

Administrative Approval Action

Case File / Name: ASR-0065-2024
DSLCL - Memory Road - Office Building

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 0.81 acre site zoned OX-3-PL is located on the west side of Memory Road south of the intersection of Memory Road and E. Millbrook Road at 5013 Memory Road. A parking lot is on the site currently.
- REQUEST:** This is a proposed 6,720 square foot, one story office building with associated parking and infrastructure.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 3, 2025 by Gettle Engineering and Design PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

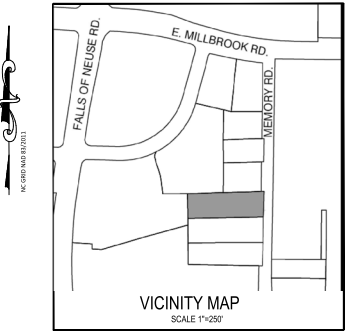
The following items must be approved prior to the issuance of building permits:

General

1. As the proposed building is located adjacent the south property line with a 0' (zero foot) setback shown, that side of the proposed building particularly is subject to further examination for building code compliance with regard to required fire protections.

Stormwater

2. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)



Administrative Site Plan Memory Road - Office Building

City of Raleigh
Wake County, North Carolina

ASR- 0065-2024

Administrative Site Review Application

Planning and Development Customer Service Center | One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2600

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.6 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, the Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Trip House <input type="checkbox"/> Open lot	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Trip House <input type="checkbox"/> Development Office

GENERAL INFORMATION

Development name: Memory Road - Office Building

Is this a City project? Yes No

Property address(es): 5013 Memory Road

Site P.I.N. (s): 1716-43-8912

Please describe the scope of work. Include any additions, expansions, and uses (UDO § 10.4).

Construct a 6000 (+/-) sq ft office building on an existing parking lot.

Current Property Owner(s): John Heidel

Company: Heider Holding Company

Address: 130 Dartmouth Road, Raleigh NC 27609

Phone #: 919-760-9340

Email: johnheidi@gmail.com

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: Gettle Engineering / Design | Address: 3616 Waxwing Ct., Wake Forest NC

RIGHT-OF-WAY OBSTRUCTION NOTES:

- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES".
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION OF THE NCDOT STANDARD SPECIFICATION FOR ROADWAY STRUCTURES', NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SOLID WASTE COMPLIANCE STATEMENT:

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

Phone #: 919-210-3934 | Email: Kpgettle@gmail.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Stephen Dunn

Company: Five Talents Investments LLC | Title: Member / Manager

Address: Raleigh, NC

Phone #: 919-810-6321 | Email: Sdunn@fivetalentsinvestments.com

Applicant Name: Keith Gettle, PE

Company: Gettle Engineering | Address: 3616 Waxwing Ct., Wake Forest NC

Phone #: 919-210-3934 | Email: Kpgettle@gmail.com

DEVELOPMENT TYPE - SITE DATE TABLE	
(Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
0	0
Gross site acreage:	Existing gross floor area to be demolished:
0	0
# of parking spaces proposed: 29	New gross floor area: 6720 sq ft
Max # parking permitted (7.1.2.C): 34	Total of gross (to remain and new): 6720 sq ft
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO § 1.4): Parking Lot	Proposed # of stories for each: 1
Proposed use (UDO § 1.4): Office Building	Proposed # of basement levels (UDO 1.5.7.A.6): 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sf): 25,884	Proposed total (sf): 24,823
Existing (sf): 25,884	Proposed total (sf): 24,823

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 0	Total # of hotel bedrooms:
# of bedroom units: 1br 2br 3br 4br or more	0
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A required transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Adding as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

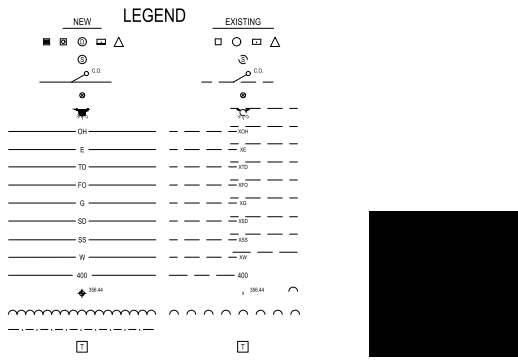
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(b).

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Keith Gettle* | Date: 7/11/24
 Printed Name: KEITH GETTLE | Date: 7/11/24
 Signature: *Stephen Dunn* | Date: 7/11/24
 Printed Name: STEPHEN DUNN | Date: 7/11/24

SHEET	DESCRIPTION
C1	Cover Sheet
C2	Existing Conditions Survey
C3	Existing Conditions & Demolition Plan
C4	Site Plan
C5	Truck Turn and Fire Access Plan
D1	Grading Plan
D2	Utility Plan
LS1	Standard Site Details
LS2	Water and Sanitary Sewer Details
SL1	Landscape Plan Landscape Details Site Lighting Plan Architectural

SITE DATA:	
SITE ADDRESS:	5013 MEMORY ROAD
PI#: 1716-43-8912	
SITE AREA (GROSS):	81 AC (26,091 SF)
ZONING DISTRICT:	OX-3-PL
FUTURE LAND USE:	COMMERCIAL/ OFFICE
IMPERVIOUS EXISTING:	0.61 ACRES (26,664 SF)
IMPERVIOUS PROPOSED:	0.56 ACRES (24,823 SF)
IMPERVIOUS PERCENT PROPOSED (%):	70%
WATERSHED:	CRABTREE CREEK
HUC:	030200108
LATITUDE:	35.848373
LONGITUDE:	-78.612689
AMENITY AREA RECD:	10% x 35,091 SF = 3509 SF (10%)
AMENITY AREA PROVIDED:	3692 SF (10.5%)
BUILDING SETBACKS:	3' (FRONT) 0 OR 8' (SIDE) 0 OR 8' (REAR)
BUILDING COMMERCIAL (SF):	6720
BUILDING HEIGHT (MAX):	7 STORES (80')
BUILDING HEIGHT (PROVIDED):	1 STORY (17'-8")
PARKING SUMMARY:	17 (FRONT) 0 OR 3 (SIDE) 0 OR 3 (REAR)
PARKING SETBACKS:	6720 / 200 = 34 SPACES 29 SPACES 1 PER 10,000 SF (MIN 4) 1 PER 5,000 SF (MIN 4) 4
COMMERCIAL MAX 1 SPACE / 200 SF PARKING PROVIDED:	50%
BKE PARKING (SHORT TERM RECD):	50.01%
BKE PARKING (LONG TERM RECD):	
BKE PARKING (PROVIDED):	
FRONTAGE (PL) BUILDING FACADE (MAX):	50%
FRONTAGE (PL) BUILDING FACADE (PROVIDED):	50.01%
BUILDING WIDTH IN PRIMARY BUILD TO CALCULATIONS:	
LOT FRONTAGE: 111.7'	
BUILDING FRONTAGE: 56'	
REQUIRED (MIN): 50%	
PROVIDED: 56/111.7 = 50.01%	



- #### GENERAL NOTES
- BOUNDARY AND TOPO INFORMATION TAKEN FROM TAYLOR LAND CONSULTANTS, PLLC - SURVEYING, TITLED BOUNDARY / TOPOGRAPHIC SURVEY, DATED OCTOBER 6, 2023.
 - CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES & SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.
 - ALL CONSTRUCTION WILL BE IN STRICT CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - NO CHANGES MAY BE MADE TO THE APPROVED DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ISSUING AUTHORITY.

PROJECT INFORMATION:

PROJECT:	MEMORY ROAD - OFFICE BUILDING
DEVELOPER:	FIVE TALENTS INVESTMENTS, LLC RALEIGH, NC (919) 810-6321
PHONE:	STEPHEN DUNN SDUNN@FIVETALENTSINVESTMENTS.COM
CONTACT:	
EMAIL:	
ENGINEER:	KEITH P. GETTLE, PE GETTLE ENGINEERING AND DESIGN, PLLC 3616 WAXWING CT. WAKE FOREST, NC 27687 (919) 210-3934 KPGETTLE@GMAIL.COM
PHONE:	
EMAIL:	
SURVEYOR:	TAYLOR LAND CONSULTANTS, PLLC 1600 OLIVE CHAPEL RD. #140 APEX, NORTH CAROLINA 27502 (919) 801-1104
PHONE:	
PROJECT ADDRESS:	5013 MEMORY ROAD, RALEIGH NC
PI#:	1758784708
ZONING:	OX-3-PL
EXIST USE:	PARKING LOT
OVERLAY:	NONE
FLOOD ZONE:	NO FLOOD HAZARDOUS AREAS PER FEMA FIRM

December 3, 2024

Mr. Stephen Dunn
Ever Building Company
900 Ragsdale Dr SE
Raleigh, NC 27609

RE: Will Serve Letter, Memory Road Commercial Building ASR-0065-2024

Mr. Dunn -

Forever Clean has reviewed the site plans for the Memory Road facility referenced above. We confirm that the plans are adequate for dumpster placement and access for our garbage trucks to safely provide garbage removal service. Upon review of the site plans, Forever Clean WILL serve the garbage removal needs.

Please let me know if you need further assistance.

Regards,
John Heider
 The Heider Sales Director

Gettle Engineering and Design, PLLC
3616 Waxwing Court,
Wake Forest, North Carolina 27587
(919) 210-3934 Firm License P-2538

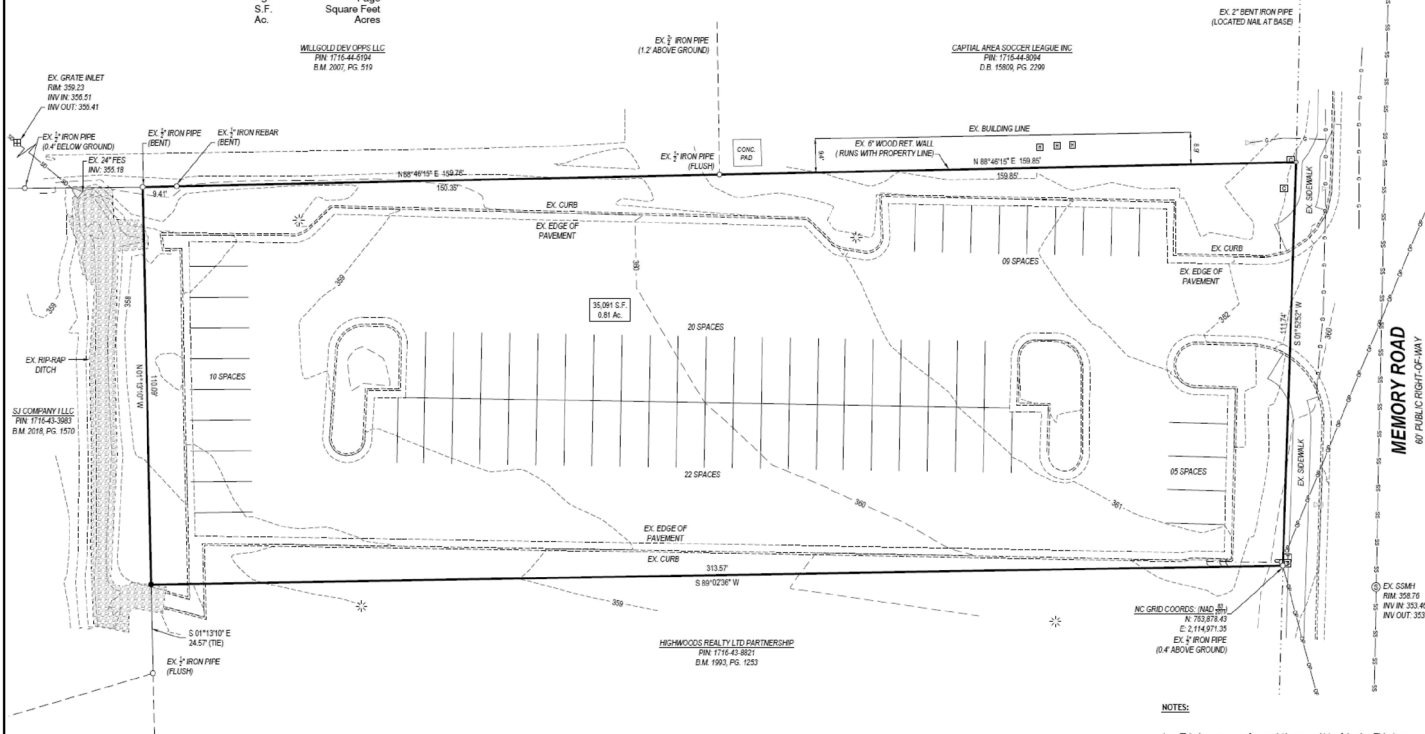




- LEGEND:**
- Ex. property corner
 - Set property corner
 - Calculated point
 - Water Meter
 - Sanitary Sewer Cleanout
 - Power Pole
 - Power Pedestal
 - Telephone Pedestal
 - Cable Pedestal
 - HVAC
 - Light Pole
 - Gas Valve
 - Fence
 - Water
 - Sanitary sewer pipe
 - Storm drain pipe
 - Overhead power
 - Gas Line
 - B.M.
 - Deed Book
 - Pg.
 - S.F.
 - Square Feet
 - Ac.

MILGOLD DEVELOPS LLC
 PIN 1715-44-5194
 B.M. 2007, PG. 519

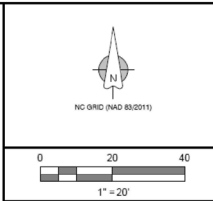
LOCATION MAP
 1" = 500'



SJ COMPANY (LLC)
 PIN 1774-43-3187
 B.M. 2016, PG. 1510

HIGHMOODE REALTY LTD PARTNERSHIP
 PIN 1776-43-8821
 B.M. 1993, PG. 123

SITE DATA	
CURRENT OWNER	AUSTIN FAMILY PROPERTIES LLC
SITE ADDRESS	5013 MEMORY RD.
PIN	1716-43-8912
DEED REFERENCE	D.B. 11722, PG. 1424
PLAT REFERENCE	B.M. 1953, PG. 37
LOT SIZE	35,091 (0.81 Acres)
ZONING	OX-3

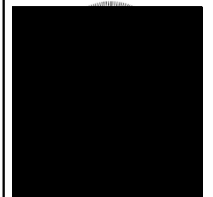


BOUNDARY & TOPOGRAPHIC SURVEY
 5013 MEMORY RD.
 RALEIGH, NC 27609-5410

CLIENT/OWNER
AUSTIN FAMILY PROPERTIES
 P.O. BOX 19689
 RALEIGH, NC 27619-9689

DATE		
DATE	SEPTEMBER 19, 2023	
REVISIONS		
NO.	DATE	DESCRIPTION

I, Jeremy Taylor, certify that this plat was drawn under my supervision from an actual survey made under my supervision (detailed description recorded in Books referenced); that the boundaries not surveyed are indicated as drawn from information in Books referenced that the ratio of precision or positional accuracy exceeds 1:10,000; and that this map meets the requirements of The Standard of Practice for Land Surveying in North Carolina (21 N.C.A.C. 56.160). This 6th day of October, 2023.



TAYLOR
 LAND CONSULTANTS, PLLC
 License #P-05279
 1600 Olive Chapel Rd., #140 Apex, NC 27502 (919) 801-1104

SHEET TITLE
BOUNDARY/TOPOGRAPHIC SURVEY

SHEET NUMBER
C-1

Z:\Projects\Five Tables\Memory Ln\5013 - 23411\Draw\5013_Memory_Survey.dwg

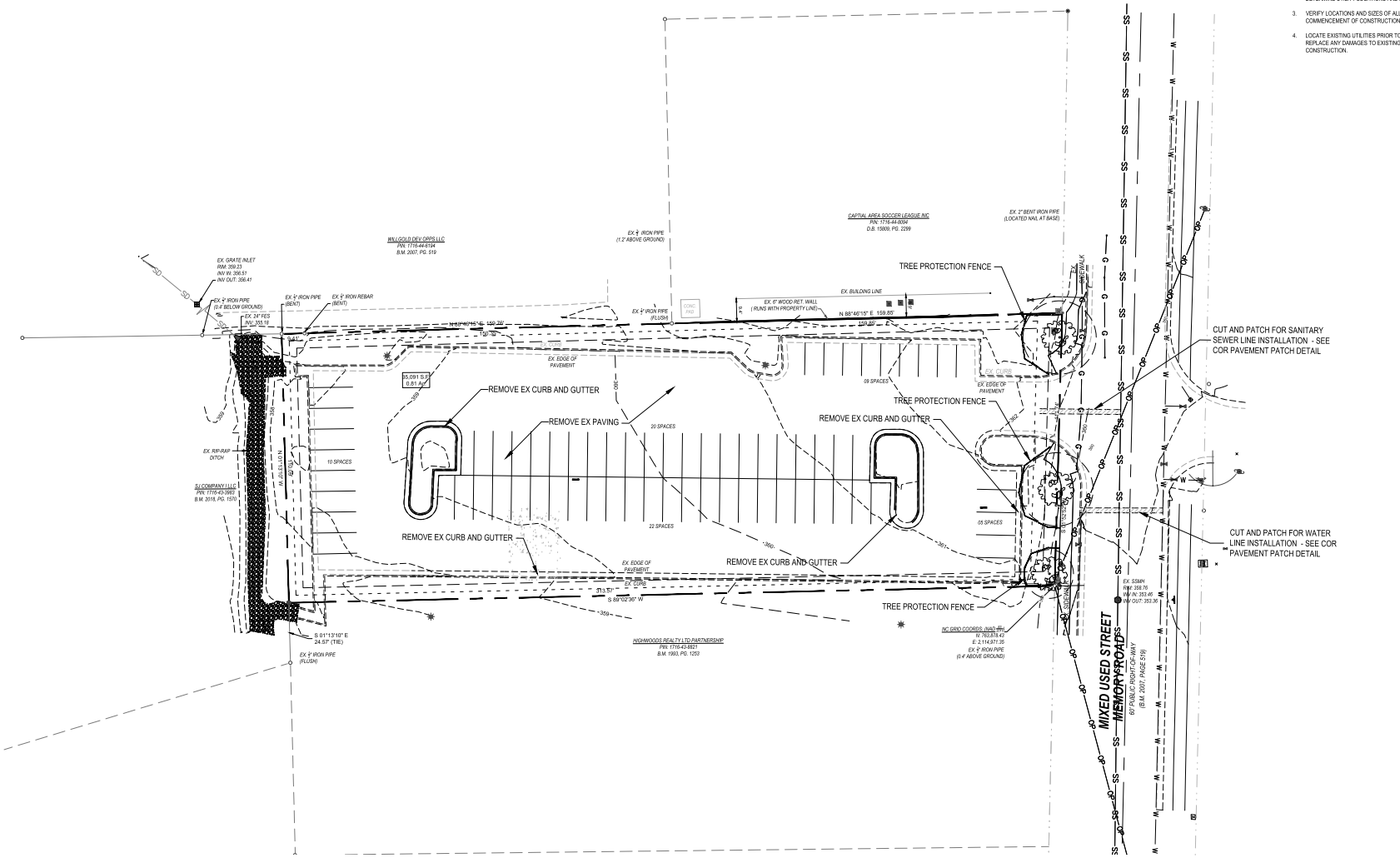
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NO.	DATE	BY	DESCRIPTION
1	DATE	COMMIT	
2	DATE	COMMIT	
3	DATE	COMMIT	
4	DATE	COMMIT	
5	DATE	COMMIT	
6	DATE	COMMIT	
7	DATE	COMMIT	

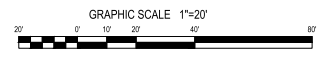
PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION

Existing Conditions Survey
 Memory Lane Office
 5103 Memory Road
 Raleigh, Wake County, North Carolina

Project No. 24006
 Dwg No.



- DEMOLITION NOTES
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
 - SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
 - VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND REPAIR OR REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.



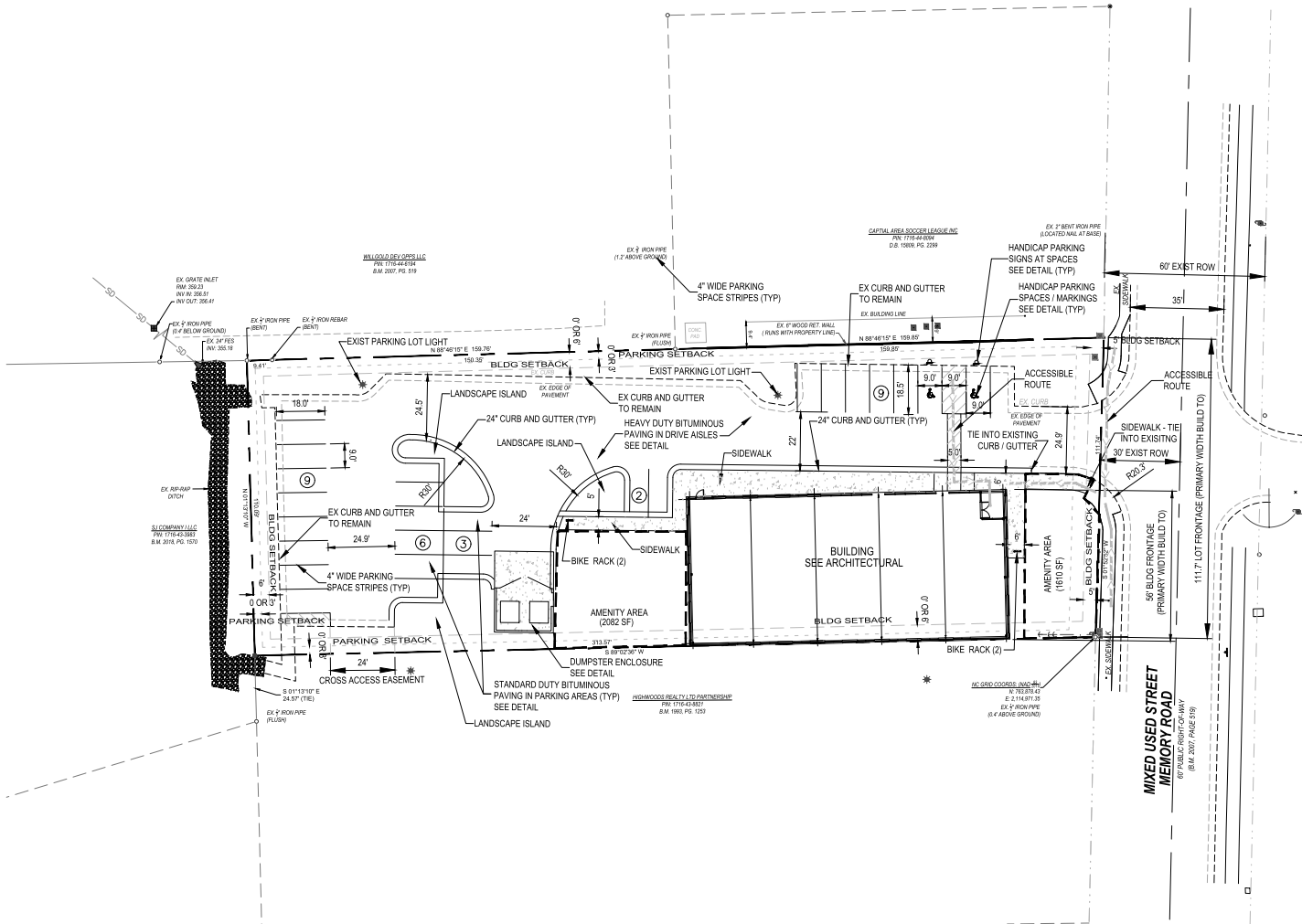
Gettle Engineering and Design, PLLC
 3616 Waxwing Court,
 Wake Forest, North Carolina 27587
 (919) 210-3934 Firm License P-2538

NO.	DATE	DESCRIPTION
1	12-22-2024	ISSUE FOR COMMENT
2	01-24-2025	ISSUE FOR COMMENT
3	02-11-2025	ISSUE FOR COMMENT
4	02-11-2025	ISSUE FOR COMMENT
5	02-11-2025	ISSUE FOR COMMENT
6	02-11-2025	ISSUE FOR COMMENT
7	02-11-2025	ISSUE FOR COMMENT
8	02-11-2025	ISSUE FOR COMMENT
9	02-11-2025	ISSUE FOR COMMENT
10	02-11-2025	ISSUE FOR COMMENT

Existing Conditions / Demolition Plan
 Memory Lane Office
 5103 Memory Road
 Raleigh, Wake County, North Carolina

Project No. 24006
 Dwg No.

C1



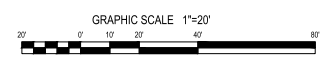
SITE NOTES

- WHERE NEW CURB AND GUTTER IS INSTALLED IN A PUBLIC STREET RIGHT-OF-WAY, USE 3" CURB AND GUTTER. IN OTHER LOCATIONS, USE 4" CURB AND GUTTER.
- ALL CURB DIMENSIONS ARE MEASURED TO BACK OF CURB, AND ALL CURB RACK ARE 3 FEET, UNLESS INDICATED OTHERWISE.
- USE REVERSE SLOPE CURB AND GUTTER WHERE ADJACENT PAVEMENT SLOPES AWAY FROM CURB AND STANDING WATER CURB AND GUTTER ELEVATIONS, UNLESS OTHERWISE NOTED. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL GUTTERS.
- ALL SITE CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE INDICATED.
- ALL WALK AND PAVING WORK SHALL COMPLY WITH LOCAL STANDARDS. INDICATED PAVEMENT THICKNESSES REFER TO CONTRACTOR THICKNESSES.
- INSTALL ALL FURNISHMENTS ON POSITIVE SURFACE DRAINAGE.
- ALL HANDICAPPED PARKING SPACES, ADAIS, SHARPS, SEWAGE, PAYMENT MARKINGS, CROSSWALKS, AND ACCESSIBLE ROUTES SHALL MEET APPLICABLE REQUIREMENTS OF THE NORTH CAROLINA ACCESSIBILITY CODE.
- ALL HANDICAP ACCESSIBLE PARKING SPACES SHALL HAVE AN RPA AND RT-RD SIGN. ALL SIGNS FOR VAN ACCESSIBLE SPACES SHALL ALSO INCLUDE A VAN ACCESSIBLE SIGN.
- CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, THE U.S. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT SPECIFIC SAFETY CONSIDERATIONS.
- SEWER TO EXISTING FURNISHMENTS, CURBS, MANHOLS, ETC. SHALL BE MADE WITH MANHOLE COVERS AND SMOOTH CHANNEL TRANSFORMERS THAT ARE SAFE, FUNCTIONAL, DURABLE, AND VISUALLY ACCEPTABLE TO THE OWNER AND REVIEW AUTHORITIES.
- BUILDING SIZE, CONFIGURATION, ARCHITECTURAL ELEMENTS, UTILITY STUBS, AND OTHER BUILDING FEATURES SHOWN ON THESE DRAWINGS ARE TAKEN FROM INFORMATION PROVIDED BY OTHERS. BUILDING LINES SHOWN GENERALLY REPRESENT THE EXTERIOR FACE OF THE BUILDING, BUT SHOULD NOT BE USED FOR BUILDING SETBACK OR CONSTRUCTION. REFER TO BUILDING PLANS FOR ACTUAL BUILDING DIMENSIONS, DOOR LOCATIONS, COLUMN AND FOOTING LOCATIONS, WALL THICKNESSES, OVERHANGS, ROOF LINES, AND OTHER FEATURES. CONTRACTOR SHALL COORDINATE UTILITY AND DRAINAGE LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES WITH INFORMATION SHOWN ON THE BUILDING DRAWINGS, AND SHALL VERIFY THAT BUILDING ELEMENTS WILL NOT ENCROACH INTO REQUIRED SETBACKS.

BUILDING WIDTH IN PRIMARY BUILD TO CALCULATIONS:
 LOT FRONTAGE: 111.7'
 BUILDING FRONTAGE: 56'
 REQUIRED (MIN): 50%
 PROVIDED: 50/111.7 = 45.01%

Stormwater Summary

	Square Feet	Acres
Overall Site	35,091.00	0.81
Impervious Summary		
Pre		
Parking Lot	26,664.00	0.61
Managed Pavement	8,427.00	0.19
Total		0.81
Post		
Parking Lot / Sidewalk	17,903.00	0.41
Roof	6,720.00	0.15
Open Landscape	10,468.00	0.24
Total		0.81

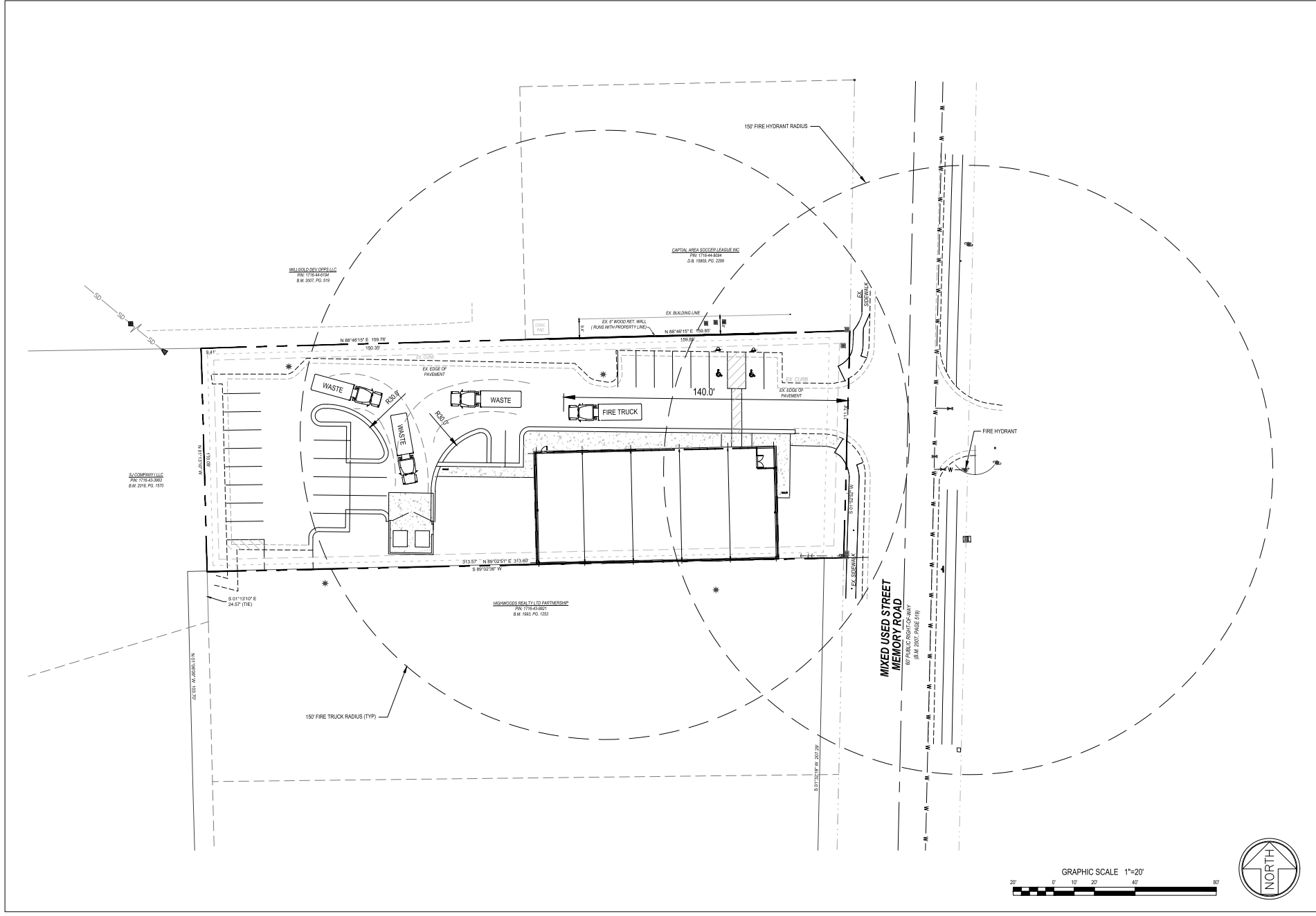


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 3616 Waxwing Court,
 Wake Forest, North Carolina 27587
 (919) 210-3934 Firm License P-2538

NO.	DATE	DESCRIPTION	BY
1	12-22-2024	REVISION COMMENT	
2	02-24-2025	REVISION COMMENT	
3	03-10-2025	REVISION COMMENT	
4	DATE	COMMENTS	BY
5	DATE	COMMENTS	BY
6	DATE	COMMENTS	BY
7	DATE	COMMENTS	BY
8	DATE	COMMENTS	BY

Site Plan
 Memory Lane Office
 5103 Memory Road
 Raleigh, Wake County, North Carolina

Project No. 24006
 Dwg No. **C2**



Gettle Engineering and Design, PLLC

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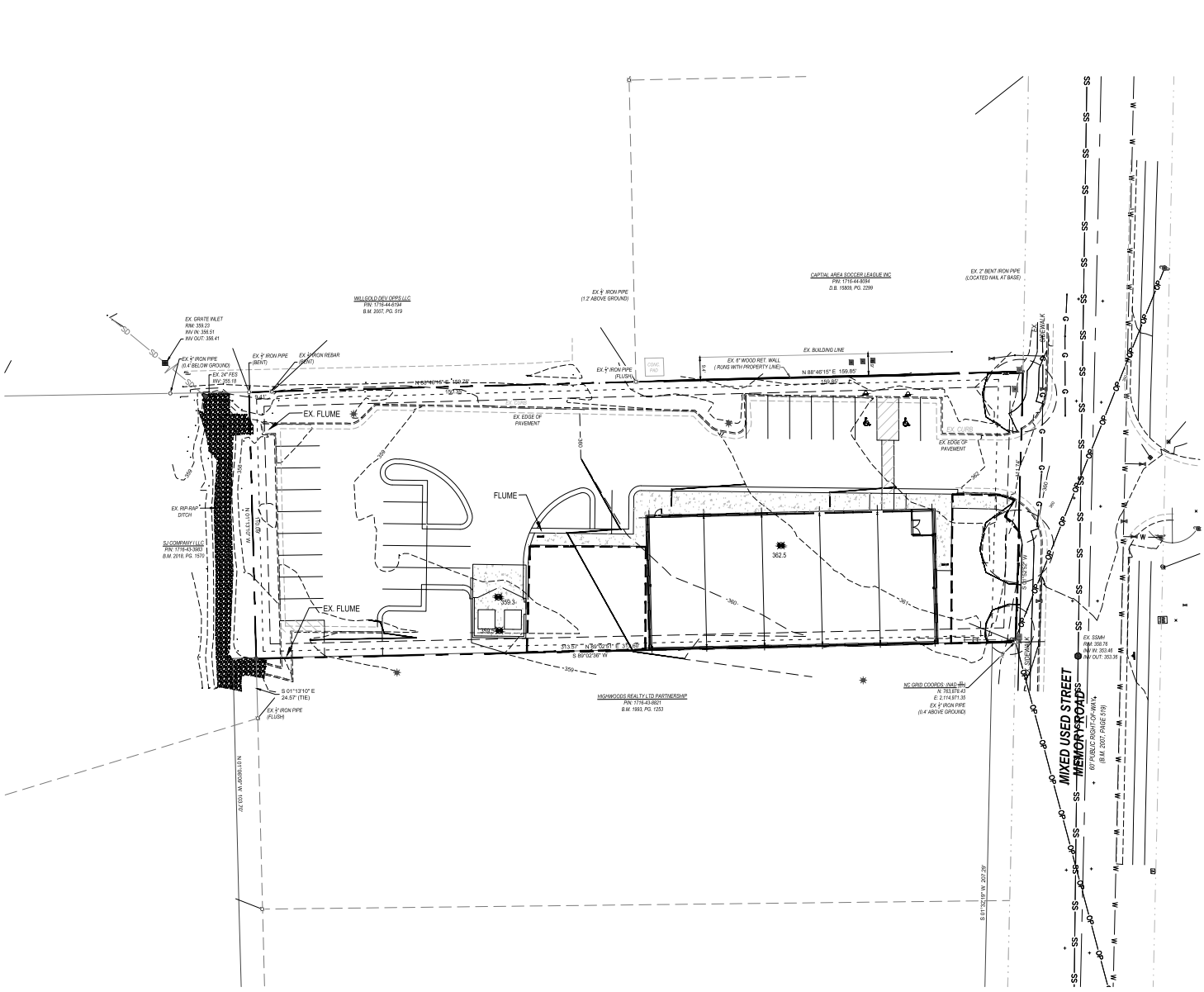
NO.	DATE	DESCRIPTION	BY
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2	10/24/2024	REVISION COMMENT	BY
3	10/24/2024	REVISION COMMENT	BY
4	DATE	COMMAND	BY
5	DATE	COMMAND	BY
6	DATE	COMMAND	BY
7	DATE	COMMAND	BY
8	DATE	COMMAND	BY

Truck Turn & Fire Access Plan

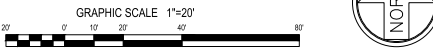
Memory Lane Office
5103 Memory Road
Raleigh, Wake County, North Carolina

Project No. 24006
Dwg No.

C3



- GENERAL GRADING SPECIFICATIONS**
- EXISTING CONDITIONS**
- INFORMATION ABOUT EXISTING UNDERGROUND FACILITIES AND SURFACE CONDITIONS INDICATED ON THESE DRAWINGS IS NOT BASED ON AN EXHAUSTIVE INVESTIGATION OF SUCH FACILITIES OR CONDITIONS, AND THE ENGINEER MAKES NO WARRANTY TO ANY PARTY REGARDING THEM EXISTING. UTILITY LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE, AND ACTUAL UTILITIES AND CONDITIONS MAY DIFFER FROM THOSE INDICATED. IF DIFFERING UTILITIES OR CONDITIONS EXIST, THEY MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT WORK, AND MAY IMPACT THE PROJECT SCOPE AND THE REQUIREMENTS.
- PROTECTION AND SAFETY**
- BEFORE BEGINNING WORK, AND AS NEEDED DURING THE COURSE OF PROJECT WORK, CONTRACTOR SHALL NOTIFY ALL APPLICABLE UTILITY LOCATIONS AND UTILITY PROVIDERS OF REASONABLY VERIFY THE LOCATION OF ALL KNOWN OR SUSPECTED UTILITIES, IN ACCORDANCE WITH STATE REGULATIONS. CONTRACTOR IS ADVISED THAT SOME UTILITY PROVIDERS DO NOT SUBSCRIBE TO ONE-CALL SERVICES, AND MUST BE CONTACTED SEPARATELY.
 - CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK AND SITE FEATURES WHICH ARE INTENDED TO REMAIN IN SERVICE OR IN PLACE.
 - CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL DEVICES (MFD) FOR STREET AND HIGHWAYS, IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREET AND HIGHWAYS, THE N.C. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT-SPECIFIC SAFETY CONSIDERATIONS.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY PROGRAMS AND MEASURES ON THE PROJECT SITE OR OTHERWISE RELATING TO THE PROJECT WORK, AND SHALL COMPLY WITH ALL SAFETY CODES AND REGULATIONS APPLICABLE THERE TO FOR THE PROTECTION OF WORKERS, VISITORS, AND THE GENERAL PUBLIC.
- COMPLIANCE**
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE STANDARDS AND REQUIREMENTS OF THE CITY OF RALEIGH AND THE N.C. STATE STATUTE CODES.
- NOTIFICATIONS**
- NOTIFY THE APPLICABLE LOCAL GOVERNMENT AUTHORITIES IN ACCORDANCE WITH THEIR REQUIREMENTS PRIOR TO BEGINNING ANY WORK.
- QUALITY CONTROL**
- ALL EARTHWORK OPERATIONS, INCLUDING TOPSOIL STRIPING, STREPPING, EXCAVATION, FILLING, CONTRACTING, TRENCHING, BACKFILLING, RETAINING WALLS, AND FINE GRADING, SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER, WHO SHALL VERIFY THE SUFFICIENCY OF SOIL MATERIALS, MONITORING WATER CONTENT, AND SENSING PROPPING, AND PROVIDE CORRECTION AND STABILITY TESTING DURING THE PROGRESS OF THE WORK.
 - NO SOIL SHALL BE PLACED IN A REINFORCED AREA UNLESS THIS HAS BEEN APPROVED BY THE GEOTECHNICAL ENGINEER FOR THE INTENDED USE AND LOCATION.
 - PRIOR TO ACCESSION OF ANY FILL, THE NATURE AND PROPERTIES OF FILL SHALL BE SUCCESSFULLY TESTED OR OTHERWISE APPROVED, AND DETERMINED TO BE READY FOR SUBSEQUENT WORK.
 - PRIOR TO ACCESSION OF ANY AGGREGATE, FINING, SLABS, STRUCTURES, FOOTINGS, PILING, OR OTHER WORK, SUBGRACES AND OTHER BEARING SURFACES SHALL BE SUCCESSFULLY TESTED OR OTHERWISE APPROVED, AND DETERMINED TO BE READY FOR SUBSEQUENT WORK.
 - CONTRACTOR SHALL ALLOW AND PARTICIPATE IN SOIL TESTING ACTIVITIES, INCLUDING ACTIVE COORDINATION WITH THE GEOTECHNICAL ENGINEER AND TURNING PROPPING, EQUIPMENT, MATERIALS, AND MANPOWER AS NEEDED.
- CLEANING & CONSERVATION**
- ALL VEGETATIVE MATERIAL DISLOCAED BY CLEARING AND GRUBBING ACTIVITIES SHALL BE COMPLETELY REMOVED FROM THE PROJECT SITE AND LEGALLY DEPOSITED. NO BURNING OF CLEARING WASTE SHALL OCCUR.
 - ALL PAVERS, CURB, PIPE, STRUCTURES AND OTHER PHYSICAL SITE FEATURES THAT ARE RELOCATED OR REQUIRED TO BE REMOVED SHALL BE LEGALLY DEPOSITED IN AN OFFSITE LOCATION.
- GRAZING**
- STRUCTURAL FILL IS DEFINED AS SOIL CLASSIFIED AS SW, SC, WL, AND CL, FREE OF VEGETATIVE MATTER, DEBRIS OR OTHER UNDESIRABLE MATERIAL, FREE OF ROCKS LARGER THAN 12 INCHES IN ANY DIMENSION, CAPABLE OF BEING COMPACTED TO THE REQUIRED DENSITY, AND WHICH HAS BEEN PROVIDED FOR USE BY THE GEOTECHNICAL ENGINEER.
 - OTHER SOIL NOT MEETING THE DEFINITION FOR STRUCTURAL FILL MAY BE APPROVED BY THE GEOTECHNICAL ENGINEER FOR USE UNDER LIMITED CONDITIONS OR IN LIMITED AREAS.
 - STRUCTURAL FILL SHALL BE PLACED AND COMPACTED WHEN THE SOIL'S MOISTURE CONTENT IS WITHIN FIVE PERCENTAGE POINTS OF THE SOIL'S OPTIMAL MOISTURE CONTENT. FILL PILES NOT TO EXCEED 18 INCHES LOOSE THICKNESS. THE IN PLACE COMPACTED DENSITY SHALL BE AT LEAST 90% P.C.F. TIGHTER SPECIFICATIONS MAY BE REQUIRED FOR CERTAIN SOIL TYPES, OR COMPACTED METHODS.
 - STRUCTURAL ZONES SHALL INCLUDE ALL AREAS SUBJECT TO DIRECT BEARING PRESSURE PLUS 10 FEET HORIZONTAL PLUS A 1:1 SLOPE TO SOIL OR ANY AREA OF FILL.
 - ALL SOIL UNDER PAVEMENTS, BUILDINGS, AND WALKWAYS, OR IN STRUCTURAL ZONES ASSOCIATED WITH THESE AREAS SHALL BE APPROVED IN USE. ON STRUCTURAL FILL, COMPACTED TO AT LEAST 90% OF THE SOIL'S MAXIMUM DRY DENSITY (MDD) PER ASTM D-1557. TIGHTER REQUIREMENTS MAY APPLY FOR CERTAIN AREAS.
 - IN THE BUILDING AREA, THE REQUIRED DENSITY OF FILL SHALL BE 100% MDD, EXCEPT THE TOP 12 INCHES OF FILL SHALL BE AT LEAST 90% MDD. UNDER THE BUILDING SHALL BE PLACED ON FILL. THE SOIL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND COMPACTED TO AT LEAST 90% MDD.
 - ALL EXCESS OR UNDESIRABLE SOIL SHALL BE LEGALLY DEPOSITED IN AN OFFSITE OR APPROVED ONSITE LOCATION.
 - UNLESS UNDESICATED OR YARD AREAS ADJUT EXTERIOR BUILDING WALLS, FINISHED GROUND ELEVATIONS ADJACENT TO THE WALL SHALL BE AT LEAST 1 INCH BELOW THE FINISHED FLOOR ELEVATION, AND SHALL SLOPE AWAY FROM THE BUILDING WITH POSITIVE DRAINAGE.
- TRENCHING AND BACKFILLING**
- WHERE ROCK OR OTHER HARD MATERIAL OCCURS AT THE DESIGNED TRENCH BOTTOM, OVEREXCAVATE TRENCH DEPTH 4 INCHES AND REPLACE OVEREXCAVATION MATERIAL WITH HOT STONE BEDDING.
 - WHERE THE DESIGNED TRENCH BOTTOM CONSISTS OF INSTABLE BEARING SOIL, UNDERCUT TRENCH BOTTOM AND REPLACE UNDERCUT MATERIAL IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
 - BACKFILL SOIL SHALL BE STRUCTURAL FILL, PLACED AND COMPACTED IN ACCORDANCE WITH REQUIREMENTS FOR THE SPECIFIC HEAD OF WORK, WITHOUT SHAKING OR DISPLACING PIPE OR STRUCTURES.
- SURFACE DRAINAGE**
- ALL SPOT ELEVATIONS SHOWN ARE FINISHED SURFACE ELEVATIONS. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER ELEVATION CONTOURS. ALL ELEVATIONS SHOWN ON CURBS AND GUTTERS REFER TO TOP OF CURB, UNLESS OTHERWISE NOTED.
 - ALL FINISHED PAVEMENT AND YARD SURFACES SHALL BE FINE-GRADED AND FINISHED TO HAVE POSITIVE SURFACE DRAINAGE TO A FUTURE CURB OR DRAINAGE OUTLET, WITHOUT PROTRUSIONS OR DEPRESSIONS THAT WOULD CAUSE UNINTENDED WATER PONDING.
 - USE REVERSE PITCH CURB AND GUTTER WHERE BACKCUT PAVEMENT SLOPES AWAY FROM CURB, AND STANDARD PITCH CURB AND GUTTER ELSEWHERE, UNLESS OTHERWISE NOTED. PROVIDE POSITIVE DRAINAGE ALONG AND FROM ALL GUTTERS.
 - TRENCH EXISTING PAVEMENT, CURBS, WALKS, ETC. SHALL BE MADE WITH NEAT EDGES AND SMOOTH, SQUARE, THROATINGS THAT ARE SAFE, FUNCTIONAL, DURABLE, AND VISUALLY ACCEPTABLE TO THE OWNER AND REVIEW AUTHORITIES.
- ACCESSIBILITY**
- FINISHED WALKWAY ELEVATIONS ADJUTING EXTERIOR DOORWAY THRESHOLDS SHALL BE ONE-FOURTH INCH BELOW THE FINISHED FLOOR ELEVATION. EXTERIOR WALKS AND WALKWAYS SHALL SLOPE AWAY FROM THE BUILDING AT A SLOPE NO LESS THAN 1% AND NO GREATER THAN 2%.
 - SIDEWALKS, CROSSWALKS, AND OTHER WALKWAYS SHALL NOT EXCEED 2.1% CROSS-SLOPE.
 - NO PORTION OF ANY HANDICAP ACCESSIBLE ROUTE SHALL EXCEED 2.0% CROSS-SLOPE OR 8.0% LONGITUDINAL SLOPE.
 - NO PORTION OF ANY HANDICAP PARKING SPACE OR ADJACENT ACCESSIBLE SHALL EXCEED 2.0% SLOPE IN ANY DIRECTION.



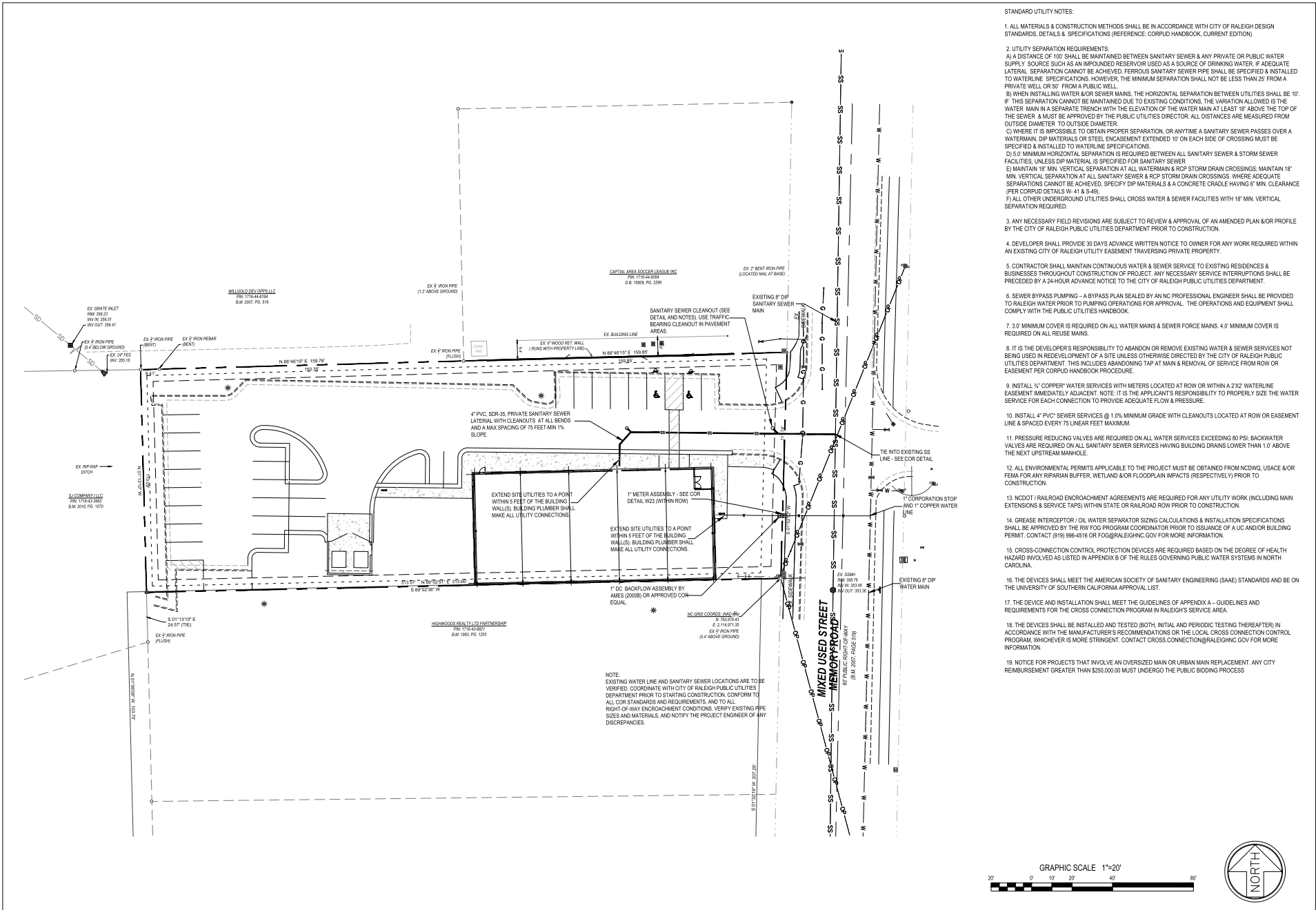
Gettle Engineering and Design, PLLC
 3616 Waxwing Court,
 Wake Forest, North Carolina 27587
 (919) 210-3934 Firm License P-2538

NO.	DATE	BY	DESCRIPTION
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10	11/14/2023	WJ	ISSUED FOR PERMITS

Grading Plan
 Memory Lane Office
 5103 Memory Road
 Raleigh, Wake County, North Carolina

Project No. 24006
 Dwg No. C4





- STANDARD UTILITY NOTES:
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 2. UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 8" MIN. CLEARANCE (PER CORPUD DETAILS V-41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
 5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 6. SEWER BYPASS PUMPING – A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
 7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 9. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 10. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 13. NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 14. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RFP FOOD PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UIC AND/OR BUILDING PERMIT. CONTACT (919) 996-4518 OR FQ@RALEIGHNC.GOV FOR MORE INFORMATION.
 15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX 9 OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
 16. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASAE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
 17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A – GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
 18. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
 19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REMBURSEMENT GREATER THAN \$25,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

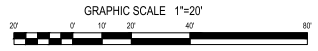
Gettle Engineering and Design, PLLC
 3616 Waxwing Court,
 Wake Forest, North Carolina 27587
 (919) 210-3934
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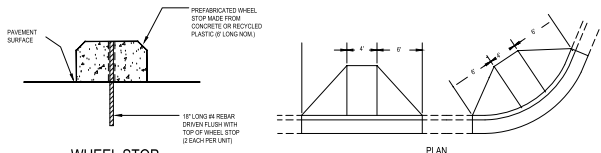
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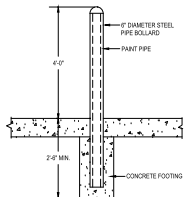
Utility Plan
Memory Lane Office
 5103 Memory Road
 Raleigh, Wake County, North Carolina

Project No. 24006
 Dwg No. **C5**

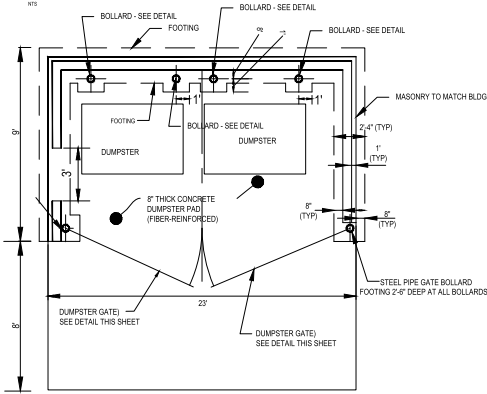




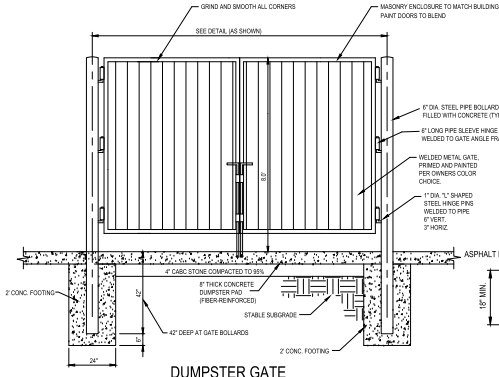
WHEEL STOP



STEEL PIPE BOLLARD (TYPICAL)
(TO BE CONCRETE FILLED)

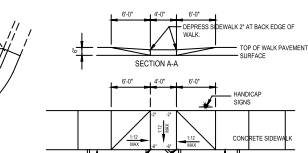


PLAN VIEW - DUMPSTER ENCLOSURE & PAD



DUMPSTER GATE

NTS



HANDICAP PARKING AND RAMP



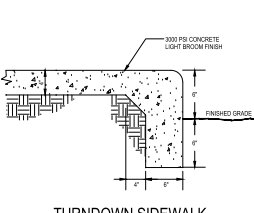
HANDICAP RAMP CURB CUT

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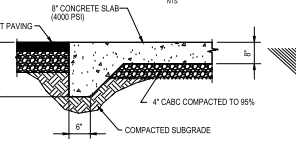
SPECIFICATION FOR ALL CAST-IN-PLACE CONCRETE

1. THE MINIMUM CURB HEIGHT SHALL BE 4 INCHES.
2. THE MINIMUM CURB WIDTH SHALL BE 4 INCHES.
3. THE CURB SHALL BE CONCRETE OR RECYCLED PLASTIC (IF APPROVED).
4. THE CURB SHALL BE PAINTED WHITE.
5. THE CURB SHALL BE 2 INCHES THICK.
6. THE CURB SHALL BE 4 INCHES WIDE.
7. THE CURB SHALL BE 2 INCHES HIGH.
8. THE CURB SHALL BE 4 INCHES WIDE.
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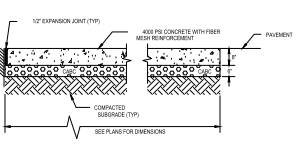
SPECIFICATION FOR CAST IN PLACE CEMENT



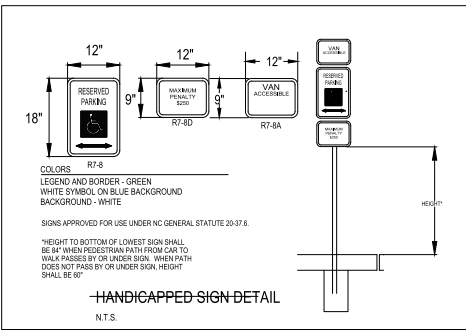
TURNDOWN SIDEWALK



TURNDOWN AT DUMPSTER PAD

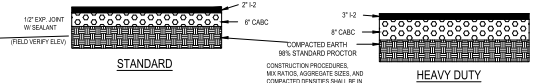


CONCRETE PAVING DETAIL



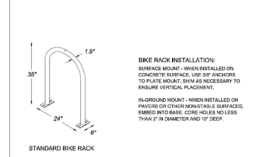
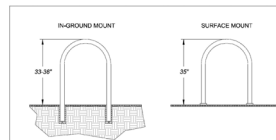
HANDICAPPED SIGN DETAIL

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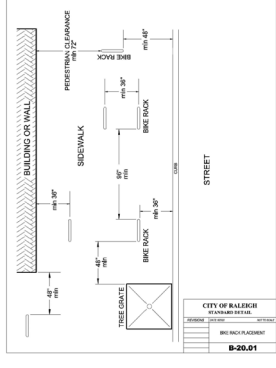
PAVEMENT DETAIL

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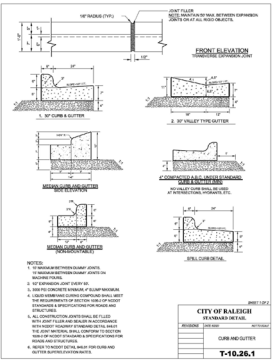
CITY OF RALEIGH BIKE RACK DETAIL

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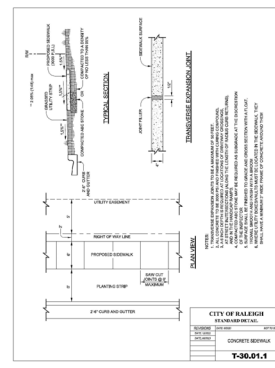
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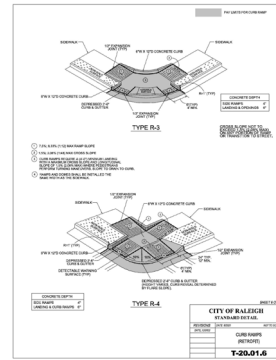
CITY OF RALEIGH CURB AND BOLLARDS

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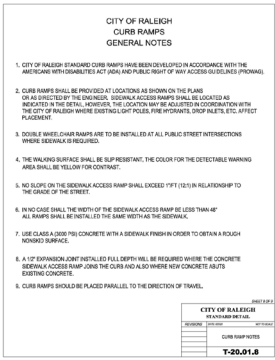
CITY OF RALEIGH BIKE RACK DETAIL

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CITY OF RALEIGH CURB RAMP TYPE R-3

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CITY OF RALEIGH CURB RAMP TYPE R-4

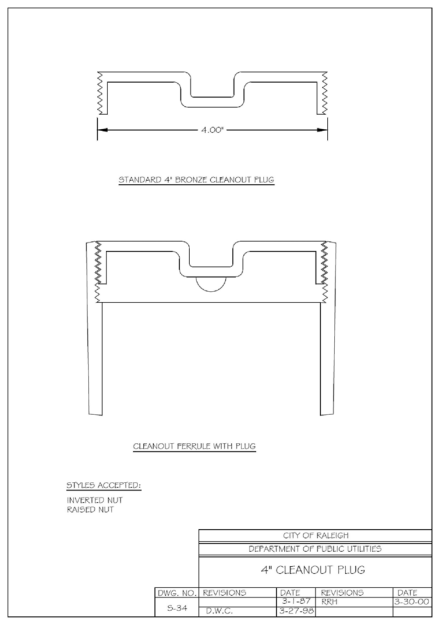
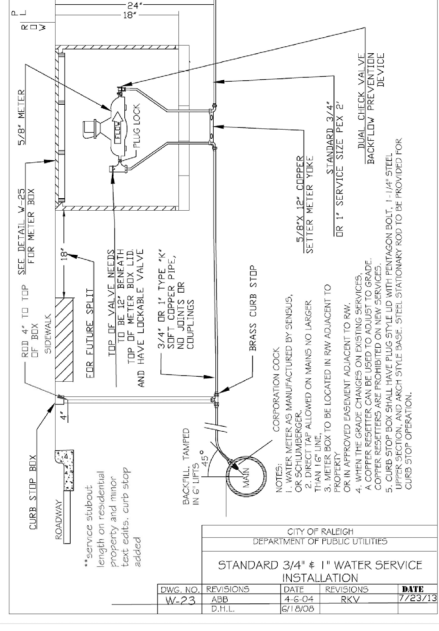
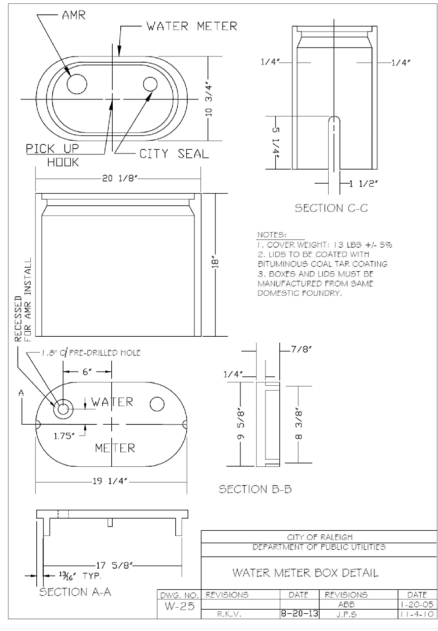
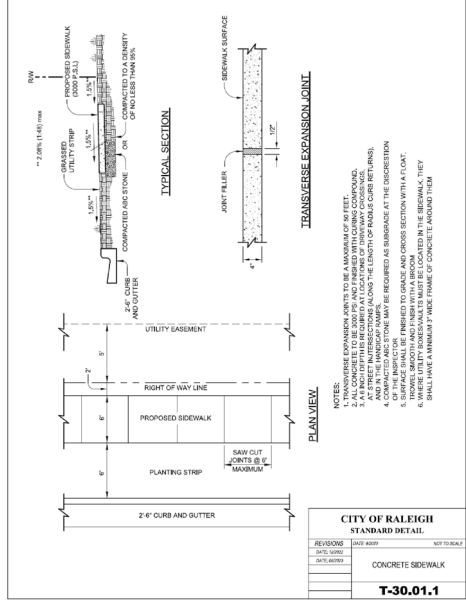
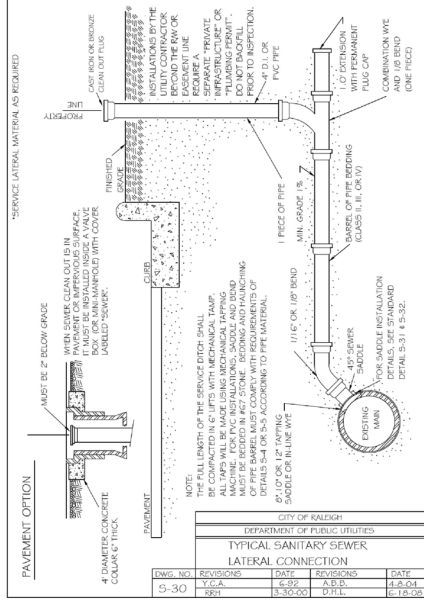
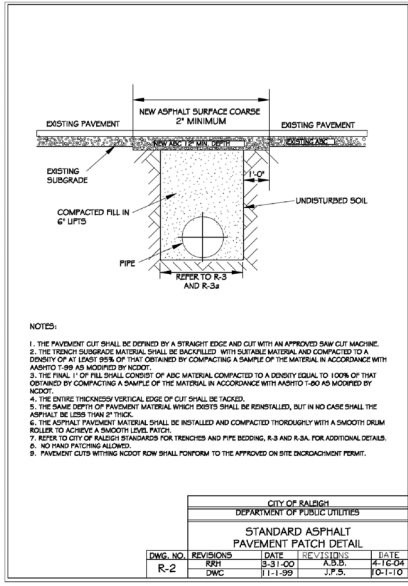
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NO.	DATE	DESCRIPTION
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10	10/12/25	REVISION COMMENT

Standard Site Details
Memory Lane Office
5103 Memory Road
Raleigh, Wake County, North Carolina

Project No. 24006
Dwg No. D1



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 Firm License P-2538

NO.	DATE	REVISION/DESCRIPTION	BY
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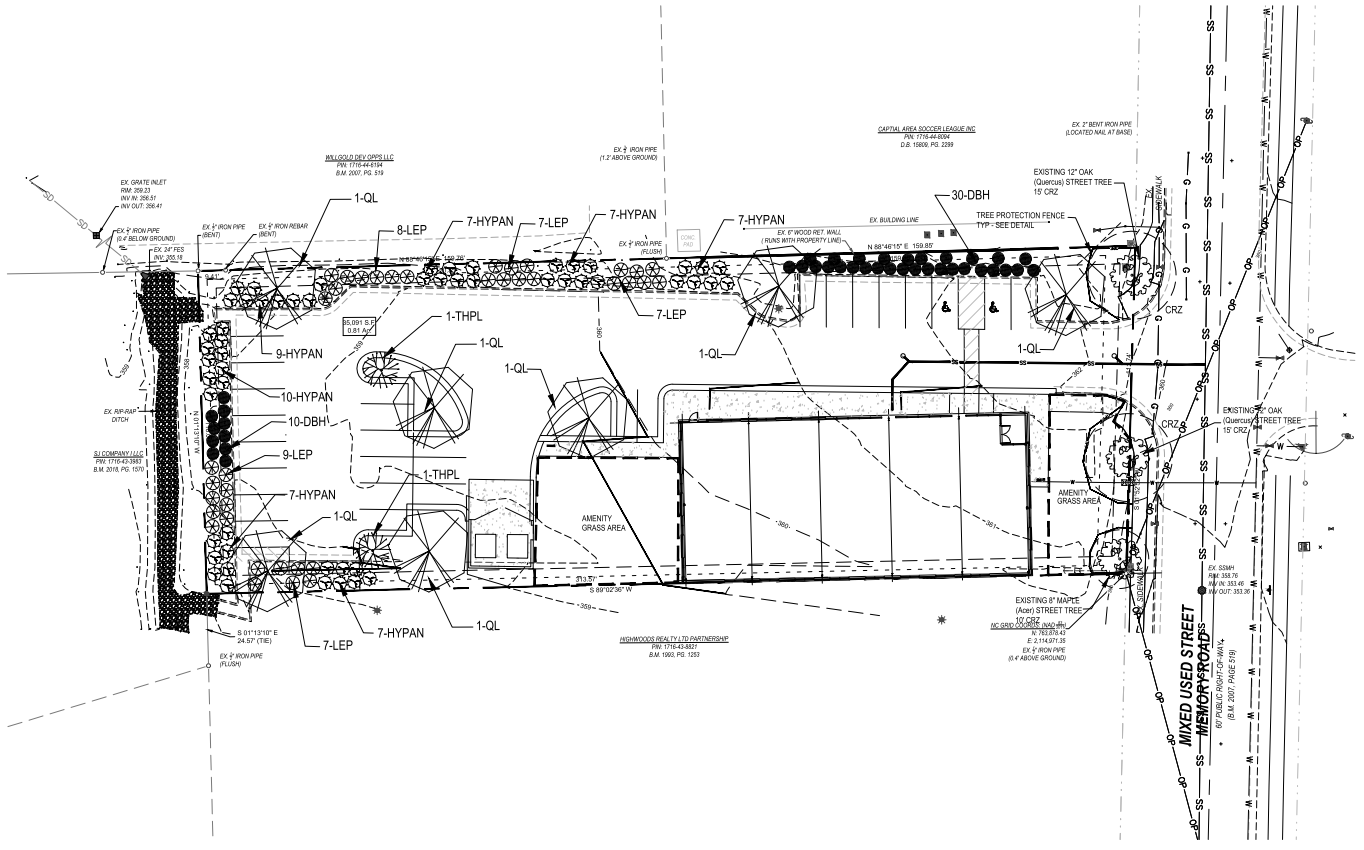
Water and Sanitary Sewer Details
 Memory Lane Office
 5103 Memory Road
 Raleigh, Wake County, North Carolina

Project No. 24006
 Dwg No.

D2

PLANT LIST - PARKING LOT					
STREET	KEY	BOTANICAL NAME	COMMON NAME	CALPER / HT	QUAN.
CANOPY	QL	OAK	Quercus	3"	7
UNDERSTORY	THPL	NATCHES CREPE MYRTLE	Lag. Indica "Natchez"	3"	2
SHRUBS	1 DBH	Dwarf BURCHES Holly	Ilex cornuta "Burdock Name"	36"	40
	HYPAN	LITTLE LIME HYDRANGEA	Hydrangea paniculata "Little Lime"	36" HT	54
	LEP	PURPLE DIAMOND LOROPETALUM	Loropetalum ch. purple Diamond"	36" HT	38

PLANT LIST - STREET TREES					
STREET	KEY	BOTANICAL NAME	COMMON NAME	CALPER	MIN QUAN.
MEMORY	EXIST	NUTTALL OAK	Quercus Nuttallii	12"	2
112.40=3	EXIST	MAPLE	Acer	8"	1



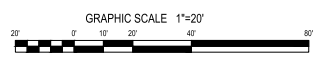
- LANDSCAPE NOTES:**
- LS1 IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING TO GRADING, REFER TO GRADING PLAN.
 - VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - ALL PLANTS AND PLANTING PROCEDURES SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN LATEST EDITION.
 - ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
 - ALL TREES AND SHRUBS SHALL BE FULL WELL BRANCHED PLANTS WHICH ARE CHARACTERISTIC OF THE SPECIES.
 - ALL PERMANENT GRASS IS TO BE BERMAUDA.
 - ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
 - REMOVE ALL STRING AND WIRE FROM BASE OF ALL PLANT MATERIAL.
 - MULCH ALL BEDS WITH 3" OF HARDWOOD MULCH, UNLESS OTHERWISE NOTED.
 - IF SHRUB PLANTING BEDS DO NOT HAVE A MIN. 6" TOPSOIL THEN AMENDED WITH 3" PINE PARK TILLED INTO THE SOIL TO A DEPTH OF 8".
 - ALL AREAS NOT COVERED WITH PAVING, GRAVEL, BUILDINGS OR PLANTING BEDS SHALL BE SEEDED AS SHOWN IN THE SEEDED PREP. AND SEEDING SCHEDULE.
 - LAWN AREAS SHALL BE RAKED TO REMOVE ROCKS, STICKS, ROOTS AND OTHER TRASH AND DEBRIS AND SHALL BE SMOOTH FOR EASE OF MOWING.
 - ALL PLANTINGS OF TREES AND SHRUBS SHALL BE A MINIMUM 4' FROM EDGE OF PARKING SPACES.

NOTE:
TREE PROTECTION FENCE TO BE INSTALLED PER CITY OF RALEIGH DETAILS TPF-01 AND TPF-02.

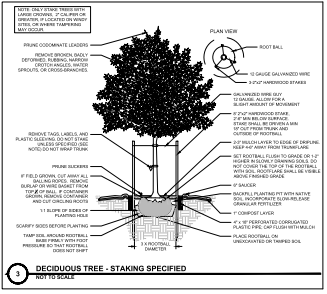
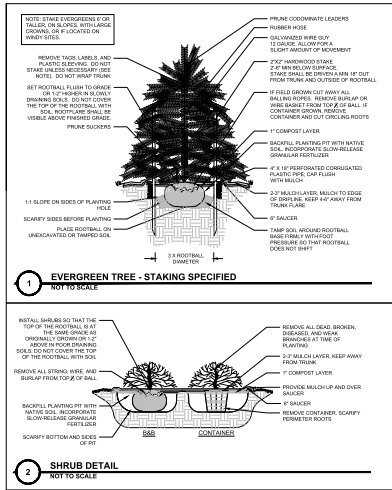
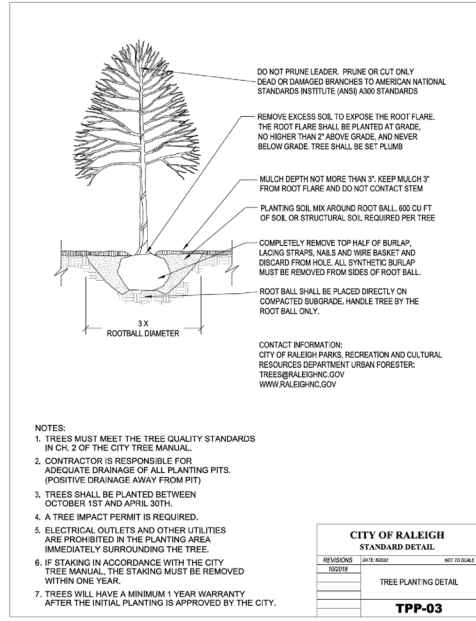
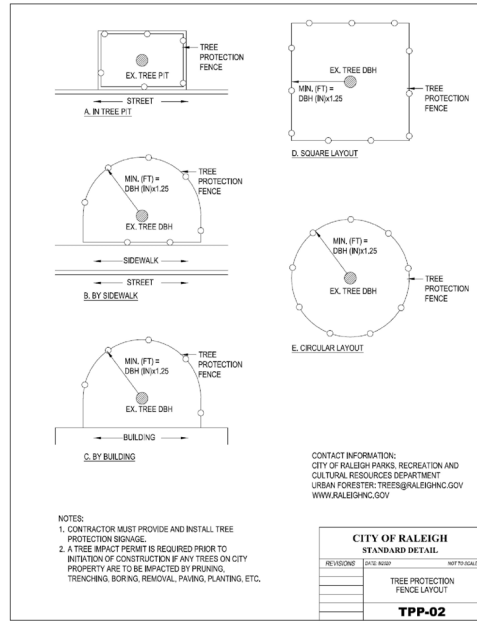
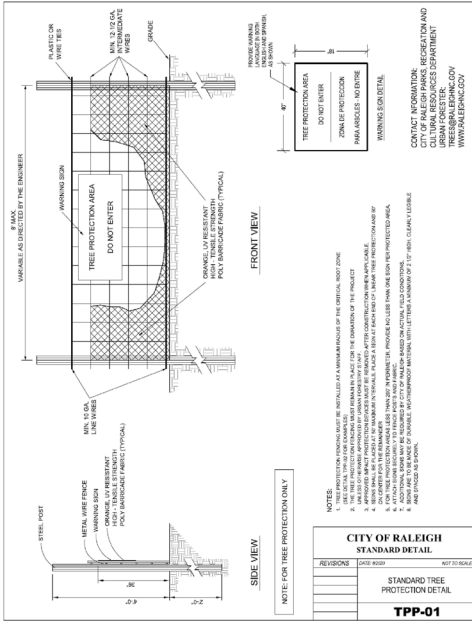
Gettle Engineering and Design, PLLC
3616 Waxwing Court,
Wake Forest, North Carolina 27587
(919) 210-3934
Firm License P-2538

NO.	DATE	DESCRIPTION	BY	APP.
1		ISSUED FOR COMMENT		
2		ISSUED FOR PERMISSIVE COMMENT		
3		DATE		
4		DATE		
5		DATE		
6		DATE		
7		DATE		
8		DATE		
9		DATE		
10		DATE		

Landscape Plan
Memory Lane Office
5103 Memory Road
Raleigh, Wake County, North Carolina



Project No. 24006
Dwg No.
LS1

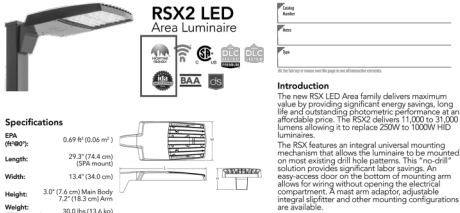


Gettle Engineering and Design, PLLC
 3616 Waxwing Court,
 Wake Forest, North Carolina 27587
 (919) 210-3934
 Firm License P-2538

NO.	DESCRIPTION	DATE REVISION	BY
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3	ISSUED FOR PERMITS		
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8	ISSUED FOR PERMITS		
9	ISSUED FOR PERMITS		
10	ISSUED FOR PERMITS		

Landscape Details
 Memory Lane Office
 5103 Memory Road
 Raleigh, Wake County, North Carolina

Project No. 24006
 Dwg No. **LS2**

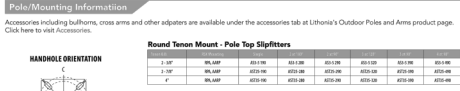
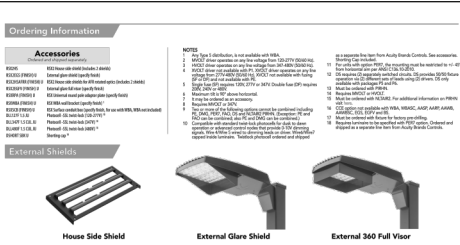


Ordering Information EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDBXD

Code	Description	Unit	Quantity
RSX2LED	RSX2 LED Area Luminaire	EA	1

Accessories

Code	Description	Unit	Quantity
AA	Arm	EA	1
AS	Adjustable Mount	EA	1
AS1	Adjustable Mount 1	EA	1
AS2	Adjustable Mount 2	EA	1
AS3	Adjustable Mount 3	EA	1
AS4	Adjustable Mount 4	EA	1
AS5	Adjustable Mount 5	EA	1
AS6	Adjustable Mount 6	EA	1
AS7	Adjustable Mount 7	EA	1
AS8	Adjustable Mount 8	EA	1
AS9	Adjustable Mount 9	EA	1
AS10	Adjustable Mount 10	EA	1
AS11	Adjustable Mount 11	EA	1
AS12	Adjustable Mount 12	EA	1
AS13	Adjustable Mount 13	EA	1
AS14	Adjustable Mount 14	EA	1
AS15	Adjustable Mount 15	EA	1
AS16	Adjustable Mount 16	EA	1
AS17	Adjustable Mount 17	EA	1
AS18	Adjustable Mount 18	EA	1
AS19	Adjustable Mount 19	EA	1
AS20	Adjustable Mount 20	EA	1



Pole/Mounting Information

Accessories including ballarms, cross arms and other adapters are available under the accessories tab at Lithonia's Outdoor Poles and Arms product page. Click here to view accessories.

Round Tenon Mount - Pole Top Slipfitters

Height	Code	Material	Weight
2-10'	RSX2LED-2-10'	Aluminum	15.0 lbs
12-15'	RSX2LED-12-15'	Aluminum	25.0 lbs
18-21'	RSX2LED-18-21'	Aluminum	35.0 lbs
24-27'	RSX2LED-24-27'	Aluminum	45.0 lbs
30-33'	RSX2LED-30-33'	Aluminum	55.0 lbs

Drill/Slide Location by Configuration Type

Configuration	Drill/Slide Location
Standard	...
Adjustable	...

RSX2 - Luminaire EPA

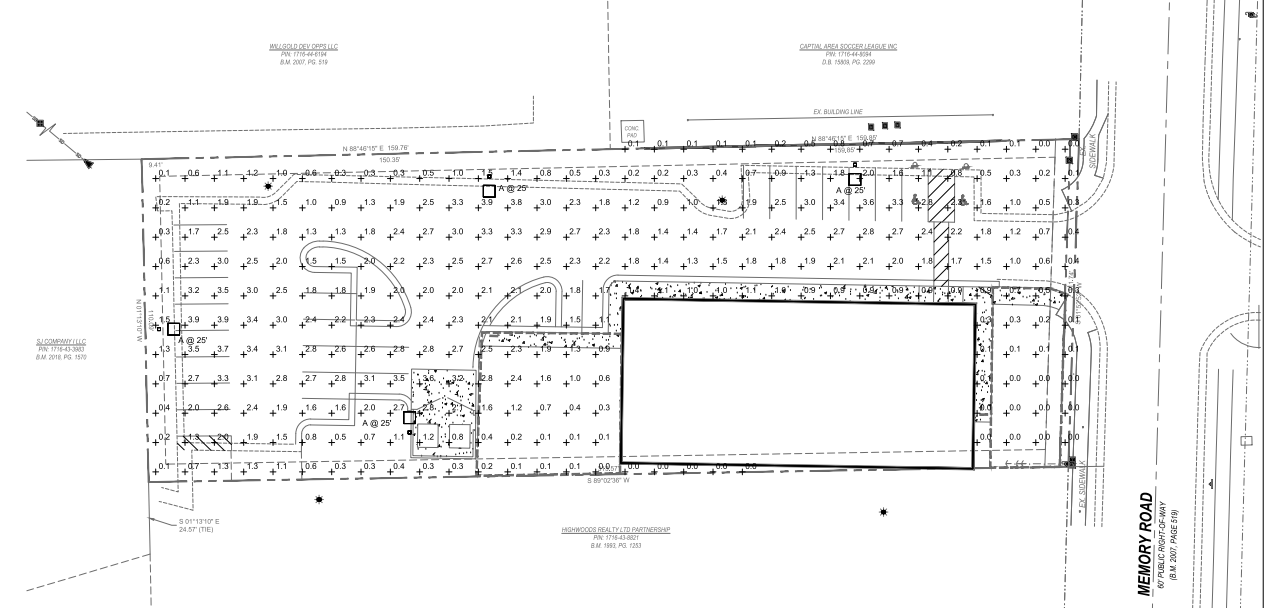
Height	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle	Footcandle
10'	1.00	1.50	2.00	2.50	3.00	3.50
12'	0.83	1.25	1.67	2.08	2.50	2.92
15'	0.67	1.00	1.33	1.67	2.00	2.33
18'	0.56	0.83	1.11	1.41	1.71	2.00
21'	0.48	0.71	0.95	1.23	1.50	1.77
24'	0.42	0.62	0.83	1.04	1.25	1.46
27'	0.37	0.54	0.71	0.89	1.08	1.25
30'	0.33	0.48	0.62	0.79	0.95	1.11
33'	0.30	0.44	0.58	0.73	0.88	1.04
36'	0.27	0.40	0.53	0.68	0.81	0.95

Statistics

Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
Footcandle (FC)	+	2.2 fc	4.2 fc	0.5 fc	8.4 fc	4.4 fc
Footcandle (FC)	-	0.5 fc	1.5 fc	0.0 fc	N/A	N/A

NOTE

- (LUF) LIGHT LOSS FACTOR = 1
- CALCULATED BASED ON MIN. LEVELS.



3 SITE LIGHTING PLAN

SCALE: 1" = 20'

Site plan showing building footprint, parking areas, and luminaire locations. Footcandle readings are provided at various points across the site.

Accessories

AA Arm

AS Adjustable Mount

AS1 Adjustable Mount 1

AS2 Adjustable Mount 2

AS3 Adjustable Mount 3

AS4 Adjustable Mount 4

AS5 Adjustable Mount 5

AS6 Adjustable Mount 6

AS7 Adjustable Mount 7

AS8 Adjustable Mount 8

AS9 Adjustable Mount 9

AS10 Adjustable Mount 10

AS11 Adjustable Mount 11

AS12 Adjustable Mount 12

AS13 Adjustable Mount 13

AS14 Adjustable Mount 14

AS15 Adjustable Mount 15

AS16 Adjustable Mount 16

AS17 Adjustable Mount 17

AS18 Adjustable Mount 18

AS19 Adjustable Mount 19

AS20 Adjustable Mount 20

Schema

Symbol	Label	Image	QTY	Manufacturer	Color	Description	Number	Lamp Output	LUF	Foot Candle	Pole Ft
□	A		1	Lithonia Lighting	RSX2 LED P6 40K R3 HB	RSX2 LED Area Luminaire Size 2 P/L Lumen Package 4000K CCT Type R3 Distribution with 51848	1	10074	1	11420	

NOTE

- NIGHTTIME FIXTURES ARE FULL CUTOFF AND NO MORE THAN 10% OF THE LUMENS FROM THE LUMINAIRE ARE EMITTED ABOVE 80 DEGREES FROM HORIZ.
- POLE MOUNTED FIXTURES, MOUNTED AT 25' AS INDICATED ON PLANS.

Statistics

Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
Footcandle (FC)	+	2.2 fc	4.2 fc	0.5 fc	8.4 fc	4.4 fc
Footcandle (FC)	-	0.5 fc	1.5 fc	0.0 fc	N/A	N/A

NOTE

- (LUF) LIGHT LOSS FACTOR = 1
- CALCULATED BASED ON MIN. LEVELS.



No.	DATE	DESCRIPTION

No.	DATE	DESCRIPTION

Memory Lane Office

Site Lighting

5103 Memory Lane

Raleigh, Wake County, North Carolina

SHEET TITLE
SITE LIGHTING PLAN

PROJECT NUMBER: 24-115

DATE DRAWN: 8/6/2024

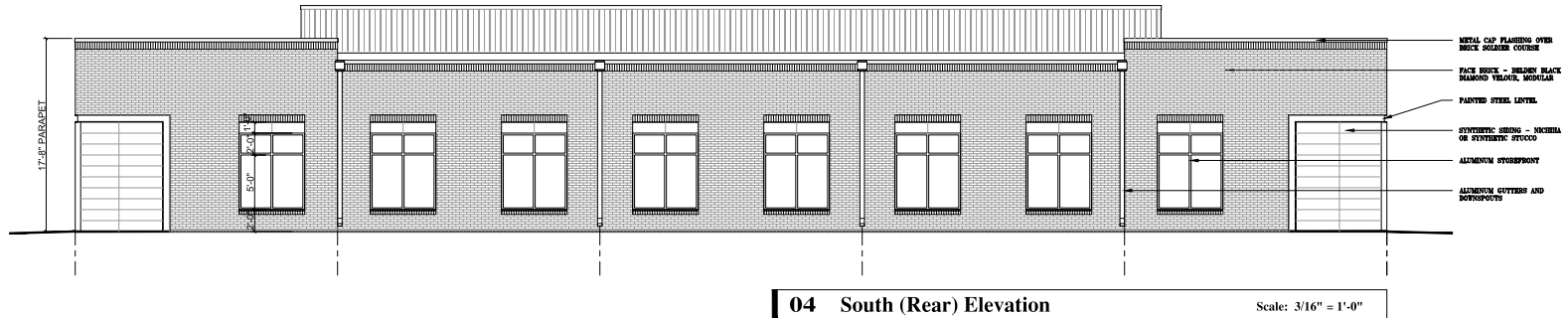
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CHECKED BY: AMC

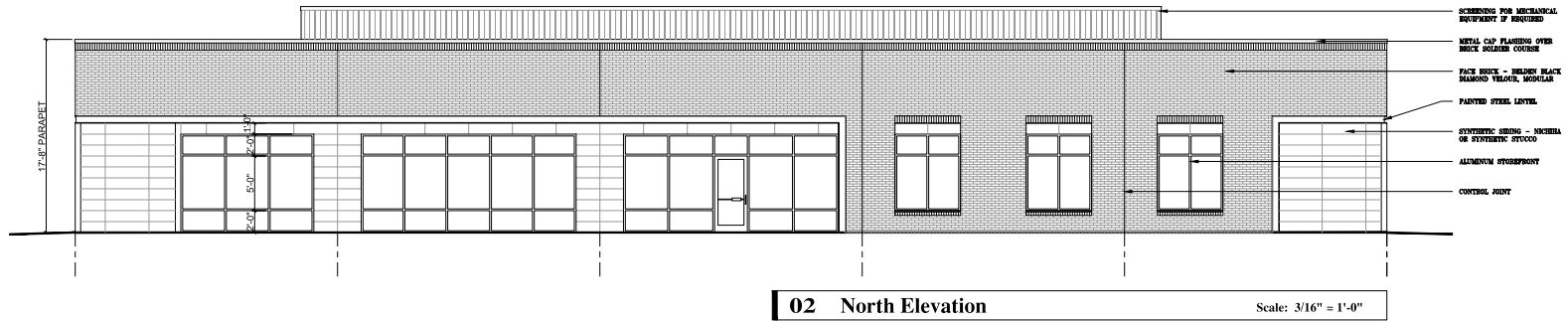
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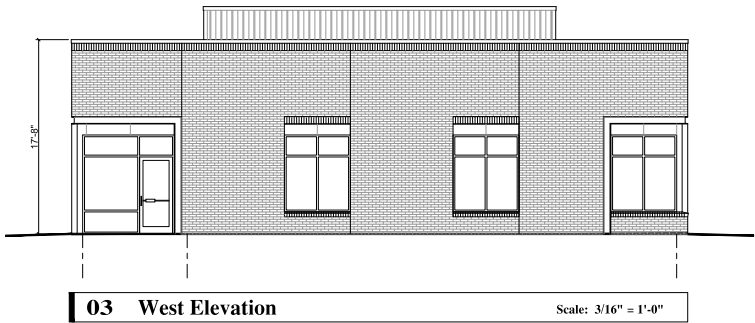
Approval Only
not for construction



04 South (Rear) Elevation Scale: 3/16" = 1'-0"



02 North Elevation Scale: 3/16" = 1'-0"



03 West Elevation Scale: 3/16" = 1'-0"

TRANSPARENCY TABLE - 5013 MEMORY ROAD

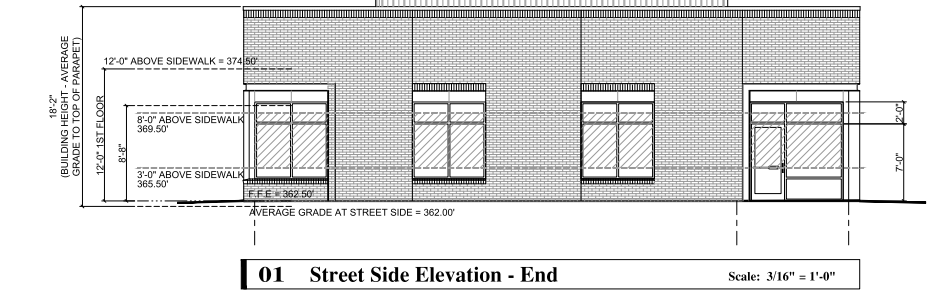
FLOOR LEVEL	MINIMUM PERCENTAGE OF GLASS	TRANSPARENCY REQUIRED (%)	TRANSPARENCY PROVIDED (%)	20' TO 12' ELEVATION TRANSPARENCY REQUIRED (%)	20' TO 12' ELEVATION TRANSPARENCY PROVIDED (%)
GROUND FLOOR	17' x 16" = 102 SF	52%	23 x 27' = 621 SF	112.75% OF REQ'D (N/A)	142.8 SF (EXCEEDED MIN)
2ND FLOOR	N/A	N/A	N/A	N/A	N/A

TRANSPARENCY TABLE - 5013 MEMORY ROAD

TRANSPARENCY - LDDO - Section 1.5.5.B

B. Glass Requirements:

- The minimum percentage of windows and doors that must cover a ground story facade is determined by the use of the building. The ground story facade is the facade of the building that is located between 7 and 8' of the building facade.



01 Street Side Elevation - End Scale: 3/16" = 1'-0"

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

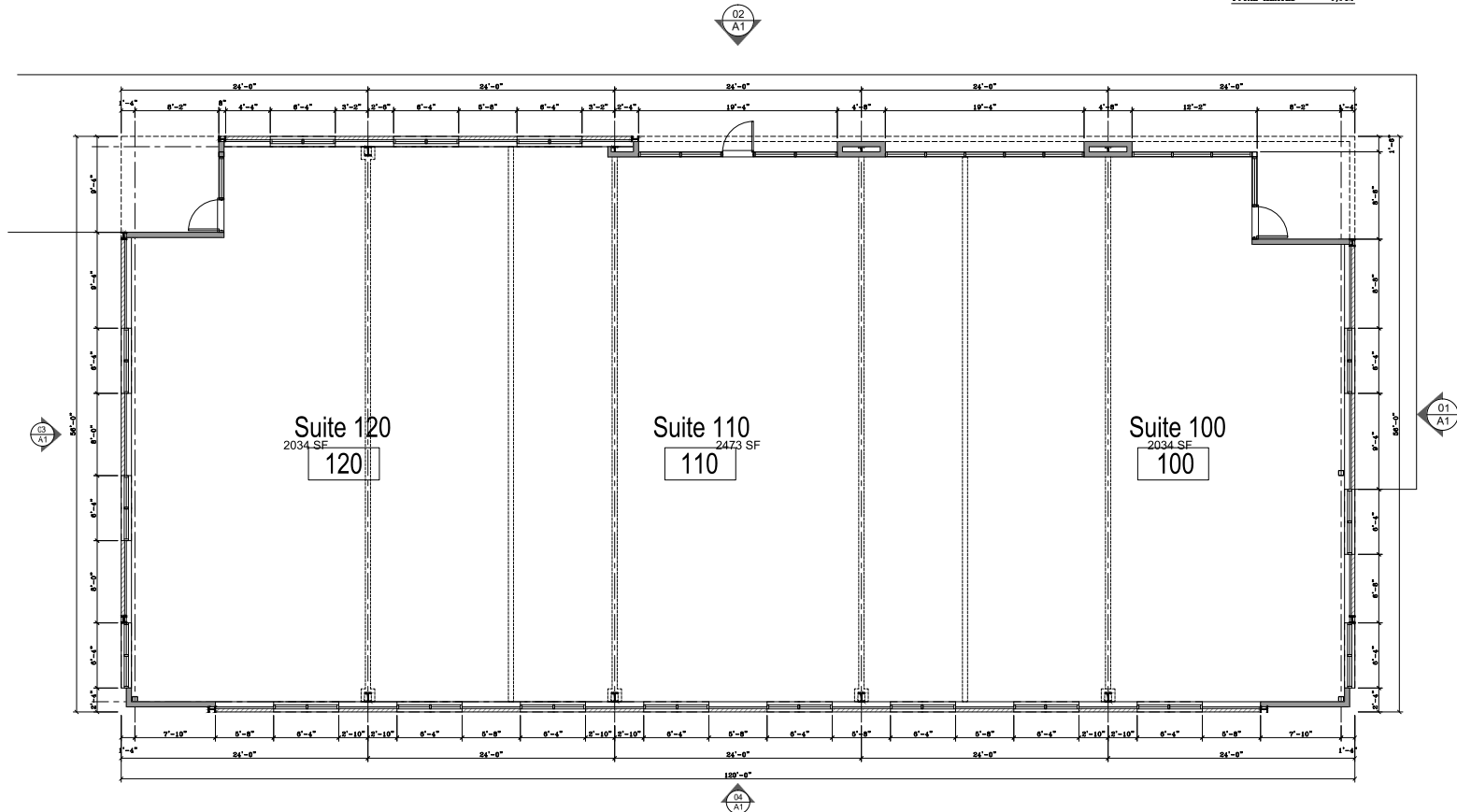
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review and authorization for construction is not to be construed to represent total compliance with all applicable requirements for development and construction. The property owner, design consultant, and contractor are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization does not constitute an approval or endorsement by the City, State or Federal Law. All construction must be in accordance with all local, State, and Federal laws and regulations. The approval of this document does not constitute an approval of the project as shown and the design professional is not liable for the design or construction of the project.

City of Raleigh Development Approval

24-ASR-090524

Approval Only
not for construction

Area Data	
NET RENTABLE	6,720
TOTAL HEATED	6,542



01 Building Floor Plan

Scale: 3/16" = 1'-0"

Materials & Composition

A.2

Revision Date: 18 November 2024

Memory Road Commercial Building

5013 Memory Road
Raleigh, North Carolina 27609

Perry Cox architect, P.A.
207 Hudson Avenue 27602
919.383.5911 www.perrycox.com

Issue Date: 4 September 2024