

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Current Property Owner(s):		
Company:		Title:
Address:		
Phone #:		Email:
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner:	Lessee or contract purchaser	Owner's authorized agent
		Easement holder
Company:		Address:

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? Yes No
	A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

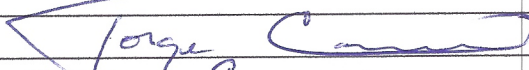
APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 9-13-23
Printed Name: Jorge Canerio	

ADMINISTRATIVE SITE REVIEW PLANS BEACON LAKE CHURCH

VIRGINIA STREET AND BEACON LAKE DRIVE
RALEIGH, NORTH CAROLINA 27610
WAKE COUNTY

**CIVIL ENGINEER/
LANDSCAPE ARCHITECT:**

TIMMONS GROUP
5410 TRINITY ROAD, SUITE 102
RALEIGH, NC 27607
MIKE DAVIDSON
PH: (984) 222-1610
MIKE.DAVIDSON@TIMMONS.COM

SURVEYOR:

ANGLE RIGHT LAND SURVEYI
3008 ANDERSON DRIVE, SUI
RALEIGH, NC 27609
MICHAEL P. TUTT, PLS
PH: (919) 810-4324
TUTT1011@ATT.NET

OWNER/DEVELOPER:

JORGE AND CATHERINE E. CANARIO
329 NORTH FIRST AVENUE
KNIGHTDALE, NC 27545
PH: (919) 369-2745
JCANARIO7@GMAIL.COM

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This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option
Subdivision case #: _____ Scoping/klutch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____	

GENERAL INFORMATION

Development name: Beacon Lake Church
 Inside City limits? Yes No
 Property address(es): 4008 Virginia St, 4012 Virginia St, 915 Beacon Lake Dr, 911 Beacon Lake Dr
 Site P.I.N.(s): 1724646087, 1724647181, 1724648066, 1724649086
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
 Construction of 5,612 SF/one-story church building, parking lot and associated infrastructure.

Current Property Owner(s): Jorge and Catherine Canario
 Company: _____ Title: Owners
 Address: 329 N. First Avenue, Knightdale, NC 27545
 Phone #: 919-369-2745 Email: jcanario7@gmail.com
Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: _____ Address: _____

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Phone #: _____ Email: _____
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
 Developer Contact: SAME AS OWNER
 Company: _____ Title: _____
 Address: _____
 Phone #: _____ Email: _____
 Applicant Name: _____
 Company: _____ Address: _____
 Phone #: _____ Email: _____

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-6	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 65,891 SF	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 51	New gross floor area: 5,612 SF
Max # of parking permitted (7.1.2.C): N/A	Total of gross (to remain and new): 5,612 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Civic/Place of Worship	Proposed # of basement levels (UDO 1.5.7.A.6): 0

STORMWATER INFORMATION

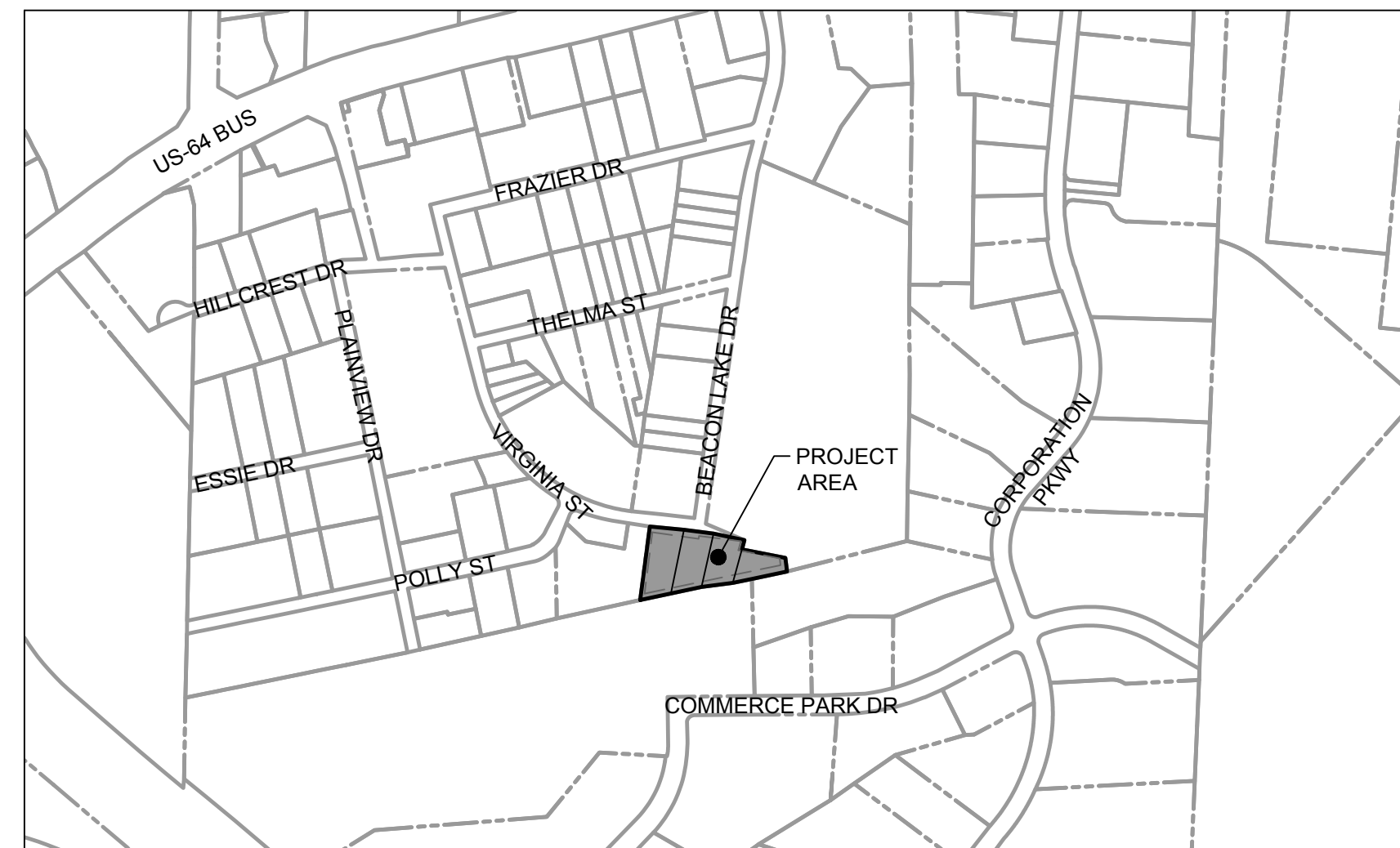
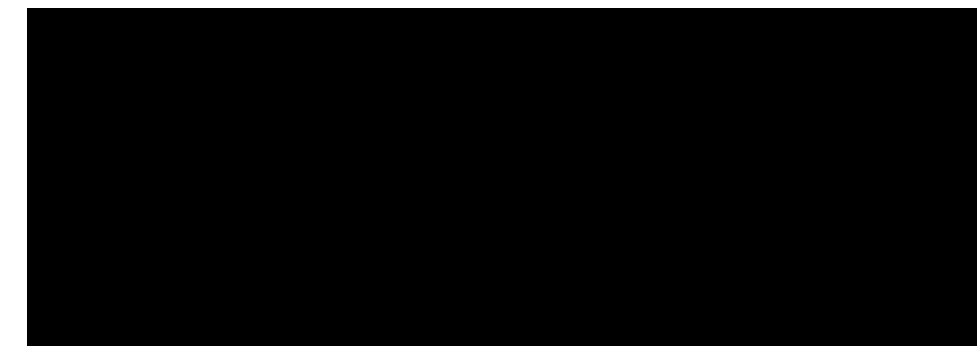
Impervious Area on Parcel(s):
Existing (sf) 0 Proposed total (sf) 31,240
 Impervious Area for Compliance (includes ROW):
Existing (sf) 0 Proposed total (sf) 34,448

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

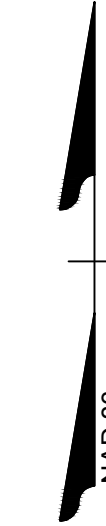
Total # of dwelling units: N/A
 # of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____
 # of lots: _____
 Is your project a cottage court? Yes No
 A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

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VICINITY MAP
1" = 500'



NUMBER	
C0.0	
C1.0	EXI
C2.0	
C2.1	
C3.0	PR
C4.0	
C5.0	
C6.0	
A-3.01	

SITE DATA TABLE	
PROJECT:	BEACON LAKE CHURCH
OWNERS:	JORGE AND CATHERINE CANARIO
PROJECT ADDRESSES:	4008 VIRGINIA STREET, RALEIGH, NC 27610 4012 VIRGINIA STREET, RALEIGH, NC 27610 915 BEACON LAKE DRIVE, RALEIGH, NC 27610 911 BEACON LAKE DRIVE, RALEIGH, NC 27610
PIN #S:	1724-64-6087; 1724-64-7181; 1724-64-8066; 1724-64-9086
DEED:	DB 013338 PG 00405
CURRENT ZONING:	R-6
OVERLAY DISTRICT(S):	NONE
EXISTING USE:	VACANT
PROPOSED USE:	CIVIC - PLACE OF WORSHIP
EXISTING GROSS SITE AREA:	1.54 AC.±
PROPOSED R/W DEDICATION:	1.201 SF±
PROPOSED NET SITE AREA:	1.51 AC.±
PROPOSED NUMBER OF LOTS:	1
SETBACKS FOR CIVIC BUILDING IN R-6:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE LOT LINE: 10' REAR LOT LINE: 20'
PROPOSED BUILDING AREA:	5,612 SF
PROPOSED BUILDING HEIGHT:	26' (SINGLE-STORY)
PROPOSED VEHICULAR PARKING:	51 SPACES (INCLUDES 2 STANDARD ACCESSIBLE PARKING SPACES AND 1 VAN ACCESSIBLE PARKING SPACE)
DISTURBED AREA:	1.5 AC.±

GENERAL NOTES:

- TREE CONSERVATION:**
- THIS PROJECT IS EXEMPT FROM TREE CONSERVATION BECAUSE SITE IS LESS THAN 2 ACRES.
- SOLID WASTE MANAGEMENT:**
- SOLID WASTE WILL BE PROVIDED BY A PRIVATE HAULER. REFER TO WILL SERVE LETTER PROVIDED ON THIS COVER SHEET.
 - APPLICANT HAS REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- BLOCK PERIMETER:**
- SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS SINCE SITE IS LESS THAN 3 ACRES PER UDO 8.3.2.A.2.B (TC-6-19).
- STREET STUB:**
- SITE IS EXEMPT FROM STREET STUB REQUIREMENTS SINCE NEW ROW DEDICATION WOULD CONSUME MORE THAN 15% OF THE PROPERTY TO BE DEVELOPED PER UDO 8.3.2.A.1.B.IV
- PRIMARY STREET:**
- PER TC-5A-18, THE PRIMARY STREET DESIGNATION WILL BE BEACON LAKE DRIVE.
- PLANNING:**
- A RECOMBINATION PLAT WILL BE CONDITIONED AS PART OF THE SITE PERMIT REVIEW APPROVAL OR PRIOR TO PLAT RECORDING OF THE LOTS.



KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

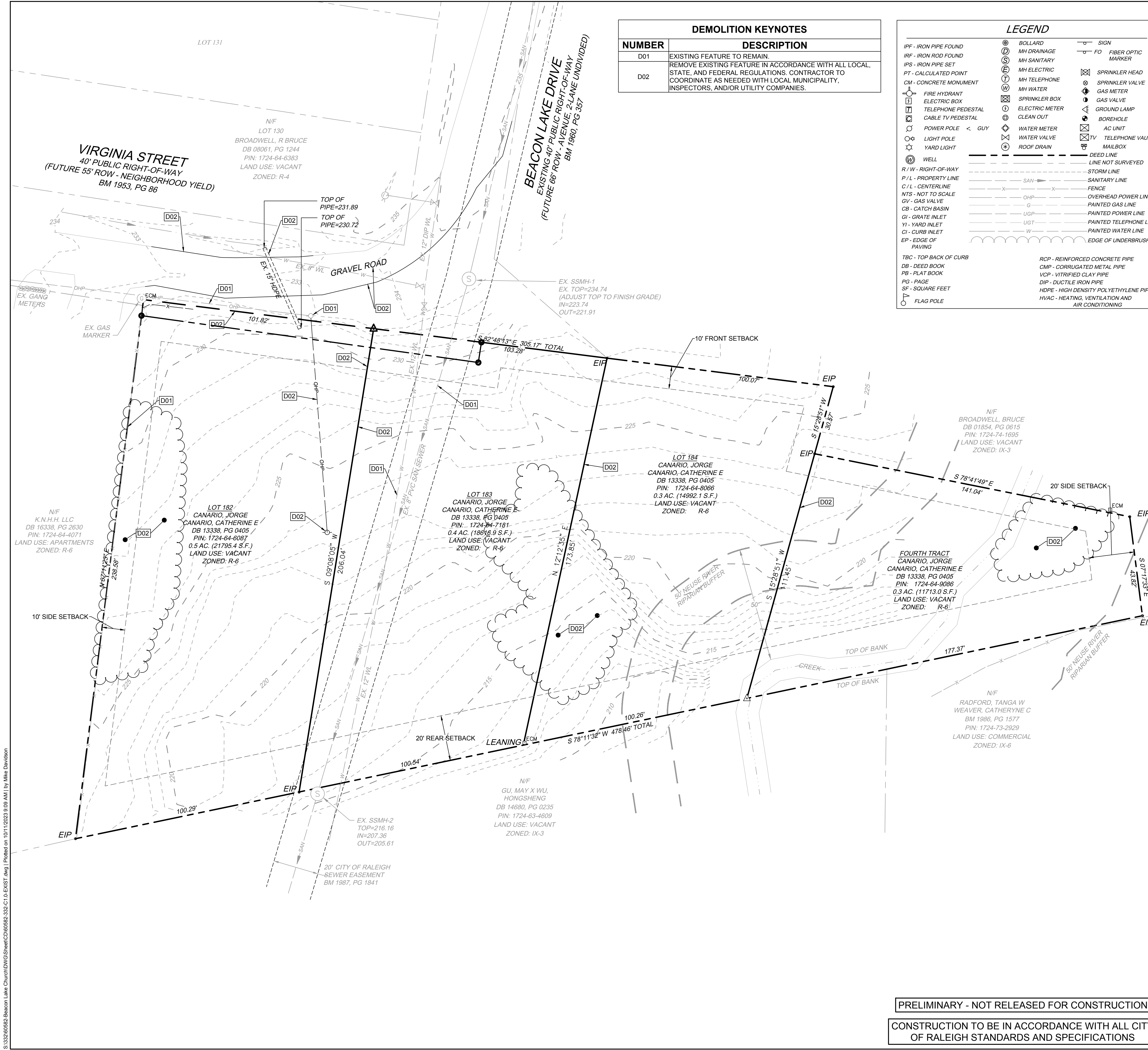
PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS



Subject: Will Serve Letter
 C/O Alexis Pocal
 Timmons Group
 5410 Trinity Rd, Suite 102
 Raleigh, NC 27607
 To Whom It May Concern:
 Meridian Waste Services will ser
 Dr. (a Single Story Church Buildi
 workman like manner consistent
 will provide Temporary Construc
 Waste MSW and Recycle Services
 Please feel to reach out to me if y
 Respectfully,
 Jeff Moody
 Meridian Waste Services
 Triangle Market Sales Manager
 Jmoody@meridianwaste.com
 (919) 785 8139

MeridianWaste.com



DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D01	EXISTING FEATURE TO REMAIN.
D02	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.

LEGEND		
IPF - IRON PIPE FOUND	⊙ BOLLARD	— SIGN
IRF - IRON ROD FOUND	⊙ MH DRAINAGE	— FO FIBER OPTIC MARKER
IPS - IRON PIPE SET	⊙ MH SANITARY	⊙ SPRINKLER HEAD
PT - CALCULATED POINT	⊙ MH ELECTRIC	⊙ SPRINKLER VALVE
CM - CONCRETE MONUMENT	⊙ MH TELEPHONE	⊙ GAS METER
⊙ FIRE HYDRANT	⊙ MH WATER	⊙ GAS VALVE
⊙ ELECTRIC BOX	⊙ SPRINKLER BOX	⊙ GROUND LAMP
⊙ TELEPHONE PEDESTAL	⊙ ELECTRIC METER	⊙ BOREHOLE
⊙ CABLE TV PEDESTAL	⊙ CLEAN OUT	⊙ AC UNIT
⊙ POWER POLE < GUY	⊙ WATER METER	⊙ TELEPHONE VAULT
⊙ LIGHT POLE	⊙ WATER VALVE	⊙ MAILBOX
⊙ YARD LIGHT	⊙ ROOF DRAIN	— DEED LINE
⊙ WELL	— LINE NOT SURVEYED	— STORM LINE
R/W - RIGHT-OF-WAY	— SANITARY LINE	— FENCE
P/L - PROPERTY LINE	— OVERHEAD POWER LINE	— PAINTED GAS LINE
C/L - CENTERLINE	— G	— PAINTED POWER LINE
NTS - NOT TO SCALE	— UGP	— PAINTED TELEPHONE LINE
GV - GAS VALVE	— UGT	— W
CB - CATCH BASIN	— W	— EDGE OF UNDERBRUSH
GI - GRATE INLET	— W	
YI - YARD INLET		
CI - CURB INLET		
EP - EDGE OF PAVING		
TBC - TOP BACK OF CURB	RCP - REINFORCED CONCRETE PIPE	
DB - DEED BOOK	CMP - CORRUGATED METAL PIPE	
PB - PLAT BOOK	VCP - VITRIFIED CLAY PIPE	
PG - PAGE	DIP - DUCTILE IRON PIPE	
SF - SQUARE FEET	HDPE - HIGH DENSITY POLYETHYLENE PIPE	
⊙ FLAG POLE	HVAC - HEATING, VENTILATION AND AIR CONDITIONING	

- ### DEMOLITION NOTES
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE. CONTRACTOR TO OBTAIN, REFERENCE, AND UTILIZE ALL AVAILABLE ENVIRONMENTAL REPORTS (PHASE 1 ESA, ASBESTOS, ETC.) FROM DEVELOPER.
 - ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
 - REMOVE/DEMOLISH/ABANDON AFTER EROSION CONTROL MEASURES ARE IN PLACE AN APPROVAL OF THE INSPECTOR. REFER TO EROSION CONTROL PLAN.
 - REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
 - DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
 - ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
 - SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
 - THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
 - CONTRACTOR TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 - WATER AND SEWER ABANDONMENT SHALL BE DONE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS INCLUDING DISCONNECT FROM THE MAIN AND REMOVAL OF SERVICES FROM THE RIGHT-OF-WAY.
 - ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER.
 - VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 - CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
 - EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
 - GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE DEVELOPER.
 - CONTRACTOR SHALL NOTIFY APPROPRIATE DEPARTMENTS PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY.

- ### SURVEY NOTES
- EXISTING CONDITIONS SHOWN ARE BASED ON FIELD SURVEY PERFORMED BY ANGLE RIGHT LAND SURVEYING, PLLC, AND WAKE COUNTY GIS DATA.
 - ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
 - BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 2007).
 - VERTICAL DATUM SHOWN HEREON IS NAVD88.
 - OTHER SOURCES OF INFORMATION INCLUDE WAKE COUNTY GIS.
 - NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #3720172400J (EFFECTIVE 05-02-2006).
 - RECORDED PROPERTY DATA:
 - DB 013338 PG 00405
 - EXISTING IMPERVIOUS AREA = 0.00 ACRES
 - THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 811.

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
BEACON LAKE CHURCH
 RALEIGH - WAKE COUNTY - NC
EXISTING CONDITIONS & DEMOLITION PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

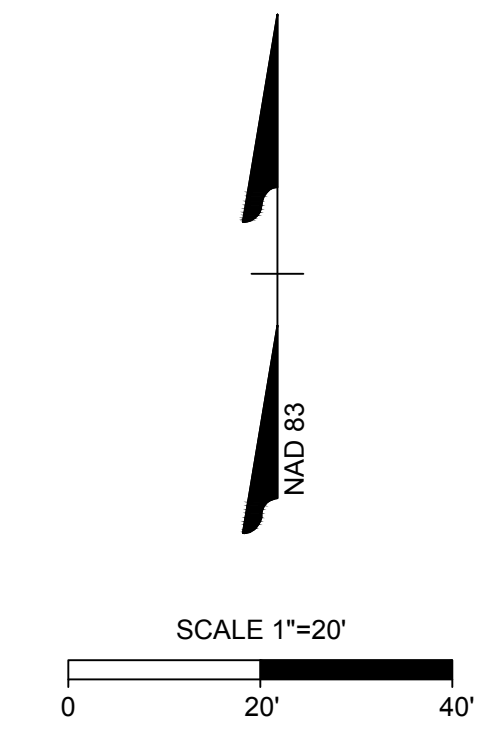
YOUR VISION ACHIEVED THROUGH OURS.	REVISION DESCRIPTION
DATE	DATE
10/11/2023	DATE
DRAWN BY	332
M.DAVIDSON	DESIGNED BY
CHECKED BY	M.DAVIDSON
SCALE	AS SHOWN

JOB NO.
60582

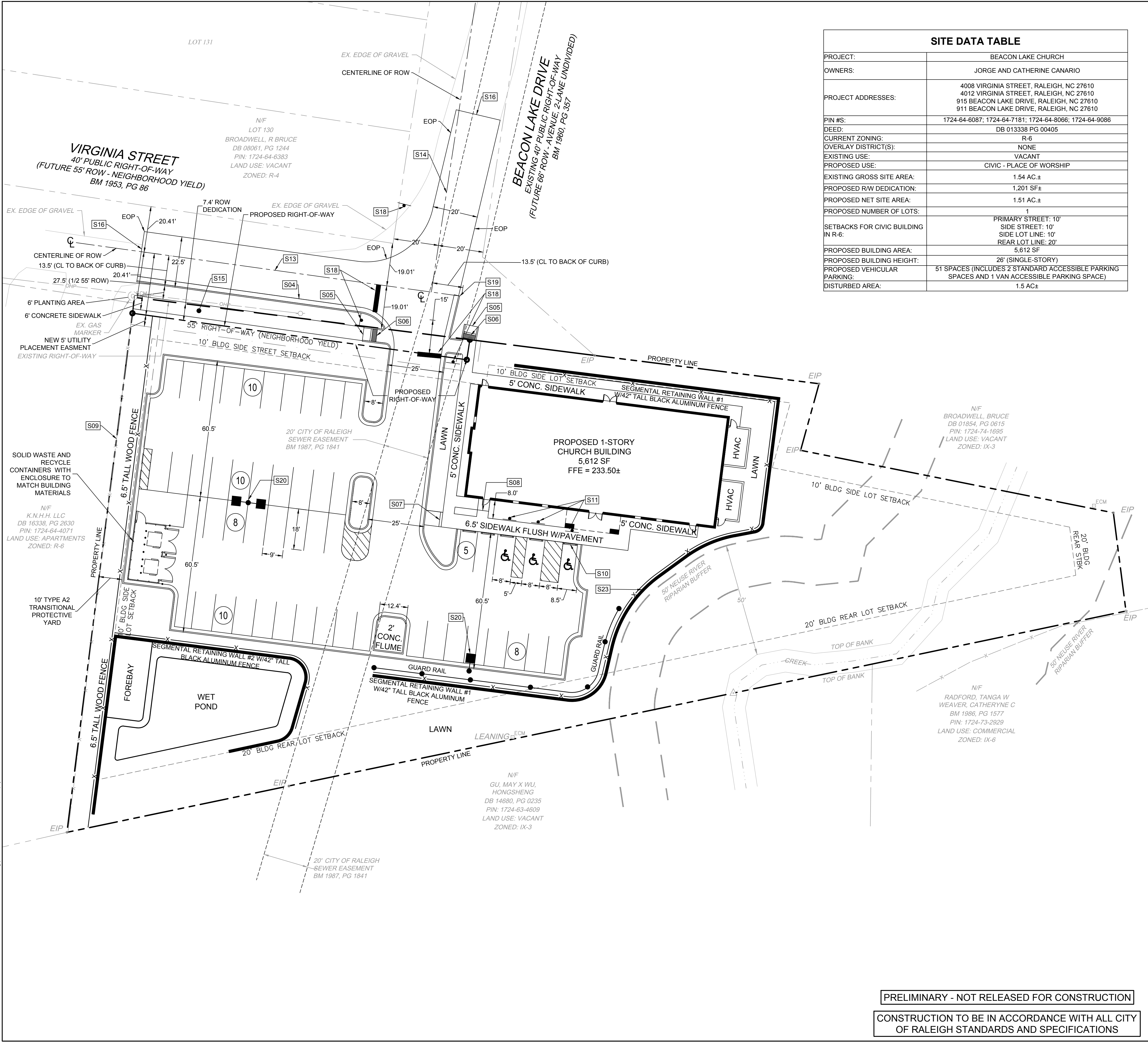
SHEET NO.
C1.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

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SITE DATA TABLE	
PROJECT:	BEACON LAKE CHURCH
OWNERS:	JORGE AND CATHERINE CANARIO
PROJECT ADDRESSES:	4008 VIRGINIA STREET, RALEIGH, NC 27610 4012 VIRGINIA STREET, RALEIGH, NC 27610 915 BEACON LAKE DRIVE, RALEIGH, NC 27610 911 BEACON LAKE DRIVE, RALEIGH, NC 27610
PIN #S:	1724-64-6087; 1724-64-7181; 1724-64-8066; 1724-64-9086
DEED:	DB 013338 PG 00405
CURRENT ZONING:	R-6
OVERLAY DISTRICT(S):	NONE
EXISTING USE:	VACANT
PROPOSED USE:	CIVIC - PLACE OF WORSHIP
EXISTING GROSS SITE AREA:	1.54 AC±
PROPOSED R/W DEDICATION:	1,201 SF±
PROPOSED NET SITE AREA:	1.51 AC±
PROPOSED NUMBER OF LOTS:	1
SETBACKS FOR CIVIC BUILDING IN R-6:	PRIMARY STREET: 10' SIDE STREET: 10' SIDE LOT LINE: 10' REAR LOT LINE: 20'
PROPOSED BUILDING AREA:	5,612 SF
PROPOSED BUILDING HEIGHT:	28' (SINGLE-STORY)
PROPOSED VEHICULAR PARKING:	51 SPACES (INCLUDES 2 STANDARD ACCESSIBLE PARKING SPACES AND 1 VAN ACCESSIBLE PARKING SPACE)
DISTURBED AREA:	1.5 AC±

- SITE LAYOUT NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 - AT LEAST 3-12 BUSINESS DAYS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
 - ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF RALEIGH. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
 - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
 - ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYP-03.
 - PER TC-SA-18, THE PRIMARY STREET DESIGNATION WILL BE BEACON LAKE DRIVE.

SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
S01	RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	RIGHT-OF-WAY DEDICATION, VARIABLE WIDTH
S04	30" CONCRETE CURB & GUTTER; REFER TO NCDOT 846.01
S05	SIDEWALK RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S06	DETECTABLE WARNINGS PER ADA REQUIREMENTS
S07	CONCRETE STAIRS WITH 2 EQUAL RISERS
S08	CONCRETE STAIR WITH 1 RISER
S09	EXISTING FENCE TO REMAIN
S10	CONCRETE WHEEL STOPS (5)
S11	ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL CODES); R7-8A (MUTCD)
S13	VIRGINIA STREET CENTERLINE
S14	BEACON LAKE DRIVE CENTERLINE
S15	6' WIDE 4" THICK CONCRETE SIDEWALK
S16	MATCH EXISTING PAVEMENT ELEVATION
S18	2" WIDE STOP BAR AND "STOP" SIGN; R1-1 (MUTCD)
S19	END 30" CURB AND GUTTER
S20	LIGHT POLE BASE

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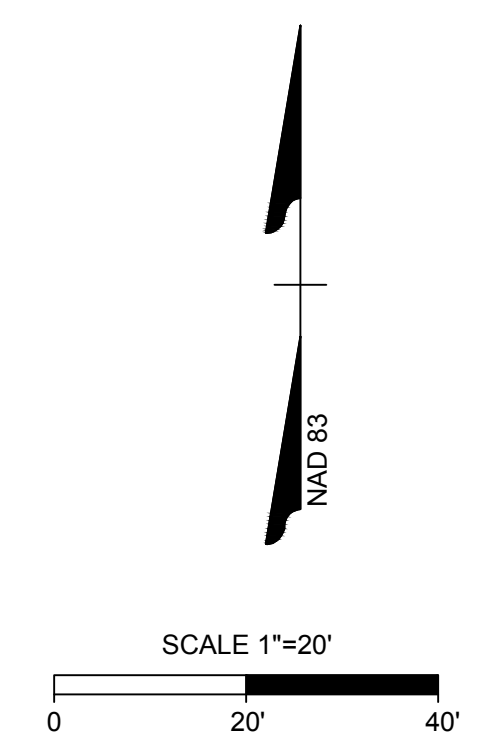
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TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652
BEACON LAKE CHURCH
 RALEIGH - WAKE COUNTY - NC
PRELIMINARY SITE PLAN

JOB NO.
60582
 SHEET NO.
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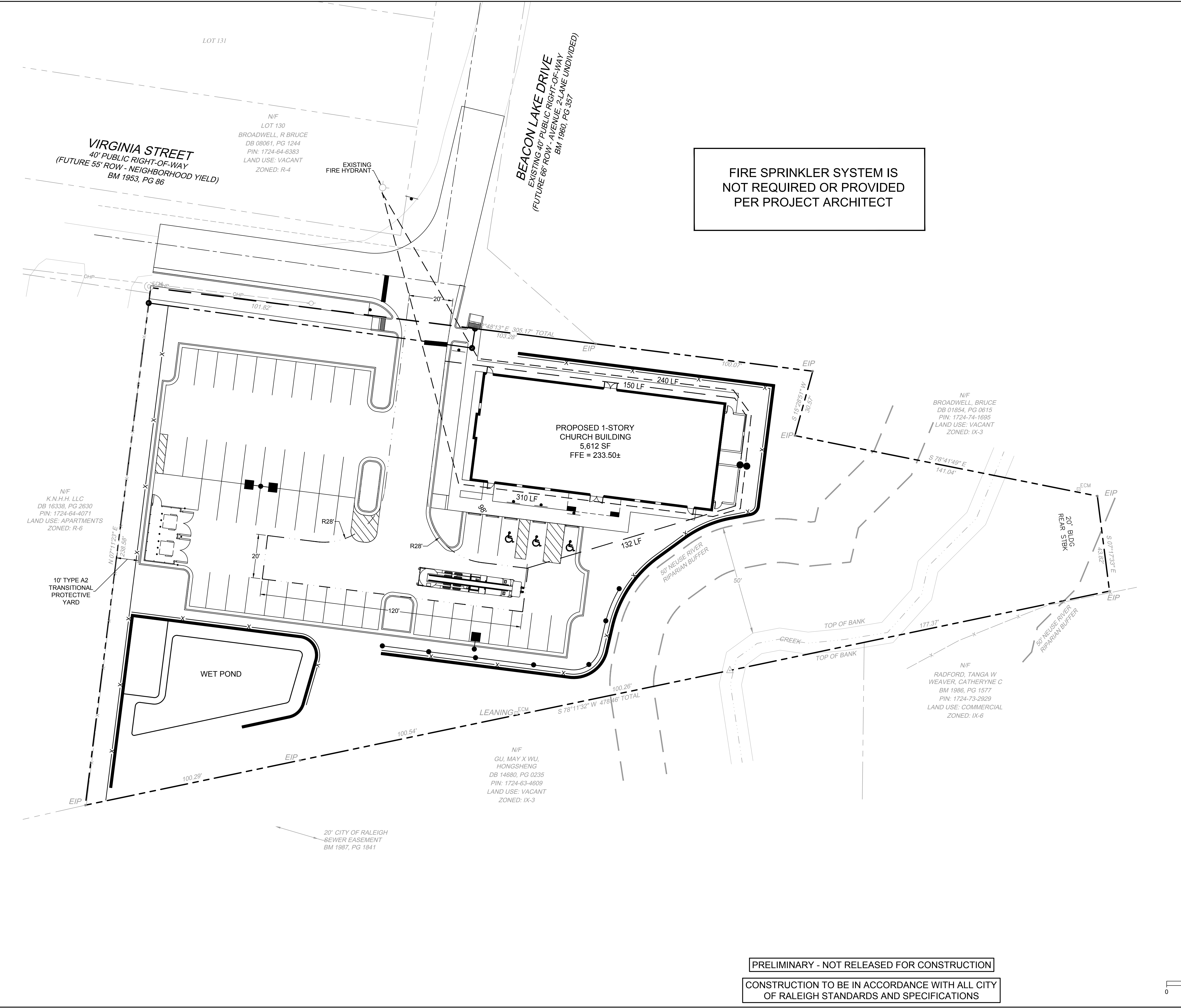
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FIRE APPARATUS ACCESS EXHIBIT

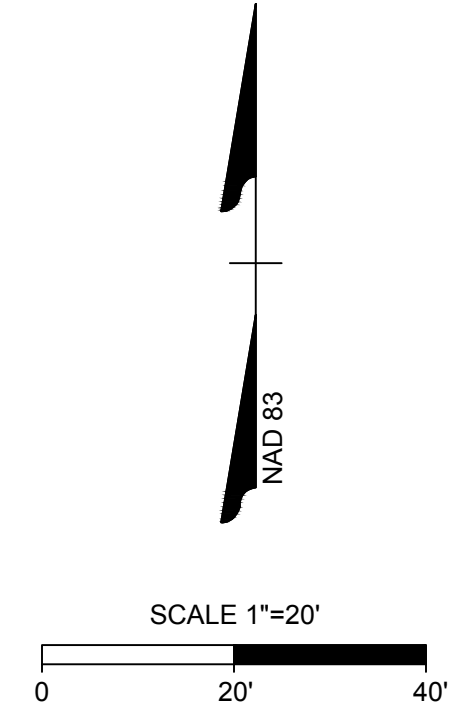
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FIRE SPRINKLER SYSTEM IS
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GRADING & STORMWATER KEYNOTES	
NUMBER	DESCRIPTION
G01	CATCH BASIN (TYP.)
G02	FLARED END SECTION (TYP.)
G03	JUNCTION BOX (TYP.)
G04	NEW RTCB (13.5' FROM CENTERLINE)
G05	CONCRETE STAIRS WITH 2 EQUAL RISERS
G06	CONCRETE STAIRS WITH 1 RISER
G07	SIDEWALK (ADA ACCESS ROUTE MAX CROSS SLOPE 1:50; MAX LONG. SLOPE 1:20)
G08	INLINE ADA RAMP (TYP.)
G09	MATCH EXISTING PAVEMENT ELEVATION
G10	SPLIT-FACE BLOCK SEGMENTAL RETAINING WALL #1 WITH 42" ALUMINUM FENCE (DESIGN BY OTHERS)
G13	ADA ACCESS ROUTE (MAX CROSS SLOPE 1:50; MAX LONG. SLOPE 1:20)
G14	STORM PIPE (TYP.)
G15	24" CURB & GUTTER (TYP.)
G16	30" CURB & GUTTER (TYP.)
G17	ADA STALLS (MAX SLOPE 1:50)
G18	EXISTING CENTERLINE OF DITCH
G19	RISER STRUCTURE

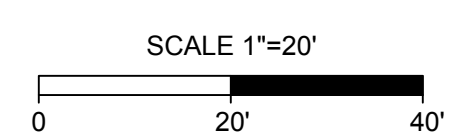
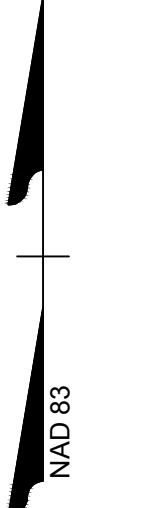
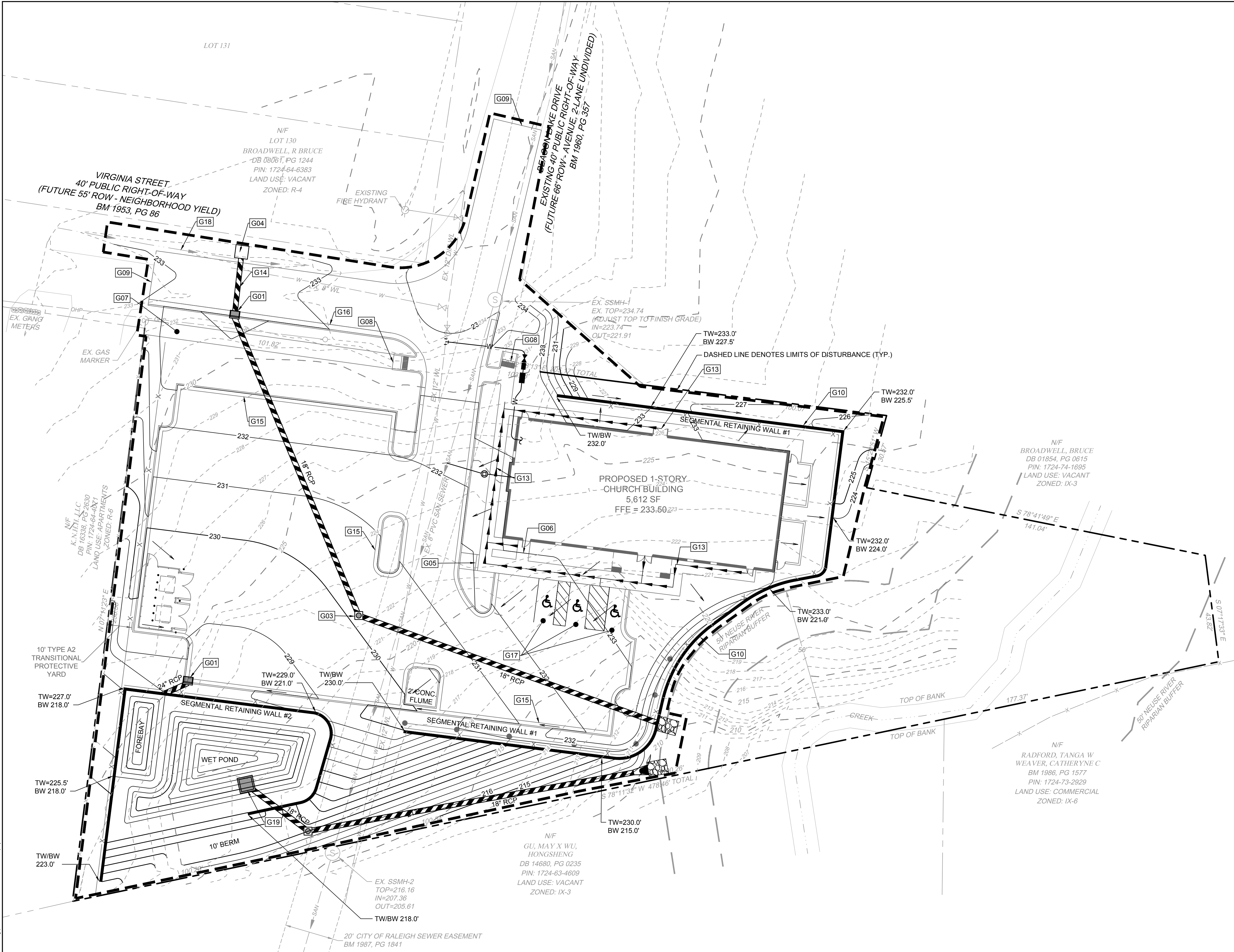
SPOT ELEVATION LEGEND	
TC	= TOP OF CURB
ME	= MATCH EXISTING
GND	= GROUND
SWK	= SIDEWALK
TW	= TOP OF WALL
BW	= BOTTOM OF WALL
HP	= HIGH POINT
FC	= FLUSH CURB
EP	= EDGE OF PAVEMENT
PVMT	= PAVEMENT

- NOTES:
- TOP REFERS TO:
 - CATCH BASIN: TOP OF CURB
 - YARD INLET: SILL
 - SD* - SEE RISER DETAIL

LIMITS OF DISTURBANCE = 1.5 AC

GRADING AND STORM DRAINAGE NOTES

- CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (811) AT LEAST 3 DAYS PRIOR TO DIGGING TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CATCH BASINS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- A LAND DISTURBING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISHED GRADE.
- ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY.
- ALL SPOT ELEVATIONS INDICATED ARE AT TOP OF CURB UNLESS NOTED OTHERWISE. ALL ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88.
- A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO ANY WORK, GRADING OR INSTALLATION OF EROSION CONTROL MEASURES.
- CONTRACTOR TO IDENTIFY ALL NECESSARY SPILL CURB SECTION LOCATIONS AND INSTALL TO ENSURE POSITIVE DRAINAGE TO STORM STRUCTURES.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
- THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR OR THE ENGINEER.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
- ALL CATCH BASINS MUST BE MARKED "DUMP NO WASTE DRAINS TO STREAM" OR EQUIVALENT.



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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, STANDARDS, SPECIFICATIONS, AND DETAILS

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NORTH CAROLINA LICENSE NO. C-1652
BEACON LAKE CHURCH
RALEIGH - WAKE COUNTY - NC
PRELIMINARY GRADING & DRAINAGE PLAN

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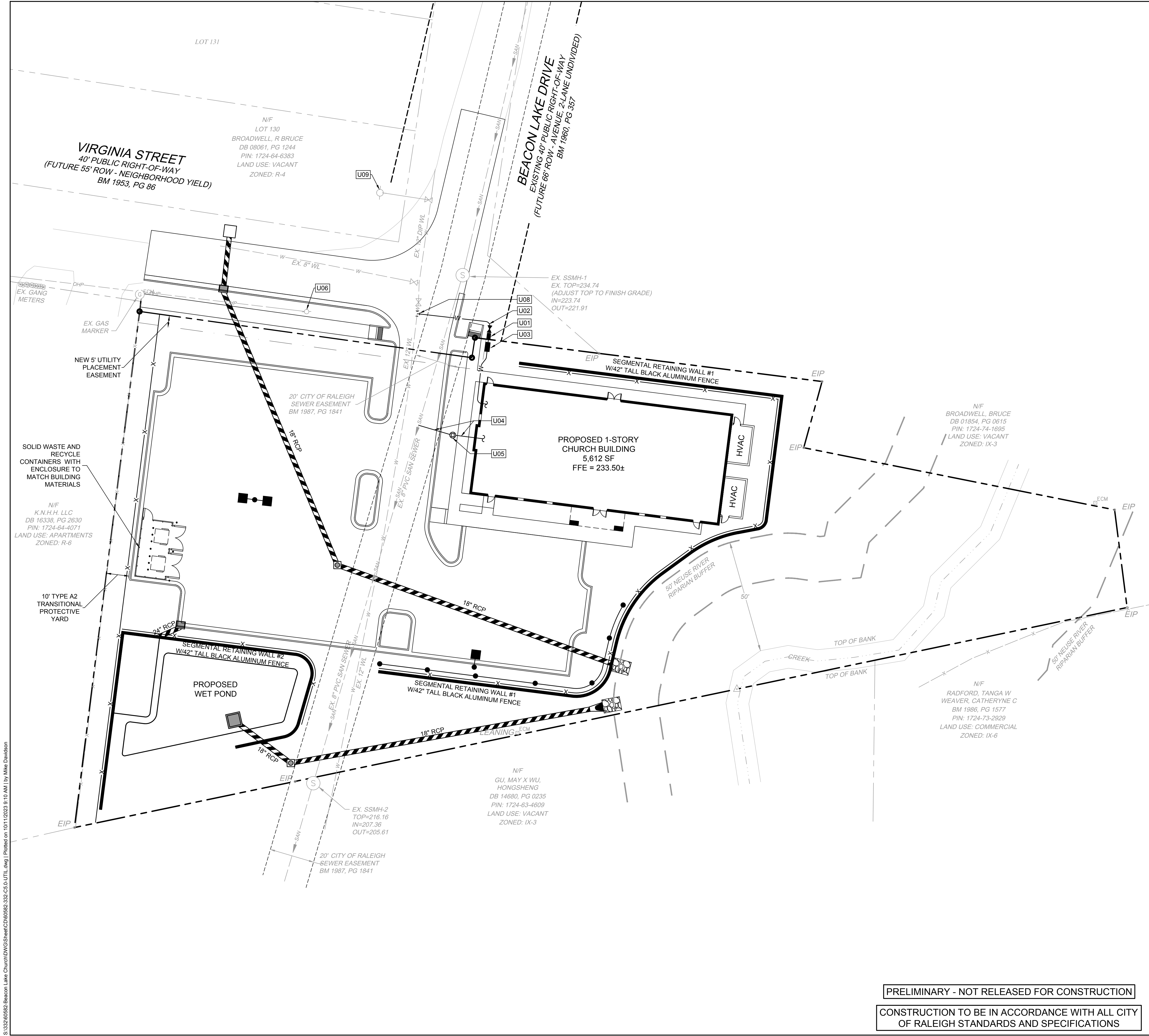
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UTILITY KEYNOTES	
NUMBER	DESCRIPTION
U01	1" WATER METER AND CURB STOP
U02	1" TYPE "K" SOFT COPPER DOMESTIC WATER SERVICE (TYP.)
U03	1" DOMESTIC RPZ BACKFLOW PREVENTION (1" WATTS LF009M2QT OR AS APPROVED BY CITY OF RALEIGH) IN ABOVE GROUND FREEZE-PROOF ENCLOSURE
U04	4" PVC SANITARY SEWER SERVICE (TYP.)
U05	CLEANOUT (TYP.), TRAFFIC RATED IF LOCATED WITHIN PAVEMENT; REFER TO DETAIL.
U06	EXISTING OVERHEAD UTILITY LINE AND POWER POLE. ADJUST GUY WIRES PER NEW SIDEWALK.
U07	COORDINATE WITH WATER DEPARTMENT TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
U08	1" X 12" TAPPING SLEEVE & VALVE
U09	EXISTING FIRE HYDRANT
U10	EXISTING SANITARY SEWER MANHOLE (TYP.)

- UTILITY NOTES**
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
 - CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
 - ALL ILLUSTRATED UTILITY INFRASTRUCTURE IS DIAGRAMMATIC AND MAY NOT REPRESENT THE ACTUAL SIZE OF INFRASTRUCTURE. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 - CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. McDONALD, OR TRUMBULL.
 - SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
 - ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
 - METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
 - A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
 - BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY ANGLE RIGHT LAND SURVEYING, LLC.

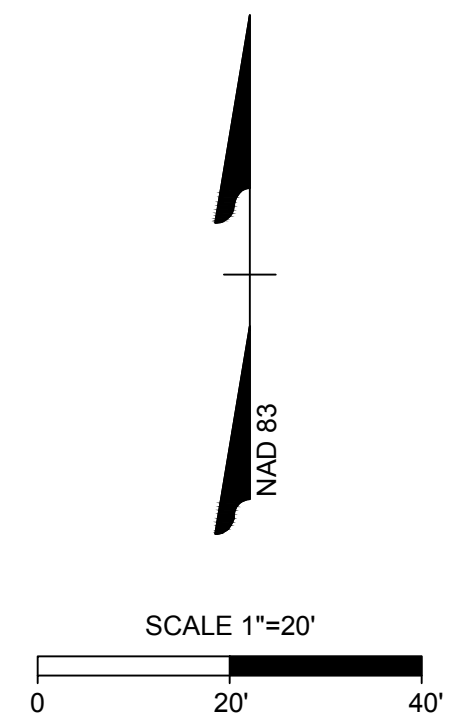
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PRELIMINARY UTILITY PLAN

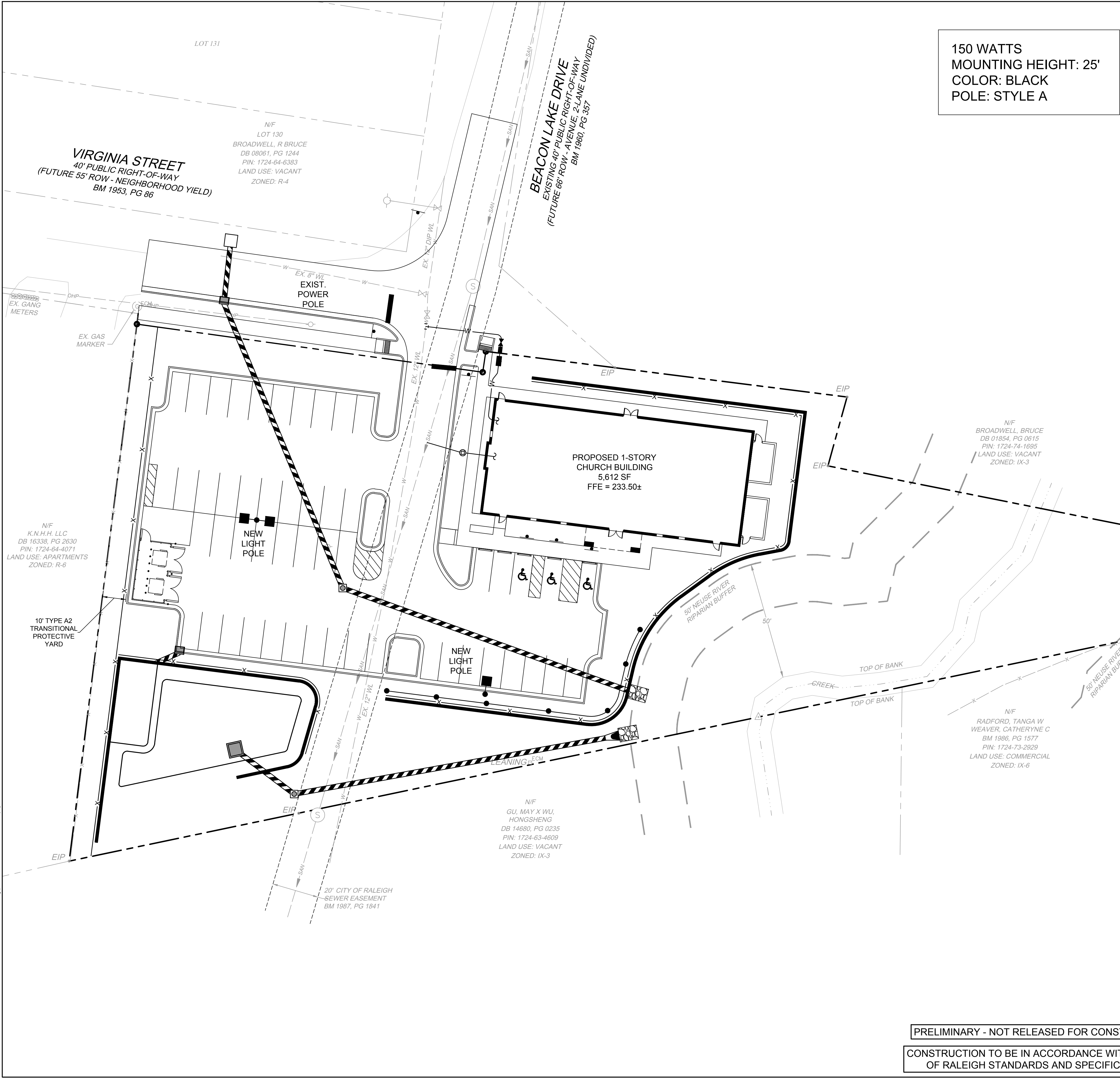
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150 WATTS
MOUNTING HEIGHT: 25'
COLOR: BLACK
POLE: STYLE A

Outdoor Lighting

SHOEBOX LED



LED (Light-emitting diode) 150/220/420/530 watts
 Mounting height 25' - 35'
 Color Black, Bronze, Gray (Special conditions)
 Pole Wood, Style A

FIXTURE	WATTS	LUMENS	PATTERN	BUG RATING
Shoobox	150	19,007	III	B3-U0-G3
		18,460	IV	B3-U0-G4
Shoobox	220	19,580	V	B5-U0-G3
		23,744	III	B3-U0-G4
Shoobox	420	23,061	IV	B3-U0-G4
		24,461	V	B5-U0-G3
Shoobox	530	41,379	IV	B3-U0-G5
		45,858	V	B5-U0-G5
Shoobox		51,429	IV	B3-U0-G5
		57,009	V	B5-U0-G5

Light Distribution Patterns: Type III, Type IV, Type V

POLE AVAILABLE	MOUNTING HEIGHT	FOUNDATION
Style A	25', 30', 35'	Direct Bury, Anchor Base
Wood	25', 30', 35'	Direct Bury

DUKE ENERGY

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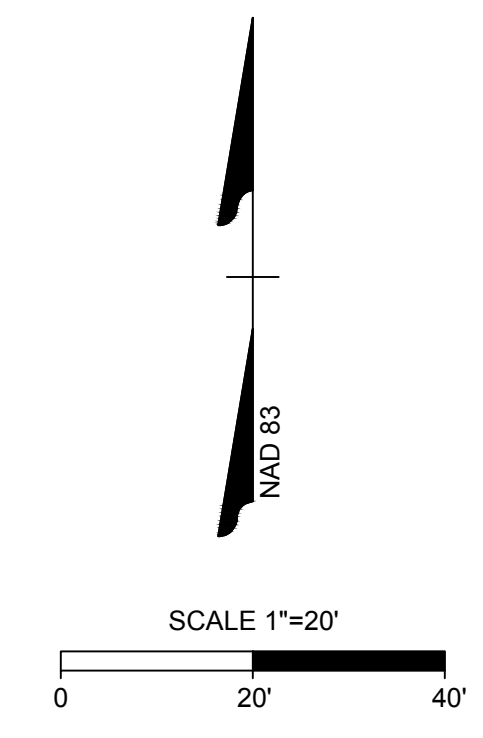
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 RALEIGH - WAKE COUNTY - NC
 OUTDOOR LIGHTING PLAN

JOB NO. 60582
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PRELIMINARY PRELIMINARY LANDSCAPE PLAN

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PLANT SCHEDULE					
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT
AB	4	ACER BUERGERIANUM	TRIDENT MAPLE	3" CAL., 10' HT.	B&B
CP	4	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORN	3" CAL., 10' HT.	B&B
IO	6	ILEX OPACA	AMERICAN HOLLY	10' HT.	B&B
UP	3	ULMUS PARVIFOLIA 'BOSQUE'	CHINESE ELM	3" CAL., 10' HT.	B&B
UNDERSTORY TREES					
CK	6	CORNUS KOUSA	CHINESE DOGWOOD	1.5" CAL., 6' HT.	B&B
LIM	2	LAGERSTROEMIA 'MIAMI'	MIAMI CRAPE MYRTLE (SINGLE-STEM)	1.5" CAL., 6' HT.	B&B
LIN	4	LAGERSTROEMIA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE (SINGLE-STEM)	1.5" CAL., 6' HT.	B&B
MG	4	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	6' HT.	B&B
SHRUBS					
ICB	28	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORDII HOLLY	18" HT.	CONT.
INS	12	ILEX X 'NELLIE STEVENS'	NELLIE STEVENS HOLLY	36" HT.	CONT.

LANDSCAPE CALCULATIONS:

STREET TREES:

REQUIREMENTS: 1 UNDERSTORY TREE PER 20 LF ROW FRONTAGE UNDERNEATH EXISTING OVERHEAD POWERLINES

115 LF ROW FRONTAGE / 20 LF / 1 UNDERSTORY TREE = 6 UNDERSTORY TREES REQUIRED/PROVIDED

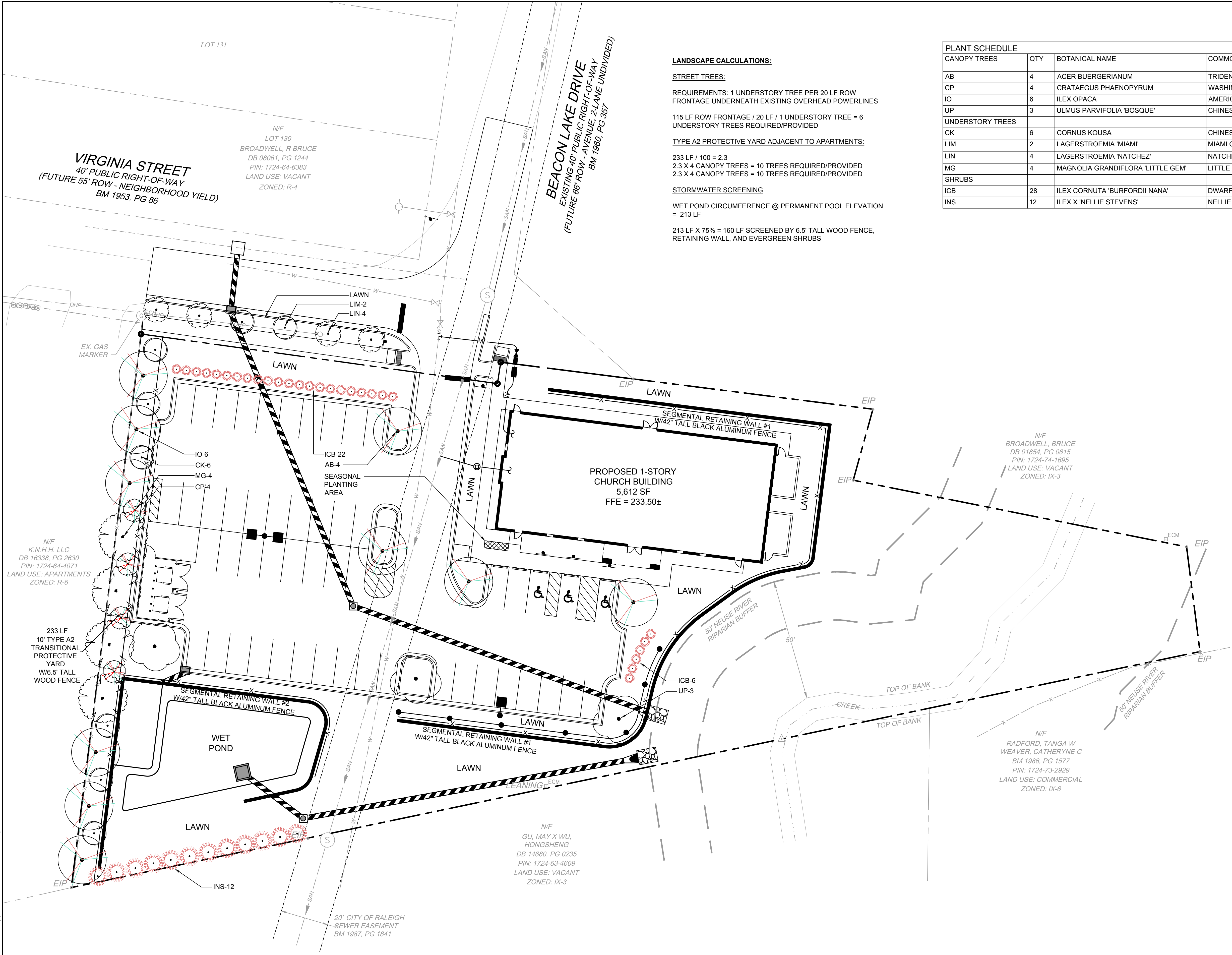
TYPE A2 PROTECTIVE YARD ADJACENT TO APARTMENTS:

233 LF / 100 = 2.3
2.3 X 4 CANOPY TREES = 10 TREES REQUIRED/PROVIDED
2.3 X 4 CANOPY TREES = 10 TREES REQUIRED/PROVIDED

STORMWATER SCREENING

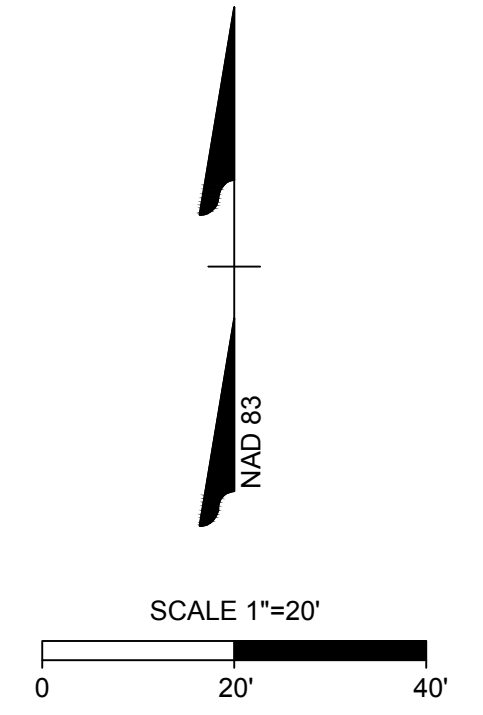
WET POND CIRCUMFERENCE @ PERMANENT POOL ELEVATION = 213 LF

213 LF X 75% = 160 LF SCREENED BY 6.5' TALL WOOD FENCE, RETAINING WALL, AND EVERGREEN SHRUBS

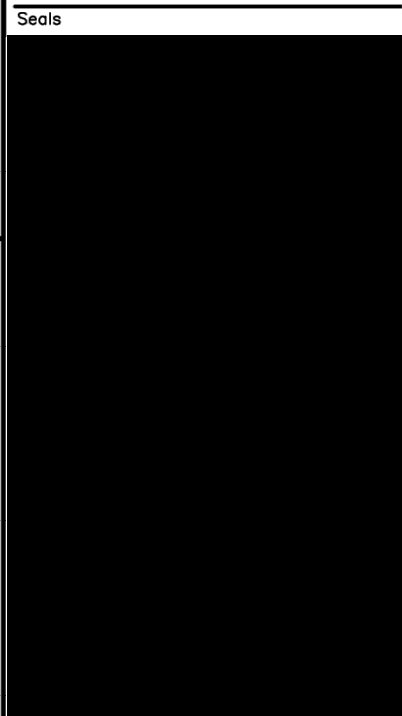


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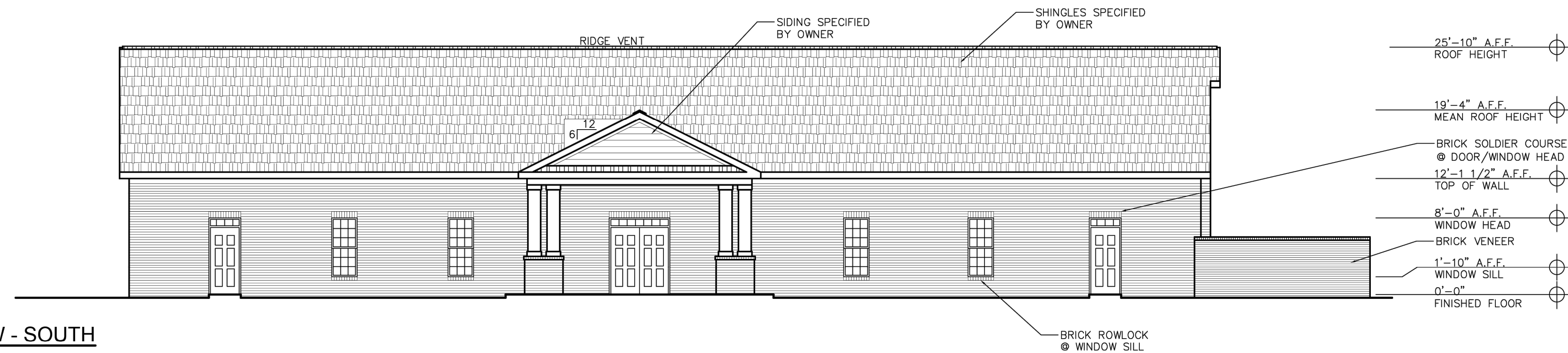
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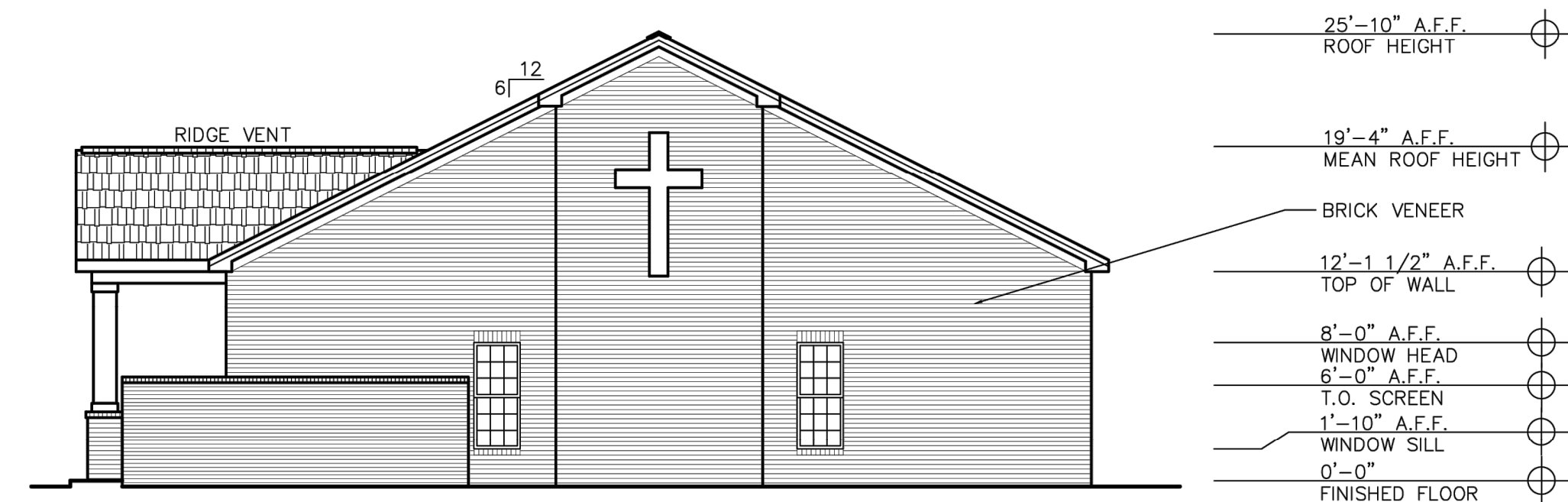
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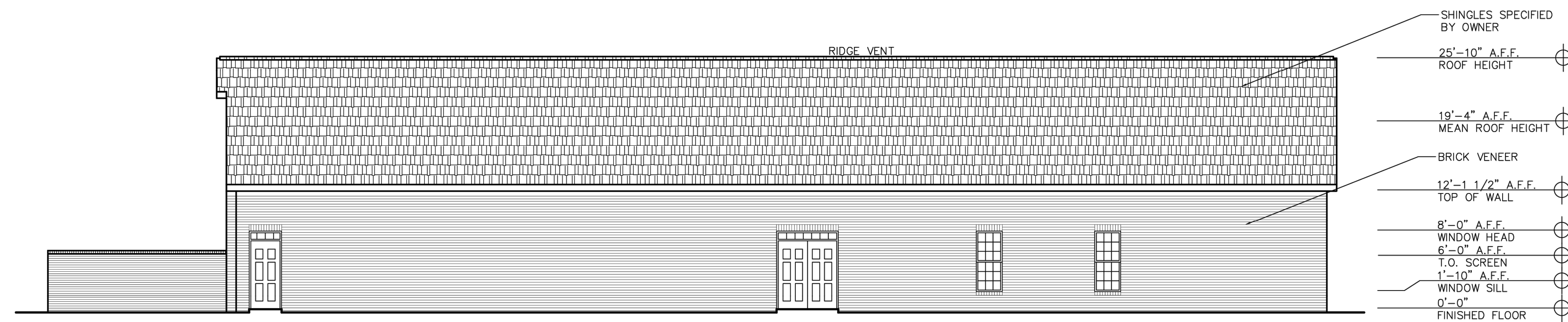
Consultants



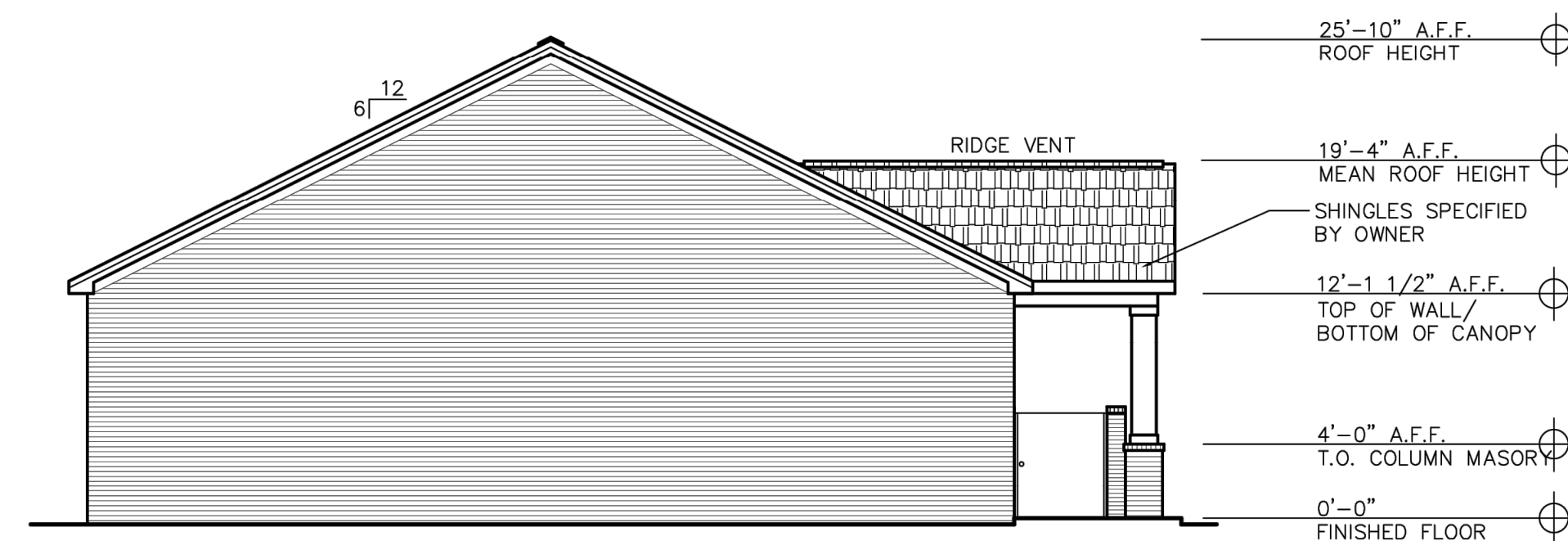
A2 FRONT VIEW - SOUTH
A-3.01 SCALE: 1/8"=1'-0"



B2 RIGHT SIDE VIEW - EAST
A-3.01 SCALE: 1/8"=1'-0"



C2 REAR VIEW - NORTH
A-3.01 SCALE: 1/8"=1'-0"



D2 LEFT SIDE VIEW - WEST
A-3.01 SCALE: 1/8"=1'-0"

No.	Revision	Date
1	Plan Review	12/21/2017
2	For Permitting & Construction	03/22/18
3	For Permitting & Construction	08/01/16

15056 A-3.01.dwg T.BMR
File Name: Drawn By

Client/ Project
Jorge Conrilo
IGLESIA CRISTIANA
CASA DE RESTAURACION
Raleigh, NC

Sheet Title
EXTERIOR ELEVATIONS

Project No. 15056 Scale AS NOTED
Revision 1 Drawing No. A-3.01