



Administrative Approval Action

Case File / Name: ASR-0065-2019
3601 MARCOM ST.

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This .925 acre site zoned Residential 10 and Special Residential Parking Overlay is located on the south side of Marcom Street between Gorman Street and Varsity Drive at 3601 Marcom Street.

REQUEST: Development of a .925 acre site zoned R-10 into a total of nine apartment units (in 2 buildings) with associated parking and infrastructure.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 28, 2020 by Thompson and Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Demonstrate compliance with Raleigh Street Design Manual B-20.01. by providing Bike Rack Placement detail in an inset. Please review the following link for standard detail dimensions: <https://cityofraleigh0drupal.blob.core.usgovcloudapi.net/drupal-prod/COR16/B-20.01.pdf> (7.1.2.C and UDO Section 7.1.8.) and
2. Add "SRPOD" to the application on the cover sheet under "Overlay District" and
3. Documentation from utility company (letter and/or email) that they approve crossing of the utility easement adjacent to the right of way

Stormwater

2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



Administrative Approval Action

Case File / Name: ASR-0065-2019
3601 MARCOM ST.

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
-------------------------------------	-------------------------------------

--	--

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. That the existing right-of-way for Spring Street is abandoned and recombined into the subject lot as proposed and a resolution number be shown on all plats.

Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to the issuance of building permits, recombining the existing lot and the right of way proposed for closure into a single tract.

Engineering



Administrative Approval Action

Case File / Name: ASR-0065-2019
3601 MARCOM ST.

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

2. A fee-in-lieu for 2.5 feet of pavement and 6 ft sidewalk along the frontage of the development is paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

7. A fee-in-lieu for 2 street trees along Marcom Street shall be paid to the City of Raleigh (UDO 8.1.10).

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: December 16, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the



Administrative Approval Action

Case File / Name: ASR-0065-2019
3601 MARCOM ST.

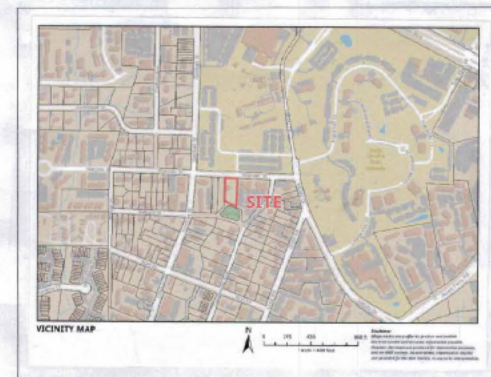
City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 12/16/2020
Development Services Dir/Designee
Staff Coordinator:

SHEET 1	EXISTING CONDITIONS/DEMOLITION PLAN
SHEET 2	PRELIMINARY SITE PLAN
SHEET 3	PRELIMINARY UTILITY PLAN
SHEET 4	PRELIMINARY GRADING PLAN
SHEET 5	PRELIMINARY STORMWATER PLAN
SHEET 6	PRELIMINARY LANDSCAPE PLAN
SHEET 7	PRE DEVELOPMENT DRAINAGE PLAN
SHEET 8	POST DEVELOPMENT DRAINAGE PLAN
SHEET A5.1	BUILDING ELEVATIONS
SHEET A5.2	BUILDING ELEVATIONS

[illegible][illegible][illegible]

ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF FALGLEN
STANDARDS AND SPECIFICATIONS
CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION
OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
CONTRACTOR SHALL COORDINATE THE LOCATION OF ANY CONFLICTING
UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND ANY AUTHORITY
CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR
TO THE START OF CONSTRUCTION.

NOTE:
ALL CONSTRUCTION & MATERIALS SHALL BE
IN STRICT ACCORDANCE WITH ALL CITY OF
RALEIGH AND NCDOT STANDARDS & SPECIFICATIONS



CO. LIC # : C-0343
THOMPSON and ASSOCIATES, P.A.

1149 EXECUTIVE CIRCLE
SUITE D UNIT 2
CARY, NC 27511

TEL 919 465-1566 FAX 919 465-1585

ADMINISTRATIVE SITE REVIEW PLANS
FOR
MARCOM STREET APARTMENTS
3601 MARCOM STREET

C.O.R. CASE #ASR-0065-2019

CITY OF RALEIGH, NORTH CAROLINA

AUGUST 26, 2019 1ST SUBMITTAL

REVISED: MARCH 9, 2020

REVISÉ: MAY 15, 2020

REVISÉ: OCTOBER 28, 2020

BUILD TO CALCULATIONS

PRIMARY STREET BUILD-TO MIN MAX 10' / 50'
PROPOSED BUILDING SETBACK AT 20' MEETS REQUIREMENT
BUILDING WIDTH IN PRIMARY BUILD-TO 702' MIN.
FRONTAGE 124' 11" MINUS
ON SUBJECT EXPANDED 5' ON SUBJECT SIDE (CORPUS REQUIREMENT) 25'
124' - 25' = 99' NET FRONTAGE
19 x 7 = 133' MIN. BUILDING FACE
DOWNSIDE FROM BUILDING FACE, TO THE BUILD - 50' THIN OF FRONTAGE.
PROPOSED FRONT BUILDING FACE OF 99' 5' MEETS REQUIRED BUILD-TO
REQUIREMENT. SEE TOP OF BUILDING FACE OF 19' FROM 19' MIN.

INFL. CALCULATIONS

INTEL CALCULATIONS SITE DOES NOT QUALIFY AS AN INTEL SUBJECT PARCEL.

THE FOLLOWING BUREAU TILES ARE WITHIN THE 300' LIMIT OF THE SUBJECT PARCEL.

300' MARCH 87 DE: COMPLEX	300' MARCH 87 DE: CO-ORDINATIONS	300' DECEMBER 87 APPOINTMENT: HIDE: UNKNOWN ST	300' MARCH 87 PROCEEDED: ATTACHED: HIDE
KEY: USED SECTION 2.5.7.6 - THERE NEEDS TO BE A MIN. OF 3 BUILDING TILES WITH 300' FROM BOUNDARY. ONLY THE FOLLOWING BUREAU TILES ARE WITHIN 300' MARCH 87 SITE IS CLASSIFIED AS "HIDE" BUT ATTACHED TO THE BUREAU PARCEL (300' MARCH 87) TILE IS A PROPOSED ATTACHE: HIDE WITHIN 300' OF THE SUBJECT PARCEL. (300' MARCH 87)			
BASED UPON MAPS: DEPT. AROUND BUREAU DIRECT - WITHIN 300' OF SUBJECT PARCEL SITE IS NOT AN INTEL REQUIREMENT AND HAS BEEN RECLASSIFIED AS NOT AN INTEL			

OWNER:
3607 MARCOM LLC
SHENG QIAN HUO & PING ZHANG
503 ANNANDALE DR.
CARY NC 27511

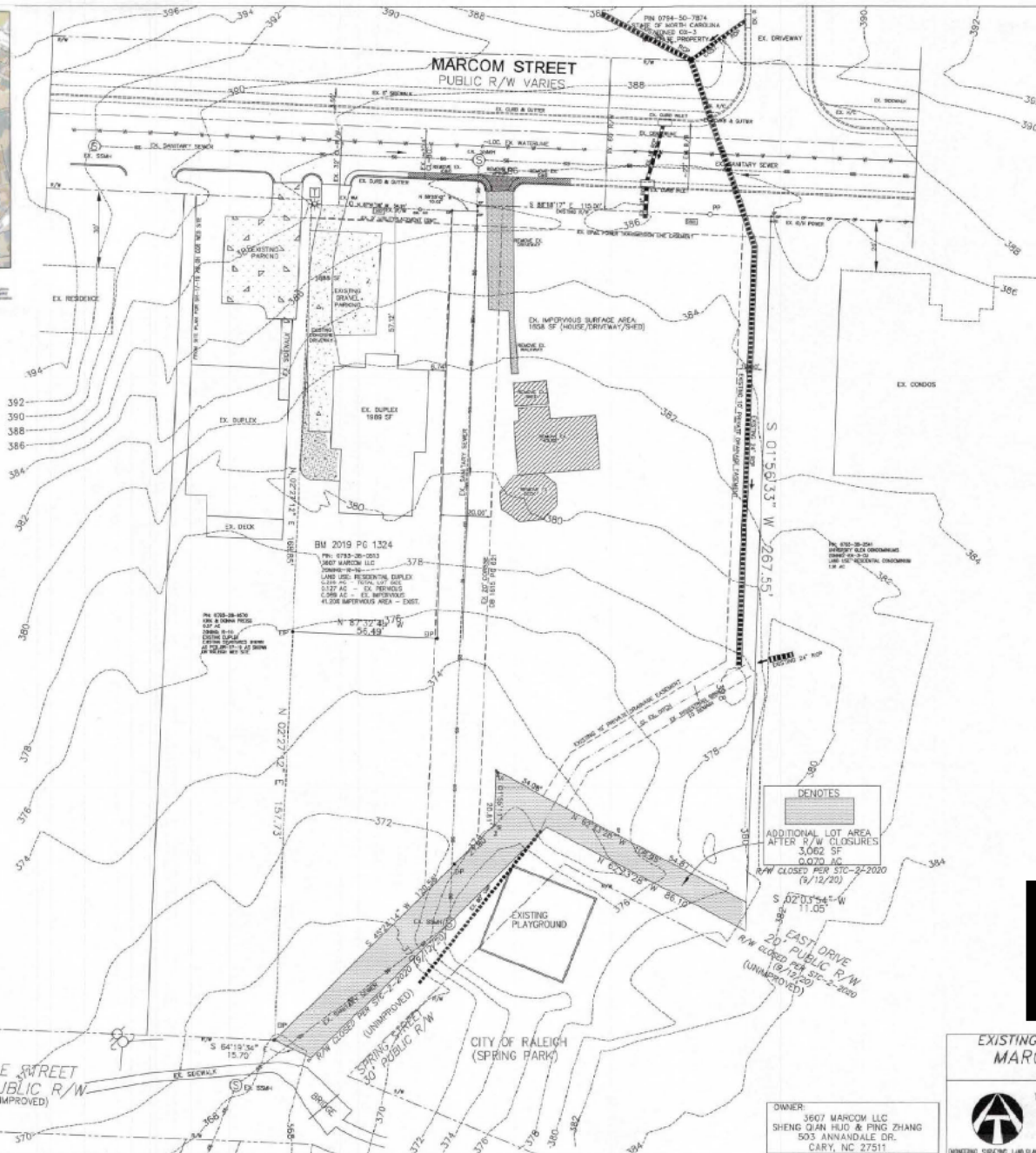




VICINITY MAP

PRELIMINARY SITE DATA

PM 0783-28-1524
 SITE ADDRESS: 3601 MARCOM ST, RALEIGH NC
 OWNER: 3607 MARCOM ST, LLC
 503 ANNANDALE DR.
 CARY, NC 27511
 ZONED: R-10
 TOTAL TRACT SIZE: 6.625 AC 462,983 SF
 EXISTING USE: VACANT
 SITE DOES NOT CONTAIN HOUSE RIVER BUTTER AREA
 NO FEMA FLOOD AREA ON SITE: MAP #S 3220278000 DATED MAY 2, 2008
 NO WETLANDS ON SITE
 EX. IMPERVIOUS SURFACE AREA: 1858 SF (HOUSE/DRIVEWAY/SHED) 4.42%

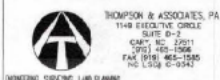


NOTE:
 ALL CONSTRUCTION & MATERIALS SHALL BE
 IN STRICT ACCORDANCE WITH ALL CITY OF
 RALEIGH STANDARDS, SPECIFICATIONS, AND
 DETAILS.

LEGEND:

	EX. POWER POLE
	EX. FIRE HYDRANT
	EX. 10' MARSHALL
	EX. SANITARY SEWER
	EX. WATER LINE
	EX. OVERHEAD POWER
	EX. IRON PIPE
	EX. IRON PIPE SET

OWNER:
 3607 MARCOM LLC
 SHENG QIAN HUO & PING ZHANG
 503 ANNANDALE DR.
 CARY, NC 27511



THOMPSON & ASSOCIATES, PA 1149 EXECUTIVE CIRCLE SUITE 200 CARY, NC 27511 TEL: 919.465.1584 FAX: 919.465.1585 NC 0194 C-0142	OWNER: 3607 MARCOM LLC
RALEIGH TOWNSHIP	DATE: 3-24-18
WAKE COUNTY	SCALE: 1" = 20'
NORTH CAROLINA	SURVEYED: N/A
BRANN MTH	JOB NO.
MARKOM-ST-COCONO	REVISIONS: 1-5-2020 0-18-2020
DATE: 3-24-18	PM: 0783-28-1524

PIN 0793-38-1524
 SITE ADDRESS: 3607 MARCOM ST. RALEIGH NC
 ZONED: R-10
 0794 TRACT SIZE: 0.66 AC 37,473 SF 114 LF
 ACQUIRED AREA AFTER R/W CLOSURES OF SPRING ST. AND EAST DRIVE: 3,062 SF
 NET TRACT SIZE: 37,473 - 228 = 3,062 = 42,907 SF 0.525 AC

EXISTING USE: VACANT
 PROPOSED USE: 3 APARTMENTS (CONDOMINIUM DEVELOPMENT)
 DENSITY ALLOWED: 16 DU PER ACRE
 PROPOSED DENSITY: 9 UNITS/0.525 AC = 9.73 UNITS/ACRE

TREE CONSERVATION AREA NOT REQUIRED: SITE < 2.00 AC
 SITE DOES NOT CONTAIN NEUSE RIVER BUFFER AREA
 NO FLOOD HAZARD AREA ON SITE: MFP #3 3/20/2018 DATED MAY 2, 2008
 NO WETLANDS ON SITE

EX. IMPERVIOUS SURFACE AREA: 1658 SF (HOUSE/DRIVEWAY/SHED) 4.42% (REMOVED)
 ASPHALT & CURB/GUTTER: 12,018 SF
 CONCRETE SIDEWALK: 1,845 SF
 DUMPSTER/RECYCLE PAD: 336 SF
 TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 30,348 SF 8.47 AC
 TOTAL PROPOSED IMPERVIOUS SURFACE PERCENTAGE: 20.34/42,907 = 50%

AMENITY AREA REQUIRED: 10% NET TRACT SIZE = 3.9 40,307 SF = 4,031 SF 0.0925 AC
 PROPOSED AMENITY AREA: 15,007 SF 0.33 AC 24.88%
 PARKING SPACES REQUIRED: 4 BEDROOM UNITS 2.5 SPACES PER UNIT
 8 UNITS X 2.5 = 20 SPACES

TOTAL PROPOSED PARKING: 37 SPACES
 SHORT TERM BIKE/PARKING REQUIRED: 4
 SHORT TERM BIKE/PARKING PROPOSED: 4

BUILDING SETBACKS:
 FRONT 10'
 SIDE 0' OR 5'
 REAR 20'
 PARKING SETBACK:
 FRONT 10'
 SIDE 0' OR 5'
 REAR 5'

ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY.
 CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.

NOTE:
 ALL CONSTRUCTION & MATERIALS SHALL BE IN STREET ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS, SPECIFICATIONS, AND DETAILS.

SOLID WASTE SERVICES NOTE:
 TRASH COLLECTION PROVIDED BY DUMPSTER FOR CITY OF RALEIGH SOLID WASTE PICK UP. DUMPSTER AREA TO HAVE A TRASH DUMPSTER AND A RECYCLING DUMPSTER (SCREENED)

STREETSCAPE NOTE:

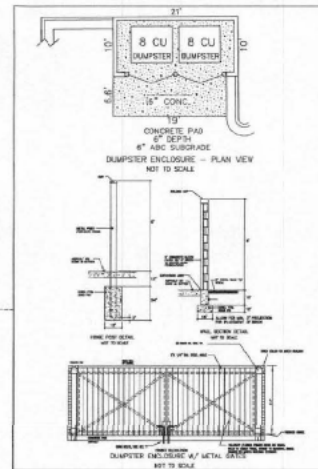
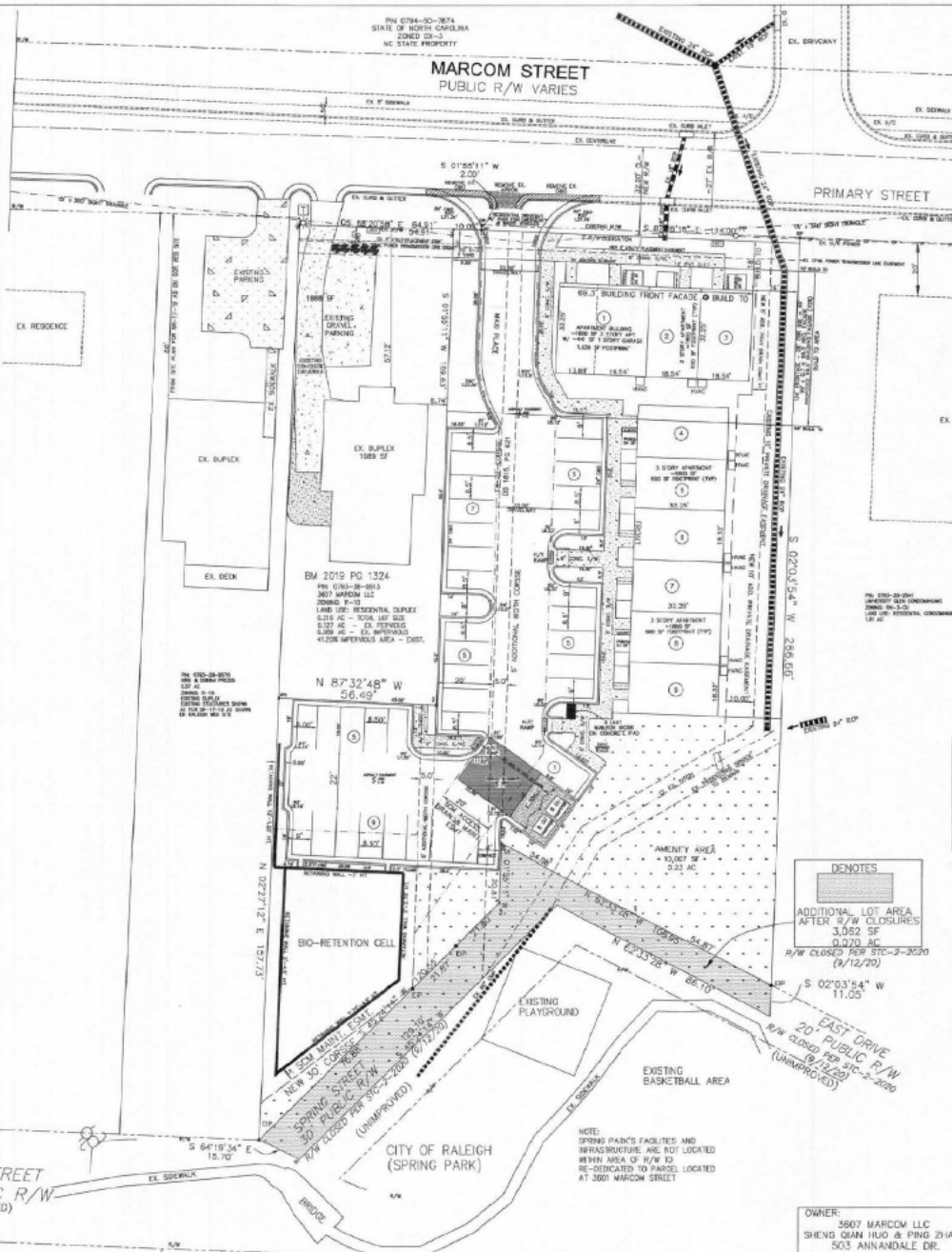
MARCOM ST. IS AN EX. 27' 5/8 SECTION NOT CENTERED IN MARCOM ST. RIGHT OF WAY LEAVING THE BACK OF CURB IN ITS CURRENT LOCATION, PROJECT SIDE, AND INCORPORATING THE NEW 2' R/W DEDICATION PROJECT SIDE (TO MATCH RECENT PROJECT ADJACENT TO SITE 3607 MARCOM ST.) WOULD LEAVE ~11' LF FROM EX. BACK OF CURB TO NEW R/W LINE. THE REQUIRED STREETSCAPE WOULD REQUIRE 2' PLANTING STRIP AND 8' SIDEWALK PLACING THE SIDEWALK 1' OVER THE NEW R/W LINE.
 THEREFORE, THE DEVELOPER REQUESTS A FILE-IN-LIEU OF CONSTRUCTION FOR 115 LF OF REQUIRED 8' CONCRETE SIDEWALK AND PLANTING OF (2) REQUIRED STREET TREES.

NOTE ON RETAINING WALLS:

RETAINING WALLS TO BE DESIGNED BY OTHERS
 RETAINING WALLS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
 RETAINING WALLS TO BE AS PER ALL STANDARDS OF INSTALLATION AS OUTLINED BY MANUFACTURER
 CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS FOR RETAINING WALL INSTALLATION
 NOT REQUIRED: WALL WITHIN 5' OF PUBLIC SIDEWALK MUST BE LESS THAN 10' IN HT. THIS PROJECT DOES NOT PROVIDE ANY RETAINING WALLS WITHIN 5' OF A PUBLIC SIDEWALK, AND IN ADDITION, THE PROPOSED RETAINING WALLS HAVE A HEIGHT RANGE FROM 1'-4'



POOLE STREET
 40' PUBLIC R/W
 (UNIMPROVED)

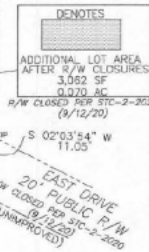


BUILD TO CALCULATIONS

PRIMARY STREET BUILD-TO WITH MAX 10' TIE
 PROPOSED BUILDING SETBACK AT 20' MEETS REQUIREMENT
 BUILDING WIDTH IN PRIMARY BUILD-TO 70% MIN.
 FRONTAGE 124 LF MEANS
 EX. 30' CORNER EXPANDED 1' ON SUBJECT SITE (CORNER REQUIREMENT: 15'
 15' x 25' = 375 SF NET FRONTAGE
 89' x 7' = 623 SF MIN. BUILDING FRONTAGE
 PROPOSED FRONT BUILDING FACADE TO BE 68.3' = 0% 70% OF FRONTAGE
 PROPOSED FRONT BUILDING FACADE OF 68.3 MEETS REQUIRED BUILD-TO
 REQUIREMENT OF 70% OF BUILDING FACADE AT 15' FROM R/W

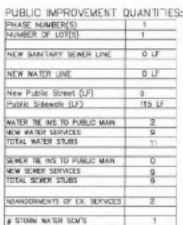
INFILL CALCULATIONS

SITE DOES NOT QUALIFY AS AN INFILL DEVELOPMENT.
 THE FOLLOWING BUILDING TYPES ARE WITHIN THE 300' LIMIT OF THE SUBJECT PARCEL:
 3607 MARCOM ST. EX. DUPLEX
 3601 MARCOM ST. EX. CONDOMINIUMS
 1407 GORHAM ST. APARTMENT PARKING MARCOM ST.
 3608 MARCOM ST. PROPOSED ATTACHED HOME
 PER 100 SECTION 2.2.7.C - THERE NEEDS TO BE A MIN. OF 3 BUILDING TYPES WITH 300' FROM ADJAC. ONLY THE FOLLOWING SAMPLE SITES APPLY IN DETERMINING INFILL.
 THERE IS CURRENTLY ONLY ONE ATTACHED HOME WITHIN 300' OF THE SUBJECT PARCEL (8 3607 MARCOM ST)
 THERE IS A PROPOSED ATTACHED HOME WITHIN 300' OF THE SUBJECT PARCEL (8 3609 MARCOM ST)
 BASED UPON SAMPLE GROUND ALONG MARCOM STREET - WITHIN 300' OF SUBJECT PARCEL
 SITE DOES NOT MEET INFILL REQUIREMENTS AND THUS PROPOSED DEVELOPMENT IS NOT AN INFILL



ASR-0065-2019
 PRELIMINARY SITE PLAN
 MARCOM STREET APARTMENTS
 3601 MARCOM STREET

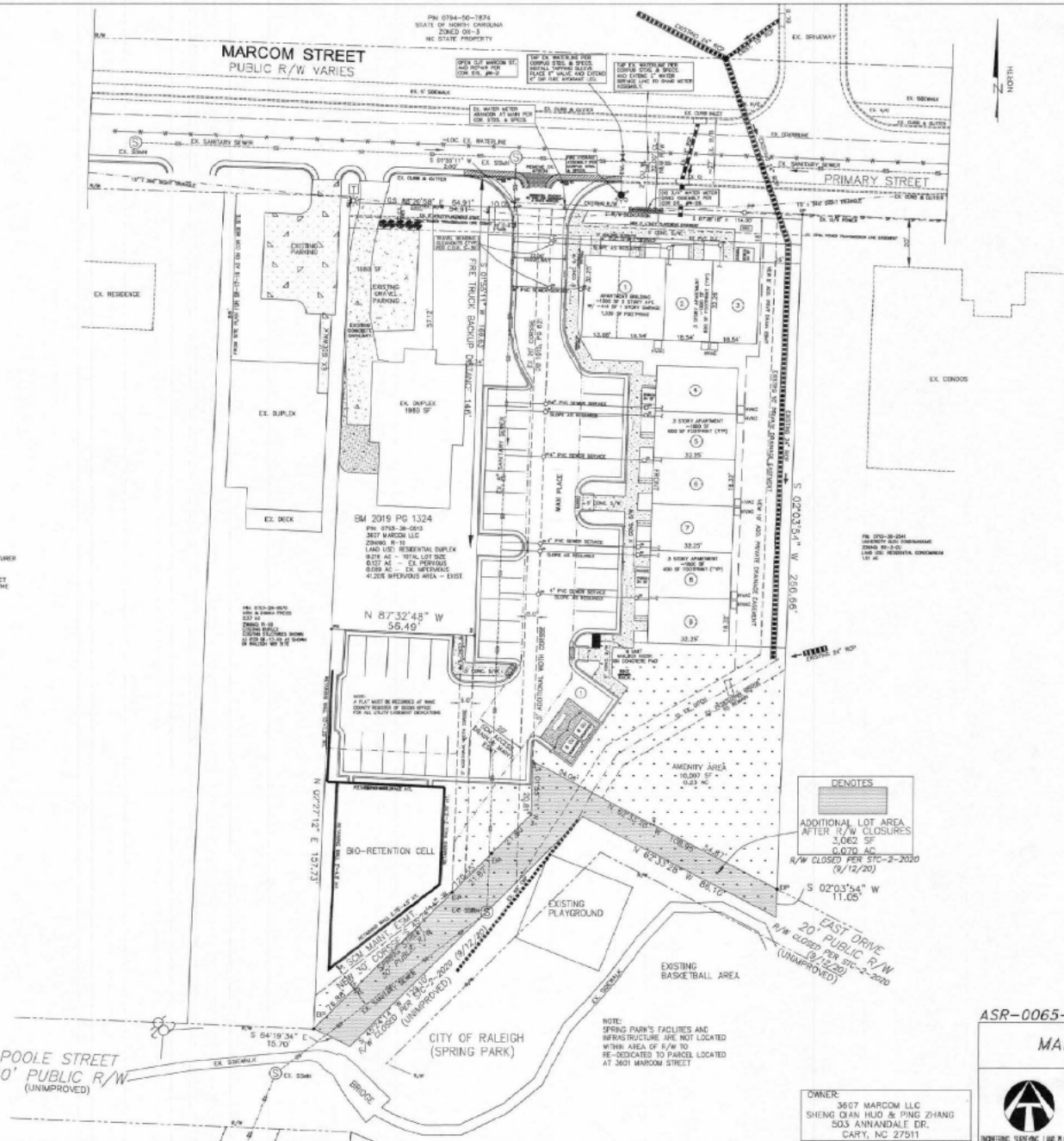
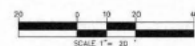
THOMPSON & ASSOCIATES, P.A. 1148 EXECUTIVE CIRCLE SUITE 9-3 CARY, NC 27511 (919) 465-1595 FAX (919) 465-1595 NO. 1535 C-03432	RALEIGH TOWNSHIP WAKE COUNTY DATE 3-24-19 DRAWN MTH SCALE 1" = 30' SURVEYED N/A MARCOM-ST-SITE REVISIONS 3-8-2019 3-10-2019 3-14-2019 3-15-2019 3-16-2019 3-17-2019 3-18-2019 3-19-2019 3-20-2019 3-21-2019 3-22-2019 3-23-2019 3-24-2019 3-25-2019 3-26-2019 3-27-2019 3-28-2019 3-29-2019 3-30-2019 3-31-2019 4-1-2019 4-2-2019 4-3-2019 4-4-2019 4-5-2019 4-6-2019 4-7-2019 4-8-2019 4-9-2019 4-10-2019 4-11-2019 4-12-2019 4-13-2019 4-14-2019 4-15-2019 4-16-2019 4-17-2019 4-18-2019 4-19-2019 4-20-2019 4-21-2019 4-22-2019 4-23-2019 4-24-2019 4-25-2019 4-26-2019 4-27-2019 4-28-2019 4-29-2019 4-30-2019 5-1-2019 5-2-2019 5-3-2019 5-4-2019 5-5-2019 5-6-2019 5-7-2019 5-8-2019 5-9-2019 5-10-2019 5-11-2019 5-12-2019 5-13-2019 5-14-2019 5-15-2019 5-16-2019 5-17-2019 5-18-2019 5-19-2019 5-20-2019 5-21-2019 5-22-2019 5-23-2019 5-24-2019 5-25-2019 5-26-2019 5-27-2019 5-28-2019 5-29-2019 5-30-2019 5-31-2019 6-1-2019 6-2-2019 6-3-2019 6-4-2019 6-5-2019 6-6-2019 6-7-2019 6-8-2019 6-9-2019 6-10-2019 6-11-2019 6-12-2019 6-13-2019 6-14-2019 6-15-2019 6-16-2019 6-17-2019 6-18-2019 6-19-2019 6-20-2019 6-21-2019 6-22-2019 6-23-2019 6-24-2019 6-25-2019 6-26-2019 6-27-2019 6-28-2019 6-29-2019 6-30-2019 7-1-2019 7-2-2019 7-3-2019 7-4-2019 7-5-2019 7-6-2019 7-7-2019 7-8-2019 7-9-2019 7-10-2019 7-11-2019 7-12-2019 7-13-2019 7-14-2019 7-15-2019 7-16-2019 7-17-2019 7-18-2019 7-19-2019 7-20-2019 7-21-2019 7-22-2019 7-23-2019 7-24-2019 7-25-2019 7-26-2019 7-27-2019 7-28-2019 7-29-2019 7-30-2019 7-31-2019 8-1-2019 8-2-2019 8-3-2019 8-4-2019 8-5-2019 8-6-2019 8-7-2019 8-8-2019 8-9-2019 8-10-2019 8-11-2019 8-12-2019 8-13-2019 8-14-2019 8-15-2019 8-16-2019 8-17-2019 8-18-2019 8-19-2019 8-20-2019 8-21-2019 8-22-2019 8-23-2019 8-24-2019 8-25-2019 8-26-2019 8-27-2019 8-28-2019 8-29-2019 8-30-2019 8-31-2019 9-1-2019 9-2-2019 9-3-2019 9-4-2019 9-5-2019 9-6-2019 9-7-2019 9-8-2019 9-9-2019 9-10-2019 9-11-2019 9-12-2019 9-13-2019 9-14-2019 9-15-2019 9-16-2019 9-17-2019 9-18-2019 9-19-2019 9-20-2019 9-21-2019 9-22-2019 9-23-2019 9-24-2019 9-25-2019 9-26-2019 9-27-2019 9-28-2019 9-29-2019 9-30-2019 10-1-2019 10-2-2019 10-3-2019 10-4-2019 10-5-2019 10-6-2019 10-7-2019 10-8-2019 10-9-2019 10-10-2019 10-11-2019 10-12-2019 10-13-2019 10-14-2019 10-15-2019 10-16-2019 10-17-2019 10-18-2019 10-19-2019 10-20-2019 10-21-2019 10-22-2019 10-23-2019 10-24-2019 10-25-2019 10-26-2019 10-27-2019 10-28-2019 10-29-2019 10-30-2019 10-31-2019 11-1-2019 11-2-2019 11-3-2019 11-4-2019 11-5-2019 11-6-2019 11-7-2019 11-8-2019 11-9-2019 11-10-2019 11-11-2019 11-12-2019 11-13-2019 11-14-2019 11-15-2019 11-16-2019 11-17-2019 11-18-2019 11-19-2019 11-20-2019 11-21-2019 11-22-2019 11-23-2019 11-24-2019 11-25-2019 11-26-2019 11-27-2019 11-28-2019 11-29-2019 11-30-2019 12-1-2019 12-2-2019 12-3-2019 12-4-2019 12-5-2019 12-6-2019 12-7-2019 12-8-2019 12-9-2019 12-10-2019 12-11-2019 12-12-2019 12-13-2019 12-14-2019 12-15-2019 12-16-2019 12-17-2019 12-18-2019 12-19-2019 12-20-2019 12-21-2019 12-22-2019 12-23-2019 12-24-2019 12-25-2019 12-26-2019 12-27-2019 12-28-2019 12-29-2019 12-30-2019 12-31-2019	OWNER: 3607 MARCOM LLC SHENG QIAN HUO & PING ZHANG 503 ANNANDALE DR. CARY, NC 27511
---	---	--




UTILITY QUANTITIES:

4" SEWER SERVICES:	9
3/4" WATER METER/SERVICE:	9
WATER VALVES 6":	1
FIRE HYDRANTS:	1

NOTE ON RETAINING WALLS:
RETAINING WALLS TO BE DESIGNED BY OTHERS.
RETAINING WALLS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
RETAINING WALLS TO BE AS PER ALL STANDARDS OF INSTALLATION AS OUTLINED BY MANUFACTURER.
CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS FOR
FOR RETAINING WALL INSTALLATION.
ANY RETAINING WALL WITHIN 37' OF PUBLIC ROADWAY MUST BE LESS THAN 10' IN HT. THIS PROJECT
DOES NOT REQUIRE RETAINING WALLS WITHIN 35' OF A PUBLIC SUBURBAN, AND IN ADDITION, THE
PROPOSED RETAINING WALLS HAVE A HEIGHT RANGING FROM 1'-4.5'.



NOTE:
EXISTING UTILITY SERVICES (UNUSED) SHALL BE
ABANDONED AT MAIN AND REMOVED FROM R/W
OR EASEMENT

ASR-0065-2019		SHEET 3	
<p align="center">PRELIMINARY UTILITY PLAN MARCOM STREET APARTMENTS 3601 MARCOM STREET</p>			
 <p>THOMPSON & ASSOCIATES, PA 1140 CINCINNATI CIRCLE SUITE 2-2 CREEKVIEW, PA 15109 TEL: 412-261-1000 FAX: 412-261-1001 NO. USE = 0345</p>	<p>PLANNED UTILITY TOWNSHIP</p> <p>MARKER COUNTY NORTH-CAROLINA</p> <p>DATE 3-24-19 DRAWN JKH</p> <p>SCALE 1" = 30' SURVEYED JKH</p>		<p>DRAWN: JEFF HANSEN L1C</p> <p>JOINED 8-18</p> <p>WFO</p> <p>MARCOM-ST-51E</p>
	<p>INSTRUMENT: RECORDING</p>		<p>SPIN 07625-36-1024</p>
	<p>INSTRUMENT: RECORDING</p>		<p>SPIN 07625-36-1024</p>
	<p>INSTRUMENT: RECORDING</p>		<p>SPIN 07625-36-1024</p>
	<p>INSTRUMENT: RECORDING</p>		<p>SPIN 07625-36-1024</p>

A FEE-IN-LIEU TO BE PAID FOR 114 LF OF
REQUIRED 6' CONCRETE SIDEWALK AND (2)
REQUIRED STREET TREES.




- NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING COORDINATES OF ALL PLANTINGS (POSITIVE COORDINATES FROM CITY)
 2. JOBS TO BE COMPLETED IN THE CITY TREE BANKS
 3. TREE & TREES MUST BE OF QUALITY AND INSTALLATION WITHIN 14 MONTHS OF POST BIDDING PERIOD
 4. PLANTING SEASON OCTOBER - APRIL
 5. TREE MARKING & PLANTING IS REQUIRED
 6. EXISTING SOUTLAIN AND OTHER UTILITIES MUST BE LOCATED IN THE PLANTING AREAS BEFORE SURROUNDING THE TREES.

NOTE ON RETAINING WALLS:


RETAINING WALLS TO BE DESIGNED BY OTHERS
RETAINING WALLS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
RETAINING WALLS TO BE AS PER ALL STANDARDS OF INSTALLATION AS OUTLINED BY MANUFACTURER
CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS FOR
FOR RETAINING WALL INSTALLATION
ANY RETAINING WALL WITHIN 5' OF PUBLIC SIDEWALK MUST BE LESS THAN 10' IN HT. THIS PROJECT
DOES NOT PROPOSE ANY RETAINING WALLS WITHIN 5' OF A PUBLIC SIDEWALK, AND IN ADDITION, THE
PROPOSED RETAINING WALLS HAVE A HEIGHT RANGE FROM 1'-4.5'.

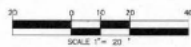
BIO RETENTION SCREEN
CONTINUOUS SCREEN 75% EVERGREEN
6' HT AT MATURITY
SEE THIS SHEET FOR COMPLIANCE.

PLANT LIST FOR BIO RETENTION SCREENING

	SYMBOL	#	COMMON	SCIENTIFIC	CAL.	HT.	NOTE
TREES		4	RIVER BIRCH	BETULA NIGRA	5"	10'	B & B SINGLE STEM

CHOOSE FROM

SYMBOL	#	COMMON	SCIENTIFIC	CAL.	HT.	NOTE
	47	DIABOL BURFORD HOLLY	ILEX CORNUTA BURFORD "NANA"		36"	



FBN 0794-50-7874
 STATE OF NORTH CAROLINA
 ZONED OX-3
 NC STATE PROPERTY

MARCOM STREET
PUBLIC R/W VARIES

PARKING AREA SCREENING:
A C3 YARD IS REQUIRED.
30 SHRUBS PER 100 LF OF PARKING AREA
9.68 LF OF PARKING AREA
(2.9) SHRUBS REQUIRED
3 SHRUBS PROVIDED.

PARKING AREA PLANTING:
1 TREE PER 2000 SF VEHICULAR SURFACE AREA
12,018 SF/2000 = 6 (6) TREES REQUIRED
ISLANDS REQUIRED: 1 PER 10 SPACES
37 SPACES/ 10 = 3.7 (4) ISLANDS REQUIRED
9 ISLANDS PROVIDED
TOTAL TREES REQUIRED FOR VEHICULAR USE
AREA: 6 + 4 = 10 TREES REQUIRED
10 TREES PROVIDED.

IVAC SCREENING: OPAQUE LANDSCAPE SCREEN HEIGHT OF SCREEN = HEIGHT OF EQUIPMENT 27 SHRUBS AS SHOWN	
--	--

DUMPSTER/RECYCLING CENTER SCREENING:
OPAQUE LANDSCAPE SCREEN
6' HT. WITHIN 3 YEARS OF PLANTING
11 SHRUBS AS SHOWN

MARCOM STREET TREE CALCULATIONS:

124 LF FRONTAGE - 28 LF OF DRIVEWAYS = 96 LF
96/40 = 2.4 (2 TREES) REQUIRED

EX. ~250 LF CP&L TRANSMISSION LINE EASEMENT
LOCATED ~15' ONTO PROPERTY FRONTAGE W/ MARCOM ST
FEE-IN-USE REQUESTED FOR 2 REQUIRED STREET TREES





PER URBAN FORESTRY, A FEE IN LIEU OF THE 2 STREET TREES ALONG MARCOM SHALL BE PAID TO THE CITY OF RALEIGH (UDO 8.1.10)

STREETSCAPE NOTE:

MARCON ST. IS AN EX. 27' 8" SECTION NOT CENTERED
IN MARCON ST. RIGHT OF WAY, LEAVING THE BACK OF CURB
IN ITS CURRENT LOCATION, PROJECT SIDE, AND INCORPORATING
THE NEW 2' R/W DEDICATION PROJECT SIDE (TO MATCH RECENT
PROJECT ADJACENT TO SITE 3607 MARCON ST.) WOULD LEAVE
~11' FROM EX. BACK OF CURB TO NEW R/W, THE REQUIRED
STREETSCAPE WOULD REQUIRE 6" PLANTING STRIP AND 6" SIDEWALK
PLANTING. THE SIDEWALK PLANTING OVER THE NEW R/W LINE.

THEFORE: THE DEVELOPER REQUESTS A FEE-IN-LIEU OF CONSTRUCTION
FOR THE FOLLOWING: (1) CONCRETE SIDEWALK AND PLANTING OF
(2) REQUIRED STREET TREES.

PLANT LIST

	SYMBOL	#	COMMON	SCIENTIFIC	CAL.	HT.	NOTE
TREES		10	SUGAR MAPLE OAKS	AZER SACCHARUM QUERCUS SPP.	5'	10'	Ø & B SINGLE STE
SHRUBS							
		3	DWARF BURFORD HOLLY	ILEX CORNUTA BURFORD 'NANA'		3.5'	C-3 YARD
		24	GLOSSY ABELIA	ABELIA X GRANDIFLORA		24"	HYAC SCREEN
		11	SOUTHERN WAX MYRTLE	MYRTICA CERPHERA		36"	DUMPSIER SCREEN

ASR-0065-2019 SHEET 6

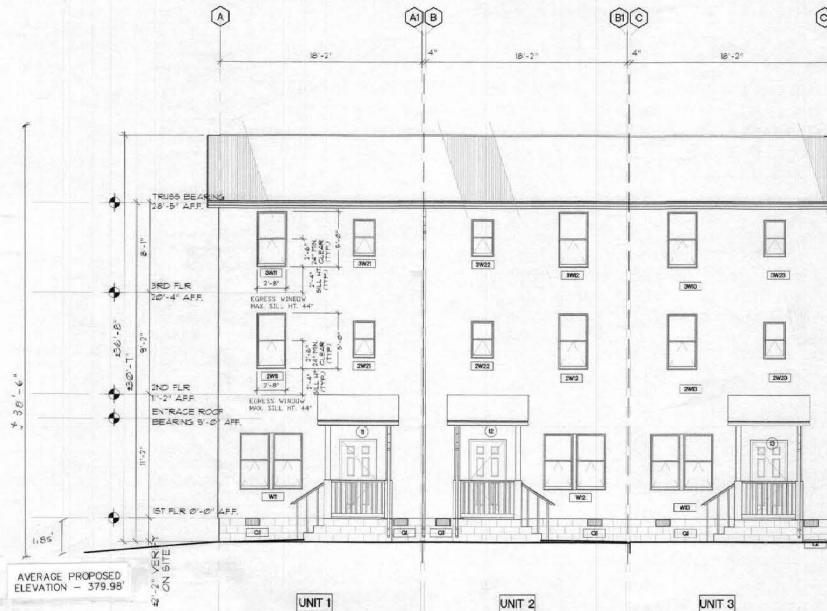
PRELIMINARY LANDSCAPE PLAN
MARCOM STREET APARTMENTS



THOMPSON & ASSOCIATES,
1149 EXECUTIVE CIRCLE
SUITE D-2
DART, NC 27511
(919) 465-1566
FAX (919) 465-1585
NC 1524 C-0343

RALEIGH TOWNSHIP		OWNER: 2007 MARCON L.L.C.
WAKE COUNTY	NORTH CAROLINA	ZONED: R-13
DATE: 3-24-10	DRAWN: MTH	JOB NO.
SCALE: 1" = 20'	SURVEYED: N/A	MARCON-ST-S

OWNER:
3607 MARCOM LLC
SHENG QIAN HUO & PING ZHANG
503 ANNANDALE DR.
CARY, NC 27511



**SOUTH
ELEVATION**
SCALE: 3/8" = 1'-0"

02

project
**3601 MARCOM
STREET
APARTMENTS**

owner
JUN MA

location
3601 MARCOM STREET
RALEIGH, NC 27606
job number

drawn by
issued for review
SEPTEMBER 10, 2019
issued for construction

BUILDING ELEVATIONS

REVISIONS

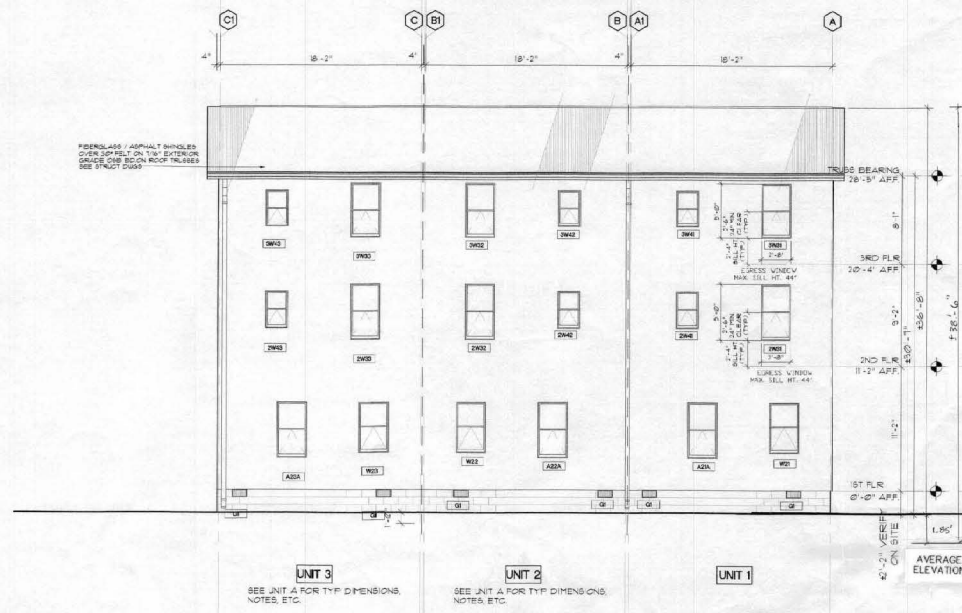
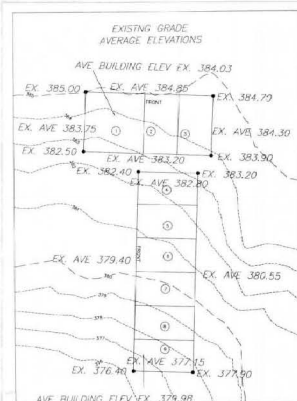
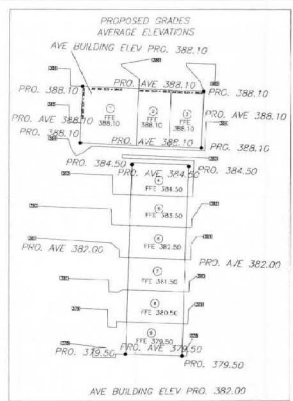
ADA AND LEGAL DISCLAIMER:
This document is not a representation
is comply with all requirements
contained within the Americans
with Disabilities Act (ADA) or other
laws,
ordinances and regulatory code not
described in, interpreted, less or so.
The owner is responsible for the
owner should have this document
reviewed by his attorney in order
to determine if it complies with
ADA and other laws.

This document is the property of
the architect and shall not be
reproduced or transmitted in any
form or by any means, electronic,
mechanical, photocopying, recording,
or by any information storage and
retrieval system, without the prior
written permission of the architect.

AVERAGE PROPOSED
ELEVATION - 379.98'

SHEET NO.

A5.1
OF 1 SHEETS



**NORTH
ELEVATION**
SCALE: 3/8" = 1'-0"

01

project
**3601 MARCOM
 STREET
 APARTMENTS**

owner
 JUN MA

location
 3601 MARCOM STREET
 RALEIGH, NC 27606
 job number

drawn by
 LFI
 issued for review
 SEPTEMBER 10, 2019
 issued for construction

BUILDING ELEVATIONS

REVISIONS

NOTES AND LEGAL DOCUMENT

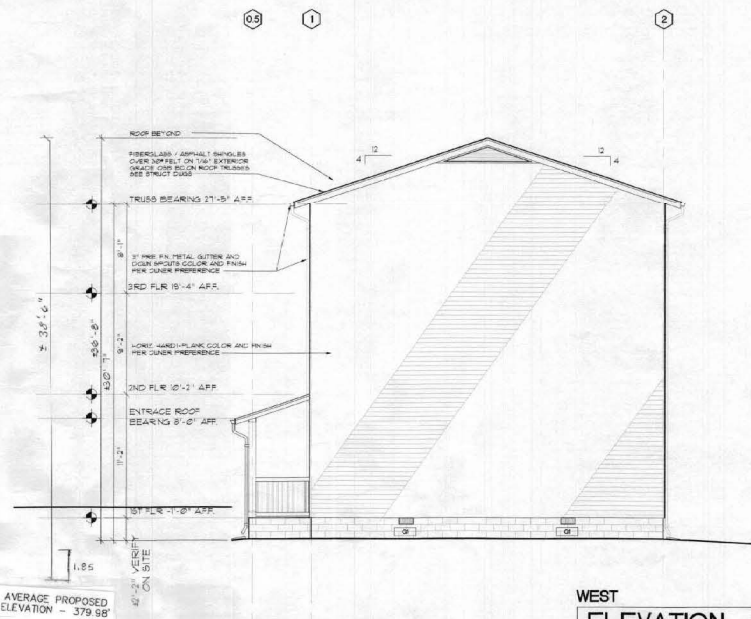
This document is not represented to comply with all requirements contained within the Americans with Disabilities Act (ADA) or other laws. Architects and engineers are not responsible for compliance with ADA and other laws. Users of this document should keep this document reviewed by their attorney in order to determine if it complies with ADA and other laws.

This document is the property of architect's firm, Associates, Inc. and, only for the project - all rights reserved.

SHEET NO.

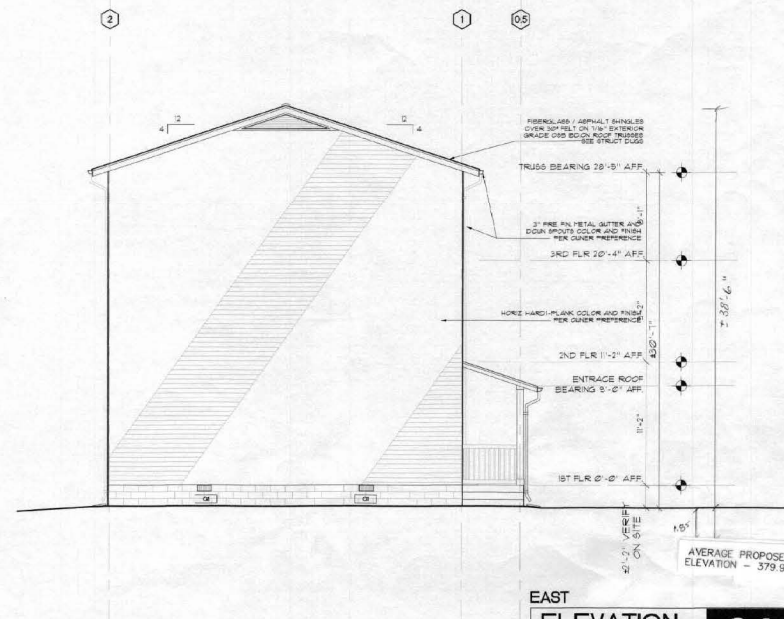
A5.2

OF 1 SHEETS



**WEST
 ELEVATION**
 SCALE: 3/16" = 1'-0"

02



**EAST
 ELEVATION**
 SCALE: 3/16" = 1'-0"

01