

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Building Type		Site Transaction History	
<input checked="" type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: Z-25-17	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: GlenLake III Retail			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <b>4251 Parklake Avenue</b>			
Site P.I.N.(s): 0795.05-19-7505			
Please describe the scope of work. Include any additions, expansions, and change of use. Grade site and install infrastructure as required to construct a 1-story/13,219 SF/5-tenant building and surface parking lot. 7-story office building and 4-level parking deck previously approved for this parcel (ASR-0001-2019).			
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: Highwoods Realty LP - Randy Roberson		Title: Senior Vice President	
Address: 3100 Smoketree Court, Suite 600, Raleigh, NC 27604			
Phone #: 919-872-4924		Email: randy.roberson@highwoods.com	
Applicant Name: Mike Davidson			
Company: Piedmont Land Design, LLP		Address: 8522 Six Forks Road, Suite 204, Raleigh, NC 27615	
Phone #: 919-845-7600		Email: mike@piedmontlanddesign.com	

**DEVELOPMENT TYPE + SITE DATE TABLE**

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-12-CU (TCZ-07-2019)	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 4.75	New gross floor area: 13,219 SF
# of parking spaces required: 89	Total sf gross (to remain and new): 13,219
# of parking spaces proposed: 89 (17 surface/72 structured)	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Eating Establishment	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: 0.06      Square Feet: 2,490	Proposed Impervious Surface: Acres: 0.82      Square Feet: 35,549
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: 3720079500J	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

**SIGNATURE BLOCK**

I hereby designate Piedmont Land Design, LLP to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature:

Date:

Printed Name:

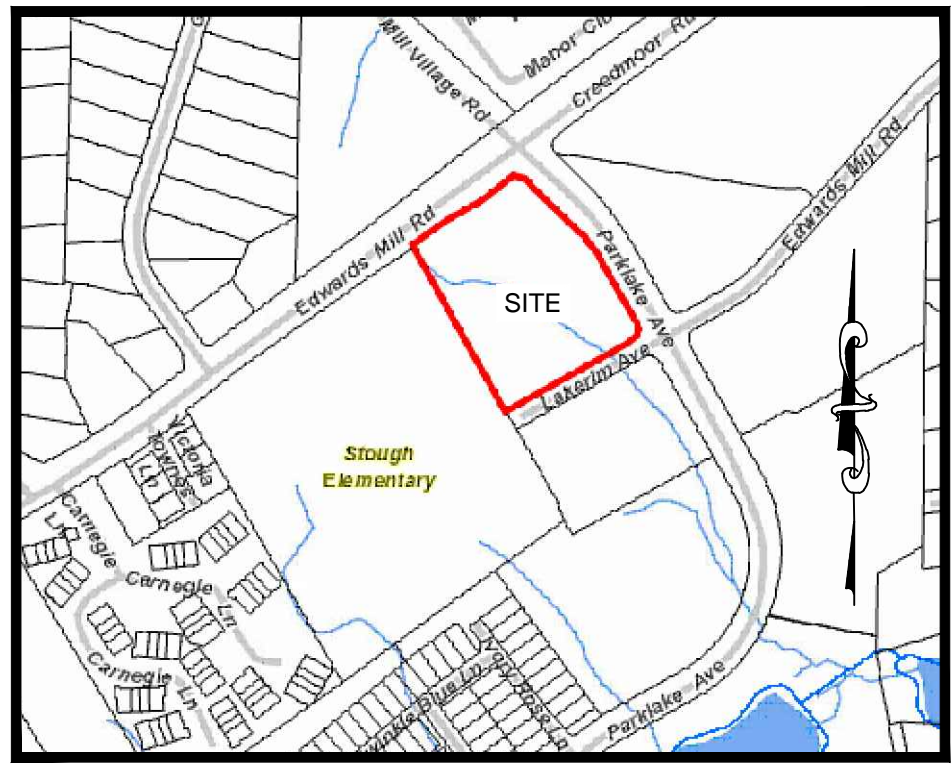
Randy Roberson



# CITY OF RALEIGH SITE PLAN INFORMATION

1. DEVELOPMENT NAME:	GLENLAKE III RETAIL
2. STREET ADDRESS:	4251 PARKLAKE AVENUE RALEIGH, NORTH CAROLINA
3. WAKE COUNTY P.I.N.:	0795.05-19-7505
4. TOTAL NUMBER OF LOTS:	1
5. LOT AREA:	4.75 ACROSS (207,004 SF) 2,349 SF 4.69 AC.E (204,655 SF)
6. ZONING:	CX-12-CU (TCZ-07-2019)
7. RESTAURANT BUILDING GROSS FLOOR AREA & USE:	13,219 SF - EATING ESTABLISHMENT
8. BUILDING HEIGHT:	ONE-STORY - 27'-2" (FFE TO TOP OF ROOF)
9. PARKING SUMMARY:	
BASIS OF DETERMINATION:	210,000 SF OFFICE (ASR-0001-2019) - 1 SPACE PER 400 SF 13,219 SF EATING ESTABLISHMENT (ASR-0065-2020) - 1 SPACE PER 150 SF
TOTAL REQUIRED FOR OFFICE:	525 SPACES
TOTAL REQUIRED FOR EATING ESTABLISHMENT:	89 SPACES
TOTAL PROVIDED:	738 STRUCTURED SPACES (INCLUDES 15 HC SPACES) + 17 SURFACE SPACES (INCLUDES 2 HC SPACES) = 755 TOTAL PARKING SPACES
TOTAL ACCESSIBLE SPACES:	15 STRUCTURED SPACES (INCLUDING 2 VAN SPACES) + 2 SURFACE SPACES (INCLUDING 1 VAN SPACE) = 17 TOTAL ACCESSIBLE SPACES
10. BICYCLE PARKING SUMMARY:	
BASIS OF DETERMINATION:	1 SHORT TERM SPACE/50,000 GSF (4 MIN.) 1 LONG TERM SPACE/25,000 GSF (4 MIN.)
PARKING SPACES REQUIRED/PROVIDED:	4 SHORT TERM SPACES PROVIDED IN FRONT OF THE RETAIL BUILDING. 4 LONG TERM SPACES (IN PARKING DECK)
11. IMPERVIOUS SURFACE AREA:	0.06 ACRES +/- (EXIST.) 2.60 ACRES +/- (PROPOSED OFFICE AND DECK - ASR-0001-2019) 0.82 ACRES +/- (PROPOSED EATING ESTABLISHMENT - ASR-0065-2020) 3.42 ACRES +/- (TOTAL IMPERVIOUS AREA)
12. INSIDE CITY LIMITS:	YES
13. INSIDE FLOOD HAZARD BOUNDARY:	NO
14. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:	NO
15. DEDICATED STREET RIGHT OF WAY:	YES - 2,349 SF (REFER TO ASR-0001-2019)
16. AMENITY AREA:	0.59 AC.± (12.5%) PROVIDED
17. BUILDING SETBACKS:	EDWARDS MILL ROAD - 0'-50' FROM R.O.W. PARKLAKE AVENUE - A PORTION OF BUILDING SHALL BE WITHIN 50' OF R.O.W. LAKERIM AVENUE - 0' ADJACENT TO SLOUGH ELEMENTARY - 30' MIN. (PROTECTIVE YARD PER Z-25-2017)
18. DEVELOPER:	HIGHWOODS PROPERTIES, INC. 3100 SMOKESTREE COURT, SUITE 600 RALEIGH, NC 27604 (919) 872-4924 (PHONE) (919) 872-4220 (FAX) JEFF.EMERSON@HIGHWOODS.COM (E-MAIL)
19. CONTACT PERSON:	PIEDMONT LAND DESIGN, LLP C/O MIKE DAVIDSON 8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 (919) 845-7600 (PHONE) (919) 845-7703 (FAX) MIKE@PIEDMONTLANDDESIGN.COM (E-MAIL)
20. RIVER BASIN:	NEUSE

# ADMINISTRATIVE SITE REVIEW SUBMITTAL FOR: GLENLAKE III RETAIL 4251 PARKLAKE AVENUE RALEIGH, NORTH CAROLINA WAKE COUNTY CASE # ASR-0065-2020



VICINITY MAP  
SCALE: 1" = 500'

## GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY, SURVEY, AND HORIZONTAL/VERTICAL DATUM INFORMATION IS TAKEN FROM SURVEY BY JOHN A. EDWARDS & COMPANY. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 3720079500J, WITH A DATE OF IDENTIFICATION OF MAY 2, 2006, FOR COMMUNITY NUMBER 370243, IN RALEIGH, CITY OF RALEIGH, WAKE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- ALL SITE LIGHTING SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH ZONING ORDINANCE.
- THIS DEVELOPMENT SHALL CONFORM TO ZONING CONDITIONS FOR TCZ-07-2019.

## SOLID WASTE COMPLIANCE STATEMENT

NEW TRASH AND RECYCLING DUMPSTERS WITH HEAVY DUTY CONCRETE PAD SHALL BE PROVIDED IN THE LOCATION SHOWN ON THE PLAN. THE OWNER WILL USE A PRIVATE HAULER TO REMOVE SOLID WASTE, CARDBOARD, AND OTHER RECYCLABLES.

## ZONING CONDITION COMPLIANCE SUMMARY

- BUILDING DOES NOT EXCEED SEVEN (7) STORIES AND ONE HUNDRED TEN (110) FEET IN HEIGHT.
- EATING ESTABLISHMENT USE IS NOT PROHIBITED.
- EATING ESTABLISHMENT USE DOES NOT EXCEED 20,000 SF AND NO SINGLE ESTABLISHMENT EXCEEDS 9,000 SF.
- 97% OF AUTOMOTIVE PARKING SPACES ARE LOCATED IN A STRUCTURE. ONE BAY OF AUTO PARKING IS LOCATED CLOSER TO PARKLAKE R.O.W. THAN THE FACADE OF THE BUILDING FACING PARKLAKE AVENUE.
- PROTECTIVE YARD HAS BEEN PROVIDED.
- NO BUILD-TO REQUIREMENT OR SETBACK REQUIREMENT FOR PARKLAKE AVENUE.
- BLOCK PERIMETER NOT REQUIRED.
- A CURB CUT ON EDWARDS MILL ROAD IS NOT PROPOSED.
- A PORTION OF A BUILDING ON THE PROPERTY IS LOCATED WITHIN 50 FEET OF PARKLAKE AVENUE R.O.W.
- MONUMENT TYPE GROUND SIGN SHALL NOT EXCEED THIRTY-FIVE (35) SQUARE FEET AND BE NO MORE THAN SEVEN (7) FEET IN HEIGHT.
- HOURS OF OPERATION SHALL COMPLY WITH THE ZONING CONDITIONS (6AM TO 12:00 MIDNIGHT).
- NOT APPLICABLE.
- PARKING DECK IS GREATER THAN ONE HUNDRED (100) FEET FROM EDWARDS MILL ROAD OR PARKLAKE AVENUE R.O.W.
- BUILDING ENTRANCES FACING PARKLAKE AVENUE AND LAKERIM AVENUE HAVE BEEN PROVIDED.

## DRAWING INDEX

- PA.1 PRELIMINARY COVER SHEET  
PA.2 EXISTING CONDITIONS PLAN  
PA.3 PRELIMINARY STAGING PLAN  
PA.4 PRELIMINARY GRADING PLAN  
PA.5 PRELIMINARY UTILITY PLAN  
PA.6 PRELIMINARY LANDSCAPE PLAN  
PA.7 PRELIMINARY TREE CONSERVATION PLAN  
PA.8 PRELIMINARY DETAILS  
ARCHITECTURAL ELEVATIONS  
E7-01 - SITE LIGHTING PLAN  
E7-02 - SITE FUTURE DETAILS  
BM 2002/PG 323 RECORDED MAP

## PUBLIC IMPROVEMENT QUANTITY SUMMARY

NUMBER OF LOTS	1
LOT NUMBER BY PHASE	N/A
NUMBER OF UNITS	0
LIVABLE BUILDINGS	0
OPEN SPACE	NO
NUMBER OF OPEN SPACE LOTS	NO
PUBLIC WATER (LF)	0 LF
PUBLIC SEWER (LF)	0 LF
PUBLIC STREET (LF) - FULL	0 LF
PUBLIC STREET (LF) - PARTIAL	0 LF
PUBLIC SIDEWALK (LF)	0 LF
STREET SIGNS	0
WATER SERVICE STUBS	2
SEWER SERVICE STUBS	1

**Administrative Site Review Application**  
Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-966-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # \_\_\_\_\_ Planner (print): \_\_\_\_\_

Building Type	Site Transaction History
<input checked="" type="checkbox"/> Detached	<input checked="" type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Certificate of Appropriateness # _____
<input type="checkbox"/> Open lot	<input type="checkbox"/> Board of Adjustment # _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
<input type="checkbox"/> Zoning Case # _____	<input type="checkbox"/> Administrative Alternate # _____

**GENERAL INFORMATION**

Development name: Glenlake III Retail  
Inside City limits? ☒ Yes ☐ No  
Property address(es): 4251 Parklake Avenue  
Site P.I.N.(s): 0795.05-19-7505  
Please describe the scope of work. Include any additions, expansions, and change of use.  
Grade site and install infrastructure as required to construct a 1-story/13,219 SF/5-tenant building and surface parking lot. 7-story office building and 4-level parking deck previously approved for this parcel (ASR-0001-2019).  
Current Property Owner/Developer Contact Name: \_\_\_\_\_  
NOTE: please attach purchase agreement when submitting this form.  
Company: Highwoods Realty LP - Randy Roberson Title: Senior Vice President  
Address: 3100 Smokestree Court, Suite 600, Raleigh, NC 27604  
Phone # 919-872-4924 Email: randy.roberson@highwoods.com  
Applicant Name: Mike Davidson  
Company: Piedmont Land Design, LLP Address: 8522 Six Forks Road, Suite 204, Raleigh, NC 27615  
Phone # 919-845-7600 Email: mike@piedmontlanddesign.com

Page 1 of 2

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-12-CU (TCZ-07-2019)	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 4.75	New gross floor area: 13,219 SF
# of parking spaces required: 89	Total of gross (to remain and new): 13,219
# of parking spaces proposed: 89 (17 surface/72 structured)	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Eating Establishment	

**STORMWATER INFORMATION**

Existing Impervious Surface:	Square Feet:	Acres:	Proposed Impervious Surface:	Square Feet:	Acres:
Acres: 0.06	Square Feet: 2,490	Acres: 0.02	Square Feet: 35,549		

Is this a flood hazard area? ☐ Yes ☒ No  
If yes, please provide:  
Alluvial soils: \_\_\_\_\_  
Flood study: FEMA Map Panel #: 3720079500J  
Neuse River Buffer: ☐ Yes ☒ No Wetlands: ☐ Yes ☒ No

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots: _____	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

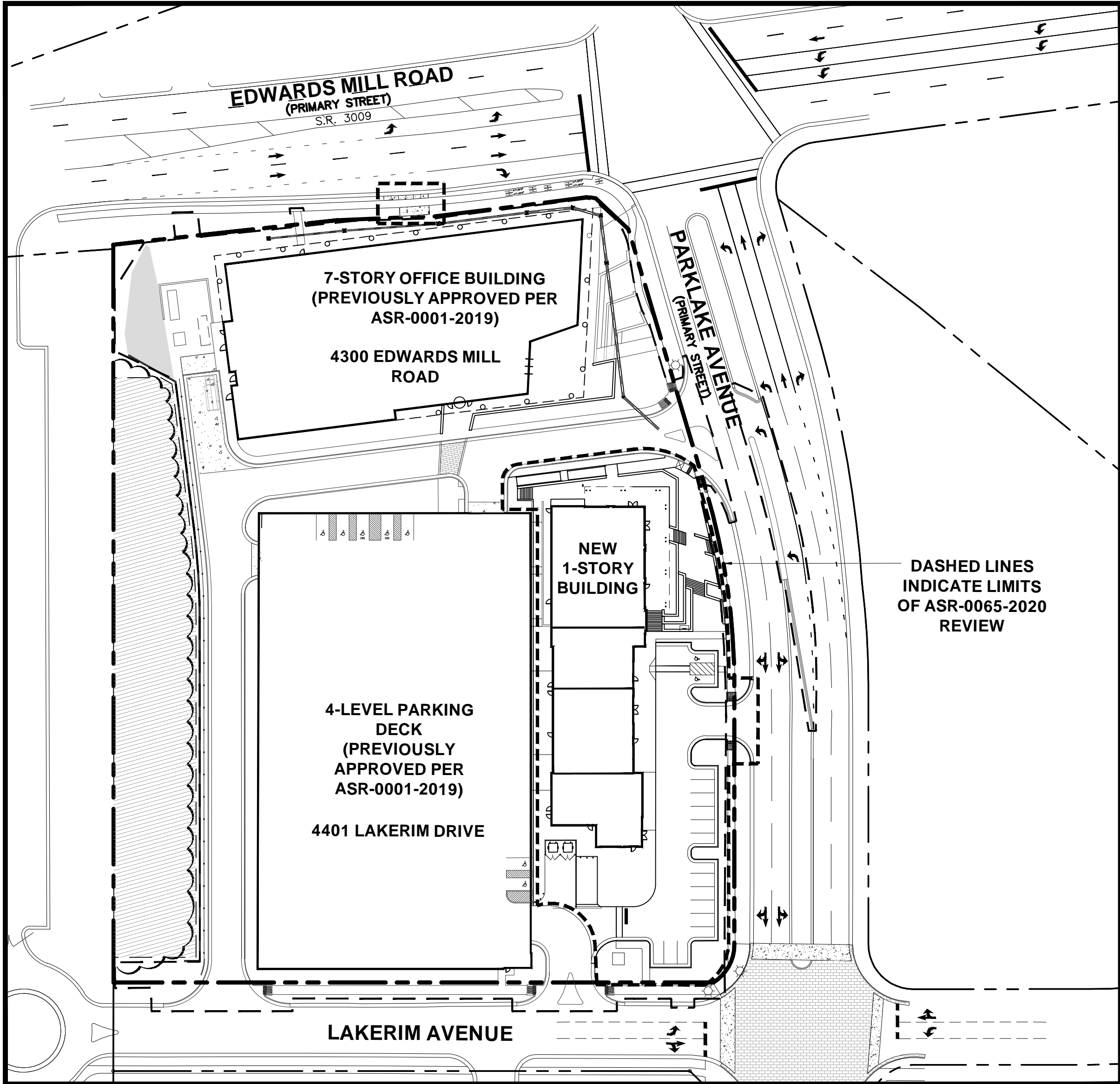
**SIGNATURE BLOCK**

I hereby designate: Piedmont Land Design, LLP to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: *Randy Roberson* Date: 8.11.20  
Printed Name: Randy Roberson

Page 2 of 2



**ORDINANCE NO. (2020) 71 ZC 795**  
Adopted: 3/30/2020

**AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF RALEIGH WHICH INCLUDES THE ZONING DISTRICT MAP**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RALEIGH:**

Section 1. That Part 10 of the City of Raleigh Code, which includes the Zoning District Map, be and the same if hereby amended as follows:

**1. TCZ-19 - 4251 Parklake Avenue - amends the conditions associated with zoning case Z-25-17 as approved in Ordinance No. (2018) 83 ZC 765 and effective June 5, 2018.**

**Conditions date:** April 20, 2018

**1. Height Limits.** No building constructed on the Property shall be greater than seven (7) stories and one hundred ten (110) feet in height, both as measured and determined from the average grade of the right-of-way of Edwards Mill Road adjacent to the Property.

**2. Prohibited Uses.** The following uses, if otherwise allowed in the CX district, shall be prohibited on the Property: All uses listed in the Public & Institutional Use Category in the Principal Use Table (the "Table") in Section 6.1.4 of the UDO with the exception of Minor Utilities and Parks, Open Space and Greenways; all uses included within the Indoor Recreation, Use Category in the Table including Adult Establishment, Dance, Martial Arts, Music Studio, Classroom, and Sports Academy; all uses included in the Outdoor Recreation Use Category in the Table including Golf course, Outdoor sports or entertainment facility with any number of seats, and Riding stable; Commercial parking lot; Remote parking lot; Passenger terminal, including Airfield, Heliport serving a hospital and Heliport, all others; Animal care (Indoor); Animal care (outdoor); Bar, nightclub, tavern, lounge; Pawnshop; Vehicle Fuel Sales (including gasoline and diesel fuel); Vehicle Sales/Rental; all uses included in the Industrial Use Category in the Table except Research and Development, which shall be allowed; and all uses included in the Open Category in the Table.

**3. Size Limits.** Medical, Office, and Research & Development uses on the Property shall be limited to 210,000 square feet. Eating establishment uses and Retail Sales uses on the Property shall be limited to 20,000 square feet. For each square foot of Eating establishment and/or Retail Sales Uses existing on the Property, the maximum allowed number of square feet of Medical, Office, and Research and Development uses shall be reduced by one square foot. All Eating establishment uses and Retail Sales uses on the Property shall be located on the ground floor of a multistory building. With respect to Eating establishment and Retail Sales, no single establishment shall exceed 9,000 square feet.

**4. Parking.** At least eighty-five percent (85%) of the automotive parking spaces on the Property shall be located in a structure. With respect to any building on the Property

**Ordinance (2020) 71 ZC 795**  
Adopted: 3/30/2020

**Page 1**  
Effective: 3/30/2020

facing Edwards Mill Road or Parklake Avenue, no automotive parking on the Property, except for temporary parking in a drop-off drive, shall be located closer to the respective street right-of-way than the facade of the building facing such right of way.

**5. Protective Yard - Slough Elementary School.** Along the boundary of the Property with tax parcel 0795.05-10-3132 (Owner: Wake County Board of Education; Deed dated 7/15/2009, recorded at Book 1362.5, Page 1724 of the Wake County Registry), hereinafter referred to as "Slough," there shall be maintained an area entirely without buildings or parking a minimum of thirty (30) feet in width. Existing landscaping shall be maintained therein, except within fifty (50) feet of Edwards Mill Road. If provided, however, that drainage pipes and facilities may be located in the protective yard referenced in this condition.

**6. Build-to - Edwards Mill Road.** Commencing fifty (50) feet from the point on the Property adjacent to the intersection of the rights of way of Parklake Avenue and Edwards Mill Road and extending to the boundary of the Property with Slough, a build-to with a setback range of from 0 feet to 50 feet shall apply to the portion of the Property bounded by the right-of-way of Edwards Mill Road (reduced by fifty (50) feet. This condition shall not apply to parking structures. There will be no build-to requirement with respect to Parklake Avenue or setback requirement other than that set forth in condition (9), which shall apply.

**7. Block Perimeter Requirements.** The provisions of Section 8.3.2 of the Unified Development Ordinance, which is denominated "Blocks," shall have no applicability to the Property.

**8. Vehicular Access - Edwards Mill Road.** The Property will not be allowed a curb-cut on Edwards Mill Road.

**9. Parklake Avenue.** A portion of a building on the Property, with the exception of a parking structure, shall be within fifty (50) feet from the right-of-way of Parklake Avenue.

**10. Signage.** Signage upon the Property will be limited to signage allowed in the CX district, with the exception that in order to maintain utility of design with existing signs in the Glenlake Office Park, a monument type of ground sign up to thirty-five (35) square feet in size and no more than seven (7) feet in height may be located on the Property.

**11. Hours of Operation.** The hours of operation of any eating or retail establishment on the Property will be limited to those between 6:00 AM and 12:00 Midnight.

**Ordinance (2020) 71 ZC 795**  
Adopted: 3/30/2020

**Page 1**  
Effective: 3/30/2020

**12. Drive-Thru.** No drive-thru or drive-in facility will be allowed on the Property except as allowed in the OX district.

**13. Screening Parking Deck.** With respect to the portion of any parking structure that is within one hundred (100) feet of the right-of-way of Edwards Mill Road or Parklake Avenue and not screened from such right-of-way by a building, there will be established and maintained along the side of such portion of the structure facing the respective road right-of-way an area at least ten (10) feet in depth planted with a minimum of ten (10) trees and thirty (30) shrubs each one hundred (100) feet. The trees will be at least ten (10) feet in height or two (2) inches in caliper at planting and at least fifty percent (50%) shall be evergreen. The planted area will be modified to comply with any applicable provision of the UDO. An entrance driveway up to thirty (30) feet in width may cross the planted area.

**14. Building Facade Entrances.** A building upon the Property other than a parking structure will have at least one entrance facing Parklake Avenue and at least one entrance facing Edwards Mill Road.

**Conditions revised and dated: December 3, 2019**

**1. Height Limits.** No building constructed on the Property shall be greater than seven (7) stories and one hundred ten (110) feet in height, both as measured and determined from the average grade of the right-of-way of Edwards Mill Road adjacent to the Property.

**2. Prohibited Uses.** The following uses, if otherwise allowed in the CX district, shall be prohibited on the Property: All uses listed in the Public & Institutional Use Category in the Principal Use Table (the "Table") in Section 6.1.4 of the UDO with the exception of Minor Utilities and Parks, Open Space and Greenways; all uses included within the Indoor Recreation Use Category in the Table including Adult Establishment, Dance, Martial Arts, Music Studio, Classroom, and Sports Academy; all uses included in the Outdoor Recreation Use Category in the Table including Golf course, Outdoor sports or entertainment facility with any number of seats, and Riding stable; Commercial parking lot; Remote parking lot; Passenger terminal, including Airfield, Heliport serving a hospital and Heliport, all others; Animal care (Indoor); Animal care (outdoor); Bar, nightclub, tavern, lounge; Pawnshop; Vehicle Fuel Sales (including gasoline and diesel fuel); Vehicle Sales/Rental; all uses included in the Industrial Use Category in the Table except Research and Development, which shall be allowed; and all uses included in the Open Category in the Table.

**3. Size Limits.** Medical, Office, and Research & Development uses on the Property shall be limited to 210,000 square feet. Eating establishment uses and Retail Sales uses on the Property shall be limited to 20,000 square feet. With respect to Eating establishment and Retail Sales, no single establishment shall exceed 9,000 square feet.

**4. Parking.** At least eighty-five percent (85%) of the automotive parking spaces on the Property shall be located in a structure. With respect to any building on the Property

**Ordinance (2020) 71 ZC 795**  
Adopted: 3/30/2020

**Page 1**  
Effective: 3/30/2020

facing Edwards Mill Road, no automotive parking, except for temporary parking in a drop-off drive, shall be located closer to the Edwards Mill Road right-of-way than the facade of the building facing the Edwards Mill Road right of way. With respect to any building on the Property facing Parklake Avenue, no more than one bay of the automotive parking, except for temporary parking in a drop-off drive, shall be located closer to the Parklake Avenue right-of-way than the facade of the building facing the Parklake Avenue right-of-way.

**5. Protective Yard - Slough Elementary School.** Along the boundary of the Property with tax parcel 0795.05-10-3132 (Owner: Wake County Board of Education; Deed dated 7/15/2009, recorded at Book 1362.5, Page 1724 of the Wake County Registry), hereinafter referred to as "Slough," there shall be maintained an area entirely without buildings or parking a minimum of thirty (30) feet in width. Existing landscaping shall be established and maintained along the side of such portion of the structure facing the respective road right-of-way an area at least ten (10) feet in depth planted with a minimum of ten (10) trees and thirty (30) shrubs each one hundred (100) feet. The trees will be at least ten (10) feet in height or two (2) inches in caliper at planting and at least fifty percent (50%) shall be evergreen. The planted area will be modified to comply with any applicable provision of the UDO. An entrance driveway up to thirty (30) feet in width may cross the planted area.

**6. Build-to - Edwards Mill Road.** Commencing fifty (50) feet from the point on the Property adjacent to the intersection of the rights of way of Parklake Avenue and Edwards Mill Road and extending to the boundary of the Property with Slough, a build-to with a setback range of from 0 feet to 50 feet shall apply to the portion of the Property bounded by the right-of-way of Edwards Mill Road (reduced by fifty (50) feet. This condition shall not apply to parking structures. There will be no build-to requirement with respect to Parklake Avenue or setback requirement other than that set forth in condition (9), which shall apply.

**7. Block Perimeter Requirements.** The provisions of Section 8.3.2 of the Unified Development Ordinance, which is denominated "Blocks," shall have no applicability to the Property.

**8. Vehicular Access - Edwards Mill Road.** The Property will not be allowed a curb-cut on Edwards Mill Road.

**9. Parklake Avenue.** A portion of a building on the Property, with the exception of a parking structure, shall be within fifty (50) feet from the right-of-way of Parklake Avenue.

**10. Signage.** Signage upon the Property will be limited to signage allowed in the OX district, with the exception that in order to maintain utility of design with existing signs in the Glenlake Office Park, a monument type of ground sign up to thirty-five (35) square feet in size and no more than seven (7) feet in height may be located on the Property. Since the Property has multiple frontages, additional monument type ground signs may be allowed by special use permit issued by the Board of Adjustment pursuant

**Ordinance (2020) 71 ZC 795**  
Adopted: 3/30/2020

**Page 1**  
Effective: 3/30/2020

to Article 7.3 of the UDO so long as the additional signage does not exceed the aforementioned dimensions or otherwise comply with the signage allowed in the OX district.

**11. Hours of Operation.** The hours of operation of any eating or retail establishment on the Property will be limited to those between 6:00 AM and 12:00 Midnight.

**12. Drive-Thru.** No drive-thru or drive-in facility will be allowed on the Property except as allowed in the OX district.

**13. Screening Parking Deck.** With respect to the portion of any parking structure that is within one hundred (100) feet of the right-of-way of Edwards Mill Road or Parklake Avenue and not screened from such right-of-way by a building, there will be established and maintained along the side of such portion of the structure facing the respective road right-of-way an area at least ten (10) feet in depth planted with a minimum of ten (10) trees and thirty (30) shrubs each one hundred (100) feet. The trees will be at least ten (10) feet in height or two (2) inches in caliper at planting and at least fifty percent (50%) shall be evergreen. The planted area will be modified to comply with any applicable provision of the UDO. An entrance driveway up to thirty (30) feet in width may cross the planted area.

**14. Building Facade Entrances.** A building upon the Property other than a parking structure will have at least one entrance facing Parklake Avenue and at least one entrance facing Edwards Mill Road.

**Section 2.** That all laws and clauses of laws in conflict herewith are hereby repealed to the extent of such conflict.

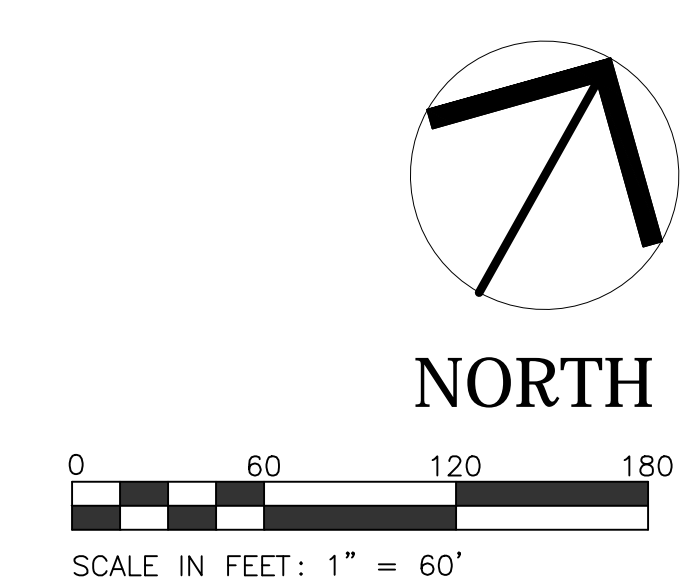
**Section 3.** If this ordinance or any application thereof is held invalid as to any person or application thereof, such invalidity shall not affect other provisions or applications of the ordinance which can be given separate effect and to that end the provisions of this ordinance are declared to be severable.

**Section 4.** This ordinance is being adopted following a recommendation from the Raleigh City Planning Commission and a duly advertised public hearing of the Raleigh City Council.

**Section 5.** That this ordinance shall become effective as indicated below.

**Adopted:** March 3, 2020 **Effective:** March 3, 2020

**Distribution:** Development Services  
City Planning  
Inspection  
City Attorney  
Transcription Services - Taylor



**PIEDMONT LAND DESIGN, LLP**  
8522-204 SIX FORKS ROAD  
RALEIGH, NORTH CAROLINA 27615  
919.845.7600 PHONE  
919.845.7703 FAX  
ENGR. FIRM LICENSE NO. F-0843

PRELIMINARY  
NOT FOR CONSTRUCTION

GLENLAKE III RETAIL  
4251 PARKLAKE AVENUE  
RALEIGH, NORTH CAROLINA

ISSUED: 17 AUG 2020

## REVISIONS:

- 24 MAR 2021  
REVISED PER CITY COMMENTS
- 20 AUG 2021  
REVISED PER CITY COMMENTS

DRAWN BY: MGD  
CHECKED BY: JDL

PROJECT: HWDPB3R

PRELIMINARY  
COVER  
SHEET

DWG. NO. PA.1



**STAKING NOTES**

- ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF TURNED DOWN WALK, EDGE OF PAVING, BUILDING WALL, FACE OR PROPERTY LINE.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ON-SITE SHALL BE 30" WIDE.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- DUMPSTER LOCATION IS BASED ON PARKLAKE AVENUE BEING THE PRIMARY STREET DESIGNATION.
- BUILDING FOUNDATION WALLS THAT FACE PARKLAKE AVENUE SHALL BE CONSTRUCTED OR FINISHED WITH THE SAME PRIMARY MATERIALS AS THE BUILDING.
- PER COORDINATION WITH MICHAEL MOORE - DIRECTOR OF TRANSPORTATION DEPARTMENT, A 20'X6' CONCRETE BUS PAD AND A 30' CONCRETE ADA PAD SHALL BE PROVIDED BY THE APPLICANT IN THE LOCATION SHOWN ON THIS PLAN. OTHER TRANSIT INFRASTRUCTURE SHALL BE PROVIDED BY THE CITY OF RALEIGH.
- CITY OF RALEIGH ENGINEERING REVIEWER REQUESTED A SOLID WASTE TRUCK ACCESS ROUTE AFTER 1ST ASR COMMENTS WERE ISSUED. PER COORDINATION WITH STAFF, THE ROUTE PROVIDED BELOW WAS DETERMINED TO BE ACCEPTABLE TO THE CITY.

**OFFICE BUILD-TO FRONTAGE CALCULATIONS**

EDWARDS MILL ROAD (PRIMARY STREET) LOT FRONTAGE = 340 LF  
 BUILDING IN BUILD-TO FRONTAGE (0-50 FEET) = 245 LF (72%)  
 \*REFER TO ASR-0001-2019

**OUTDOOR AMENITY AREA:**

LOT AREA: 4.70 AC.±  
 PROPOSED OUTDOOR AMENITY AREA: 0.59 AC.± (12.5% OF NET LOT AREA)

**SIGHT DISTANCE NOTE:**

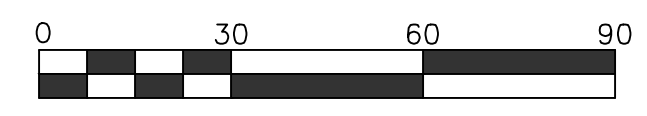
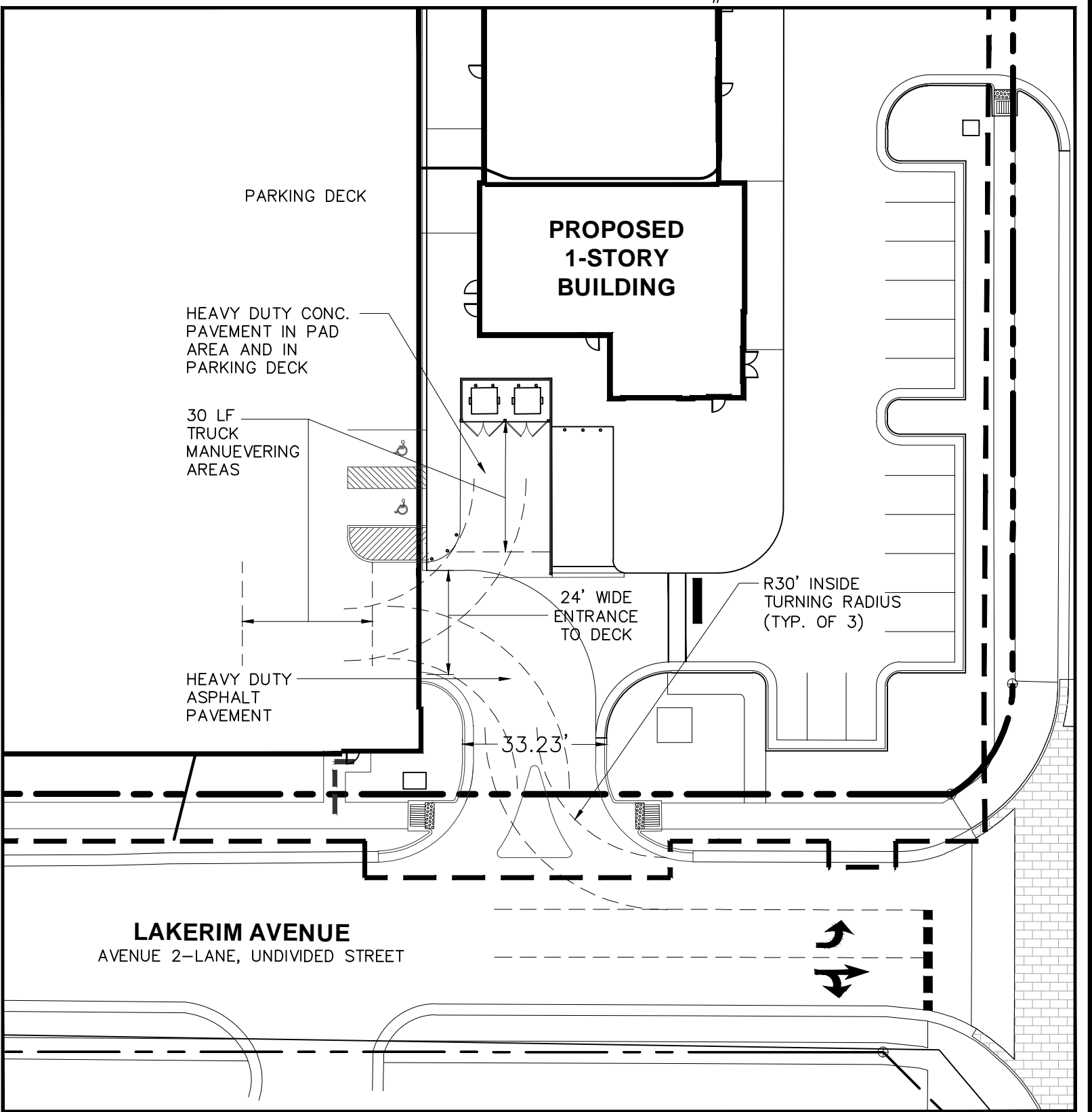
WITHIN THE AREA OF DEFINED SIGHT TRIANGLE, THERE SHALL BE NO OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR NEAREST TRAVELED WAY IF NO CURBING EXISTS.

**LEGEND**

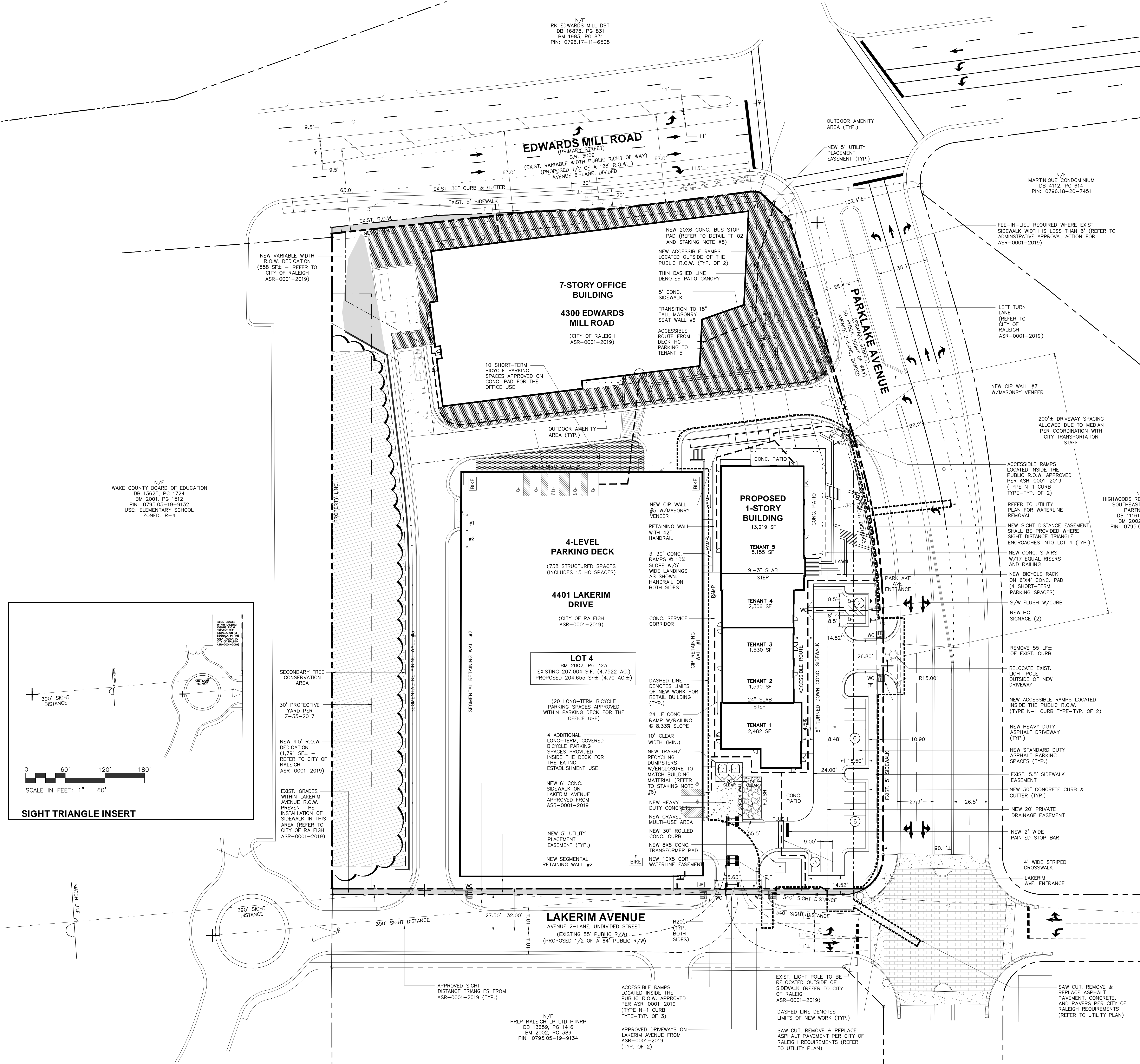
- ACCESSIBLE ROUTE
- HEAVY DUTY ASPHALT PAVING
- HEAVY DUTY CONCRETE PAVING
- OUTDOOR AMENITY AREA

**SOLID WASTE TRUCK ACCESS ROUTE**

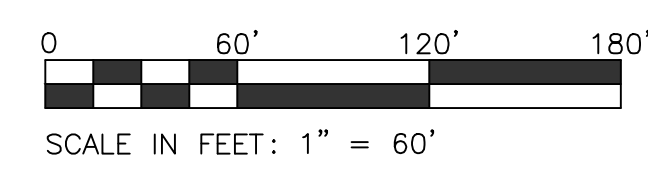
REFER TO STAKING NOTE #9



REFER TO GENERAL NOTES ON DWG. NO. PA.1



**SIGHT TRIANGLE INSERT**



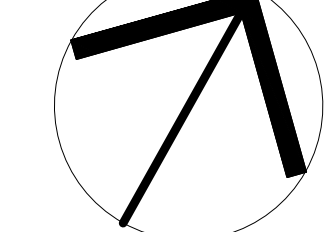
APPROVED SIGHT DISTANCE TRIANGLES FROM ASR-0001-2019 (TYP.)

ACCESSIBLE RAMPS LOCATED INSIDE THE PUBLIC R.O.W. APPROVED PER ASR-0001-2019 (TYPE N-1 CURB TYPE-TYP. OF 3)

APPROVED DRIVEWAYS ON LAKERIM AVENUE FROM ASR-0001-2019 (TYP. OF 2)

EXIST. LIGHT POLE TO BE RELOCATED OUTSIDE OF SIDEWALK (REFER TO CITY OF RALEIGH ASR-0001-2019)

SAW CUT, REMOVE & REPLACE ASPHALT PAVEMENT, CONCRETE, AND PAVERS PER CITY OF RALEIGH REQUIREMENTS (REFER TO UTILITY PLAN)



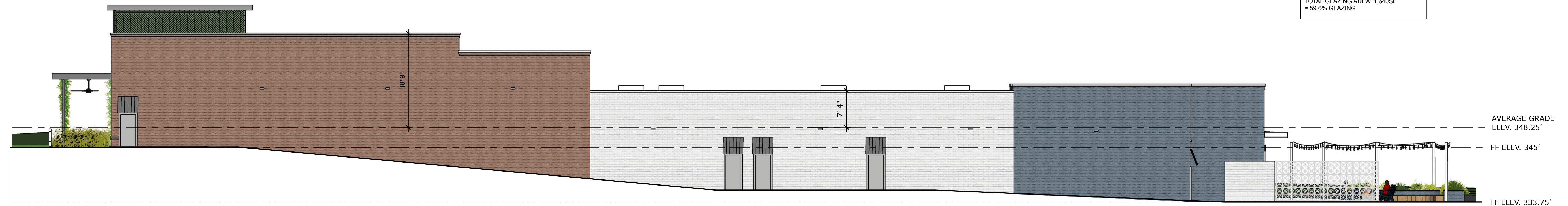
**NORTH**





**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**TRANSPARENCY RATIO**  
(GLASS TO SOLID WALL FROM 0' TO 12')  
TOTAL WALL AREA: 2,752SF  
TOTAL GLAZING AREA: 1,640SF  
= 59.6% GLAZING



**WEST/ALLEY ELEVATION**  
SCALE: 1/8"=1'-0"

**TRANSPARENCY RATIO**  
(GLASS TO SOLID WALL FROM 0' TO 12')  
TOTAL WALL AREA: 2,752SF  
TOTAL GLAZING AREA: 1,640SF  
= 0% GLAZING



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**TRANSPARENCY RATIO**  
(GLASS TO SOLID WALL FROM 0' TO 12')  
TOTAL WALL AREA: 744SF  
TOTAL GLAZING AREA: 285SF  
= 38.3% GLAZING



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**TRANSPARENCY RATIO**  
(GLASS TO SOLID WALL FROM 0' TO 12')  
TOTAL WALL AREA: 763SF  
TOTAL GLAZING AREA: 426SF  
= 55.8% GLAZING

ALL SIGNAGE AND GRAPHICS TO  
BE REVIEWED AND PERMITTED  
SEPARATELY

# BUILDING ELEVATIONS

10.01.2020

**505**  
DESIGN