

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input type="checkbox"/>	
Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION	
Development name: _____	
Inside City limits? Yes <input type="checkbox"/> No <input type="checkbox"/>	
Property address(es): _____	
Site P.I.N.(s): _____	
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). 	
Current Property Owner(s):	
Company: _____	Title: _____
Address: _____	
Phone #: _____	Email: _____
Applicant Name (If different from owner. See “who can apply” in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner’s authorized agent <input type="checkbox"/> Easement holder	
Company: _____	Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Nicole Frazier</i>	Date: 09/10/2024
Printed Name: Nicole Frazier	
Signature:	Date:
Printed Name:	

GENERAL CONSTRUCTION NOTES:

- TOPOGRAPHICAL DATA PERFORMED BY MCADAMS. SITE BENCHMARK IS AVAILABLE FROM SURVEYOR. CONTOURS SHOWN HEREON ARE FROM AN ACTUAL FIELD SURVEY. BOUNDARY INFORMATION SUPPLIED BY OWNER AND SHOWN FOR REFERENCE ONLY. CONSULT PLS FOR ACTUAL BOUNDARY DATA.
- ALL WORK, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- ALL WORK, CONSTRUCTION AND MATERIALS WITHIN NCDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE 2018 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
- ALL RIGHT OF WAYS SHALL BE PUBLIC.
- THIS SITE IS LOCATED IN A FLOOD HAZARD ZONE X PER FEMA MAP 3720170400J DATED 05/02/06.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT RIGHT-OF-WAY. TRAFFIC CONTROL SHALL BE MAINTAINED AT ALL TIMES WITH PROPER SIGNAGE, SIGNALS, LIGHTING, FLAGMEN. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/SEWER PERMITS, ETC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED. CONTACT THE NC ONE CALL CENTER AT LEAST 48 HOURS PRIOR TO DIGGING @ 1.800.632.4949. UNDERGROUND LINES SHOWN HEREON ARE APPROXIMATE OR AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. THE SURVEYOR DOES NOT GUARANTEE THAT ANY UNDERGROUND STRUCTURES SUCH AS UTILITIES, TANKS AND PIPES ARE LOCATED HEREON.
- THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY CITY OR NCDOT DAMAGED PROPERTY. THE CONTRACTOR SHALL REPAIR THE DAMAGED PROPERTY TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE AGENCY HOLDING JURISDICTION AT NO COST TO THE OWNER.
- ANY DAMAGE DONE TO PRIVATE PROPERTY OWNERS SIGNS, MAILBOX, DRIVEWAY CULVERTS, OR OTHER PROPERTY SHALL BE RESTORED TO ORIGINAL CONDITION.
- CONTRACTOR IS RESPONSIBLE FOR FENCING AND SECURITY OF HIS LAYDOWN AND STORAGE AREA.
- CONTRACTOR SHALL KEEP ALL ROADS FREE OF DIRT AND DEBRIS AT ALL TIMES.
- CONTRACTOR SHALL PROTECT EXISTING PAVEMENTS AND UTILITIES FROM HEAVY EARTH MOVING EQUIPMENT. PROVIDE TRAFFIC CONTROL AND ADEQUATE PROTECTION METHODS AT ALL EQUIPMENT CROSSINGS.
- ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
- ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF ALL STICKS, ROCKS, AND CLUMPS OF MUD. ALL ROCKS GREATER THAN 3" DURING EXCAVATION SHALL BE REMOVED.
- UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN AN APPROVED, LEGAL DISPOSAL SITE.
- CONCRETE SIDEWALKS THAT ARE TO BE REMOVED SHALL BE CUT BACK TO NEAREST EXPANSION OR CONTROL JOINT AND REPLACED WITH 4-INCH CONCRETE SIDEWALK FINISHED TO MATCH EXISTING SIDEWALKS.
- CONTRACTOR TO COORDINATE WITH CITY OF RALEIGH FOR TEMPORARY WATER NEEDED DURING CONSTRUCTION. IF PERMITTED TO CONNECT TO EXISTING FIRE HYDRANT A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER WILL BE REQUIRED.
- THE TRANSITION OF PROPOSED ROADWAY TO EXISTING ROADWAY SHALL BE DONE WITH A MINIMUM 8-FT TRANSITION WHERE THE EXISTING PAVEMENT IS MILLED TO A MINIMUM DEPTH OF 1-1/2" AND OVERLAID.
- ALL PAVEMENT SAW CUTS SHALL BE NEAT, STRAIGHT AND FULL DEPTH.
- ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 140N OR APPROVED EQUAL).
- ALL EXCESS TOPSOIL AND UNCLASSIFIED EXCAVATION IS TO BE HAULED OFF-SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER TO AN APPROVED NCDENR LOCATION.
- ALL SITE CONSTRUCTION MUST BE INSPECTED BY THE GEOTECHNICAL ENGINEER AT THE FOLLOWING STAGES:
 - COMPLETION OF GRADING SUBGRADE PRIOR TO PLACING STONE BASE.
 - COMPLETION OF STONE PLACEMENT PRIOR TO PAVING.
 - FINAL INSPECTION WHEN ALL WORK IS COMPLETE.

SEPTIC TANK ABANDONMENT NOTES:

- ADHERE TO WAKE COUNTY ENVIRONMENTAL SERVICES WASTEWATER SYSTEM ABANDONMENT PROCEDURES TO ABANDON A WASTEWATER SYSTEM LOCATION. FOLLOW THESE STEPS:
- APPLY FOR AN ABANDONMENT PERMIT. A SITE VISIT WILL BE MADE AND PERMIT WILL BE ISSUED.
 - HAVE AN APPROVED HAULER PUMP THE LIQUID, SLUDGE, AND SCUM FROM ALL THE TANKS IN THE SYSTEM.
 - THE TANK(S) SHOULD BE ABANDONED BY A CERTIFIED SEPTIC INSTALLER, LICENSED PLUMBER, LICENSED PUBLIC UTILITIES CONTRACTOR, OR THE OWNER OF THE PROPERTY WHERE THE TANK(S) IS/ARE LOCATED. THREE WAYS TO ABANDON THE TANKS ARE LISTED BELOW:
 - REMOVE THE TANKS
 - FILL IN THE TANK IN ONE OF TWO WAYS:
 - FILL IN ENTIRE TANK WITH CONCRETE. MUST CAP OFF INLET AND OUTLET PIPE PENETRATIONS FIRST.
 - CAP OFF INLET AND OUTLET PIPE PENETRATIONS WITH CONCRETE, FILL IN ENTIRE TANK WITH SAND OR PEA GRAVEL, AND THEN CAP OFF BOTH INLET AND OUTLET ACCESS OPENINGS WITH CONCRETE.
 - CRUSH TANK IN PLACE. BREAK UP BOTTOM OF TANK SO WATER DOES NOT POND ON TOP. FILL IN AREA WITH SAND OR PEA GRAVEL. PACK MATERIAL TO ENSURE SETTLING COMPLETE.
 - BACKFILL THE EXCAVATION WITH CLEAN CLAY MATERIAL TO NATURAL GRADE AND ESTABLISH A VEGETATIVE COVER.
 - DISCONNECT POWER AT THE SOURCE TO ALL ELECTRICAL CONTROLS AND REMOVE ALL CONTROLS AND PANELS.
 - REMOVE ALL PARTS OF THE DRAINFIELD ON THE GROUND SURFACE (SUCH AS VALVES, VALVE BOXES AND RISERS), BACKFILL THE AREA TO A NATURAL GRADE AND ESTABLISH A VEGETATIVE COVER.
 - COAT ALL SURFACE AREAS EXPOSED TO EFFLUENT WITH HYDRATED LIME AND ESTABLISH A VEGETATIVE COVER.
 - RECOMMEND TO WAIT AT LEAST 18 MONTHS BEFORE USING THE DISPOSAL AREA FOR GARDENING OR CONSTRUCTION.

WELL ABANDONMENT NOTES:

- ALL WATER SUPPLY WELLS SHALL BE PERMANENTLY ABANDONED PER NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES DIVISION OF WATER QUALITY STANDARDS. ABANDONMENT OF WELLS SHALL ADHERE TO TITLE 15A, NORTH CAROLINA ADMINISTRATIVE CODE, CHAPTER 2C, SECTION 0113. TO OBTAIN A COMPLETE COPY OF THESE RULES: <http://reports.oah.state.nc.us/ncac.asp> OR CONTACT THE DIVISION OF WATER RESOURCES AT DENR AQUIFER PROTECTION SECTION 1636 MAIL SERVICE CENTER RALEIGH, NORTH CAROLINA 27699-1636 PHONE: (919) 733-3221 FAX: (919) 715-0588
- WELLS MUST BE ABANDONED BY A CERTIFIED WELL CONTRACTOR.
- THE WELL CONTRACTOR MUST SUBMIT A RECORD OF ABANDONMENT (NCDENR FORM GW-30) TO THE DIVISION OF WATER RESOURCES WITHIN 30 DAYS AFTER COMPLETION OF WELL ABANDONMENT.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

- PRIOR TO PLACING CARB STONE BASE, THE CONTRACTOR SHOULD NOTIFY THE GEOTECHNICAL ENGINEER TO INSPECT THE PROOF ROLL OF THE SUBGRADE. ANY STONE PLACED WITHOUT PRIOR APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO RE-CONSTRUCTION IF SUBGRADE DOES NOT MEET CITY AND NCDOT STANDARDS & SPECIFICATIONS.
- ALL UTILITY SERVICES, (POWER, TELEPHONE, CABLE, ETC.) ARE PROPOSED TO BE UNDERGROUND. DO NOT SEED OR MULCH DISTURBED AREAS UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL COORDINATE WITH THE PRIVATE UTILITY SERVICE COMPANIES FOR ANY REQUIRED CONDUITS OR POINT OF CONTACT CONDITIONS.
- ALL PUBLIC UTILITIES THAT REQUIRE AN ENGINEERING CERTIFICATION MUST BE INSPECTED BY A PROFESSIONAL ENGINEER ON A PERIODIC BASIS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER WHEN INSTALLING UTILITIES FOR PERIODIC INSPECTIONS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AT THE TIME OF PRESSURE TESTING AND WATER LINE DISINFECTION. THE CONTRACTOR SHALL SUPPLY THE PROJECT ENGINEER PRESSURE TEST RESULTS.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE. BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12 INCHES, WHICH EVER IS LESS, CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION TAKEOUT ASSOCIATED WITH THE PROJECT. PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT PLANS TO BE SUBMITTED TO CITY OF RALEIGH AND/OR ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
- THE CONTRACTOR SHALL INCLUDE IN THE PRICE, ANY AND ALL COSTS ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF REQUIRED, DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES, UNDERGROUND UTILITIES, ETC. AS REQUIRED FOR AS-BUILT CERTIFICATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. NCDOT, CITY OF RALEIGH & CURRY ENGINEERING ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
- TESTING BY CONTRACTOR. CONTRACTOR SHALL EMPLOY AT HIS EXPENSE AN OUTSIDE INDEPENDENT SOIL TESTING SERVICE (APPROVED BY THE OWNER) TO PERFORM SOIL TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. COPIES OF RESULTS OF TESTS SHALL BE SUBMITTED BY THE TESTING SERVICE DIRECTLY TO THE CONTRACTOR, THE OWNER, AND THE APPLICABLE APPROVING AGENCY. -THE TESTING SERVICE WILL CLASSIFY PROPOSED ON-SITE AND BORROW SOILS TO VERIFY THAT SOILS COMPLY WITH SPECIFIED REQUIREMENTS AND TO PERFORM REQUIRED FIELD AND LABORATORY TESTING. (MINIMUM REQUIRED SOIL BEARING CAPACITY IS NOTED ON THE STRUCTURAL DRAWINGS). -IN PAVED AND BUILDING SLAB AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 2000 SQUARE FEET OF FILL IN EACH COMPACTED FILL LAYER. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION. -IN FOUNDATION WALL AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH OF FILL IN EACH COMPACTED FILL LAYER, WITH NO LESS THAN TWO TESTS ALONG A WALL FACE. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION.
- COMPACTION. COMPACT EACH LAYER OF BACKFILL AND FILL SOIL MATERIALS AND THE TOP 12" OF SUBGRADE IN CUT AREAS TO 100% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T99 FOR STRUCTURES, SLABS, AND PAVEMENTS AND 95% OF MAXIMUM DENSITY FOR EMBANKMENTS OR UNPAVED AREAS. MAX LIFT THICKNESS FOR FILL AREAS IS 8 INCHES.
- DISTURBED AREA IS IN EXCESS OF 12,000 SQUARE FEET AND FORMAL SEDIMENTATION & EROSION CONTROL PLAN APPROVAL IS REQUIRED AS A CONDITION OF CONSTRUCTION PLAN APPROVAL. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE KEPT ON SITE AT ALL TIMES. THE APPROVED SEDIMENTATION & EROSION CONTROL PLAN SHOULD BE REGARDED AS MINIMUM REQUIREMENTS; ADDITIONAL MEASURES SHALL BE PUT IN PLACE AS NEEDED TO ENSURE THAT NO SEDIMENT IS RELEASED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR PICKING UP AND PAYING FOR GRADING PERMIT ISSUED BY CITY OF RALEIGH.
- DESIGN/FIELD CONDITIONS QUITE EASILY MAY VARY FROM THAT REPRESENTED IN THE INITIAL SOILS REPORT AND/OR TOPOGRAPHICAL REPORT. ISOLATED AREAS MAY SHOW UP WEAK AND ADVERSE SOILS OR GROUNDWATER CONDITIONS MAY BE DISCOVERED THAT WERE NOT REVEALED DURING THE INITIAL SOILS INVESTIGATION. THEREFORE, THE OWNER/CLIENT IS TO BE AWARE THAT CURRY ENGINEERING GROUP, PLLC WILL NOT AND CANNOT BE HELD RESPONSIBLE FOR ANY FAILURES TO EITHER A STREET OR PARKING LOT PAVEMENT DESIGN UNLESS WE CAN BE FULLY AND TOTALLY INVOLVED IN THE CONSTRUCTION PROCESS WHICH MAY INCLUDE, BUT MAY NOT NECESSARILY BE LIMITED TO, TESTING SUBGRADE AND BASE DENSITY, ENGAGING THE GEOTECHNICAL ENGINEER FOR THE EVALUATION OF THE SUBGRADE AND FOR THE OBSERVATION OF PROOF ROLLING SUBGRADE AND BASE AT VARIOUS STEPS OF CONSTRUCTION, OPPORTUNITY FOR THE DESIGN ENGINEER TO CALL IN A GEOTECHNICAL ENGINEER FOR CONSULTATION AND ADVICE, ETC. -STEPS WHICH TAKEN ALTOGETHER WITH THE INITIAL DESIGN SHOWN ON THE PLANS, CONSTITUTE THE COMPLETE DESIGN OF THE ROAD, STREET OF PARKING AREA (PRIVATE OR PUBLIC), THE DESIGN ENGINEER MUST BE GIVEN THE FULL LATITUDE AND OPPORTUNITY TO COMPLETE THE DESIGN BY FULLY PARTICIPATING IN THE CONSTRUCTION PROCESS. PLAN DESIGN IS A SMALL PORTION OF THE DESIGN AND CANNOT BE SEPARATED FROM THE CONSTRUCTION PROCESS IF THE OWNER'S/CLIENT'S DESIRE IS TO HAVE THE DESIGN ENGINEER STAND BEHIND THE COMPLETED DESIGNED PROJECT.

CITY OF RALEIGH TRANSPORTATION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

GENERAL ABBREVIATIONS:

IDENTIFIER	DESCRIPTION	IDENTIFIER	DESCRIPTION
&	CENTERLINE	-M-	
Ø	DIAMETER OR ROUND	MAX	MAXIMUM
ℓ	PROPERTY LINE	MH	MANHOLE
ABC	AGGREGATE BASE ASPH	MIN	MINIMUM
AVE	AGGREGATE BASE ASPH ASPHALT AVENUE	-N-	
N	NORTH	NCDENR	NORTH CAROLINA DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES
-B-	BOULEVARD	NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
BLVD	BOULEVARD	NTS	NOT TO SCALE
BUILDG	BUILDING	-O-	
BOC	BACK OF CURB	OH	OVERHEAD
BW	BOTTOM OF WALL	OCB	OFF-SET CATCH BASIN
-C-		-P-	
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
CI	CURB INLET	PE	POLYETHYLENE
CIP	CAST IRON PIPE	PKWY	PARKWAY
CLS	CLASS	POC	POINT OF CONNECTION
CO	CONTROL JOINT	PVC	POLYVINYL CHLORIDE
CONC	CLEANOUT CONCRETE	-R-	
-D-		R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIA	DIAMETER	R.O.W.	RIGHT OF WAY
DIP	DUCTILE IRON PIPE	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DOM	DOMESTIC	RPZ	REDUCED PRESSURE ZONE
DR	DRIVE	-S-	
-E-		S	SOUTH
(XX)	EXISTING ELEVATION	SD	STORM DRAIN
E	EAST	SDMH	STORM DRAIN MANHOLE
EL	ELEVATION	SDE	SIGHT DISTANCE EASEMENT
EJ	EXPANSION JOINT	SMH	SANITARY SEWER MANHOLE
EOP	EDGE OF PAVEMENT	SS	SANITARY SEWER
EX	EXISTING	STA	STATION
EVAP	EVAPORATIVE	STD	STANDARD
-F-		STL	STAINLESS STEEL
FDC	FIRE DEPARTMENT CONNECTION	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
FES	FLARED END SECTION	-T-	
FFE	FINISHED FLOOR ELEVATION	TB	TOP OF BARRIER
FG	FINISHED GRADE	TC/OC	TOP OF CURB
FH	FIRE HYDRANT	TD	TEMPORARY DIVERSION
FL	FLOW LINE	TH	TEST HEADER
FT	FOOT OR FEET	TOP	TOP OF PIPE
-G-		TP	TOP OF PAD
G	GAS	TPY	TYPICAL
GALV	GALVANIZED	TW	TOP OF WALL
GB	GRADE BREAK	-U-	
GE	GENERAL ELECTRIC	UG	UNDERGROUND
GR	GRADE	-V-	
HDPE	HIGH DENSITY POLYETHYLENE	VEG	VEGETATED
HORIZ	HORIZONTAL	VERT	VERTICAL
HOV	HIGH OCCUPANCY VEHICLE	-W-	
HP	HIGH POINT	W	WEST
-I-		W/	WITH
IAW	IN ACCORDANCE WITH	W/O	WITHOUT
I.H.	INTERSTATE HIGHWAY	-Y-	
INV	INVERT	YI	YARD INLET
-L-			
LEN	LENGTH		
LEV	LOW EMISSION VEHICLE		
LF	LINEAR FEET		
LP	LOW POINT		

SIGNAGE NOTES:

- ALL SIGNS SHALL BE I.W. THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARDS & SPECIFICATIONS.
- ALL SIGNS SHALL BE FABRICATED FROM ALUMINUM ALLOY SHEETS WITH HIGH INTENSITY SHEETING. COLORS SHALL BE RETROREFLECTIVE.
- STOP & STREET SIGNS SHALL BE MOUNTED ON A 3" DIAMETER BLACK POWDER COATED ALUMINUM POST WITH DECORATIVE CAP AND BRACKET.
- ALL OTHER SIGNS SHALL BE MOUNTED ON A 3LB U-CHANNEL GALVANIZED STEEL (12 GAUGE) MOUNTING POST WITH MINIMUM CLEARANCE OF 84". SIGNS SHALL BE BURIED MINIMUM 3.5' FEET IN GROUND WITH A BREAKAWAYS.
- MOUNTING HARDWARE FOR SIGNS SHALL BE GALVANIZED STEEL.
- ALL SIGNS SHALL BE DESIGNATED AS FOLLOWS PER MUTCD STANDARDS.

GOVERNING AGENCIES:

PLANNING/ZONING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA SUITE 304
RALEIGH, NC 27601
919-996-2437

STORMWATER ENGINEERING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:

WATER & SEWER:
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3546 (o)
CONTACT: CYDNEY TERRY
EMAIL: cydney.terry@raleighnc.gov

ELECTRIC:
PROGRESS ENERGY BUSINESS
9920 FAYETTEVILLE ROAD
RALEIGH, NC 27603
919-557-2611 (o)

NATURAL GAS:
PSNC ENERGY - SCANA
3516 SPRING FOREST ROAD
RALEIGH, NC 27616
919-501-7665 (o)
919-501-7685 (f)
CONTACT: CRAIG SCHOLL
EMAIL: cscholl@scana.com

CABLE:
TIME WARNER CABLE
101 INNOVATION AVE.
MORRISVILLE, NC 27660
919-882-4748 (o)
CONTACT: JEFF HUNTER
EMAIL: jeffrey.hunter@twcable.com

REZ Z-17-21 REQUIREMENTS

Z-17-21 – 501, 513, 521, 615 EAST WHITAKER MILL ROAD; 1921, 1925, 1929, 1933 BERNARD STREET, LOCATED ON THE NORTHWEST CORNER OF THE INTERSECTION OF E WHITAKER MILL ROAD AND BERNARD STREET, BEING WAKE COUNTY PINS 1704898505, 1704897093, 1704899293, 1704992012, 1704992224, 1704992310, 1704992318, 1704992414. APPROXIMATELY 17.96 ACRES REZONED TO RESIDENTIAL MIXED USE-FOUR STORIES-CONDITIONAL USE; NEIGHBORHOOD MIXED USE-FIVE STORIES-CONDITIONAL USE; RESIDENTIAL MIXED USE-THREE STORIES-CONDITIONAL USE (RX-4-CU, NX-5-CU, RX-3-CU). CONDITIONS DATED: DECEMBER 16, 2022

THE FOLLOWING CONDITIONS SHALL APPLY TO BOTH THE NX-5-CU, RX-4-CU AND THE RX-3-CU PROPERTIES:

A. THE TOTAL AMOUNT OF DEVELOPMENT ON THE PROPERTY SHALL NOT EXCEED THE INTENSITIES FOR EACH USE AS SET FORTH BELOW:

I. NON-RESIDENTIAL USES OPEN TO THE PUBLIC -28,500 SQUARE FEET GROSS FLOOR AREA. **NO NON-RESIDENTIAL USES PROPOSED AT THIS TIME.**

II. RESIDENTIAL USES -470 DWELLING UNITS. EXCEPT FOR SKILLED NURSING CARE UNITS WHICH MAY SERVICE PEOPLE OF ANY AGE REQUIRING SKILLED NURSING CARE, RESIDENTIAL USES SHALL SERVICE ONLY PERSONS MEETING THE HOUSING FOR OLDER PERSONS EXEMPTION TO THE FAIR HOUSING ACT (24 C.F.R. SECTIONS 100.300 THROUGH 100.308, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.) IN ADDITION, THE FOLLOWING AMENITY SPACES SHALL BE PERMITTED WITHOUT SQUARE FOOTAGE LIMITATION IN SUPPORT OF THE RESIDENTIAL UNITS: COMMON MEETING SPACES; COMMON LIVING AREAS; GAME ROOMS; BUSINESS CENTERS; CRAFT AND/OR ACTIVITY AREAS; DINING ROOMS; COFFEE SHOPS AND/OR CAFES; KITCHENS AND STORAGE AREAS; CHAPELS; THEATERS; SPAS/SALONS/ BARBERSHOPS; AND GYMS/FITNESS CENTERS BUT ALL ARE LIMITED TO USE BY RESIDENTS, OCCUPANTS, EMPLOYEES AND THEIR RESPECTIVE GUESTS ONLY. NOTHING HEREIN SHALL PROHIBIT NON-RESIDENTIAL USES OPEN TO THE PUBLIC PURSUANT TO THE SQUARE FOOTAGE LIMIT IN PARAGRAPH A(I) ABOVE. **PROPOSED DWELLING UNITS IS UNDER THE THRESHOLD.**

B. AS A PART OF THE DEVELOPMENT OF THE SUBJECT PROPERTY AND SUBJECT TO RALEIGH DEPARTMENT OF TRANSPORTATION APPROVAL, THE PROPERTY OWNER SHALL INSTALL THREE (3) CROSSWALKS WITH MEDIAN REFUGES GENERALLY AS SHOWN ON ATTACHED EXHIBIT A. **PROPOSED CROSSWALKS TO BE INSTALLED AT THE CITY'S DISCRETION.**

C. ALL BUILDINGS SHALL HAVE A MAXIMUM SETBACK OF ONE HUNDRED AND TWENTY FEET (120') FROM THE STREET RIGHT-OF-WAY OF E. WHITAKER MILL ROAD AND A MAXIMUM SETBACK OF NINETY FEET (90') FROM THE STREET RIGHT-OF-WAY OF BERNARD STREET. IN ADDITION, NO MORE THAN TWO (2) BAYS OF ON-SITE PARKING WITH A SINGLE DRIVE AISLE SHALL BE LOCATED BETWEEN ANY BUILDING AND THE STREET RIGHT-OF-WAY OF E. WHITAKER MILL ROAD, NOR SHALL MORE THAN ONE (1) BAY OF ON-SITE PARKING WITH A SINGLE DRIVE AISLE BE LOCATED BETWEEN ANY BUILDING AND THE STREET RIGHT-OF-WAY OF BERNARD STREET. **THIS IS ACCOMMODATED. SEE SITE PLAN.**

D. THE BLOCK PERIMETER SHALL BE INCREASED TO 5700 LINEAR FEET FOR THE SUBJECT PROPERTY. **SEE D-01 FOR BLOCK PERIMETER LENGTH.**

E. A LANDSCAPE BUFFER WITH A MINIMUM WIDTH OF TEN FOOT (10') WIDE AND AN AVERAGE WIDTH OF FOURTEEN FEET (14') WIDE SHALL BE PROVIDED ALONG THE NORTHERN PROPERTY LINE OF THAT PORTION OF THE SUBJECT PROPERTY KNOWN AS 1933 BERNARD STREET (BEING ALL OF LDT 4 AS SHOWN ON BOOK OF MAPS 1947, PAGE 74). LANDSCAPE PLANTINGS WITHIN THE LANDSCAPE BUFFER SHALL CONSIST OF AT LEAST SIX (6) EVERGREEN TREES PER 100 LINEAR FEET. F. THE POST-DEVELOPMENT STORMWATER DISCHARGE PEAK FLOW RATE FOR THE PROPERTY AREA SHALL NOT EXCEED PRE-DEVELOPMENT PEAK FLOW RATES FOR THE 2, 10, AND 25 YEAR STORMS CALCULATED FOR THE ENTIRE PARCEL. **THE PROPOSED LANDSCAPE BUFFER WILL BE PROVIDED WITH DEVELOPMENT ON THE NORTHERN PARCEL. STORMWATER MANAGEMENT WILL BE IMPLEMENTED AT THE POINT AT WHICH PROPOSED IMPERVIOUS VALUES EXCEED EXISTING IMPERVIOUS VALUES, THEREBY DICTATING STORMWATER MANAGEMENT.**

G. SIDEWALK MEETING RALEIGH UDO REQUIREMENTS SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY ALONG THE LENGTH OF THE SUBJECT PROPERTY'S FRONTAGE WITH BERNARD STREET AND MILLS STREET. **THIS WORK WILL BE IMPLEMENTED WITH DEVELOPMENT ON THE PARCELS ADJACENT TO BERNARD ST. AND MILLS ST.**

H. ON THE PROPERTY ZONED NX-5-CU ONLY, THE FOLLOWING CONDITIONS SHALL APPLY:

H. THE FOLLOWING PRINCIPAL USES OTHERWISE PERMITTED IN THE NX ZONING DISTRICT AS LISTED IN UDO SECTION 6.1.4 SHALL BE PROHIBITED:

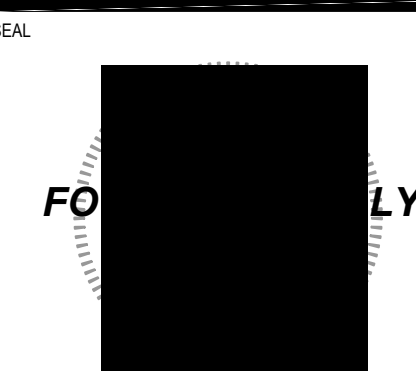
- VEHICLE FUEL SALES
- VEHICLE SALES/RENTAL
- DETENTION CENTER, JAIL, PRISON
- VEHICLE REPAIR (MINOR)

THESE USES ARE NOT BEING PROPOSED.

CITY OF RALEIGH UDO, 6.2.2.E USE STANDARDS:

- THE CONTINUING CARE RETIREMENT COMMUNITY AND ACCESSORY FACILITIES MUST BE DESIGNED AND USED TO SERVE ITS RESIDENTS AND THEIR GUESTS ONLY. **THIS IS THE INTENT OF THIS CCRC.**
- THE CONTINUING CARE RETIREMENT COMMUNITY MUST BE PLANNED, DEVELOPED AND OPERATED ACCORDING TO A UNIFIED PLAN UNDER THE DIRECTION OF A SINGLE OWNER OR AGENT FOR THE OWNER. **PRUITT HEALTH IS THE SOLE OWNER OF THIS FACILITY.**
- DENSITY LIMITATIONS APPLY IN ACCORDANCE WITH THE UNDERLYING ZONING DISTRICT UNLESS OTHERWISE NOTED HEREIN. **THIS LAYOUT IS SUBJECT TO THE DENSITY LIMITATIONS IN THE APPROVED CONDITIONAL REZONING. SEE CONDITIONS ON C-01.**
- THE CONTINUING CARE RETIREMENT COMMUNITY MAY PROVIDE INDIVIDUAL DWELLING UNITS IN ANY COMBINATION OF RESIDENTIAL BUILDING TYPES OR HOUSING OPTIONS AS ALLOWED IN THE RESPECTIVE ZONING DISTRICT UNDER ARTICLE 2.3. COMPACT DEVELOPMENT AND ARTICLE 2.4 CONSERVATION DEVELOPMENT OPTION. **INDEPENDENT LIVING UNITS ARE PROPOSED IN THIS CCRC SUBJECT TO THESE CONDITIONS.**
- IF PROVIDED, A CONGREGATE CARE FACILITY MUST MEET THE REQUIREMENTS UNDER SEC. 6.2.2.C. **ACKNOWLEDGED.**
- A REST HOME MUST MEET THE REQUIREMENTS UNDER SEC. 6.2.2.F. **ACKNOWLEDGED.**
- ADDITIONAL FACILITIES DESIGNED ONLY TO SERVE MEMBERS OF THE CONTINUING CARE RETIREMENT COMMUNITY MAY INCLUDE, BUT NOT BE LIMITED TO, HEALTH AND WELLNESS, MEDICAL, RECREATION AND SUPPORT SERVICES SUCH AS A PRIVATE CHAPEL, BANK, HAIRDRESSERS, PHARMACY, LIBRARY AND CONVENIENCE SHOPPING. **ACKNOWLEDGED.**
- A MINIMUM OF 10% OF THE TOTAL SITE AREA MUST BE DESIGNATED AND MAINTAINED AS COMMON OPEN SPACE UNDER SEC. 2.5. **THIS IS PROVIDED.**
- THE CONTINUING CARE RETIREMENT COMMUNITY MUST PROVIDE SKILLED NURSING. **THIS WILL BE PROVIDED IN A SUBSEQUENT PHASE.**
- IF PROVIDED, THE DENSITY OF A CONGREGATE CARE IS CALCULATED IN KEEPING WITH SEC. 6.2.2.C.2.B. **THIS LAYOUT IS SUBJECT TO THE DENSITY LIMITATIONS IN THE APPROVED CONDITIONAL REZONING. SEE CONDITIONS ON C-01.**
- THE DENSITY OF A REST HOME IS CALCULATED IN KEEPING WITH SEC. 2.2.F.2.REST HOME. **THIS LAYOUT IS SUBJECT TO THE DENSITY LIMITATIONS IN THE APPROVED CONDITIONAL REZONING. SEE CONDITIONS ON C-01.**

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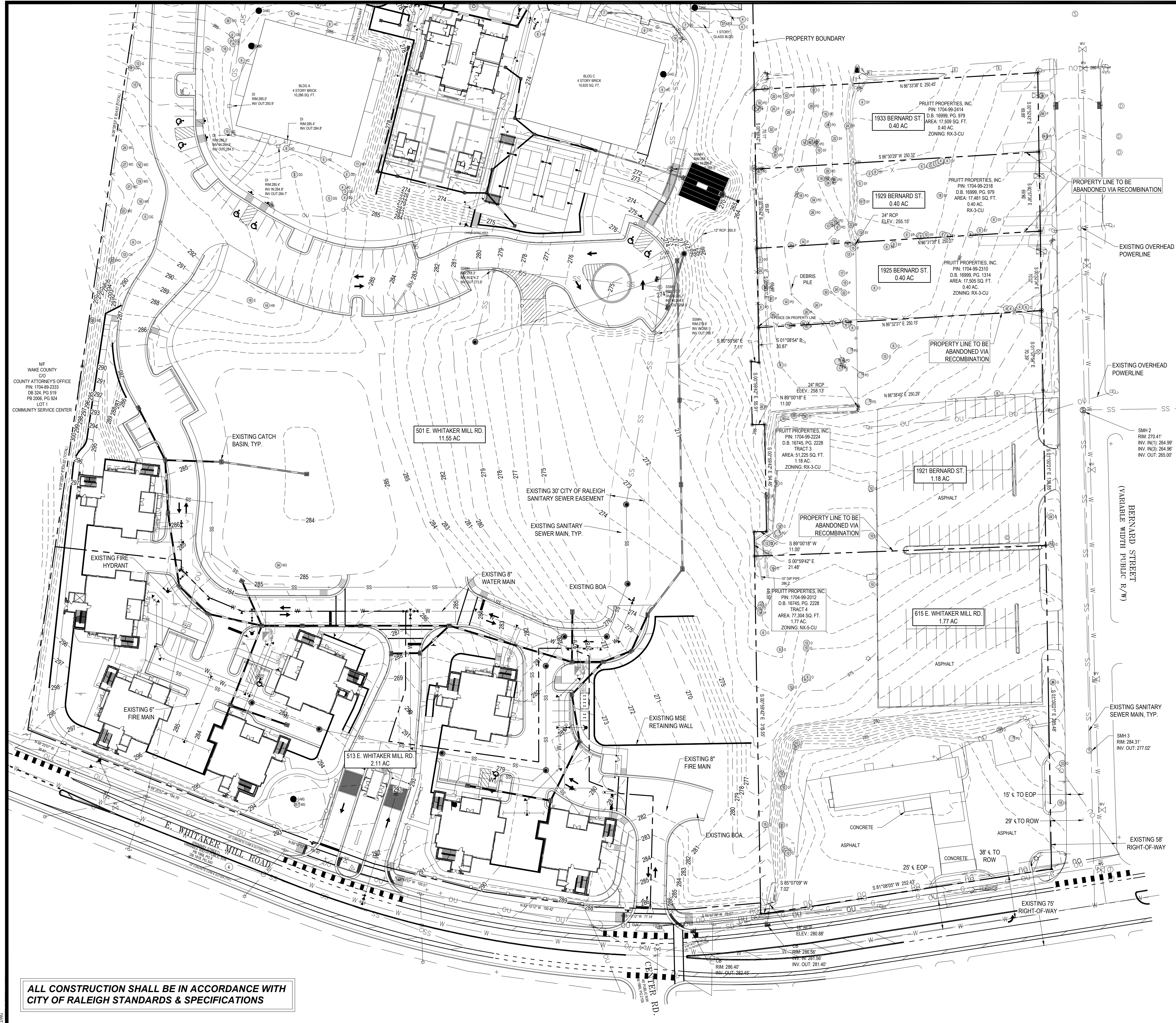
NOT FOR CONSTRUCTION

OAWG SENIOR LIVING COMMUNITY CIVIL NOTES

208 S. Fidelity Avenue
Fayetteville, NC 27608
T (919) 996-2449
F (919) 996-2434

Curry ENGINEERING
C-0.1

DRAWINGS FOR THE REZONING AND CONSTRUCTION OF THE OAWG SENIOR LIVING COMMUNITY. PROJECT NO. 2024-001. DATE: 05/02/2024. FILE NO.: 2023-063



GENERAL NOTES:

- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
- THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PARENT PROPERTY BOUNDARY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN JUNE 2022 BY MCADAMS SURVEYORS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE X FLOODPLAN PER FEMA FIRM PANEL 3720170400J DATED 05/02/06
- VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

LEGEND

●	EXISTING IRON PIPE	⊗	IRRIGATION CONTROL VALVE
○	IRON PIPE SET	⬇	FLOOD LIGHT
▲	CALCULATED POINT	Ⓜ	MAIL BOX
○	BORE HOLE	⊗	MONITORING WELL
⊗	SANITARY SEWER MANHOLE	⊗	SIAMSE CONNECTION
⊗	SANITARY SEWER CLEANOUT	Ⓢ	SIGN
⊗	WATER VALVE	Ⓢ	WELL
⊗	WATER METER	Ⓢ	WATER MANHOLE
⊗	FIRE HYDRANT	Ⓢ	LIGHT SINGLE
⊗	TELEPHONE PEDESTAL	Ⓢ	LIGHT DOUBLE
⊗	ELECTRIC BOX	Ⓢ	CABLE BOX
⊗	POWER POLE	Ⓢ	FIBER OPTIC VAULT
⊗	CURB INLET	Ⓢ	SPRINKLER HEAD
⊗	STORM DRAINAGE MANHOLE	Ⓢ	CULVERT PIPE
⊗	AIR INLET	Ⓢ	OVERHEAD UTILITY LINES
⊗	AIR CONDITIONER	Ⓢ	WATER LINE
⊗	ADDRESS BOX	Ⓢ	SS SANITARY SEWER LINE
⊗	BOLLARD	Ⓢ	TELEPHONE LINE
⊗	FIRE CONNECTION	Ⓢ	GAS LINE
⊗	FIBER OPTIC MARKER	Ⓢ	UE UNDERGROUND ELECTRIC
⊗	GREASE PIT	Ⓢ	UT UNDERGROUND TELEPHONE
⊗	HANDICAP	Ⓢ	SD STORM DRAIN LINE
		Ⓢ	X FENCE LINE
		Ⓢ	205 MAJOR CONTOUR
		Ⓢ	MINOR CONTOUR

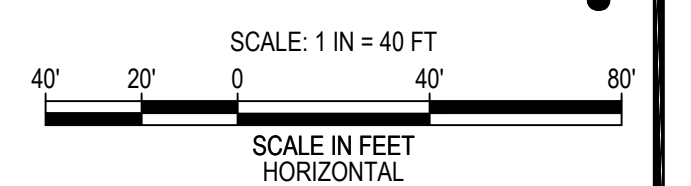
TREE LEGEND

ⓈA	ASH
ⓈBE	BEECH
ⓈB	BIRCH
ⓈC	CEDAR
ⓈCH	CHERRY
ⓈCM	CRAPE MYRTLE
ⓈDG	DOGWOOD
ⓈE	ELM
ⓈG	SWEET GUM
ⓈH	HICKORY
ⓈHD	HOLLY
ⓈMG	MAGNOLIA
ⓈM	MAPLE
ⓈJM	JAPANESE MAPLE
ⓈRO	RED OAK
ⓈWO	WHITE OAK
ⓈP	PINE
ⓈPO	POPLAR
ⓈRB	REDBUD
ⓈSY	SYCAMORE
ⓈHW	MISC. HARDWOOD
ⓈO	OAK

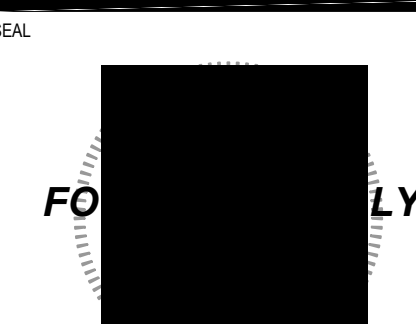
DOUBLE AND TRIPLE TRUNKS
 ⓈDO DOUBLE OAK
 ⓈTO TRIPLE OAK
 CALIPER INCH SIZE OF TREE
 TYPE OF TREE
 D FOR DOUBLE, T FOR TRIPLE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

Surveyor:
McAdams
 2905 Meridian Parkway
 Durham, NC 27713
 919.361.5000 x284 (o)
 919.361.0477 (m)
 Contact: John R. Pickens, PLS
 pickens@mcadamsco.com



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NOT FOR CONSTRUCTION

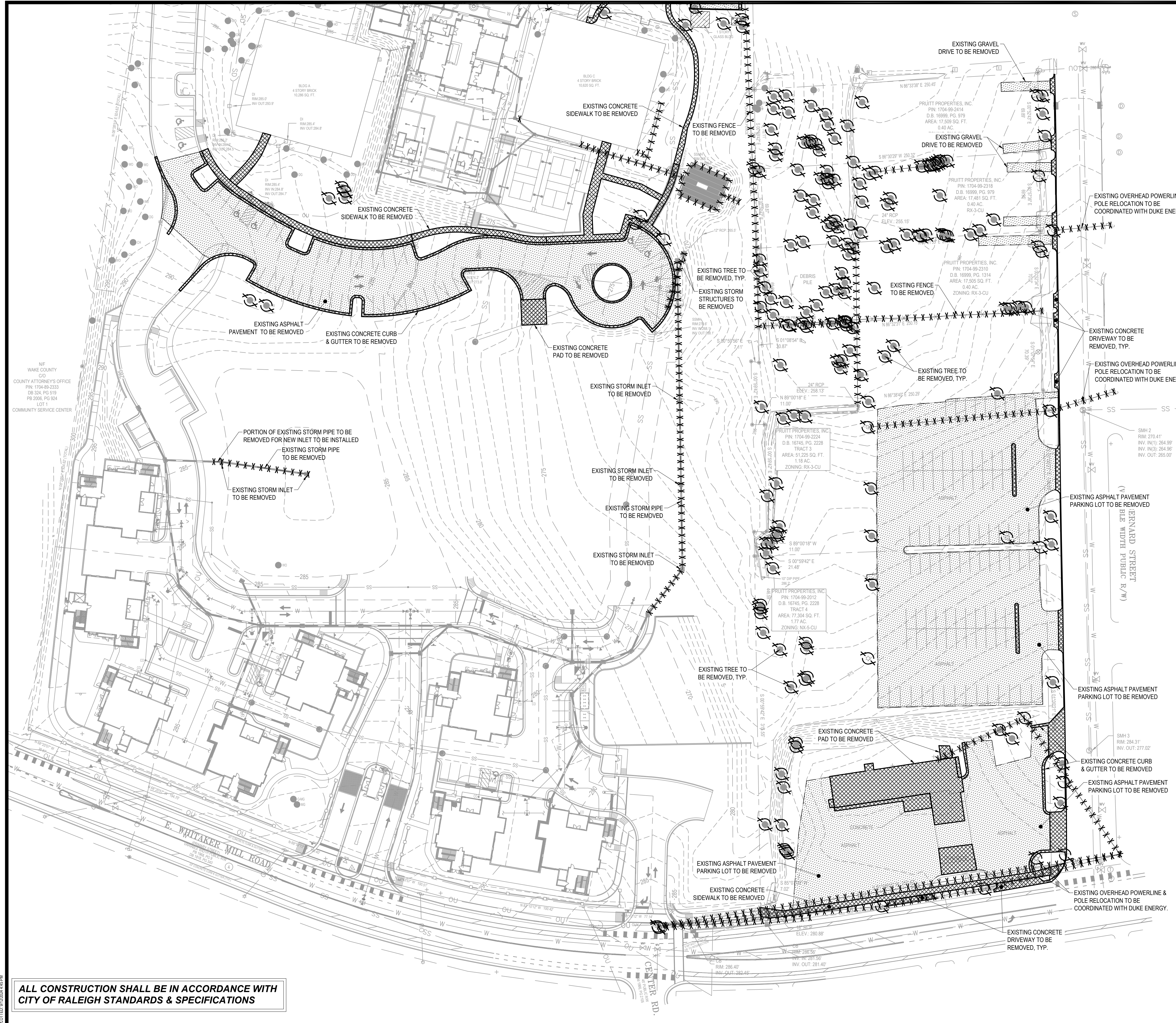
**OAWG SENIOR LIVING COMMUNITY
 PARTIAL EXISTING CONDITIONS II**

208 S. Fidelity Avenue
 Fuquay-Varina, NC 27706
 T (919) 562-2649
 F (919) 562-2643

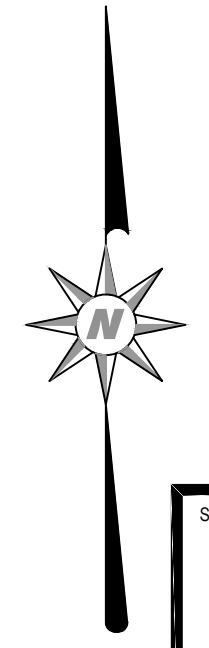
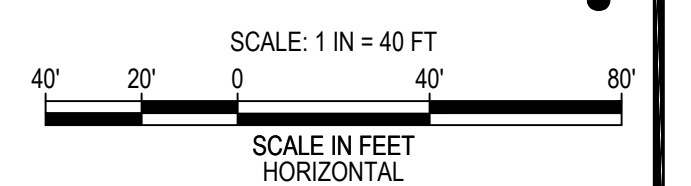
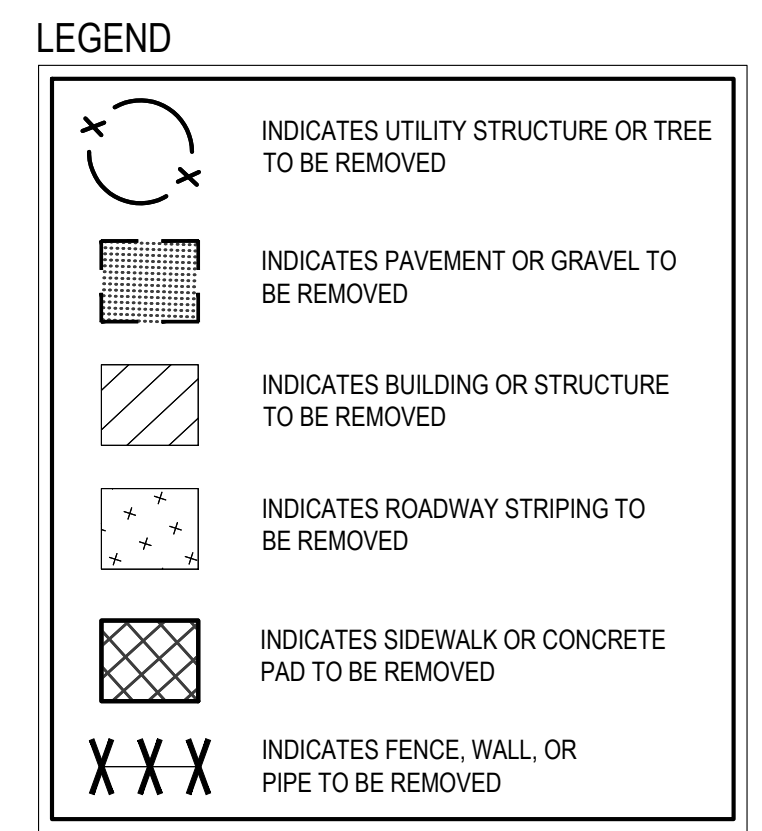
Curry
 ENGINEERING
C-1.2

REVISIONS

DATE: 01/15/2023	HORIZ. SCALE: 1" = 40'
FILE NO.: 2023-063	CING. SHEET SIZE: 24" x 36"



- GENERAL NOTES:**
- NO EQUIPMENT IS ALLOWED ON THE SITE OR DISTURBANCE IS PERMITTED UNTIL ALL THE TREE PROTECTION AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
 - CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER IN THE EVENT THAT UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AND REGULATIONS REGARDING THE HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS. A COPY OF THE DEMOLITION NOTIFICATION FROM THE NORTH CAROLINA HEALTH HAZARD CONTROL UNIT AN ASBESTOS INSPECTION REPORT FROM A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR MUST ACCOMPANY THE APPLICATION FOR THE DEMOLITION PERMIT WHICH MUST BE OBTAINED PRIOR TO THE START OF DEMOLITION.
 - DEMOLITION OF STRUCTURES AND/OR UTILITIES BASED ON EXISTING CONDITIONS SURVEY. IF FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON THIS PLAN THAT REQUIRES ADDITIONAL DEMOLITION THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR THE ENGINEER PRIOR TO PROCEEDING WITH REMOVAL OF STRUCTURE AND/OR UTILITY. SUBSURFACE UTILITIES AND FEATURES NOTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND HAVE BEEN LOCATED TO THE EXTENT POSSIBLE VIA LEVEL "C" SUE METHODS. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION, INCLUDING UTILITY "POTHOLING" OR BY THE EXCAVATION OF TEST PITS AS NECESSARY TO DETERMINE THE UTILITY LOCATION, DEPTHS, AND MATERIALS.
 - CONTRACTOR SHALL NOT BEGIN ANY DEMOLITION WORK PRIOR TO APPROVAL AND ISSUANCE OF LAND DISTURBANCE AND DEMOLITION PERMITS ISSUED BY THE CITY OF RALEIGH.
 - DO NOT INTERRUPT EXISTING UTILITY SERVICES FOR FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES.
 - NOTIFY OWNER NOT LESS THAN 72 HOURS IN ADVANCE OF PROPOSED UTILITY SERVICE INTERRUPTIONS.
 - DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING WRITTEN PERMISSION FROM THE OWNER.
 - CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING CITY OF RALEIGH OR NCDOT INFRASTRUCTURE, PRIVATE UTILITY, COMPANY INFRASTRUCTURE, OR ADJACENT PROPERTY OWNERS PROPERTY.
 - CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER IN THE EVENT THAT UN-ANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AND REGULATIONS FOR DISPOSAL OF HAZARDOUS MATERIALS.
 - CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION OR DEMOLITION OF PRIVATE UTILITIES WITH THE PROPER PRIVATE UTILITY COMPANY.
 - CONTRACTOR IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A TRAFFIC CONTROL PLAN PER NCDOT AND MUTCD STANDARDS.
 - CONTRACTOR IS RESPONSIBLE FOR THE SECURITY OF HISHER EQUIPMENT AND MATERIALS STORED ON-SITE DURING CONSTRUCTION.
 - ANY PAVEMENT CUT SHALL BE DONE AS A FULL DEPTH SAW CUT WITH LINES STRAIGHT AND NEAT.
 - REMOVE ALL EXISTING ON-SITE TRASH AND DEBRIS. TRASH SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. NOTIFY OWNER AND ENGINEER IF ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD PAINT, ETC.) ARE ENCOUNTERED.
 - REMOVE SIDEWALK, CURB AND GUTTER, AND OTHER CONCRETE SECTIONS BY SAW CUTTING THE NEAREST CONTROL JOINT AWAY FROM THE AREA DESIGNATED TO BE REMOVED ON THE DEMOLITION PLAN.
 - NOTIFY AND COORDINATE ANY REQUIRED RELOCATION AND/OR REMOVAL OF EXISTING UNDERGROUND UTILITIES, POLES, METERS, OR OTHER ABOVE GROUND APPURTENANCES WITH THE APPROPRIATE UTILITY PROVIDER (I.E. POWER, TELEPHONE, CABLE, AND NATURAL GAS/PROPANE) PRIOR TO THE START OF SELECTIVE DEMOLITION WORK.
 - ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LAWFUL MANNER.
 - CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE, FREE OF DEBRIS, TRASH, OR OTHER CONSTRUCTION MATERIALS. AREAS SUBJECT TO SITE CONSTRUCTION ADJACENT TO THE PUBLIC RIGHT OF WAY AND PEDESTRIAN SIDEWALKS SHALL BE LEFT "BROOM CLEAN" AT THE END OF EACH WORK DAY.
 - CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY UTILITIES NEEDED DURING CONSTRUCTION.



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FOOTING

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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

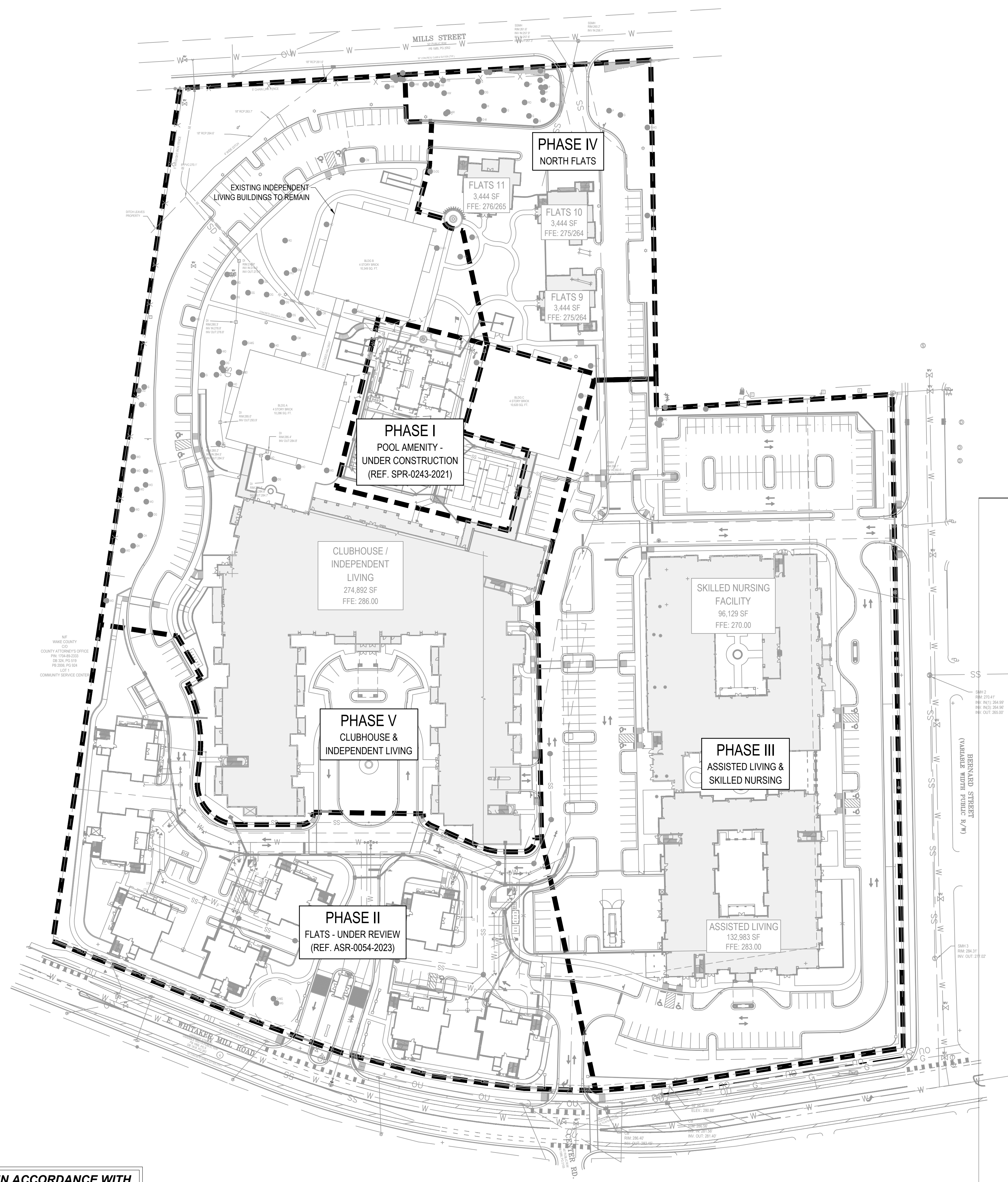
DRAWN BY: J. H. HARRIS, P.E., LICENSE NO. 40262, CIVIL ENGINEER, HARRIS ENGINEERING, INC., 1000 W. HARRIS AVENUE, SUITE 100, RALEIGH, NC 27603
 CHECKED BY: D. J. HARRIS, P.E., LICENSE NO. 40262, CIVIL ENGINEER, HARRIS ENGINEERING, INC., 1000 W. HARRIS AVENUE, SUITE 100, RALEIGH, NC 27603
 DATE: 01/20/24

REVISIONS
 DATE: 01/15/2023
 FILE NO.: 2023-063
 HORZ. SCALE: 1" = 40'
 VERT. SCALE: 1" = 40'
 SHEET SIZE: 24" x 36"

OAWG SENIOR LIVING COMMUNITY
PARTIAL DEMOLITION PLAN II

208 S. Fidelity Avenue
 Fuquay-Varina, NC 27608
 T (919) 552-2849
 F (919) 552-2843

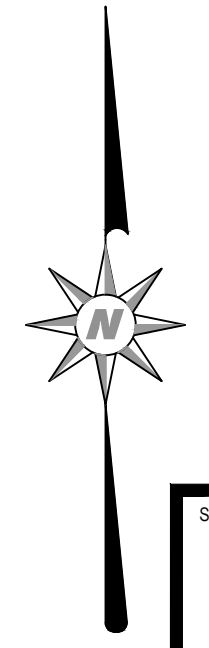
Curry
 ENGINEERING
C-2.2



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

SCALE: 1 IN = 60 FT
SCALE IN FEET HORIZONTAL

NOT FOR CONSTRUCTION

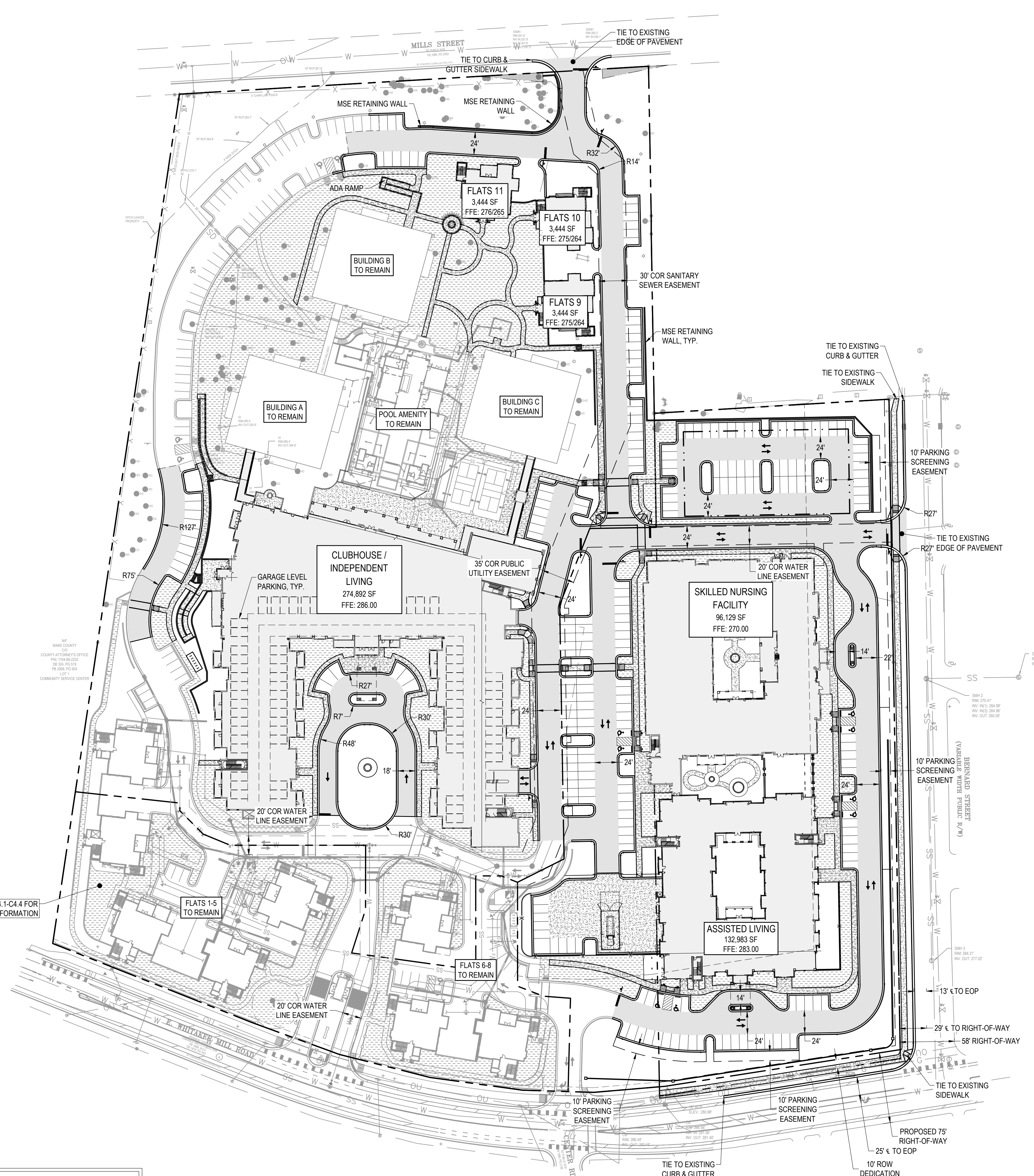


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FOOTPRINT ONLY

OAWG SENIOR LIVING COMMUNITY
SITE PHASING PLAN

T (919) 552-2849
F (919) 552-2843
208 S. Fidelity Avenue
Fayetteville, NC 27808

Curry
ENGINEERING
C-3.1



SEE SHEETS C4.1-C4.4 FOR AMENITY AREA INFORMATION

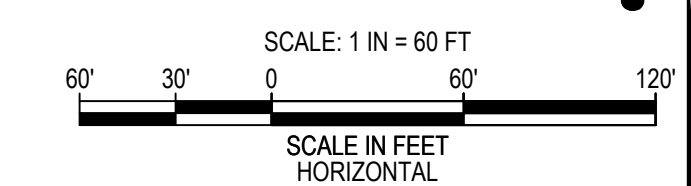
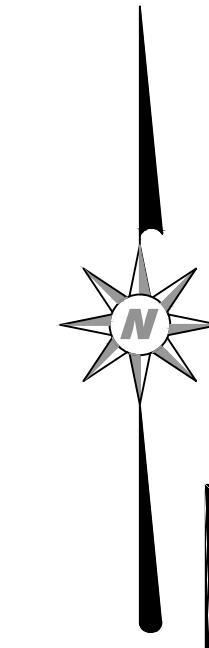
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

GENERAL NOTES:

- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE IN FEET AND TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
- ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
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- TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
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- ALL GATED ENTRY SHALL INCLUDE A KNOX BOX FOR FIRE ACCESSIBILITY, PER NCFD. 503.6.
- NOTE THAT STANDARD-DUTY ASPHALT (NON-SHADED) PROVIDES SUFFICIENT SUPPORT FOR THE REQUIRED 90,000 LB FIRE APPARATUS.

LEGEND

	POLE LIGHT
	BOLLARD LIGHT
	SIGN
	ROADWAY CENTER LINE
	RIGHT OF WAY LINE
	PHASE LINE
	SETBACK LINE
	BMP LIMITS
	EASEMENT
	VALLEY CURB & GUTTER
	STANDARD CURB & GUTTER
	SPILL CURB & GUTTER
	CHAIN LINK FENCE
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	DECORATIVE PAVERS



NOT FOR CONSTRUCTION

ASR-XXXX-2024

**OAWG SENIOR LIVING COMMUNITY
OVERALL SITE PLAN**

T (919) 982-2849
F (919) 982-2843
208 S. Fidelity Avenue
Fayetteville, NC 27708

Curry
ENGINEERING
C-4.0

DATE: 01/15/2023	HORIZ SCALE: 1" = 60'
FILE NO: 2023-063	CING. SHEET SIZE: 24" x 36"

PROJECT: 2023-063 OAWG SENIOR LIVING COMMUNITY OVERALL SITE PLAN DWG
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 DATE: 01/15/2023

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

MILLS STREET

50' PUBLIC R/W
PB 1985, PG 2052

GENERAL NOTES:

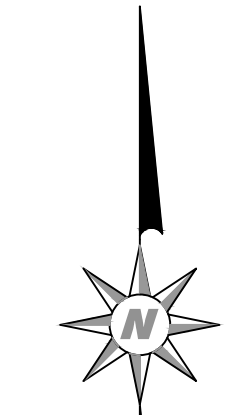
- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
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- CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
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- SEE FLAT 1 FOR TYPICAL DOOR AND PATIO LOCATIONS FOR THESE FLATS.

LEGEND

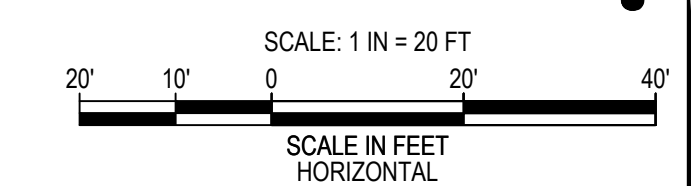
	POLE LIGHT
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SIGHT DISTANCE NOTE:

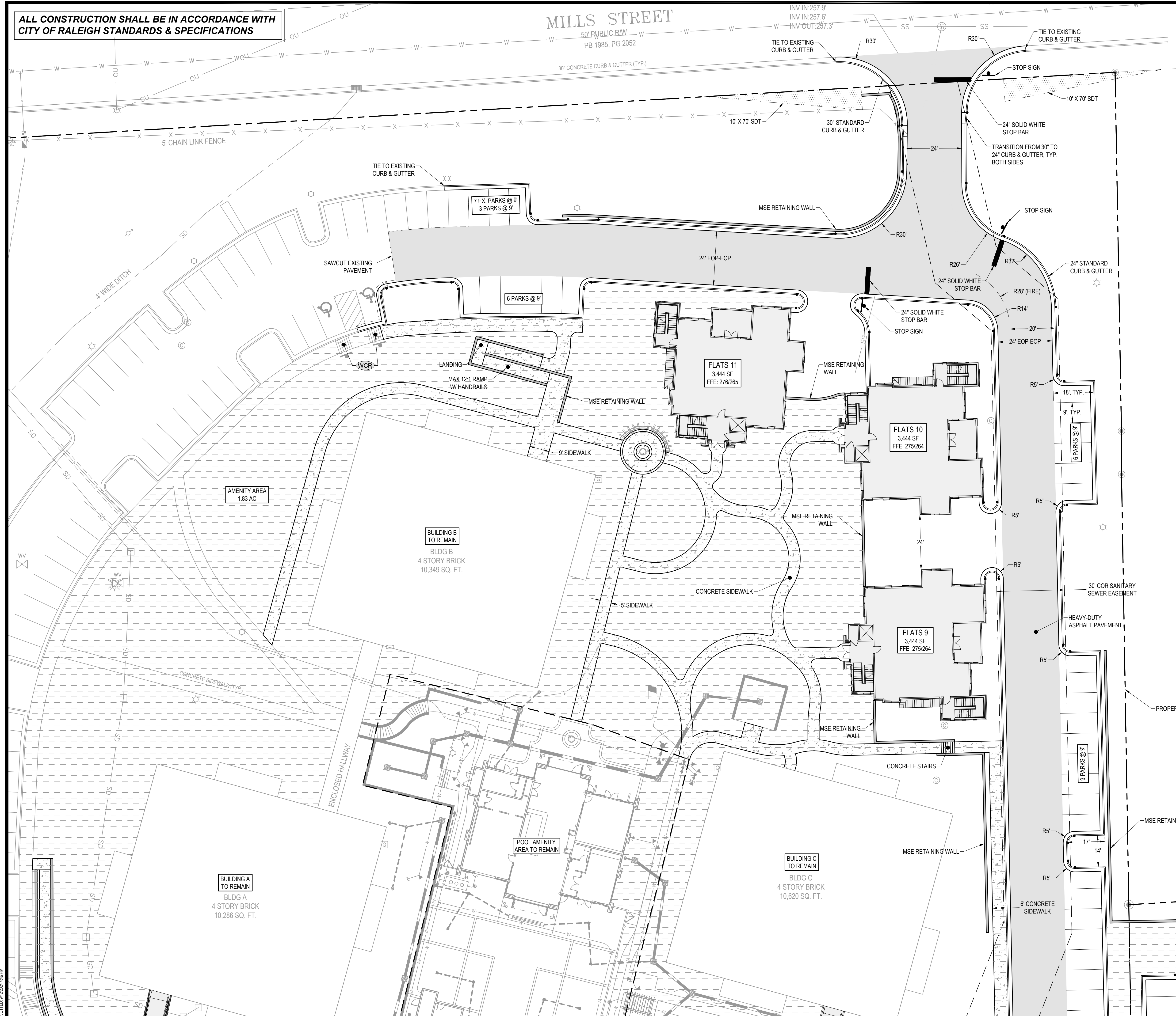
WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 23 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.



ASR-XXXX-2024



NOT FOR CONSTRUCTION



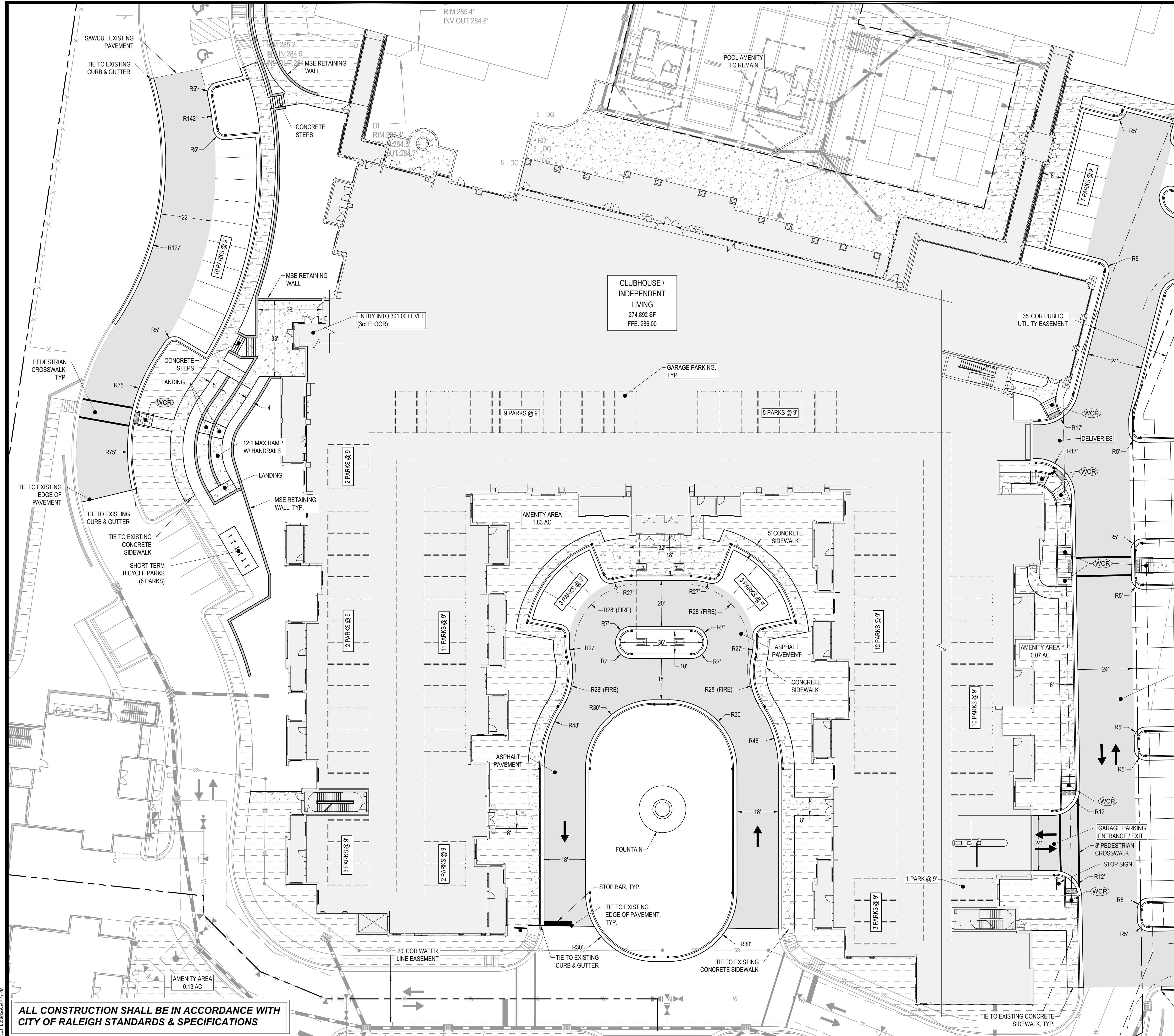
REVISIONS	DATE: 01/15/2023	FILE NO.: 2023-063
	HORIZ SCALE: 1" = 20'	CONS. SHEET SIZE: 24" x 36"

OAWG SENIOR LIVING COMMUNITY
PARTIAL SITE PLAN I

T (919) 982-4949
F (919) 982-2943
208 S. Fidelity Avenue
Fayetteville, NC 27708



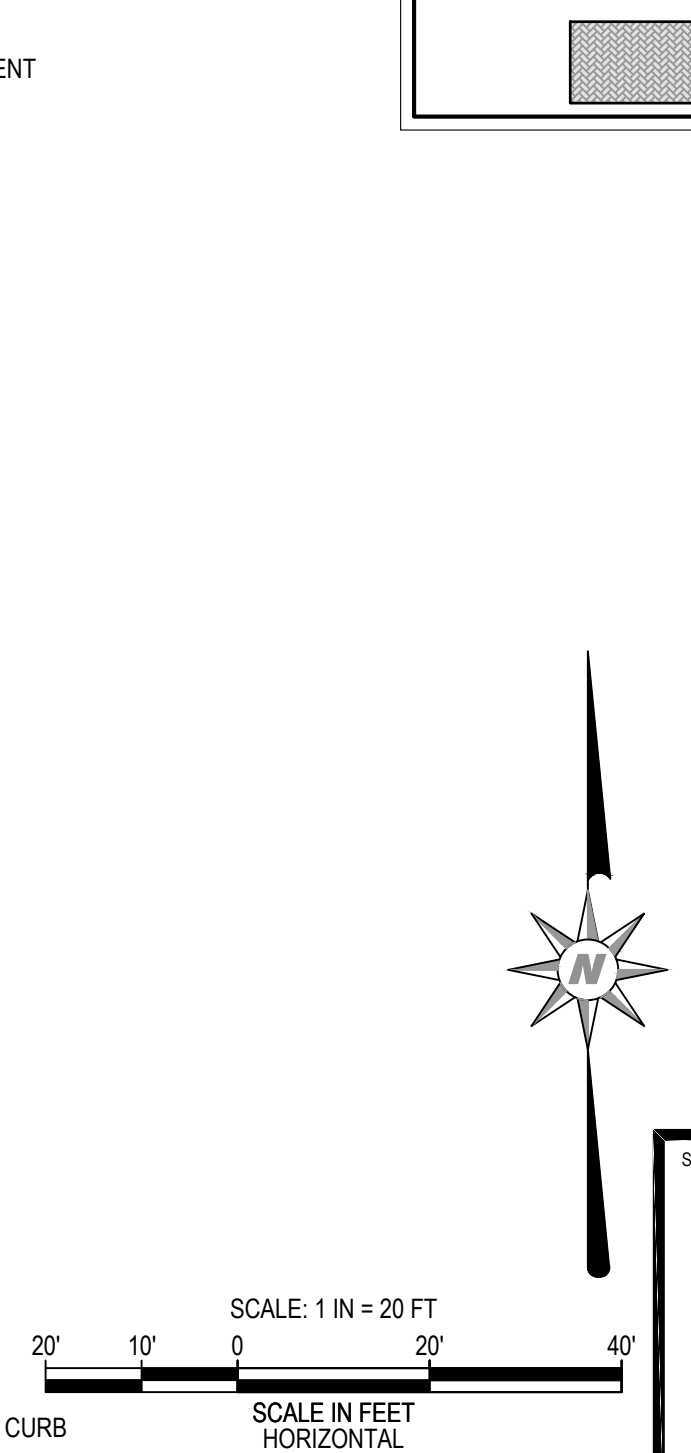
DRAWN BY: J. B. BROWN, 02/02/2024, 11:00 AM, PROJECT: OAWG SENIOR LIVING COMMUNITY, PARTIAL SITE PLAN I, SHEET: 01 OF 04, DATE PLOTTED: 01/22/2024, 4:28 PM



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REVISIONS

DATE: 01/15/2023	HORIZ SCALE: 1" = 20'
FILE NO: 2023-063	CING. SHEET SIZE: 24" x 36"

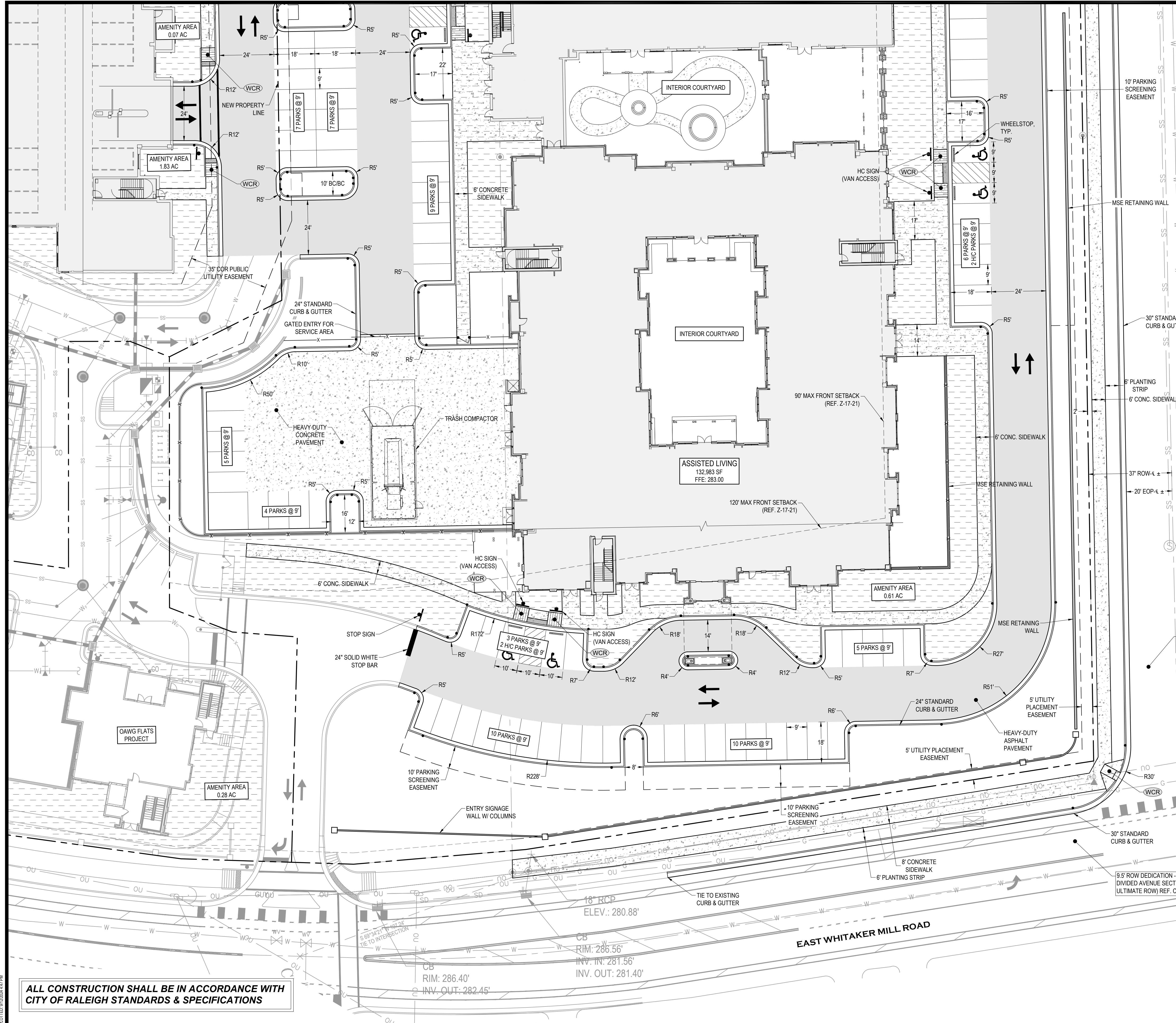
**OAWG SENIOR LIVING COMMUNITY
PARTIAL SITE PLAN II**

T (919) 552-2499
F (919) 552-2493
208 S. Fidelity Avenue
Fayetteville, NC 27708

ASR-XXXX-2024

Curry
ENGINEERING

C-4.2

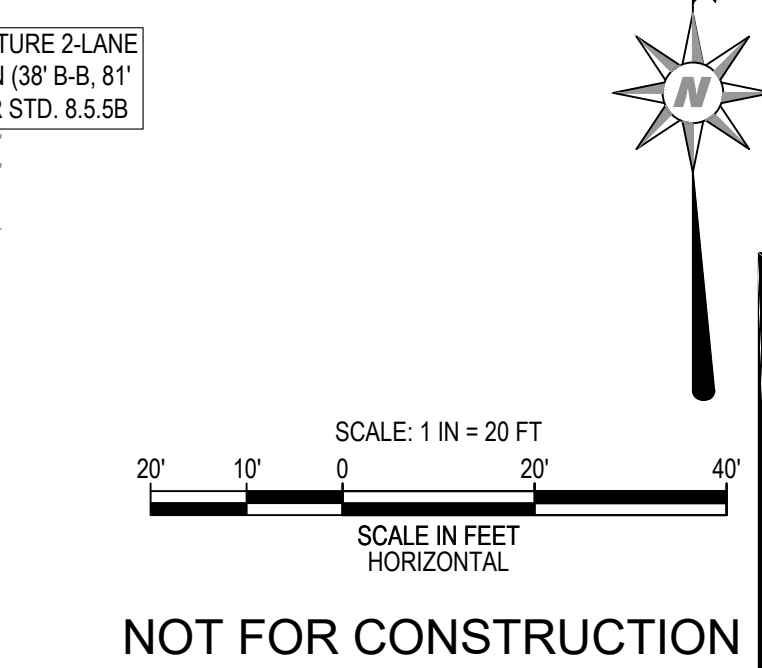


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	VALLEY CURB & GUTTER
	STANDARD CURB & GUTTER
	SPILL CURB & GUTTER
	CHAIN LINK FENCE
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	DECORATIVE PAVERS

NEIGHBORHOOD LOCAL STREET
 30' ROW REQUIRED
 6'± ROW PROVIDED
 31' BACK-TO-BACK
 REF. COR. STD. 8.5.4B



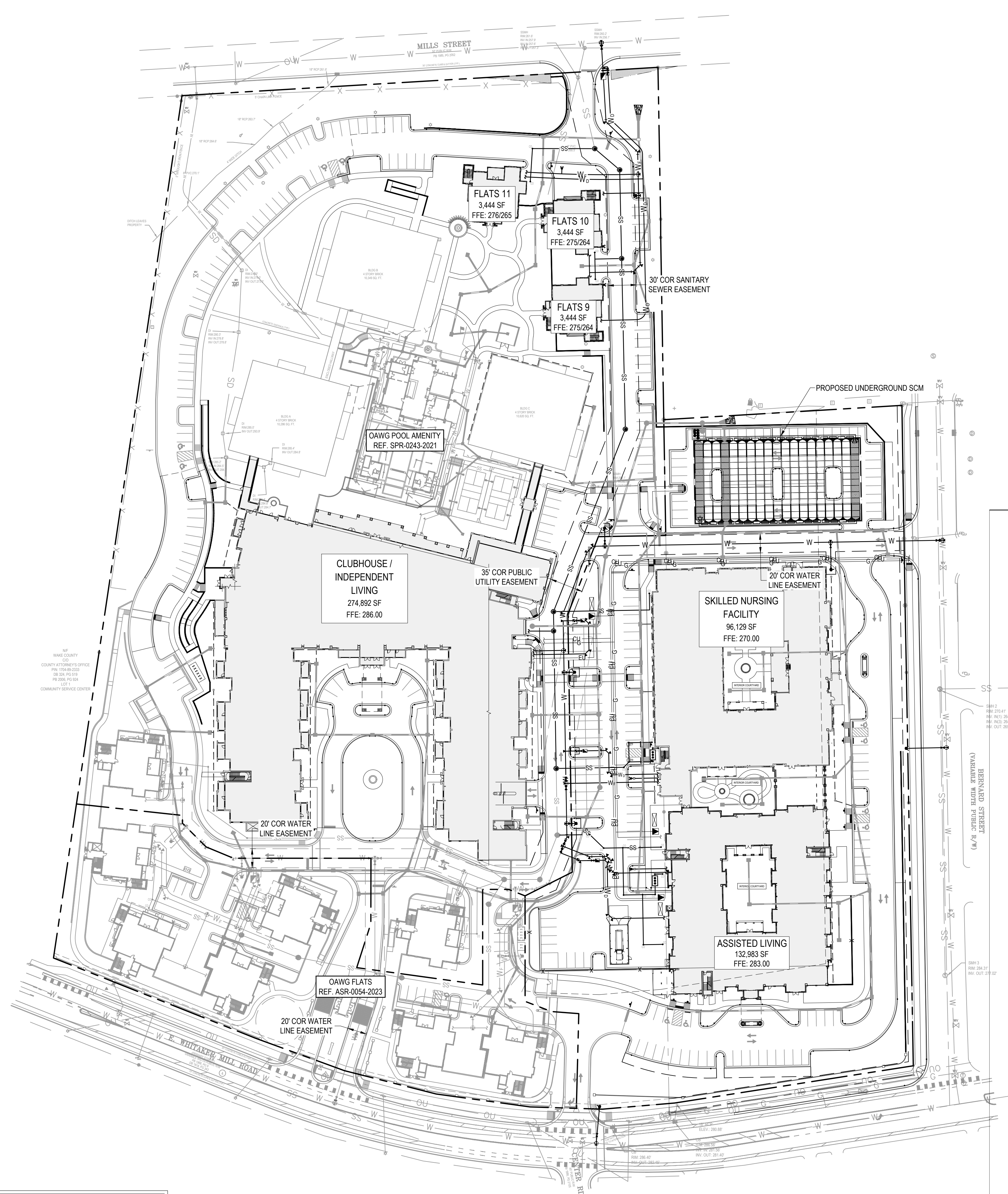
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REVISIONS
 DATE: 9/15/2023
 FILE NO: 2023-063
 HORZ SCALE: 1" = 20'
 VERT SCALE: 1" = 4'
 CONG. SHEET SIZE: 24" x 36"

OAWG SENIOR LIVING COMMUNITY
PARTIAL SITE PLAN IV

208 S. Fidelity Avenue
 Fuquay-Varina, NC 27609
 T (919) 552-2949
 F (919) 552-2943

Curry
 ENGINEERING
C-4.4



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

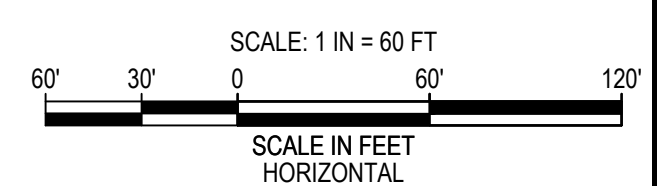
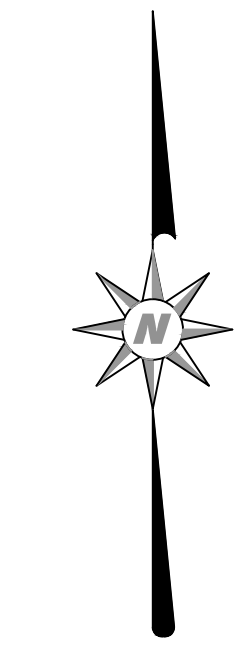
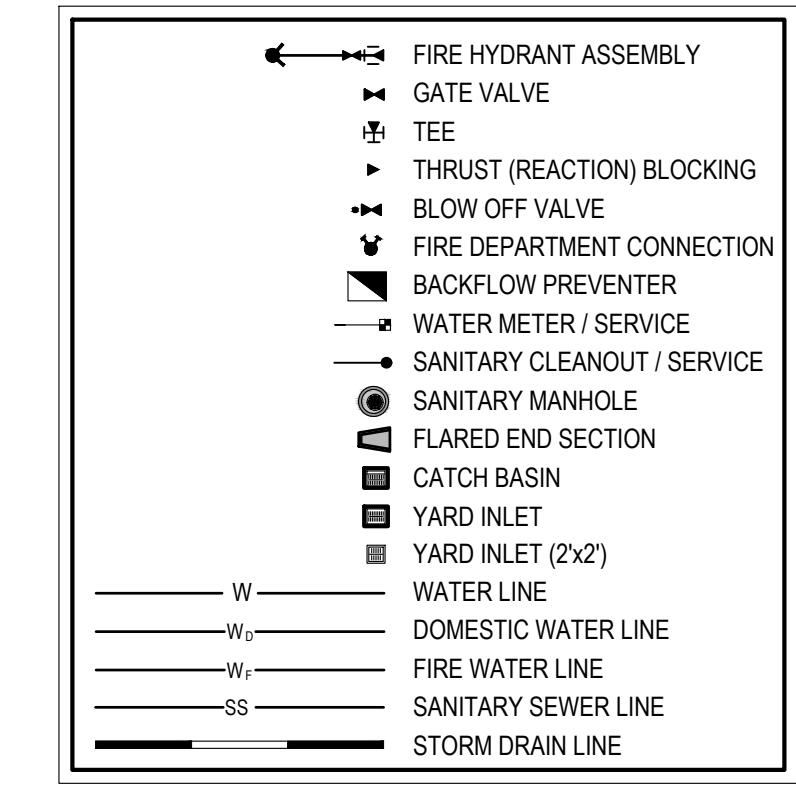
CITY OF RALEIGH PUBLIC UTILITIES NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL WHEN INSTALLING WATER &/OR SEWER MAINS. THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
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- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR EOC@RALEIGHNC.GOV FOR MORE INFORMATION
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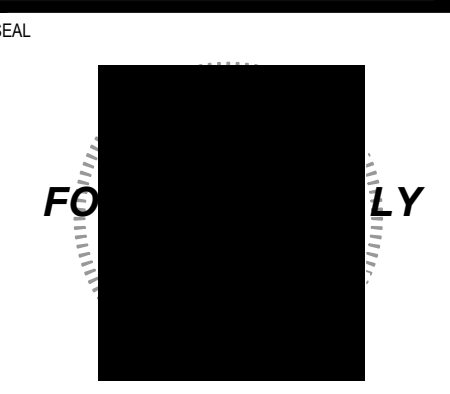
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LEGEND



NOT FOR CONSTRUCTION

ASR-XXXX-2024



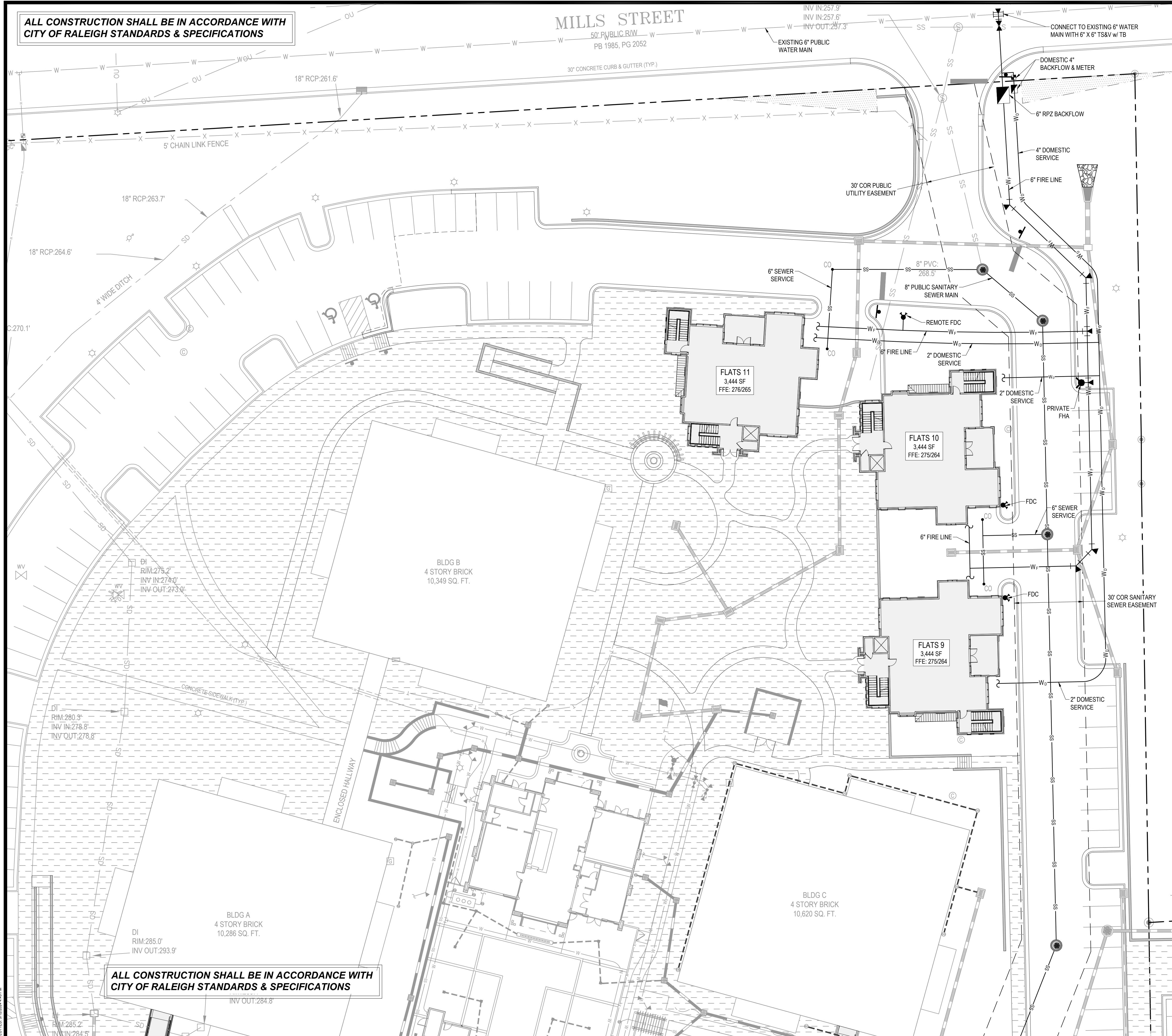
OAWG SENIOR LIVING COMMUNITY
OVERALL UTILITY PLAN

T (919) 982-2449
F (919) 982-2443
208 S. Fidelity Avenue
Fayetteville, NC 27706



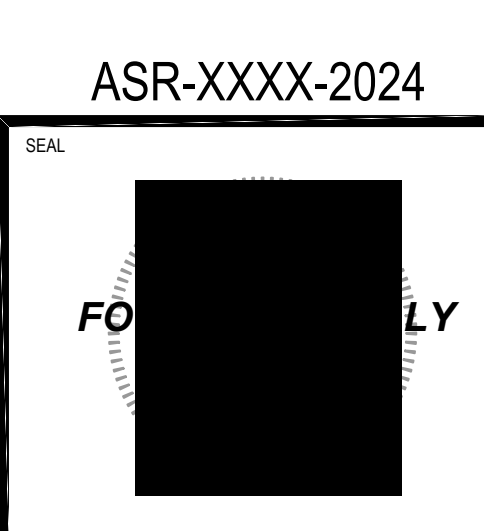
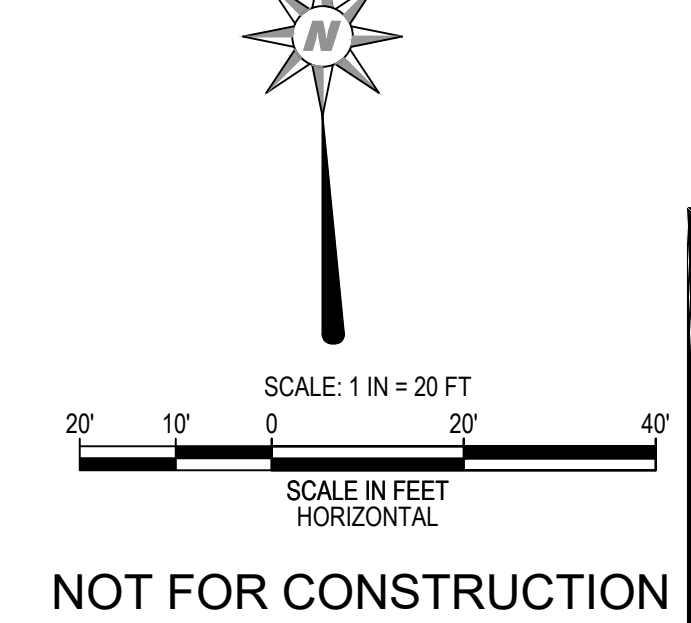
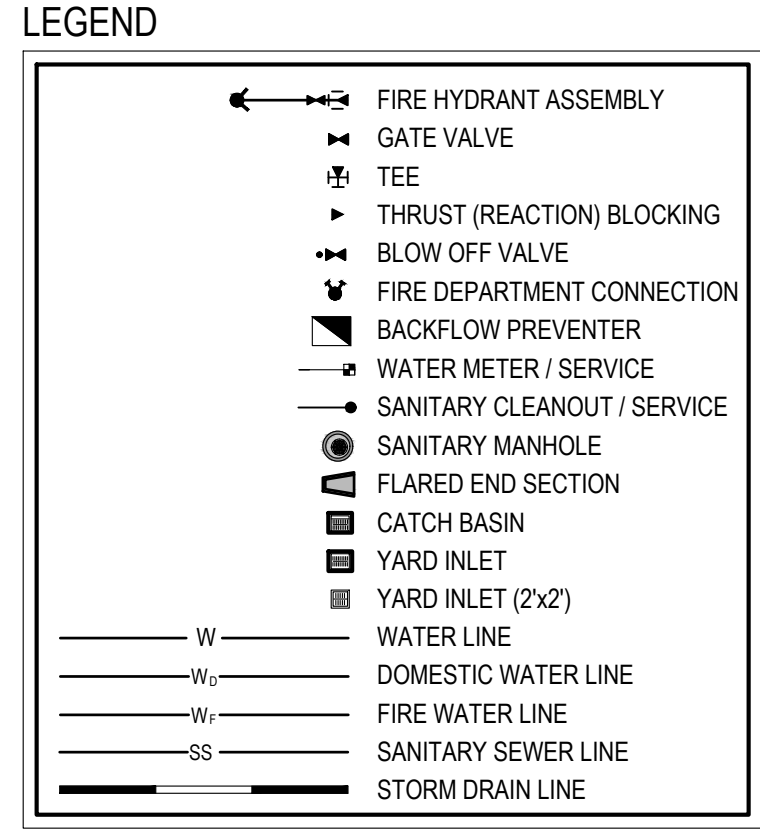
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MILLS STREET



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REVISIONS

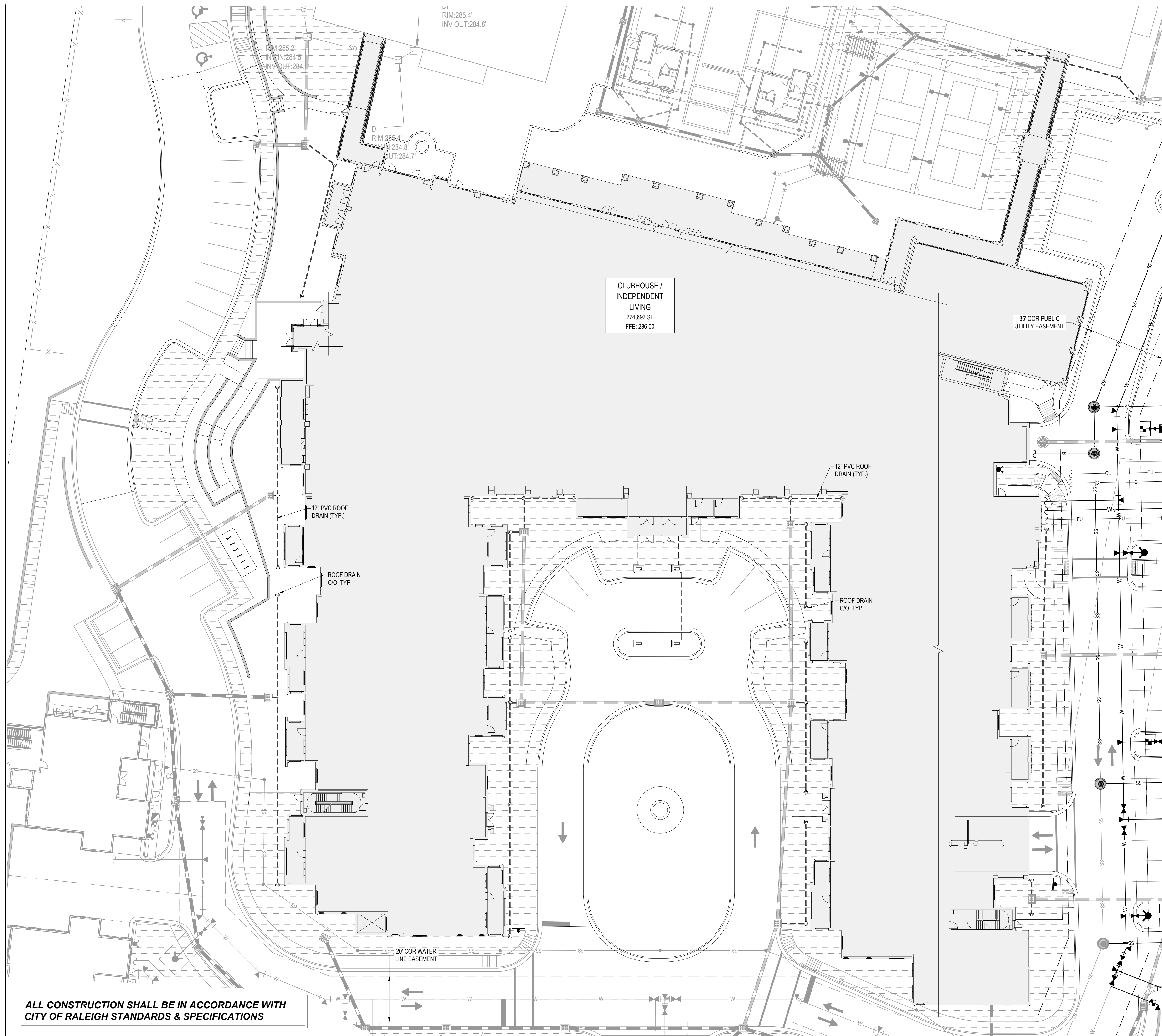
DATE: 9/15/2023
FILE NO: 2023-063

OWWG SENIOR LIVING COMMUNITY
PARTIAL UTILITY PLAN I

208 S. Fidelity Avenue
Fayetteville, NC 27808
T (919) 962-2949
F (919) 962-2943

Curry
ENGINEERING

C-5.1



CLUBHOUSE /
INDEPENDENT
LIVING
274,892 SF
FFE: 286.00

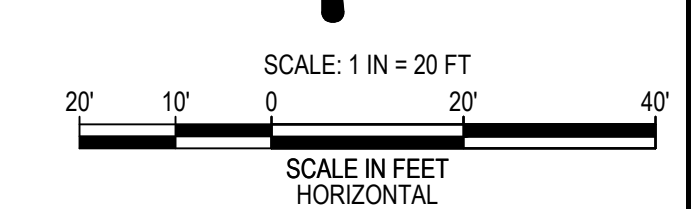
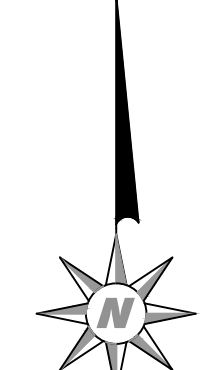
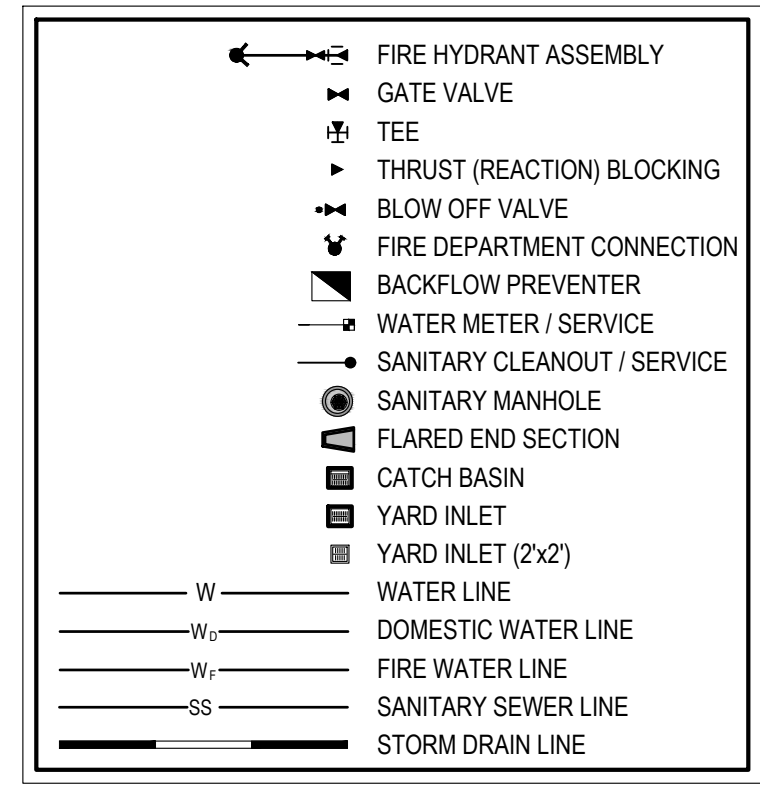
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NOT FOR CONSTRUCTION

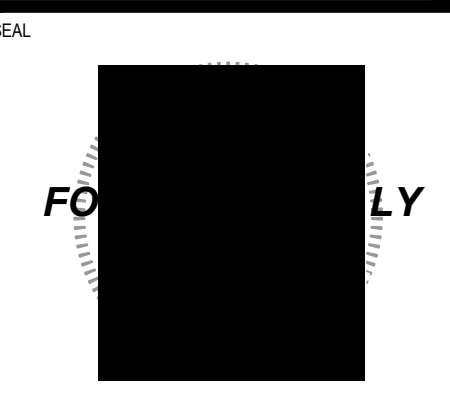
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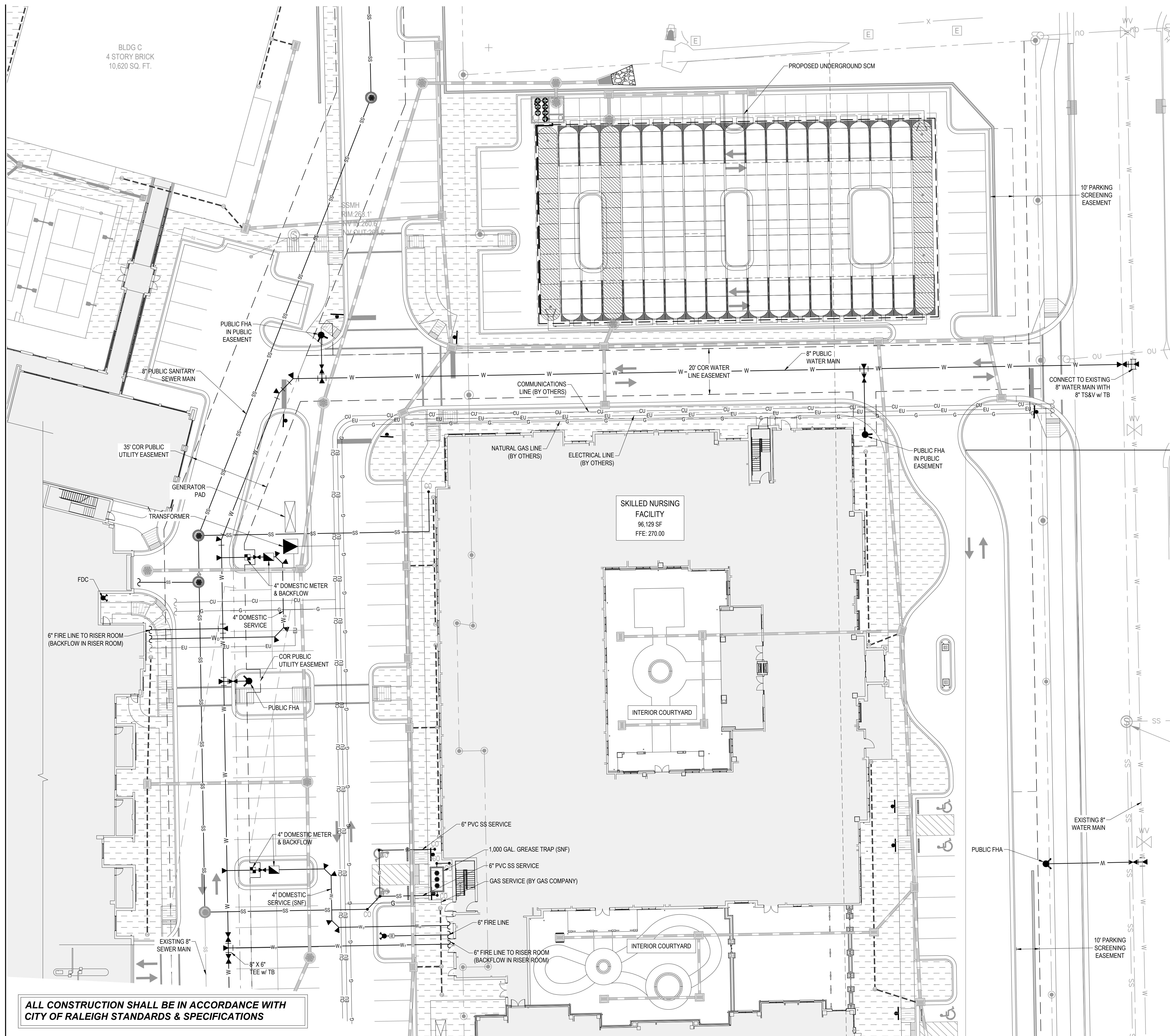
**OAWG SENIOR LIVING COMMUNITY
PARTIAL UTILITY PLAN II**

208 S. Fidelity Avenue
Fayetteville, NC 27808
T: (919) 996-2499
F: (919) 996-2493

Curry
ENGINEERING
C-5.2

ASR-XXXX-2024





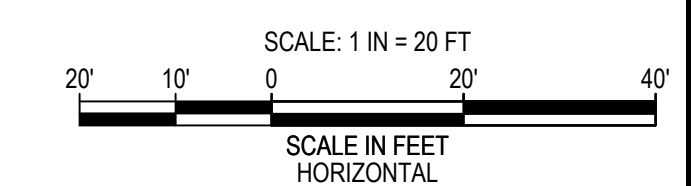
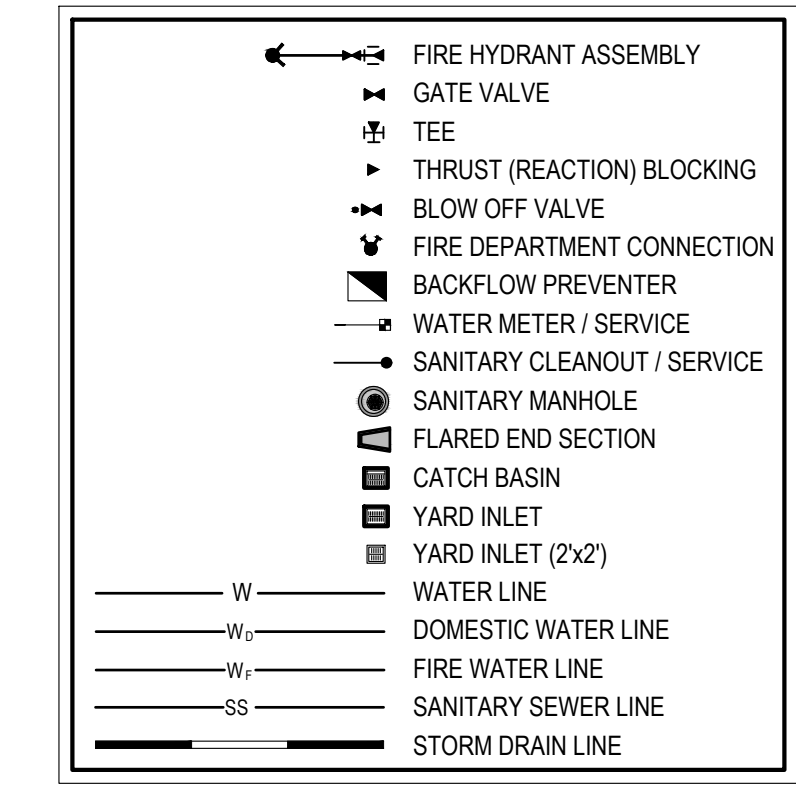
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- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE LISTING OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID

GENERAL NOTES:

- PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
- WATER METERS OUTSIDE OF RIGHT OF WAY SHALL HAVE A 3' CITY OF RALEIGH PUBLIC WATER LINE EASEMENT THAT EXTENDS 1' PAST THE METER.
- THE PROPOSED BUILDING WILL BE SPRINKLERED PER NFPA13 STANDARDS. FIRE APPARATUS ACCESS FOR NFPA13 SYSTEM MAX DISTANCE TO BUILDING = 250'. SEE DIMENSIONS.
- FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS. AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.

LEGEND

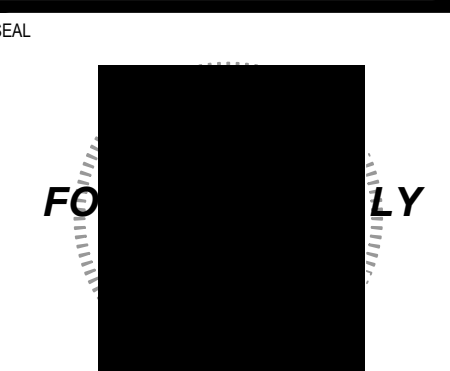


NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

SKILLED NURSING FACILITY
96,129 SF
FFE: 270.00

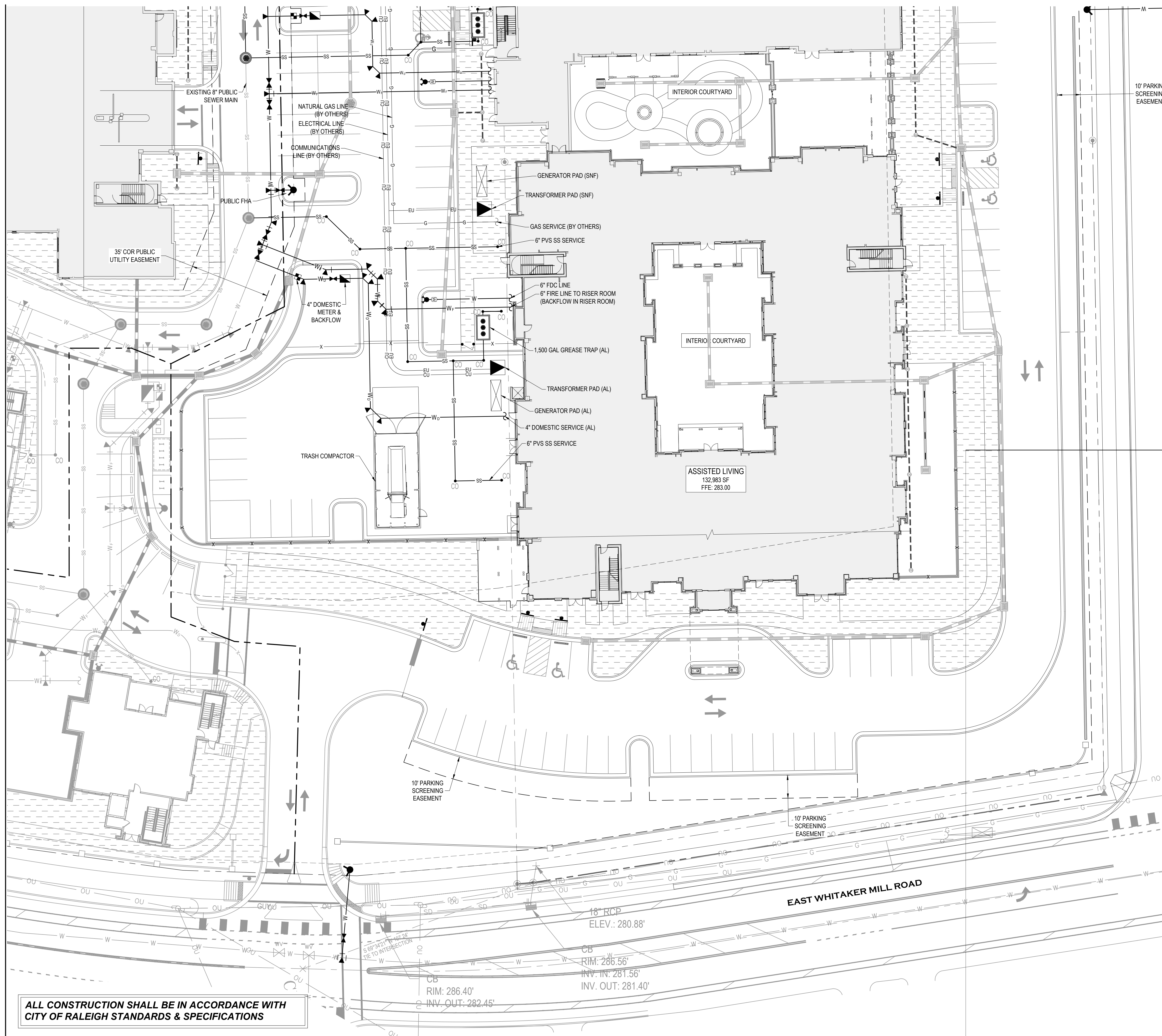
ASR-XXXX-2024



OAWG SENIOR LIVING COMMUNITY
PARTIAL UTILITY PLAN III

208 S. Fidelity Avenue
 Fidelity/Arms, NC 27608
 T (919) 992-2949
 F (919) 992-2943

Curry
 ENGINEERING
C-5.3

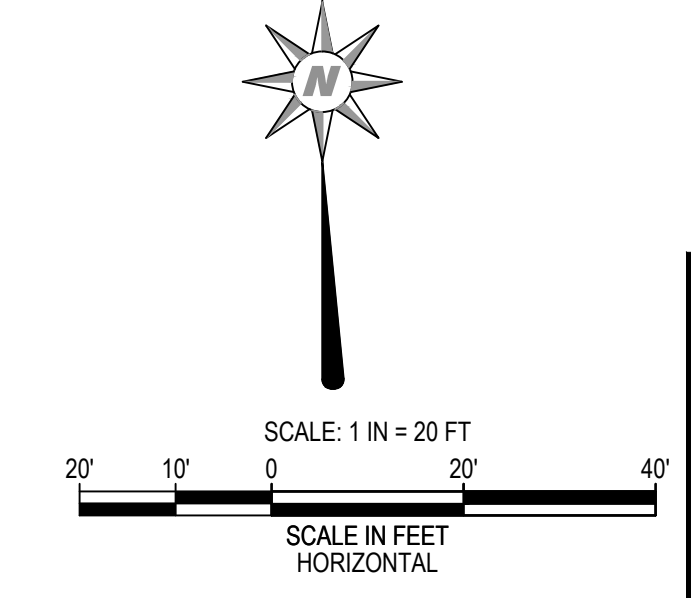
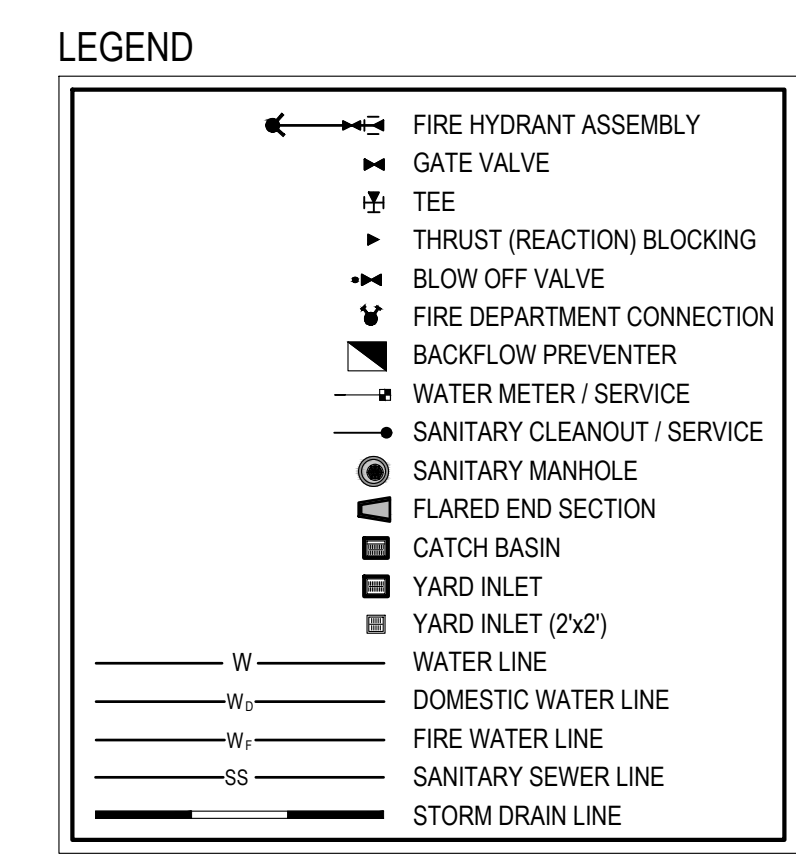


CITY OF RALEIGH PUBLIC UTILITIES NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL WHEN INSTALLING WATER &/OR SEWER MAINS. THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

NOT FOR CONSTRUCTION

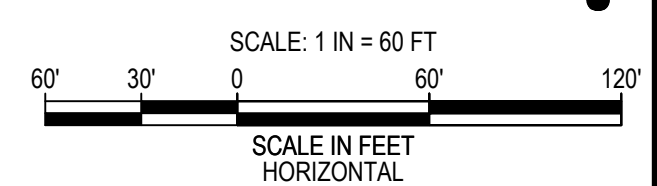
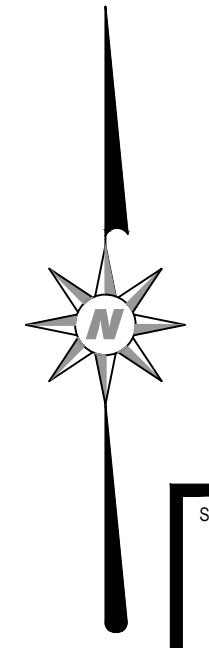
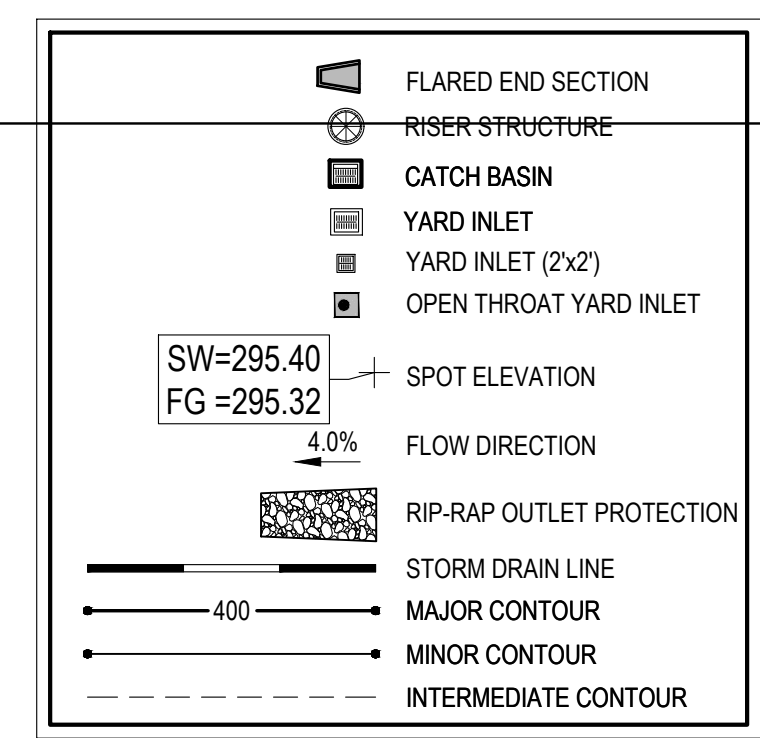
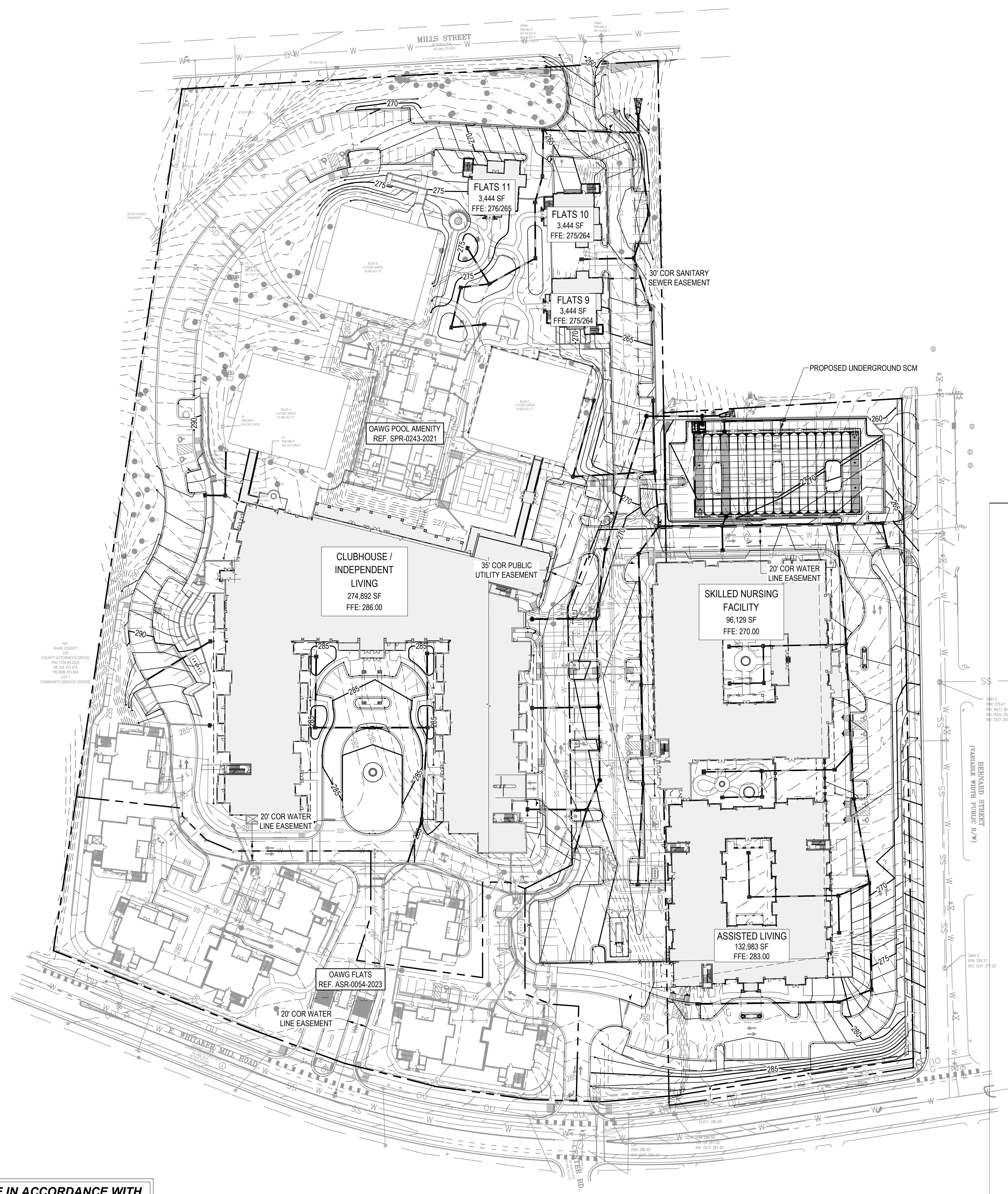
ASR-XXXX-2024

**OAWG SENIOR LIVING COMMUNITY
PARTIAL UTILITY PLAN IV**

208 S. Fidelity Avenue
Fayetteville, NC 27808
T (919) 996-2949
F (919) 996-2943

Curry
ENGINEERING
C-5.4

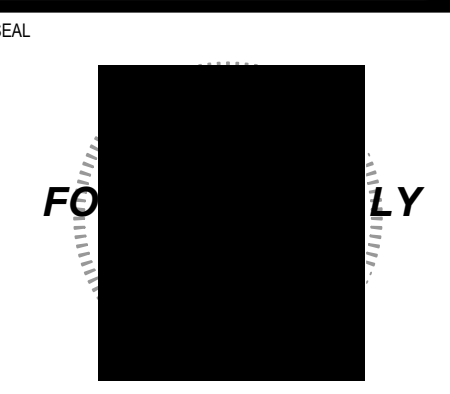
- GENERAL NOTES:**
- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
 - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN AND VEGETATED PERIMETER BUFFER AREAS AS WELL AS TREE CONSERVATION AREAS.
 - 20' STORM EASEMENTS SHALL BE CENTERED ON ALL STORM SEWER PIPE LOCATED OUTSIDE OF STREET RIGHT OF WAYS.
 - UTILITY PIPE SIZES & LOCATIONS ARE PRELIMINARY AND SHALL BE FINALIZED DURING CONSTRUCTION DRAWING REVIEW & APPROVAL.
 - ALL STORM DRAINAGE WITHIN THE RIGHT OF WAY SHALL BE PUBLIC. ALL STORM DRAINAGE OUTSIDE THE RIGHT OF WAY SHALL BE PRIVATE.
 - STORM DRAINAGE PIPING SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. STORM DRAINAGE WITH LESS THAN 2' OF COVER MEASURED FROM SUBGRADE SHALL BE CLASS IV RCP.
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 - PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING STORM DRAINAGE TO AVOID CONFLICTS.
 - RIM ELEVATION FOR YARD INLETS (YI) REFERS TO THE CENTER OF THE TOP OF GRATE. RIM ELEVATION OF MANHOLES (SDMH) REFERS TO THE CENTER OF THE TOP OF MANHOLE COVER. TOP ELEVATION OF CATCH BASIN (CB) REFERS TO THE CENTER OF THE TOP OF CASTING ELEVATION.
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 - NO GRADING EQUIPMENT SHALL BE PERMITTED ON-SITE UNTIL A GRADING PERMIT HAS BEEN ISSUED BY THE CITY OF RALEIGH.
 - ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 140N OR APPROVED EQUAL).
 - WHERE PROPOSED EDGE OF PAVEMENT CONNECTS TO EXISTING, CONTRACTOR SHALL MATCH EXISTING ELEVATION AND CREATE A SMOOTH TRANSITION.
 - CONTRACTOR SHALL RAISE ALL STRUCTURES TO FINISHED GRADE ELEVATIONS.
 - ALL STORM DRAINAGE LINES OUTSIDE OF PUBLIC RIGHT OF WAY REQUIRE 20' PRIVATE DRAINAGE EASEMENTS CENTERED ON PIPE.
 - ANY REQUIRED DISTURBANCE ON ADJACENT PROPERTIES REQUIRE APPROVAL FROM ADJACENT PROPERTY OWNER PRIOR TO ISSUANCE OF GRADING PERMIT. APPROVAL FROM PROPERTY OWNER CAN BE IN FORM OF A TEMPORARY CONSTRUCTION EASEMENT GRANTED OR LETTER OF CONSENT TO DISTURBANCE.



NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

ASR-XXXX-2024



**OAWG SENIOR LIVING COMMUNITY
OVERALL GRADING & DRAINAGE PLAN**

T (919) 552-2499
F (919) 552-2493
206 S. Fidelity Avenue
Fayetteville, NC 27706

Curry
ENGINEERING
C-6.0

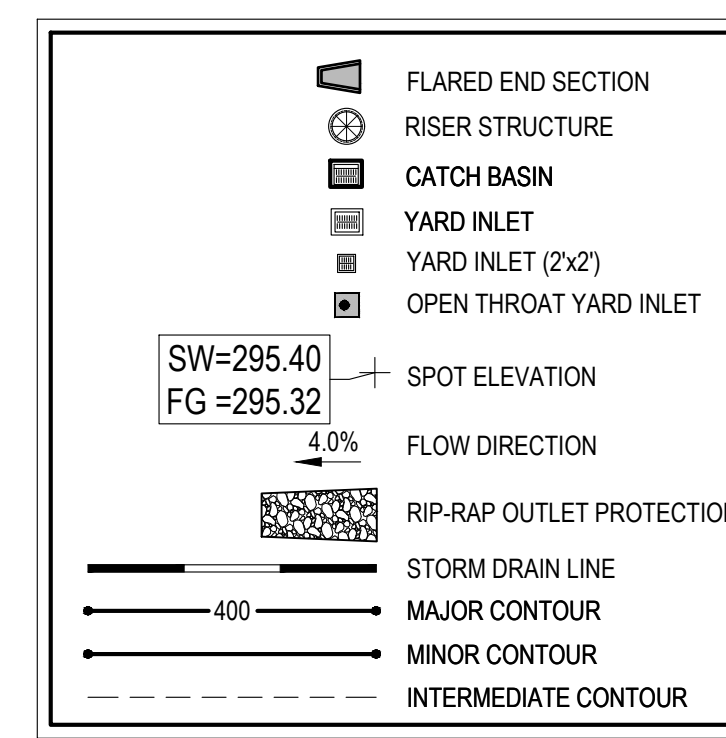
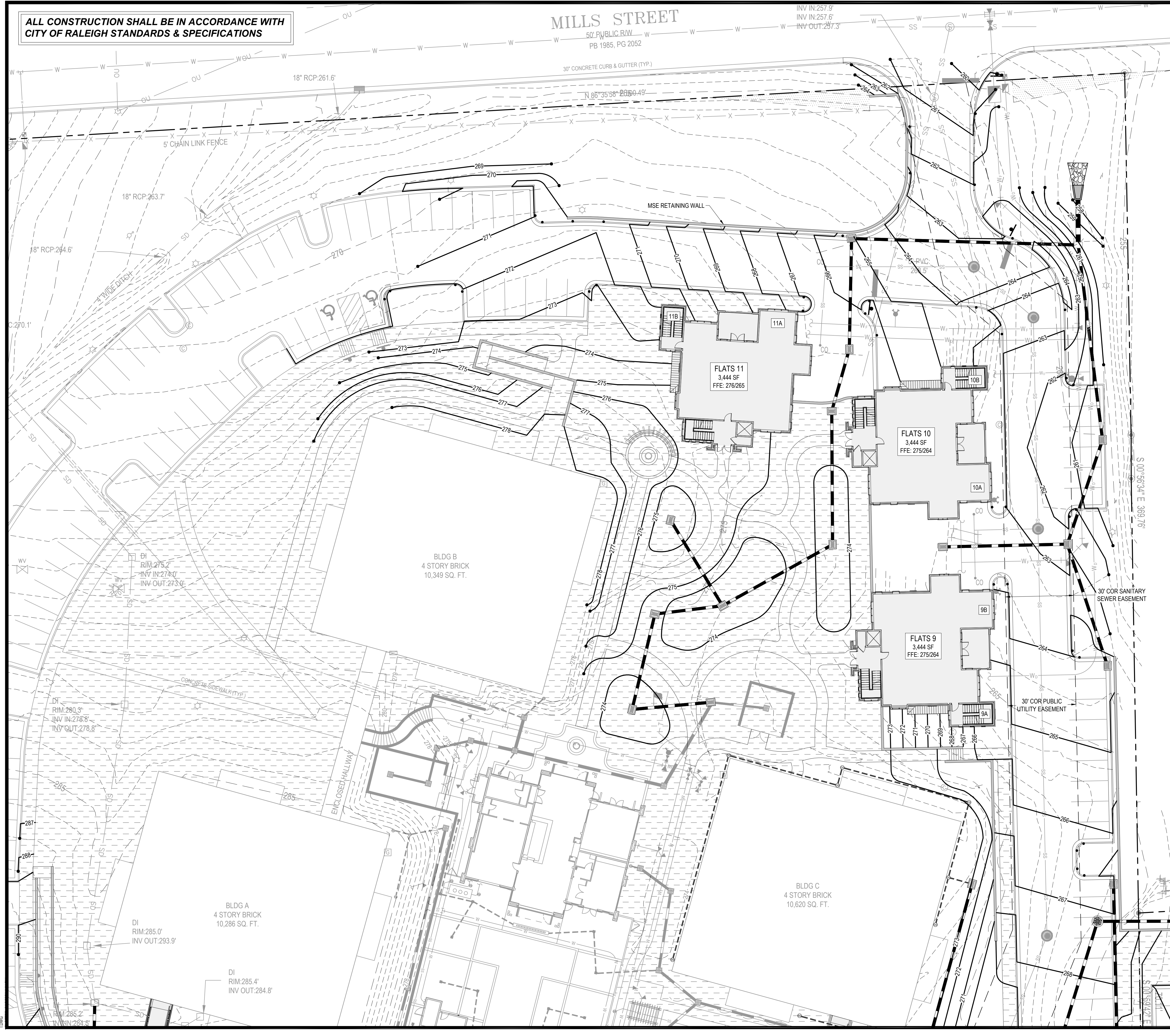
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

MILLS STREET

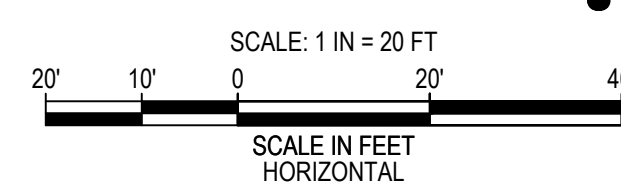
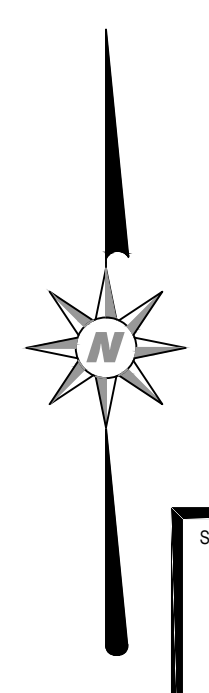
50' PUBLIC R.O.W.
PB 1985, PG 2052

GENERAL NOTES:

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- AVERAGE GRADE ALONG THE PRIMARY FACING STREET IS SUMMARIZED IN THE TABLE BELOW PER COR UDO 1.5.7.



Average Grade Plan Summary			
Building	Elev A	Elev B	Average
Flat 9	265.50	264.00	264.75
Flat 10	264.00	264.00	264.00
Flat 11	268.00	272.00	270.00
SNF	269.00	269.00	269.00
AL	269.00	269.00	269.00
Clubhouse	286.00	286.00	286.00



NOT FOR CONSTRUCTION

OAWG SENIOR LIVING COMMUNITY
PARTIAL GRADING & DRAINAGE PLAN I

T (919) 982-2949
F (919) 982-2943
208 S. Fidelity Avenue
Fayetteville, NC 27408



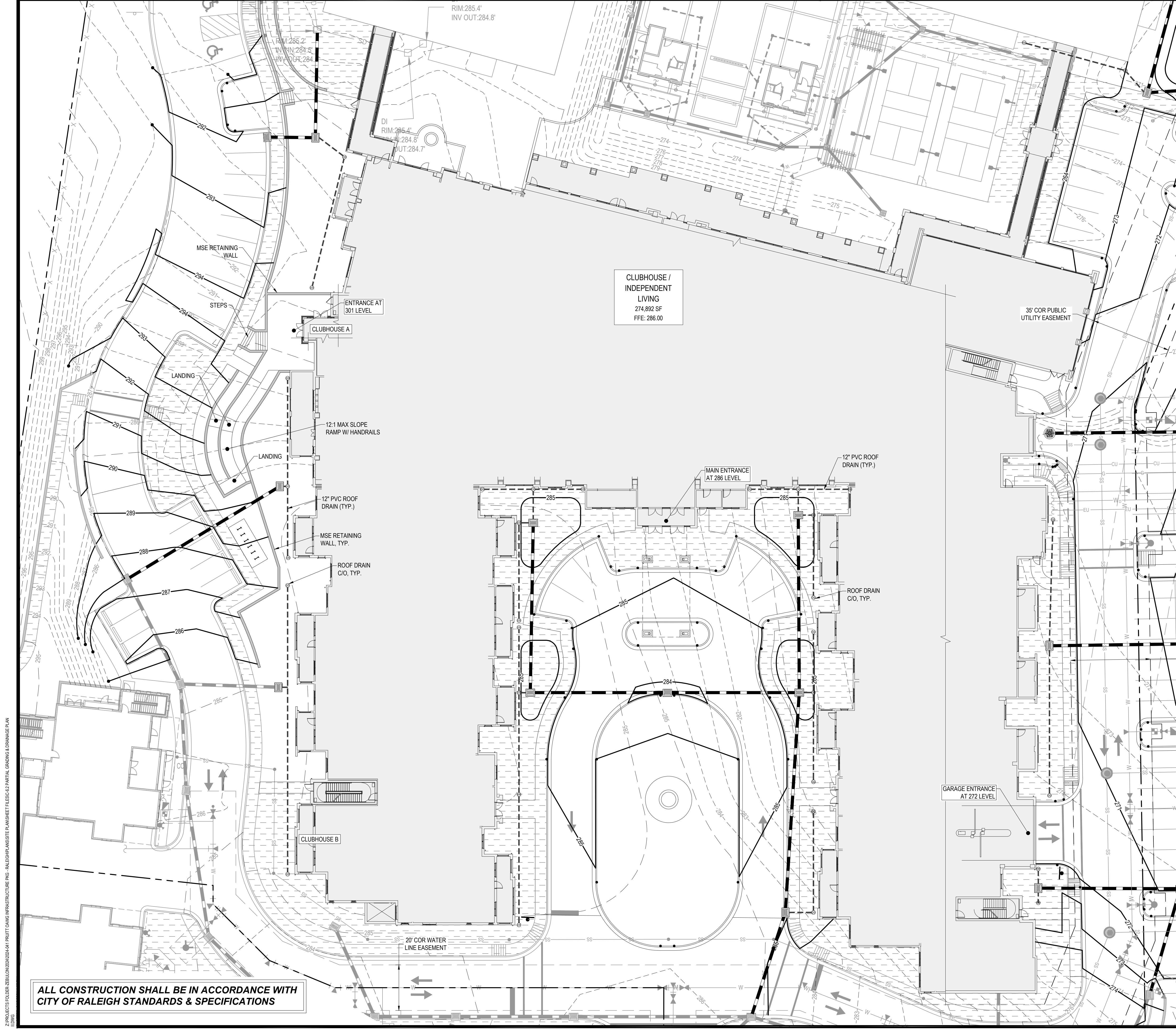
C-6.1

REVISIONS

DATE: 9/15/2023
FILE NO.: 2023-063

HORIZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 4'

PROJECT NUMBER: 2023-063-01 PARTIAL GRADING & DRAINAGE PLAN I



CLUBHOUSE /
INDEPENDENT
LIVING
274,892 SF
FFE: 286.00

CLUBHOUSE A

CLUBHOUSE B

MAIN ENTRANCE
AT 286 LEVEL

ENTRANCE AT
301 LEVEL

LANDING

LANDING

STEPS

MSE RETAINING
WALL

12:1 MAX SLOPE
RAMP W/ HANDRAILS

12" PVC ROOF
DRAIN (TYP.)

ROOF DRAIN
C/O, TYP.

12" PVC ROOF
DRAIN (TYP.)

ROOF DRAIN
C/O, TYP.

35' COR PUBLIC
UTILITY EASEMENT

35' COR PUBLIC
UTILITY EASEMENT

20' COR WATER
LINE EASEMENT

12" PVC ROOF
DRAIN (TYP.)

ROOF DRAIN
C/O, TYP.

12" PVC ROOF
DRAIN (TYP.)

ROOF DRAIN
C/O, TYP.

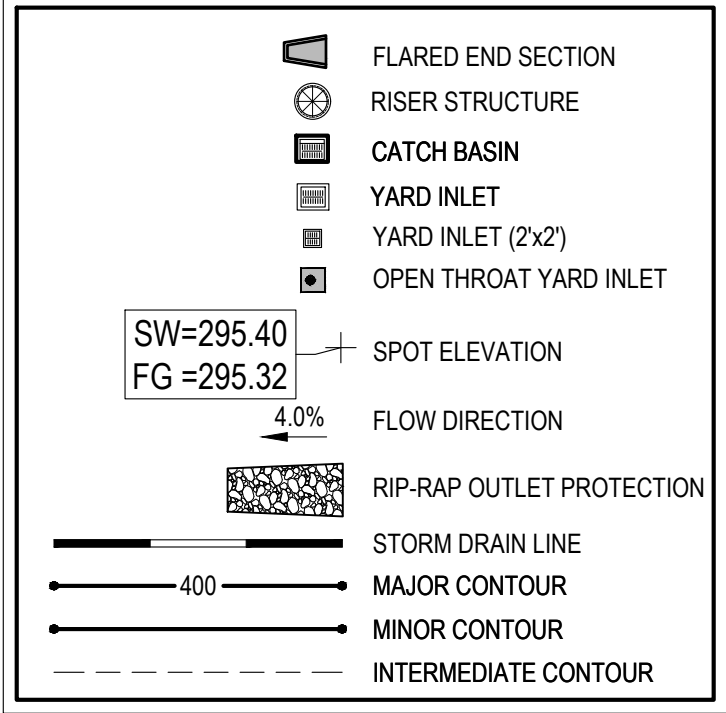
12" PVC ROOF
DRAIN (TYP.)

ROOF DRAIN
C/O, TYP.

12" PVC ROOF
DRAIN (TYP.)

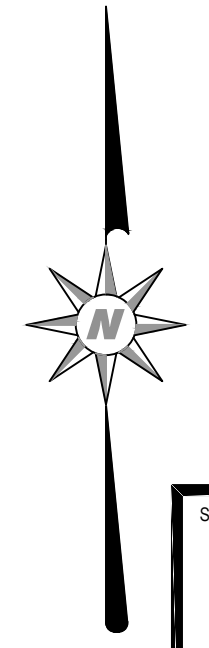
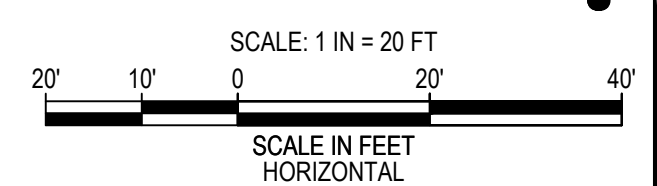
ROOF DRAIN
C/O, TYP.

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 - WHERE PROPOSED EDGE OF PAVEMENT CONNECTS TO EXISTING, CONTRACTOR SHALL MATCH EXISTING ELEVATION AND CREATE A SMOOTH TRANSITION.
 - CONTRACTOR SHALL RAISE ALL STRUCTURES TO FINISHED GRADE ELEVATIONS.
 - ALL STORM DRAINAGE LINES OUTSIDE OF PUBLIC RIGHT OF WAY REQUIRE 20' PRIVATE DRAINAGE EASEMENTS CENTERED ON PIPE.
 - ANY REQUIRED DISTURBANCE ON ADJACENT PROPERTIES REQUIRE APPROVAL FROM ADJACENT PROPERTY OWNER PRIOR TO ISSUANCE OF GRADING PERMIT. APPROVAL FROM PROPERTY OWNER CAN BE IN FORM OF A TEMPORARY CONSTRUCTION EASEMENT GRANTED OR LETTER OF CONSENT TO DISTURBANCE.
 - AVERAGE GRADE ALONG THE PRIMARY FACING STREET IS SUMMARIZED IN THE TABLE BELOW PER COR UDO 1.5.7.

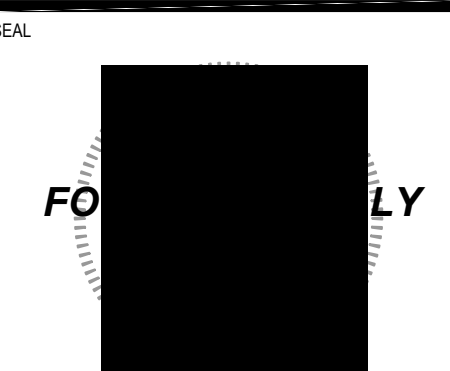


Average Grade Plan Summary			
Building	Elev A	Elev B	Average
Flat 9	285.50	284.00	284.75
Flat 10	284.00	284.00	284.00
Flat 11	288.00	272.00	270.00
SNF	289.00	289.00	289.00
AL	289.00	289.00	289.00
Clubhouse	288.00	288.00	288.00

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



ASR-XXXX-2024



NOT FOR CONSTRUCTION

**OAWG SENIOR LIVING COMMUNITY
PARTIAL GRADING & DRAINAGE PLAN II**

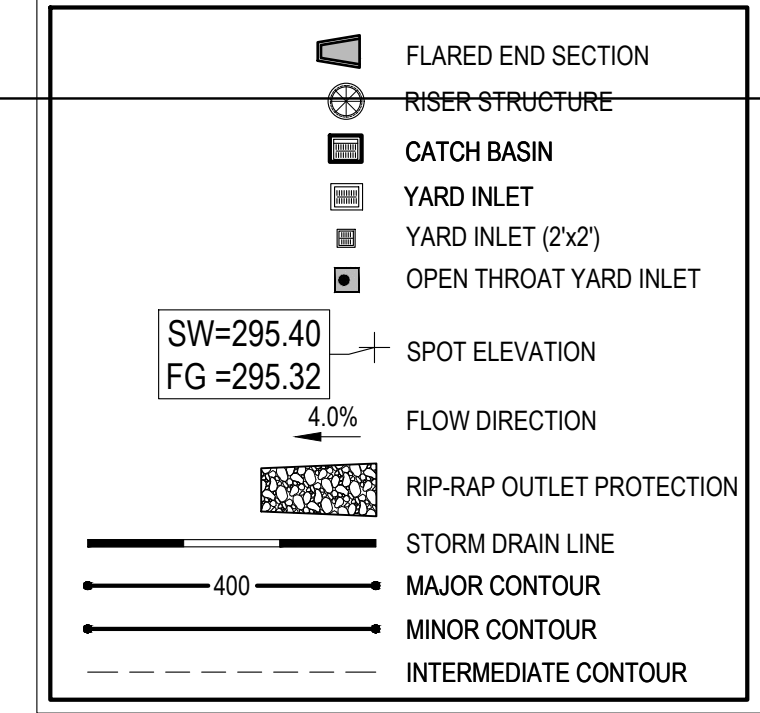
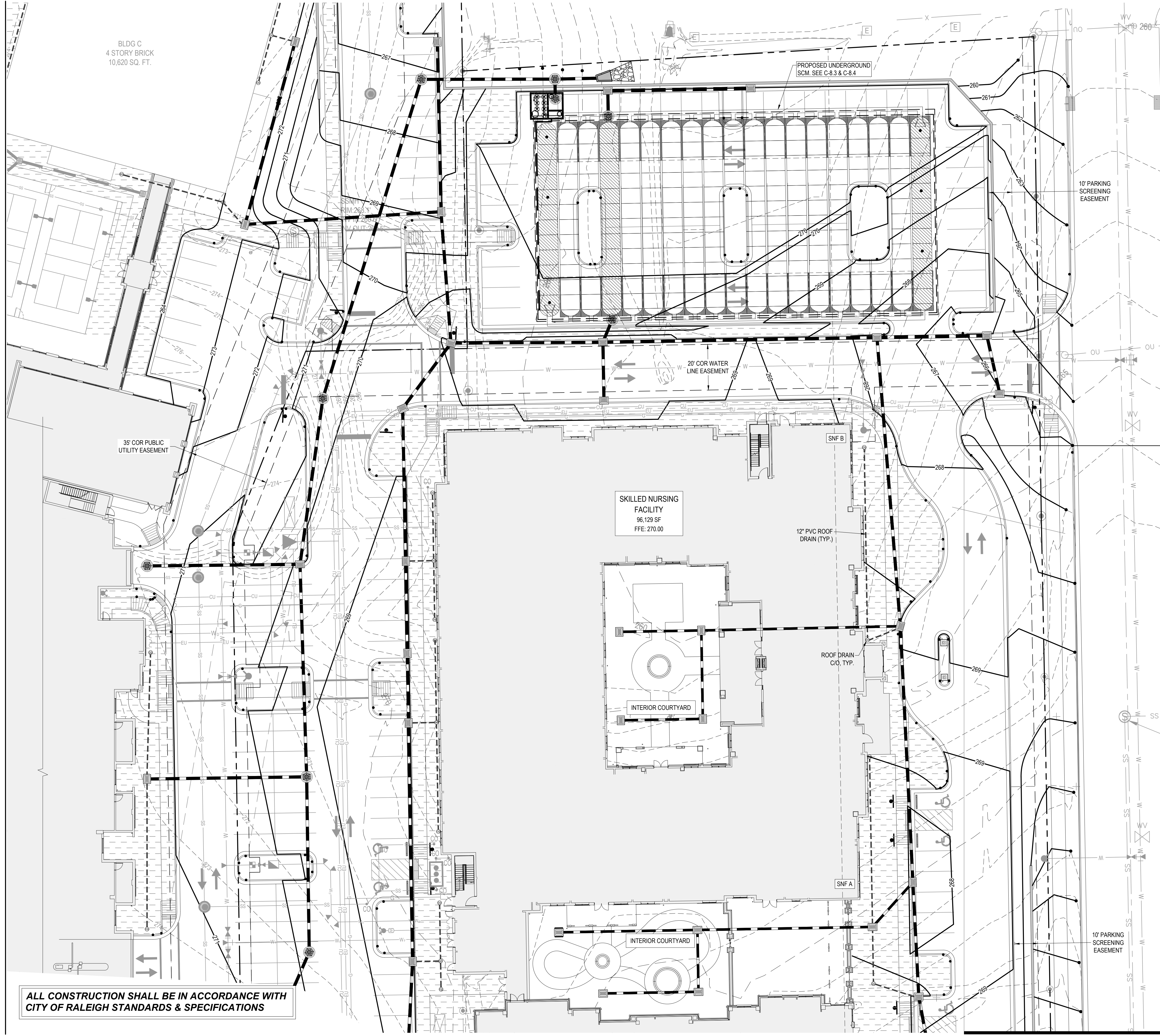
T (919) 562-2449
F (919) 562-2443
208 S. Fidelity Avenue
Fayetteville, NC 27408



REVISIONS
DATE: 9/15/2023
FILE NO.: 2023-063
HORZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 4'
CONG. SHEET SIZE: 24" x 36"

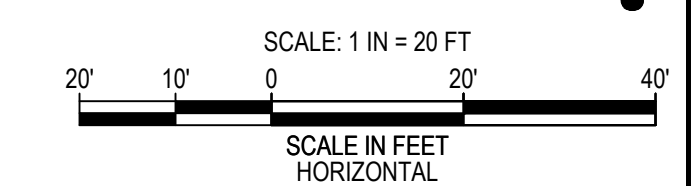
GENERAL NOTES:

- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN AND VEGETATED PERIMETER BUFFER AREAS AS WELL AS TREE CONSERVATION AREAS.
- 20' STORM EASEMENTS SHALL BE CENTERED ON ALL STORM SEWER PIPE LOCATED OUTSIDE OF STREET RIGHT OF WAYS.
- UTILITY PIPE SIZES & LOCATIONS ARE PRELIMINARY AND SHALL BE FINALIZED DURING CONSTRUCTION DRAWING REVIEW & APPROVAL.
- ALL STORM DRAINAGE WITHIN THE RIGHT OF WAY SHALL BE PUBLIC. ALL STORM DRAINAGE OUTSIDE THE RIGHT OF WAY SHALL BE PRIVATE.
- STORM DRAINAGE PIPING SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. STORM DRAINAGE WITH LESS THAN 2' OF COVER MEASURED FROM SUBGRADE SHALL BE CLASS IV RCP.
- ANY STORM DRAINAGE PIPING THAT IS TO BE LAID FLAT SHALL BE O-RING GASKETED PIPE CONFORMING TO ASTM C-443.
- PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING STORM DRAINAGE TO AVOID CONFLICTS.
- RIM ELEVATION FOR YARD INLETS (YI) REFERS TO THE CENTER OF THE TOP OF GRATE. RIM ELEVATION OF MANHOLES (SDMH) REFERS TO THE CENTER OF THE TOP OF MANHOLE COVER. TOP ELEVATION OF CATCH BASINS (CB) REFERS TO THE CENTER OF THE TOP OF CASTING ELEVATION.
- PROPOSED CONTOURS ILLUSTRATE THE FINISHED SURFACE ELEVATION FOR PAVEMENT, FINISHED SUBGRADE ELEVATION IN OPEN AREAS AND TOP OF RIP-RAP UNLESS OTHERWISE NOTED.
- CUT/FILL SLOPES SHALL BE GRADED AT A MAXIMUM OF 3:1V UNLESS OTHERWISE INDICATED.
- NO GRADING EQUIPMENT SHALL BE PERMITTED ON-SITE UNTIL A GRADING PERMIT HAS BEEN ISSUED BY THE CITY OF RALEIGH.
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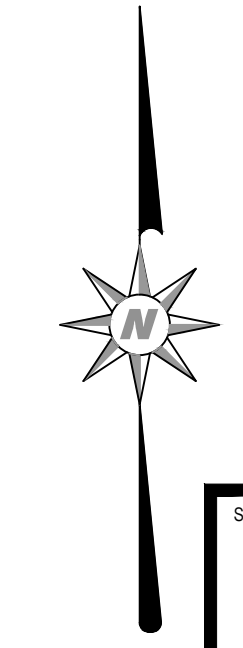


Average Grade Plan Summary			
Building	Elev A	Elev B	Average
Flat 9	265.50	264.00	264.75
Flat 10	264.00	264.00	264.00
Flat 11	268.00	272.00	270.00
SNF	269.00	269.00	269.00
AL	269.00	269.00	269.00
Clubhouse	286.00	286.00	286.00

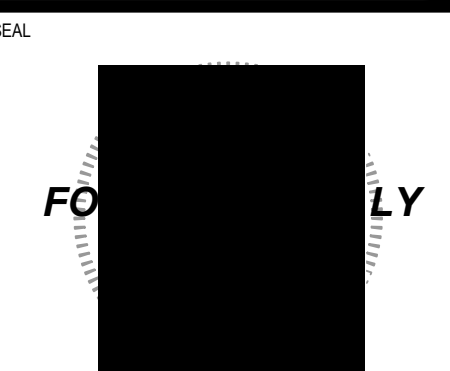
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



NOT FOR CONSTRUCTION



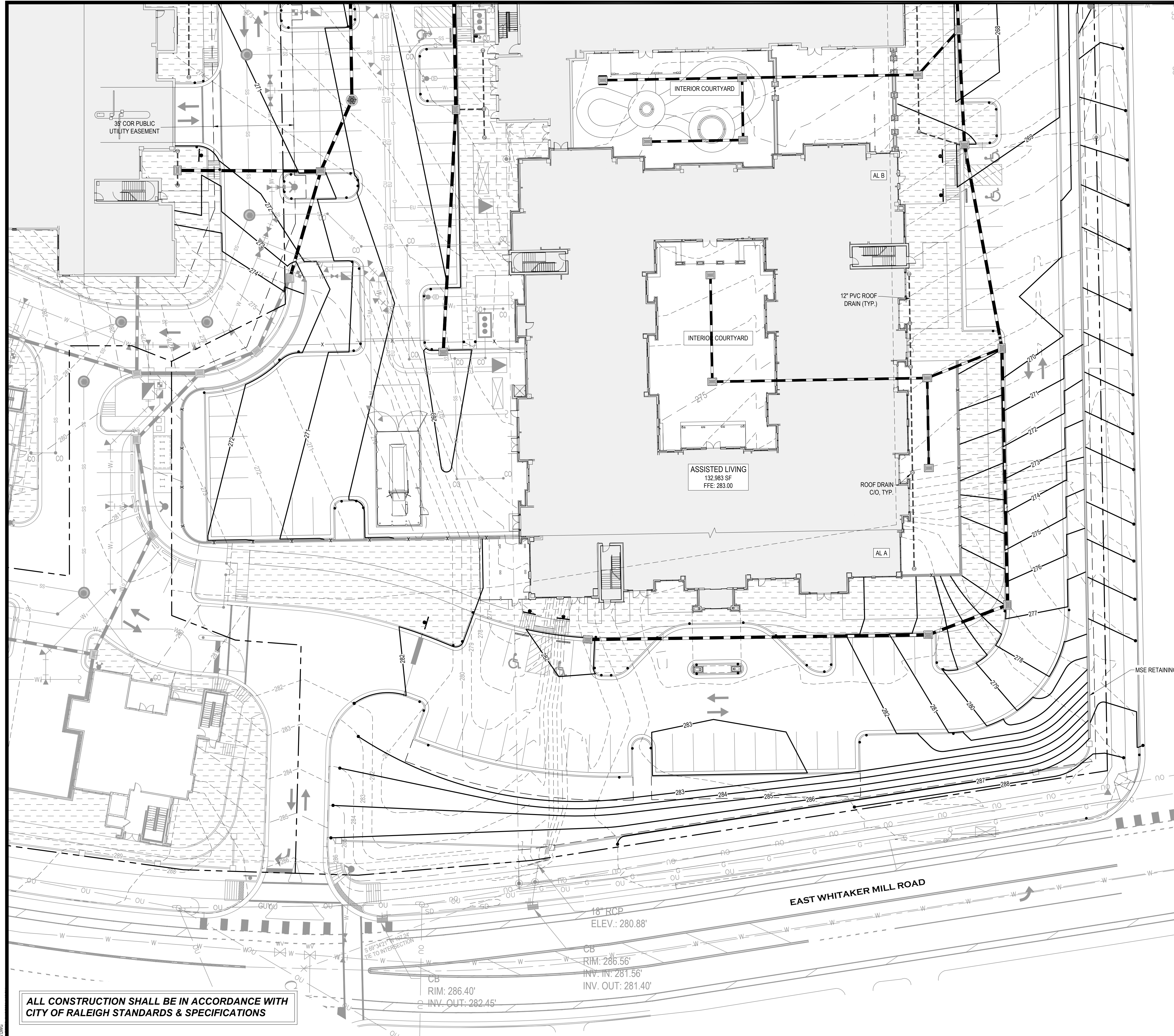
ASR-XXXX-2024



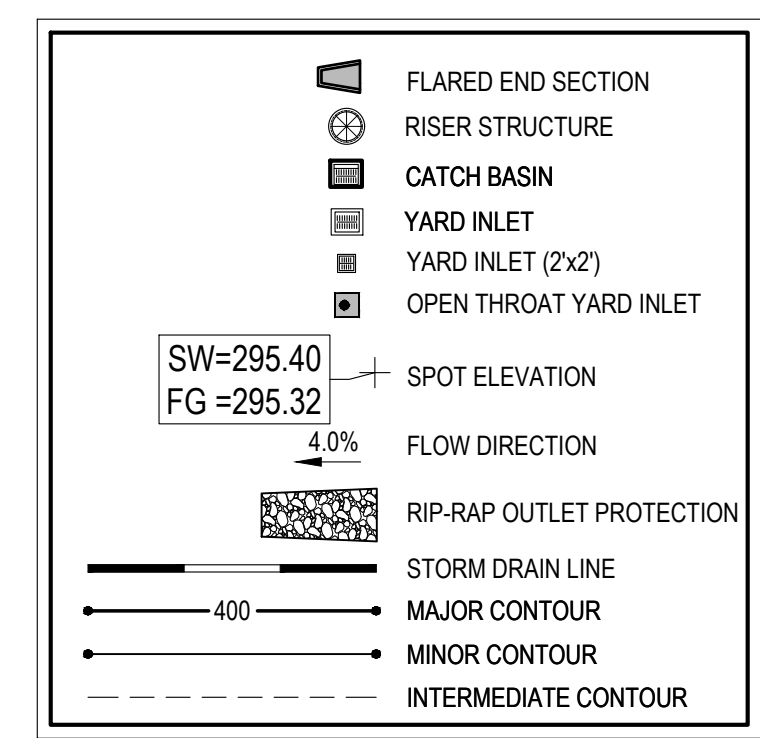
**OAWG SENIOR LIVING COMMUNITY
PARTIAL GRADING & DRAINAGE PLAN III**

T (919) 552-2499
F (919) 552-2493
208 S. Fidelity Avenue
Fayetteville, NC 27708

Curry
ENGINEERING
C-6.3

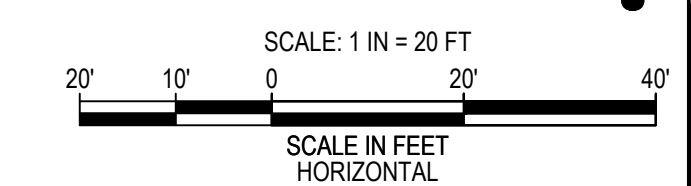


- GENERAL NOTES:**
- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
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Average Grade Plan Summary			
Building	Elev A	Elev B	Average
Flat 9	265.50	264.00	264.75
Flat 10	264.00	264.00	264.00
Flat 11	268.00	272.00	270.00
SNF	269.00	269.00	269.00
AL	269.00	269.00	269.00
Clubhouse	286.00	286.00	286.00

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



NOT FOR CONSTRUCTION

ASR-XXXX-2024

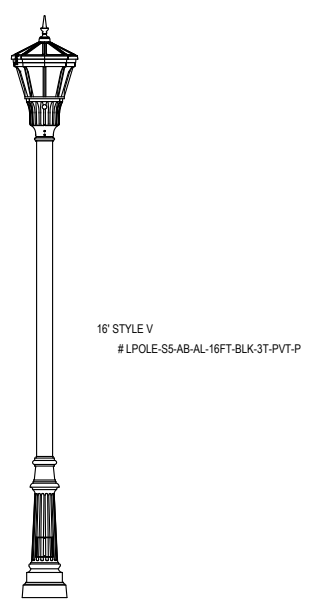
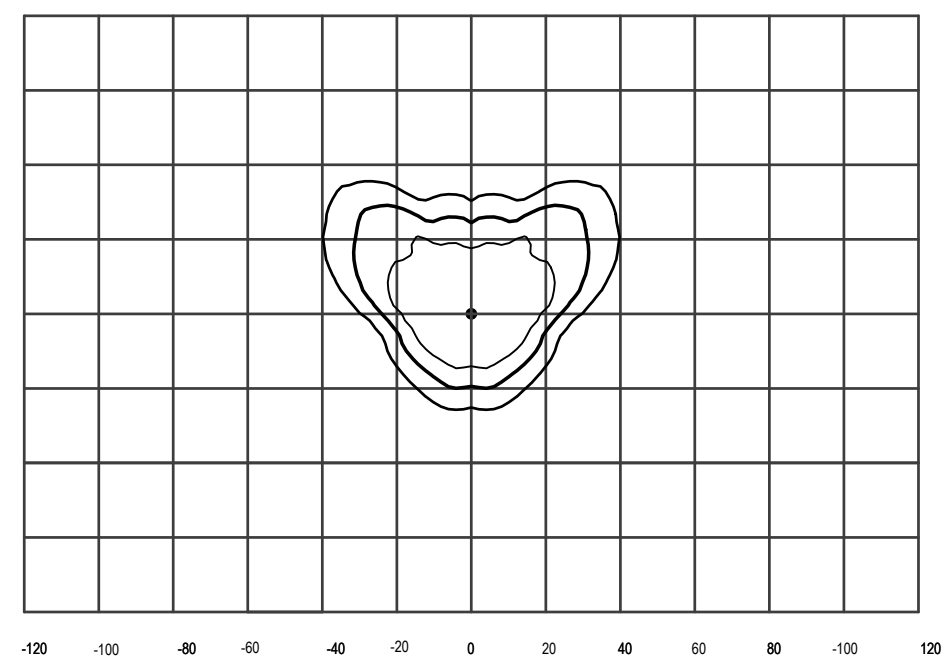
REVISIONS
 DATE: 9/15/2023
 FILE NO.: 2023-063
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: 1" = 20'
 OAWG SENIOR LIVING COMMUNITY
 PARTIAL GRADING & DRAINAGE PLAN IV
 C-6.4
 Curry ENGINEERING
 208 S. Fidelity Avenue
 Fidelity/Trinity, NC 27608
 T: (919) 552-2849
 F: (919) 552-2843

Symbol	Label	Quantity	Description	Lumens Per Lamp	Light Loss Factor
	A	26	LED Open Monticello - Type III - 4000K	6041	0.85

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Grid	+	0.2 fc	2.3 fc	0.0 fc	N/A	N/A
Parking	X	0.9 fc	2.3 fc	0.3 fc	7.7:1	3.0:1

FIXTURE: LED 50w Open Monticello
 MOUNTING HEIGHT: 12 FT
 LIGHT SOURCE: LED, 3000K
 LUMENS - 3970
 PATTERN: TYPE III, B1-U0-G1 (zero light at or above 90 degrees)

ASSY # LFIX-OMONT-LED-50-BLK-III-3000K__P



Outdoor Lighting
Monticello Open LED



Part of the Masterpiece Series, the Monticello enhances the character and prestige of streetscapes and parking lots, as well as pedestrian areas and greenways. This fixture provides safety and security in commercial settings and will complement any neighborhood with its classic, elegant design.

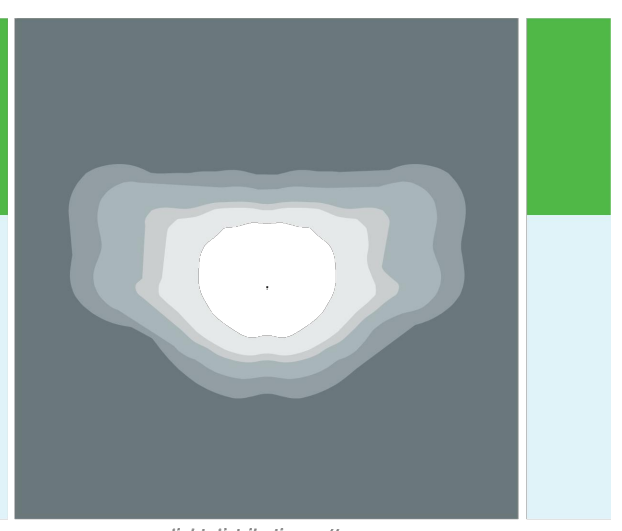
LED	75 watts
Mounting heights	12', 13', 16'
Color	Black
Poles	Smooth round concrete Fluted concrete Fiberglass Decorative aluminum

Note: These fixtures are not stocked by Duke Energy Progress. They must be special-ordered and require up to 8 weeks of lead time for arrival.

For additional information, visit us at duke-energy.com/outdoorlighting or call us toll free at 866.769.6417.



Outdoor Lighting
Monticello Open LED



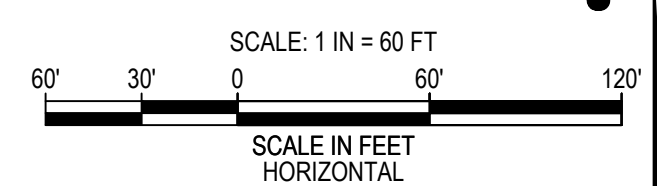
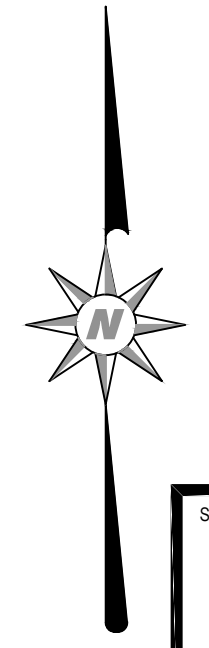
Light source: LED (white)
 Wattage: 75
 Lumens: 4,249
 Light pattern: IESNA Type III (oval)
 Note: IESNA Type V (circular) coming soon
 IESNA BUG Rating: B1-U0-G1

Poles available:	Mounting height	Color
Fiberglass	16'	Black
Smooth concrete*	12', 16'	Black
Decorative aluminum*	12', 16'	Black
Fluted concrete*	13'	Black

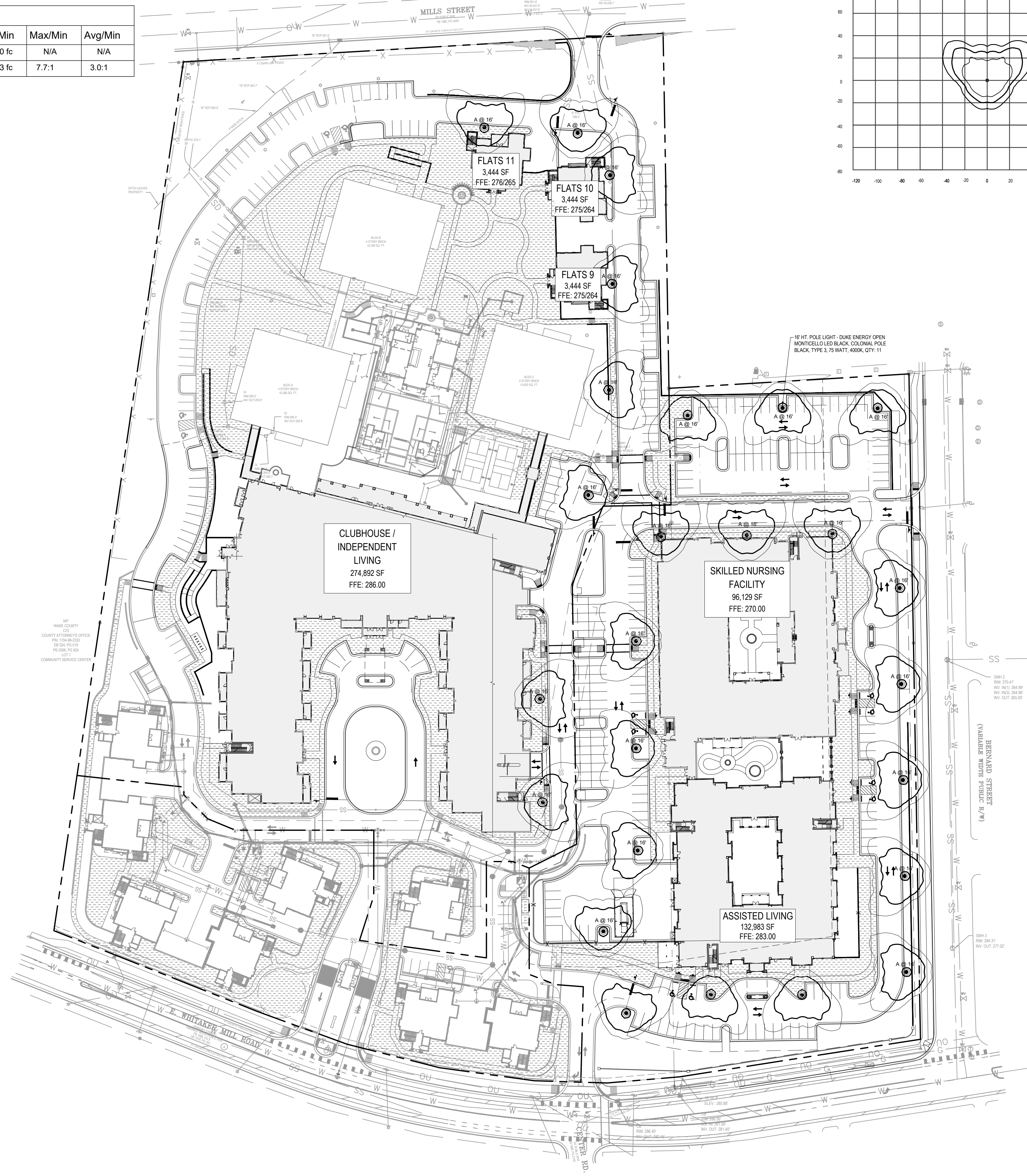
Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

*Note: These poles are not stocked by Duke Energy Progress. They must be special-ordered and require up to 8 weeks of lead time for arrival.

©2017 Duke Energy Corporation 170288 3/17



NOT FOR CONSTRUCTION



NE WAKE COUNTY
 COUNTY ATTORNEY'S OFFICE
 100 S. HARRIS ST.
 Rm. 1000
 WAKE COUNTY, NC 27701
 COMMUNITY SERVICE CENTER

DRAWN BY: J. B. BROWN, DATE: 08/20/2024, PROJECT: OAWG SENIOR LIVING COMMUNITY, SHEET: 01 LIGHTING PLAN DWG, PLOTTED: 08/20/24 4:33 PM

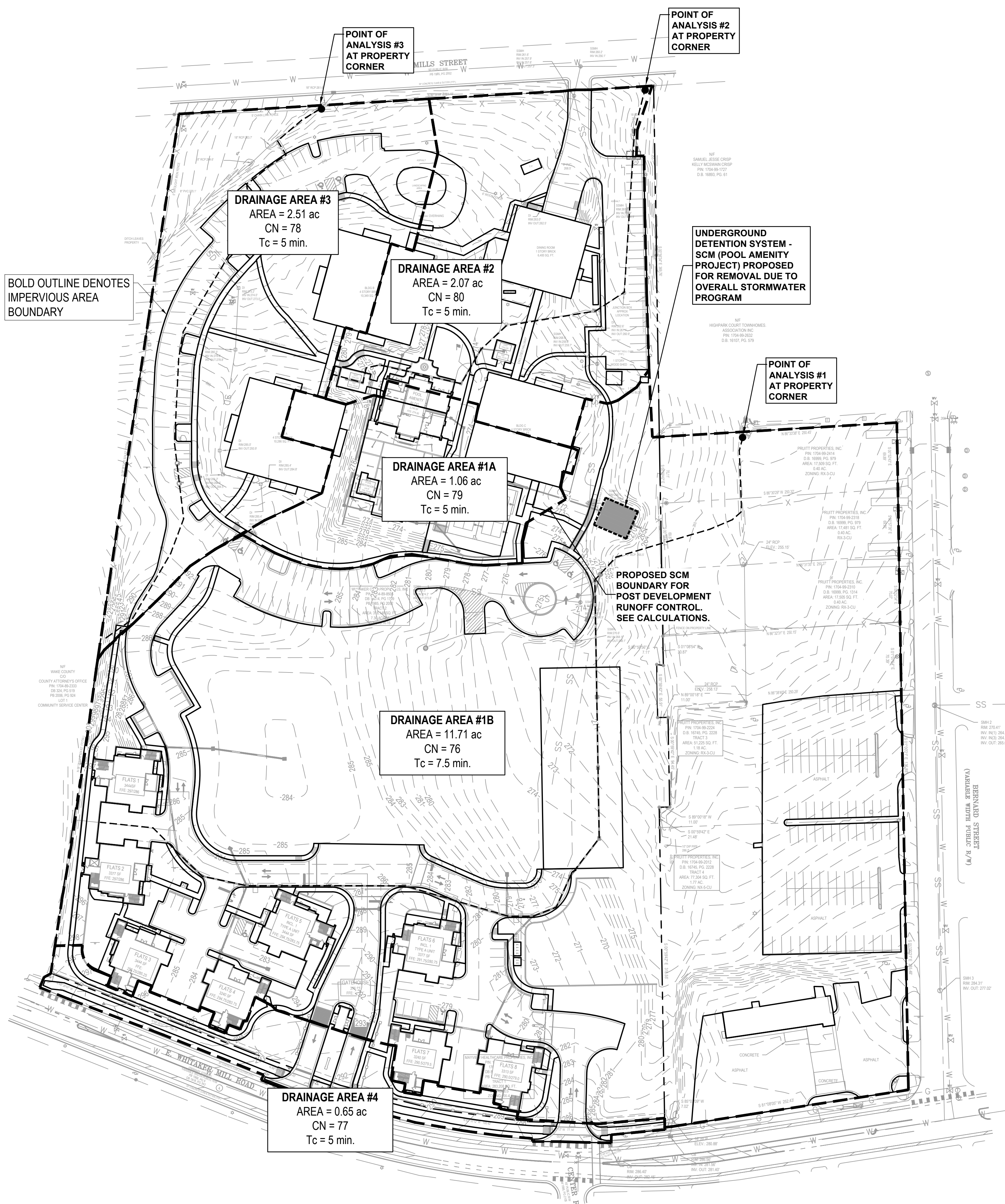
OAWG SENIOR LIVING COMMUNITY
LIGHTING PLAN

T (919) 562-2849
 F (919) 562-2843
 208 S. Fidelity Avenue
 Fuquay-Varina, NC 27090



REVISIONS
 DATE: 01/15/2023
 FILE NO.: 2023-2853
 HORZ. SCALE: 1" = 30'
 VERT. SCALE: 1" = 30'
 CDS: SHEET SIZE: 24" x 36"

PROJECT: FOLBERG ZEBELON 20240224 11 PRUITT DAVIS INFRASTRUCTURE INC. - RALEIGH PLANS SITE PLAN SHEET FILED IN: ASHMET FILED IN: 11/15/2023 11:00 AM
MAP DWG



BOLD OUTLINE DENOTES IMPERVIOUS AREA BOUNDARY

DRAINAGE AREA #3
AREA = 2.51 ac
CN = 78
Tc = 5 min.

DRAINAGE AREA #2
AREA = 2.07 ac
CN = 80
Tc = 5 min.

DRAINAGE AREA #1A
AREA = 1.06 ac
CN = 79
Tc = 5 min.

DRAINAGE AREA #1B
AREA = 11.71 ac
CN = 76
Tc = 7.5 min.

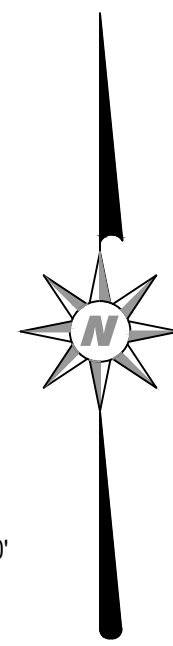
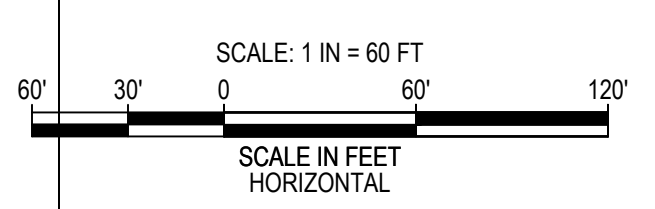
DRAINAGE AREA #4
AREA = 0.65 ac
CN = 77
Tc = 5 min.

UNDERGROUND DETENTION SYSTEM - SCM (POOL AMENITY PROJECT) PROPOSED FOR REMOVAL DUE TO OVERALL STORMWATER PROGRAM

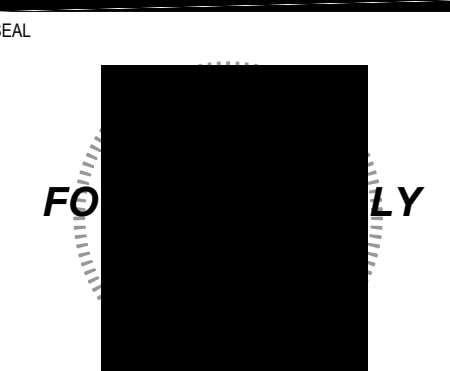
PROPOSED SCM BOUNDARY FOR POST DEVELOPMENT RUNOFF CONTROL. SEE CALCULATIONS.

1 PRE-DEVELOPMENT IMPERVIOUS AREAS
C-8.1 SCALE: 1:50

NOTES:
1. PLANIMETRICS & TOPOGRAPHY SHOWN PER SITE SURVEY.
2. SOILS ARE APPLING AND CECIL, HYDROLOGIC GROUP 'B' SOILS.



ASR-XXXX-2024



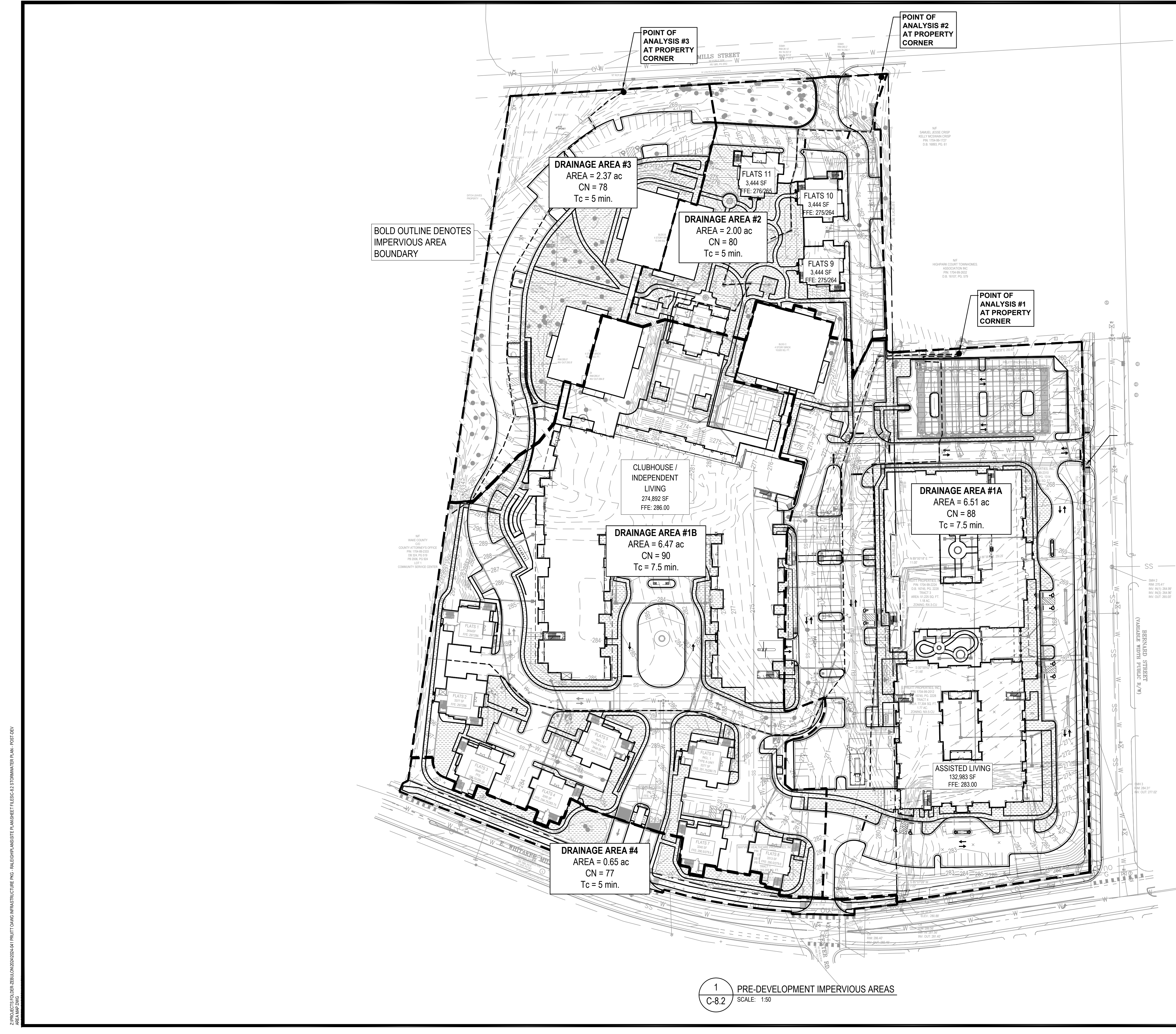
NOT FOR CONSTRUCTION

REVISIONS	DATE	DESCRIPTION

OAWG SENIOR LIVING COMMUNITY STORMWATER PLAN - PRE-DEV AREA MAP

T (919) 552-2499
F (919) 552-2493
208 S. Fidelity Avenue
Fayetteville, NC 27708

Curry
ENGINEERING
C-8.1



BOLD OUTLINE DENOTES IMPERVIOUS AREA BOUNDARY

POINT OF ANALYSIS #3 AT PROPERTY CORNER

POINT OF ANALYSIS #2 AT PROPERTY CORNER

POINT OF ANALYSIS #1 AT PROPERTY CORNER

DRAINAGE AREA #3
AREA = 2.37 ac
CN = 78
Tc = 5 min.

DRAINAGE AREA #2
AREA = 2.00 ac
CN = 80
Tc = 5 min.

CLUBHOUSE / INDEPENDENT LIVING
274,892 SF
FFE: 286.00

DRAINAGE AREA #1B
AREA = 6.47 ac
CN = 90
Tc = 7.5 min.

DRAINAGE AREA #1A
AREA = 6.51 ac
CN = 88
Tc = 7.5 min.

DRAINAGE AREA #4
AREA = 0.65 ac
CN = 77
Tc = 5 min.

FLATS 11
3,444 SF
FFE: 276/265

FLATS 10
3,444 SF
FFE: 275/264

FLATS 9
3,444 SF
FFE: 275/264

ASSISTED LIVING
132,983 SF
FFE: 283.00

1 PRE-DEVELOPMENT IMPERVIOUS AREAS
C-8.2 SCALE: 1:50

- NOTES:
1. PLANIMETRICS & TOPOGRAPHY SHOWN PER SITE SURVEY.
 2. SOILS ARE APLING AND CECIL, HYDROLOGIC GROUP "B" SOILS.
 3. A SHARED STORMWATER MANAGEMENT PROGRAM IS PROPOSED TO ADDRESS STORMWATER ACROSS THE MULTIPLE PARCELS SHOWN HERE, ALL OF WHICH ARE OWNED AND MANAGED BY PRUITT HEALTH.
 4. THE PROPOSED ANALYSIS ASSUMES A SINGLE UNDERGROUND STORMWATER MANAGEMENT FACILITY (STORMTECH + BAYFILTER) TO MANAGE THE INCREASED IMPERVIOUS LOAD FROM THE PROPOSED DEVELOPMENT. THIS TAKES INTO ACCOUNT THE EXISTING BUILDINGS, PARKING, ROADWAY, AND SIDEWALK IMPERVIOUS FROM THE ENTIRE PRUITT CAMPUS. ANALYSIS POINTS #2 AND #3 RESULTED IN NO NET INCREASE IN RUNOFF. ANALYSIS POINT #1 RESULTED IN AN INCREASE THAT IS MITIGATED WITH THE PROPOSED SCM UP TO THE 100-YEAR STORM EVENT. SEE CALCULATIONS FOR ADDITIONAL DETAIL.

ANALYSIS POINTS #1 (PRE) AND #1 (POST) (HYD #5, 13)

Storm Event	Pre-Development Peak Flow (cfs)	Post-Development Peak Flow (cfs)	Net Change (cfs)	Net Change (%)
2 yr	26.78	23.79	-2.99	-11%
10 yr	50.82	37.65	-13.17	-26%
25 yr	66.06	47.17	-18.89	-29%
100 yr	90.84	88.33	-2.51	-3%

ANALYSIS POINTS #2 (PRE) AND #2 (POST) (HYD #3, 10)

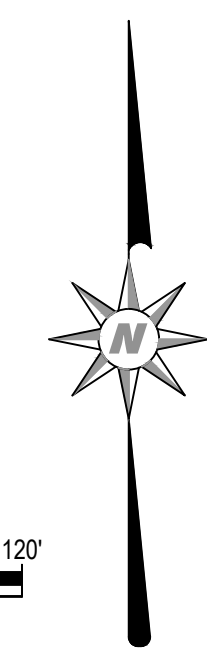
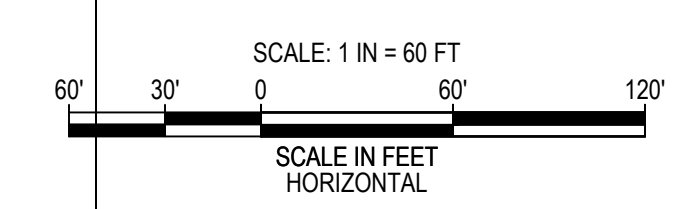
Storm Event	Pre-Development Peak Flow (cfs)	Post-Development Peak Flow (cfs)	Net Change (cfs)	Net Change (%)
2 yr	5.50	5.32	-0.18	-3%
10 yr	9.84	9.51	-0.33	-3%
25 yr	12.50	12.08	-0.42	-3%
100 yr	16.77	16.20	-0.57	-3%

ANALYSIS POINTS #3 (PRE) AND #3 (POST) (HYD #4, 11)

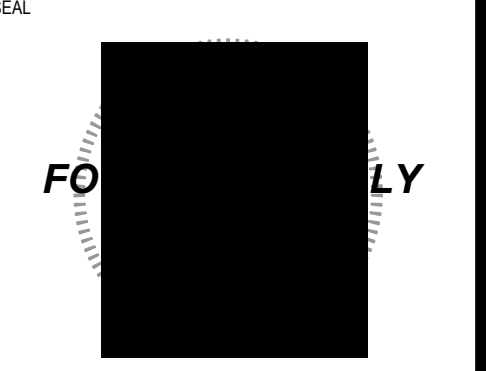
Storm Event	Pre-Development Peak Flow (cfs)	Post-Development Peak Flow (cfs)	Net Change (cfs)	Net Change (%)
2 yr	6.12	5.78	-0.34	-6%
10 yr	11.23	10.60	-0.63	-6%
25 yr	14.42	13.61	-0.81	-6%
100 yr	19.56	18.47	-1.09	-6%

TOTAL PRE-DEV AND TOTAL POST-DEV (HYD #6, #14)

Storm Event	Pre-Development Peak Flow (cfs)	Post-Development Peak Flow (cfs)	Net Change (cfs)	Net Change (%)
2 yr	38.09	34.89	-3.20	-8%
10 yr	71.63	57.51	-14.12	-20%
25 yr	92.48	72.39	-20.09	-22%
100 yr	126.26	115.02	-11.24	-9%



ASR-XXXX-2024



NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/2023	FILE NO. 2023-063
2	01/15/2023	HORIZ SCALE: 1" = 60'
3	01/15/2023	VERT SCALE: 1" = 20'
4	01/15/2023	CING. SHEET SIZE: 24" x 36"

OAWG SENIOR LIVING COMMUNITY
STORMWATER PLAN - POST-DEV AREA MAP

208 S. Fidelity Avenue
Fayetteville, NC 27808
T (919) 552-2499
F (919) 552-2493

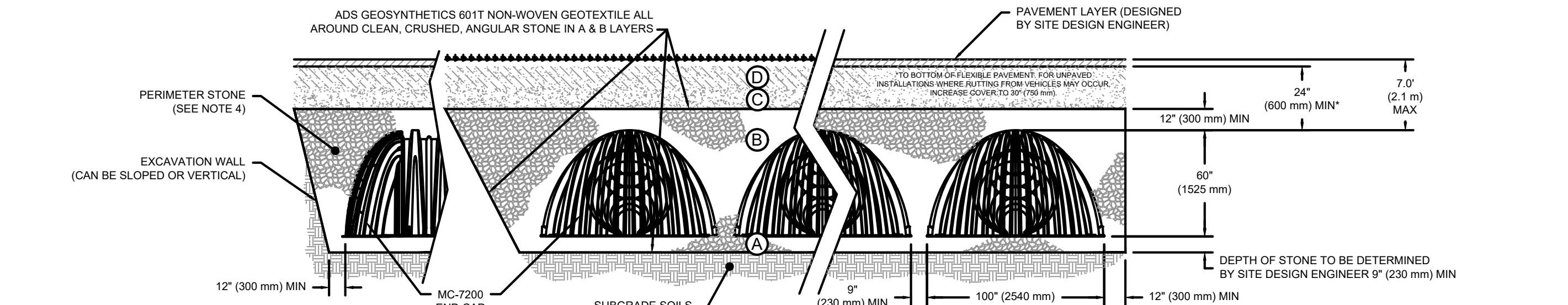
Curry
ENGINEERING
C-8.2

DRAWING NO. 1808-ZENL00202024-01 PRUITT HEALTH/PLANSITE/PLANSHEET FILED AS 23 STORMWATER PLAN - POST-DEV AREA MAP.DWG

ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

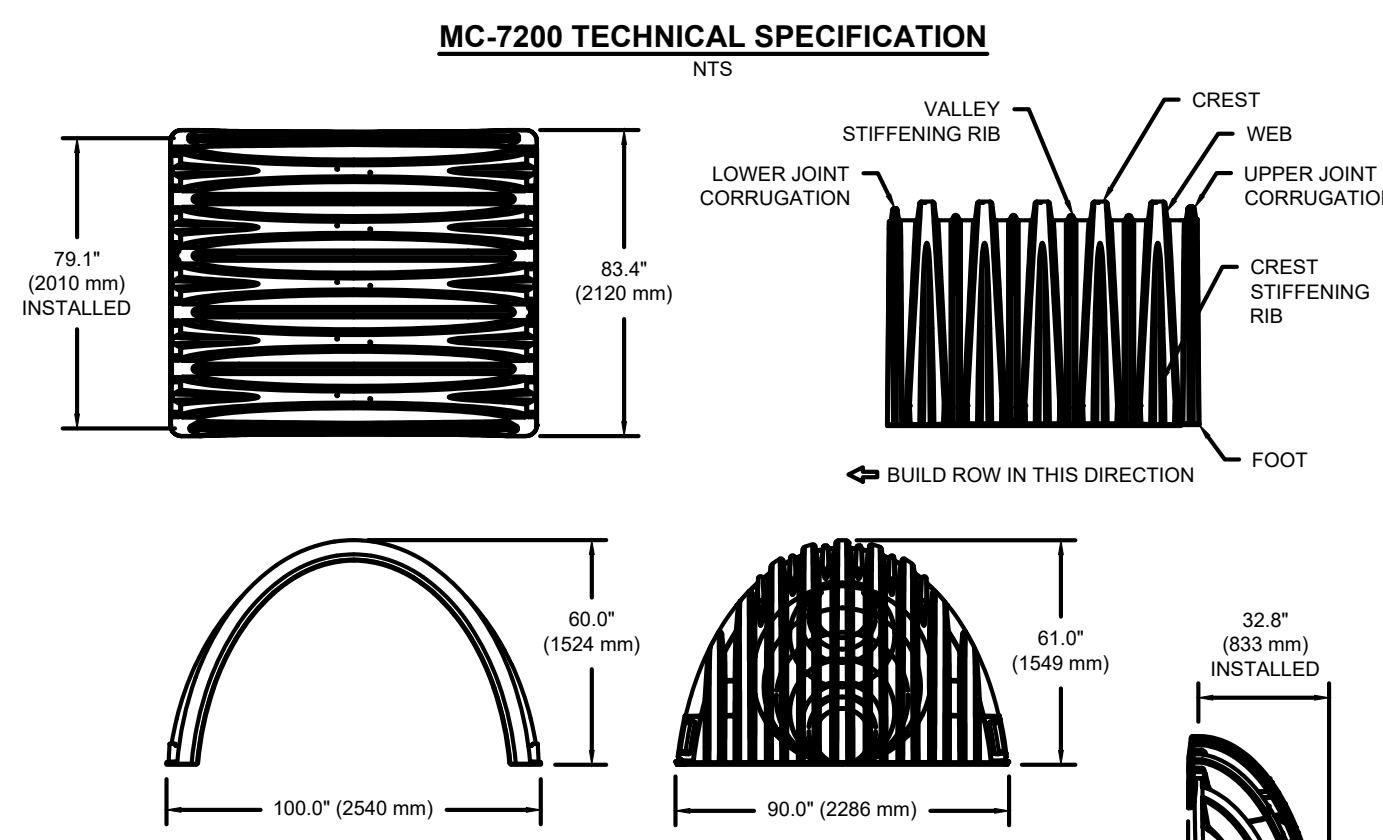
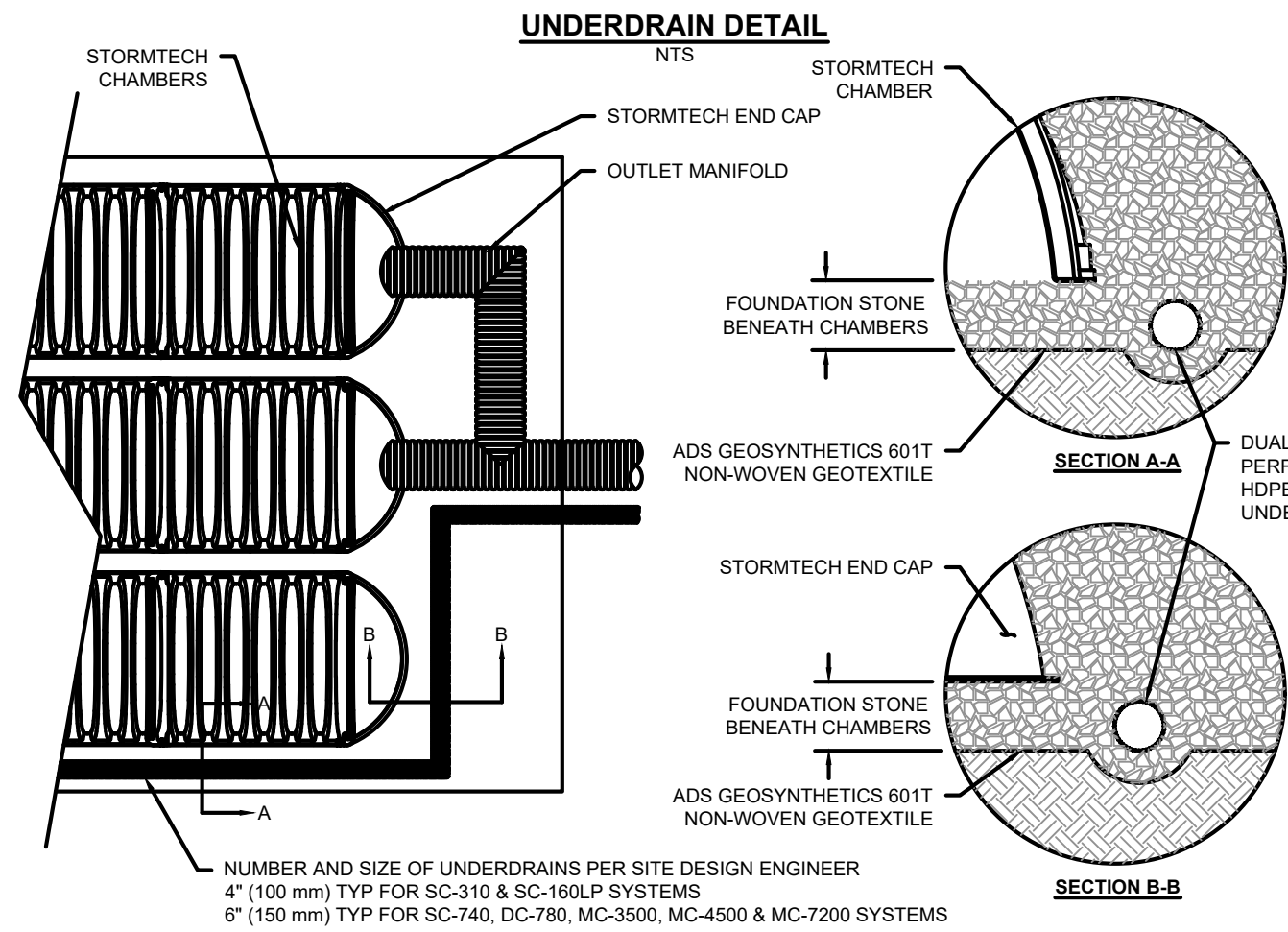
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M148 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101
- MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT³. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	(2540 mm X 1524 mm X 2010 mm)
CHAMBER STORAGE	175.9 CUBIC FEET (4.98 m ³)
MINIMUM INSTALLED STORAGE*	267.3 CUBIC FEET (7.56 m ³)
WEIGHT (NOMINAL)	205 lbs. (92.9 kg)

NOMINAL END CAP SPECIFICATIONS

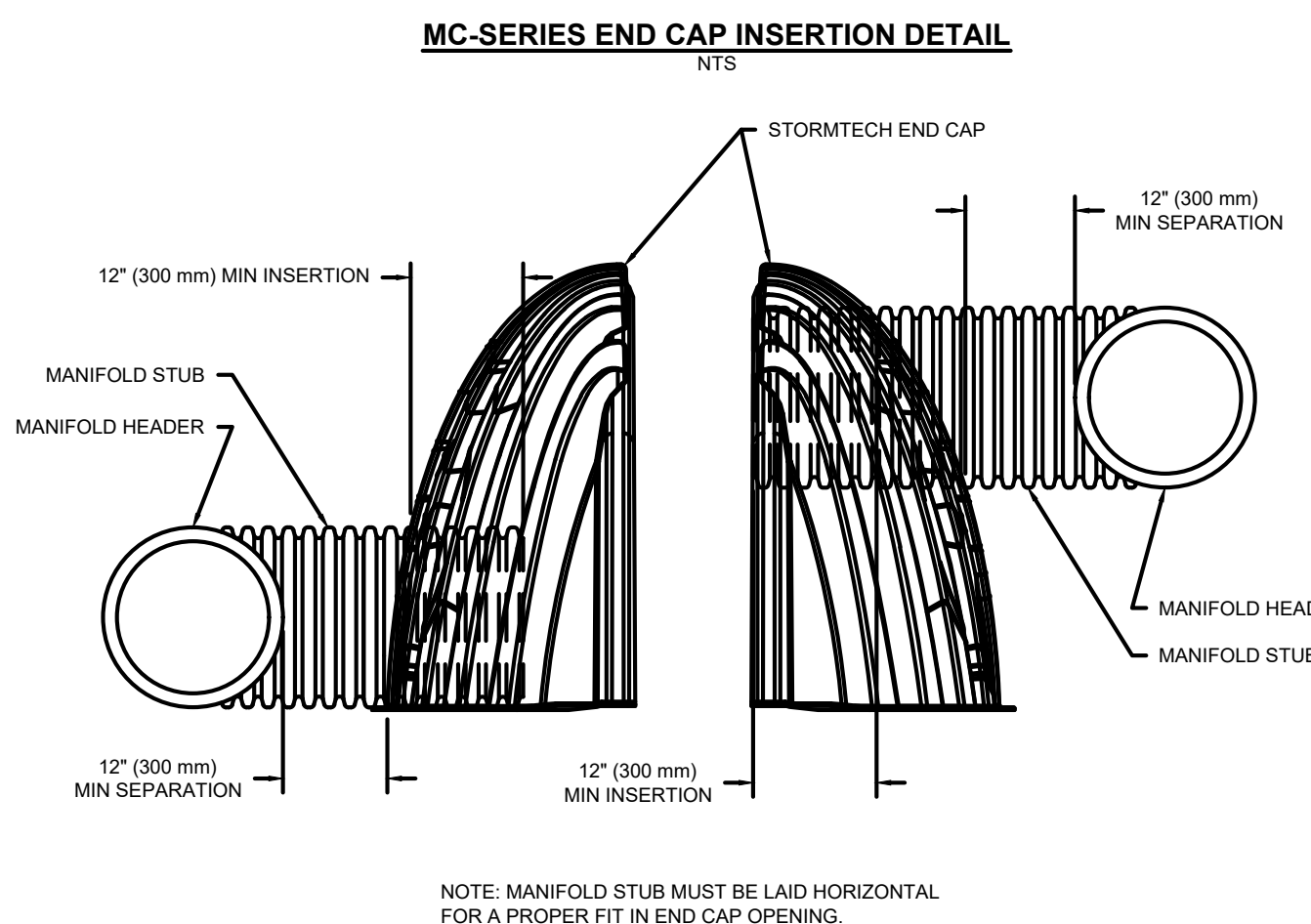
SIZE (W X H X INSTALLED LENGTH)	(2286 mm X 1549 mm X 833 mm)
END CAP STORAGE	39.5 CUBIC FEET (1.12 m ³)
MINIMUM INSTALLED STORAGE*	115.3 CUBIC FEET (3.26 m ³)
WEIGHT (NOMINAL)	90 lbs. (40.8 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

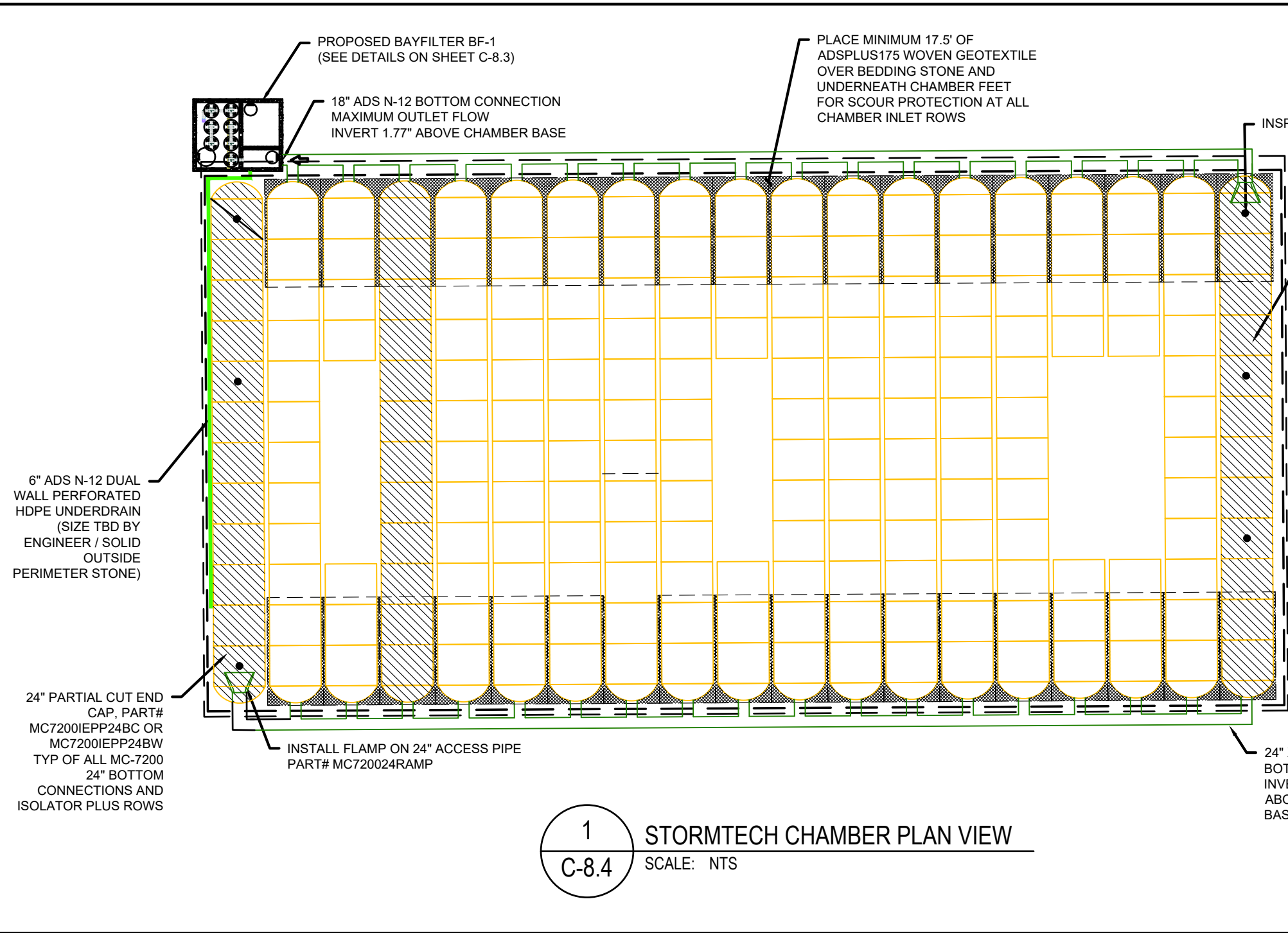
PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "V"

PART #	STUB	B	C
MC7200IEPP06T	42.54" (1081 mm)	---	---
MC7200IEPP08B	6" (150 mm)	---	0.86" (22 mm)
MC7200IEPP08T	8" (200 mm)	40.50" (1029 mm)	---
MC7200IEPP08B	---	38.37" (975 mm)	1.01" (26 mm)
MC7200IEPP10T	10" (250 mm)	---	1.33" (34 mm)
MC7200IEPP10B	---	35.69" (907 mm)	---
MC7200IEPP12T	12" (300 mm)	---	1.55" (39 mm)
MC7200IEPP12B	---	32.72" (831 mm)	---
MC7200IEPP15T	15" (375 mm)	---	1.70" (43 mm)
MC7200IEPP15B	---	29.38" (746 mm)	---
MC7200IEPP18TW	18" (450 mm)	---	1.97" (50 mm)
MC7200IEPP18B	---	23.05" (585 mm)	---
MC7200IEPP18BW	---	---	---
MC7200IEPP21T	---	---	---
MC7200IEPP24TW	24" (600 mm)	---	---
MC7200IEPP24B	---	---	---
MC7200IEPP24BW	---	---	---
MC7200IEPP30BW	30" (750 mm)	---	2.85" (73 mm)
MC7200IEPP36BW	36" (900 mm)	---	3.25" (83 mm)
MC7200IEPP42BW	42" (1050 mm)	---	3.55" (90 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL

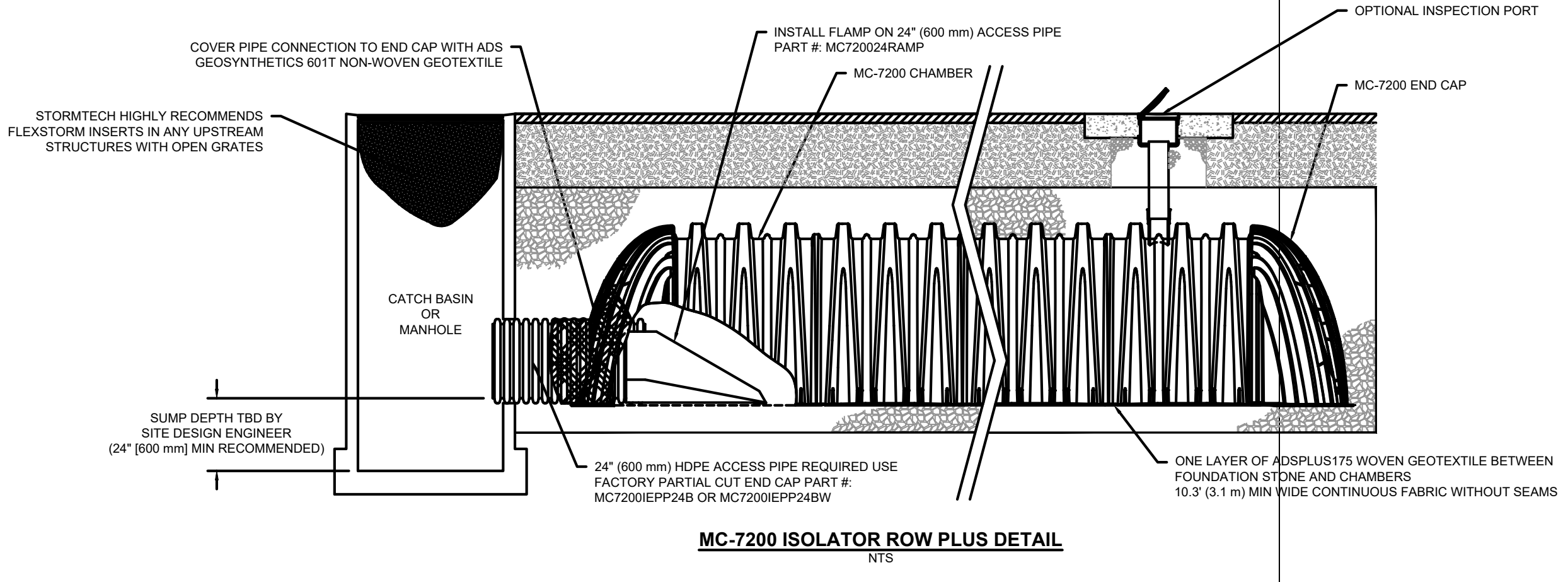


NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.



MC-7200 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-7200.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPED FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESSIONS.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT³. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.



STORMTECH HIGHLY RECOMMENDS FLEXSTORM INSERTS IN ANY UPSTREAM STRUCTURES WITH OPEN GRATES

CATCH BASIN OR MANHOLE

INSTALL FLAMP ON 24" (600 mm) ACCESS PIPE PART #: MC720024RAM

MC-7200 CHAMBER

OPTIONAL INSPECTION PORT

MC-7200 END CAP

ONE LAYER OF ADSPLUS175 WOVEN GEOTEXTILE BETWEEN FOUNDATION STONE AND CHAMBERS 10.3' (3.1 m) MIN WIDE CONTINUOUS FABRIC WITHOUT SEAMS

SUMP DEPTH TBD BY SITE DESIGN ENGINEER (24" (600 mm) MIN RECOMMENDED)

24" (600 mm) HDPE ACCESS PIPE REQUIRED USE FACTORY PARTIAL CUT END CAP PART #: MC7200IEPP04B OR MC7200IEPP24BW

MC-7200 ISOLATOR ROW PLUS DETAIL

NTS

CUSTOM PREFABRICATED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) SIZE AND ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-7200 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- ALL ISOLATOR PLUS ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - MIRRORS OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

PROPOSED LAYOUT

208	STORMTECH MC-7200 CHAMBERS
38	STORMTECH MC-7200 END CAPS
6	STONE ABOVE (T)
6	STONE BELOW (B)
40	STONE VOID
15,000	SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)
15,000	SYSTEM VOLUME (CF) (COVER STONE INCLUDED)
15,000	SYSTEM AREA (SF)
180	SYSTEM PERIMETER (L)

ISOLATOR ROW PLUS (SEE DETAIL)

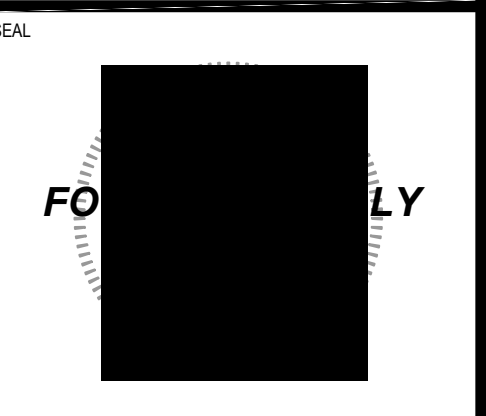
Perimeter

PLACE MINIMUM 17.5' OF ADSPLUS175 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

OAWG SENIOR LIVING COMMUNITY
STORMWATER CONTROL MEASURE DETAILS

208 S. Fidelity Avenue
 Fuquay-Varina, NC 27090
 T (919) 552-2849
 F (919) 552-2843

ASR-XXXX-2024



C-8.4

OAKS AT WHITAKER GLEN - SENIOR LIVING COMMUNITY - TREE CONSERVATION PLAN
 DATE: 01/15/2023
 FILE NO: 2023-033

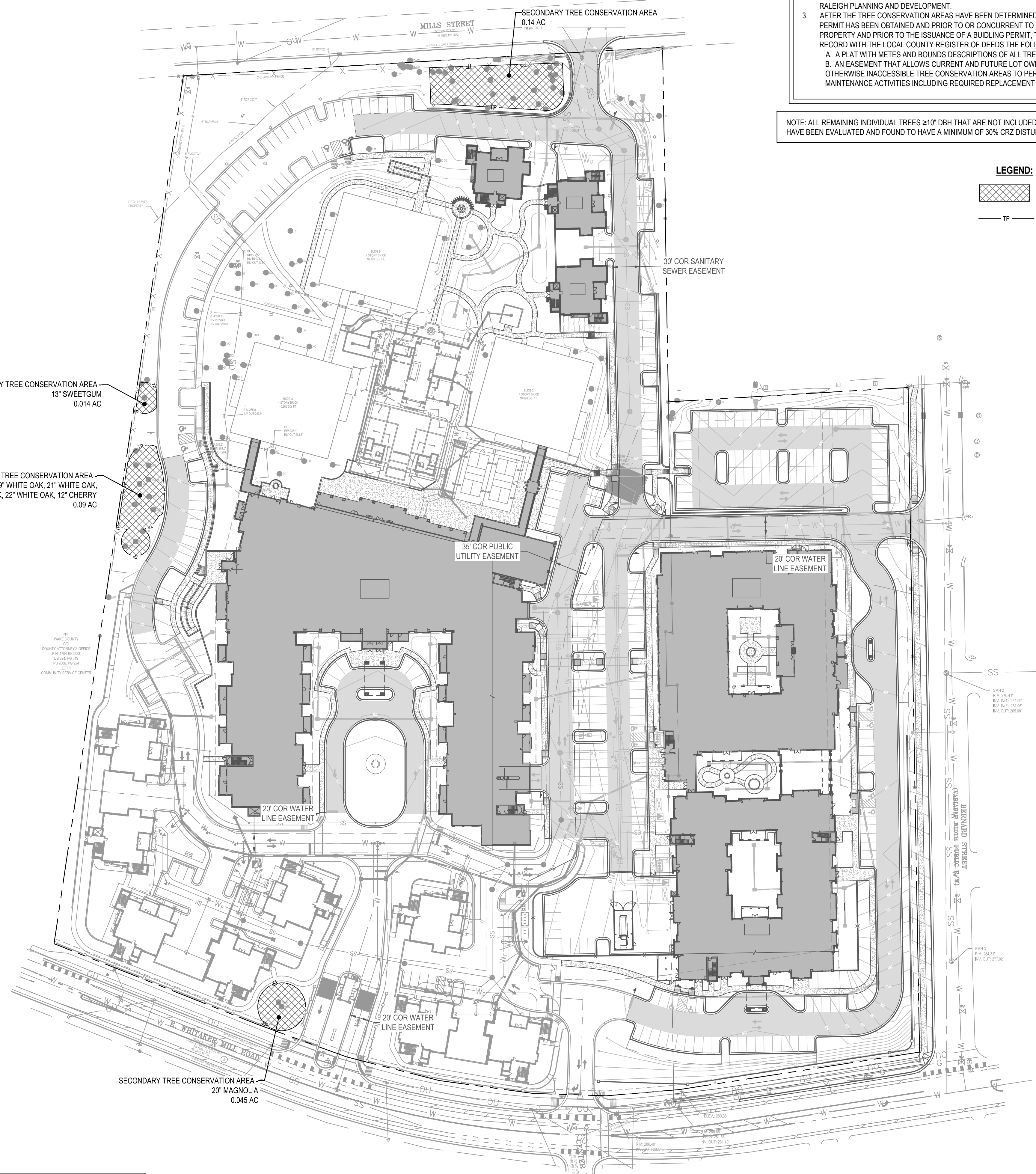
REVISIONS
 DATE: 01/15/2023
 FILE NO: 2023-033

OAWG SENIOR LIVING COMMUNITY
TREE CONSERVATION PLAN

T (919) 552-0949
 F (919) 552-2933
 208 S. Fugate Avenue
 Fuquay-Varina, NC 27090

- TREE CONSERVATION NOTES:**
- PRIOR TO CONSTRUCTION TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL AREAS NOTED AS TREE CONSERVATION AREAS.
 - PRIOR TO CONSTRUCTION A TREE CONSERVATION PERMIT MUST BE OBTAINED FROM CITY OF RALEIGH PLANNING AND DEVELOPMENT.
 - AFTER THE TREE CONSERVATION AREAS HAVE BEEN DETERMINED AND A TREE CONSERVATION PERMIT HAS BEEN OBTAINED AND PRIOR TO OR CONCURRENT TO ANY SUBDIVIDING OF THE PROPERTY AND PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE LANDOWNERS SHALL RECORD WITH THE LOCAL COUNTY REGISTER OF DEEDS THE FOLLOWING:
 - A PLAT WITH METES AND BOUNDS DESCRIPTIONS OF ALL TREE CONSERVATION AREAS.
 - AN EASEMENT THAT ALLOWS CURRENT AND FUTURE LOT OWNERS ACCESS TO OTHERWISE INACCESSIBLE TREE CONSERVATION AREAS TO PERFORM TREE MAINTENANCE ACTIVITIES INCLUDING REQUIRED REPLACEMENT OF PLANTINGS.

NOTE: ALL REMAINING INDIVIDUAL TREES ≥10" DBH THAT ARE NOT INCLUDED AS TREE CONSERVATION AREA HAVE BEEN EVALUATED AND FOUND TO HAVE A MINIMUM OF 30% CRZ DISTURBANCE BY EXISTING CONDITIONS.



LEGEND:

TREE CONSERVATION AREA
 TP TREE PROTECTION FENCE

Tree Conservation Plan Data Sheet
 UDO Article 9.1 Tree Conservation
 (Include applicable information on the plan sheet)

Project Name: OAKS AT WHITAKER GLEN - SENIOR LIVING COMMUNITY

Gross Site Acres:	17.96	ac
Right-of-way to be dedicated with this project:	0.20	ac
Net Site Acres:	17.76	ac

	Number of Acres	Percent of Total
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	_____	_____ %
1. Primary Tree Conservation Area - SHOD 2	_____	_____ %
2. Primary Tree Conservation Area - Parkway Frontage	_____	_____ %
3. Primary Tree Conservation Area - CM	_____	_____ %
4. Primary Tree Conservation Area - MPOD	_____	_____ %
5. Primary Tree Conservation Area - Champion Tree "XX" dbh species	_____	_____ %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	_____	_____ %
7. Primary Tree Conservation Area - 45% Slopes	_____	_____ %
8. Primary Tree Conservation Area - Thoroughfare	_____	_____ %
Subtotal of Primary Tree Conservation Areas:	_____	_____ %

UDO 9.1.4.D.2 Tree Conservation Area - Greenway _____ ac _____ %

UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas
 (Include perimeter buffers and their alternate compliance areas) **0.14** ac **0.79** %

UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas
 (Include individual trees and their alternate compliance areas) **0.149** ac **0.84** %

Subtotal of Secondary Tree Conservation Areas: **0.289** ac **1.63** %

TOTAL ALL TREE CONSERVATION AREA PROVIDED: **0.289** ac **1.63** %

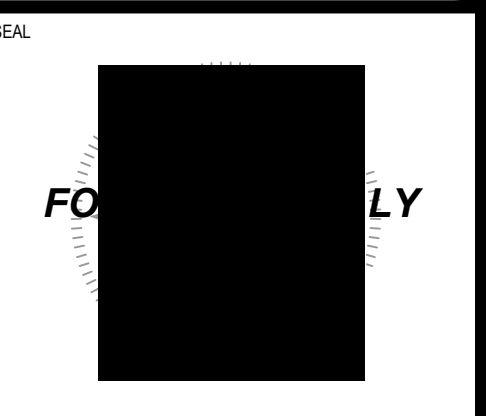
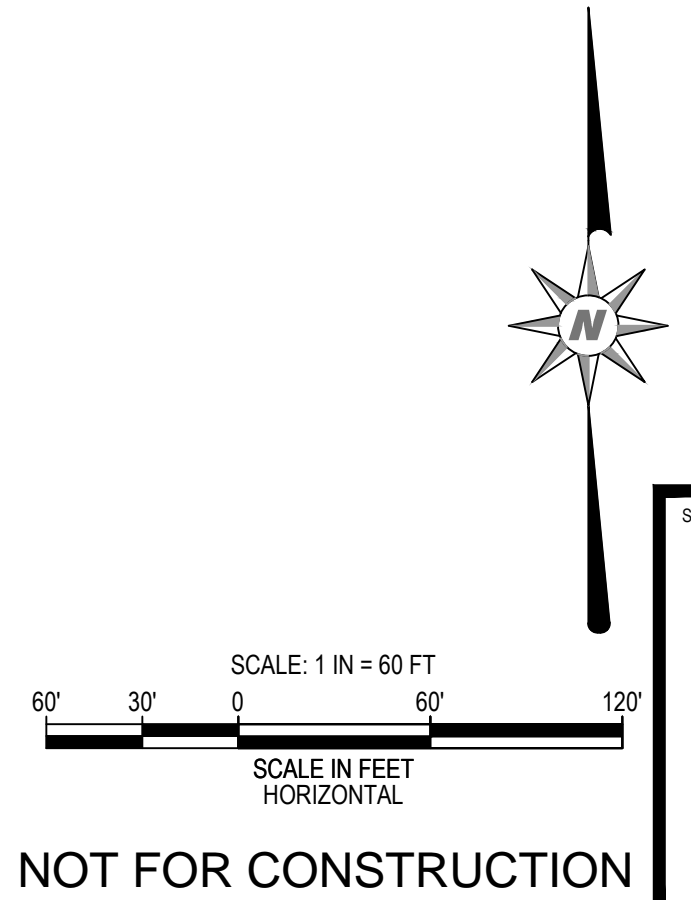
UDO 9.1.9. Watershed Protection Overlay Districts

UWPOD - Wooded Area (preserved)	_____	_____ %
UWPOD - Wooded Area (planted)	_____	_____ %
FWPOD - Wooded Area (preserved)	_____	_____ %
FWPOD - Wooded Area (planted)	_____	_____ %
SWPOD - Wooded Area (preserved)	_____	_____ %
SWPOD - Wooded Area (planted)	_____	_____ %

TREE COVER REPORT

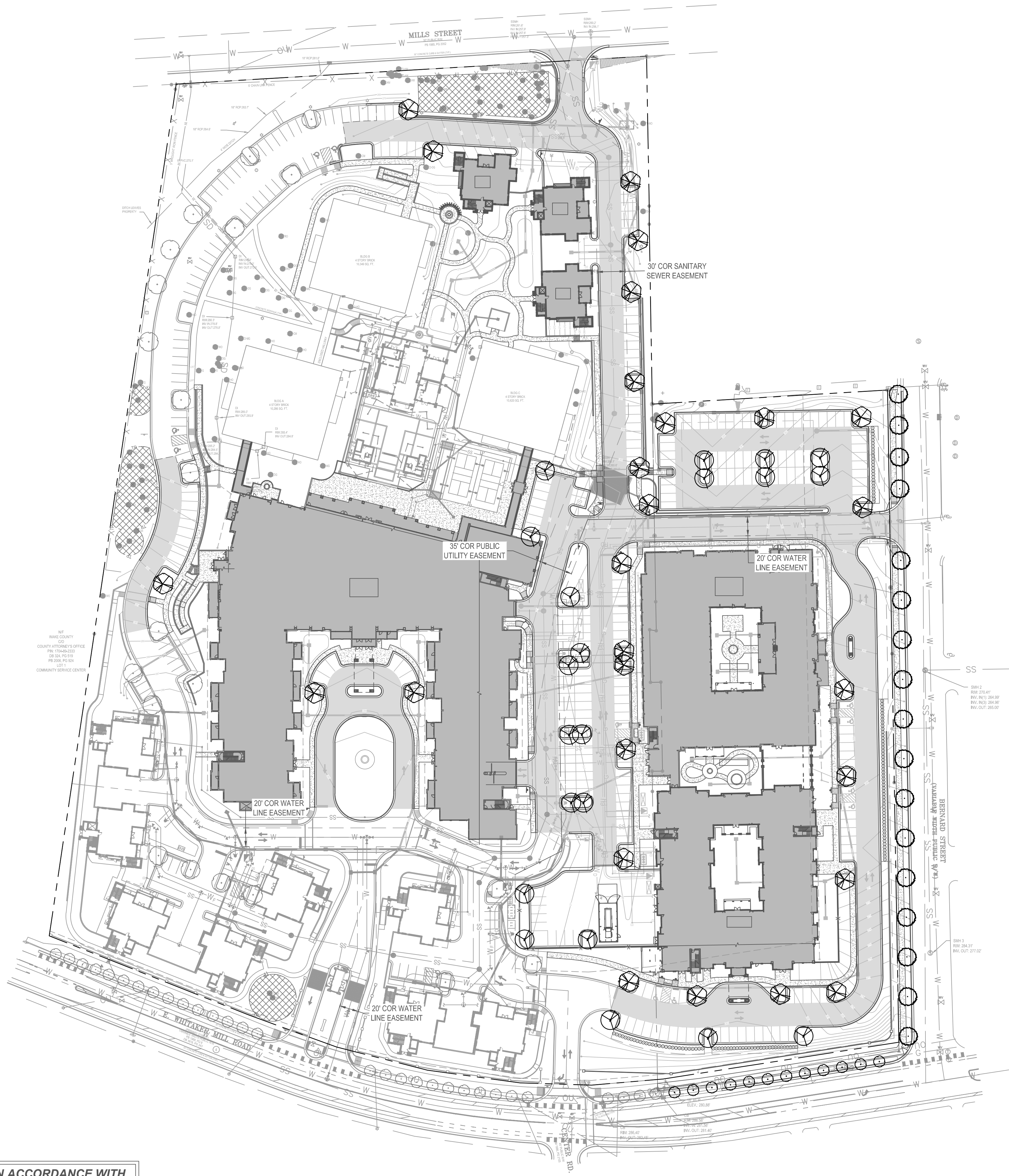
Area (SF)		Acres (AC)			
6,041		0.14			
Tree Count	Species	Overall Health	DBH	Basal Area (BA)	Comments
1	HARDWOOD	GOOD	3	0.049	
2	HARDWOOD	GOOD	4	0.175	
1	HARDWOOD	GOOD	5	0.136	
1	HARDWOOD	GOOD	18	1.767	
1	HARDWOOD	GOOD	6	0.196	
1	HARDWOOD	GOOD	16	1.396	
1	SWEETGUM	GOOD	8	0.349	
1	SWEETGUM	GOOD	10	0.545	
1	PINE	GOOD	11	0.660	
1	PINE	GOOD	14	1.069	
1	RED OAK	GOOD	18	1.767	
1	SWEETGUM	GOOD	4	0.087	
1	PINE	GOOD	18	1.767	
1	POPLAR	GOOD	25	N/A	>30% CRZ DISTURBANCE
1	SWEETGUM	GOOD	30	N/A	>30% CRZ DISTURBANCE
1	SWEETGUM	GOOD	32	N/A	>30% CRZ DISTURBANCE
1	SWEETGUM	GOOD	10	N/A	>30% CRZ DISTURBANCE
1	ELM	GOOD	12	N/A	>30% CRZ DISTURBANCE
1	PINE	GOOD	15	N/A	>30% CRZ DISTURBANCE
1	PINE	GOOD	17	N/A	>30% CRZ DISTURBANCE
Total Basal Area:				9.964	
Basal Area / Acre:				71.17	

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

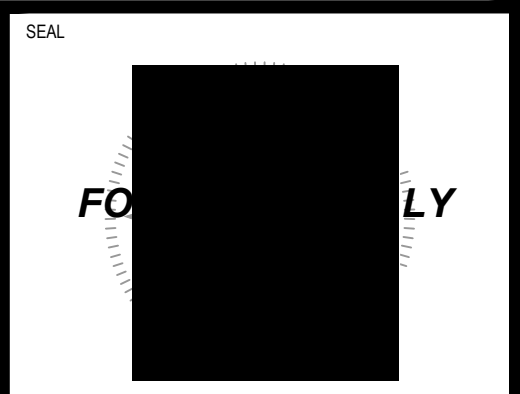
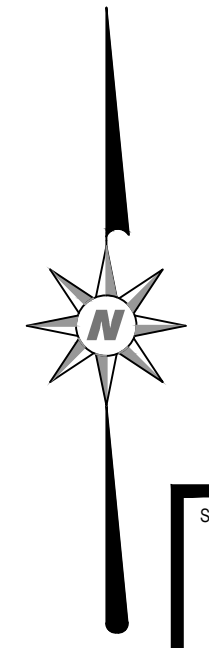
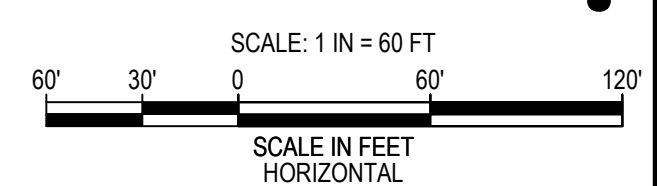


OAWG SENIOR LIVING COMMUNITY OVERALL LANDSCAPE PLAN
 PROJECT NO. 2020-1217M
 DATE: 09/15/2023
 FILE NO. 2023-053

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



- CITY OF RALEIGH LANDSCAPE NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS.
 2. NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR OR ALTERATION OF ANY BUILDING, STRUCTURE OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
 3. THE DEVELOPMENT SERVICES DIRECTOR CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
 4. A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE DEVELOPMENT SERVICES DIRECTOR DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE.
 5. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.
 6. TREE AND SHRUB PLANTINGS SHOULD NOT INTERFERE WITH THE SAFE VEHICULAR AND PEDESTRIAN CIRCULATION ON THE SITE.
 7. LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLES OR THE APPROACH TO ANY STREET INTERSECTION.
 8. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
 9. TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE.
 10. NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
 11. THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
 12. ALL PLANTING AREAS MUST BE STABILIZED FROM SOIL EROSION IMMEDIATELY UPON PLANTING AND MUST BE MAINTAINED FOR THE DURATION OF THE USE.
 13. ALL REQUIRED LANDSCAPING SHALL BE ALLOWED TO REACH ITS REQUIRED SIZE AND SHALL BE MAINTAINED AT THAT REQUIRED SIZE.
 14. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

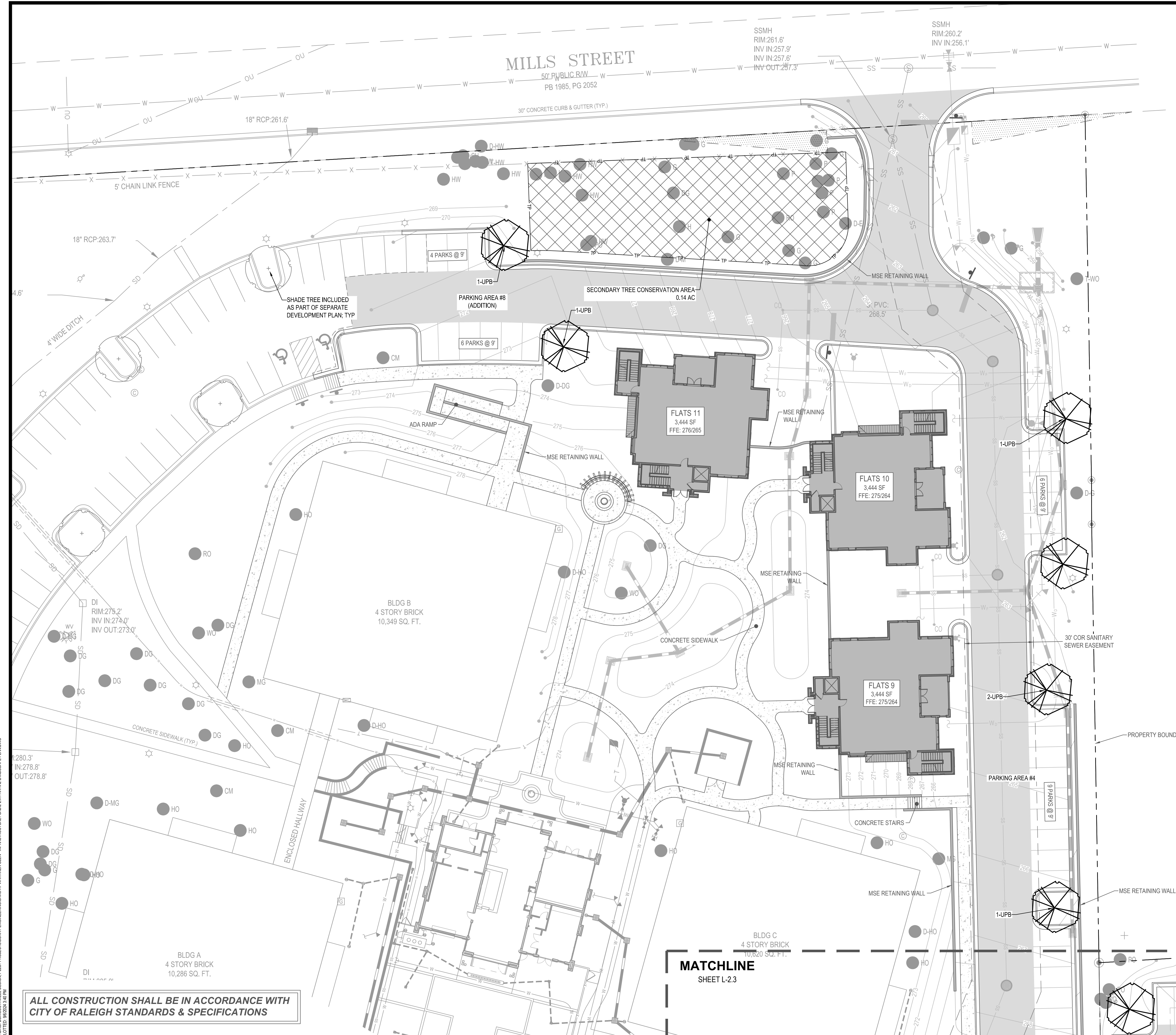


Curry
ENGINEERING
L-2.0

T: (919) 562-2049
 F: (919) 562-2043
 206 S. Fugate Avenue
 Fuquay-Varina, NC 27709

**OAWG SENIOR LIVING COMMUNITY
OVERALL LANDSCAPE PLAN**

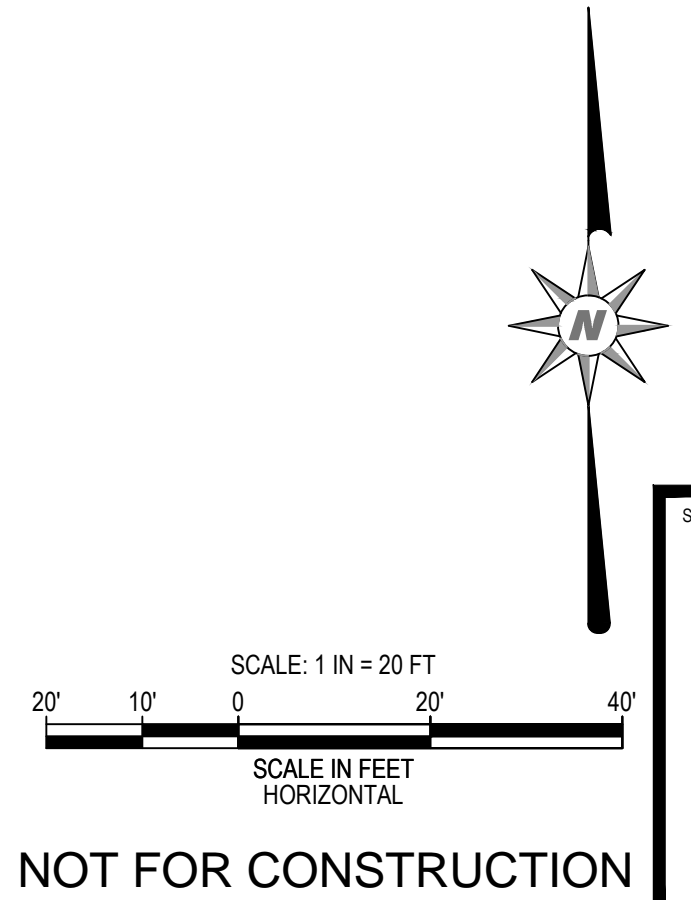
REVISIONS	DATE	DESCRIPTION



- LEGEND:**
- TREE CONSERVATION AREA
 - SHADE TREES
 - SHADE TREE INCLUDED AS PART OF SEPARATE DEVELOPMENT PLAN
 - QNU - QUERCUS NUTTALLII
 - UPB - ULMUS PARVIFOLIA 'BOSQUE'
 - GBI - GINKGO BILOBA
 - UNDERSTORY TREES
 - STREET TREE INCLUDED AS PART OF SEPARATE DEVELOPMENT PLAN
 - PCH - PISTACIA CHINENSIS
 - SHRUBS
 - ICB - ILEX CORNUTA 'BURFORDII NANA'

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

MATCHLINE
SHEET L-2.3



REVISIONS	DATE: 01/15/2023	HORZ. SCALE: 1" = 20'	ORIG. SHEET SIZE: 24" x 36"
	FILE NO.: 22023-003		

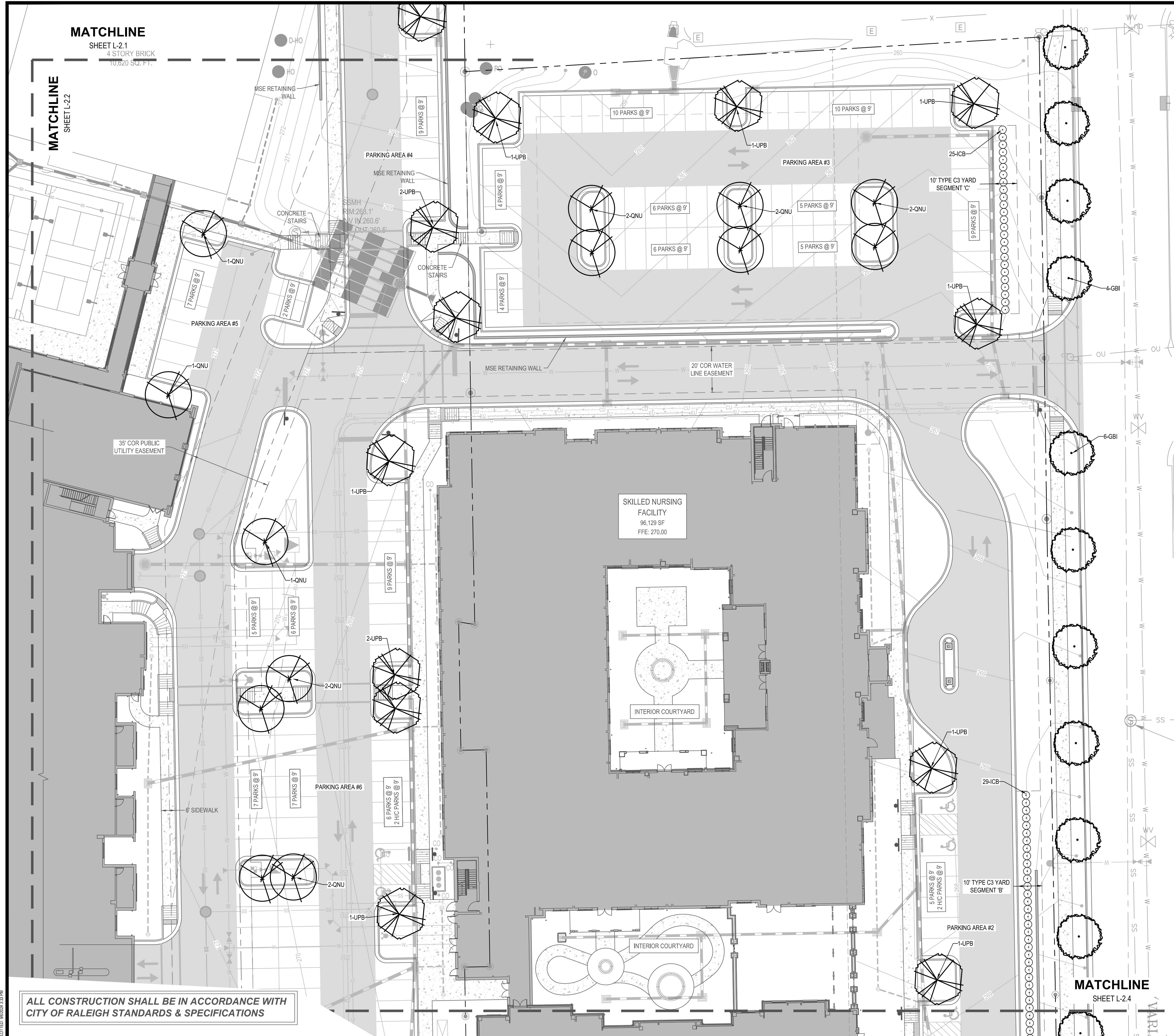
OAWG SENIOR LIVING COMMUNITY
PARTIAL LANDSCAPE PLAN I

T (919) 952-0499
F (919) 952-2843
208 S. Fugate Avenue
Fayetteville, NC 27808

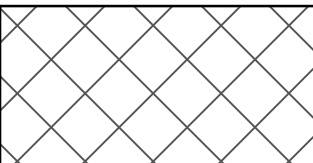
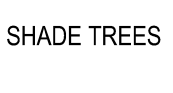

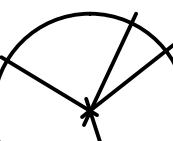
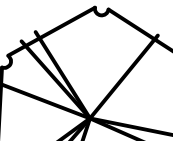
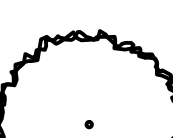



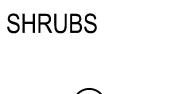

MATCHLINE

SHEET L-2.1
4 STORY BRICK
10,620 SQ. FT.

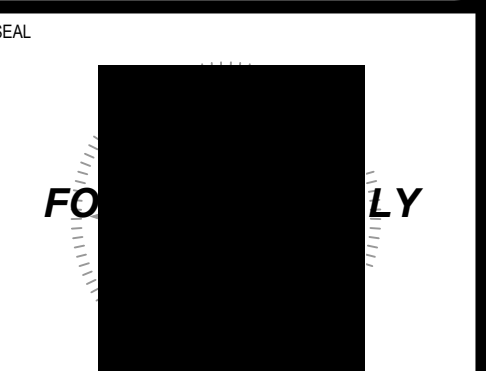
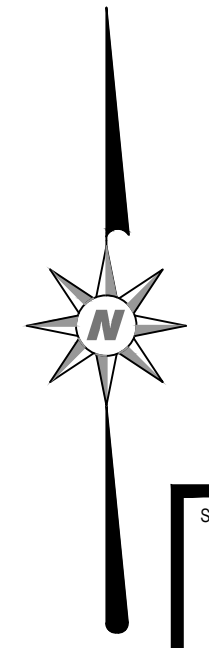
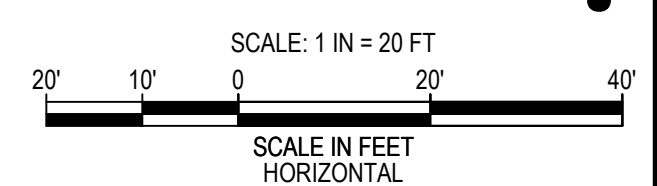
MATCHLINE
SHEET L-2.2



LEGEND:

-  TREE CONSERVATION AREA
-  SHADE TREES
-  SHADE TREE INCLUDED AS PART OF SEPARATE DEVELOPMENT PLAN
-  QNU - QUERCUS NUTTALLII
-  UPB - ULMUS PARVIFOLIA 'BOSQUE'
-  GBI - GINKGO BILOBA
-  UNDERSTORY TREES
-  STREET TREE INCLUDED AS PART OF SEPARATE DEVELOPMENT PLAN
-  PCH - PISTACIA CHINENSIS
-  SHRUBS
-  ICB - ILEX CORNUTA 'BURFORDII NANA'

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



NOT FOR CONSTRUCTION

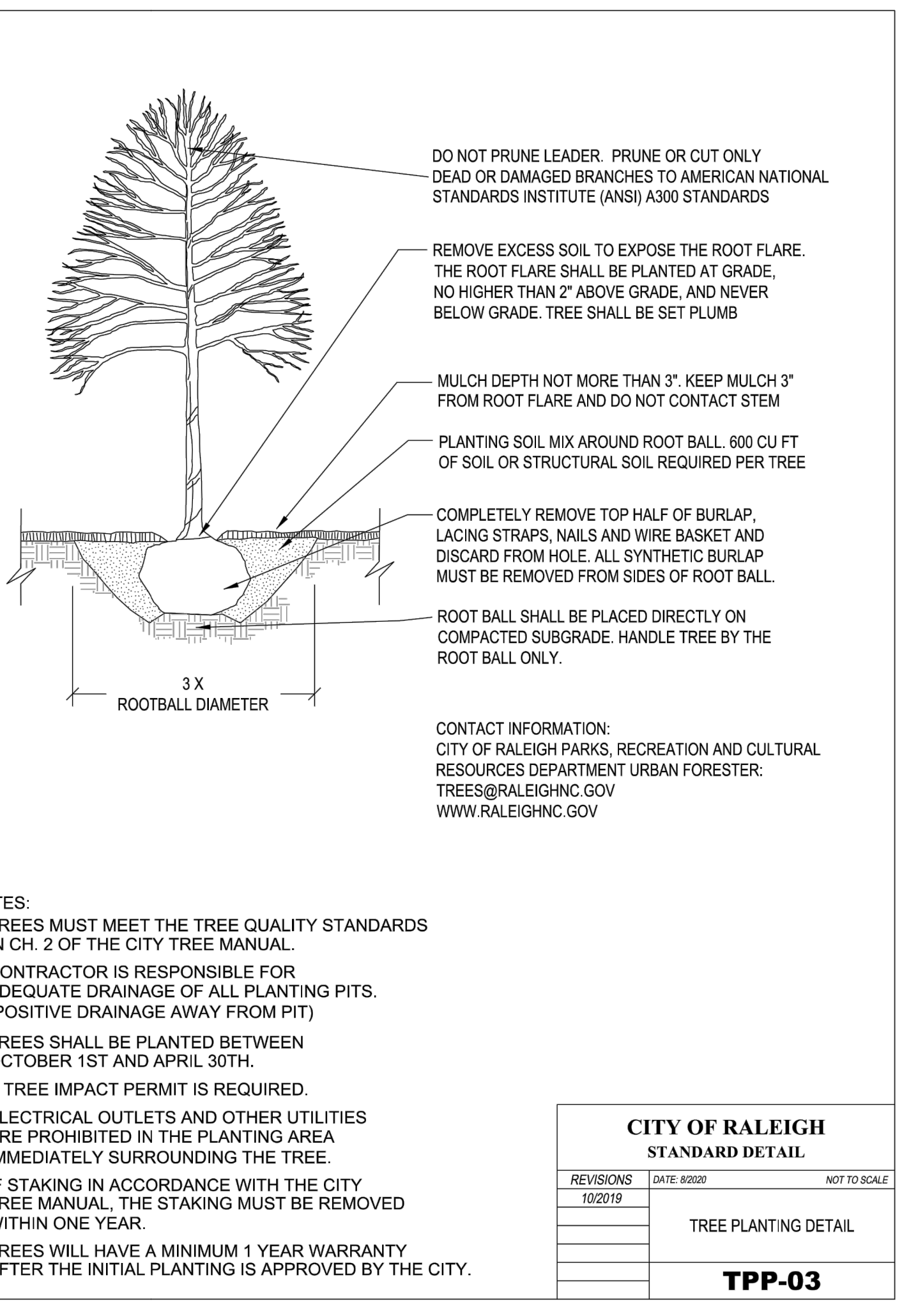
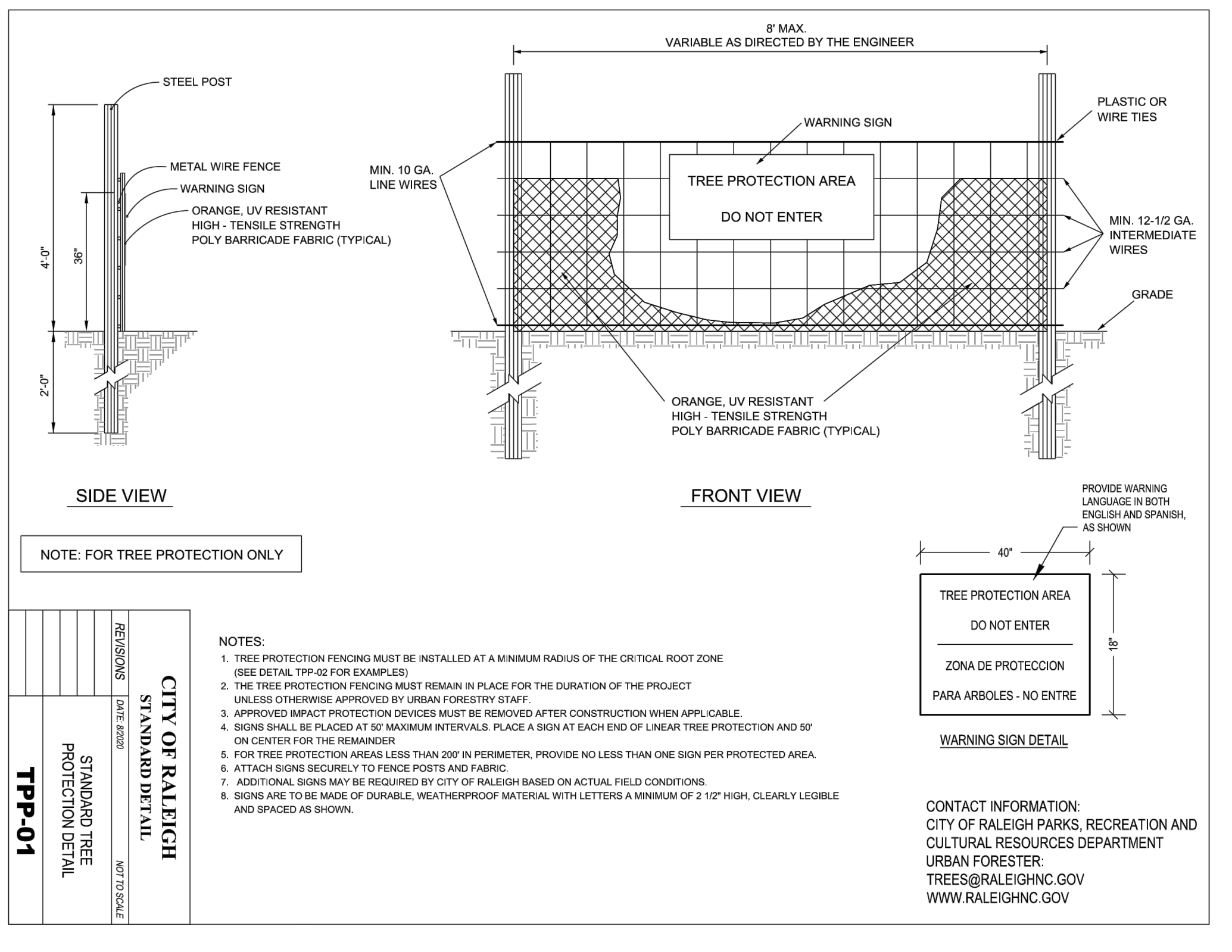
**OAWG SENIOR LIVING COMMUNITY
PARTIAL LANDSCAPE PLAN III**

T (919) 552-0499
F (919) 552-2933
208 S. Fugate Avenue
Fayetteville, NC 27808

Curry
ENGINEERING
L-2.3

NO.	DATE	DESCRIPTION
1	01/15/2023	ISSUE FOR PERMIT
2	01/15/2023	ISSUE FOR PERMIT

DATE PLOTTED: 01/15/2023 10:00 AM PLOTTER: HP DesignJet T1100PS



LANDSCAPE CALCULATIONS:

SEC. 7.1.7 VEHICLE PARKING LOT LANDSCAPE REQUIREMENT: EACH INTERIOR ISLAND (AND TERMINAL INTERIOR ISLAND) MUST INCLUDE AT LEAST 1 SHADE TREE. IN NO CASE SHALL THERE BE LESS THAN 1 SHADE TREE FOR EVERY 2,000 SQUARE FEET OF PARKING AREA. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.

PARKING AREA #1: 12,199 SF
ISLANDS PROVIDED: 7
REQUIRED: 7 SHADE TREES
PROVIDED: 7 SHADE TREES

PARKING AREA #2: 7,398 SF
ISLANDS PROVIDED: 3
REQUIRED: 3 SHADE TREES
PROVIDED: 3 SHADE TREES

PARKING AREA #3: 20,795 SF
ISLANDS PROVIDED: 11
REQUIRED: 11 SHADE TREES
PROVIDED: 11 SHADE TREES

PARKING AREA #4: 11,594 SF
ISLANDS PROVIDED: 5
REQUIRED: 5 SHADE TREES
PROVIDED: 5 SHADE TREES

PARKING AREA #5: 2,916 SF
ISLANDS PROVIDED: 2
REQUIRED: 2 SHADE TREES
PROVIDED: 2 SHADE TREES

PARKING AREA #6: 30,972 SF
ISLANDS PROVIDED: 12
REQUIRED: 15 SHADE TREES
PROVIDED: 15 SHADE TREES

PARKING AREA #7: 4,689 SF ADDITION
ISLANDS PROVIDED: 2
REQUIRED: 2 SHADE TREES
PROVIDED: 2 SHADE TREES

PARKING AREA #8: 3,196 SF ADDITION
ISLANDS PROVIDED: 2
REQUIRED: 2 SHADE TREES
PROVIDED: 2 SHADE TREES

PARKING AREA #9: 2,802 SF
ISLANDS PROVIDED: 2
REQUIRED: 2 SHADE TREES
PROVIDED: 2 SHADE TREES

SEC. 7.2.4 STREET PROTECTIVE YARD REQUIREMENT: TYPE C3 YARD
30 EVERGREEN SHRUBS PER 100 LF

SEGMENT 'A' 193 LF
REQUIRED: 58 EVERGREEN SHRUBS
PROVIDED: 58 EVERGREEN SHRUBS

SEGMENT 'B' 173 LF
REQUIRED: 52 EVERGREEN SHRUBS
PROVIDED: 52 EVERGREEN SHRUBS

SEGMENT 'C' 82 LF
REQUIRED: 25 EVERGREEN SHRUBS
PROVIDED: 25 EVERGREEN SHRUBS

SEC. 8.4 NEW AND EXISTING STREETS E. WHITAKER MILL RD: 259 LF
CONTROLLED BY THE CITY OF RALEIGH
OVERHEAD UTILITIES EXIST

REQUIREMENT: UNDERSTORY TREES SHALL BE PLANTED EVERY 20 FEET ON CENTER, ON AVERAGE
STREET TREES SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB IN THE PLANTING STRIP

PROVIDED: 12 UNDERSTORY TREES

BERNARD ST: 703 LF
CONTROLLED BY THE CITY OF RALEIGH

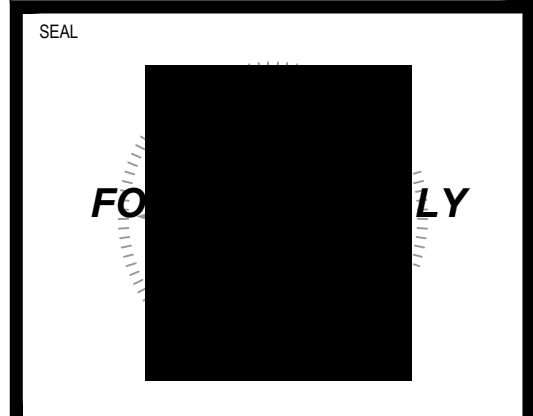
REQUIREMENT: SHADE TREES SHALL BE PLANTED EVERY 40 FEET ON CENTER, ON AVERAGE
STREET TREES SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB IN THE PLANTING STRIP

PROVIDED: 17 SHADE TREES

PLANT SCHEDULE									
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER (MINIMUM)	HEIGHT (MINIMUM)	TYPE	USE	NOTES
SHADE TREES									
GBI	17	Ginkgo biloba	Ginkgo	B&B	3"	10'	D	ST	MATCHED / MALE CULTIVARS ONLY / 50-60'H x 40'W MATURE
CNU	21	Quercus nuttallii	Nuttall Oak	B&B	3"	10'	D	PARKING	MATCHED / 40-50'H x 40-50'W MATURE
UPB	27	Ulmus parvifolia 'Boisquel'	Chinese Elm	B&B	3"	10'	D	PARKING	MATCHED / 40-50'H x 40-50'W MATURE
UNDERSTORY TREES									
PCH	12	Pistacia chinensis	Chinese Pistache	B&B	1.5"	6'	D	ST	MATCHED / SINGLE STEM / 30'H x 25'W MATURE
SHRUBS									
ICB	135	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	CONT		18"		SPY	MATCHED / 6'H x 6'W MATURE
TYPE / USE LEGEND									
PLANT TYPE: E = EVERGREEN / D = DECIDUOUS									
PLANT USE: ST = STREET TREE / PARKING = PARKING LOT LANDSCAPE / SPY = STREET PROTECTIVE YARD									

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	BY
10/2019		
TREE PLANTING DETAIL		
TPP-03		

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



NOT FOR CONSTRUCTION

Curry
ENGINEERING
L-3.0

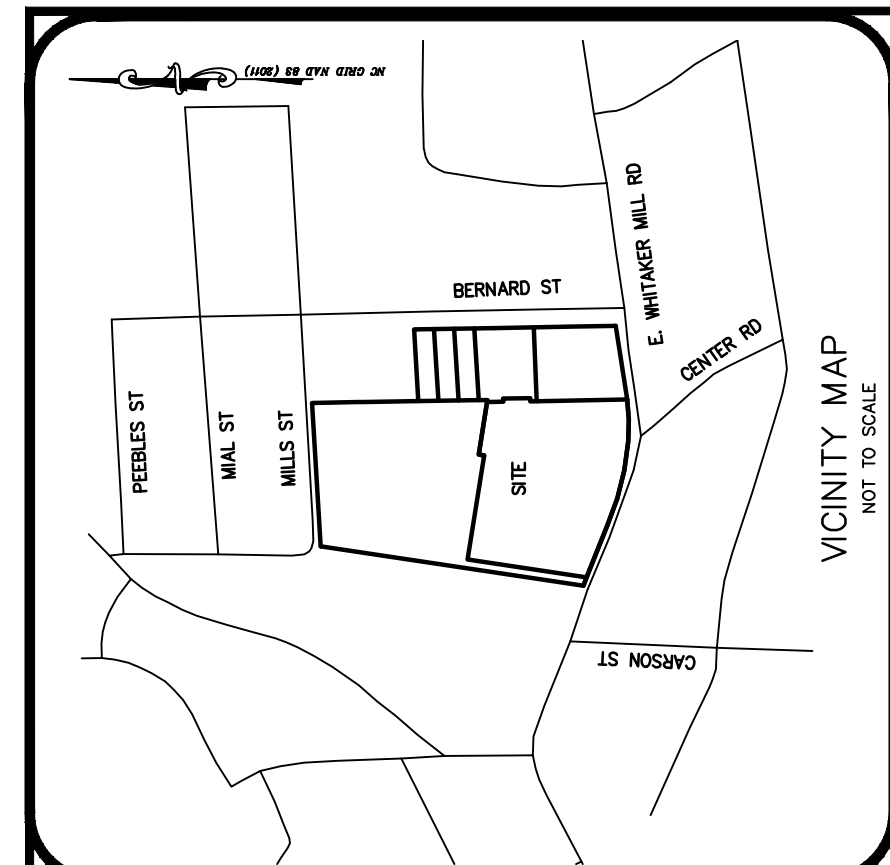
OAWG SENIOR LIVING COMMUNITY
LANDSCAPE DETAILS

T (919) 552-0449
F (919) 552-2833
208 S. Fugate Avenue
Fayetteville, NC 27709

REVISIONS	
NO.	DESCRIPTION

DATE: 9/15/2023
FILE NO: 2203463
HORZ SCALE:
VERT SCALE:
SHEET SIZE: 24" x 36"

C:\PROJECTS\OAWG\DESIGN\PLANTING\LANDSCAPE\LANDSCAPE DETAILS.DWG
PLOTTED: 9/20/23 3:42 PM
W:\STRUCTURE\OAWG\LANDSCAPE\LANDSCAPE DETAILS.DWG



GENERAL NOTES

1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID (NAD 83) OF THE STATE PLAT. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
3. AREAS OF COORDINATE GEOMETRY.
4. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE FLOOD HAZARD MAP OF FLEMING COUNTY, NORTH CAROLINA, DATED MAY 2, 2006.

I, JOHN R. PICKENS, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY SUPERVISION AND THAT THIS SURVEY WAS PERFORMED AT THE 90 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE (FGDCC) REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A. THE ORIGINAL DATA WAS OBTAINED ON NOVEMBER 18, 2022. THAT CONTOURS SHOWN AS ARE BASED ON MARSLEIGH1111 NAD 83 AND REALIZATION (DATE OF ADJUSTMENT OF COORDINATE SYSTEM) ALL ELEVATIONS ARE BASED ON LOCAL MEAN SEA LEVEL.

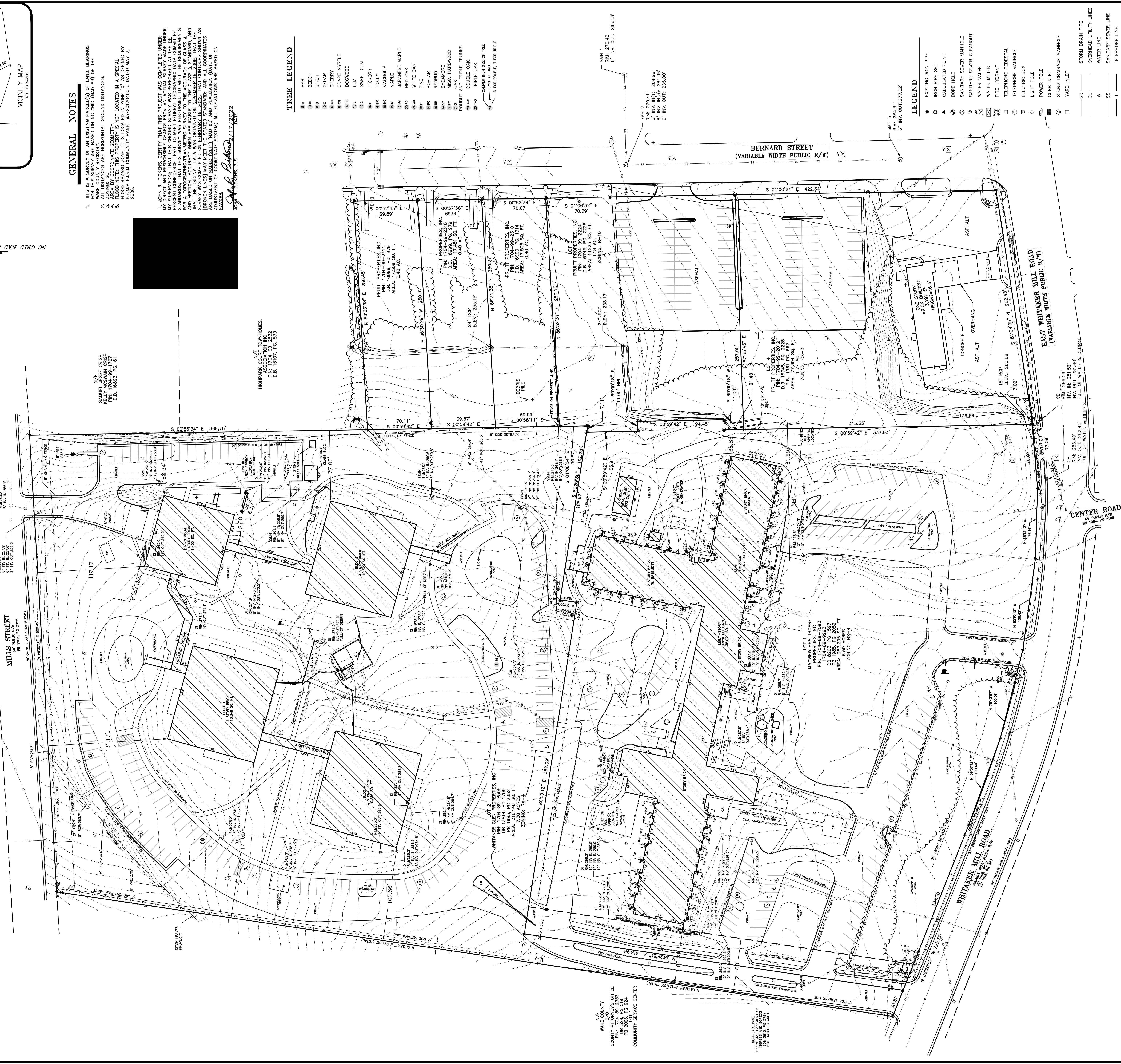
John R. Pickens
3078 PICKENS VES
2025

N/E
SAMUEL ESSE CRISP
ASSOCIATION, INC.
P.O. BOX 1727
D.B. 18883, PG. 61

N/E
HOHPARK COURT TOWNHOMES
ASSOCIATION, INC.
P.O. BOX 302
D.B. 16107, PG. 579

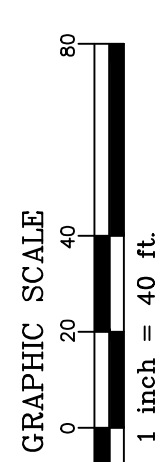
TREE LEGEND

- 8A ASH
- 8B BEECH
- 8C BRCH
- 8D CEDAR
- 8E CHERRY
- 8F CYPRESS
- 8G DOGWOOD
- 8H ELM
- 8I SWEET GUM
- 8J HOLLY
- 8K MAGNOLIA
- 8L MAPLE
- 8M JAPANESE MAPLE
- 8N RED OAK
- 8O WHITE OAK
- 8P PINE
- 8Q POPLAR
- 8R SYPHORE
- 8S MISC. HARDWOOD
- 8T OAK
- 8U DOUBLE OAK
- 8V TRIPLE OAK
- 8W CALICO
- 8X TYPE OF TREE
- 8Y FOR DOUBLE-T FOR TRIPLE



LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- CALCULATED POINT
- BORE HOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANSOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE FEDESTAL
- TELEPHONE MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- STORM DRAIN PIPE
- OVERHEAD UTILITY LINES
- WATER LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FENCE LINE



THE OAKS AT WHITAKER GLEN- MAYVIEW
TOPOGRAPHIC SURVEY
513 E. WHITAKER MILL ROAD
RALEIGH, NC 27608

REVISIONS

NO.	DATE
1	
2	

PLAN INFORMATION

PROJECT NO.	CUR-20000
FILENAME	CUR20000-C2
CHECKED BY	JRP
DRAWN BY	JRP
SCALE	1" = 40'
DATE	02. 17. 2022

SHEET

McAdams
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
phone 919.361.5000
fax 919.361.2269
license number: C-02933, C-187
www.mcadamsco.com

CLIENT
CURRY ENGINEERING
205 S. FUQUAY AVE
FUQUAY-VARINA, NC 27526
PHONE: 919-552-0849

M:\Projects\GUR\GUR_20000\G2_Schematic\Survey\Topographic\12022-02-17_CUR20000_CONFINED_TOPOGRAPHY-C2.dwg, 2/17/2022, 2:44:48 PM, John Pickens

KEYNOTES

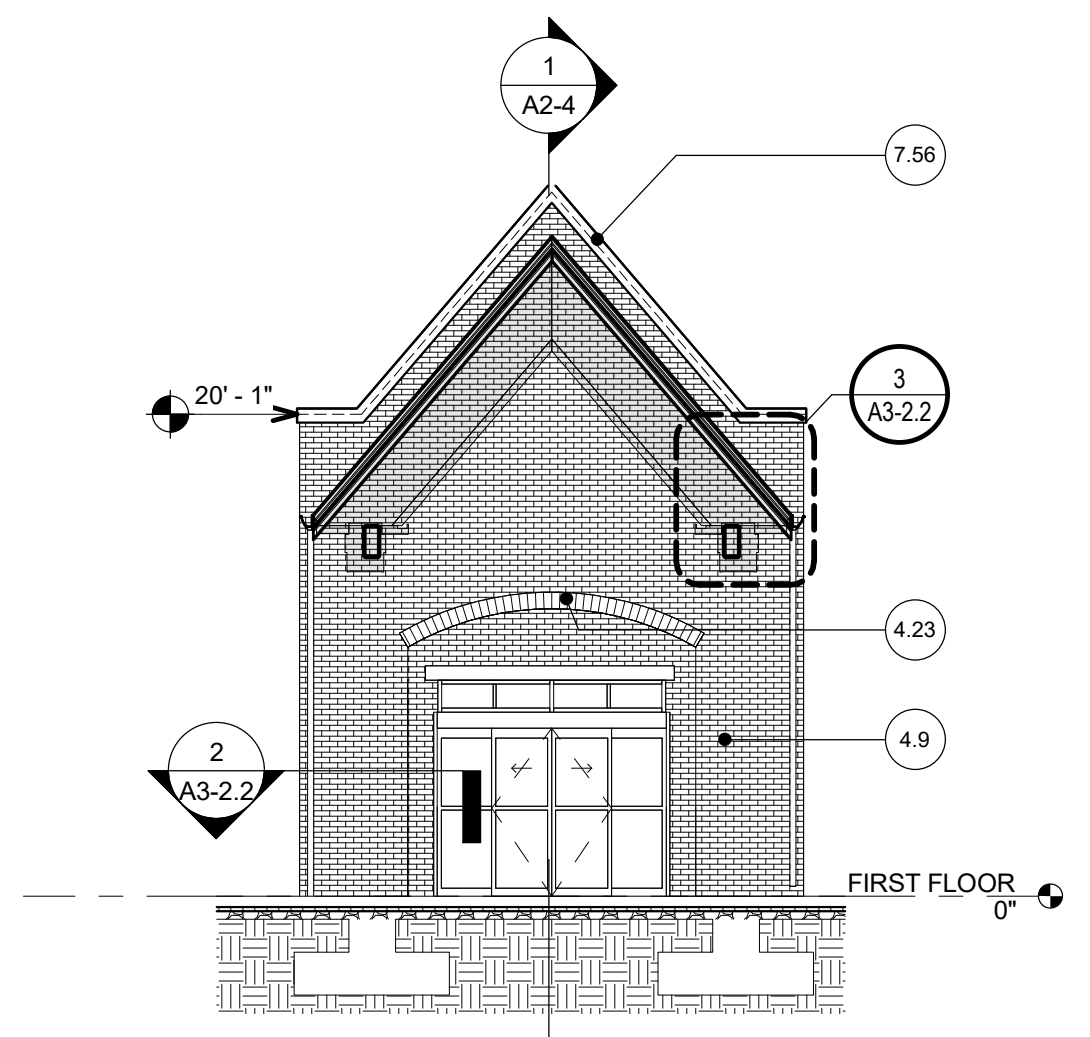
#	NOTE
4.1	BRICK RUNNING BOND COURSE.
4.2	BRICK SOLDIER COURSE.
4.5	BRICK ROWLOCK OVER SOLDIER COURSE.
4.8	DECORATIVE BRICK INFILL PANEL.
4.9	BRICK RUNNING BOND FIELD.
4.10	BRICK SILL.
4.21	SIMULATED STONE VENEER.
4.22	SIMULATED STONE SOLDIER COURSE.
4.23	ARCHED BRICK SOLDIER HEADER.
4.24	SIMULATED STONE WALL CAP.
4.26	ARCHED SIMULATED STONE SOLDIER HEADER.
4.27	BRICK WATERTABLE. SEE SECTION.
5.9	STANDING SEAM METAL CANOPY.
5.16	SUSPENDED METAL CANOPY.
5.23	FABRIC CANOPY.
6.72	VINYL BOARD AND BATTEN WINDOW SHUTTERS W/ SPIKES & SCREWS.
6.73	APPLIED VINYL SHUTTER WITH ARCHED HEADER.
6.74	LOUVER PANEL WITH ARCHED HEADER.
7.2	6" PAINTED FIBER CEMENT FASCIA BOARD.
7.3	8" PAINTED FIBER CEMENT FASCIA BOARD.
7.4	5/4x8 PAINTED FIBER CEMENT FRIEZE BOARD.
7.6	1x3 PAINTED FIBER CEMENT BATTEN BOARD.
7.7	1x4 PAINTED FIBER CEMENT TRIM BOARD.
7.9	1x3 PAINTED FIBER CEMENT TRIM BOARD.
7.12	5/4x4 PAINTED FIBER CEMENT TRIM BOARD.
7.13	5/4x6 PAINTED FIBER CEMENT TRIM BOARD.
7.14	5/4x8 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH F" EXPOSURE.
7.25	6" PREFINISHED SEAMLESS HALF ROUND GUTTERS.
7.26	4" PREFINISHED SEAMLESS ROUND DOWNSPOUTS.
7.27	ASPHALT ROOF SHINGLES OVER 15# FELT.
7.32	STANDING SEAM METAL ROOF.
7.51	DOWNSPOUT CONNECTED TO STORM DRAIN.
7.56	PREFINISHED METAL PARAPET COPING.
7.74	ASPHALT ROOF SHINGLES OVER ICE & WATER SHIELD.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.
8.12	ALUMINUM STOREFRONT DOOR & WINDOW SYSTEM.
8.25	ALUMINUM STOREFRONT WINDOW SYSTEM.
8.26	ALUMINUM STOREFRONT DOOR SYSTEM.
9.17	STUCCO FINISH.
9.18	STUCCO CONTROL JOINT.
23.4	PREFINISHED METAL LOUVER WITH ARCHED TOP.
26.1	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).
26.4	EXTERIOR WALL GOOSE NECK LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).



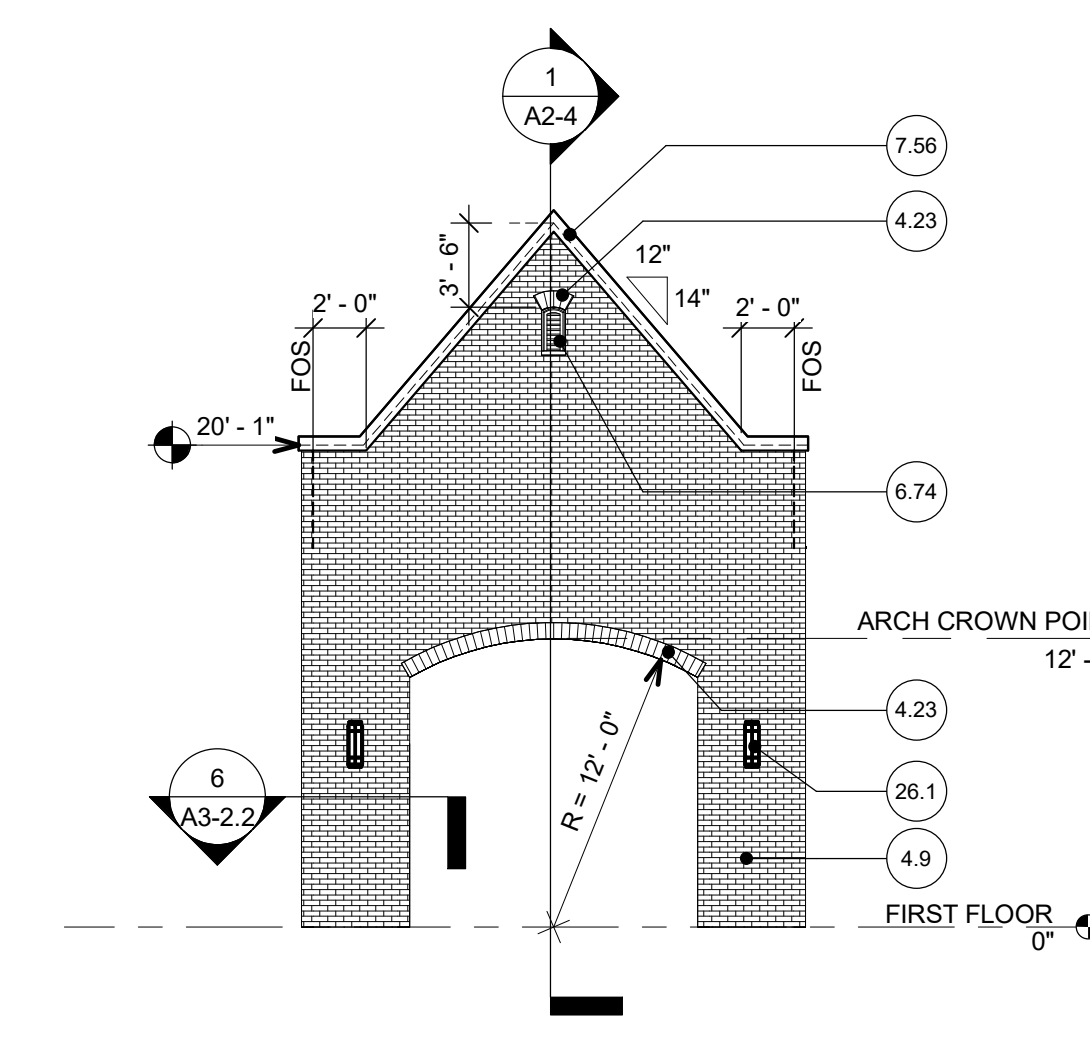
2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



4 SECTION @ PORTE COCHERE
1/8" = 1'-0"



3 ELEVATION @ PORTE COCHERE
1/8" = 1'-0"

NO.	DATE	DESCRIPTION
05.31.23		FOR PERMIT

KEYNOTES

#	NOTE
4.2	BRICK SOLDIER COURSE.
4.5	BRICK ROWLOCK OVER SOLDIER COURSE.
4.8	DECORATIVE BRICK INFILL PANEL.
4.9	BRICK RUNNING BOND FIELD.
4.10	BRICK SILL.
4.16	BRICK SILL.
4.21	SIMULATED STONE VENEER.
4.23	ARCHED BRICK SOLDIER HEADER.
4.24	SIMULATED STONE WALL CAP.
4.26	ARCHED SIMULATED STONE SOLDIER HEADER.
4.27	BRICK WATERTABLE. SEE SECTION.
5.9	STANDING SEAM METAL CANOPY.
5.16	SUSPENDED METAL CANOPY.
5.23	FABRIC CANOPY.
6.72	VINYL BOARD AND BATTEN WINDOW SHUTTERS W SPIKES & SCREWS.
6.73	APPLIED VINYL SHUTTER WITH ARCHED HEADER.
7.3	8" PAINTED FIBER CEMENT FASCIA BOARD.
7.4	5/4x8 PAINTED FIBER CEMENT FRIEZE BOARD.
7.5	5/4x6 PAINTED FIBER CEMENT CORNER BOARD.
7.6	1x3 PAINTED FIBER CEMENT BATTEN BOARD.
7.7	1x4 PAINTED FIBER CEMENT TRIM BOARD.
7.9	1x8 PAINTED FIBER CEMENT TRIM BOARD.
7.12	5/4x4 PAINTED FIBER CEMENT TRIM BOARD.
7.13	5/4x6 PAINTED FIBER CEMENT TRIM BOARD.
7.14	5/4x8 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.25	6" PREFINISHED SEAMLESS HALF ROUND CUTTERS.
7.26	4" PREFINISHED SEAMLESS ROUND DOWNSPOUTS.
7.27	ASPHALT ROOF SHINGLES OVER 15# FELT.
7.32	STANDING SEAM METAL ROOF.
7.56	PRE-FINISHED METAL PARAPET COPING.
7.74	ASPHALT ROOF SHINGLES OVER ICE & WATER SHIELD.
7.82	SOFFIT BOX.
8.6	SINGLE HUNG VINYL WINDOW WITH SCREEN.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.
8.12	ALUMINUM STOREFRONT DOOR & WINDOW SYSTEM.
8.13	HOLLOW METAL DOOR.
8.25	ALUMINUM STOREFRONT WINDOW SYSTEM.
9.17	STUCCO FINISH.
9.18	STUCCO CONTROL JOINT.
10.27	CONNECTING FENCE TO SKILLED CARE BUILDING.
26.1	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).



2 SOUTH ELEVATION
1/8" = 1'-0"



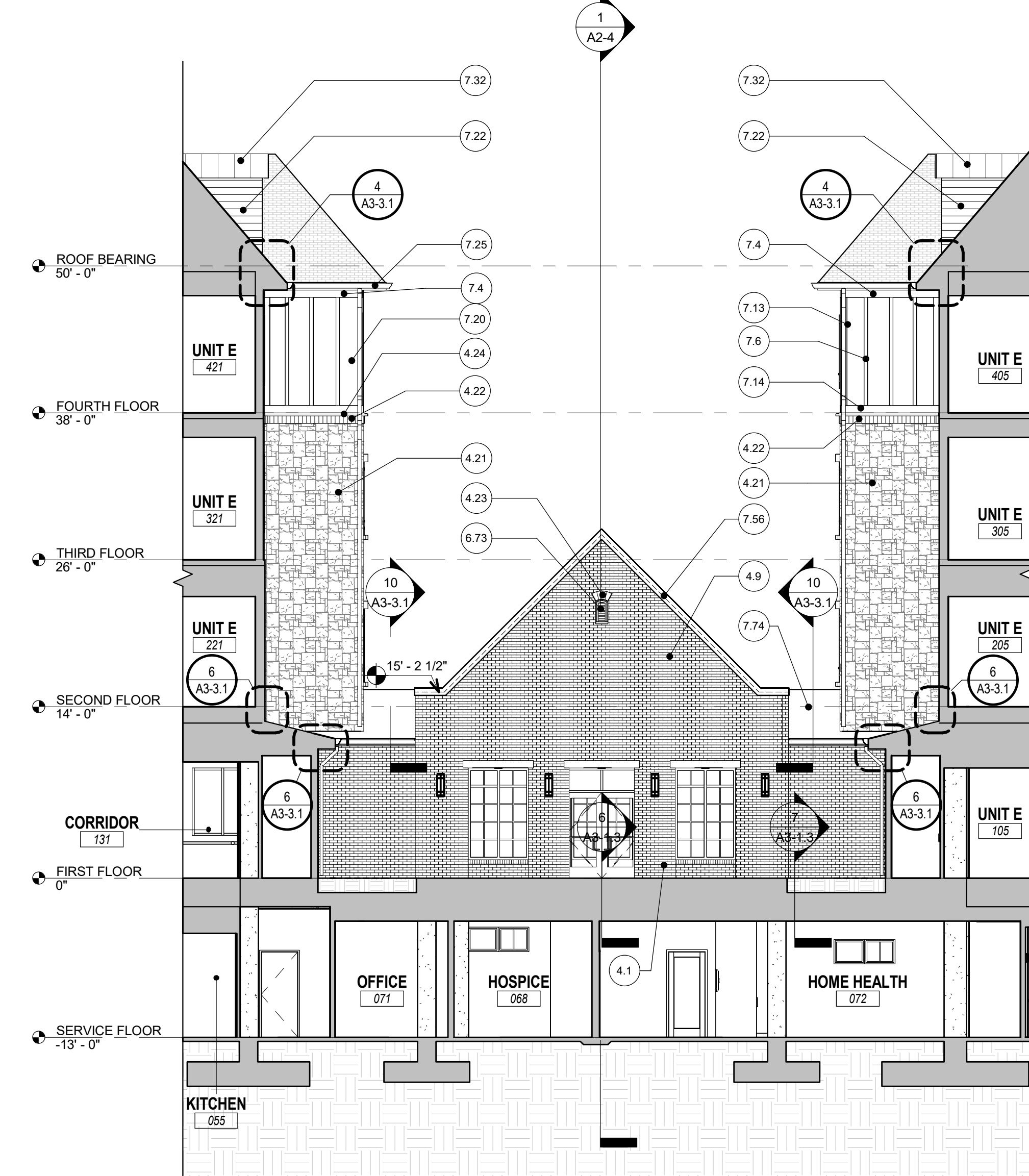
1 NORTH ELEVATION
1/8" = 1'-0"

KEYNOTES

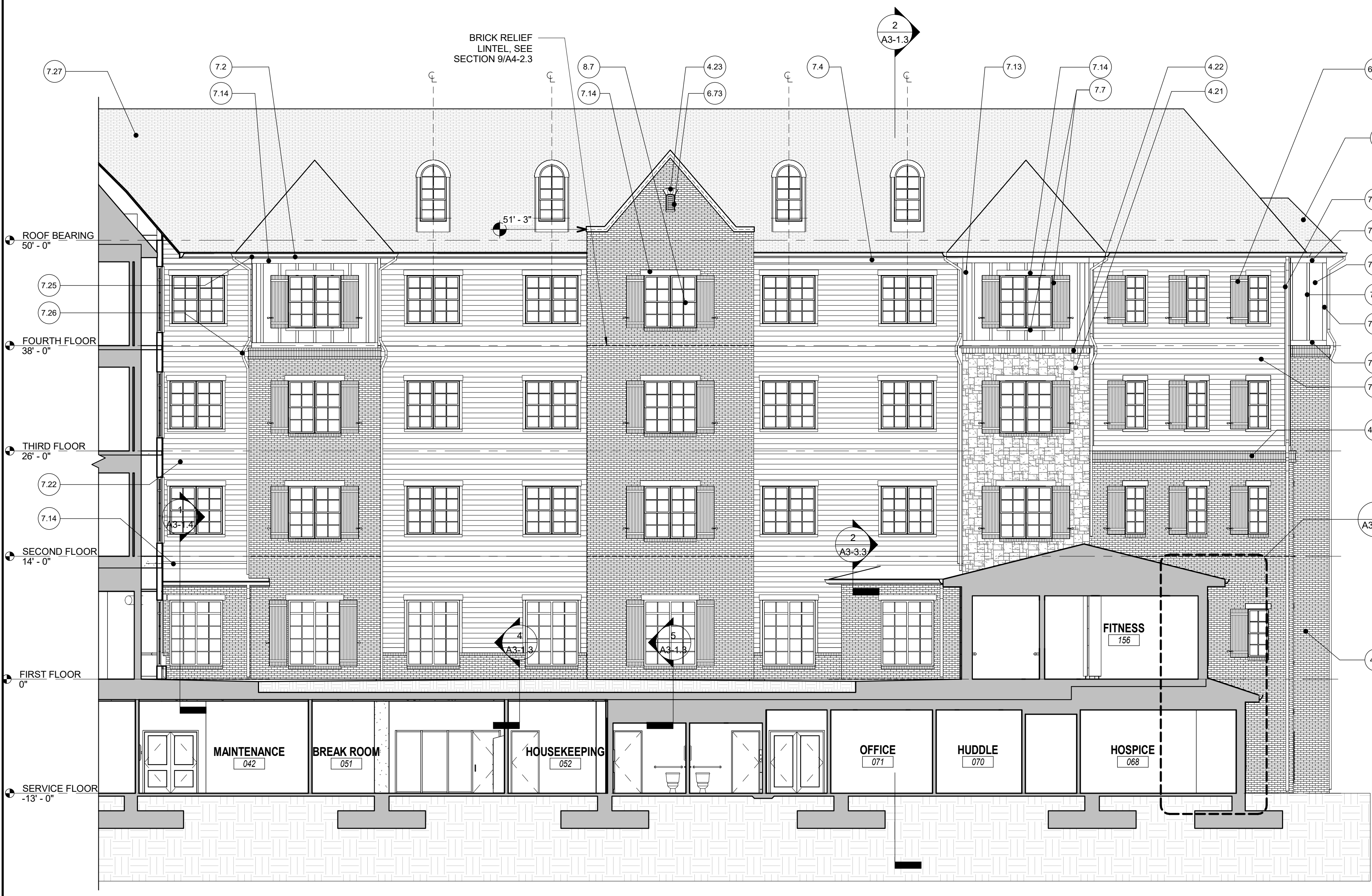
#	NOTE
4.1	BRICK RUNNING BOND COURSE.
4.9	BRICK RUNNING BOND FIELD.
4.19	BRICK ROWLOCK COURSE.
4.21	SIMULATED STONE VENEER.
4.22	SIMULATED STONE SOLDIER COURSE.
4.23	ARCHED BRICK SOLDIER HEADER.
4.24	SIMULATED STONE WALL CAP.
4.27	BRICK WATERTABLE. SEE SECTION.
6.62	STAINED CEDAR WOOD BRACKET.
6.72	VINYL BOARD AND BATTEN WINDOW SHUTTERS W/ SPIKES & SCREWS.
6.73	APPLIED VINYL SHUTTER WITH ARCHED HEADER.
7.2	6" PAINTED FIBER CEMENT FASCIA BOARD.
7.4	5/4x8 PAINTED FIBER CEMENT FRIEZE BOARD.
7.6	1x3 PAINTED FIBER CEMENT BATTEN BOARD.
7.7	1/4" PAINTED FIBER CEMENT TRIM BOARD.
7.12	5/4x4 PAINTED FIBER CEMENT TRIM BOARD.
7.13	5/4x8 PAINTED FIBER CEMENT TRIM BOARD.
7.14	5/4x8 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.25	6" PREFINISHED SEAMLESS HALF ROUND GUTTERS.
7.26	4" PREFINISHED SEAMLESS ROUND DOWNSPOUTS.
7.27	ASPHALT ROOF SHINGLES OVER 15# FELT.
7.32	STANDING SEAM METAL ROOF.
7.56	PRE-FINISHED METAL PARAPET COPING.
7.74	ASPHALT ROOF SHINGLES OVER ICE & WATER SHIELD.
7.83	5/4x8 PAINTED FIBER CEMENT TRIM BOARD INSET IN BRICK. SEE WINDOW DETAILS.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.



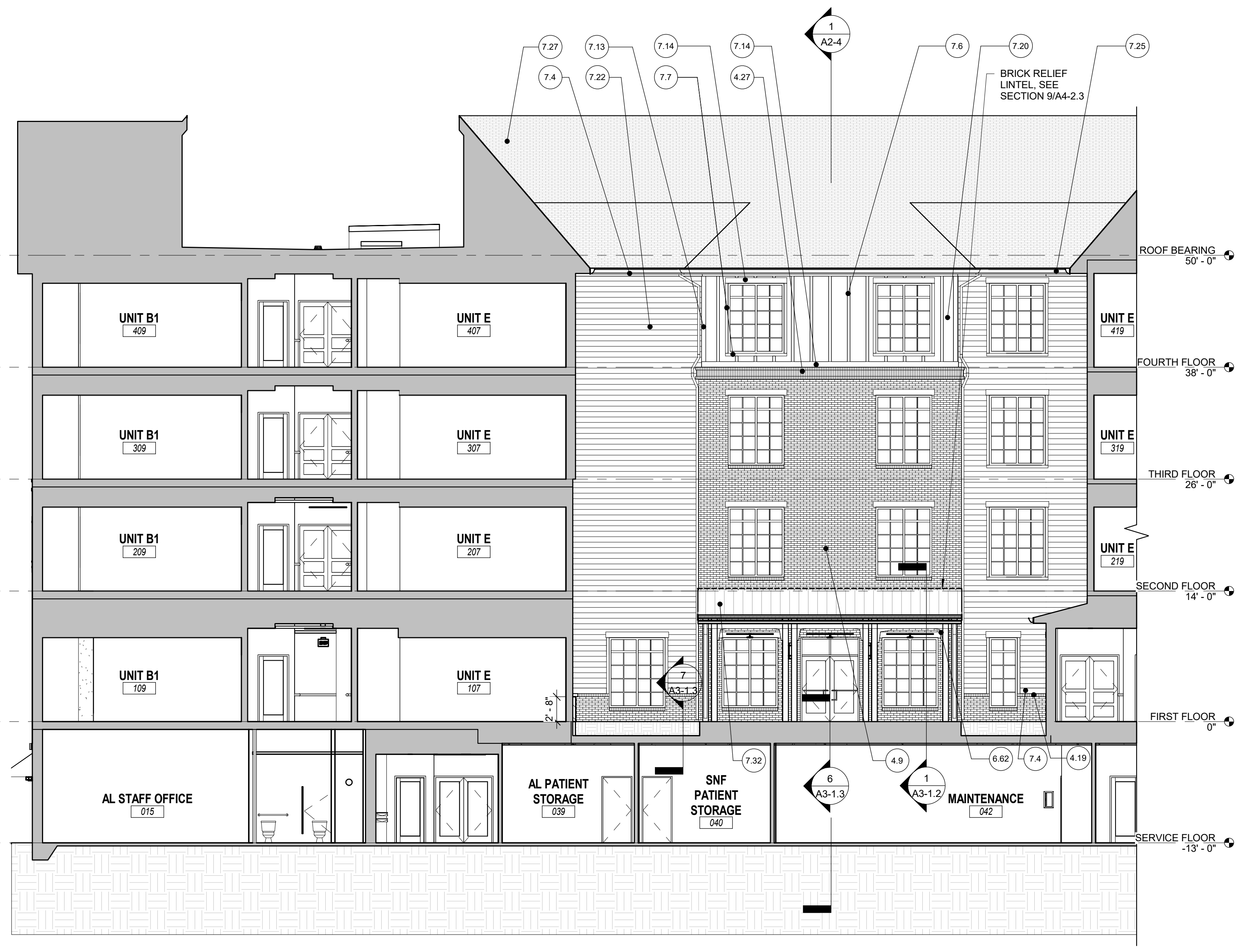
4 NORTH COURTYARD ELEVATION
1/8" = 1'-0"



3 WEST COURTYARD ELEVATION
1/8" = 1'-0"



2 SOUTH COURTYARD ELEVATION
1/8" = 1'-0"



1 EAST COURTYARD ELEVATION
1/8" = 1'-0"

KEYNOTES

#	NOTE
4.1	BRICK RUNNING BOND COURSE.
4.2	BRICK SOLDIER COURSE.
4.3	DOUBLE BRICK SOLDIER COURSE.
4.5	BRICK ROWLOCK OVER SOLDIER COURSE.
4.9	BRICK RUNNING BOND FIELD.
4.21	SIMULATED STONE VENEER.
4.23	SIMULATED STONE WALL CAP.
6.42	WOOD COLUMN. SEE STRUCTURAL.
7.6	1x3 PAINTED FIBER CEMENT BATTENS.
7.12	5/4x4 PAINTED FIBER CEMENT TRIM BOARD.
7.14	5/8x5 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.27	ASPHALT ROOF SHINGLES OVER 15# FELT.
7.56	PAINTED METAL PARAPET COPING.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.
10.4	VINYL GUARDRAIL.



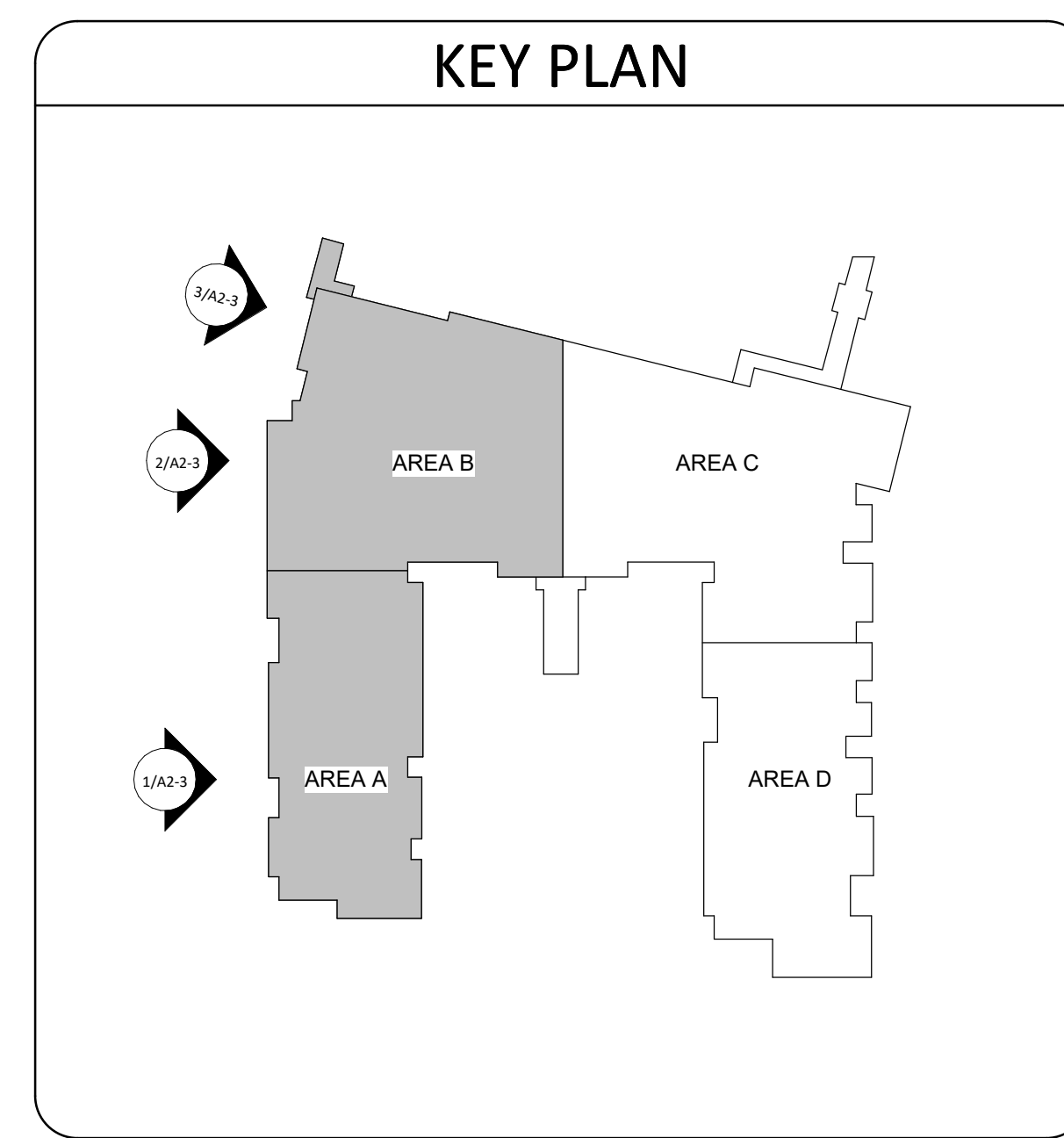
3 WEST ELEVATION 3
1/8" = 1'-0"



2 WEST ELEVATION 2
1/8" = 1'-0"



1 WEST ELEVATION 1
1/8" = 1'-0"



SEAL

ARCHITECT



ADDRESS

OAKS AT WHITAKER GLEN -
CLUBHOUSE
RALEIGH, NORTH CAROLINA
PRUITTHEALTH

NO. DATE DESCRIPTION

Sheet Title:

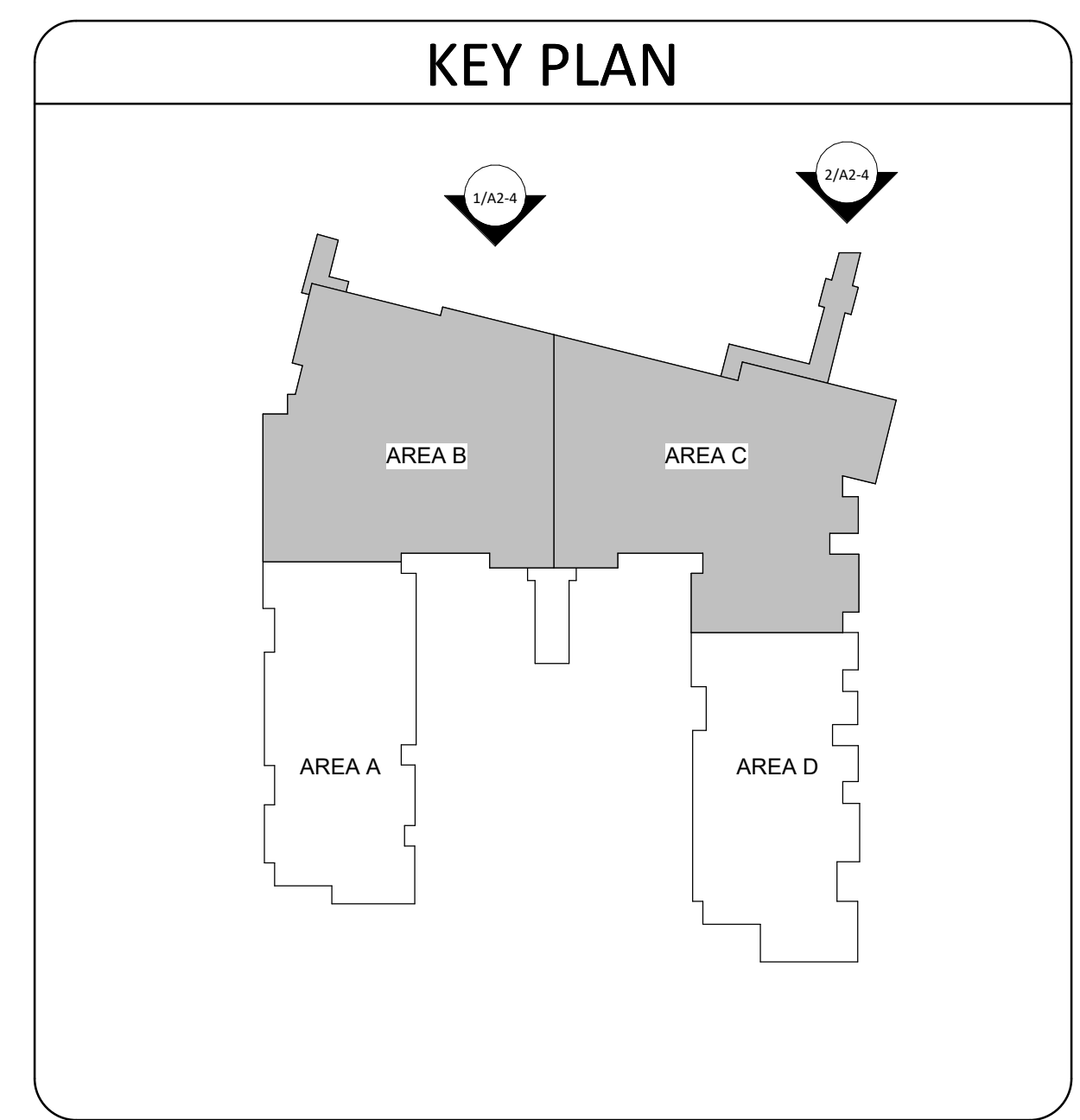
BUILDING
ELEVATIONS

Date: 05/07/24
Project: 202001
No.:

A2-3

KEYNOTES

#	NOTE
4.1	BRICK RUNNING BOND COURSE.
4.2	BRICK SOLDIER COURSE.
4.3	DOUBLE BRICK SOLDIER COURSE.
4.23	SIMULATED STONE WALL CAP.
6.61	DECORATIVE VINYL SHUTTER PANELS.
7.12	3/4" PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.25	6" PREFINISHED SEAMLESS GUTTERS.
7.27	ASPHALT ROOF SHINGLES OVER 15# FELT.
7.32	STANDING SEAM METAL ROOF.
7.56	PAINTED METAL PARAPET COPING.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.
8.12	ALUMINUM STOREFRONT DOOR & WINDOW SYSTEM.
8.25	ALUMINUM STOREFRONT WINDOW SYSTEM.
10.4	VINYL GUARDRAIL.
26.1	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).



KEYNOTES

#	NOTE
4.1	BRICK RUNNING BOND COURSE.
4.3	DOUBLE BRICK SOLDIER COURSE.
4.21	SIMULATED STONE VENEER.
7.14	5/4x8 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.27	ASPHALT ROOF SHINGLES OVER 15# FELT.
7.56	PAINTED METAL PARAPET COPING.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.



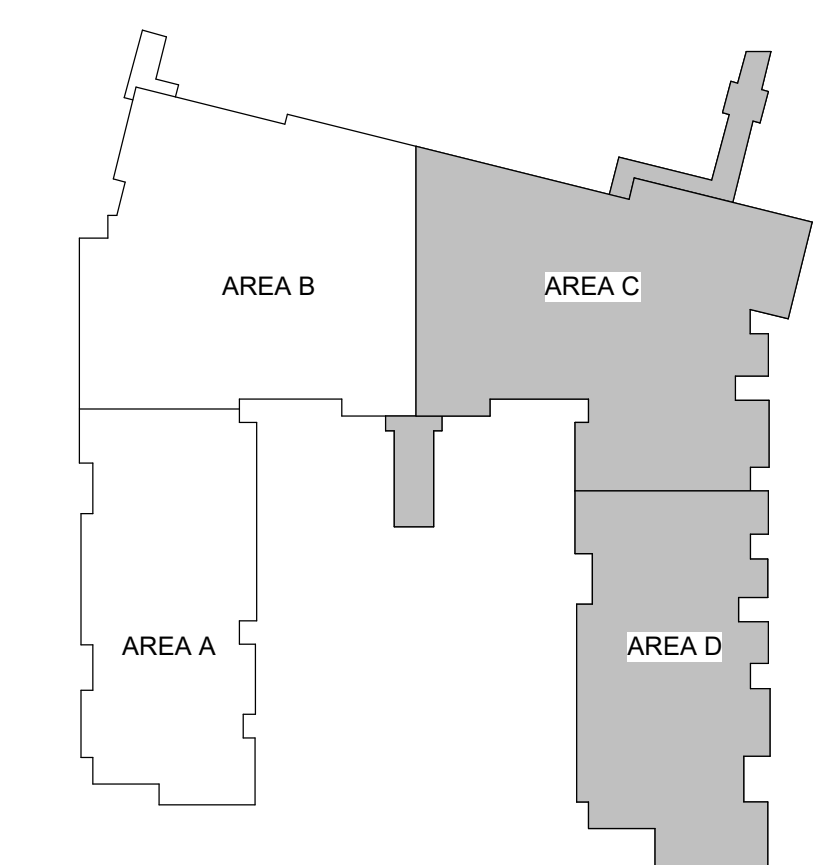
3 EAST ELEVATION 3
1/8" = 1'-0"



2 EAST ELEVATION 2
1/8" = 1'-0"

1 EAST ELEVATION 1
1/8" = 1'-0"

KEY PLAN



KEYNOTES

#	NOTE

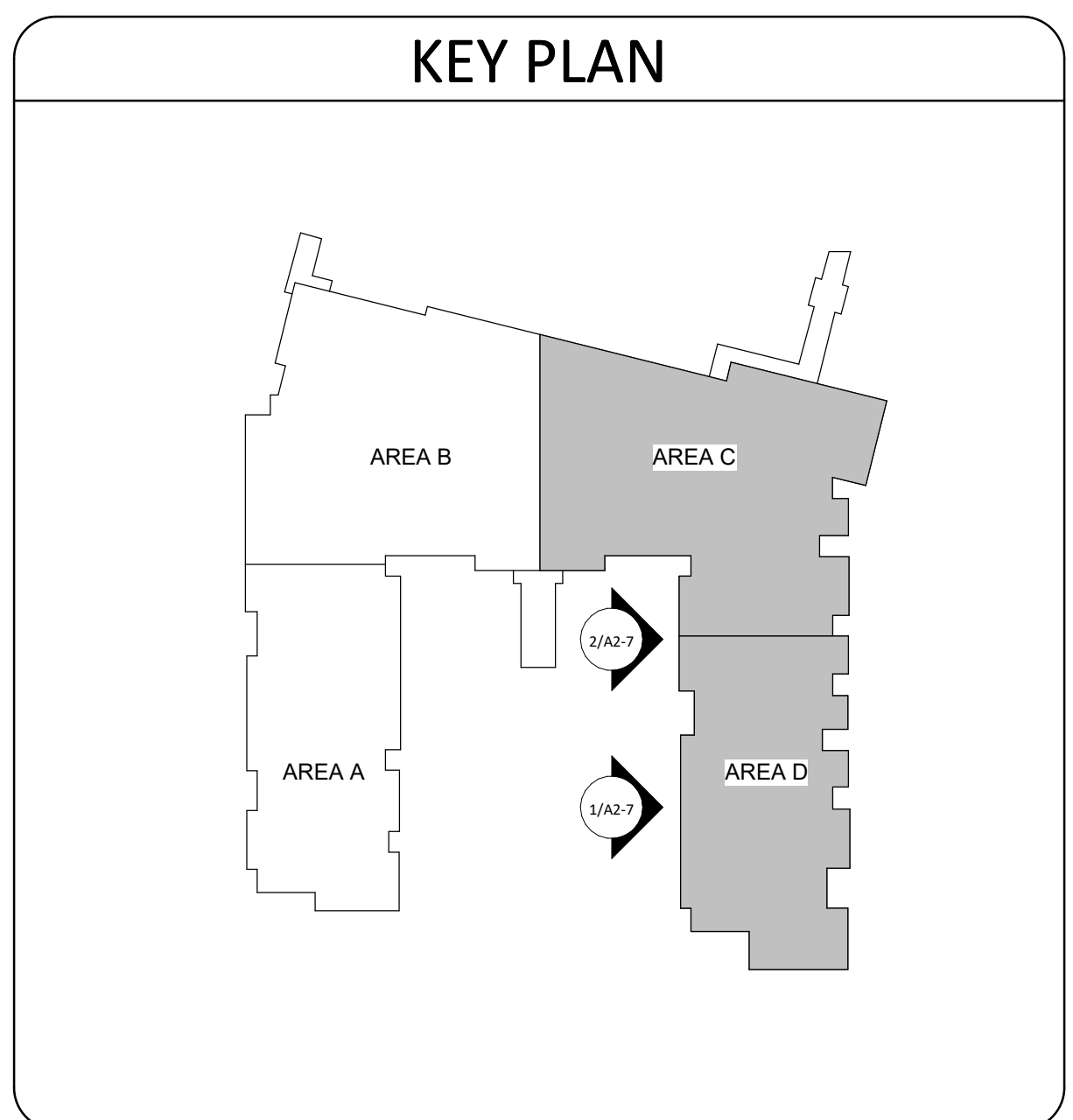


2 WEST CITYD ELEVATION
1/8" = 1'-0"



1 WEST CITYD ELEVATION
1/8" = 1'-0"

KEY PLAN



KEYNOTES

#	NOTE
3.8	SITE WALL. SEE CIVIL.
4.2	BRICK SOLDIER COURSE.
4.9	BRICK RUNNING BOND FIELD.
4.10	BRICK SILL.
4.16	SIMULATED STONE SILL.
4.21	SIMULATED STONE VENEER.
4.23	SIMULATED STONE WALL CAP.
4.24	BRICK BANDING (SILL COURSE OVER SOLDIER COURSE ABOVE HEADER COURSE).
5.3	42" HIGH PAINTED METAL GUARDRAIL.
5.17	DECORATIVE METAL LOUVER PANEL.
5.18	PAINTED METAL COPING.
6.42	8" X 8" STAINED CEDAR WOOD COLUMN. SEE STRUCTURAL.
6.61	DECORATIVE VINYL SHUTTER PANELS.
6.68	STAINED CEDAR WOOD PERGOLA.
6.69	STAINED CEDAR WOOD COLUMN.
7.3	8" PAINTED FIBER CEMENT FASCIA BOARD.
7.5	5/4" PAINTED FIBER CEMENT CORNER BOARD 6" WIDE.
7.7	1x4 PAINTED FIBER CEMENT TRIM BOARD.
7.8	1x6 PAINTED FIBER CEMENT TRIM BOARD.
7.9	1x8 PAINTED FIBER CEMENT TRIM BOARD.
7.13	5/4x6 PAINTED FIBER CEMENT TRIM BOARD.
7.14	5/4x8 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.25	6" PREFINISHED SEAMLESS GUTTERS.
7.27	ASPHALT ROOF SHINGLES OVER 15# FELT.
7.32	STANDING SEAM METAL ROOF.
7.82	1x18 PAINTED FIBER CEMENT TRIM BOARD.
8.6	SINGLE HUNG VINYL WINDOW WITH SCREEN.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.
8.12	ALUMINUM STOREFRONT DOOR & WINDOW SYSTEM.
8.13	HOLLOW METAL DOOR.
8.22	SINGLE METAL CLAD WOOD DOOR W/ INSULATED GLASS.
8.26	INSULATED METAL GARAGE DOOR.
10.15	TRASH CHUTE.
26.1	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).

SEAL

ARCHITECT

FOLEY DESIGN
21 Puritan Mill | 950 Lowery Blvd. NW | Atlanta, Georgia 30318 | (404) 761-1299

ADDRESS

OWG FLATS

501 E. Whitaker Mill Rd, Raleigh, NC 27608
PRUITTHEALTH

NO. DATE DESCRIPTION

Sheet Title:

FLAT 9
BLDG
ELEV.

Date: 06/10/24

Project

No.:

A2-1



4 SIDE ELEVATION - FLAT 9
1/8" = 1'-0"



3 BACK ELEVATION - FLAT 9
1/8" = 1'-0"



2 SIDE ELEVATION - FLAT 9
1/8" = 1'-0"



1 FRONT ELEVATION - FLAT 9
1/8" = 1'-0"

KEYNOTES

#	NOTE
3.8	SITE WALL. SEE CIVIL.
4.2	BRICK SOLDIER COURSE.
4.9	BRICK RUNNING BOND FIELD.
4.10	BRICK SILL.
4.16	SIMULATED STONE SILL.
4.21	SIMULATED STONE VENEER.
4.23	SIMULATED STONE WALL CAP.
4.24	BRICK BANDING (SILL COURSE OVER SOLDIER COURSE ABOVE HEADER COURSE).
5.3	42" HIGH PAINTED METAL GUARDRAIL.
5.17	DECORATIVE METAL LOUVER PANEL.
5.18	PAINTED METAL COPING.
6.61	DECORATIVE VINYL SHUTTER PANELS.
6.68	STAINED CEDAR WOOD PERGOLA.
6.69	STAINED CEDAR WOOD COLUMN.
7.3	8" PAINTED FIBER CEMENT FASCIA BOARD.
7.5	5/4" PAINTED FIBER CEMENT CORNER BOARD 6" WIDE.
7.7	1x4 PAINTED FIBER CEMENT TRIM BOARD.
7.8	1x6 PAINTED FIBER CEMENT TRIM BOARD.
7.9	1x8 PAINTED FIBER CEMENT TRIM BOARD.
7.14	5/8x6 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.25	6" PREFINISHED SEAMLESS GUTTERS.
7.27	ASPHALT ROOF SHINGLES OVER 15# FELT.
7.32	STANDING SEAM METAL ROOF.
7.82	1x18 PAINTED FIBER CEMENT TRIM BOARD.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.
8.12	ALUMINUM STOREFRONT DOOR & WINDOW SYSTEM.
8.13	HOLLOW METAL DOOR.
8.22	SINGLE METAL GLAD WOOD DOOR W/ INSULATED GLASS.
8.26	INSULATED METAL GARAGE DOOR.
10.15	TRASH CHUTE.
26.1	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).

SEAL

ARCHITECT



ADDRESS

OWG FLATS
501 E. Whittaker Mill Rd, Raleigh, NC 27608
PRUITTHEALTH

NO. DATE DESCRIPTION

Sheet Title:

FLAT 11
BLDG
ELEV.

Date: 06/10/24

Project

No.:

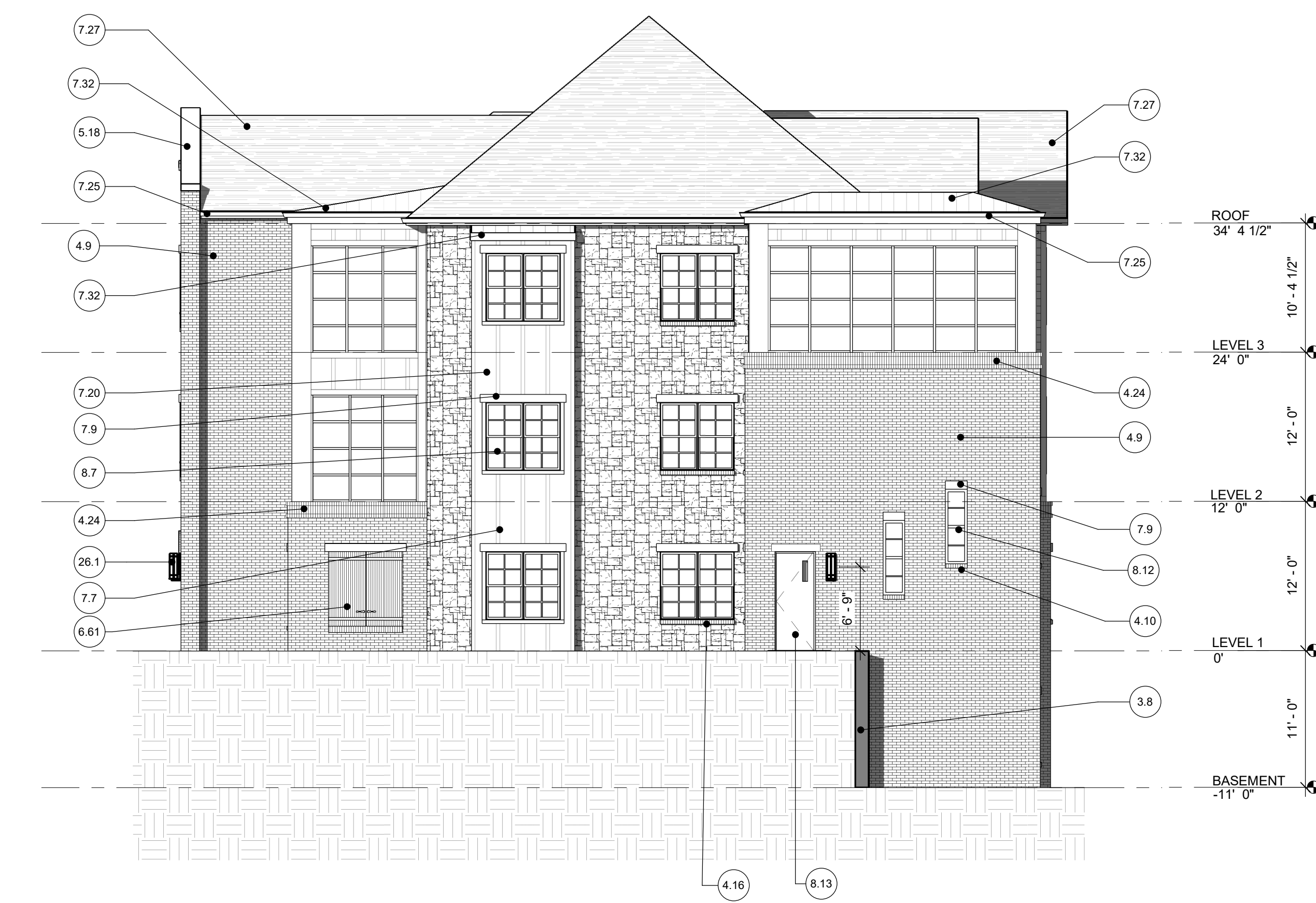
A2-3



4 SIDE ELEVATION - FLAT 11
1/8" = 1'-0"



3 BACK ELEVATION - FLAT 11
1/8" = 1'-0"



2 SIDE ELEVATION - FLAT 11
1/8" = 1'-0"



1 FRONT ELEVATION - FLAT 11
1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	05.31.23	FOR PERMIT

Sheet Title:

BUILDING ELEVATIONS

Date: 05.31.23
Project: 2001SC
No.:

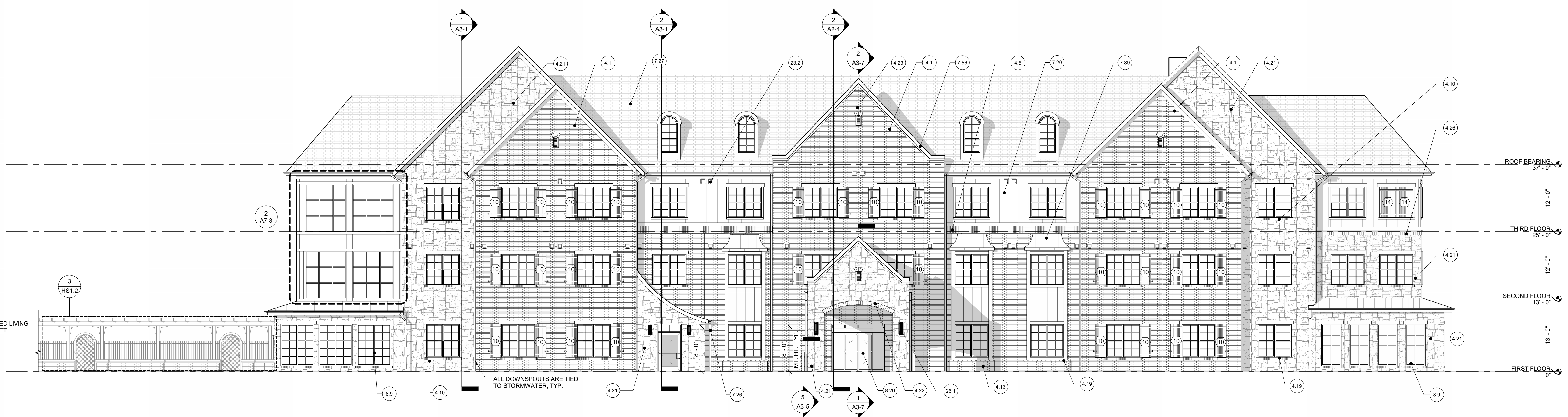
A2-1

NOTES

#	NOTE
4.1	
4.5	
4.10	
4.13	
4.19	
4.21	SIMULATED STONE VENEER.
4.22	SIMULATED STONE ARCH.
4.23	BRICK GABLE LOUVER WITH RADIATING SOLDIER HEADER.
4.26	STONE SOLDIER COURSE.
6.72	PVNL BOARD AND BATTEN WINDOW SHUTTERS W/ SPIKES & SCREWS.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT L&D SIDING WITH 7" EXPOSURE.
7.25	
7.26	DOWNSPOUTS.
7.27	DOWNSPOUTS.
7.56	DOWNSPOUTS.
7.89	TEAM AWNING.
8.6	SCREEN.
8.9	
8.20	
26.1	
26.1	(DRAWINGS).



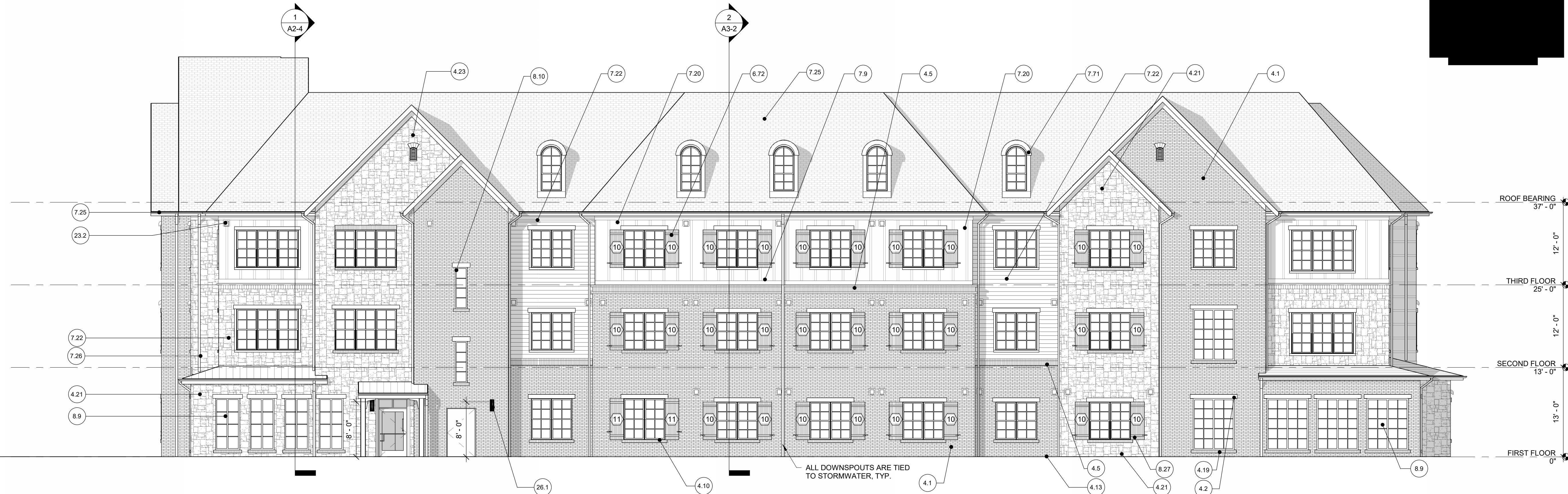
2 NORTH ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

NOTES

NO.	NOTE
4.1	
4.2	
4.5	COURSE.
4.10	
4.13	
4.19	BRICK ROWLOCK COURSE.
4.21	SIMULATED STONE VENEER.
4.23	BRICK GABLE LOUVER WITH RADIATING SOLDIER HEADER.
6.72	1/4" VINYL BOARD AND BATTEN WINDOW SHUTTERS W/ SPIKES & SCREWS.
7.9	1x8 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.25	ERS.
7.26	NSPOUTS.
7.27	SOFF FELT.
7.71	
7.74	SOFF FELT.
8.6	H SCREEN.
8.9	
8.10	W.
8.27	E WITH MECHANICAL.
23.2	(S).
26.1	(DRAWINGS).



2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

