



# Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Transaction #: <u>ASR-0064-2019</u>		Planning Coordinator: <u>Mike Walters</u>	
Building Type		Site Transaction History	
<input checked="" type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Open lot <input type="checkbox"/> Civic	Subdivision transaction #: _____ Sketch transaction #: <u>592089</u> Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>McDonald's</u>			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <u>101 East South Street</u>			
Site P.I.N.(s): <u>1703764214</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. <u>Demolition of existing McDonald's and rebuild of new McDonald's with drive-thru and associated parking.</u>			
Current Property Owner/Developer Contact Name: <u>Leo Vanbuuren</u> <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: <u>McDonald's USA LLC</u>		Title: <u>Area Construction Manager</u>	
Address: <u>110 N. Carpenter Street, Chicago, IL 60607</u>			
Phone #: <u>919-931-2845</u>		Email: <u>leo.vanbuuren@us.mcd.com</u>	
Applicant Name: <u>Brian Soltz</u>			
Company: <u>Commercial Site Design PLLC</u>		Address: <u>8312 Creedmoor Road, Raleigh, NC 27613</u>	
Phone #: <u>919-848-6121</u>		Email: <u>soltz@csitedesign.com</u>	

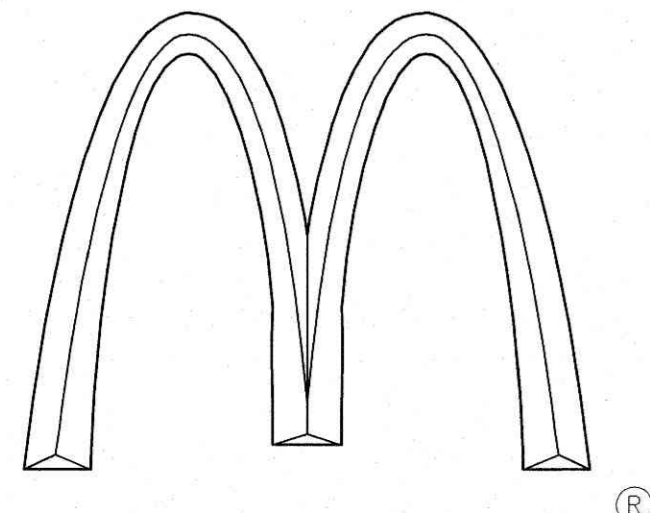
DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-4-UL; DX-4-UG	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 3,113
Gross site acreage: .76	New gross floor area: 4,683
# of parking spaces required: 32	Total sf gross (to remain and new): 4,683
# of parking spaces proposed: 32	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Commercial (restaurant)	
Proposed use (UDO 6.1.4): Commercial (restaurant)	

STORMWATER INFORMATION	
Existing impervious Surface: Acres: .68      Square Feet: 29,670	Proposed impervious Surface: Acres: .65      Square Feet: 28,465
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br:      2br:      3br:      4br or more:	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>BRIAN SOLTZ</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Leo Van Bluren</u>	Date: <u>8-9-19</u>
Printed Name: <u>LEO VAN BLUREN</u>	

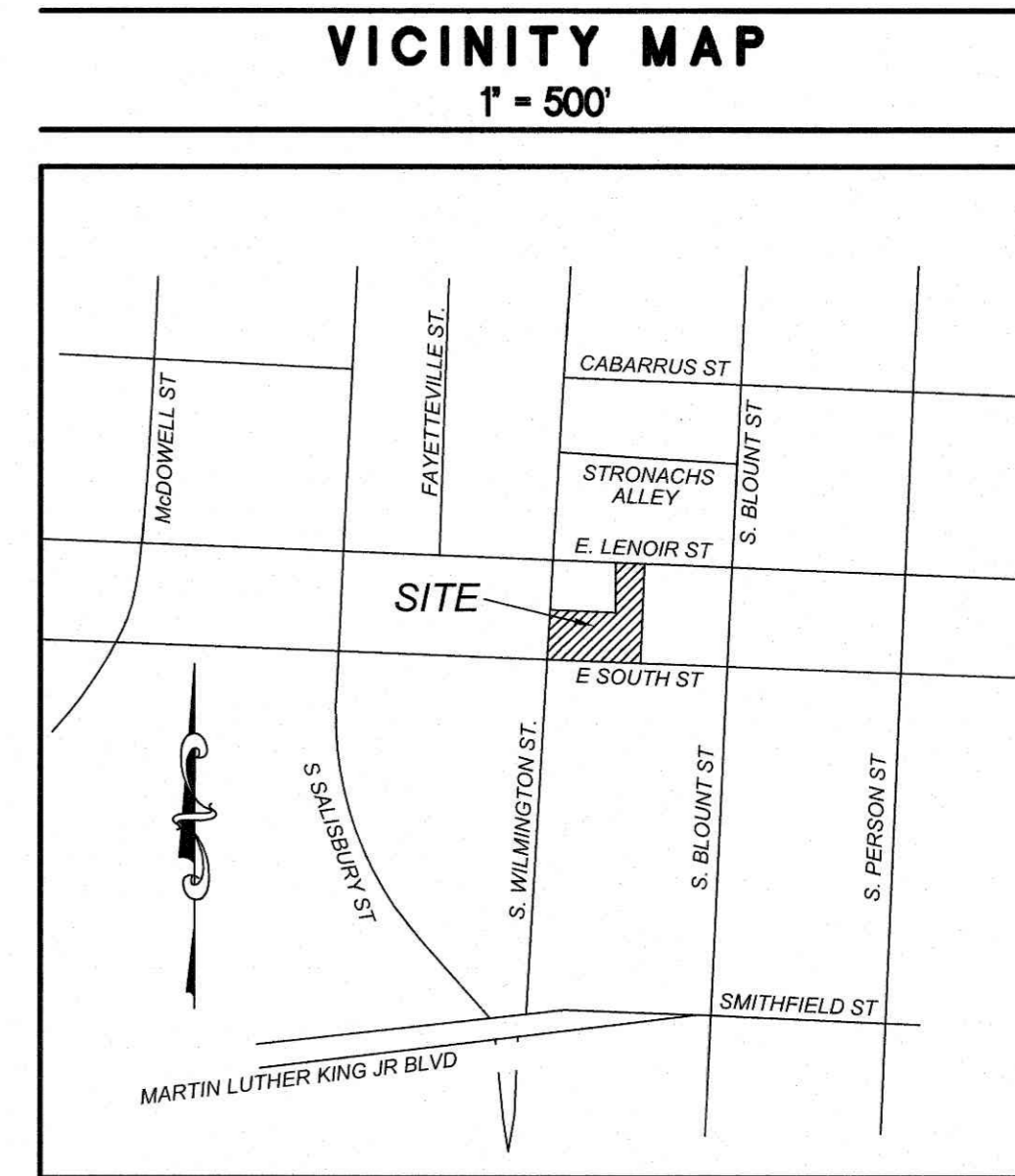
McDonald's Area Construction Manager



# 101 EAST SOUTH STREET RALEIGH, NC

SR-\_\_\_ & TRANSACTION #

STATE SITE CODE: 032-0170  
GBL NUMBER: 195500288147  
CSD PROJECT NUMBER: MCD-1905  
ADMINISTRATIVE SITE PLAN (SR-\_\_\_-\_\_\_)



### RIGHT-OF-WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND / OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. [rightofwayservices@raleighnc.gov](mailto:rightofwayservices@raleighnc.gov) FOR APPROVAL.
- THE CITY OF RALEIGH AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND / OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE- CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

### DRAWING INDEX

DWG. NUMBER	DRAWING DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING CONDITIONS
C-2a	RECORDED PLAT
C-3	SITE PLAN
C-3a	SOLID WASTE SERVICE TRUCK TURN PLAN
C-4	GRADING PLAN
C-5	UTILITY PLAN
C-6	LANDSCAPE PLAN
C-7	LIGHTING PLAN
A-2	BUILDING ELEVATIONS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



Know what's below.  
Call before you dig.  
nc811.org or 1-800-632-4949

SITE INFORMATION																									
OWNER :	McDONALD'S REAL ESTATE CO. BOX 182571 COLUMBUS, OHIO 43218-2571																								
DEVELOPER:	McDONALD'S USA, LLC 110 N. CARPENTER STREET CHICAGO, IL 60607 LEO VAN BURREN TEL: (919) 931-2845 leo.vanburren@us.mcd.com																								
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 BRIAN SOLTZ TEL: (919) 848-6121 soltz@cstedesign.com																								
ZONING:	CX-4-UL AND DX-4-UG WITH HOD-G																								
EXISTING USE:	RESTAURANT WITH DRIVE-THROUGH																								
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PARCEL IDENTIFICATION NUMBER:	1703764214																								
PARKING REQUIREMENTS:	1 SPACE PER 150 SF OF GROSS FLOOR AREA OR 1 SPACE PER 8 SEATS, WHICHEVER IS GREATER 4,683 SF / 150 SF = 32 SPACES OR 92 SEATS / 5 SEATS = 19 SPACES																								
PARKING PROVIDED:	30 REGULAR SPACES 2 HANDICAP SPACE 32 TOTAL SPACES																								
BICYCLE PARKING:	SHORT TERM REQUIRED 1 / 50,000 SF (MINIMUM 4 SPACES) SHORT TERM PROVIDED: 4 SPACES LONG TERM REQUIRED 1 / 25,000 SF (MINIMUM 4 SPACES) LONG TERM PROVIDED: 4 SPACES UNDER BUILDING CANOPY																								
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TOTAL SITE AREA:	33,048 SF OR 0.76 ACRES																								
DISTURBED AREA:	36,805 SF OR 0.84 ACRES																								
EXISTING IMPERVIOUS AREA:	29,570 SF OR 0.68 ACRES OR 89%																								
PROPOSED IMPERVIOUS AREA:	28,455 SF OR 0.65 ACRES OR 85%																								
BUILDING AREA & HEIGHT:	EXISTING = 3,113 SF PROPOSED = 4,683 SF - 1 STORY / 20' - 10" HIGH																								
WATER:	CITY OF RALEIGH PUBLIC UTILITIES																								
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES																								
AMENITY AREA:	REQUIRED = 10% OR 3,305 SF PROVIDED = 10.3% OR 3,388 SF																								
TREE CONSERVATION AREA:	NOT REQUIRED PER UDO 9.1.2 AS EXISTING LOT IS LESS THAN 2 ACRES.																								
BLOCK PERIMETER:	1,513 LF (2,000 LF MAX.)																								

DEVELOPMENT SERVICES  
**Administrative Site Review Application**  
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<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
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Development name: McDonald's  
Inside City limits?  Yes  No  
Property address(es): 101 East South Street  
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SIGNATURE BLOCK

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I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application will expire after 180 days of inactivity.

Signature: Leo Van Burren Date: 8-9-19  
Printed Name: LEO VAN BURREN  
McDONALD'S AREA CONSTRUCTION MANAGER

CONTACTS:

ZONING:	FIRE:	NCDOT:
CITY OF RALEIGH DEVELOPMENT SERVICES ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 CONTACT: KATHRYN WILSON PHONE: (919) 996-2480	CITY OF RALEIGH DEVELOPMENT SERVICES ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 CONTACT: JEFFREY FOGLE PHONE: (919) 996-6390	NCDOT DIVISION 5 / DISTRICT 1 4009 DISTRICT DRIVE RALEIGH, NC 27607 PHONE: (919) 733-3213
SIGNAGE:	GAS:	STORM SEWER:
CITY OF RALEIGH DEVELOPMENT SERVICES ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 PHONE: (919) 996-2472	PSNC 3516 SPRING FOREST ROAD RALEIGH, NC 27616 CONTACT: KEN COLE PHONE: (704) 819-3209	CITY OF RALEIGH ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 CONTACT: NATHAN BURDICK PHONE: 919-996-3520
BUILDING & INSPECTIONS:	ELECTRIC:	WATER AND SEWER:
CITY OF RALEIGH DEVELOPMENT SERVICES ONE EXCHANGE PLAZA - SUITE 400 RALEIGH, NC 27601 PHONE: (919) 996-2495	DUKE ENERGY PROGRESS 3000 SPRING FOREST ROAD RALEIGH, NC 27616 CONTACT: LINDA ALLEN PHONE: (919) 878-5315	CITY OF RALEIGH PUBLIC UTILITIES 222 W. HARGETT STREET RALEIGH, NC 27601 CONTACT: BRIAN CASEY PHONE: 919-996-2207
STREET & HIGHWAY DATA:	TELEPHONE:	
CITY OF RALEIGH TRANSPORTATION 222 WEST HARGETT STREET, SUITE 400 RALEIGH, NC 27601 CONTACT: KATHRYN BEARD PHONE: (919) 996-2407	BELL SOUTH CONTACT: ROBBIE HUSSTETLER PHONE: (919) 785-7975	

STORM WATER NARRATIVE:  
THE REDEVELOPMENT OF THIS SITE WILL MAINTAIN EXISTING DRAINAGE PATTERNS, AND IS EXEMPT FROM STORMWATER RUNOFF CONTROLS PER CITY OF RALEIGH UDO - SEC. 9.2.2.E.2.b. WHICH STATES, THAT IF THE INCREASE IN PEAK FLOW STORMWATER RUNOFF BETWEEN PRE-DEVELOPMENT AND POST-DEVELOPMENT CONDITIONS FOR THE 2-YEAR, 10-YEAR, AND 25-YEAR STORM EVENTS IS 10% OR LESS, THE PROJECT IS EXEMPT FROM STORMWATER CONTROL MEASURES. NOTE: THE EXISTING IMPERVIOUS IS 0.68 ACRES, AND THE PROPOSED IMPERVIOUS IS 0.65 ACRES. THIS IS A DECREASE OF 0.03 ACRES, AND A REDUCTION IN PEAK FLOWS LEAVING THE SITE.

COMMERCIAL SITE DESIGN  
(919) 848-6121 FAX: (919) 848-3741  
WWW.CSTEDSIGN.COM

882 CREEDMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613

McDonald's  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: BALTIMORE REGION  
ADDRESS: 6803 ROCKLEDGE DRIVE - SUITE 100 - BETHESDA, MD 20817

PLAN APPROVAL	SIGNATURE (2 REQUIRED)	DATE
GENERAL MANAGER		
REGIONAL DEV. DIRECTOR		
REGIONAL CONSTRUCTION MGR		
REGIONAL REAL ESTATE MGR		
AREA CONSTRUCTION MGR		
AREA REAL ESTATE MGR		

STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

C-1  
COVER SHEET

M:\MCD - McDonalds\1905 - Raleigh, NC @ South St 32-0170\CAD\MCD1905-CS.dwg, 8/22/2019 9:43:05 AM, chris, HP PageWide XL 4000, p.3

**FLOOD INFORMATION**

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 3720170300J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.

**GENERAL NOTES:**

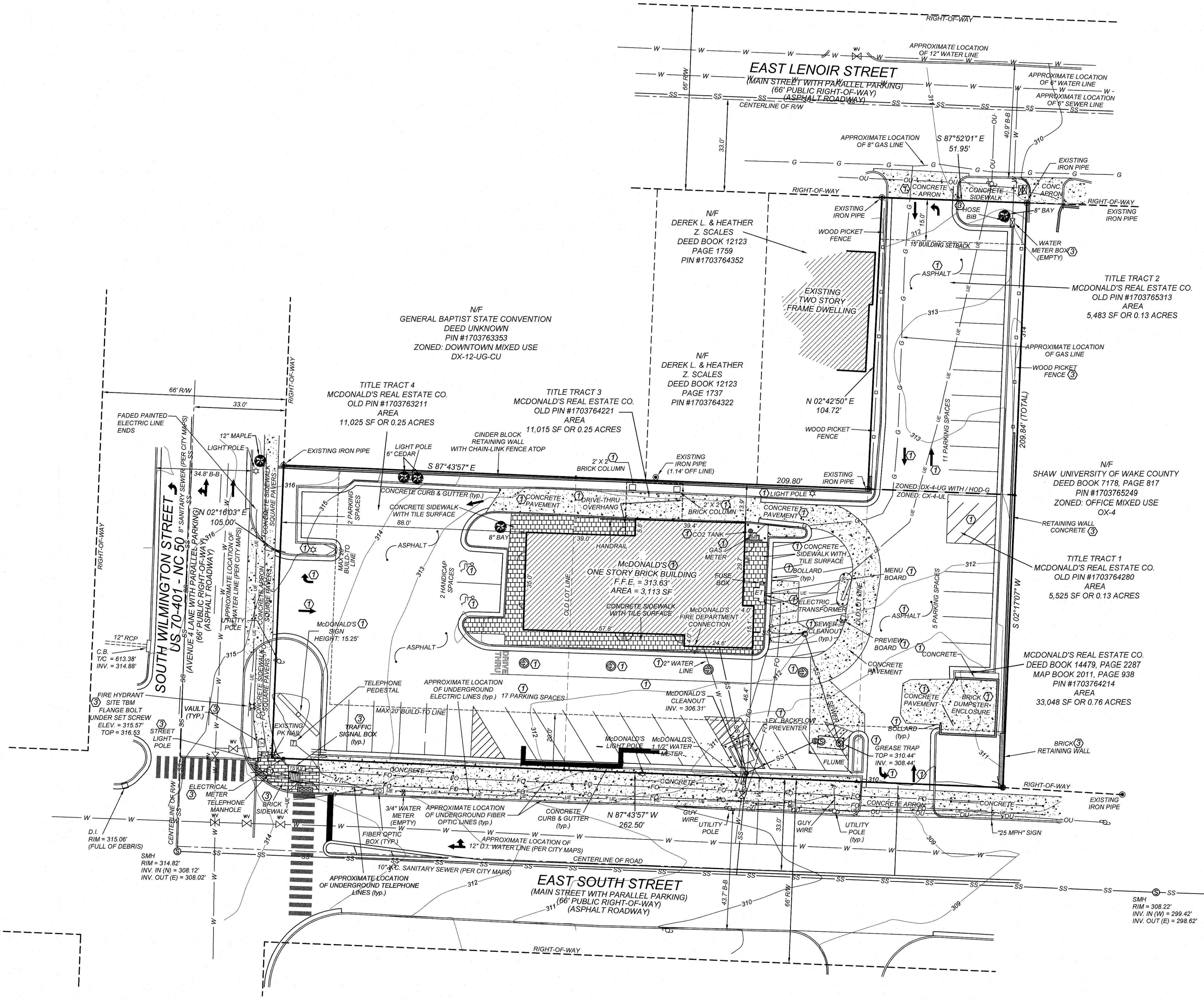
1. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**DEMOLITION KEYNOTES**

- ① REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- ② RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- ③ ITEM TO REMAIN.

----- SAWCUT LINE

**X** EXISTING TREE TO BE REMOVED



LEGEND			
▲	CALCULATED POINT	AC	= ACRES
●	EXISTING IRON PIPE	ACSM	= AMERICAN CONGRESS ON SURVEYING AND MAPPING
○	BORER HOLE	ALTA	= AMERICAN LAND TITLE ASSOCIATION
⊙	IRON PIPE SET	B.M.	= BOOK OF MAPS
⊕	SANITARY SEWER MANHOLE	EIP	= EXISTING IRON PIPES
⊖	SANITARY SEWER CLEANOUT	ELEV	= ELEVATION
⊗	WATER VALVE	FIRM	= FLOOD INSURANCE RATE MAP
⊘	WATER METER	GPS	= GLOBAL POSITIONING SYSTEM
⊙	FIRE HYDRANT	HUD	= HOUSING URBAN DEVELOPMENT
⊕	TELEPHONE PEDESTAL	HYD	= FIRE HYDRANT
⊖	TELEPHONE MANHOLE	INV	= INVERT
⊗	ELECTRIC BOX	IPS	= IRON PIPE SET
⊘	POWER POLE	LLC	= LIMITED LIABILITY COMPANY
⊙	CURB INLET	MPH	= MILES PER HOUR
⊕	STORM DRAINAGE MANHOLE	MSL	= MEAN SEA LEVEL
⊖	YARD INLET	NF	= NOW OR FORMERLY
⊗	STORM DRAIN	NSPS	= NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
-----	STORM DRAIN	NTS	= NOT TO SCALE
OU	OVERHEAD UTILITIES	R.C.P.	= REINFORCED CONCRETE PIPE
UE	UNDERGROUND ELECTRIC	R.W.	= RIGHT-OF-WAY
UT	UNDERGROUND TELEPHONE	S.R.	= STATE ROAD
W	WATER LINE	SF	= SQUARE FOOT
SS	SANITARY SEWER LINE	S.T.	= TEMPORARY BENCH MARK
G	GAS LINE	TWSP	= TOWNSHIP
X	FENCE LINE	TYP	= TYPICAL

**SURVEY INFORMATION**

PREPARED BY: COMMERCIAL SITE DESIGN, PLLC  
 8372 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27613  
 PHONE: (919) 848-6121, FAX: (919) 848-3741  
 DATE OF ORIGINAL FIELD SURVEY: JUNE 13, 2019

PLAN SCALE: 1" = 40'

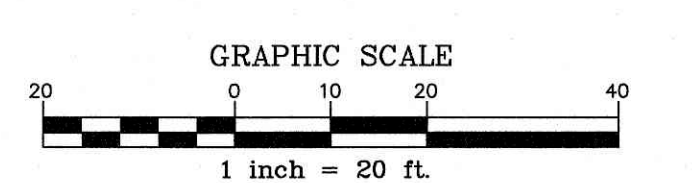
STREET ADDRESS: 101 EAST SOUTH STREET

CITY: RALEIGH

COUNTY: WAKE

TAX PARCEL NUMBER: 1703764214

CSD FILENAME: MCD1905-DP



TOTAL AREA = 57,997 SF OR 1.33 ACRES



ISSUE/REV	DATE	DESCRIPTION	BY
1	08-09-19	ASR 1ST SUBMITTAL	RCN

COMMERCIAL SITE DESIGN (919) 848-6121, FAX: (919) 848-3741 WWW.CSDDESIGN.COM 8372 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613	
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.	
BALTIMORE REGION 6803 ROCKLEDGE DRIVE, SUITE 100 - BETHESDA, MD 20817	OFFICE ADDRESS

PLAN APPROVAL	SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR		
REGIONAL DEV. DIRECTOR		
REGIONAL CONSTRUCTION MGR		
REGIONAL REAL ESTATE MGR		
AREA CONSTRUCTION MGR		
CONTRACTOR		

CO-SIGN SIGNATURES	STATUS	DATE	BY
FINAL	-	-	-
PLAN CHECKED	-	-	-
AS-BUILT	-	-	-

**C-2**  
 EXISTING CONDITIONS & DEMOLITION PLAN

**SITE INFORMATION**

<b>OWNER:</b>	McDONALD'S REAL ESTATE CO. BOX 182571 COLUMBUS, OHIO 43218-2571
<b>DEVELOPER:</b>	McDONALD'S USA, LLC 110 N. CARPENTER STREET CHICAGO, IL 60607 LEO VAN BURREN TEL: (919) 848-2845 leo.vanburren@us.mcd.com
<b>DESIGNER:</b>	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 BRIAN SOLTZ TEL: (919) 848-6121 Soltz@csdesign.com
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<b>PARKING PROVIDED:</b>	30 REGULAR SPACES 2 HANDICAP SPACE 32 TOTAL SPACES
<b>BICYCLE PARKING:</b>	SHORT TERM REQUIRED 1 / 50,000 SF (MINIMUM 4 SPACES) SHORT TERM PROVIDED: 4 SPACES LONG TERM REQUIRED 1 / 25,000 SF (MINIMUM 4 SPACES) LONG TERM PROVIDED: 4 SPACES UNDER BUILDING CANOPY
<b>BUILDING + PARKING SETBACKS:</b>	<b>BUILD-TO</b> REQUIRED WILMINGTON ST (PRIMARY ST) 52.5 LF (50% BUILDING WIDTH IN BUILD-TO) E. SOUTH ST (SIDE ST) 66 LF (25% BUILDING WIDTH IN BUILD-TO) PROVIDED WILMINGTON ST (PRIMARY ST) 53.3 LF (50% BUILDING WIDTH IN BUILD-TO) E. SOUTH ST (SIDE ST) 96.9 LF (36% BUILDING WIDTH IN BUILD-TO)
<b>PARKING SETBACK</b>	REQUIRED WILMINGTON ST (PRIMARY ST): 10' E. SOUTH ST (SIDE ST): 10' LENOIR ST (SIDE STREET): 10' INTERIOR SIDE LOT LINE: 3' REAR LOT LINE: 3'
<b>TOTAL SITE AREA:</b>	33,048 SF OR 0.76 ACRES
<b>DISTURBED AREA:</b>	36,805 SF OR 0.84 ACRES
<b>EXISTING IMPERVIOUS AREA:</b>	29,570 SF OR 0.68 ACRES OR 89%
<b>PROPOSED IMPERVIOUS AREA:</b>	28,455 SF OR 0.65 ACRES OR 85%
<b>BUILDING AREA &amp; HEIGHT:</b>	EXISTING = 3,113 SF PROPOSED = 4,683 SF - 1 STORY / 20' - 10" HIGH
<b>WATER:</b>	CITY OF RALEIGH PUBLIC UTILITIES
<b>SEWER:</b>	CITY OF RALEIGH PUBLIC UTILITIES
<b>AMENITY AREA:</b>	REQUIRED = 10% OR 3,305 SF PROVIDED = 10.3% OR 3,388 SF
<b>TREE CONSERVATION AREA:</b>	NOT REQUIRED PER UDO 9.1.2 AS EXISTING LOT IS LESS THAN 2 ACRES.
<b>BLOCK PERIMETER:</b>	1,513 LF (2,000 LF MAX.)

**SITE KEY NOTES:**

- CONSTRUCT 2" CONCRETE CURB AND GUTTER PER DETAIL SHEET
- ASPHALT PAVEMENT PER SOILS REPORT SPECIFICATIONS
- TRANSITION FROM ASPHALT TO CONCRETE PAVEMENT PER DETAIL SHEET
- MATCH EXISTING
- CONSTRUCT STANDARD CONCRETE H.C. RAMP PER DETAIL SHEET
- CONSTRUCT FLUSH CONCRETE H.C. RAMP PER DETAIL SHEET
- DELIVERY RAMP
- INSTALL HANDICAP SIGNAGE IN STEEL PIPE BOLLARD WITH IDEAL SHIELD COVER PER ADA ACCESSIBILITY PLAN AND DETAIL SHEET
- INSTALL VAN ACCESSIBLE HANDICAP SIGNAGE IN STEEL PIPE BOLLARD WITH IDEAL SHIELD COVER PER ADA ACCESSIBILITY PLAN AND DETAIL SHEET
- PAINT HANDICAP SYMBOL
- CONSTRUCT CONCRETE WALK PER McDONALD'S SPECIFICATIONS, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- EXISTING FIRE HYDRANT
- CONCRETE PAD @ DRIVE-THRU AND HANDICAP SPACES PER McDONALD'S STANDARDS AND SPECIFICATIONS, 20" EXPANSION JOINTS OR PER SOILS REPORT SPECIFICATIONS, GENERAL CONTRACTOR TO VERIFY WITH McDONALD'S AREA CONSTRUCTION MANAGER PRIOR TO APPLYING BLACK COLORING (OPTIONAL)
- CONSTRUCT CONCRETE DUMPSTER PAD PER SOILS REPORT AND McDONALD'S STANDARDS AND SPECIFICATIONS, GENERAL CONTRACTOR TO VERIFY WITH McDONALD'S AREA CONSTRUCTION MANAGER PRIOR TO APPLYING BLACK COLORING (OPTIONAL)
- CONCRETE TRANSFORMER PAD (COORDINATE SIZE AND LOCATION WITH POWER COMPANY)
- CONSTRUCT DUMPSTER ENCLOSURE (TO MATCH BUILDING) PER ARCHITECT'S DETAIL SHEET
- STORAGE SHED (PER ARCHITECT'S DETAIL SHEET), EXTERIOR FINISH TO MATCH DUMPSTER ENCLOSURE
- SITE IDENTIFICATION SIGN (CONTRACTOR SHALL COORDINATE WITH SIGN COMPANY AND CONSTRUCTION MANAGER FOR LOCATION AND PERMITTING)
- DIRECTIONAL SIGNAGE (PER DETAIL SHEET), GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- MENU BOARD (PER DETAIL SHEET), GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER

**SITE KEY NOTES (cont.):**

- VERTICAL PREVIEW "PRE-SELL" BOARD (PER DETAIL SHEET), GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- CUSTOMER ORDER DISPLAY WITH DETECTOR LOOP (PER DETAIL SHEET), GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- DRIVE-THRU CANOPY (PER DETAIL SHEET), GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- 6" VERTICAL HEADER CURB PER DETAIL SHEET
- GATEWAY SIGN (PER DETAIL SHEET), GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- 1" TALL HEADER CURB ADJACENT TO BUILDING AT DRIVE THRU
- TRAFFIC ARROWS PER DETAIL SHEET
- INSTALL 4 U-RACKS FOR SHORT TERM AND LONG TERM BICYCLE PARKING.

**SITE KEY NOTES (cont.):**

- CONSTRUCT CITY OF RALEIGH DRIVEWAY AND SIDEWALK
- INSTALL PEDESTRIAN HANDRAIL, CONTRACTOR TO COORDINATE WITH CLIENT AND ARCHITECT
- CONSTRUCT RETAINING WALL, DESIGN BY OTHERS
- POLE MOUNTED AREA LIGHT(S) SEE LIGHTING PLAN, GALVANIZED ANCHOR BOLTS, (6" ABOVE GRADE), FOOTINGS BY GENERAL CONTRACTOR, POLE INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH McDONALD'S CONSTRUCTION MANAGER
- BUILDING MOUNTED AREA LIGHT(S), SEE LIGHTING PLAN
- CANOPY AREA LIGHT(S), SEE LIGHTING PLAN
- PAINTED CROSSWALK PER DETAIL SHEET
- PAINTED STOP BAR
- TURN DOWN CURB PER DETAIL SHEET
- CURB AND GUTTER PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS
- DETECTABLE WARNING PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS
- STOP SIGN PER CITY OF RALEIGH
- PATIO AREA 2% MAXIMUM SLOPE IN ANY DIRECTION
- CONCRETE WHEEL STOP PER DETAIL SHEET

**SITE KEY NOTES (cont.):**

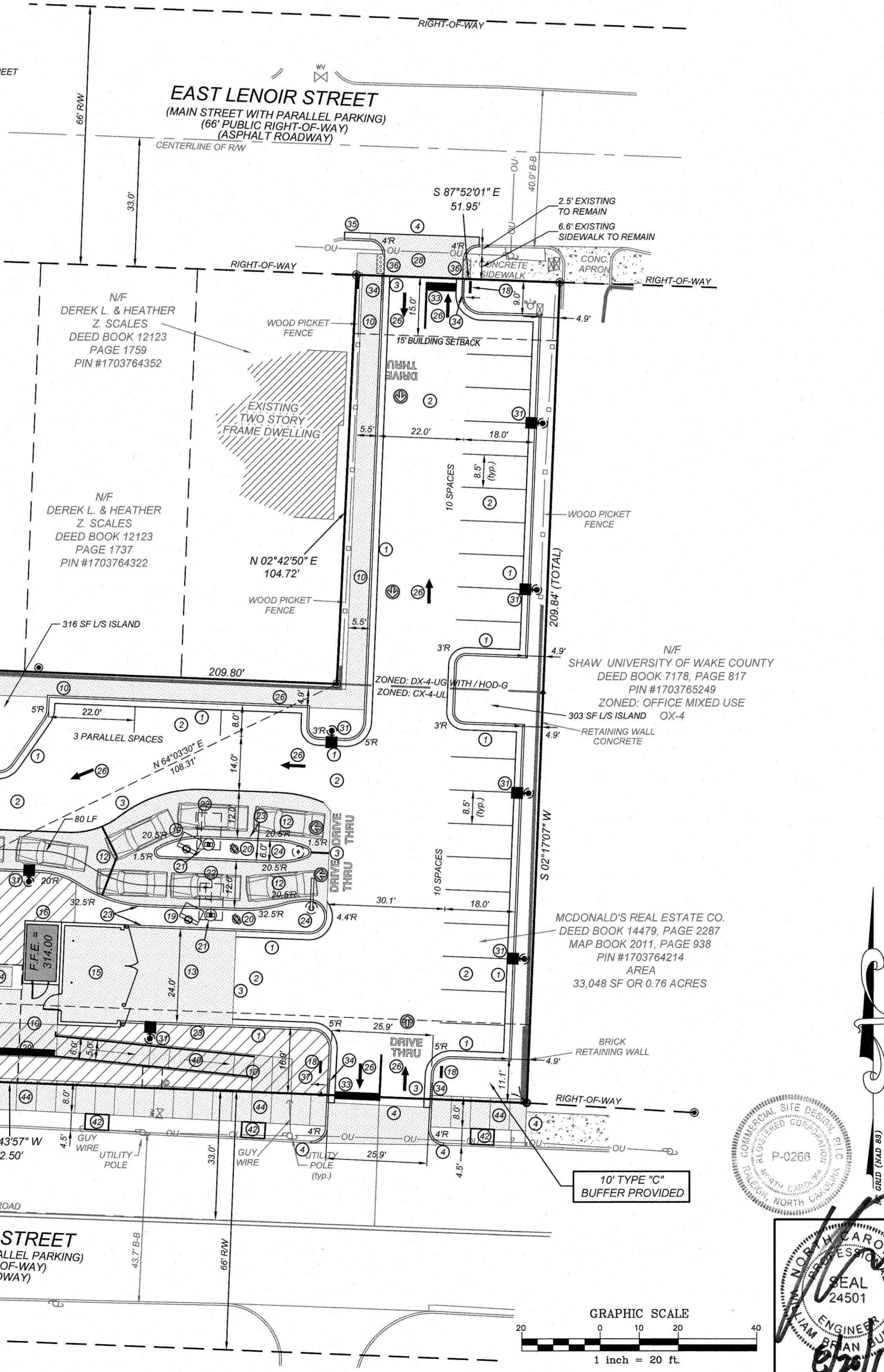
- ADA RAMP WITH HANDRAIL, CONTRACTOR SHALL COORDINATE WITH McDONALD'S ACM
- STAIRS, CONTRACTOR SHALL COORDINATE WITH McDONALD'S ACM
- INSTALL 4" X 6" TREE GRATES @ 40' ON CENTER PER CITY OF RALEIGH STANDARDS (SEE LANDSCAPE PLAN)
- INSTALL 2" BAND OF PAVERS.
- INSTALL NEW CITY OF RALEIGH SIDEWALK WITH 5" EXPANSION JOINTS
- INSTALL NEW CITY OF RALEIGH SIDEWALK WITH 2" X 2" GRID

SR-\_\_\_ & TRANSACTION # \_\_\_\_\_

REV	DATE	DESCRIPTION	BY
1	08-09-19	ASR 1ST SUBMITTAL	RCN



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 BALTIMORE REGION  
 6800 ROCKLEDGE DRIVE - SUITE 1100 - BETHESDA, MD 20817



**LEGEND**

[Symbol]	SPILL CURB	[Symbol]	SIGN
[Symbol]	HANDICAP RAMP	[Symbol]	BOLLARD
[Symbol]	HANDICAP STALL	[Symbol]	EX. FIRE HYDRANT
[Symbol]	CONCRETE	[Symbol]	FENCE
[Symbol]	PROPERTY LINE	[Symbol]	POLE MOUNTED AREA LIGHT
[Symbol]		[Symbol]	EXISTING IRON PIPE
[Symbol]		[Symbol]	FINISH FLOOR ELEVATION
[Symbol]		[Symbol]	AMENITY AREA

**PAVING SPECIFICATIONS**

CONTRACTOR TO REFER TO SOILS REPORT BY ECS, PROJECT NUMBER 33-3000 DATED 9-15-14

**LIGHT DUTY ASPHALT PAVEMENT:**  
 3.0 INCHES ASPHALT SURFACE COURSE (TYPE SF-9.5A)  
 6.0 INCHES AGGREGATE BASE COURSE

**MEDIUM DUTY ASPHALT PAVEMENT:**  
 2.0 INCHES ASPHALT SURFACE COURSE (TYPE SF-9.5A)  
 2.5 INCHES ASPHALT INTERMEDIATE COURSE (TYPE I-19.0B)  
 8.0 INCHES AGGREGATE BASE COURSE

**PORTLAND CEMENT CONCRETE:**  
 6.0 INCHES CONCRETE (28-DAY STRENGTH = 4,000 PSI)  
 6.0 INCHES AGGREGATE BASE COURSE

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE, IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.

**PARKING INFORMATION**

TOTAL SPACES	32
20 SPACES	8.5' X 18' @ 90°
2 HANDICAP SPACES	8.0' X 19.8' @ 60°
7 SPACES	8.5' X 19.8' @ 60°
3 PARALLEL SPACES	8.0' X 22.0' @ 90°

**UTILITY INFORMATION**

SIZE	TYPE	LOCATION
12"	PUBLIC	IN WILMINGTON ST AND SOUTH ST
6"	PUBLIC	IN EAST LENOIR ST
6"	PUBLIC	IN WILMINGTON ST AND SOUTH ST
6"	PUBLIC	IN EAST LENOIR ST
12"	PUBLIC	WEST SIDE OF WILMINGTON ST
	OVERHEAD	NORTH SIDE OF SOUTH ST
	UNDERGROUND/OVERHEAD	SOUTH ST AND WILMINGTON ST
8"		SOUTH SIDE OF LENOIR ST

**SURVEY INFORMATION**

PREPARED BY: COMMERCIAL SITE DESIGN  
 8312 CREEDMOOR ROAD  
 RALEIGH, NORTH CAROLINA 27613  
 PHONE: (919) 848-6121  
 DATE OF ORIGINAL FIELD SURVEY: JUNE 13, 2019

**PLAN SCALE: 1" = 20'**

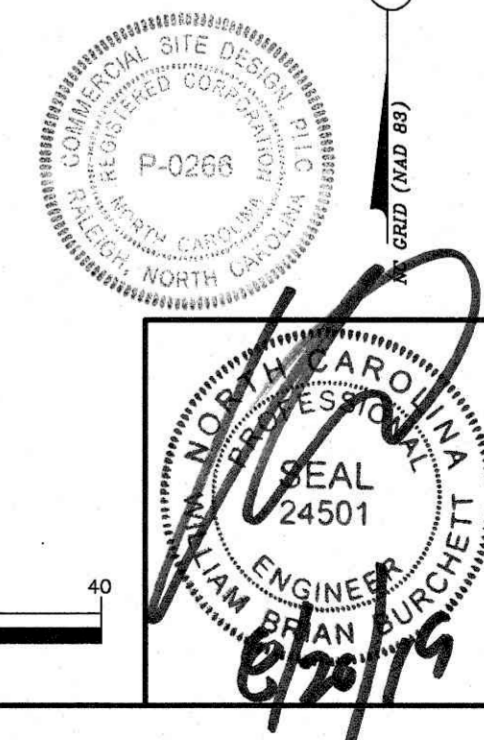
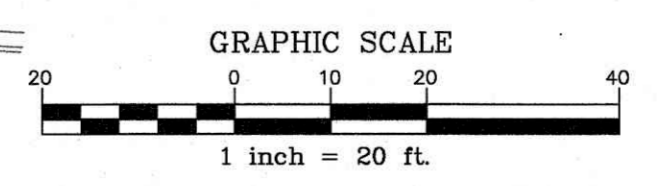
STREET ADDRESS: 101 EAST SOUTH STREET

CITY: RALEIGH

COUNTY: WAKE

TAX PARCEL NUMBER: 1703764214

CSD FILENAME: MCD1905-SP



**PLAN APPROVAL**

SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
REGIONAL DEPT. DIRECTOR	
REGIONAL CONSTRUCTION MGR.	
REGIONAL REAL ESTATE MGR.	
AREA CONSTRUCTION MGR.	
CONTRACTOR	

STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

**C-3 SITE PLAN**

**UTILITY KEYNOTES:**

- 1 REUSE/RELOCATE EXISTING 1 1/2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 2 1 1/2" DOMESTIC REDUCE PRESSURE BACKFLOW PREVENTER (MODEL WATTS 009M2QT OR CITY APPROVED EQUIVALENT) IN ABOVE-GROUND HOTBOX ENCLOSURE.
- 3 1 1/2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY. ALL WATER LINES SHALL HAVE A FINAL MINIMUM COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" IN TRAFFIC AREAS UNLESS OTHERWISE NOTED.
- 4 INSTALL SERVICE VALVES PER CITY STANDARDS
- 5 EXISTING FIRE HYDRANT.
- 6 INSTALL 3/4" IRRIGATION WATER METER (EMPTY BOX), CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR AND UTILITY.
- 7 3/4" IRRIGATION REDUCE PRESSURE BACKFLOW PREVENTER (MODEL WATTS 009M2QT OR CITY APPROVED EQUIVALENT) IN ABOVE GROUND HOTBOX ENCLOSURE. CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR AND UTILITY.
- 8 COORDINATE IRRIGATION CONNECTION AND SLEEVE SIZE WITH IRRIGATION CONTRACTOR.
- 9 MIXED WATER TO HOSE BIBB IN TRASH CORRAL. NOT TO BE USED FOR TRASH CONTAINER WASHING.
- 10 4" PVC SANITARY SEWER LINE (SERVICES SHALL BE PVC SDR 35 WITHIN RW, THEN PVC SCHEDULE 40 TO BUILDING). (BEDDING AND COVER PER SUPPLIER SPECIFICATIONS). NOTE: 1/4"FT MINIMUM SLOPE FOR 4" LINES AND 1/8"FT MINIMUM SLOPE FOR 6" LINES. ALL SEWER LINES SHALL HAVE A FINAL MINIMUM COVER DEPTH OF 4'-0" IN NON-TRAFFIC AREAS AND 5'-0" IN TRAFFIC AREAS UNLESS OTHERWISE NOTED.
- 11 SANITARY SEWER CLEANOUT PLACED AT 50' INTERVALS, SEE DETAIL SHEET.
- 12 IRRIGATION SLEEVE
- 13 1300 GALLON PROCEPTOR GREASE TRAP, PER DETAIL SHEET.
- 14 TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
- 15 POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN. ALL LOT LIGHT WIRES TO BE CONTINUOUS RUN FROM PANELS TO LOT LIGHTS WITH NO SPLICES, CONTRACTOR TO COODINATE.
- 16 UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
- 17 INSTALL ONE - 1" PVC ELECTRICAL CONDUIT FOR ELECTRICAL SERVICE TO TRASH CORRAL.
- 18 UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
- 19 GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.

SR-\_\_\_ & TRANSACTION # \_\_\_\_\_

REV	DATE	DESCRIPTION	BY
1	08-09-19	ASR 1ST SUBMITTAL	RCN

**COMMERCIAL SITE DESIGN**

(919) 848-4301 FAX: (919) 848-3741  
WWW.CSDESIGN.COM

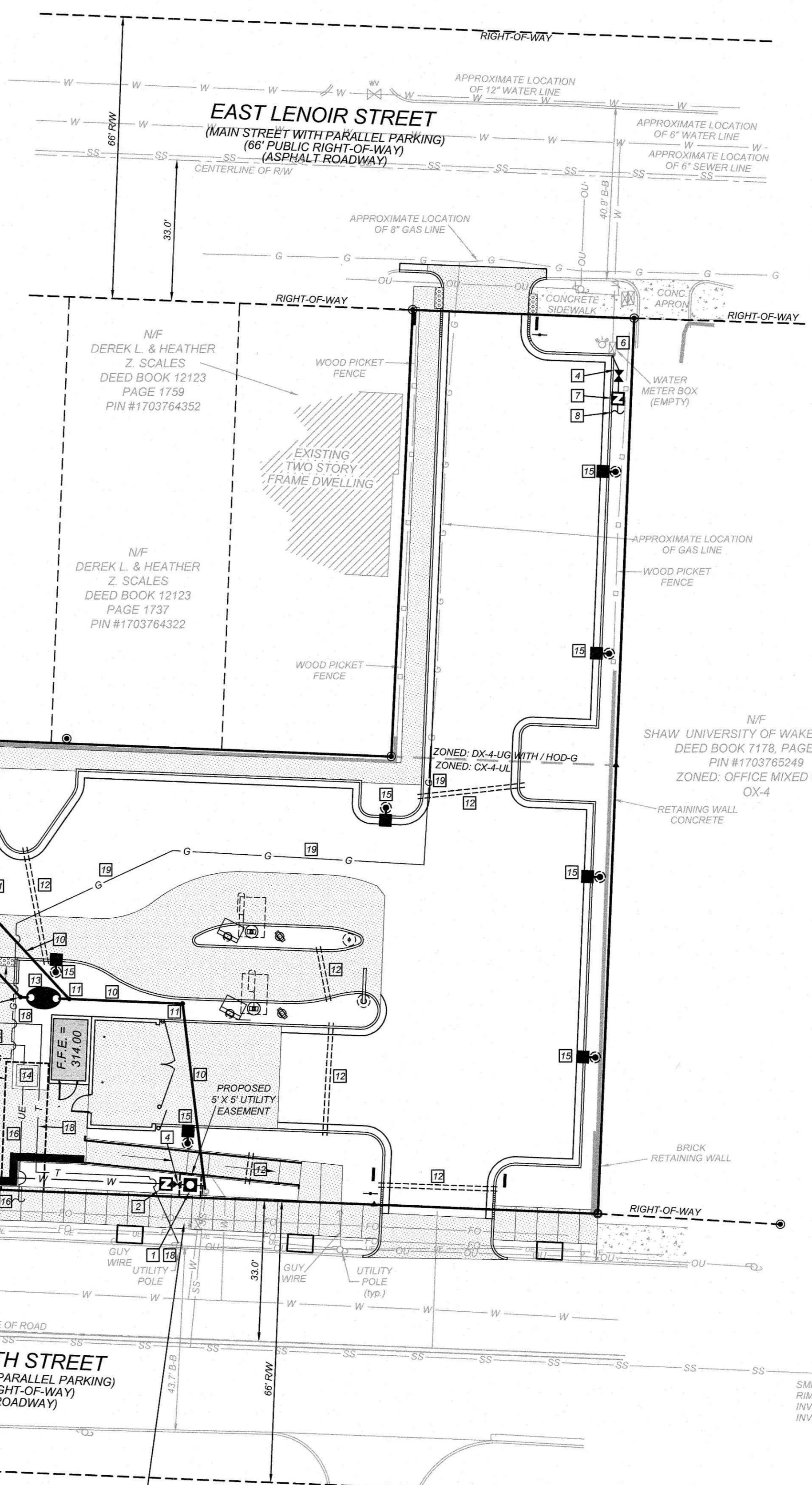
887 CREEKMOOR ROAD  
RALEIGH, NORTH CAROLINA 27618

**McDonald's**

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OFFICE: BALTIMORE REGION  
ADDRESS: 6803 ROCKLAKE DRIVE - SUITE 1100 - BETHESDA, MD. 20817

PLAN APPROVAL		
SIGNATURE (2 REQUIRED)	DATE	
REGIONAL MGR.		
REGIONAL DEV. DIRECTOR		
REGIONAL CONSTRUCTION MGR.		
REGIONAL REAL ESTATE MGR.		
AREA CONSTRUCTION MGR.		
CONTRACTOR		
STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-



**NOTE TO CONTRACTOR:**  
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.

N/F  
GENERAL BAPTIST STATE CONVENTION  
DEED UNKNOWN  
PIN #1703783353  
ZONED: DOWNTOWN MIXED USE  
DX-12-UG-CU

N/F  
DEREK L. & HEATHER  
Z. SCALES  
DEED BOOK 12123  
PAGE 1759  
PIN #1703764352

N/F  
DEREK L. & HEATHER  
Z. SCALES  
DEED BOOK 12123  
PAGE 1737  
PIN #1703764322

N/F  
SHAW UNIVERSITY OF WAKE COUNTY  
DEED BOOK 7178, PAGE 817  
PIN #1703765249  
ZONED: OFFICE MIXED USE  
OX-4

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UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.

**LEGEND**

— OU —	OVERHEAD UTILITIES	—	SEWER CLEAN OUT
— SS —	SANITARY SEWER	—	FIRE HYDRANT ASSEMBLY
— UE —	UNDERGROUND ELECTRIC	—	SANITARY SEWER MANHOLE (SSMH)
— T —	TELEPHONE LINE	—	POLE MOUNTED AREA LIGHT
— G —	GAS LINE	—	WATER METER
— W —	WATER LINE	—	BACKFLOW PREVENTER
— F —	FIRE LINE	—	SIAMSE CONNECTION (FDC)
— MW —	MIXED WATER	—	WATER VALVE
— RD —	ROOF DRAIN	—	GREASE TRAP
—	IRRIGATION SLEEVE	—	HOSE BIB
—	UTILITY POLE		

**PARKING INFORMATION**

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7 SPACES	8.5' X 19.8' @ 60°
3 PARALLEL SPACES	8.0' X 22.0' @ 90°

**UTILITY INFORMATION**

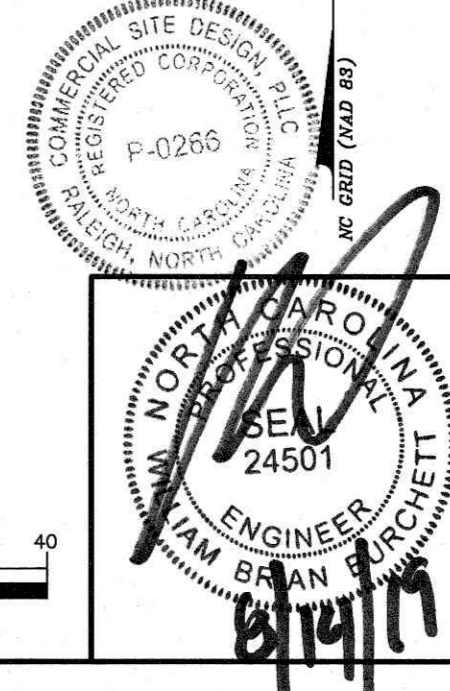
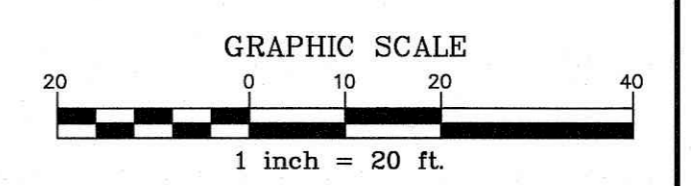
SIZE	TYPE	LOCATION
12"	PUBLIC	IN WILMINGTON ST AND SOUTH ST
6"	PUBLIC	IN EAST LENOIR ST
6"	PUBLIC	IN WILMINGTON ST AND SOUTH ST
6"	PUBLIC	IN EAST LENOIR ST
12"	PUBLIC	WEST SIDE OF WILMINGTON ST
	OVERHEAD	NORTH SIDE OF SOUTH ST
	UNDERGROUND/OVERHEAD	SOUTH ST AND WILMINGTON ST
		SOUTH SIDE OF LENOIR ST

**SURVEY INFORMATION**

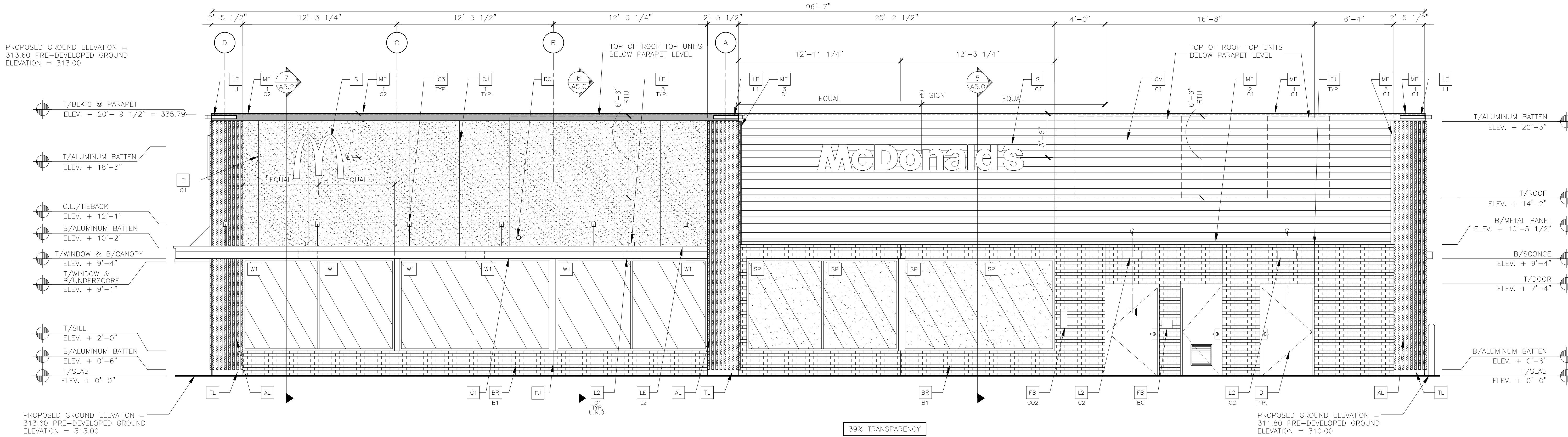
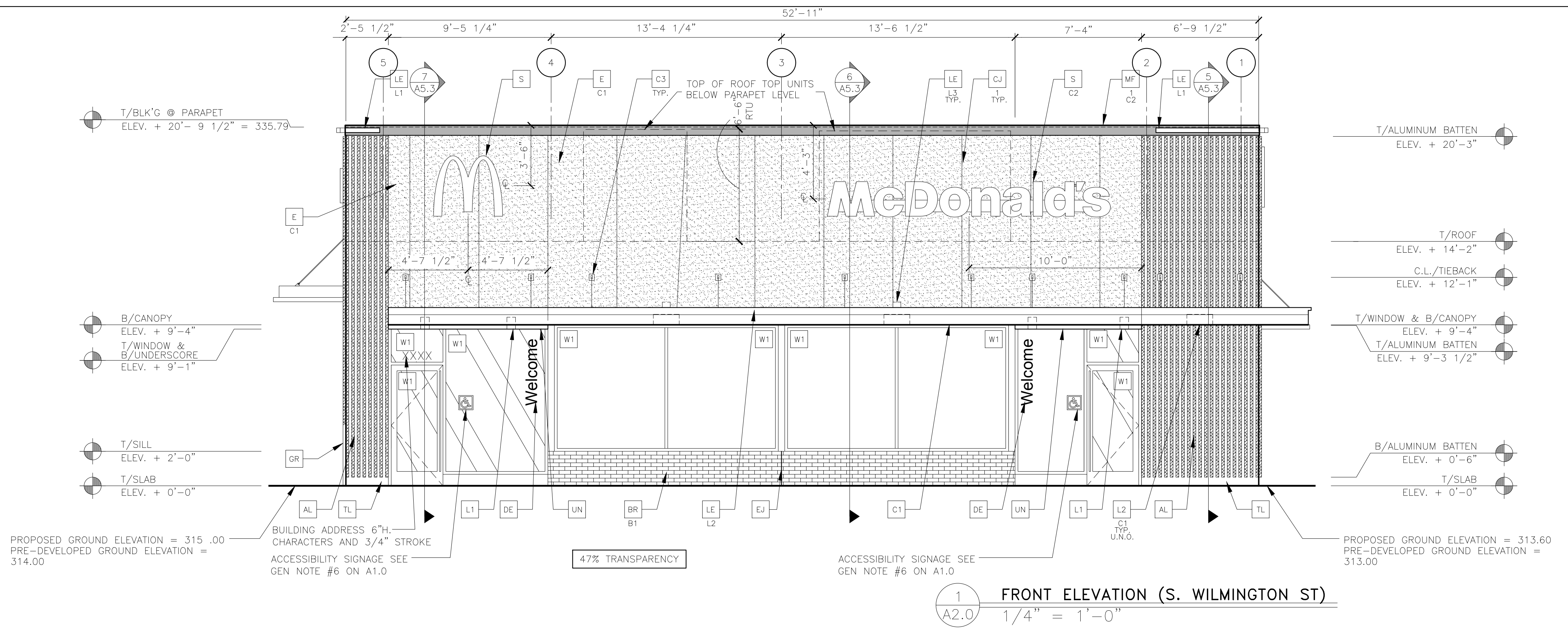
PREPARED BY: COMMERCIAL SITE DESIGN  
8312 CREEKMOOR ROAD  
RALEIGH, NORTH CAROLINA 27613  
PHONE: (919) 848-6121  
DATE OF ORIGINAL FIELD SURVEY: JUNE 13, 2019

PLAN SCALE: 1" = 20'

STREET ADDRESS: 101 EAST SOUTH ST







**KEY NOTES:**

- AL ALUMINUM BATTEN SYSTEM  
MFR: B+N INDUSTRIES  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1. HDO BOTH FACES, APAP TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AN DPAINT BOTH SIDES AND ALL EDGES.  
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR MODULAR FACE BRICK  
B1-COLOR:  
B1 = "SLATE GRAY" SMOOTH BY HEBRON BRICK COMPANY
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA  
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM  
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK  
COLOR: RAL 7022  
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS. WHEN TIEBACKS ARE INSTALLED ON METAL PANELING.
- CJ CONTROL JOINT  
T-TYPE: 1 = EIFS
- CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA  
C1-COLOR:  
C1 = WEATHERED ZINC  
HOLLOW METAL DOOR  
D PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
SUPPLIERS:  
VOMELA (865) 330-7337, ann.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com

- E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)  
C1-COLOR:  
C1 = "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB FB  
CO2-CO2 = BULK CO2 FILL BOX (EGPM SCHEDULE ITEM 49.00)  
BO = BULK OIL FILL BOX (EGPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL-SEE SITE PLAN FOR EXACT LOCATION AND LENGTH  
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
C1-COLOR:  
C1 = WHITE  
C2 = PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1-LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = INTEGRAL CANOPY FIXTURE  
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA  
C1-TYPE:  
1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = BOTTOM TRIM AT METAL REVEAL PANEL  
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES  
COLOR:  
C1 = WEATHERED ZINC  
C2 = RAL 7022

- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR  
MODEL: #WPT STD  
CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.  
C1-COLOR:  
C1 = WEATHERED ZINC RACEWAY  
C2 = RAL 7022 RACEWAY
- SP SPANDREL GLAZING
- TL TILE (BASE OF BATTEN SYSTEM)  
EUROWEST: DELUXE COLLECTION  
COLOR: ABSOLUTE BLACK, SIZE: 6"x24"  
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI  
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL  
GROUT WIDTH: 1/8" TO 3/16"  
CONTACT: JAN DETER, (714) 937-7500
- UN METAL UNDERSCORE  
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE  
COLOR: DEEP BRONZE  
SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT

REV	DATE	DESCRIPTION

ARCHITECT OF RECORD:

**CORE STATES**  
 DESIGN P.C.  
 46 East Main Street  
 Suite 100, Raleigh, NC 27601  
 www.corestates.com

PREPARED FOR:  
**McDonald's USA, LLC**  
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DRAWN BY	B.GILLIN
STD ISSUE DATE	JUL 2019
REVIEWED BY	M.PELINI
DATE ISSUED	07/30/19
C.S.G. PROJECT #	MCD-27320
TITLE	2017 STANDARD BUILDING - BB20 4797 +2R +5F +7S - WOOD/WOOD
DESCRIPTION	WOOD BEARING WALLS W/ 4" BRICK EXTERIOR FINISH & C1 WOOD ROOF TRUSS FRAMING E.I.F.S./BATTEN/METAL PANEL/BRICK EXTERIOR FINISH
SITE ID	
SITE ADDRESS	105 E SOUTH STREET
RALEIGH, NC	
SHEET NO.	<b>A2.0</b>
ELEVATIONS	