed apartment building. No townhome building to the proposed apartment building. No townhome building to the form the proposed apartment building. No townhome building to the proposed apartment building. No townhome building townhom Table bild refyrring bolish shrince on mas promot or the Property state it allowed only detected use more to work man uniform. Its outstands on the Property state is allowed only detected use more to work man uniform. Its outstands of the Proposed only in the Proposed only in the Proposed only in the Proposed point on marketin the position of Adjoint Proposed point on the Pole-mounted lighting shall be limited to a maximum height of 15 and shall be of full cord feeings. Pole-mounted lighting shall not be located within 25 set (25) of the mounted lighting does not exceed 15 and is practice, and contained mine shared with the pole-mounted lighting shall not be located within 25 set (25) of the mounted lighting does not exceed 15 and is practice, and the practice of At the discretion of the City of Brighty Department of Transportation, prior to insurance of a building permit and/or recordation of a subdivision pit (which contributed in the contributed of the contrib Residential tenunts of buildings that exist on the Property prior to the effective date of these conditions (the "Existing Buildings") are entitled to 180 days' written notice before the termination of their leases due to redevelopment of the property. The owner of the Property, or their designer, shall provide the Planning and Development Staff with a sworm affidiavit confirming conditions with this condition prior to approval of the step fails. A rent of and sample copy of the notification that their shall be attached and referenced in the affidiavit. confirming complicates with this condition prior to approved of the site plan. A meet of and swapes copy of the notification letter shall be attached to and referenced in the affalched, in the control of the prior work is required by the complication control of the soft between the second of the control of the soft between the second of the control of the property conner or in designee as to half provide income qualifying treates of noting buildings with \$5.000 in reciscions assistance, an income qualifying treates it is accordant to a control of the second of the control of the second of the control of the second of the sec ance will be provided to qualified tenants of exisiting building to qualified tenants prior to issuance of any building permit.

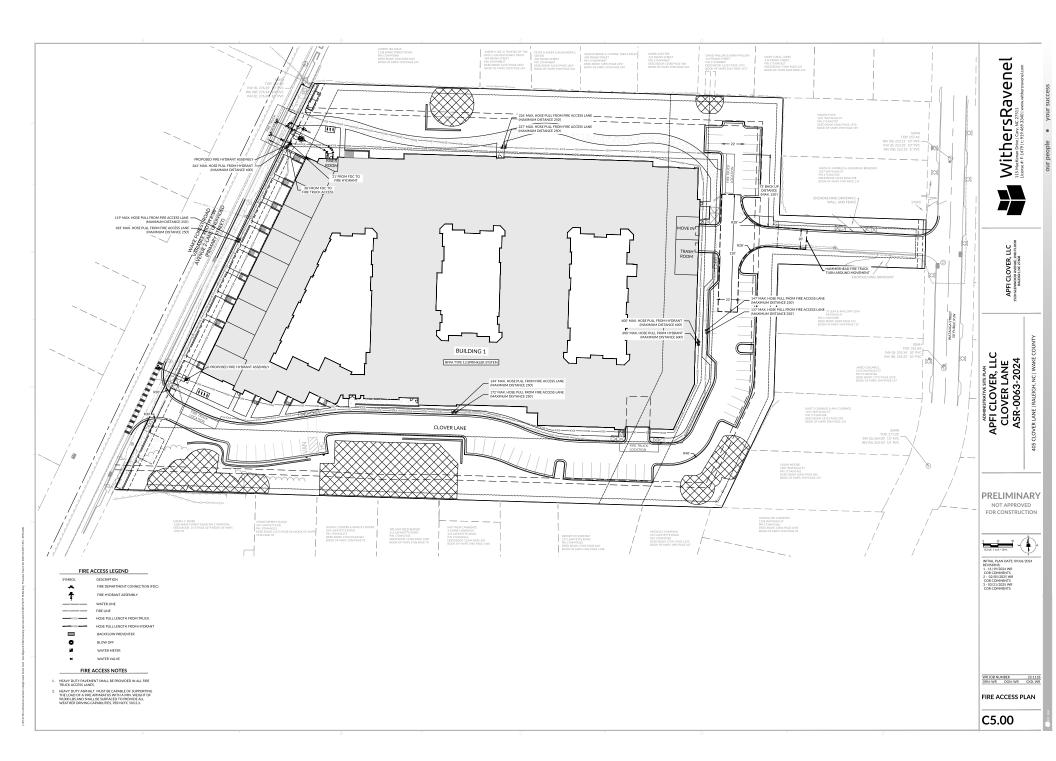






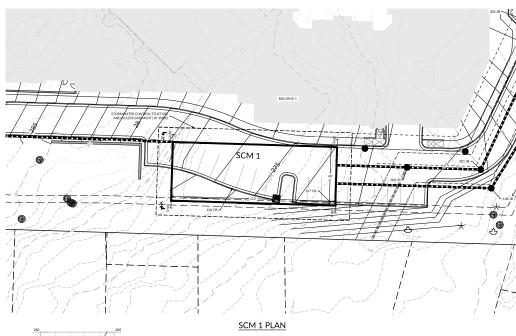
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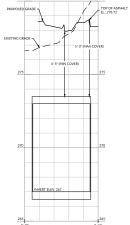
WR JOB NUMBER 23-1118 DRN: WR DGN: WR CKD: WR

SCM 1 PLAN C8.01



PRECAST CONCRETE MATERIALS

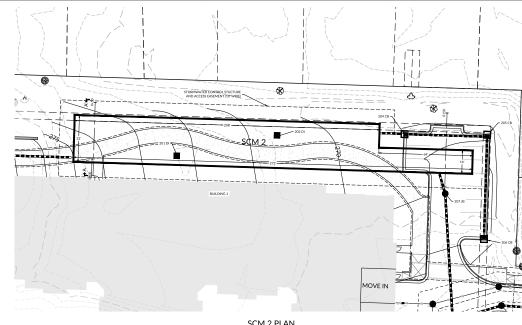
ADDITIONAL NOTES



SCM 1 MAXIMUM COVER CONDITIONS PROFILE (A - A')

SCM 2 PLAN

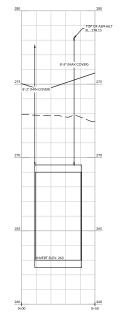
C8.02



PRECAST CONCRETE MATERIALS

ADDITIONAL NOTES

SCM 2 PLAN

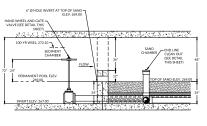


SCM 2 MAXIMUM COVER CONDITIONS PROFILE (A - A')

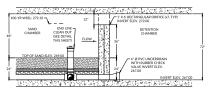
WR JOB NUMBER 23-1118 DRN: WR DGN: WR CKD: WR

SCM 1 DETAILS

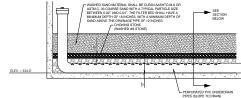
C8.03



SCM 1 TYPICAL CROSS SECTION -SEDIMENT CHAMBER TO SAND CHAMBER †-1'-0'



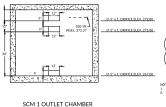
SCM 1 TYPICAL CROSS SECTION -SAND CHAMBER TO DETENTION CHAMBER Partor



UNDERDRAIN BEDDING DETAIL

HANDONSEEL TO DOTTION of ABOVE NAVE WAVE

MAINTENANCE GATE VALVE LOCATION DETAIL NOT TO SCALE



SCM 1 OUTLET CHAMBER

F + 10*

O - x + OBBCCELLO 20720

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CONTRACTOR PROT O STRILLATION

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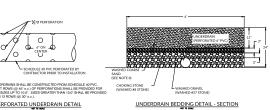
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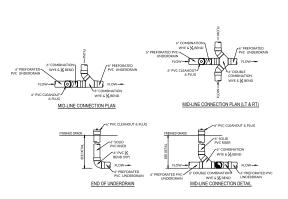
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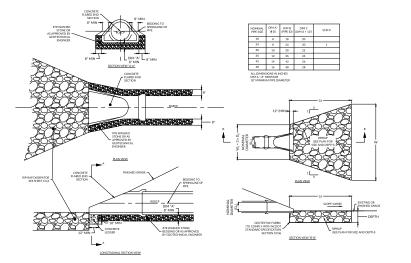
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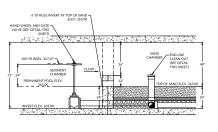




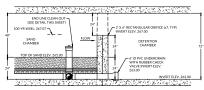


SCM 2 DETAILS

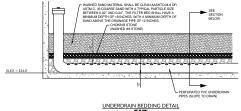
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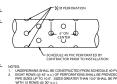


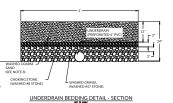




$\frac{\text{SCM 2 TYPICAL CROSS SECTION-}}{\text{SAND CHAMBER TO DETENTION}} \\ \frac{\text{CHAMBER}}{\hat{\sigma} = r \cdot \sigma}$



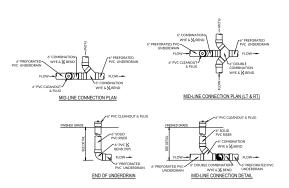


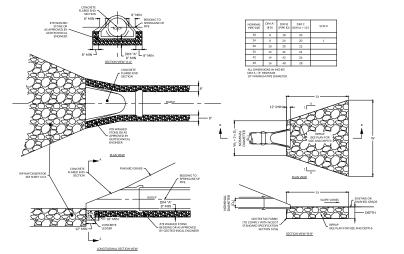


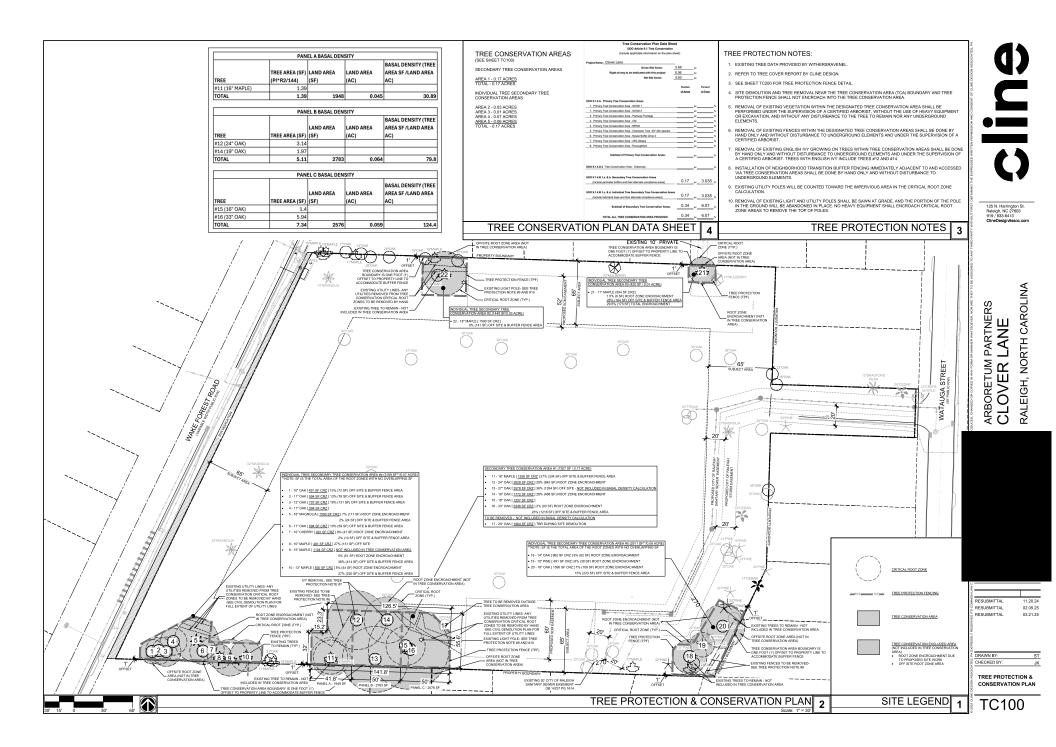
SCM 2 OUTLET CHAMBER

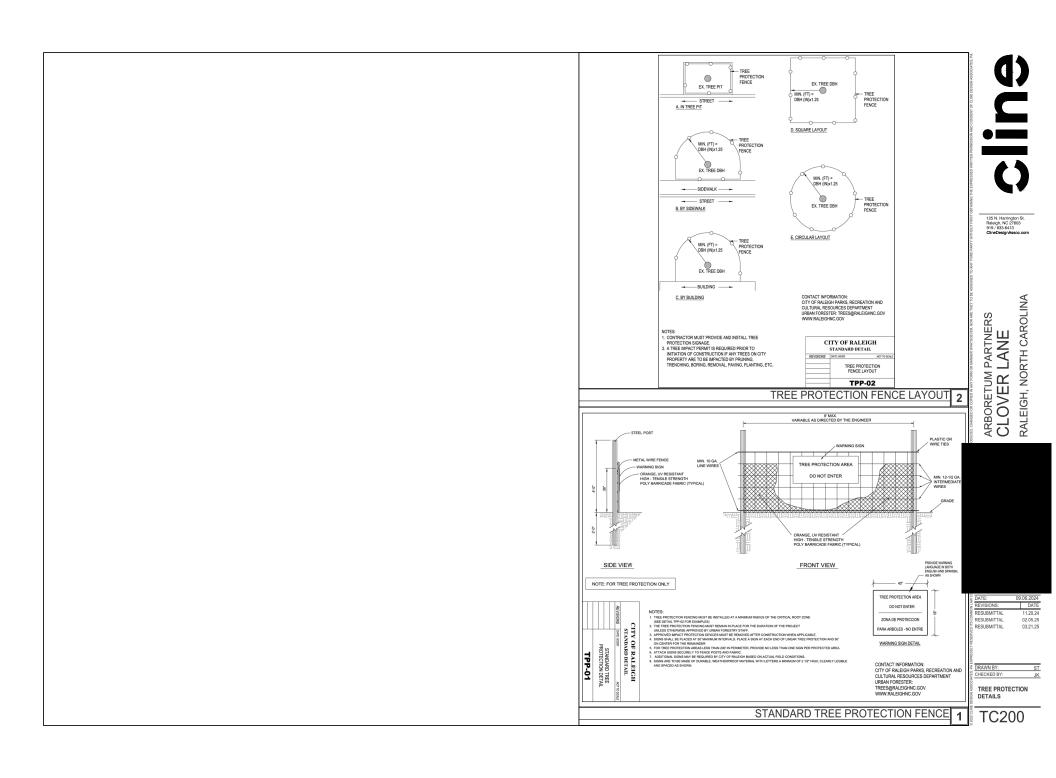


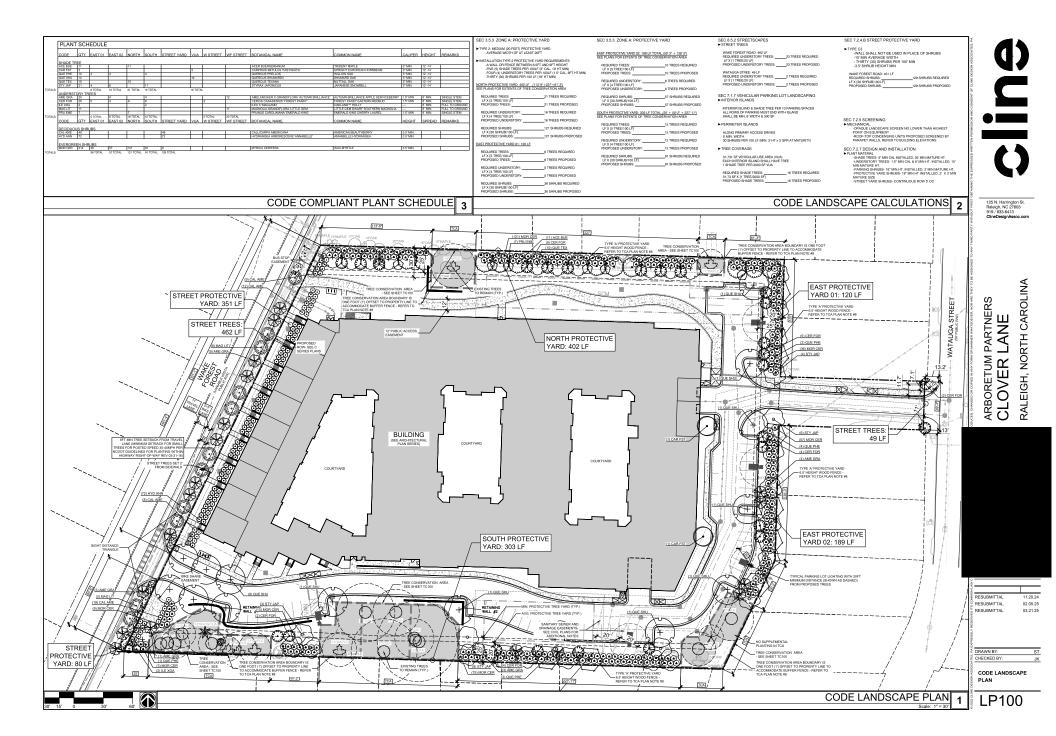












LANDSCAPE PLANTING NOTES

LINDSCARE FLANTING HOUTS:

***INFERRICHING OF TOTAL ARROPATION HOUTS AND STRENG ON THE LANDSCAPE RANK AND IN THE PAINT LIST SHALL BE THE REPORDINGBUTY OF THE LANDSCAPE CONTINCTOR. THE LANDSCAPE WORTHING HAVE REPORTED AND STRENG FROM DESCRIPTION OF THIS GROWN DESCRIPTION OF THE LANDSCAPE CONTINCTOR. THE LANDSCAPE ROUTE SHALL BE THE REPORTED HAVE SHALL DESCRIPTION OF THE LANDSCAPE CONTINCTOR. THE REPORT OF THE LANDSCAPE CONTINCTOR THEN IT DISCRIPTION OF THE LANDSCAPE CONTINCTOR THE LANDSCAPE CONTINCTO

BALLS

LE ALL ROPE AND WARPHING TINNES SHALL SECULT AND RESOUND FROM WIGHOUT THE LIPPER PARTS OF THE ROOT BALL. METAL BASKET WIRES AND BUILDAY SHALL SE PLALED BACK AND TUGGED LADGE
THE GLODES OF THE SALACIER ROOS OF ALL TIMES AND LAUGH ENGINES. ALL, SONTHEIT OR BUILD SER ROOT SHALL SER EXCENDED.

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19. ALL METRIALS, PLANTICA AND LANGOUTE WORK SHALL CONTOINS TO THE CLINIERS TALKADING, AUTHORITYS STANAND SPECIFICATIONS AND DETAILS.

30. ALL LANGOUTE, PLANTICA METRIAL THAT AND WALLOCED OF THE SHALL SHALL SHALL SHALL SHALL SHALL AND THE CHARMEN HOTED.

21. FIRST THAT PRIVATE OF THE CONTOINS SHALL BE LIMITED TO RELOCATE OF THE SHALL SHALL

SOIL PREPARATION AND AMENDMENT NOTES

1. SOIL SAMPLES SHALL BE TAKEN AND SUBMITTED TO NOTIFICENT SOURCE, RESULTS TO BE SENT TO LANDSCAPE ARCHTECT, PER RECOMMENDATION OF SOILS REPORT; LANDSCAPE CONTRACTOR TO SUPPLEMENT SOIL WITH LIBE. MCRONUTRENTS AND MCRONUTRENTS.

2. CONTRACTOR TO MORROW SOIL WITH ORGANIC MATERIAL ANDONE AND TO YILLD THE FINAL SOIL PARTO:

33.3% SAND/SILT 33.3% CLAY

433 SCAN
433 SCANON MATERIA.*

"CRANC MATERIA."

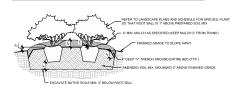
"CRANC MATERIA.TO BE COMPOST IMAGE SOLLLY FROM PLANT-BASED PRODUCTS. PLAY MOSS IS ALLOWED IN SANDY SOLLS

"CRANC MATERIAL TO BE COMPOST MADE SOLLLY FROM PLANT-BASED PRODUCTS. PLAY MOSS IS ALLOWED IN SANDY SOLLS

"ANTHE SOLL INE. MATERIAL THE AMERICANISTS TO BE TILLED TO A MINIMAM MICHICIP SAY ROOT BALL OR I MINIMAM IT? CREEP.

BELOW ROOTBALL OR I MINIMAM IT? CREEP.

P. AND STATE OF SHOOT BALL IT HOUSE INGENERAL BY AND STATE OF SHOULD SHO



TYPICAL SHRUB PLANTING 4

LANDSCAPE MAINTENANCE NOTES

TOW. AVOID ANY NITROGEN FERTILIZATION OF COOL-SEASON GRASSES, SUCH AS TALL FESCUE, AFTER THE FEBRUARY APPLICATION LNTTL SEPTEMBER FERTILIZE LAWNS THREE TIMES PER MEET 15, OCTOBER 31, AND FEBRUARY 15 ACCORDING TO SOL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING GROWING SEASON FER SOLL TEST.

E-PRINTED IN PRIVED FOR FAMILIES OF THE THE VEST OF TH

C. PEST CONTROL. PRE-EMERGENT WEED CONTROL FOR LAWINS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY, CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROGLEM.

D. MULCHING: MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2°3" IN PLANT BEDS. MULCH SHALL BE REAPPLIED EVERY YEAR

E. MOWING PRIMARY FESCUE LAWAS SHALL BE MAINTAINED AT A HEIGHT OF 3° SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY, WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.

F. PLANT PROTECTION: AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS, INSTALL TREE PROTECTION FENCING AS SHOWN DURING CONSTRUCTION G. WATERING: IF ANY IRRIGATION SYSTEM IS LITELIZED. THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 11 OF BAINEAU PER WEEK DURING THE GROWING SEASON.

H. MARTINACE NOTES FOR BEDIETHOON BASIN PART MATERIALS.

1. NEWSLAL INSERT ON BRIPH RESIGNON AND DISCRESSORS AND ADMINISTRANCE.

2. RIBERT BLACH COORSE MORTHAN FOR PERFACE ANY YOU GREAN RESIGN. AND OTHER SHAPE OF THE SPRING WHERE NEEDED.

2. RIBERT BLACH COORSE MORTHAN FAR PERFACE ANY COORSEAN RESIGN. AND OTHER SHAPE OF THE SHAPE OF THE SPRING WHERE NEEDED.

3. REMOVE AND BREAK ALD GOOD OF RESIGNED VERSIONS OF THE REPORT AND OTHER SHAPE OF THE SHAPE OF THE

LANDSCAPE MAINTENANCE NOTES 3

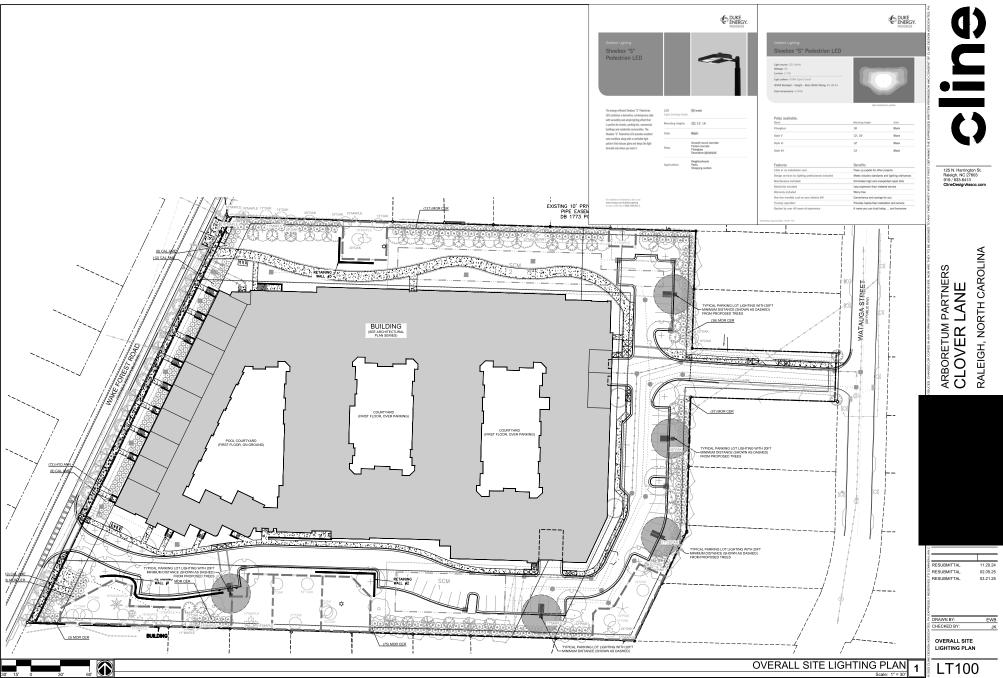
DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS - REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB MULCH DEPTH NOT MORE THAN 3°, KEEP MULCH 3° FROM ROOT FLARE AND DO NOT CONTACT STEM PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE - COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL. ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOTBALL DIAMETER CONTACT INFORMATION CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER: I. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT) TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH. 4. A TREE IMPACT PERMIT IS REQUIRED. 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE. CITY OF RALEIGH STANDARD DETAIL IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR. TREE PLANTING DETAIL TPP-03

CODE LANDSCAPE DETAILS

STANDARD TREE PLANTING

LP200

DRAWN BY:



LT100



13 TOTAL HC SPACES (2 VAN HC + 11 HC)

EV PARKING CALCS

2 REQUIRED. 5 PROVIDED. (4 STANDARD + 1 HC VAN)

PARKING SCHEDULE - VEHICLES

STANDARD	269
COMPACT	4
TANDEM	25
EV (INCL. 1 HC VAN)	5
HC	11
HC VAN	2
MOTORCYCLE	2

(13 TOTAL HC SPACES IN DECK) TOTAL: 318

LONG TERM CALCS

432 BEDS, 1 SPACE PER 7 BEDS = 62 SPACES.

SHORT TERM CALCS

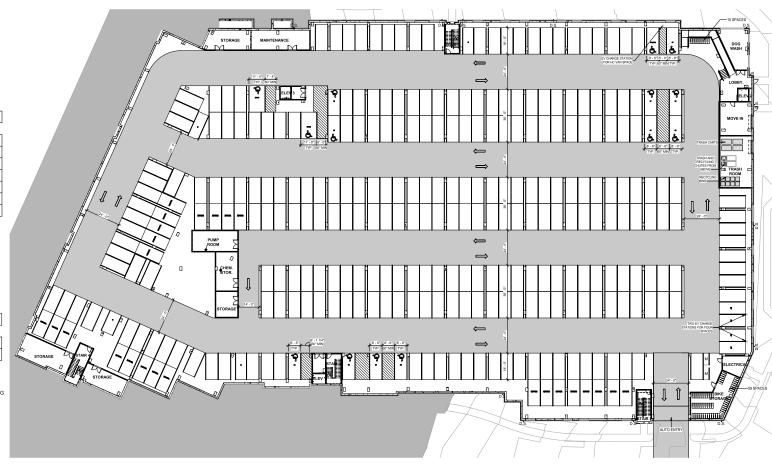
280 UNITS, 1 SPACE PER 20 UNITS = 14 SPACES.

PARKING SCHEDULE - BIKES

LONG TERM BIKE	69
SHORT TERM BIKE	14

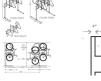
TOTAL:

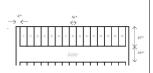
PER RALEIGH UDO SEC. 7.1.2 REQUIRED PARKING











DERO SPACE SAVER BIKE RACK DETAIL 1/4" = 1'-0" 2



PARKING LEVEL ASR

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ARBORETUM PARTNERS

Clover Lane at Mordecai Raleigh, North Carolina

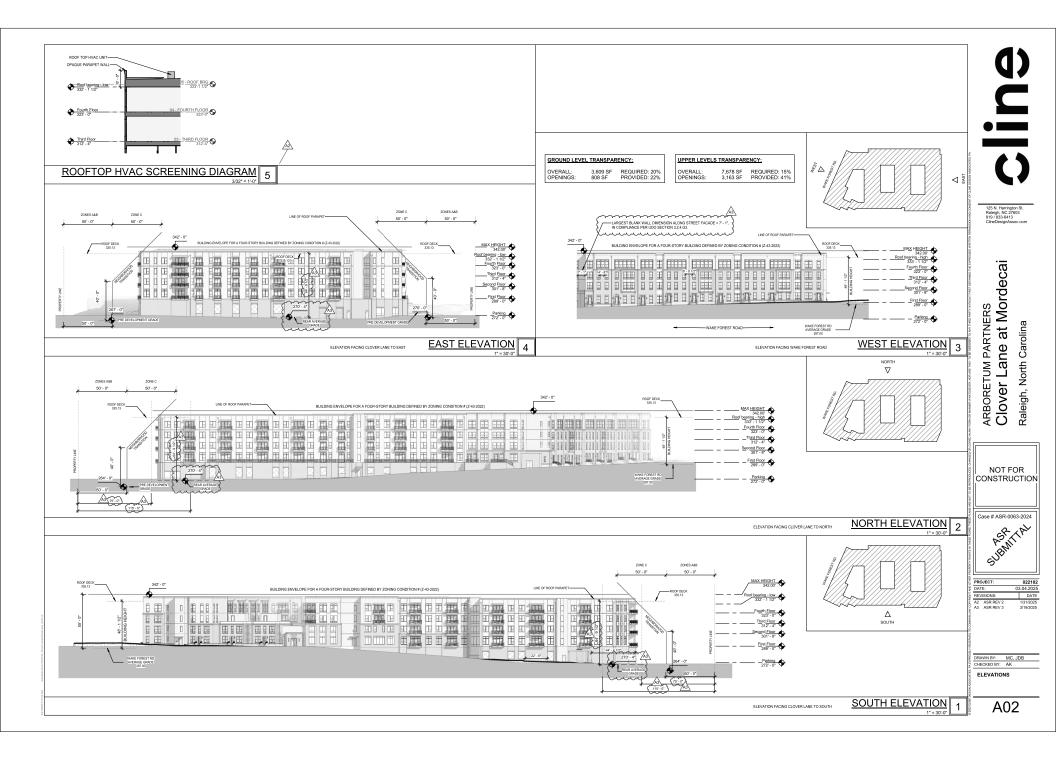
NOT FOR CONSTRUCTION

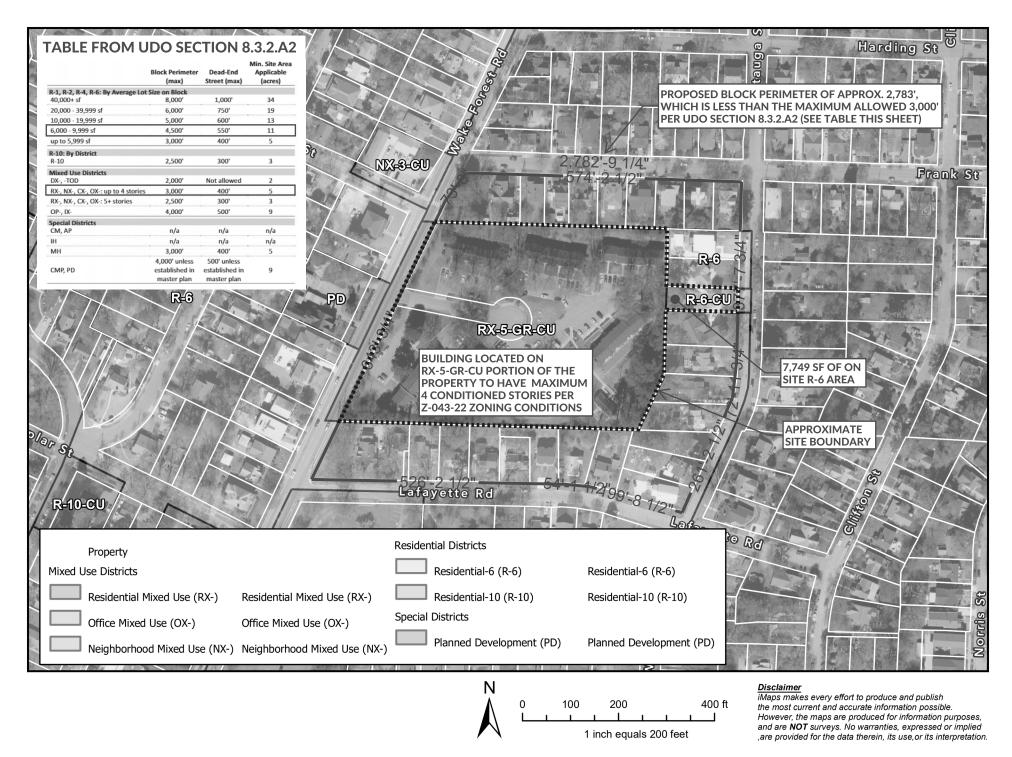


PROJECT: DATE: REVISIONS:		022102 03.04.2025	
		A1	ASR REV 1
A2	ASR REV 2	1/31/2025	
A3	ASR REV 3	3/19/2025	

PARKING LEVEL PLAN

A01





CLOVER LANE - BLOCK PERIMETER EXHIBIT