

# Administrative Site Plan

# Memory Road - Office Building

## City of Raleigh

## Wake County, North Carolina

### XXX-XXXX-2024

#### GENERAL NOTES

- BOUNDARY AND TOPO INFORMATION TAKEN FROM TAYLOR LAND CONSULTANTS, PLLC., SURVEYING, TITLED BOUNDARY / TOPOGRAPHIC SURVEY, DATED OCTOBER 6, 2023.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES & SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.
- ALL CONSTRUCTION WILL BE IN STRICT CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- NO CHANGES MAY BE MADE TO THE APPROVED DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ISSUING AUTHORITY.

#### PROJECT INFORMATION:

PROJECT: MEMORY ROAD - OFFICE BUILDING

DEVELOPER: FIVE TALENTS INVESTMENTS, LLC  
RALEIGH, NC

PHONE: (919) 810-6321

CONTACT: STEPHEN DUNN  
SDUNN@FIVETALENTSINVESTMENTS.COM

ENGINEER: KEITH P. GETTLE, PE  
GETTLE ENGINEERING AND DESIGN, PLLC  
LICENSE: P-2538  
3616 WAXWING CT.  
WAKE FOREST, NC 27587

PHONE: (919) 210-3934

EMAIL: KPGETTLE@GMAIL.COM

SURVEYOR: TAYLOR LAND CONSULTANTS, PLLC  
1600 OLIVE CHAPEL RD. #140  
APEX, NORTH CAROLINA 27502

PHONE: (919) 801-1104

PROJECT ADDRESS: 5013 MEMORY ROAD, RALEIGH NC

PIN: 1758784708

ZONING: OX-3-PL

EXIST USE: PARKING LOT

OVERLAY: NONE

FLOOD ZONE: NO FLOOD HAZARDS AREAS PER FEMA FIRM

#### Administrative Site Review Application

Planning and Development Customer Service Center - One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>Scope-0037-2024</u>
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

#### GENERAL INFORMATION

Development name: Memory Road - Office Building

Inside City limits? Yes  No

Property address(es): 5013 Memory Road

Site P.I.N.(s): 1716-43-8912

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Construct a 6000 (+/-) sq ft office building on an existing parking lot.

Current Property Owner(s): John Heidel

Company: Heidel Holding Company Title: Member / Manager

Address: 130 Dartmouth Road, Raleigh NC 27609

Phone #: 919-760-9340 Email: Johnonhi@gmail.com

Applicant Name (if different from owner. See "who can apply" in instructions): \_\_\_\_\_

Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: Gettle Engineering / Design Address: 3616 Waxwing Ct., Wake Forest NC

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Revision 03.01.24  
raleighnc.gov

#### RIGHT-OF-WAY OBSTRUCTION NOTES:

• STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.

• A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES."

• PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTORS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.

• THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.

• ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.

• ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

• ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

#### SOLID WASTE COMPLIANCE STATEMENT:

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

Phone #: 919-210-3934 Email: Kpgettle@gmail.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Stephen Dunn

Company: Five Talents Investments LLC Title: Member / Manager

Address: Raleigh, NC

Phone #: 919-810-6321 Email: Sdunn@fivetalentsinvestments.com

Applicant Name: Keith Gettle, PE

Company: Gettle Engineering Address: 3616 Waxwing Ct., Wake Forest NC

Phone #: 919-210-3934 Email: Kpgettle@gmail.com

#### DEVELOPMENT TYPE + SITE DATA TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): OX-3-PL	Existing gross floor area (not to be demolished): 0
Gross site acreage: 81 ac	Existing gross floor area to be demolished: 0
# of parking spaces proposed: 29	New gross floor area: 6720 sq ft
Max # parking permitted (7.1.2.C): 34	Total sf gross (to remain and new): 6720 sq ft
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Parking Lot	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Office Building	Proposed # of basement levels (UDO 1.5.7.A.6) 0

#### STORMWATER INFORMATION

Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sf) 26,664 Proposed total (sf) 24,623	Existing (sf) 26,664 Proposed total (sf) 24,623

#### RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 0	Total # of hotel bedrooms:
# of bedroom units: 1br 2br 3br	4br or more
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

#### APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Keith P. Gettle Date: 7/11/24

Printed Name: KEITH P. GETTLE Date: 7/11/2024

Signature: Stephen Dunn Date: 7/11/2024

Printed Name: STEPHEN DUNN

SHEET	DESCRIPTION
	Cover Sheet
	Existing Conditions Survey
C1	Existing Conditions & Demolition Plan
C2	Site Plan
C3	Truck Turn and Fire Access Plan
C4	Grading Plan
C5	Utility Plan
D1	Standard Site Details
D2	Water and Sanitary Sewer Details
LS1	Landscape Plan
SL1	Site Lighting Plan
	Architectural

	NEW	EXISTING
DRAINAGE STRUCTURE		
SANITARY SEWER MANHOLE		
SANITARY SEWER CLEANOUT		
WATER VALVE		
FIRE HYDRANT		
OVERHEAD UTILITY LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND TELECOM/DATA LINE		
FIBER OPTIC CABLE		
GAS LINE		
STORM DRAINAGE PIPE		
SANITARY SEWER LINE		
WATER LINE		
SURFACE ELEVATION CONTOUR		
SURFACE SPOT ELEVATION		
CLEARING LIMIT/TREE LINE		
LIMIT OF DISTURBANCE		
ELECTRICAL TRANSFORMER PAD		

Gettle Engineering and Design, PLLC

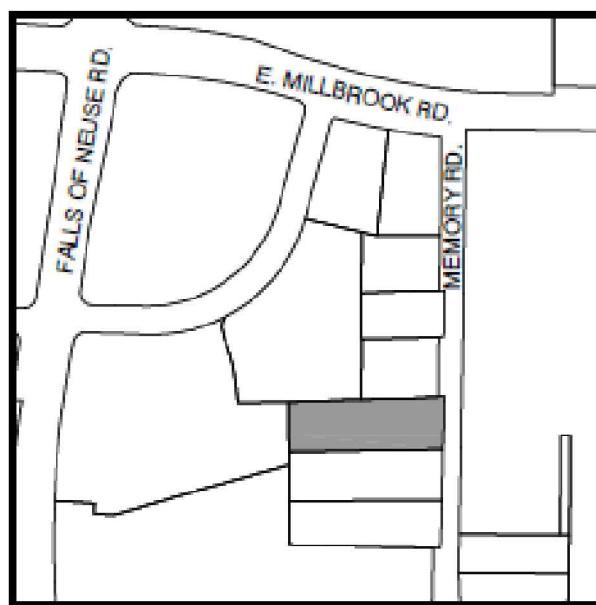
3616 Waxwing Court,  
Wake Forest, North Carolina 27587

(919) 210-3934 Firm License P-2538



Know what's below.  
Call before you dig.  
(Or call: 1-800-632-4949)

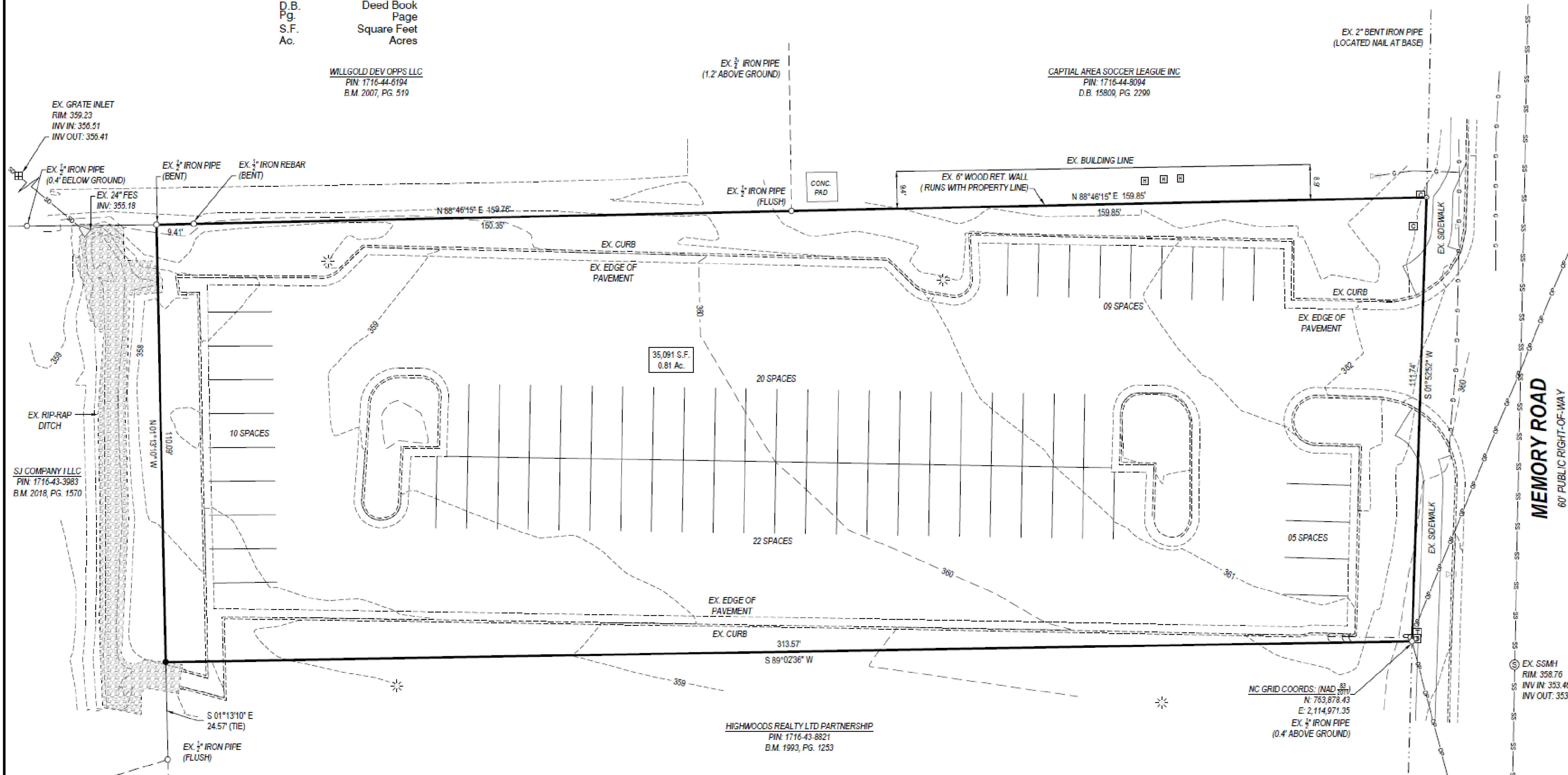




**LEGEND:**

- Ex. property corner
- Set property corner
- Calculated point
- Water Meter
- Sanitary Sewer Cleanout
- Power Pole
- Power Pedestal
- Telephone Pedestal
- Cable Pedestal
- HVAC
- Light Pole
- Gas Valve
- Fence
- Water
- Sanitary sewer pipe
- Storm drain pipe
- Overhead power
- Gas Line
- B.M.
- D.B.
- Pg.
- S.F.
- Ac.

WILLGOLD DEV OPPS LLC  
PIN: 1716-44-6194  
B.M. 2007, PG. 519

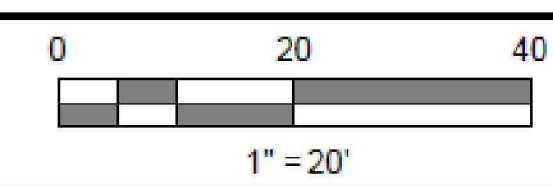
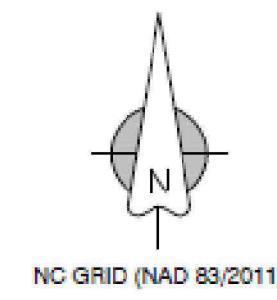


SJ COMPANY LLC  
PIN: 1716-43-3983  
B.M. 2018, PG. 1570

HIGHWOODS REALTY LTD PARTNERSHIP  
PIN: 1716-43-8821  
B.M. 1993, PG. 1253

CAPITAL AREA SOCCER LEAGUE INC.  
PIN: 1716-44-3094  
D.B. 15809, PG. 2299

SITE DATA	
CURRENT OWNER	AUSTIN FAMILY PROPERTIES LLC
SITE ADDRESS	5013 MEMORY RD.
PIN	1716-43-8912
DEED REFERENCE	D.B. 11722, PG. 1424
PLAT REFERENCE	B.M. 1953, PG. 37
LOT SIZE	35,091 (0.81 Acres)
ZONING	OX-3



PROJECT  
**BOUNDARY & TOPOGRAPHIC SURVEY**  
5013 MEMORY RD.  
RALEIGH, NC 27609-5410

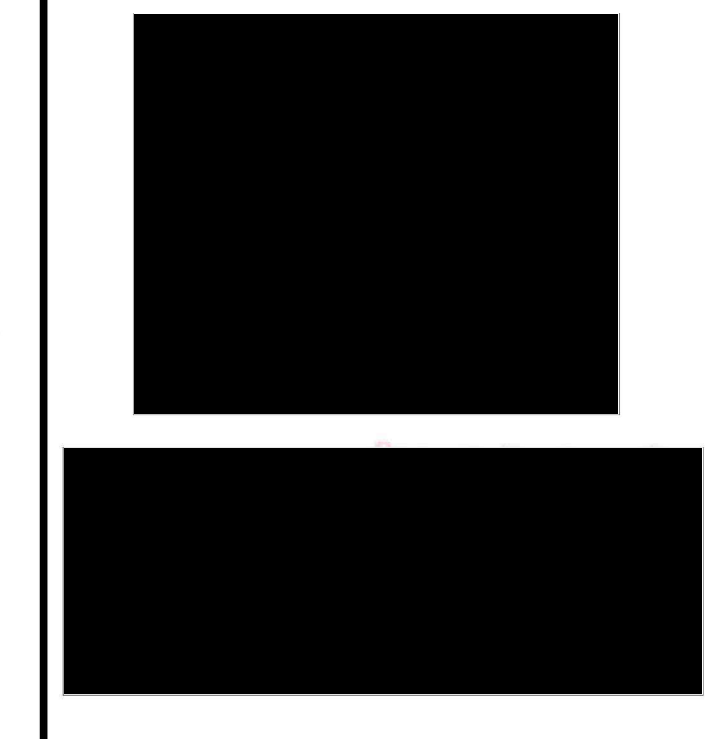
CLIENT/OWNER  
**AUSTIN FAMILY PROPERTIES**  
P.O BOX 19669  
RALEIGH, NC 27619-9669

DATE  
SEPTEMBER 19, 2023

REVISIONS

NO.	DATE	COMMENT

I, Jeremy Taylor, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed and description recorded in Books referenced); that the boundaries not surveyed are indicated as drawn from information in Books referenced; that the ratio of precision or positional accuracy exceeds 1:10,000; and that this map meets the requirements of The Standard of Practice for Land Surveying in North Carolina (21 NCAC 56.1600). This 6th day of October, 2023.



**TAYLOR**  
LAND CONSULTANTS, PLLC  
License # P-0829  
1600 Olive Chapel Rd., #140  
Apex, NC 27502 (919) 801-1104

SHEET TITLE  
**BOUNDARY/TOPOGRAPHIC SURVEY**

SHEET NUMBER  
**C-1**

- NOTES:
- This is a survey of an existing parcel(s) of land. This is a Boundary and Topographic Survey.
  - All coordinates and bearings are based on the North American Datum of 1983 (NAD83) using the NC Real-Time GPS Network. Elevations are based on North American Vertical Datum of 1988 (NAVD88). Units of measurement are US Survey Feet (ground distances).
  - Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose.
  - This Property is not located in a Special Flood Hazard zone. It is located in Zone "X" per FEMA Flood Insurance Rate Maps #3720171600 K, dated July 19, 2022.
  - References: D.B. 11722, PG. 1424; B.M. 1953, PG 37 of the Wake County Register of Deeds.
  - Field Survey performed September 05 & 11, 2023.

**Gettle Engineering and Design, PLLC**  
3616 Waxwing Court,  
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(919) 210-3934 Firm License P-2538

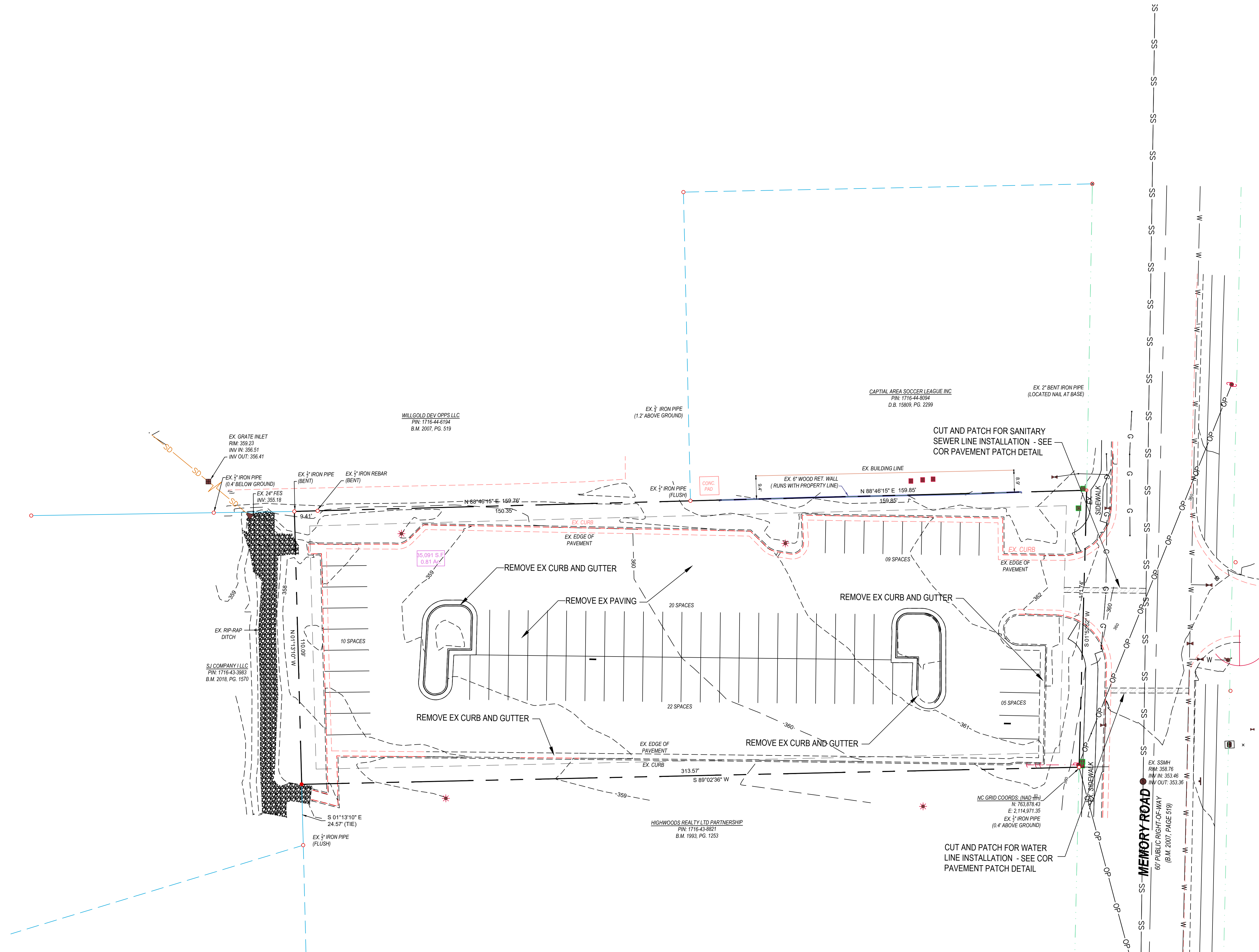
NO.	DATE	REVISION DESCRIPTION	BY

**PRELIMINARY**  
**DO NOT USE FOR**  
**CONSTRUCTION**

**Existing Conditions Survey**  
**Memory Lane Office**  
5103 Memory Road  
Raleigh, Wake County, North Carolina

Project No. 24006  
Dwg No.





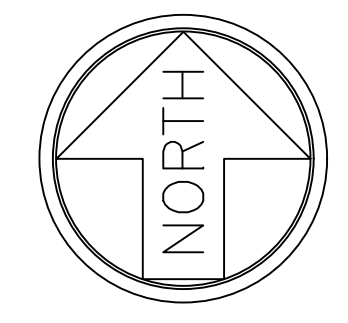
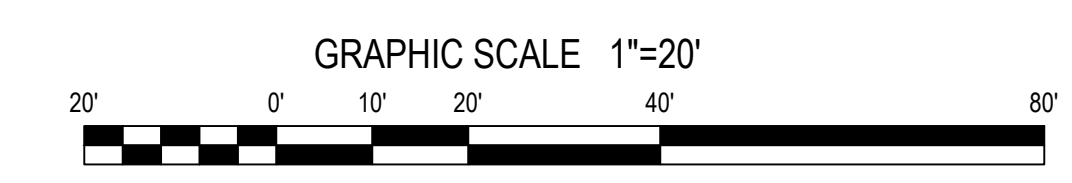
- DEMOLITION NOTES
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
  - SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
  - VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND REPAIR OR REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.

Gettle Engineering and Design, PLLC  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 (919) 210-3934 Firm License P-2538

NO	DATE	COMMENT	BY
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		REVISION DESCRIPTION	

Existing Conditions / Demolition Plan  
 Memory Lane Office  
 5103 Memory Road  
 Raleigh, Wake County, North Carolina

Project No. 24006  
 Dwg No. **C1**

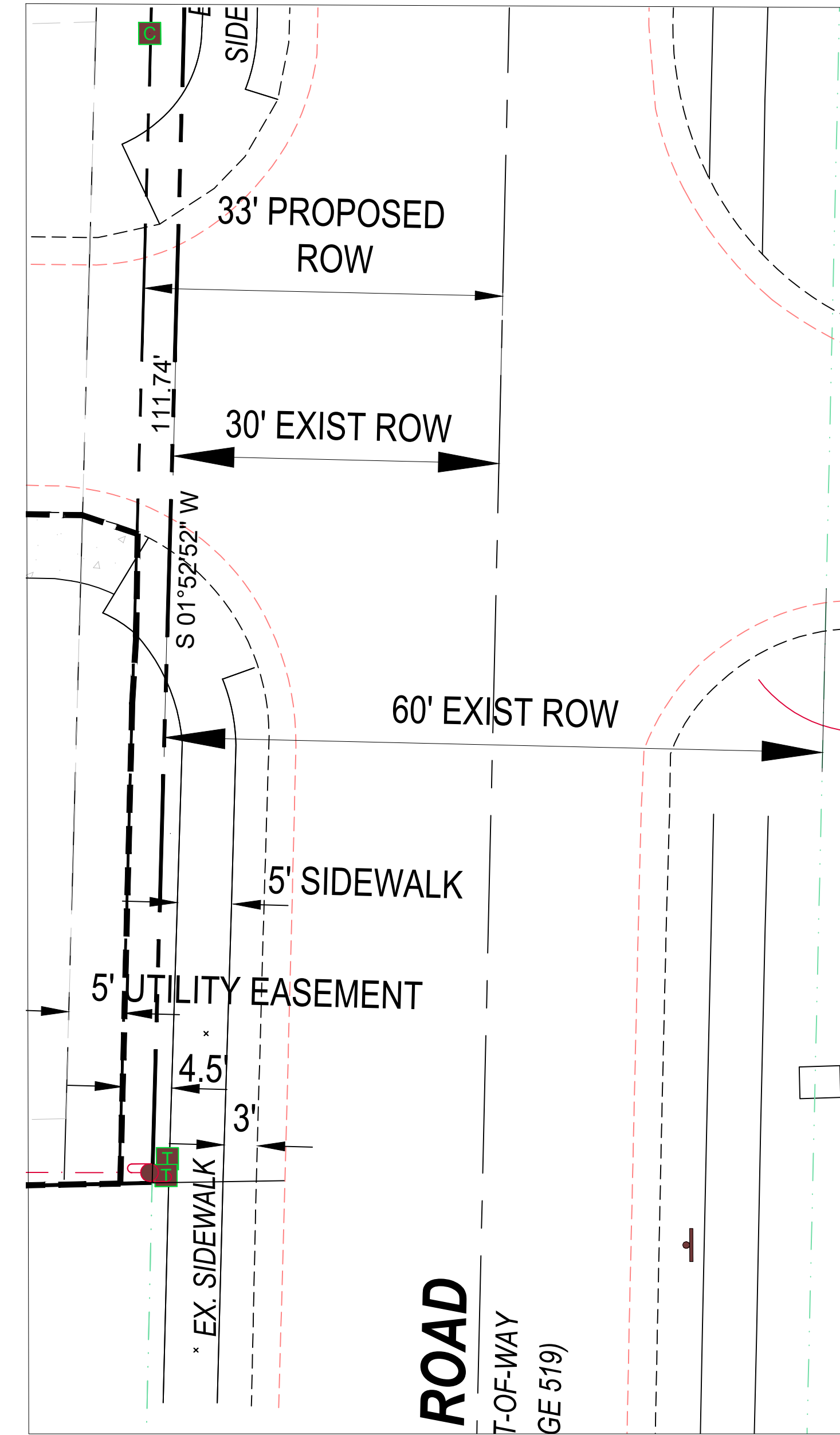
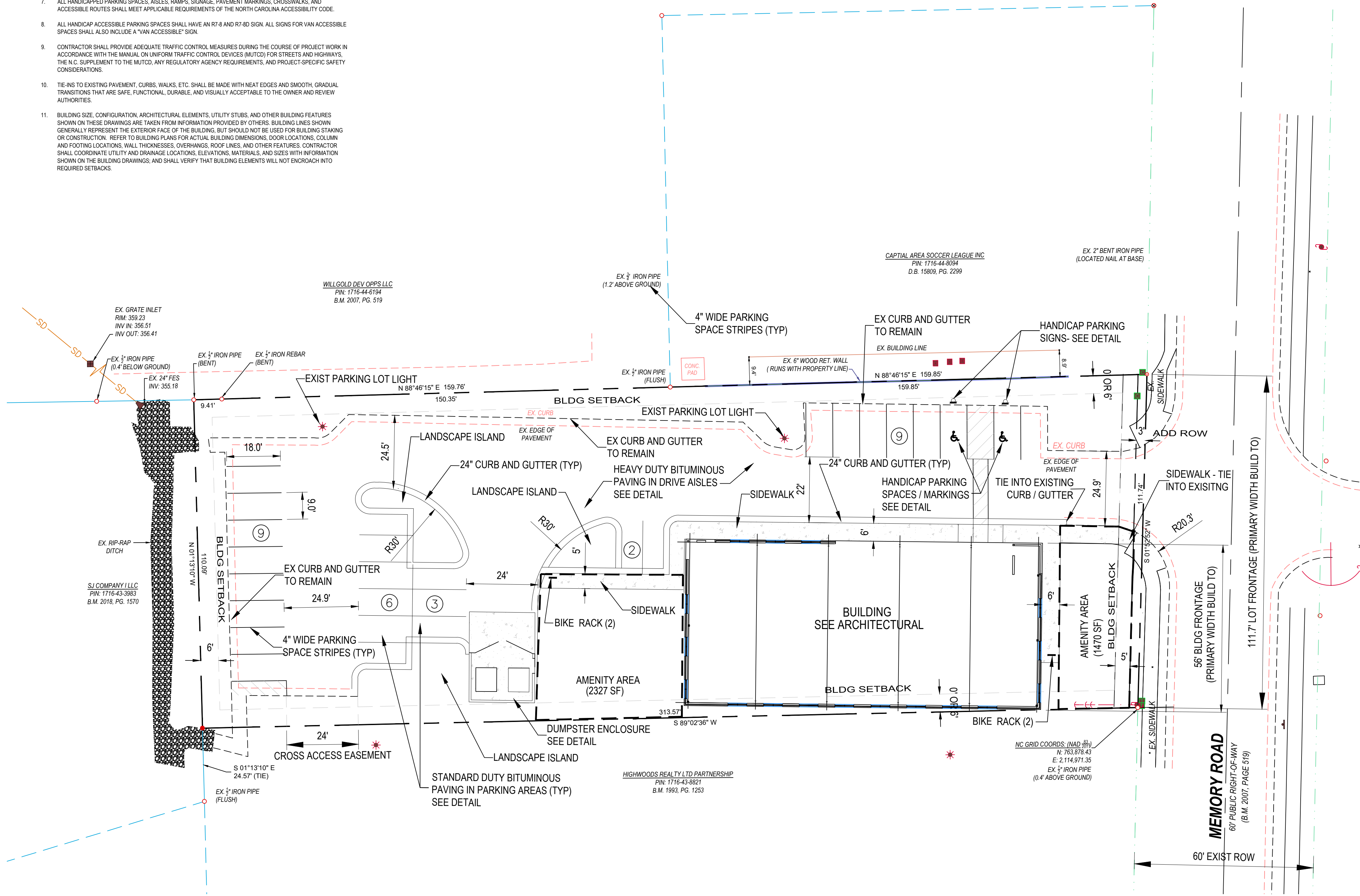




**SITE NOTES**

- WHERE NEW CURB AND GUTTER IS INSTALLED IN A PUBLIC STREET RIGHT-OF-WAY, USE 30" CURB AND GUTTER. IN OTHER LOCATIONS, USE 24" CURB AND GUTTER.
- ALL CURB DIMENSIONS ARE MEASURED TO BACK OF CURB, AND ALL CURB RADII ARE 3 FEET, UNLESS INDICATED OTHERWISE.
- USE REVERSE-PITCH CURB AND GUTTER WHERE ADJACENT PAVEMENT SLOPES AWAY FROM CURB, AND STANDARD-PITCH CURB AND GUTTER ELSEWHERE, UNLESS OTHERWISE NOTED. PROVIDE POSITIVE DRAINAGE ALONG AND FROM ALL GUTTERS.
- ALL SITE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE INDICATED.
- ALL BASE AND PAVING WORK SHALL COMPLY WITH LOCAL STANDARDS. INDICATED PAVEMENT THICKNESSES REFER TO COMPACTED THICKNESS.
- INSTALL ALL PAVEMENT WITH POSITIVE SURFACE DRAINAGE.
- ALL HANDICAPPED PARKING SPACES, AISLES, RAMP, SIGNAGE, PAVEMENT MARKINGS, CROSSWALKS, AND ACCESSIBLE ROUTES SHALL MEET APPLICABLE REQUIREMENTS OF THE NORTH CAROLINA ACCESSIBILITY CODE.
- ALL HANDICAPPED ACCESSIBLE PARKING SPACES SHALL HAVE AN R7-8 AND R7-8D SIGN. ALL SIGNS FOR VAN ACCESSIBLE SPACES SHALL ALSO INCLUDE A "VAN ACCESSIBLE" SIGN.
- CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, THE N.C. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT-SPECIFIC SAFETY CONSIDERATIONS.
- TIE-INS TO EXISTING PAVEMENT, CURBS, WALKS, ETC. SHALL BE MADE WITH NEAT EDGES AND SMOOTH, GRADUAL TRANSITIONS THAT ARE SAFE, FUNCTIONAL, DURABLE, AND VISUALLY ACCEPTABLE TO THE OWNER AND REVIEW AUTHORITIES.
- BUILDING SIZE, CONFIGURATION, ARCHITECTURAL ELEMENTS, UTILITY STUBS, AND OTHER BUILDING FEATURES SHOWN ON THESE DRAWINGS ARE TAKEN FROM INFORMATION PROVIDED BY OTHERS. BUILDING LINES SHOWN GENERALLY REPRESENT THE EXTERIOR FACE OF THE BUILDING, BUT SHOULD NOT BE USED FOR BUILDING STAKING OR CONSTRUCTION. REFER TO BUILDING PLANS FOR ACTUAL BUILDING DIMENSIONS, DOOR LOCATIONS, COLUMN AND FOOTING LOCATIONS, WALL THICKNESSES, OVERHANGS, ROOF LINES, AND OTHER FEATURES. CONTRACTOR SHALL COORDINATE UTILITY AND DRAINAGE LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES WITH INFORMATION SHOWN ON THE BUILDING DRAWINGS, AND SHALL VERIFY THAT BUILDING ELEMENTS WILL NOT ENCRUMB INTO REQUIRED SETBACKS.

**BUILDING WIDTH IN PRIMARY BUILD TO CALCULATIONS:**  
 LOT FRONTAGE: 111.7'  
 BUILDING FRONTAGE: 56'  
 REQUIRED (MIN): 50%  
 PROVIDED: 50/111.7 = 50.01%



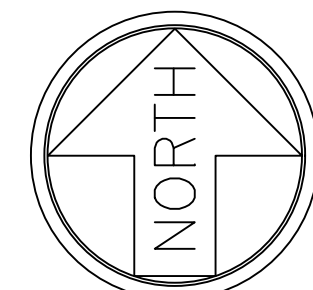
**ROADWAY INSET**

SCALE: 1"=1'-0"

GRAPHIC SCALE 1"=10'



GRAPHIC SCALE 1"=20'



**Stormwater Summary**

	Square Feet	Acres
Overall Site	35,091.00	0.81

**Impervious Summary**

	Square Feet	Acres
Pre		
Parking Lot	26,864.00	0.61
Managed Pervious	8,427.00	0.19
<b>Total</b>		<b>0.81</b>

**Post**

Parking Lot / Sidewalk	17,903.00	0.41
Roof	6,720.00	0.15
Open Landscape	10,468.00	0.24
<b>Total</b>		<b>0.81</b>

**Gettle Engineering and Design, PLLC**

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 Wake Forest, North Carolina 27587  
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NO.	DATE	COMMENT	BY
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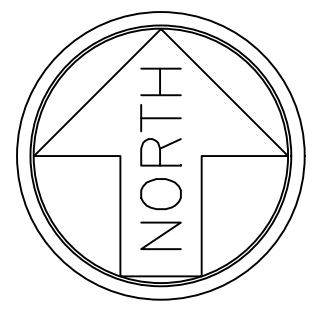
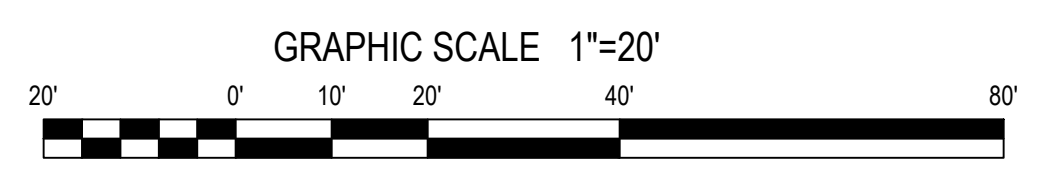
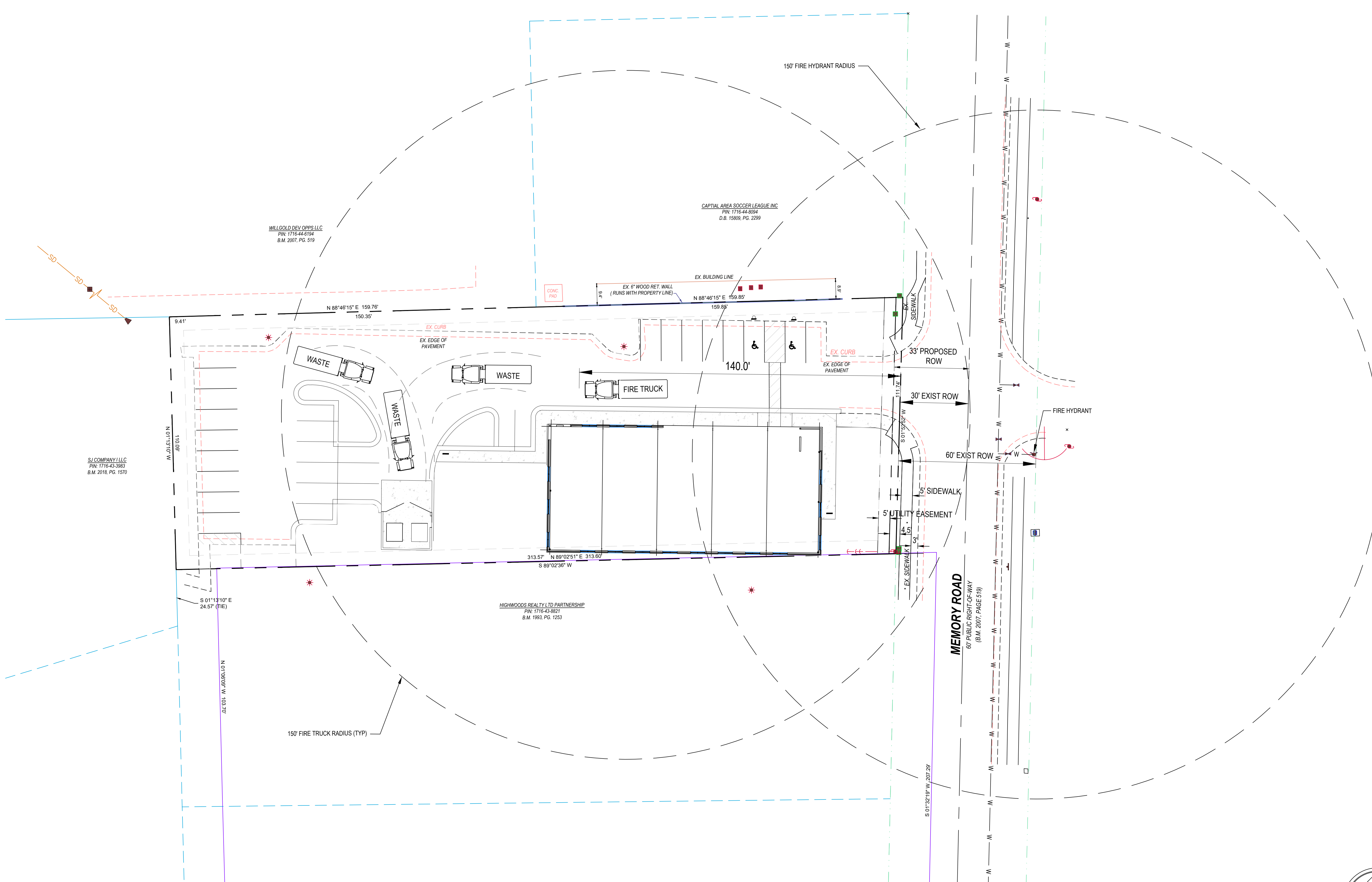
**Site Plan**  
**Memory Lane Office**  
 5103 Memory Road  
 Raleigh, Wake County, North Carolina

Project No. 24006

Dwg No.

**C2**



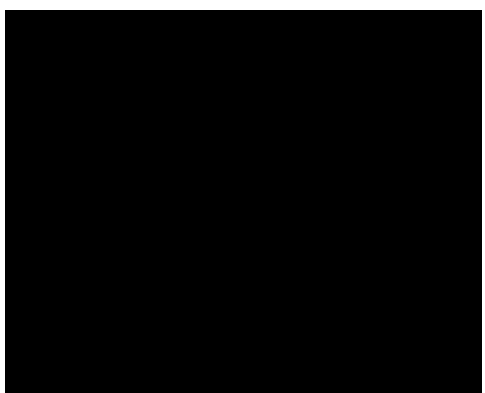


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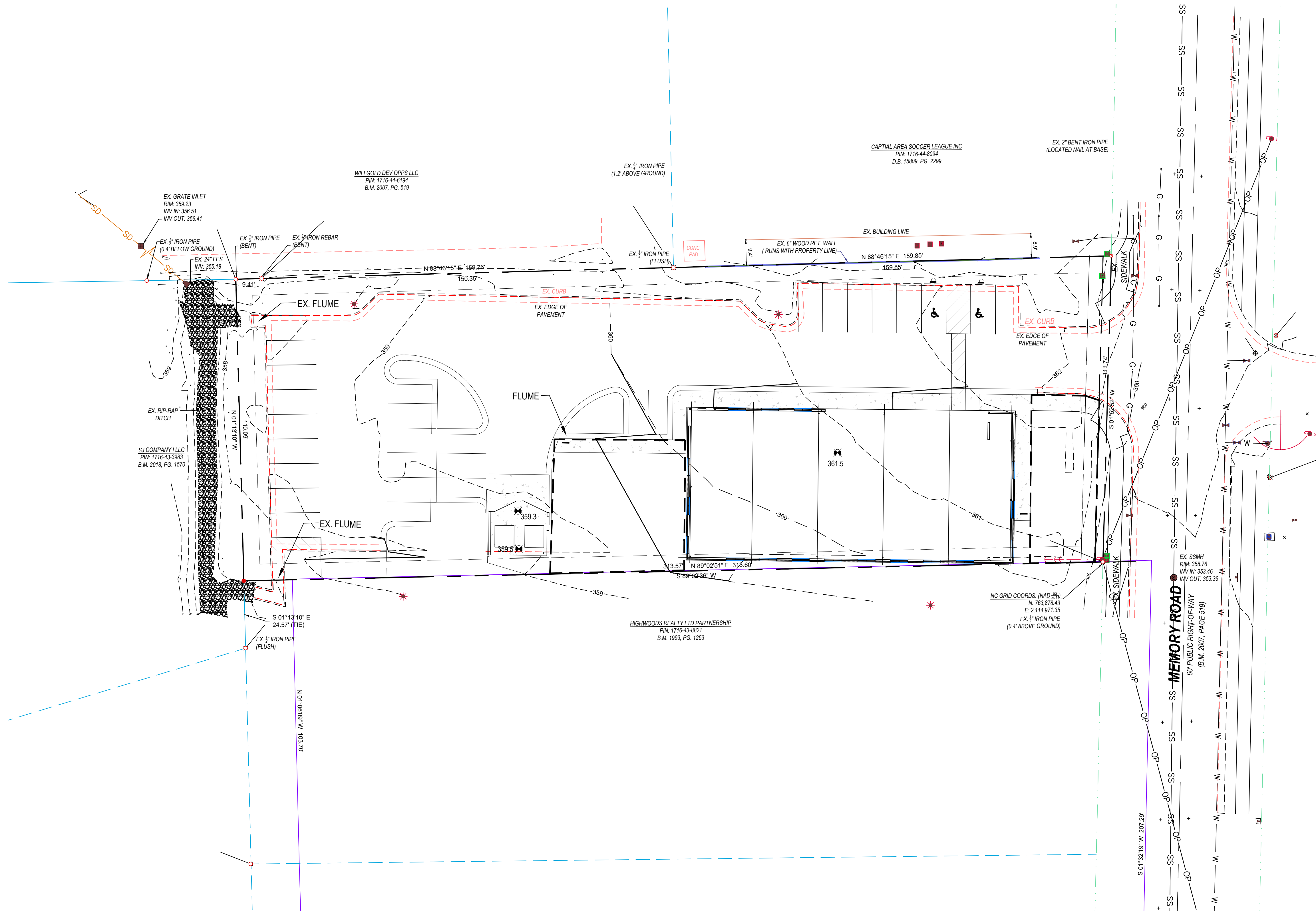
**Truck Turn & Fire Access Plan**  
 Memory Lane Office  
 5103 Memory Road  
 Raleigh, Wake County, North Carolina

Project No. 24006  
 Dwg No. **C3**

NO.	DATE	COMMENT	BY
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		REVISION DESCRIPTION	







**GENERAL GRADING SPECIFICATIONS**

**EXISTING CONDITIONS**

• INFORMATION ABOUT EXISTING UNDERGROUND FACILITIES AND SUBSURFACE CONDITIONS INDICATED ON THESE DRAWINGS IS NOT BASED ON AN EXHAUSTIVE INVESTIGATION OF SUCH FACILITIES OR CONDITIONS, AND THE ENGINEER MAKES NO WARRANTY TO ANY PARTY REGARDING THEM. EXISTING UTILITY LINE LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE, AND ACTUAL UTILITIES AND CONDITIONS MAY DIFFER FROM THOSE INDICATED. IF DIFFERING UTILITIES OR CONDITIONS EXIST, THEY MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT WORK, AND MAY IMPACT THE PROJECT SCOPE AND TIME REQUIREMENTS.

**PROTECTION AND SAFETY**

• PRIOR TO BEGINNING WORK, AND AS NEEDED DURING THE COURSE OF PROJECT WORK, CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY LOCATION SERVICES AND UTILITY PROVIDERS TO REASONABLY VERIFY THE LOCATION OF ALL KNOWN OR SUSPECTED UTILITIES. IN ACCORDANCE WITH STATE REGULATIONS, CONTRACTOR IS ADVISED THAT SOME UTILITY PROVIDERS DO NOT SUBSCRIBE TO ONE-CALL SERVICES, AND MUST BE CONTACTED SEPARATELY.  
 • CONTRACTOR SHALL PROVIDE ADEQUATE MEANS AND METHODS FOR PROTECTION OF ALL EXISTING UTILITIES AND SITE FEATURES WHICH ARE INTENDED TO REMAIN IN SERVICE OR IN PLACE.  
 • CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, THE N.C. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT-SPECIFIC SAFETY CONSIDERATIONS.  
 • CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY PROGRAMS AND MEASURES ON THE PROJECT SITE OR OTHERWISE RELATING TO THE PROJECT WORK, AND SHALL COMPLY WITH ALL SAFETY CODES AND REGULATIONS APPLICABLE THERETO, FOR THE PROTECTION OF WORKERS, VISITORS, AND THE GENERAL PUBLIC.

**COMPLIANCE**

• ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS AND REQUIREMENTS OF THE CITY OF RALEIGH AND THE N.C. STATE BUILDING CODES.

**NOTIFICATIONS**

• NOTIFY THE APPLICABLE LOCAL GOVERNMENT AUTHORITIES IN ACCORDANCE WITH THEIR REQUIREMENTS PRIOR TO BEGINNING ANY WORK.

**QUALITY CONTROL**

• ALL EARTHWORK OPERATIONS, INCLUDING TOPSOIL STRIPPING, STOCKPILING, EXCAVATION, FILLING, COMPACTING, TRENCHING, BACKFILLING, RETAINING WALLS, AND FINE-GRADING, SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER, WHO SHALL VERIFY THE SUITABILITY OF SOIL MATERIALS, MONITOR EARTHWORK ACTIVITIES, DIRECT AND OBSERVE PROOFROLLING, AND PROVIDE COMPACTATION AND STABILITY TESTING DURING THE PROGRESS OF THE WORK.  
 • NO SOIL SHALL BE PLACED IN A PERMANENT LOCATION UNLESS IT HAS BEEN APPROVED BY THE GEOTECHNICAL ENGINEER FOR THE INTENDED USE AND LOCATION.  
 • PRIOR TO PLACEMENT OF ANY FILL, THE SUBGRADE OR PREVIOUS LIFT OF FILL SHALL BE SUCCESSFULLY TESTED OR OTHERWISE APPROVED, AND DETERMINED TO BE READY FOR SUBSEQUENT WORK.  
 • PRIOR TO PLACEMENT OF ANY AGGREGATE, PAVING, SLABS, STRUCTURES, FOOTINGS, PIPING, OR OTHER WORK, SUBGRADES AND OTHER BEARING SURFACES SHALL BE SUCCESSFULLY TESTED OR OTHERWISE APPROVED, AND DETERMINED TO BE READY FOR SUBSEQUENT WORK.  
 • CONTRACTOR SHALL ALLOW AND PARTICIPATE IN SOIL TESTING ACTIVITIES, INCLUDING ACTIVE COORDINATION WITH THE GEOTECHNICAL ENGINEER AND FURNISHING PROOFROLLING EQUIPMENT, MATERIALS, AND MANPOWER AS NEEDED.

**CLEARING & GRUBBING**

• ALL VEGETATIVE MATERIAL DISLOCATED BY CLEARING AND GRUBBING ACTIVITIES SHALL BE COMPLETELY REMOVED FROM THE PROJECT SITE AND LEGALLY DISPOSED. NO ONSITE BURNING OF CLEARING WASTE SHALL OCCUR.  
 • ALL PAVEMENT, CURB, PIPE, STRUCTURES AND OTHER PHYSICAL SITE FEATURES THAT ARE INDICATED OR REQUIRED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN AN OFFSITE LOCATION.

**GRADING**

• STRUCTURAL FILL IS DEFINED AS SOIL CLASSIFIED AS SM, SC, ML, AND CL, FREE OF VEGETATIVE MATTER, DEBRIS OR OTHER UNSUITABLE MATTER, FREE OF ROCKS LARGER THAN 3 INCHES IN ANY DIMENSION, CAPABLE OF BEING COMPACTED TO THE REQUIRED DENSITY, AND WHICH HAS BEEN APPROVED FOR USE BY THE GEOTECHNICAL ENGINEER.  
 • OTHER SOIL NOT MEETING THE DEFINITION FOR STRUCTURAL FILL MAY BE APPROVED BY THE GEOTECHNICAL ENGINEER FOR USE UNDER LIMITED CONDITIONS OR IN LIMITED AREAS.  
 • STRUCTURAL FILL SHALL GENERALLY BE PLACED AND COMPACTED WHEN THE SOIL'S MOISTURE CONTENT IS WITHIN 4 PERCENTAGE POINTS OF THE SOIL'S OPTIMUM MOISTURE CONTENT, IN LIFTS NOT TO EXCEED 8 INCHES LOOSE THICKNESS. THE IN-PLACE COMPACTED DENSITY SHALL BE AT LEAST 90 PCF. TIGHTER SPECIFICATIONS MAY BE REQUIRED FOR CERTAIN AREAS, SOIL TYPES, OR COMPACTATION METHODS.  
 • STRUCTURAL ZONES SHALL INCLUDE ALL AREAS SUBJECT TO DIRECT BEARING PRESSURE PLUS 10 FEET HORIZONTAL PLUS A 1:1 DOWNWARD SLOPE IN ANY AREAS OF FILL.  
 • ALL SOIL UNDER PAVEMENTS, BUILDINGS, AND WALKWAYS, OR IN STRUCTURAL ZONES ASSOCIATED WITH THESE AREAS SHALL BE APPROVED IN SITU SOIL OR STRUCTURAL FILL, COMPACTED TO AT LEAST 95% OF THE SOIL'S MAXIMUM DRY DENSITY (MDD) PER ASTM D-698. TIGHTER REQUIREMENTS MAY APPLY FOR CERTAIN AREAS.  
 • IN THE BUILDING AREA, THE REQUIRED DENSITY OF FILL SHALL BE 100% MDD, EXCEPT THE TOP 12 INCHES OF FILL SHALL BE AT LEAST 90% MDD, WHERE THE BUILDING WILL BE PLACED ON IN-SITU SOIL, THE SOIL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND COMPACTED TO AT LEAST 98% MDD.  
 • ALL EXCESS OR UNSUITABLE SOIL SHALL BE LEGALLY DISPOSED IN AN OFFSITE OR APPROVED ONSITE LOCATION.  
 • WHERE LANDSCAPED OR YARD AREAS ADJACENT TO EXTERIOR BUILDING WALLS, FINISHED GROUND ELEVATIONS ADJACENT TO THE WALL SHALL BE AT LEAST 3 INCHES BELOW THE FINISHED FLOOR ELEVATION, AND SHALL SLOPE AWAY FROM THE BUILDING WITH POSITIVE DRAINAGE.

**TRENCHING AND BACKFILLING**

• WHERE ROCK OR OTHER HARD MATERIAL OCCURS AT THE DESIGNED TRENCH BOTTOM, OVEREXCAVATE TRENCH DEPTH 6 INCHES AND REPLACE OVEREXCAVATION MATERIAL WITH #67 STONE BEDDING.  
 • WHERE THE DESIGNED TRENCH BOTTOM CONSISTS OF UNSTABLE BEARING SOIL, UNDERCUT TRENCH BOTTOM AND REPLACE UNDERCUT MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.  
 • BACKFILL SOIL SHALL BE STRUCTURAL FILL, PLACED AND COMPACTED IN ACCORDANCE WITH REQUIREMENTS FOR THE SPECIFIC AREA OF WORK, WITHOUT DAMAGING OR DISPLACING PIPE OR STRUCTURES.

**SURFACE DRAINAGE**

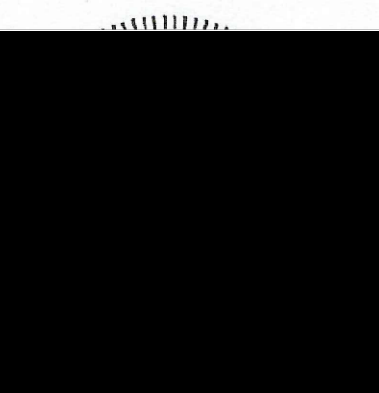
• ALL SPOT ELEVATIONS SHOWN ARE FINISHED SURFACE ELEVATIONS. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER ELEVATION CONTOURS. ALL ELEVATIONS SHOWN ON CURB AND GUTTER REFER TO TOP OF CURB, UNLESS OTHERWISE INDICATED.  
 • ALL FINISHED PAVEMENT AND YARD SURFACES SHALL BE FINE-GRADED AND FINISHED TO HAVE POSITIVE SURFACE DRAINAGE TO A FREE-FLOWING DRAINAGE OUTLET, WITH NO IRREGULARITIES OR DEPRESSIONS THAT WOULD CAUSE UNINTENDED WATER PONDING.  
 • USE REVERSE-PITCH CURB AND GUTTER WHERE ADJACENT PAVEMENT SLOPES AWAY FROM CURB, AND STANDARD-PITCH CURB AND GUTTER ELSEWHERE, UNLESS OTHERWISE NOTED. PROVIDE POSITIVE DRAINAGE ALONG AND FROM ALL GUTTERS.  
 • TRANSITIONS TO EXISTING PAVEMENT, CURBS, WALKS, ETC. SHALL BE MADE WITH NEAT EDGES AND SMOOTH GRADUAL TRANSITIONS THAT ARE SAFE, FUNCTIONAL, DURABLE, AND VISUALLY ACCEPTABLE TO THE OWNER AND REVIEW AUTHORITIES.

**ACCESSIBILITY**

• FINISHED WALKWAY ELEVATIONS ABUTTING EXTERIOR DOORWAY THRESHOLDS SHALL BE ONE-FOURTH INCH BELOW THE ADJOINING FINISHED FLOOR ELEVATION. EXTERIOR PADS AND WALKWAYS SHALL SLOPE AWAY FROM THE BUILDING AT A SLOPE NO LESS THAN 1.0% AND NO GREATER THAN 2.0%.  
 • SIDEWALKS, CROSSWALKS, AND OTHER WALKWAYS SHALL NOT EXCEED 2.0% CROSS-SLOPE.  
 • NO PORTION OF ANY HANDICAP ACCESSIBLE ROUTE SHALL EXCEED 2.0% CROSS-SLOPE OR 5.0% LONGITUDINAL SLOPE.  
 • NO PORTION OF ANY HANDICAP PARKING SPACE OR ADJOINING ACCESS AISLE SHALL EXCEED 2.0% SLOPE IN ANY DIRECTION.

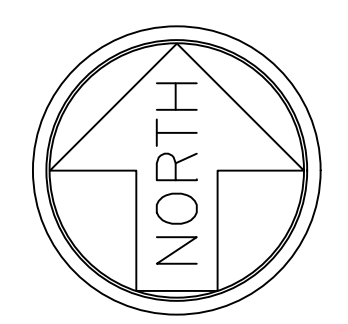
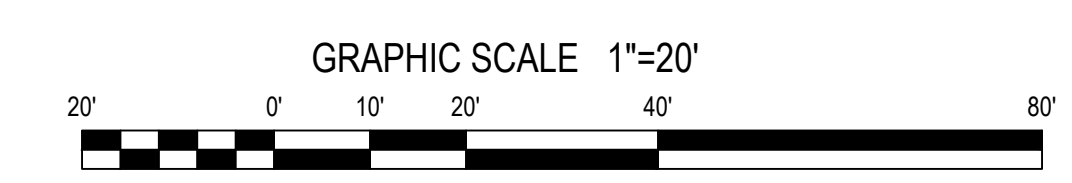
**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 (919) 210-3934 Firm License P-2538

NO.	DATE	COMMENT	BY
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**Grading Plan**  
**Memory Lane Office**  
 5103 Memory Road  
 Raleigh, Wake County, North Carolina

Project No. 24006  
 Dwg No. **C4**





CITY OF RALEIGH UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: COR PLUD HANDBOOK, CURRENT EDITION)

2. UTILITY SEPARATION REQUIREMENTS:

- a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
- b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE. (PER CORPLUD DETAILS W-41 & S-49)
- f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.

3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.

4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.

5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS. 4' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.

6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPLUD HANDBOOK PROCEDURE.

7. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. (NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW AND PRESSURE).

8. INSTALL 4" PVC SEWER SERVICES AT 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE AND SPACED EVERY 75 LINEAR FEET MAXIMUM.

9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.

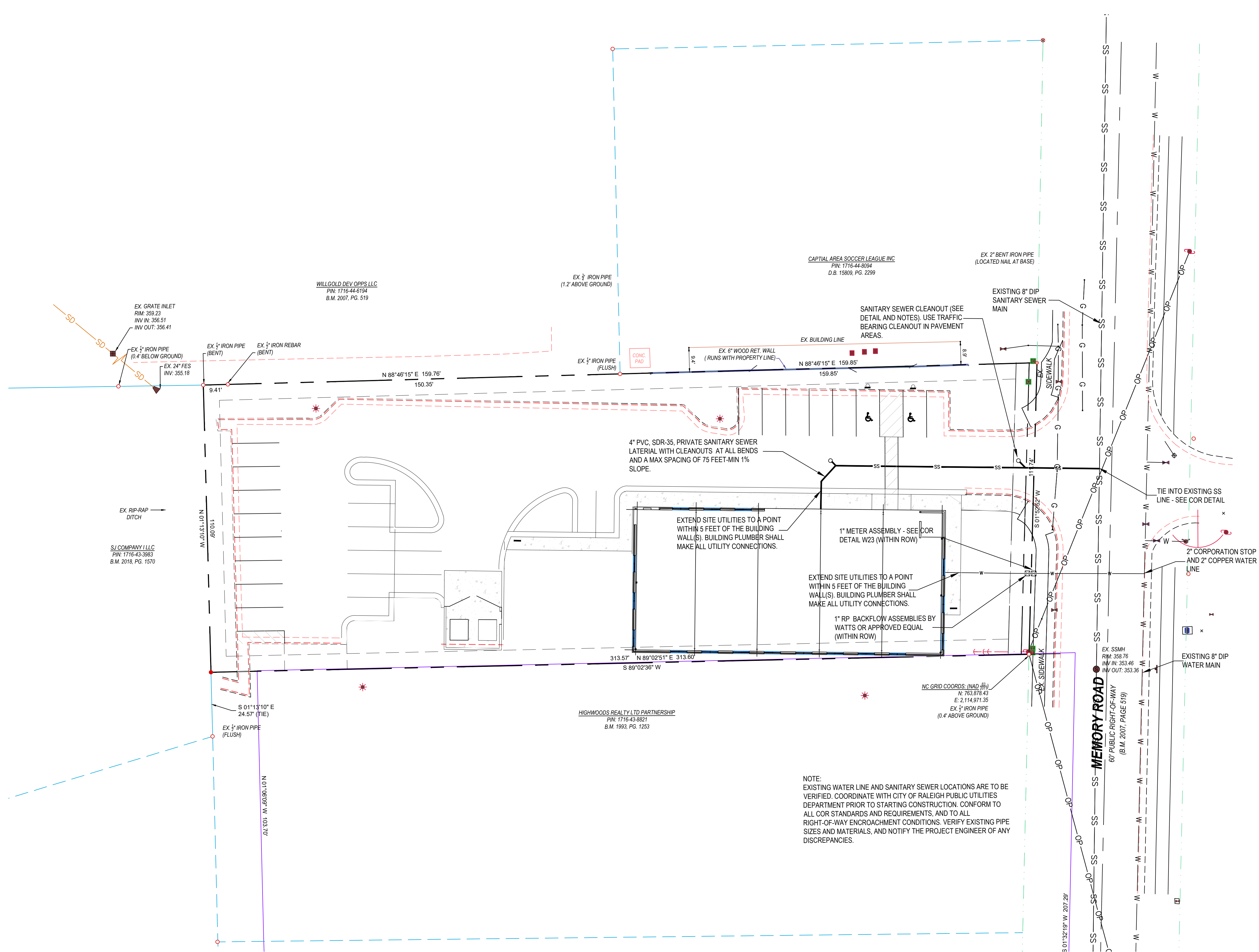
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.

11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS AND SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.

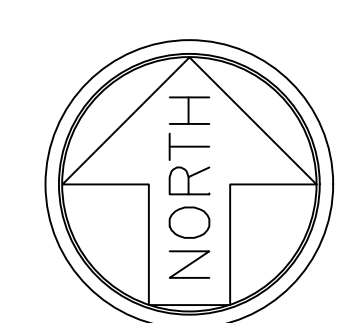
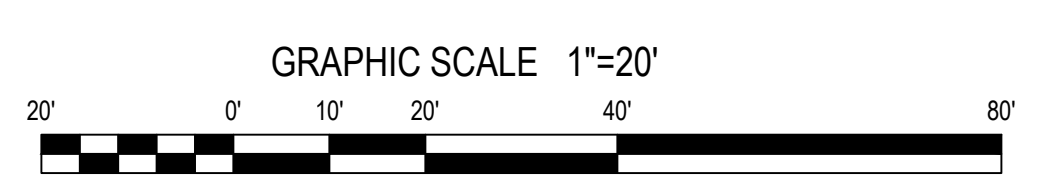
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS AND INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPLUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919)999-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST--THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 212-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

NO.	DATE	COMMENT	BY	REVISION DESCRIPTION
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NOTE:  
EXISTING WATER LINE AND SANITARY SEWER LOCATIONS ARE TO BE VERIFIED. COORDINATE WITH CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO STARTING CONSTRUCTION. CONFORM TO ALL COR STANDARDS AND REQUIREMENTS, AND TO ALL RIGHT-OF-WAY ENCROACHMENT CONDITIONS. VERIFY EXISTING PIPE SIZES AND MATERIALS, AND NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES.

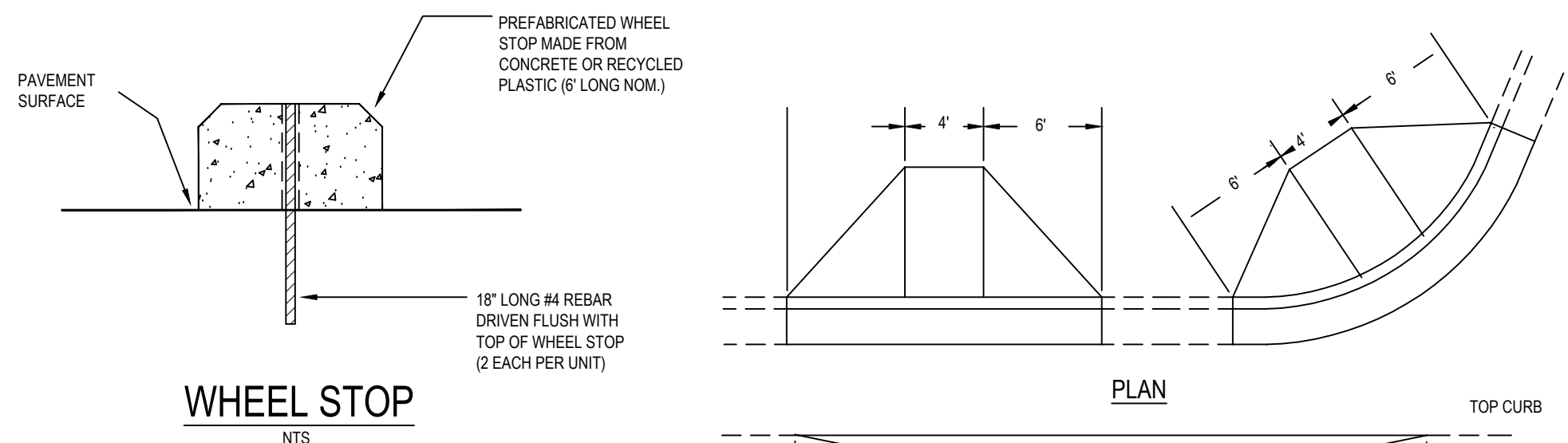


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 3616 Waxwing Court,  
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 (919) 210-3934 Firm License P-2538

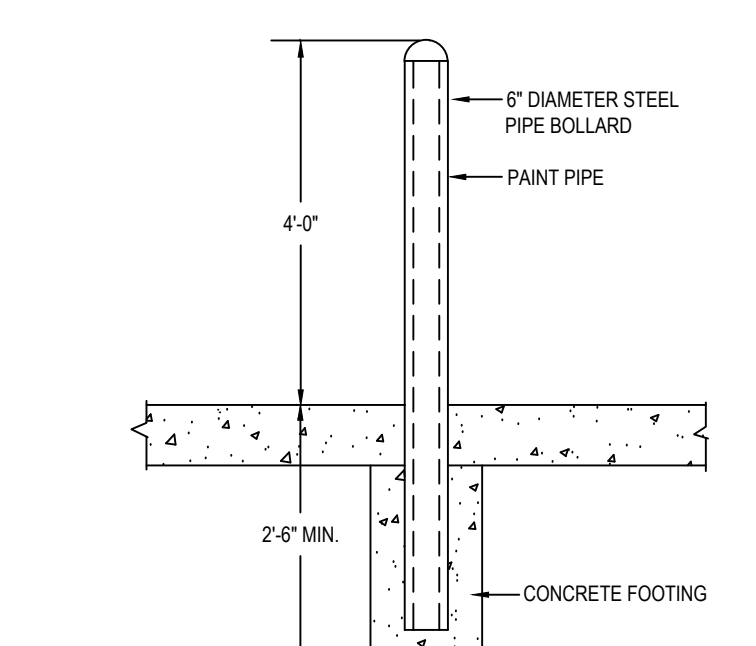
**Utility Plan**  
**Memory Lane Office**  
 5103 Memory Road  
 Raleigh, Wake County, North Carolina

Project No. 24006  
 Dwg No. **C5**

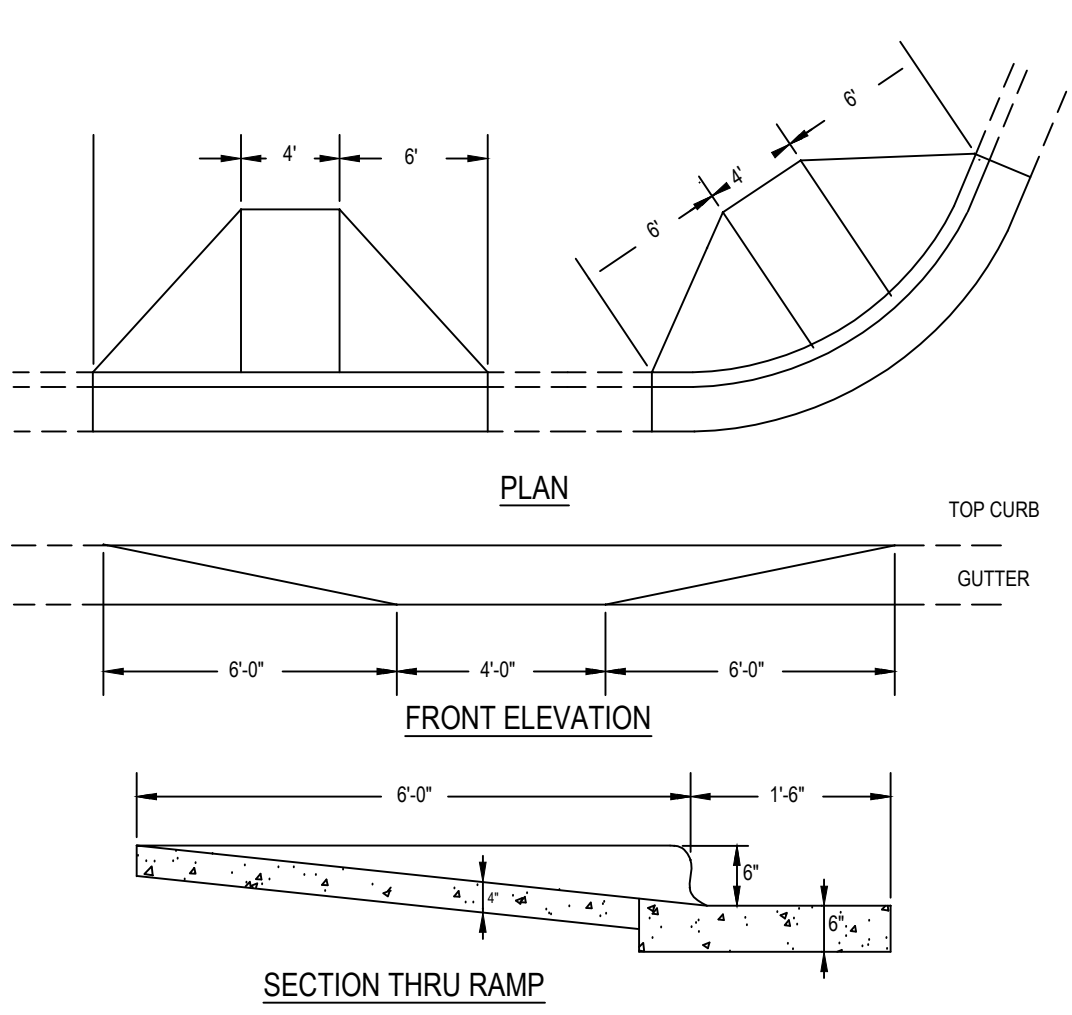




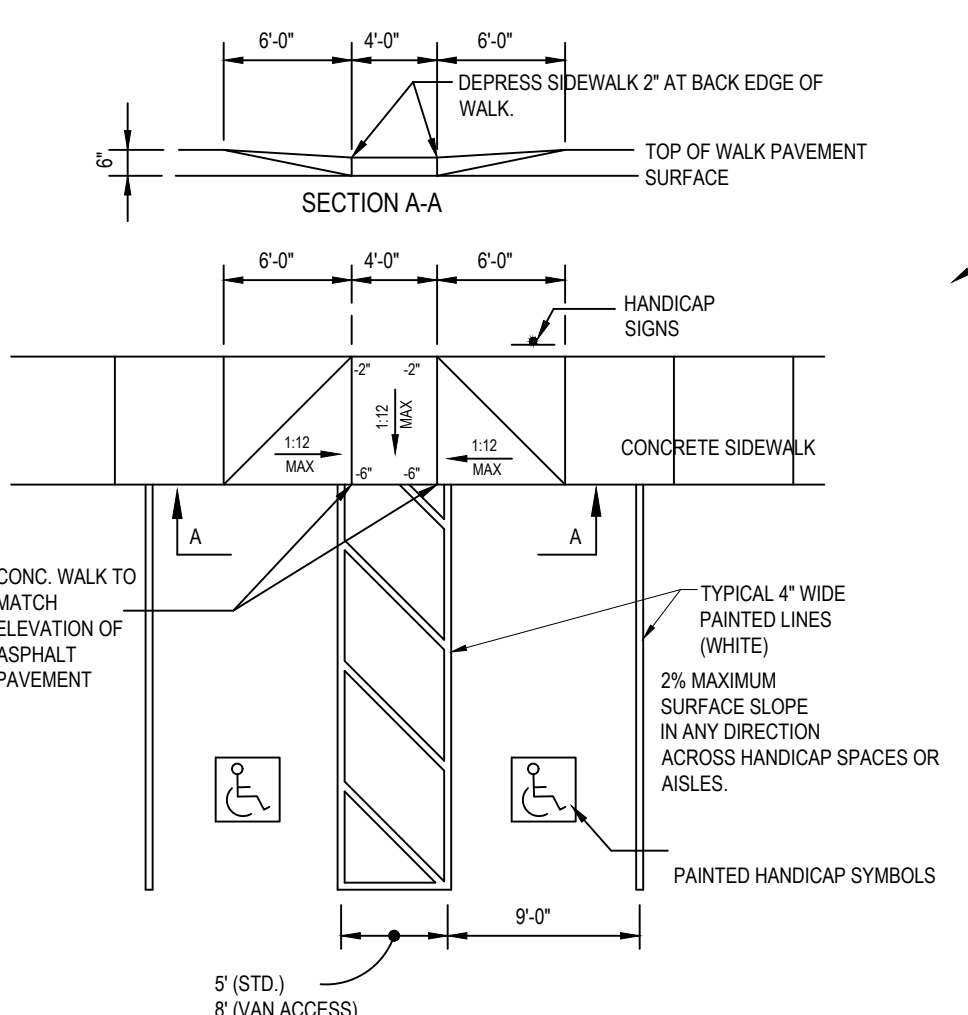
**WHEEL STOP**  
NTS



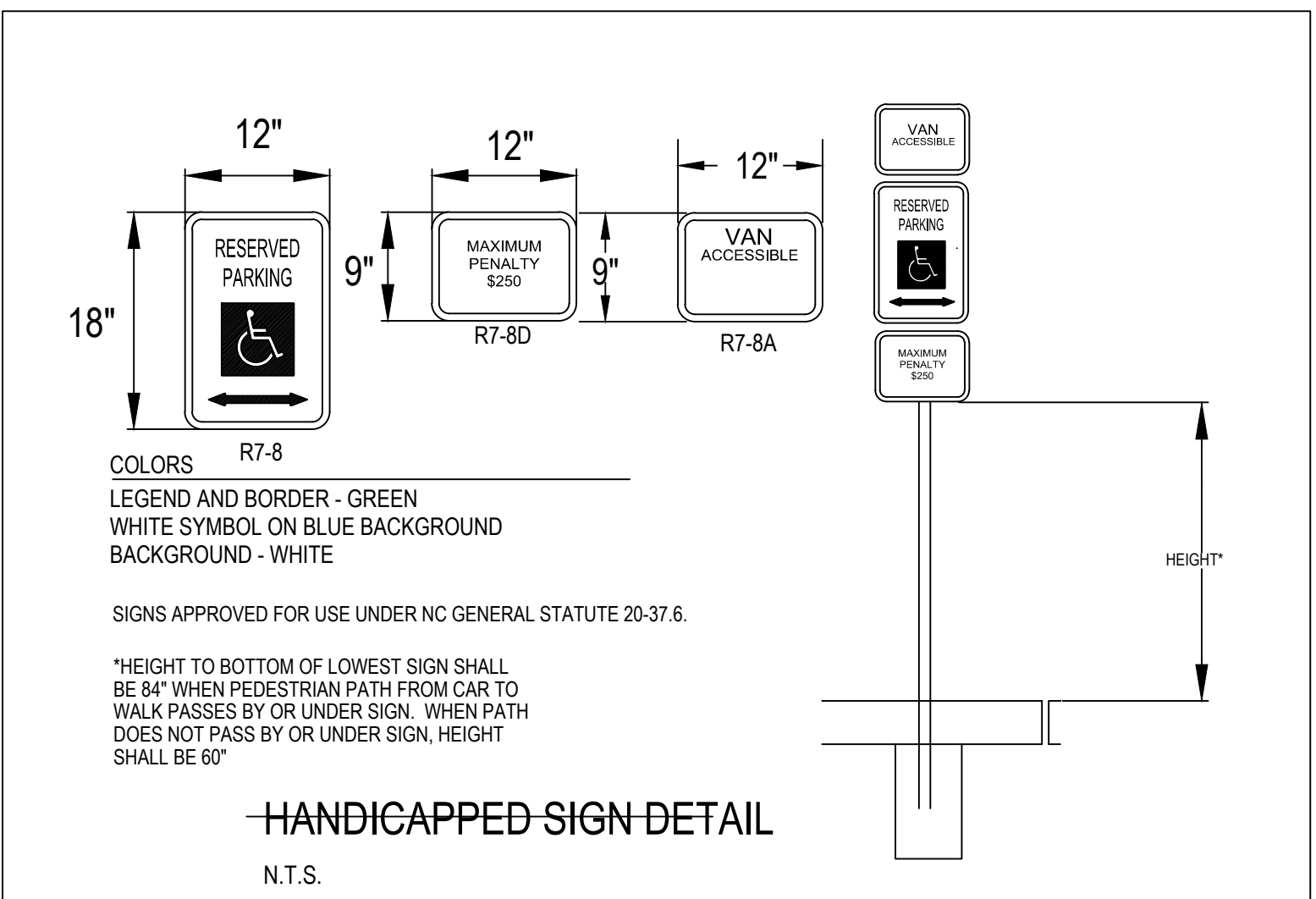
**STEEL PIPE BOLLARD (TYPICAL)**  
(TO BE CONCRETE FILLED)  
NTS



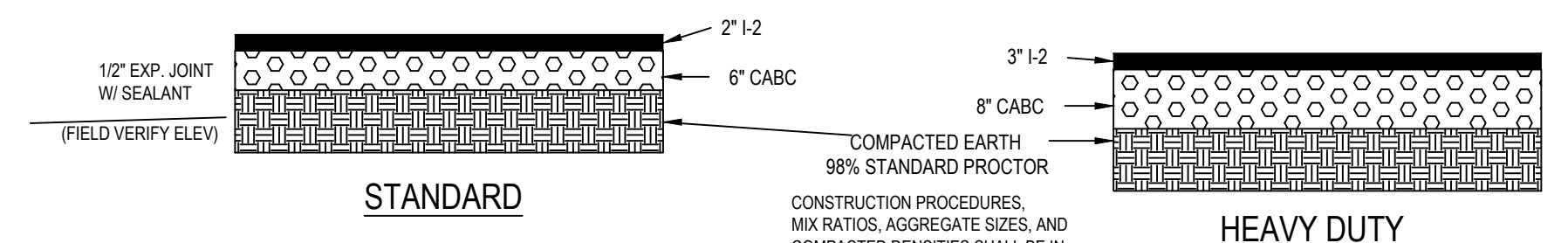
**HANDICAP RAMP CURB CUT**  
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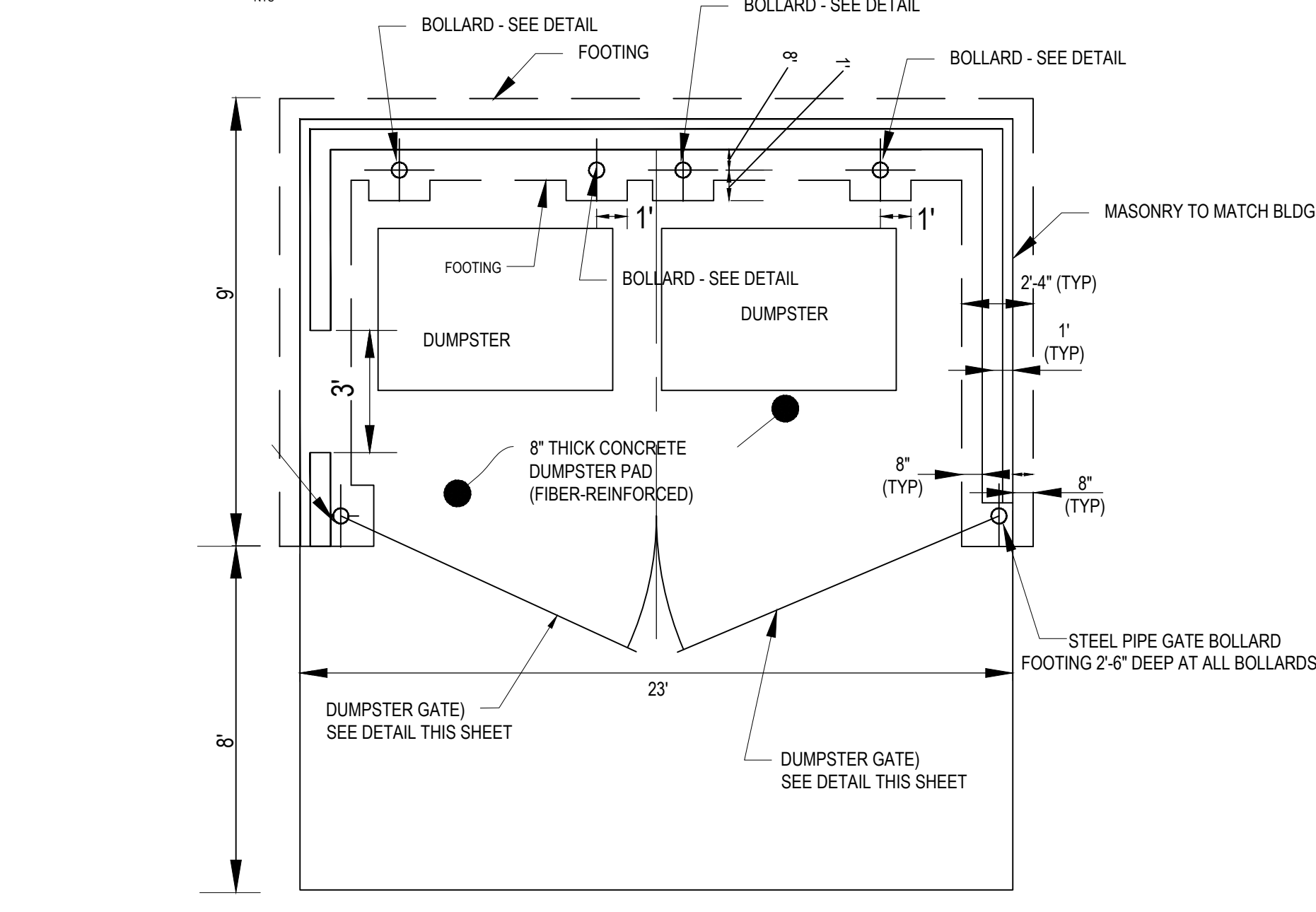
**HANDICAP PARKING AND RAMP**  
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**HANDICAPPED SIGN-DETAIL**  
NTS



**PAVEMENT DETAIL**  
NTS



**PLAN VIEW - DUMPSTER ENCLOSURE & PAD**  
NTS

**SPECIFICATIONS FOR ALL CAST-IN-PLACE PORTLAND CEMENT CONCRETE**

- NOTIFY THE ENGINEER AND ANY AGENCY HAVING JURISDICTION OVER THE CONCRETE AT LEAST TWO BUSINESS DAYS PRIOR TO PLACEMENT OF ANY CONCRETE.
- ENSURE THAT SUBGRADERS COMPLY WITH PROJECT REQUIREMENTS FOR ELEVATION, SLOPE, SOIL CHARACTERISTICS, AND GROUND WATER TABLE.
- CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS, AS APPLICABLE:

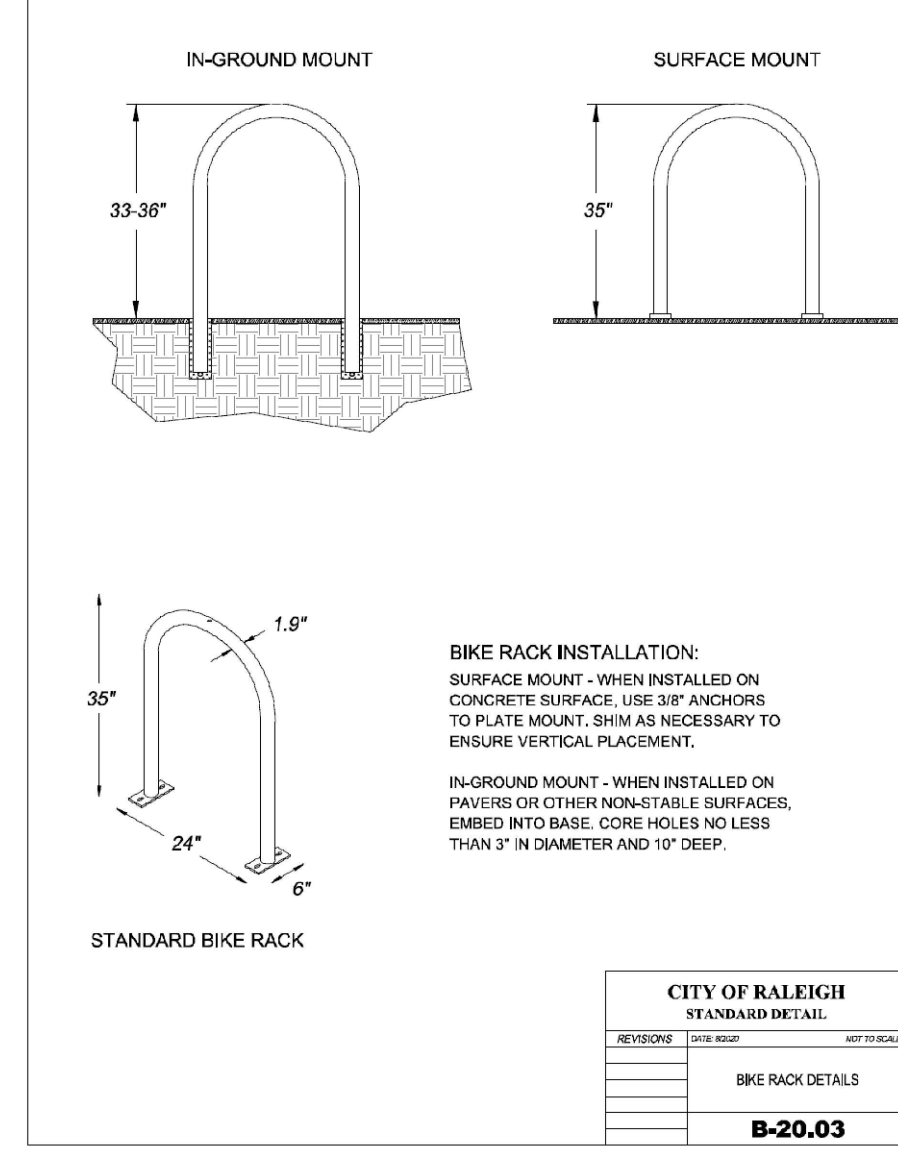
STANDARD	PURPOSE	REFERENCE
ACI 308	CONCRETE MIXTURE PROPORTIONS	ACI 308-11
ACI 309	CONCRETE PUMPING	ACI 309-11
ACI 310	CONCRETE TESTING	ACI 310-11
ACI 311	CONCRETE FINISHING	ACI 311-11
ACI 312	CONCRETE CURING	ACI 312-11
ACI 313	CONCRETE PROTECTION	ACI 313-11
ACI 314	CONCRETE REPAIR	ACI 314-11
ACI 315	CONCRETE JOINTS	ACI 315-11
ACI 316	CONCRETE JOINTS	ACI 316-11
ACI 317	CONCRETE JOINTS	ACI 317-11
ACI 318	CONCRETE JOINTS	ACI 318-11
ACI 319	CONCRETE JOINTS	ACI 319-11
ACI 320	CONCRETE JOINTS	ACI 320-11
ACI 321	CONCRETE JOINTS	ACI 321-11
ACI 322	CONCRETE JOINTS	ACI 322-11
ACI 323	CONCRETE JOINTS	ACI 323-11
ACI 324	CONCRETE JOINTS	ACI 324-11
ACI 325	CONCRETE JOINTS	ACI 325-11
ACI 326	CONCRETE JOINTS	ACI 326-11
ACI 327	CONCRETE JOINTS	ACI 327-11
ACI 328	CONCRETE JOINTS	ACI 328-11
ACI 329	CONCRETE JOINTS	ACI 329-11
ACI 330	CONCRETE JOINTS	ACI 330-11

- PROVIDE ALL CONCRETE MATERIALS AND WORK IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS AND GOVERNING AUTHORITY REQUIREMENTS. IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- FOR CONCRETE WORK IN EXISTING OR ANTICIPATED FUTURE NOTCH RIGHTS OF WAY, COMPLY WITH REQUIREMENTS OF THE LATEST EDITION OF NC DOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, AND AASHTO STANDARD SPECIFICATIONS THEREIN.
- UNLESS OTHERWISE SPECIFIED OR REQUIRED, PROVIDE NORMAL WEIGHT CONCRETE HAVING A RATIO OF 6:1:3, AND A SLUMP RANGE BETWEEN 1.0 AND 3.0 INCHES.
- 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI WITH A MAXIMUM WATER/CEMENT RATIO OF 0.58, AND A SLUMP RANGE BETWEEN 1.0 AND 3.0 INCHES.
- WHERE THE REQUIREMENTS SPECIFIED ARE IN CONFLICT WITH THE LATEST EDITION OF THE AASHTO STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, OR APPROVED EQUAL.
- UNLESS OTHERWISE SHOWN OR NOTED, PROVIDE CONTROL JOINTS AND EXPANSION JOINTS WITH MAXIMUM SPACING AND PHYSICAL CHARACTERISTICS AS FOLLOWS:

JOINT TYPE	MAX. SPACING	MIN. SPACING	DEPTH	REINFORCEMENT
CONTROL	12'	6'	12"	2#4
EXPANSION	30'	12'	12"	2#4

- PROVIDE EXPANSION JOINTS AGAINST ALL METAL FRAMES, CASTINGS, BOLLARDS, STRUCTURES, FOOTING SLABS, ANCHORS, OR OTHER FIXED OBJECTS.
- CONFORM TO EXPANSION JOINT REQUIREMENTS, AT ALL EDGES WHERE PLACEMENT OPERATIONS ARE DISCONTINUED FOR LONGER THAN 30 MINUTES. COMPLY WITH MATERIAL SAMPLING AND TESTING REQUIREMENTS AS SPECIFIED FOR THE PROJECT.
- PROVIDE ADEQUATE CONCRETE FINISHING, PROTECTION, AND CURING MEASURES, UNLESS OTHERWISE NOTED. PROVIDE A LIGHT-BROOM FINISH ON ALL SURFACES THAT WILL EXPERIENCE FOOT TRAFFIC.
- CONCRETE SURFACES SHALL HAVE A FINISH APPEARANCE WITHOUT UNWANTED CRACKS, AND WITH PROPER DIMENSIONS, ELEVATIONS, AND SLOPES. JOINTS SHALL BE STRAIGHT, NEAT, AND PROPERLY SPACED, WITH LEVEL SURFACE CONCRETE ACROSS THE WIDTH OF EACH JOINT.
- MARK OUT CONCRETE TRUCKS AND DRUMS IN APPROVED LOCATIONS ONLY.

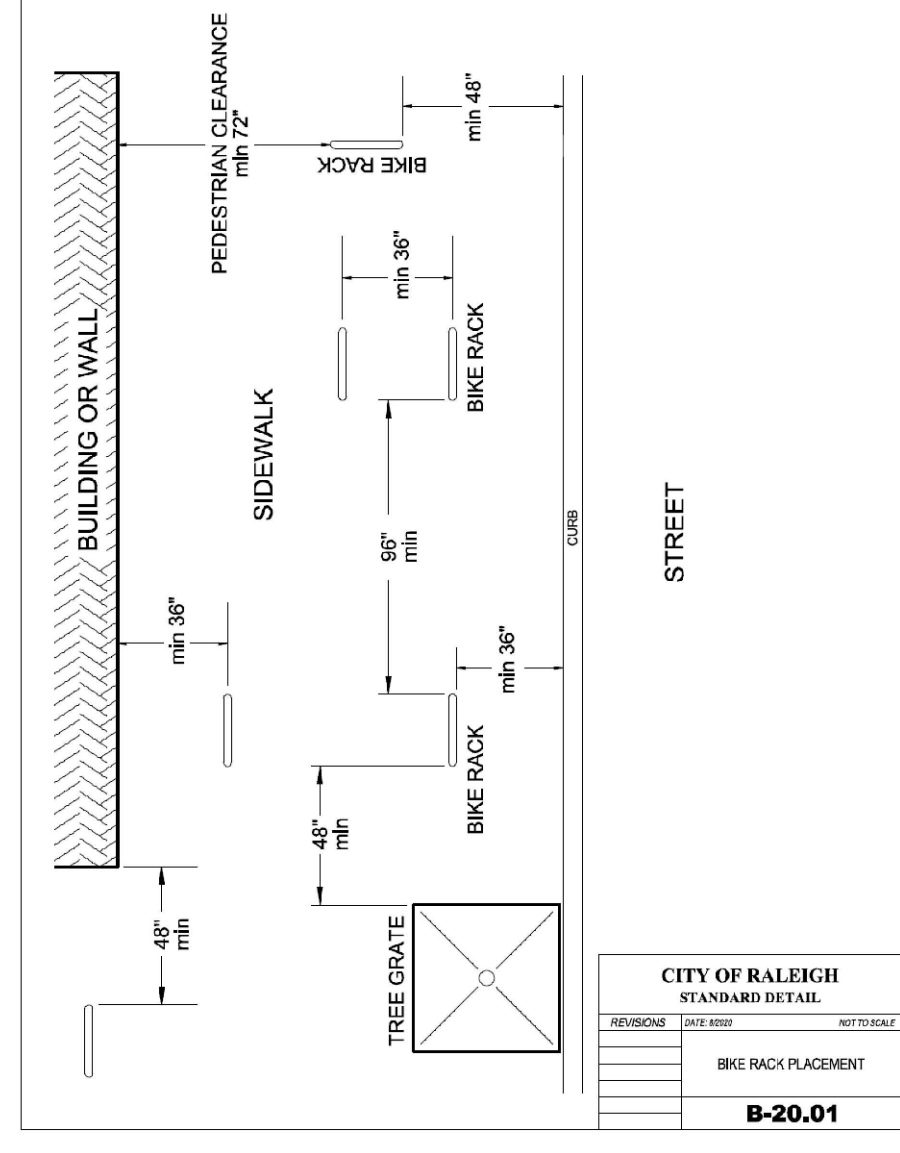
**SPECIFICATION FOR CAST IN PLACE CEMENT**



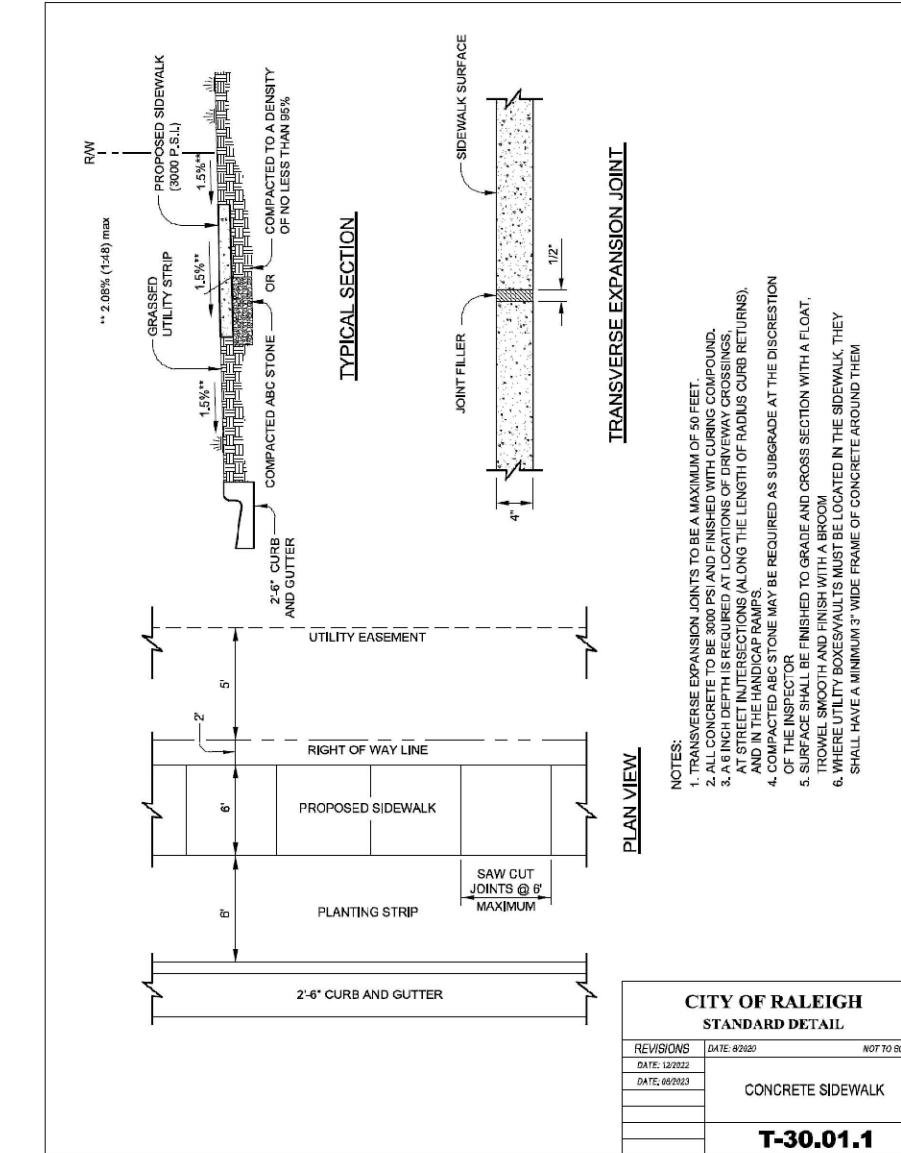
**BIKE RACK INSTALLATION**  
STANDARD BIKE RACK

REVISION	DATE	DESCRIPTION
1	01/15/11	ISSUE FOR BIDDING

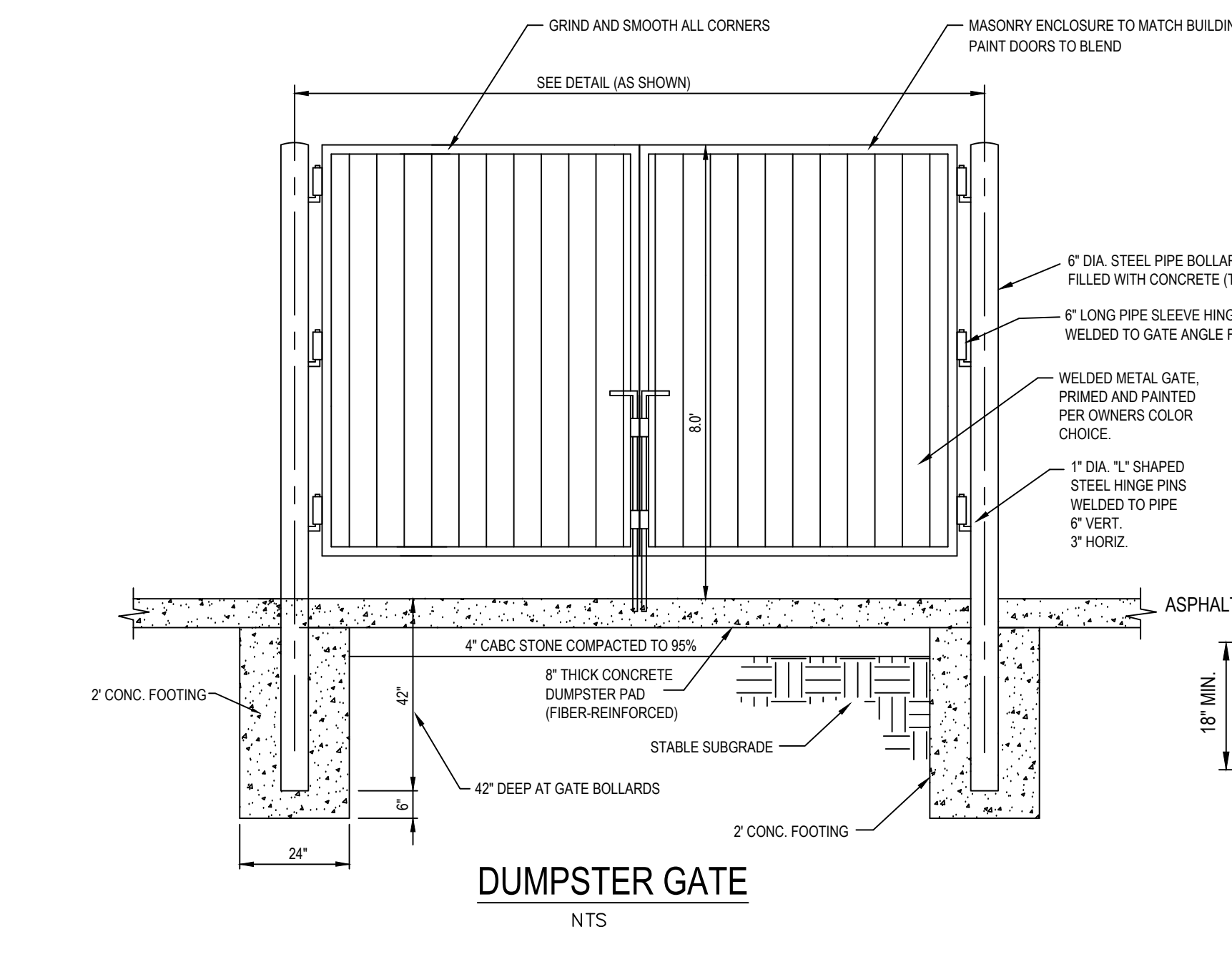
**CITY OF RALEIGH**  
STANDARD DETAIL  
**B-20.03**  
BIKE RACK DETAILS



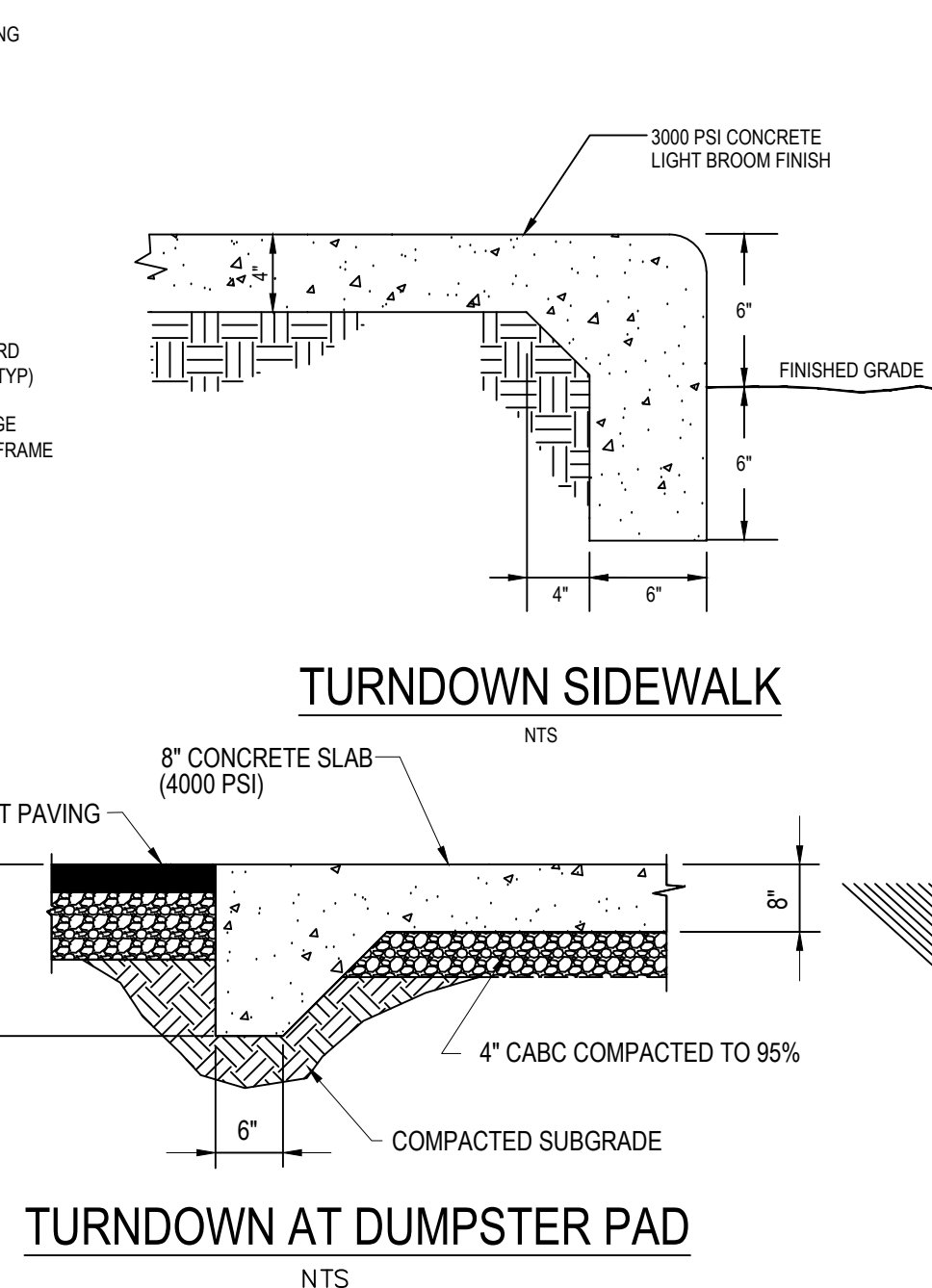
**CITY OF RALEIGH**  
STANDARD DETAIL  
**B-20.01**  
BIKE RACK PLACEMENT



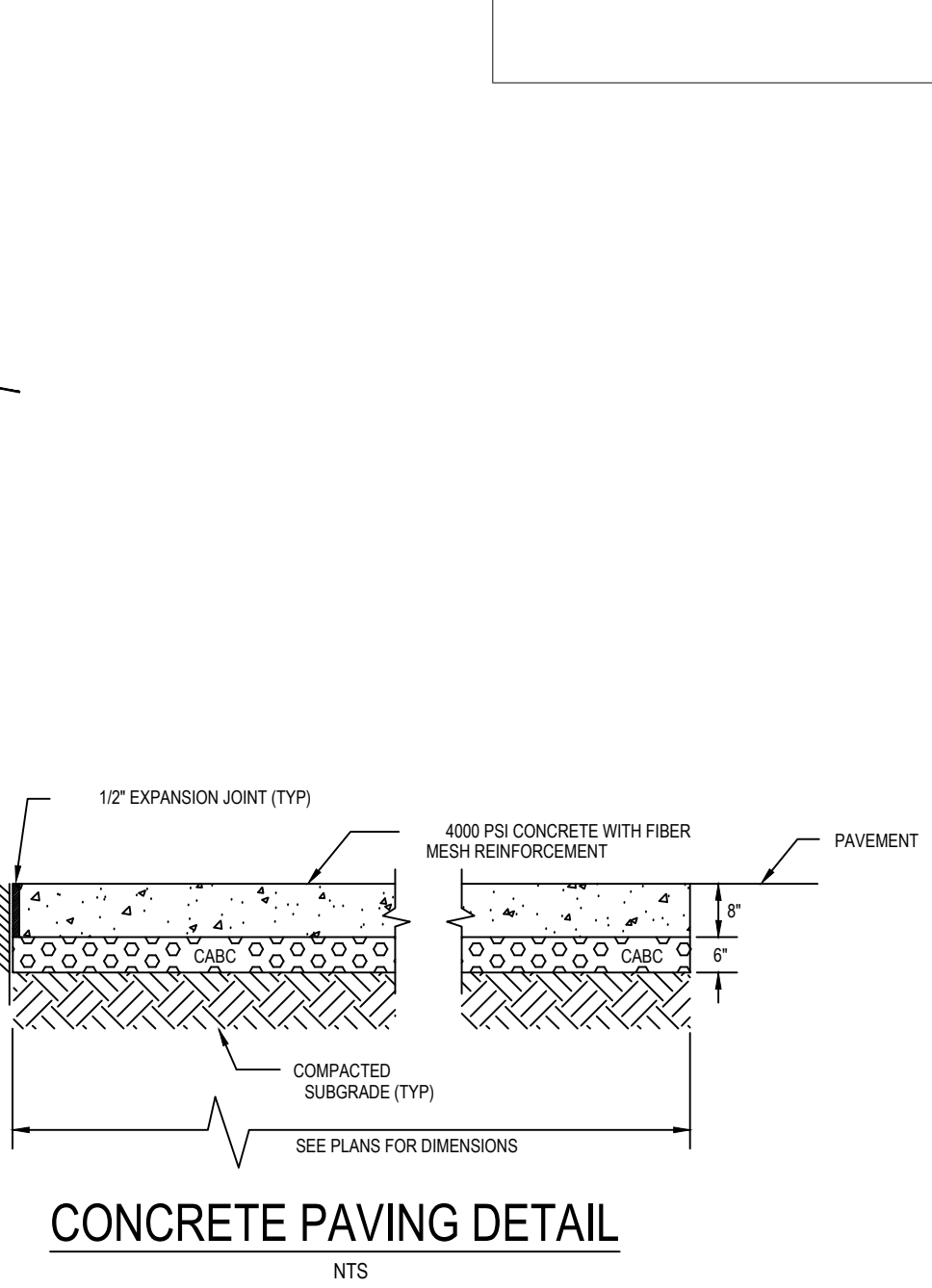
**CITY OF RALEIGH**  
STANDARD DETAIL  
**T-30.01.1**  
CONCRETE SIDEWALK



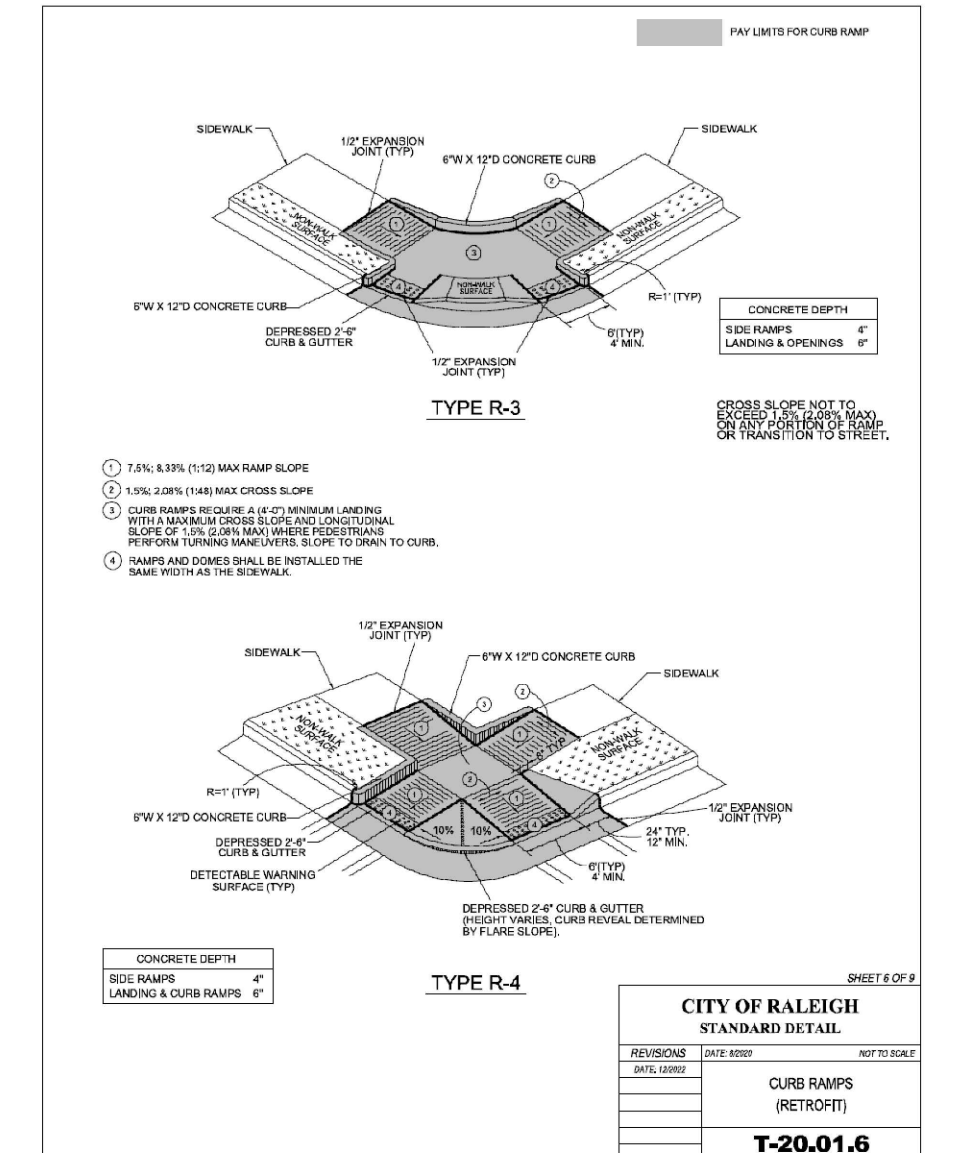
**DUMPSTER GATE**  
NTS



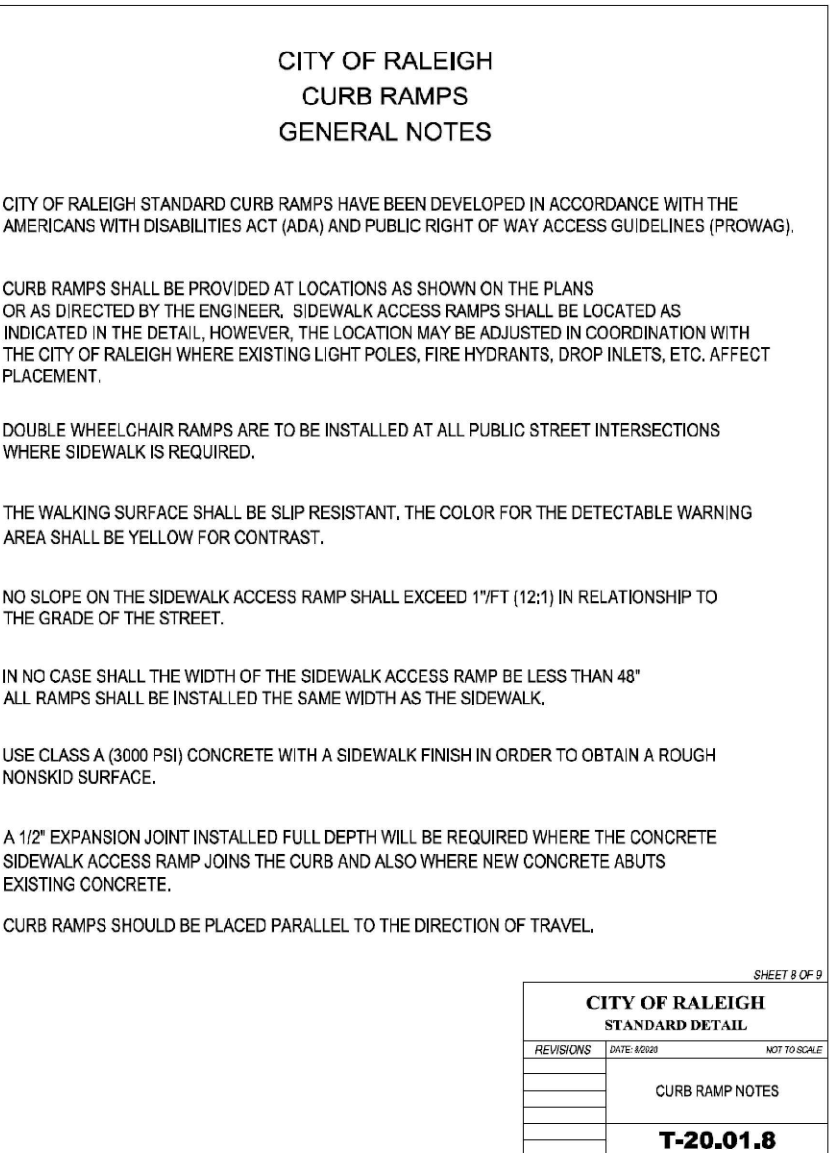
**TURNDOWN AT DUMPSTER PAD**  
NTS



**CONCRETE PAVING DETAIL**  
NTS



**CITY OF RALEIGH**  
STANDARD DETAIL  
**T-20.01.6**  
CURB RAMPS (RESTRICTED)



**CITY OF RALEIGH**  
STANDARD DETAIL  
**T-20.01.8**  
CURB RAMPS NOTES

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEEL-CHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT, THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1:12 (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ADJUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

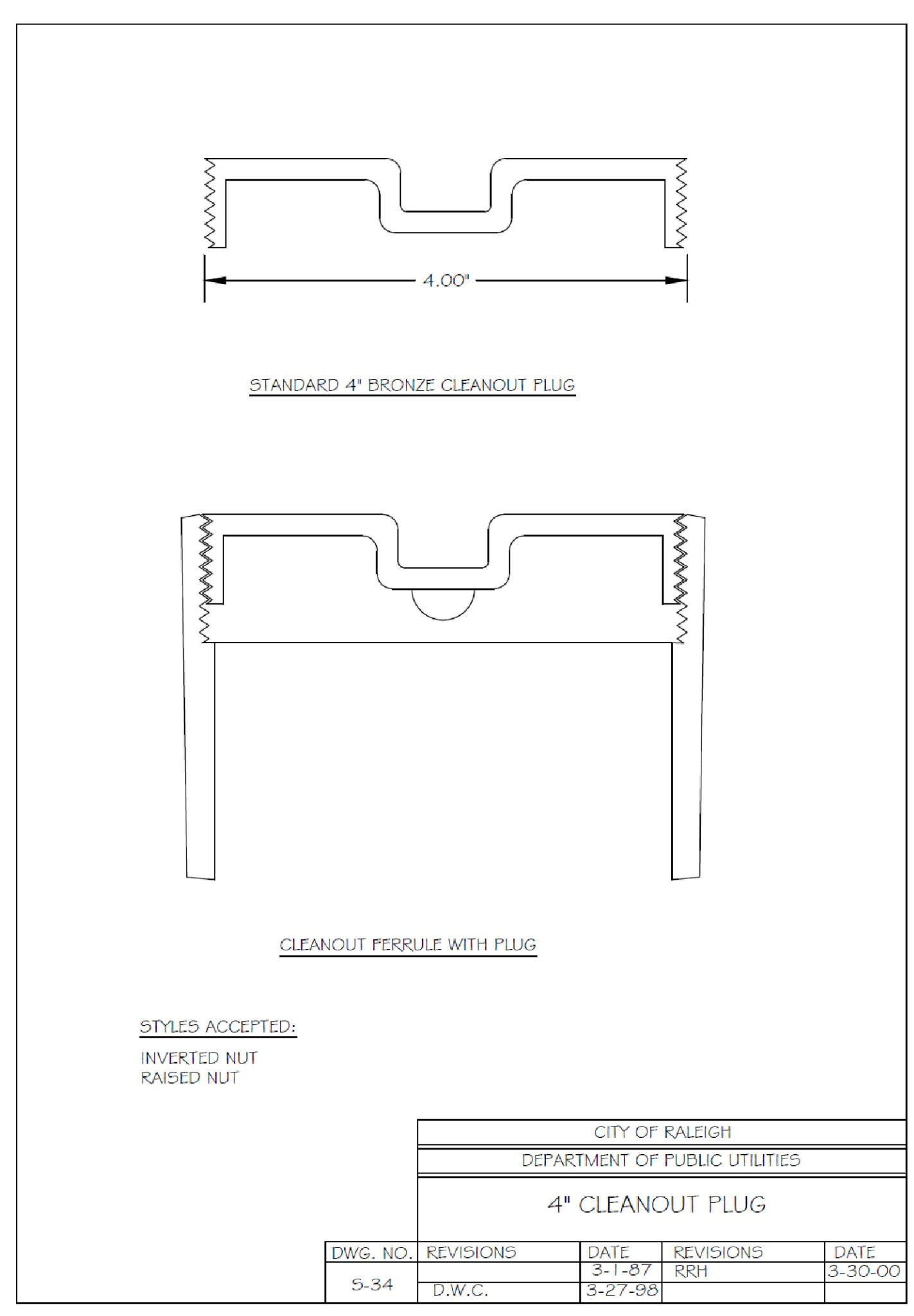
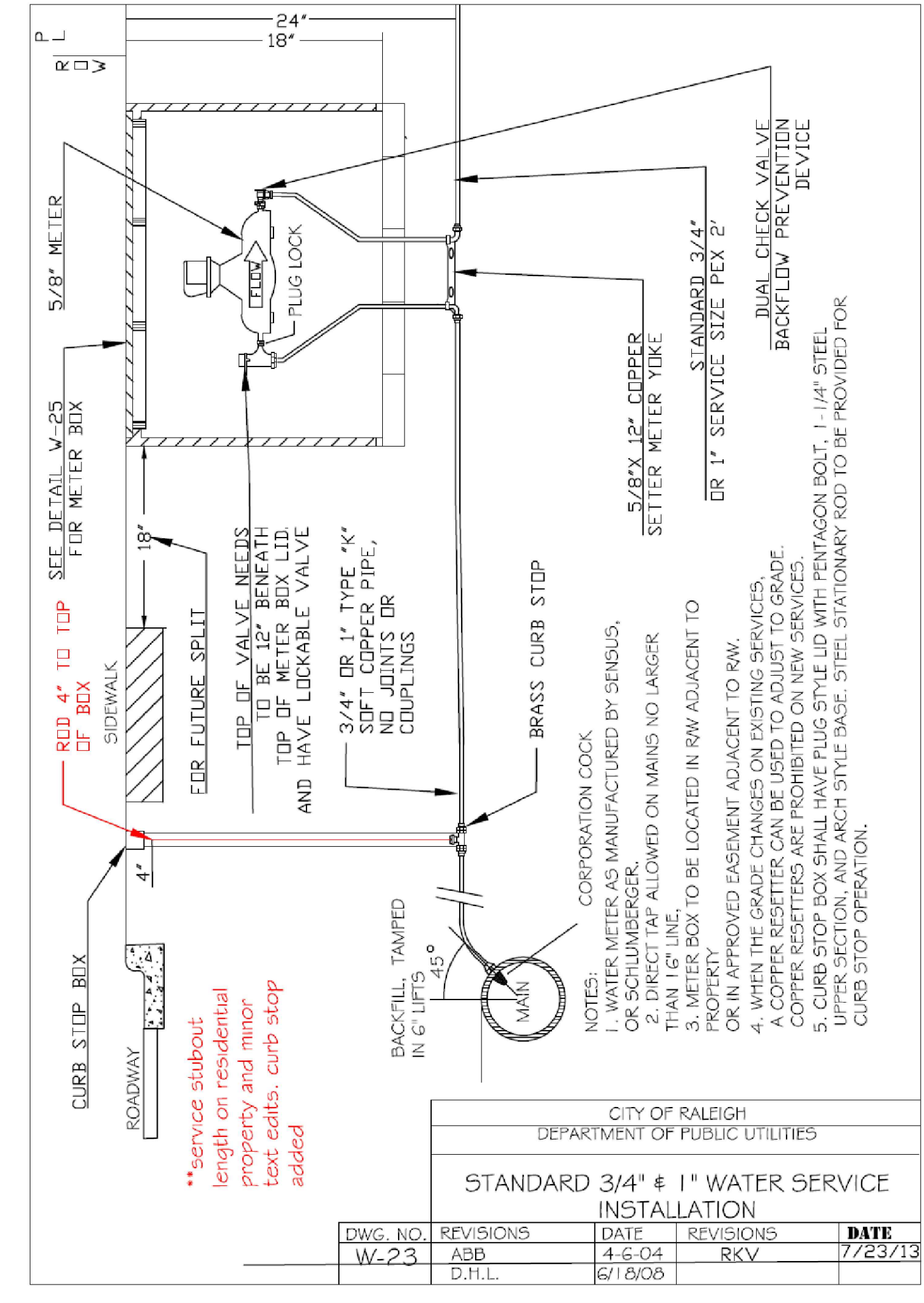
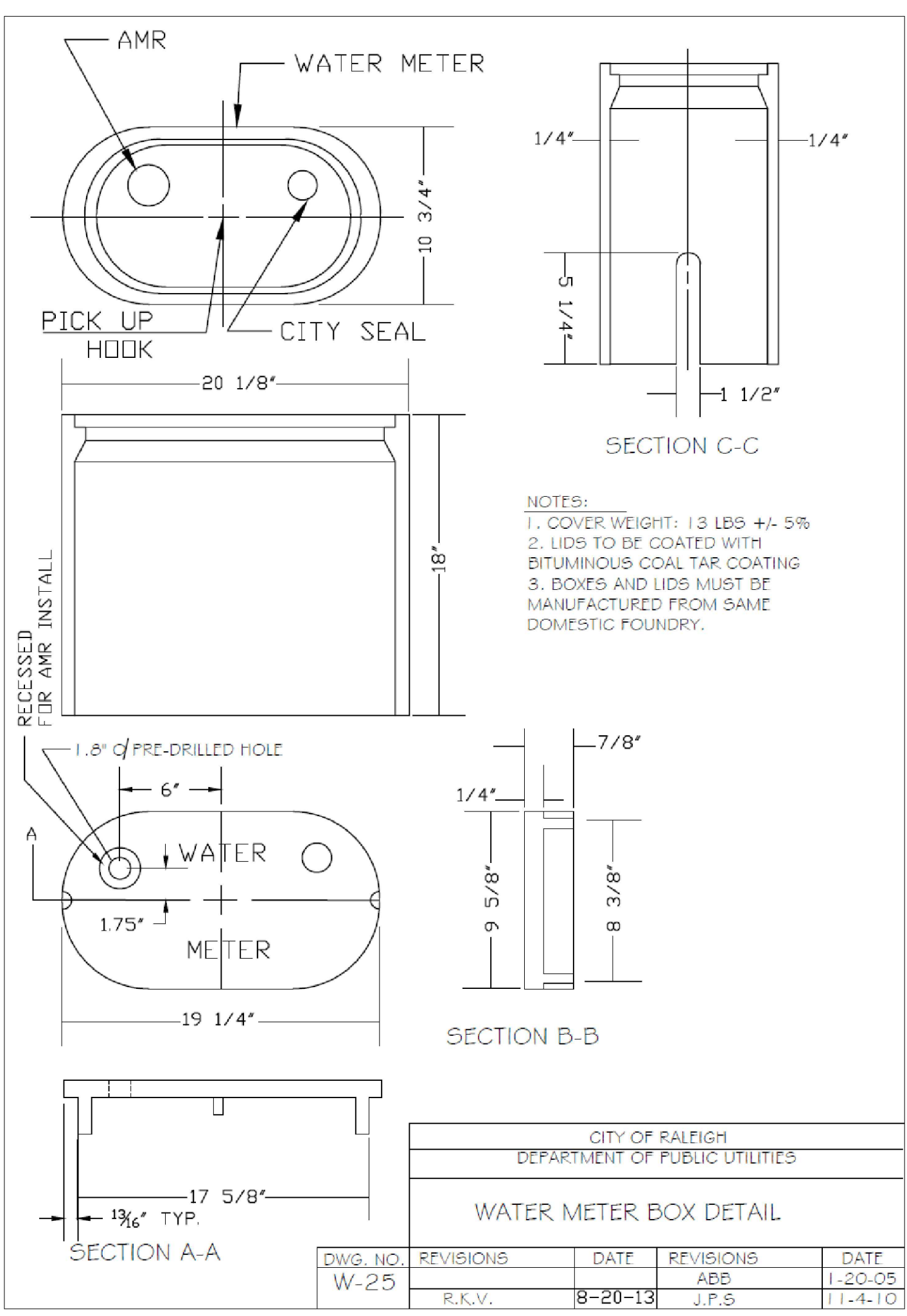
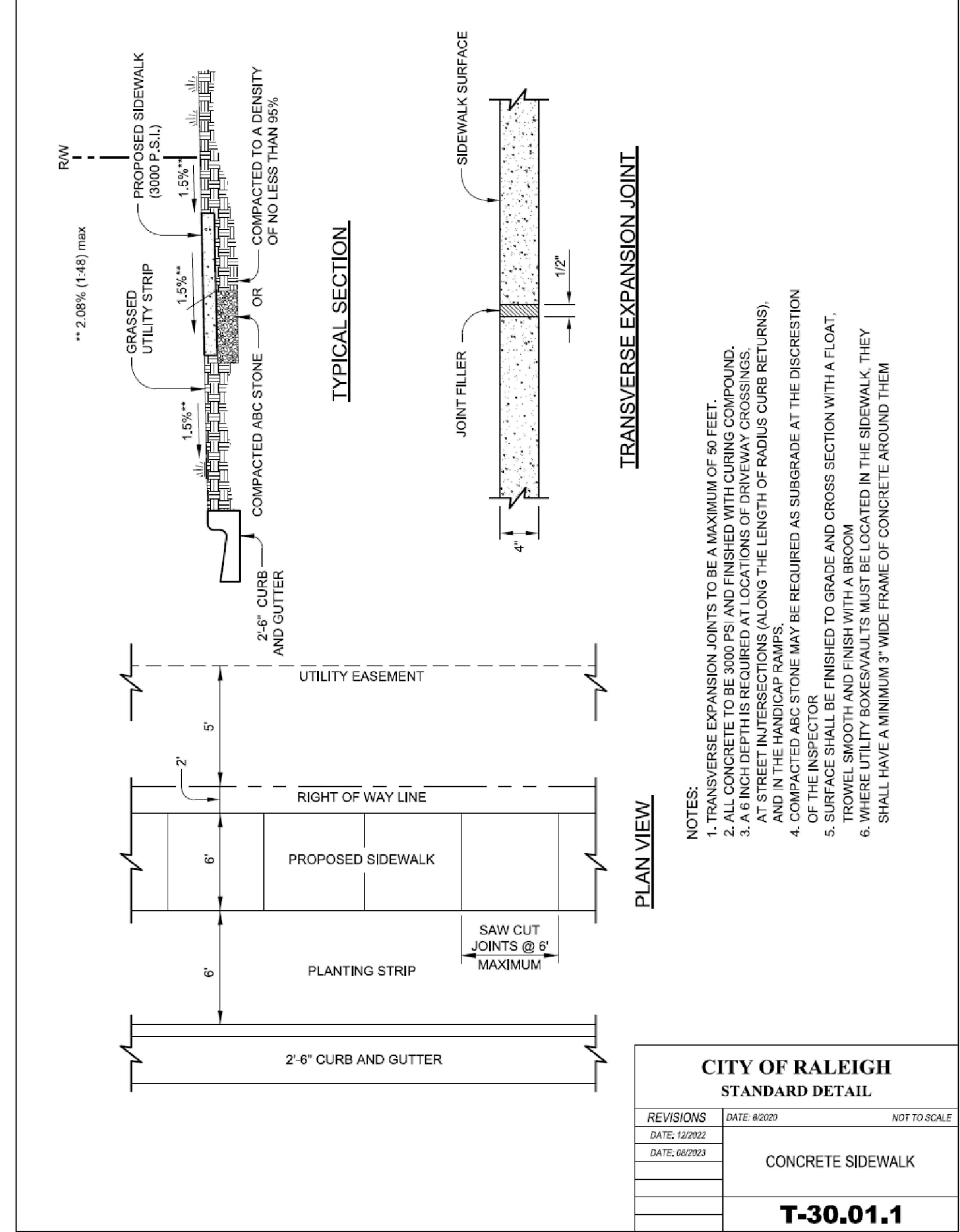
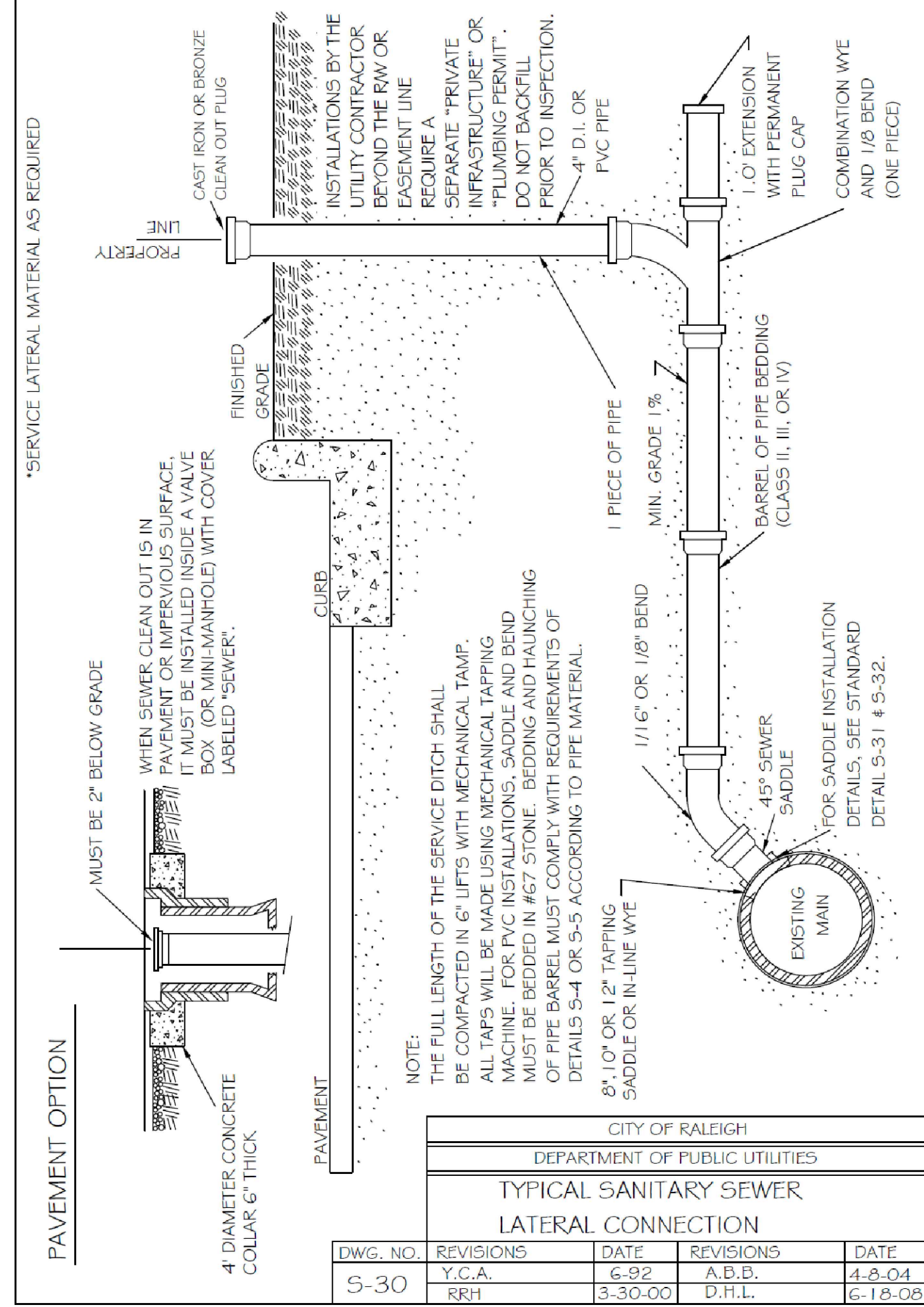
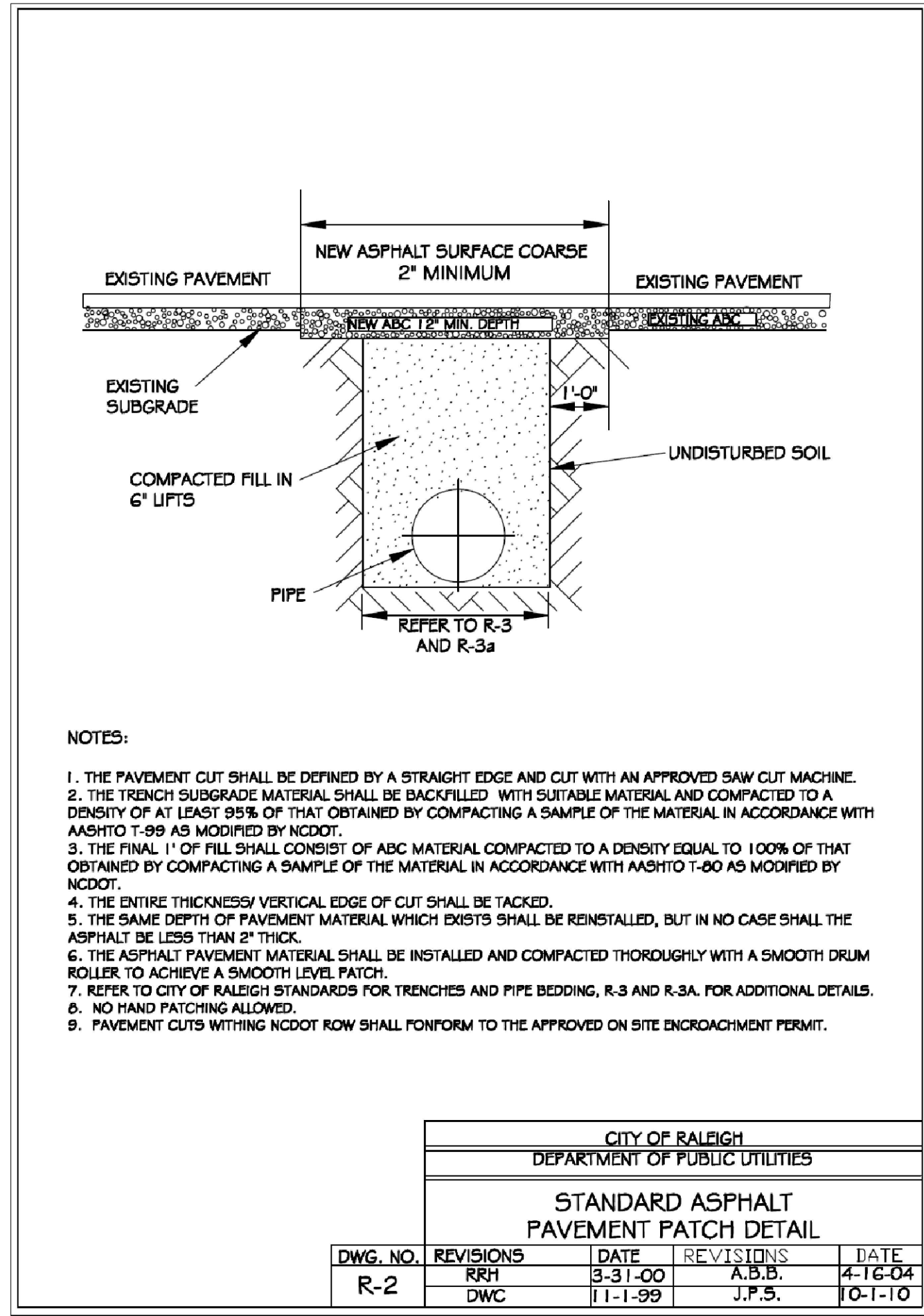
**Gettle Engineering and Design, PLLC**  
3616 Waxwing Court,  
Wake Forest, North Carolina 27587  
(919) 210-3934  
Firm License P-2538

NO.	DATE	COMMENT	BY
1			BY
2			BY
3			BY
4			BY
5			BY
6			BY
7			BY
NO.	DATE	REVISION/DESCRIPTION	BY

**Standard Site Details**  
**Memory Lane Office**  
5103 Memory Road  
Raleigh, Wake County, North Carolina

Project No. 24006  
Dwg No. **D1**





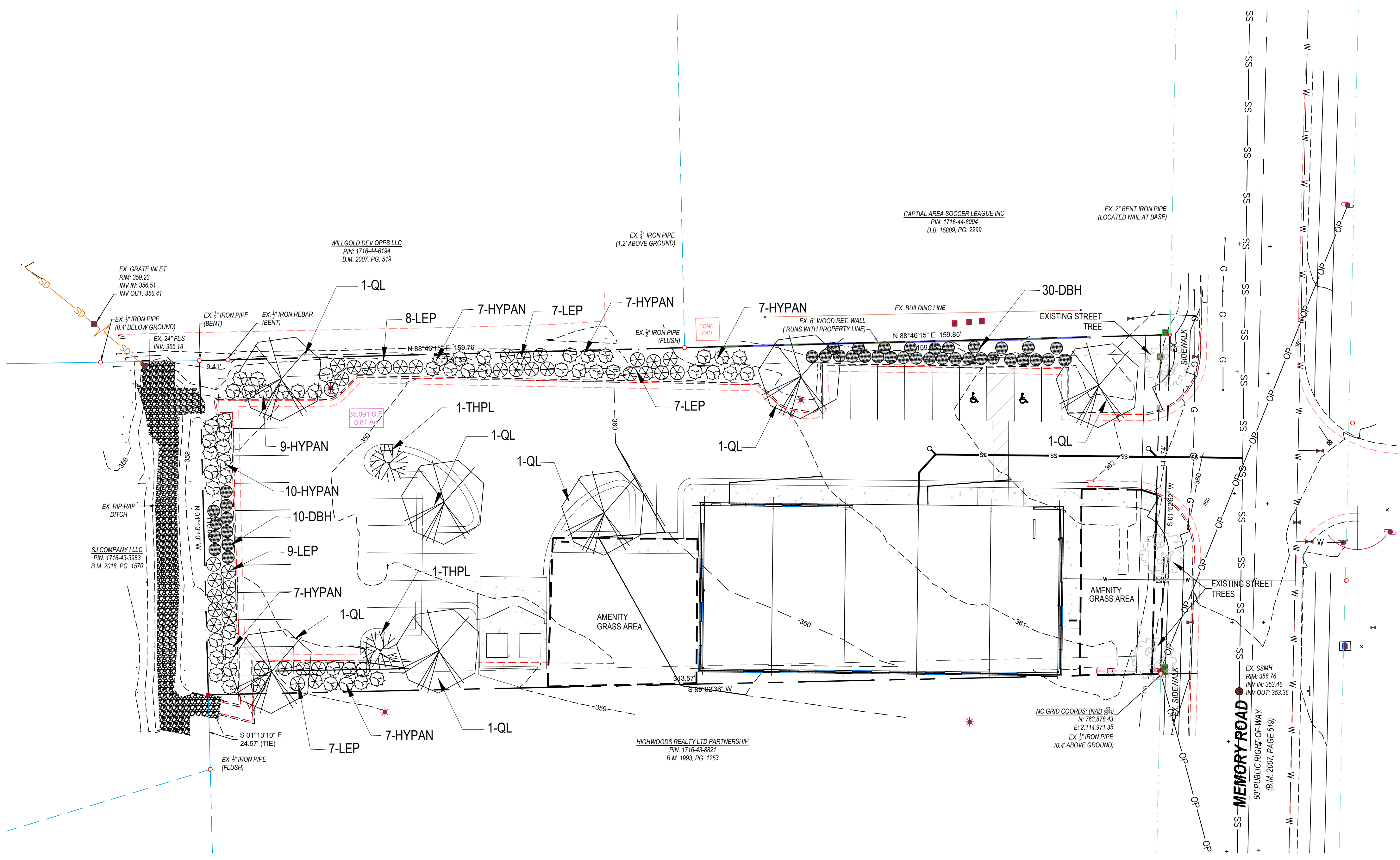
**Gettle Engineering and Design, PLLC**  
 3616 Waxwing Court,  
 Wake Forest, North Carolina 27587  
 (919) 210-3934 Firm License P-2538

NO.	DATE	REVISION DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
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**Water and Sanitary Sewer Details**  
**Memory Lane Office**  
 5103 Memory Road  
 Raleigh, Wake County, North Carolina

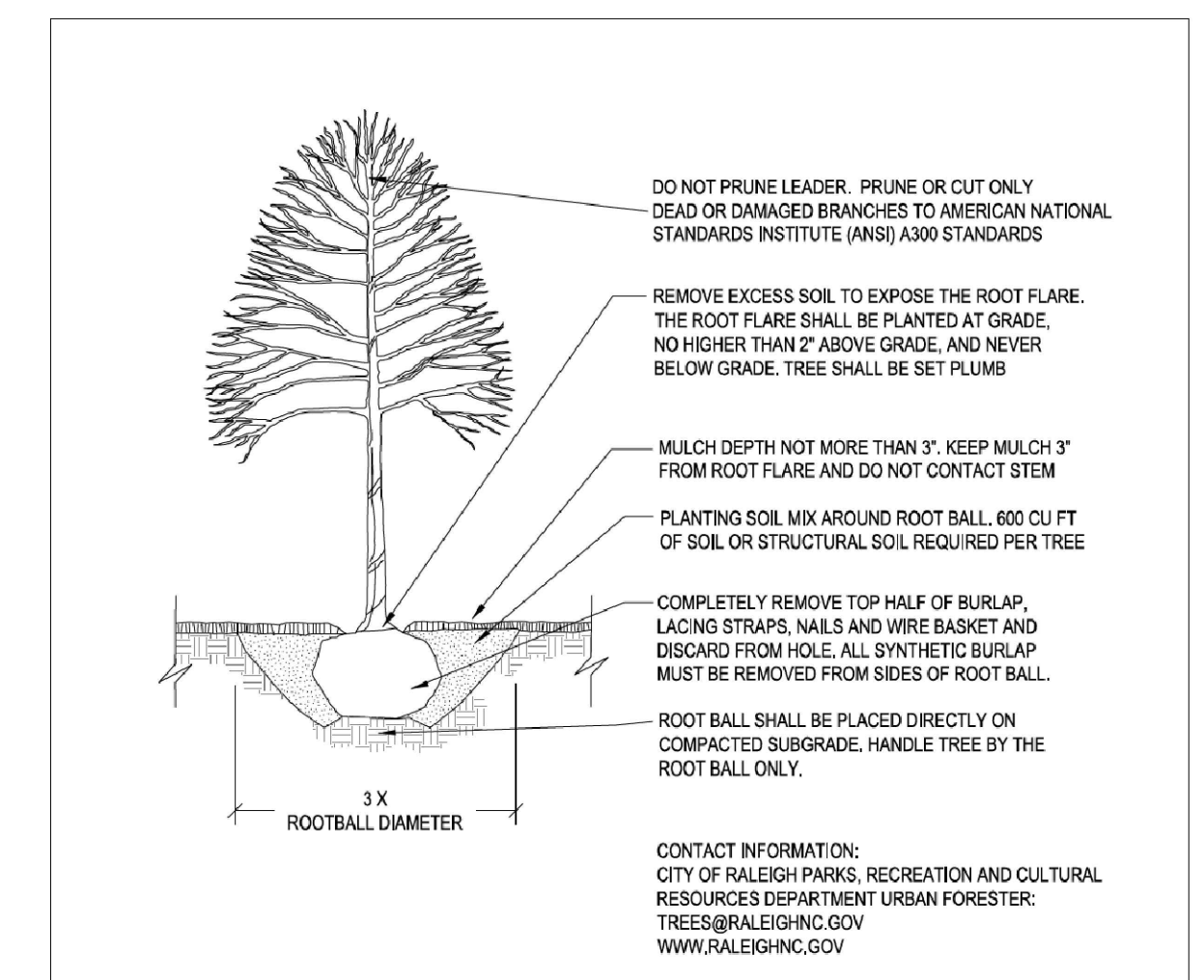
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 Dwg No. **D2**





**LANDSCAPE NOTES:**

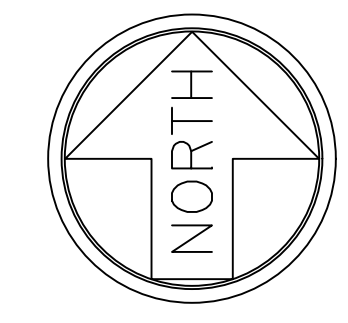
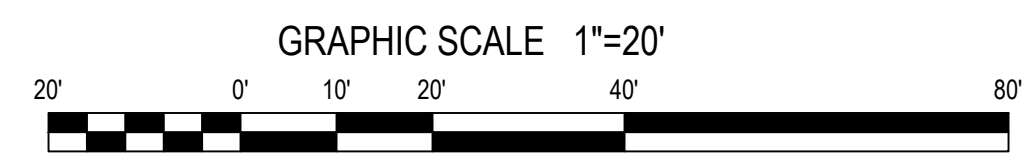
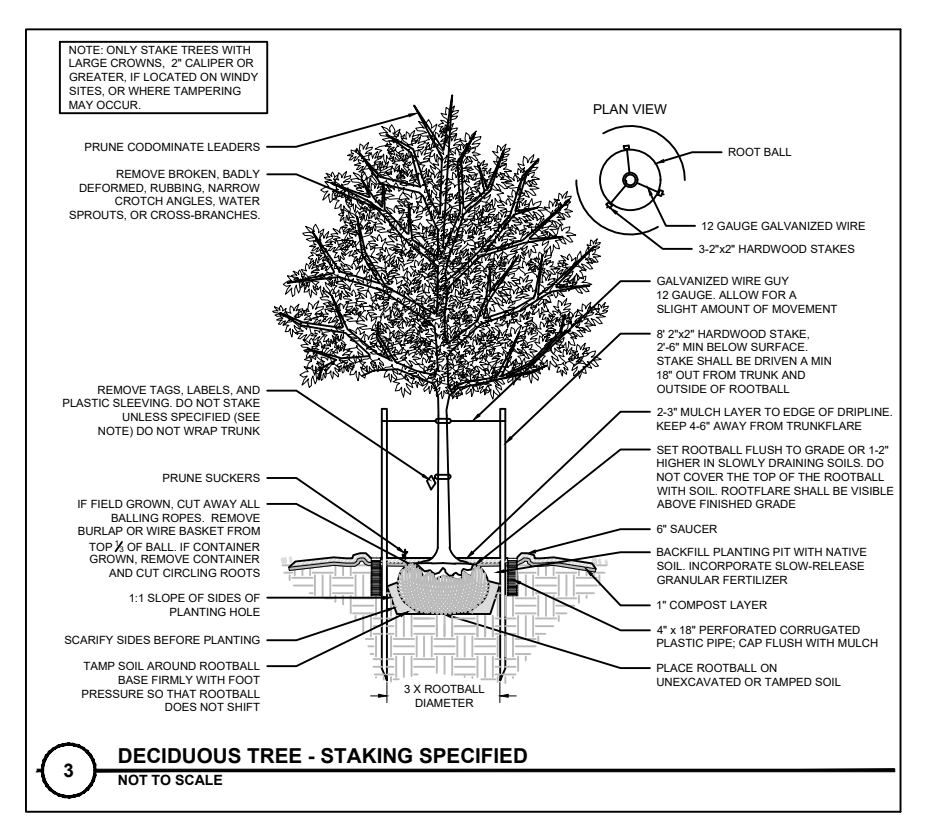
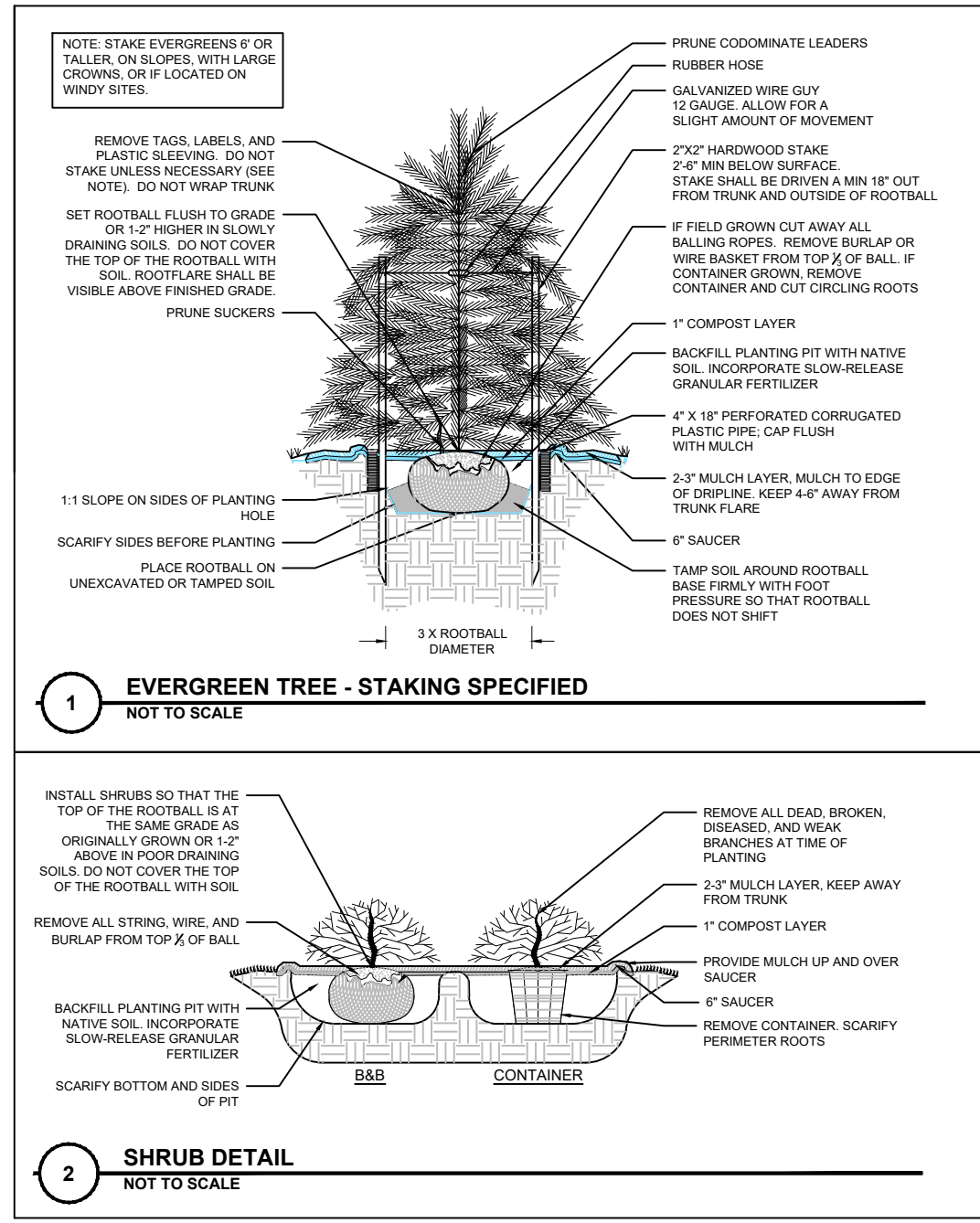
1. LSI IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION RELATING TO GRADING, REFER TO GRADING PLAN.
2. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
3. ALL PLANTS AND PLANTING PROCEDURES SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN LATEST EDITION.
4. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
5. ALL TREES AND SHRUBS SHALL BE FULL WELL BRANCHED PLANTS WHICH ARE CHARACTERISTIC OF THE SPECIES.
6. ALL PERMANENT GRASS IS TO BE BERMUUDA.
7. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
8. REMOVE ALL STRING AND WIRE FROM BASE OF ALL PLANT MATERIAL.
9. MULCH ALL BEDS WITH 3" OF HARDWOOD MULCH, UNLESS OTHERWISE NOTED.
10. IF SHRUB PLANTING BEDS DO NOT HAVE A MIN. 6" TOPSOIL THEN AMENDED WITH 3" PINE PARK TILLED INTO THE SOIL TO A DEPTH OF 8".
11. ALL AREAS NOT COVERED WITH PAVING, GRAVEL, BUILDINGS OR PLANTING BEDS SHALL BE SEEDED AS SHOWN IN THE SEEDBED PREP. AND SEEDING SCHEDULE.
12. LAWN AREAS SHALL BE RAKED TO REMOVE ROCKS, STICKS, ROOTS AND OTHER TRASH AND DEBRIS AND SHALL BE SMOOTH FOR EASE OF MOWING.
13. ALL PLANTINGS OF TREES AND SHRUBS SHALL BE A MINIMUM 4' FROM EDGE OF PARKING SPACES.



- NOTES:**
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

NO.	DATE	REVISION DESCRIPTION
1		
2		
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PLANT LIST - PARKING LOT					
STREET	KEY	BOTANICAL NAME	COMMON NAME	CALIPER / HT	QUAN.
	QL	OVERCUP OAK	Quercus lyrata	2.5"	7
	THPL	NATCHES CREPE MYRTLE	Lag. Indica 'Natchez'	2.5"	2
	DBH	Dwarf Burford Holly	Ilex comuta 'Bufordii Nana'	36"	40
	HYPAN	LITTLE LIME HYDRANGEA	Hydrangea paniculata 'Littel Lime'	36" HT	54
	LEP	PURPLE DIAMOND LOROPETAIUM	Lorepetalum ch. purple Diamond	36" HT	38



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**Landscape Plan**  
Memory Lane Office  
5103 Memory Road  
Raleigh, Wake County, North Carolina

Project No. 24006  
Dwg No. **LS1**







Approval Only  
not for construction

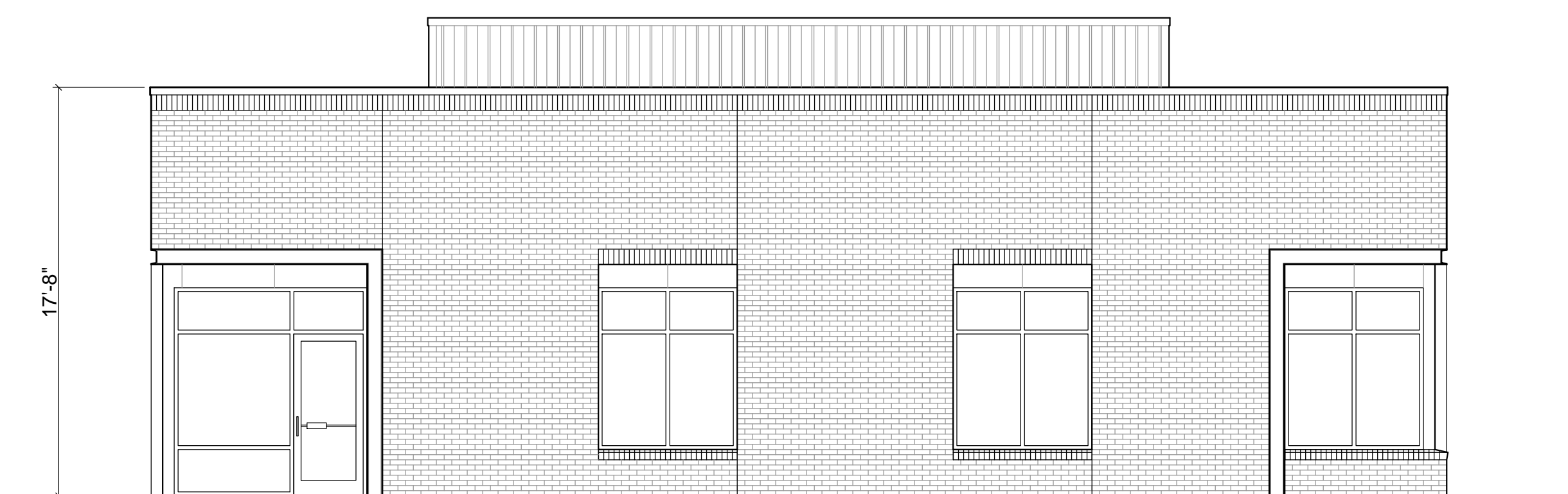


**04 South (Rear) Elevation** Scale: 3/16" = 1'-0"

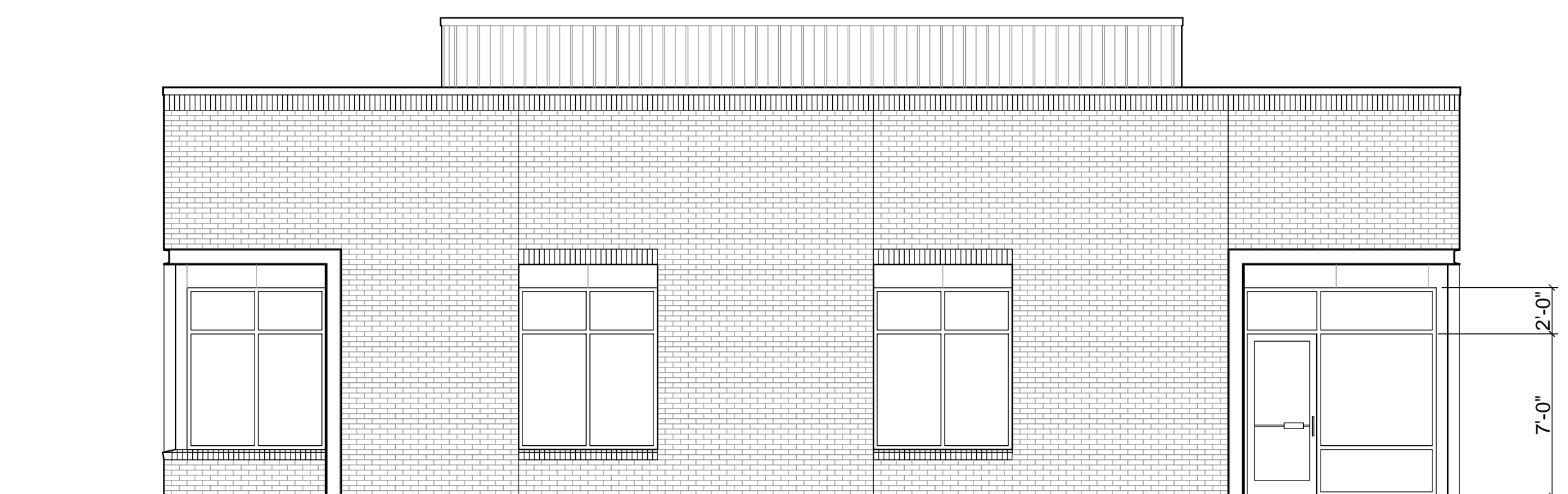


**02 North Elevation** Scale: 3/16" = 1'-0"

# Scheme Two



**03 West Elevation** Scale: 3/16" = 1'-0"



**01 Street Side Elevation - End** Scale: 3/16" = 1'-0"

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 Revision Date: \_\_\_\_\_  
 Issue Date: 4 September 2024

**Memory Road Commercial Building**  
 5013 Memory Road  
 Raleigh, North Carolina 27609

**Perry Cox architect, p.a.**  
 207 Hudson Avenue  
 Carolina 27609  
 919.883.8411 www.perrycox.com

**Building Elevations**  
**A1**

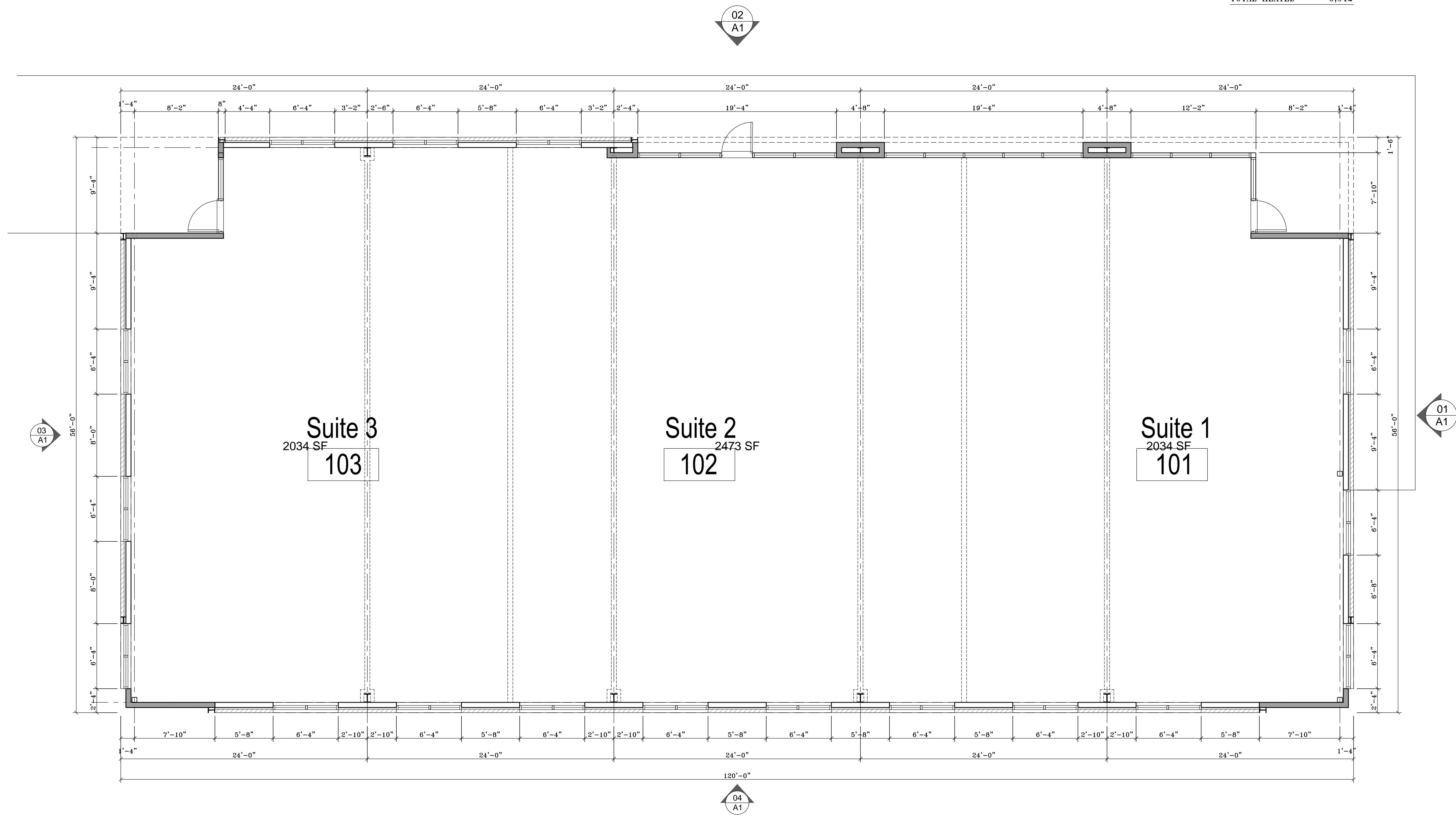


22-DP-10573

Approval Only  
not for construction

Area Data

NET RENTABLE	6,720
TOTAL HEATED	6,542



01 Building Floor Plan

Scale: 3/16" = 1'-0"

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Perry Cox architect, p.a.  
207 Hudson Avenue  
Carolina 27609  
919.983.6411 www.perrycox.com

Memory Road Commercial Building

5013 Memory Road  
Raleigh, North Carolina 27609

Revision Date: 4 September 2024  
Issue Date:

Materials & Composition

A2