



Administrative Approval Action

Case File / Name: ASR-0066-2019
Urban Axe

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located north of E. Whitaker Mill Road on the west side of Atlantic Avenue at 2415 Atlantic Avenue.

REQUEST: Development of a 0.77 acre tract zoned IX-3-PL with an existing 7,530 square foot building. This is a change of use from an existing Printing business (Light Manufacturing) to a proposed Indoor Recreation use. There will be no proposed changes to the existing building facade or structure in terms of elevations and building elevation grade. The site improvements include interior alterations, new parking spaces, landscaping and short-term bicycle parking requirements.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 20, 2020 by ED SCONFIENZA.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW NOT REQUIRED AT THIS TIME** - However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require site permitting review.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required

<input checked="" type="checkbox"/>	Shared Parking Agreement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering



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1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. A cross access and cross parking agreement among the lots identified as PIN 1715208717, PIN 1715208898 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. That the driveway on lot with PIN 1715208898 is closed and cross access is provided through lot with PIN 1715208717.

Engineering

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
4. A fee-in-lieu for a 6 ft sidewalk along the frontage for 90 linear feet shall be paid to the City of Raleigh (UDO 8.1.10).

Stormwater

5. Building plans must demonstrate how the existing building complies with UDO 9.3 and 11.4.6 Floodprone Area regulations, either by floodproofing as shown on preliminary plans or by other means to meet or exceed flood management requirements at the time building permits are applied for.

Urban Forestry



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6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes two street trees along Atlantic Avenue.
7. A surety for street trees planted in the right-of-way shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

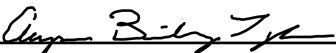
3-Year Expiration Date: April 1, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

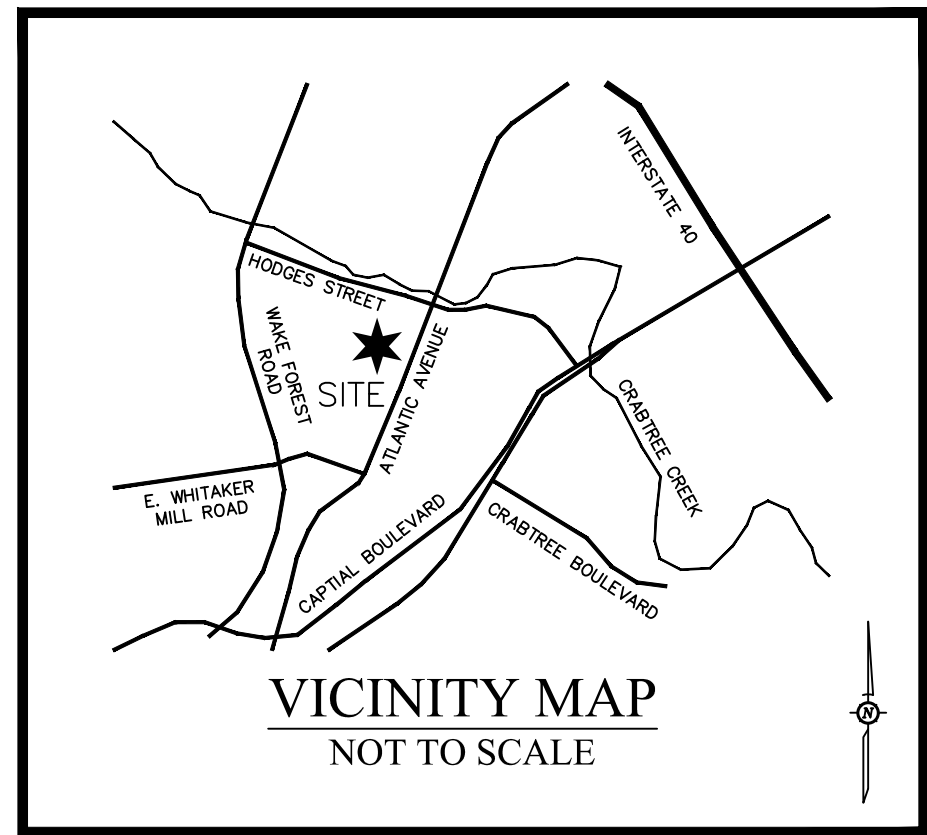
I hereby certify this administrative decision.

Signed:  Date: 04/01/2020
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

URBAN AXES

2415 ATLANTIC AVENUE Raleigh, North Carolina

ADMINISTRATIVE SITE PLANS ASR-0066-2019



THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
1111 Oberlin Road
Raleigh, NC 27605-1136 USA
Office: 919.835.4787
Fax: 919.839.2255
E Mail: ed@thesitegroup.net

ADMINISTRATIVE SITE PLANS FOR:
URBAN AXES
ASR-0066-2019
2415 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA

Drawn By **JHJ**
Checked By **EFS**

DATE:
29 AUG 2019
REVISED:
29 OCT 2019
20 FEB 2020

SITE PLANS

COVER SHEET

Job Code **AAUA**

Dwg No.
SITE 001

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DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-296-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:
Building Type	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Site Transaction History <input checked="" type="checkbox"/> General Subdivision transaction #: <input type="checkbox"/> Mixed use Sketch transaction #: <input type="checkbox"/> Open lot Certificate of Appropriateness #: <input type="checkbox"/> Civic Board of Adjustment #: <input type="checkbox"/> Administrative Alternate #:

GENERAL INFORMATION

Development name: 2415 Atlantic Ave - Urban Axes

Inside City limits? ☐ Yes ☐ No

Property address(es): **2415 Atlantic Ave. & 2401 Atlantic Avenue**

Site P.I.N. (s): 1715-20-8898 & 1715-20-8717

Please describe the scope of work. Include any additions, expansions, and change of use.

Change of use from Light Manufacturing (printing/shipping) facility for Glover Printing to Indoor Recreation. Urban Axes is a club for ex-throwing enthusiasts. The majority of the activities are scheduled activities between competing ex-throwing clubs, the times available for walk in traffic is limited. No food preparation or food service is proposed for this facility. Work on 2401 Atlantic Avenue is limited to re-striping the existing parking lot.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: NTB-Fuquay, LLC c/o Aston Properties, Inc. Title: Bryan Smith - Senior Project Manager

Address: 610 E. Morehead St., Suite 100 Charlotte, North Carolina 28202

Phone #: 704-366-7337 Email: bsmith@astonprop.com

Applicant Name: Bryan Smith - Senior Project Manager

Company: NTB-Fuquay, LLC c/o Aston Properties, Inc. Address: 610 E. Morehead St., Suite 100 Charlotte, NC 28202

Phone #: 704-366-7337 Email: bsmith@astonprop.com

Page 1 of 2

REVISION 06.05.19

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DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3-PL	Existing gross floor area (not to be demolished): 7,530
Gross site acreage: 0.77	Existing gross floor area to be demolished: 0
# of parking spaces required: 25	New gross floor area: 0
# of parking spaces proposed: 25	Total # of gross (to remain and new): 7,530
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Light Manufacturing(Print Shop)	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Indoor Recreation	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.88 Ac. Square Feet: 38,714 SF	Proposed Impervious Surface: Acres: 0.88 Ac. Square Feet: 38,714 SF
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide: Flood ID: FEMA Map Panel #: 3725171000; May 2, 2005	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: # of bedroom units: 1br: 2br: 3br:	Total # of hotel units: 4br or more:
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate The Site Group, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which <u>shall</u> provisions will expire after 180 days of inactivity.	
Signature:	Date: 2/12/2020
Printed Name: Steven J. Smith	

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Nitrogen loading calculation for additions or expansions

acres of existing impervious area = 0.591 acres
acres of existing managed open space = 0.188 acres
acres of proposed new impervious surfaces = 0.022 acres

The following are calculated by the spreadsheet:

Pounds of nitrogen from new impervious surfaces (lbs) = -0.5512 lbs

Remaining open space (acres) = 0.216 acres

Appropriated open space (acres) = -0.0008 acres

Area associated with loading from "new" development (ac) = -0.0355 acres

Nitrogen loading associated with the new development = 15.7058 lbs/acre

Total pounds of nitrogen assoc w/ new development = -0.563 lb

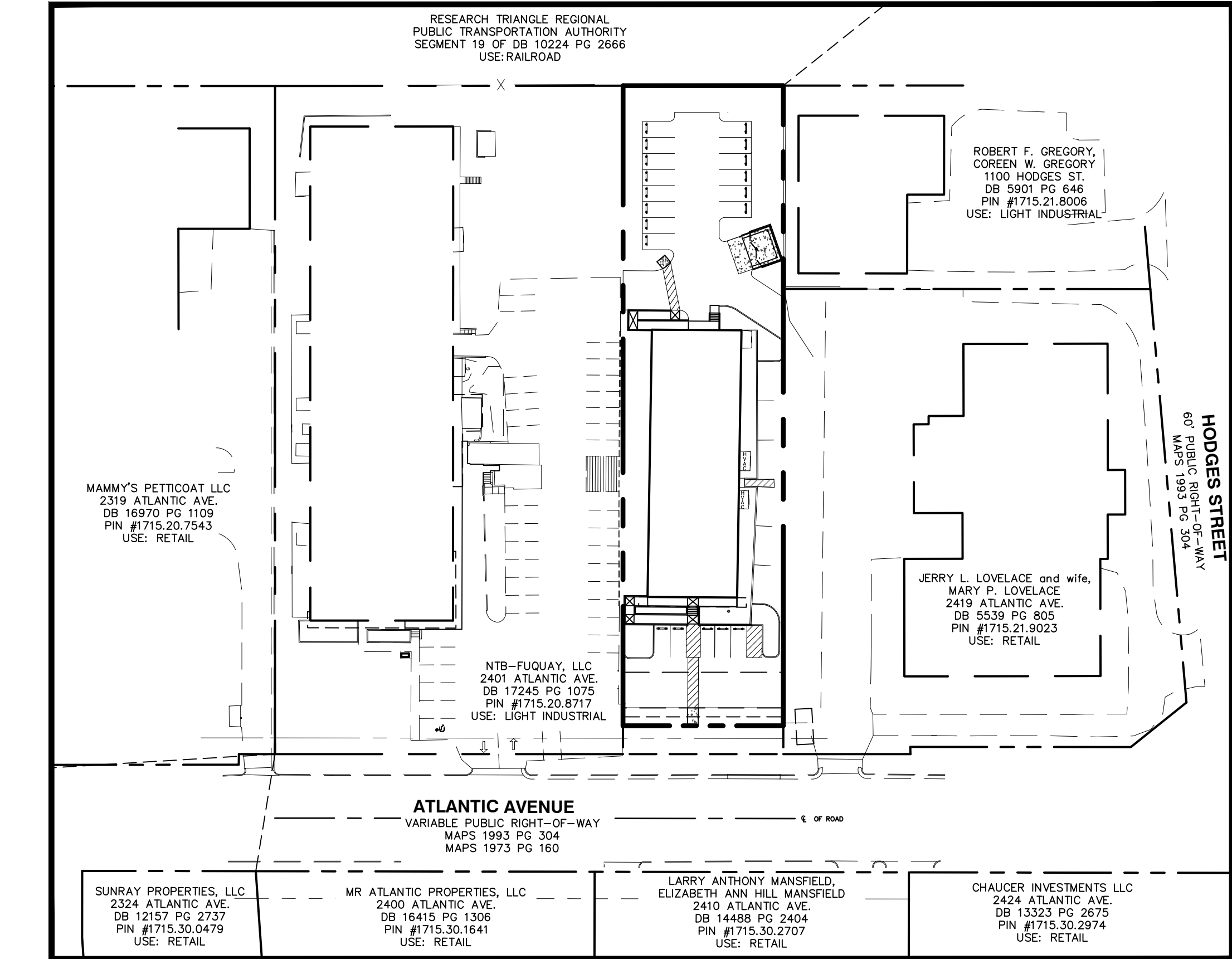
Pounds of nitrogen required to be removed = -0.434 lb

Pounds of nitrogen removed through BMPs = 0 lb

Cost for buydown = \$369.09

IMPERVIOUS AREA SUMMARY - PRE VS. POST DEVELOPMENT CONDITION

SINCE POST DEVELOPMENT IMPERVIOUS AREA IS LESS THAN EXISTING IMPERVIOUS AREA, NUTRIENT REMOVAL IS NOT REQUIRED.



PARKING CALCULATIONS FOR 2415 ATLANTIC AVENUE:

EXISTING USE: PRINT SHOP (LIGHT MANUFACTURING)
REQUIRED: 1/600 SF. OFFICE + 1/3,000 SF. ADDITIONAL INDOOR SPACE
1500/600 + 6,030/3,000 = 5 REQUIRED

PROPOSED USE: INDOOR RECREATION
REQUIRED: 1/300 SF. BUILDING AREA
7,530/300 = 25 REQUIRED
PROVIDED: 25 SPACES (INCL. 2 HANDICAP SPACES)
REQUIRED INCREASE > 10 SPACES; THEREFORE SITE PLAN REVIEW REQUIRED
REQUIRED SHORT TERM BICYCLE PARKING: 1/5,000 SF.; MINIMUM 4 REQUIRED
PROVIDED SHORT TERM BICYCLE PARKING: 4 SPACES

PARKING CALCULATIONS FOR 2401 ATLANTIC AVENUE:

REQUIREMENT:
LIGHT INDUSTRIAL (1 SPACE/600 SF OFFICE)
(1 SPACE/3000 SF ADDITIONAL)

BUILDING AREA: 22,187 SF
BASED ON GLOVER PRINTING FLOOR PLAN (6,000 OFFICE + 16,187 SF ADD'L SPACE)
PARKING REQUIRED = 6,000 SF/600SF + 16,187/3,000 = 15 SPACES REQUIRED

CURRENTLY PROVIDED PARKING: 43 SPACES
PROPOSED PARKING TO BE REMOVED: 5 SPACES
REMAINING PARKING: 38 SPACES

SUMMARY:
15 SPACES REQUIRED
38 EXISTING SPACES PROVIDED (INCLUDES 1 H/C SPACE)

ROW DEDICATION CALCULATION:

ATLANTIC AVENUE CLASSIFICATION: AVENUE, 4 LANE DIVIDED
1/4 OF 104' ROW REQUIRED = 52'
1/4 OF 76' B-B STREET REQUIRED = 38'
DISTANCE FROM C/L OF STREET TO EX. ROW: 36'
52' - 36' = 16' ROW DEDICATION REQUIRED
DISTANCE FROM C/L TO B/C: 24.5'
38' - 24.5' = 13.5' ROAD WIDENING REQUIRED

CONTACT:
ED SCONFENZA, PE
THE SITE GROUP, PLLC
1111 OBERLIN ROAD
RALEIGH, NC 27605
PHONE: (919) 835-4787
FAX: (919) 839-2255
EMAIL: eds@thesitegroup.net

OWNER:
NTB-FUQUAY, LLC
C/O: ASTON PROPERTIES, INC.
ATTN: BRYAN SMITH, P.E.
610 E. MOREHEAD ST., SUITE 100
CHARLOTTE, NC 28209-2699
PHONE: (704) 319-4921
EMAIL: bsmith@astonprop.com

LEGEND

--- PROPERTY BOUNDARY
--- ADJACENT LOT LINE
--- EX. EASEMENT
--- SD --- EXISTING STORM
--- PROPOSED STORM
--- W --- W --- EXISTING WATER LINE
--- SS --- EXISTING SEWER LINE
--- FP --- FP --- FLOOD PLAIN LINE
--- F --- F --- FLOODWAY
--- LIMITS OF DISTURBANCE
--- EXISTING TOPO MAJOR
--- EXISTING TOPO MINOR
--- 300 --- PROPOSED CONTOUR MAJOR
--- 301 --- PROPOSED CONTOUR MINOR

SITE DATA SUMMARY

1. PROJECT NAME: URBAN AXE
2. PROJECT ADDRESS: 2415 ATLANTIC AVENUE, RALEIGH NC
3. PIN NUMBERS: 1715-20-8898
4. CURRENT OWNER: NTB-FUQUAY LLC
5. EXISTING ZONING: IX-3-PL
6. EXIST LOT SIZE: 0.77 AC / 33,961 SF.
PROPOSED R/W DEDICATION: 0.033 AC / 1,436 SF
NET LOT SIZE AFTER R/W DEDICATION: 0.74 AC / 32,525 SF
7. CURRENT USE: LIGHT MANUFACTURING (PRINTING)
8. PROPOSED USE: INDOOR RECREATION
9. EXISTING BUILDING SF: 7,530 SF.
10. MAXIMUM BUILDING HEIGHT: 50' (3 STORY)
11. EXISTING BUILDING HEIGHT: 16.6 (EXISTING - NO CHANGE)
12. PARKING REQUIREMENT:
INDOOR RECREATION (1 SPACE/300 SF.): 7,530/300 = 25 SPACES REQ'D
PROPOSED PROVIDED: 25 SPACES (INCLUDING 1 HANDICAP SPACE)
BICYCLE PARKING REQUIRED/PROVIDED: 4 SHORT TERM; 0 LONG TERM
13. BUILDING SETBACKS (MINIMUMS):
PRIMARY STREET: 3'
SIDE YARD: 0' or 6'
REAR YARD: 0' or 6'
14. WATERSHED: CRABTREE CREEK
15. RIVER BASIN: NEUSE
16. REQUIRED OPEN SPACE: N/A
17. REQUIRED AMENITY AREA: 0.074 AC. / 3,253 SF. (10.0%)
18. PROPOSED AMENITY AREA: 0.09 AC. / 3,735 SF. (11.5%)
19. EXISTING IMPERVIOUS AREA: 0.59 AC. / 25,734 SF.
20. PROPOSED IMPERVIOUS AREA: 0.57 AC. / 24,904 SF.
21. PROPOSED DISTURBED AREA: 0.45 AC. / ±19,813 SF.

22. OWNER: NTB-FUQUAY LLC
C/O: ASTON PROPERTIES, INC.
ATTN: BRYAN SMITH, P.E.
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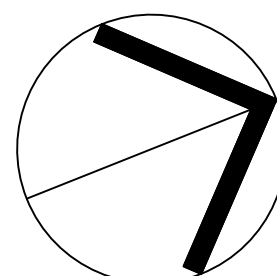
GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BASE INFORMATION IS TAKEN FROM A SURVEY FROM R.B. PHARR & ASSOCIATES, P.A. DATED JULY 24, 2018. ADDITIONAL BASE INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND IS NOT FIELD VERIFIED.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

DRAWINGS INDEX:

SITE 001
SITE 100
SITE 200
SITE 300
SITE 400
SITE 500
SITE 600
SITE 601
A-1

COVER SHEET
EXISTING CONDITIONS & DEMO PLAN
SITE LAYOUT PLAN
GRADING PLAN
UTILITY PLAN
LANDSCAPE PLAN
SITE DETAILS
SITE DETAILS
BUILDING ELEVATIONS



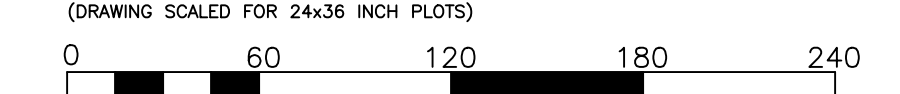
NORTH

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

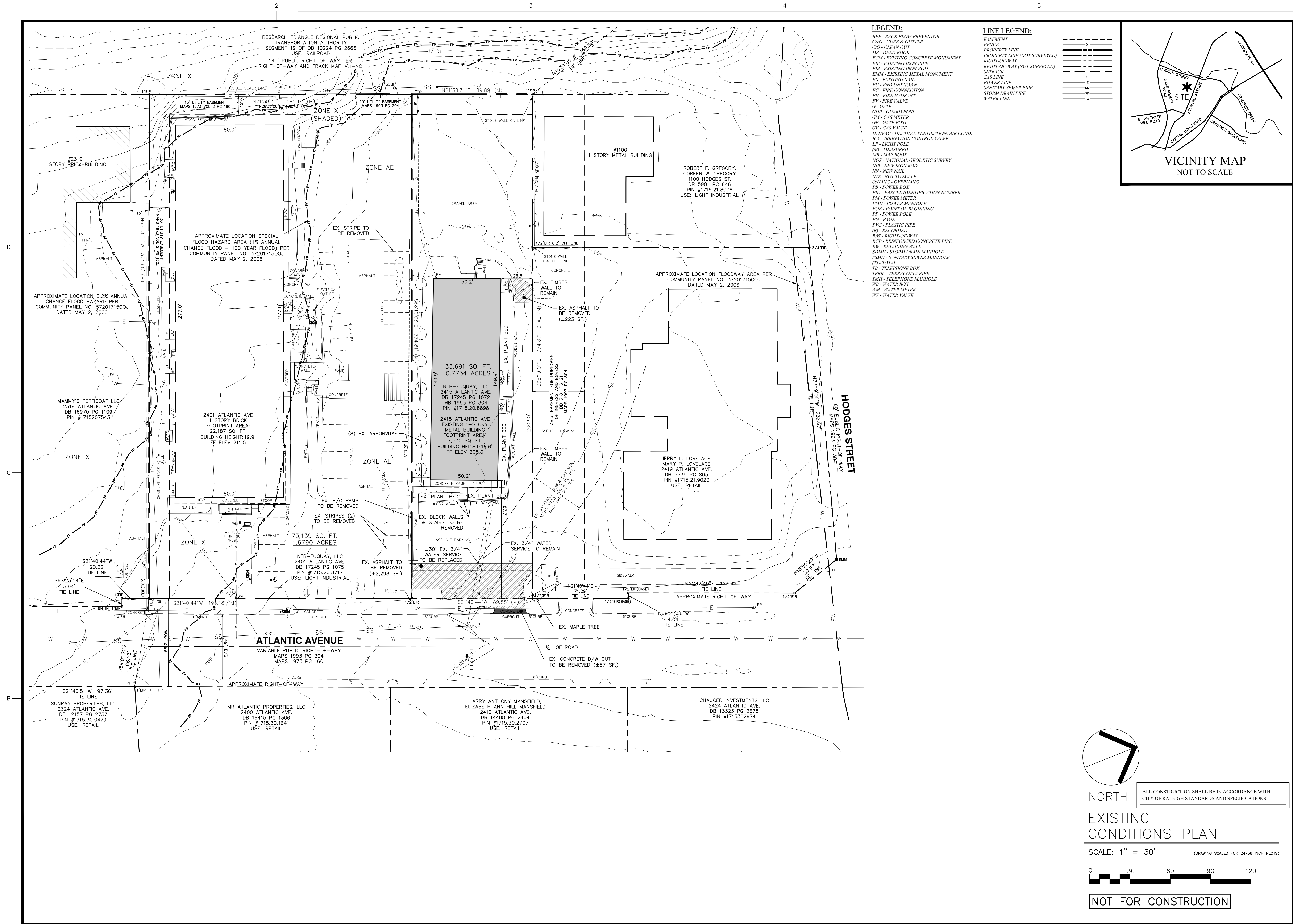
COVER SHEET

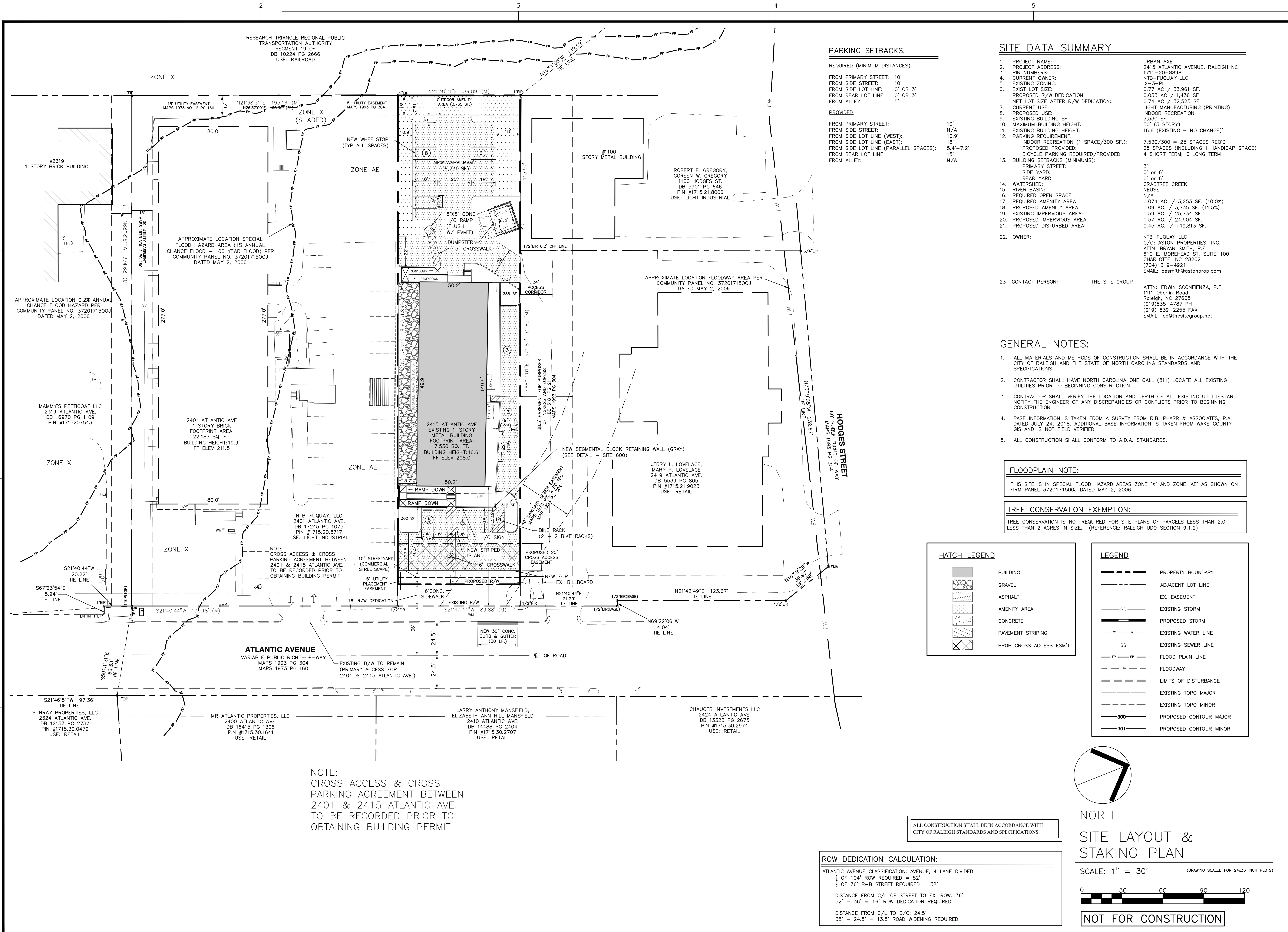
SCALE: 1" = 60'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION





PARKING SETBACKS:	
REQUIRED (MINIMUM DISTANCES)	
FROM PRIMARY STREET:	10'
FROM SIDE STREET:	10'
FROM SIDE LOT LINE (WEST):	0' OR 3'
FROM REAR LOT LINE (EAST):	0' OR 3'
FROM ALLEY:	5'
PROVIDED:	
FROM PRIMARY STREET:	10'
FROM SIDE STREET:	N/A
FROM SIDE LOT LINE (WEST):	10.9'
FROM SIDE LOT LINE (EAST):	18'
FROM SIDE LOT LINE (PARALLEL SPACES):	5.4'-7.2'
FROM REAR LOT LINE:	15'
FROM ALLEY:	N/A

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FLOODPLAIN NOTE:

THIS SITE IS IN SPECIAL FLOOD HAZARD AREAS ZONE 'X' AND ZONE 'AE' AS SHOWN ON FIRM PANEL 3720171500J DATED MAY 2, 2006

TREE CONSERVATION EXEMPTION:

TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2.0 LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDO SECTION 9.1.2)

HATCH LEGEND

	BUILDING
	GRAVEL
	ASPHALT
	AMENITY AREA
	CONCRETE
	PAVEMENT STRIPING
	PROP CROSS ACCESS ESM/T

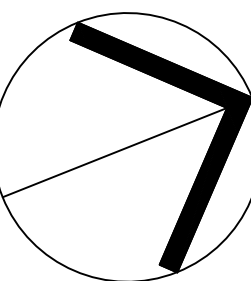
LEGEND

	PROPERTY BOUNDARY
	ADJACENT LOT LINE
	EX. EASEMENT
	EXISTING STORM
	PROPOSED STORM
	EXISTING WATER LINE
	EXISTING SEWER LINE
	FLOOD PLAIN LINE
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	EXISTING TOPO MINOR
	PROPOSED CONTOUR MAJOR
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NORTH

SITE LAYOUT & STAKING PLAN

SCALE: 1" = 30'

(DRAWING SCALED FOR 24x36 INCH PLOTS)

0 30 60 90 120

NOT FOR CONSTRUCTION

ADMINISTRATIVE SITE PLANS FOR:

URBAN AXES
ASR-0068-2019
2415 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA

Drawn By: JHJ
Checked By: EFS

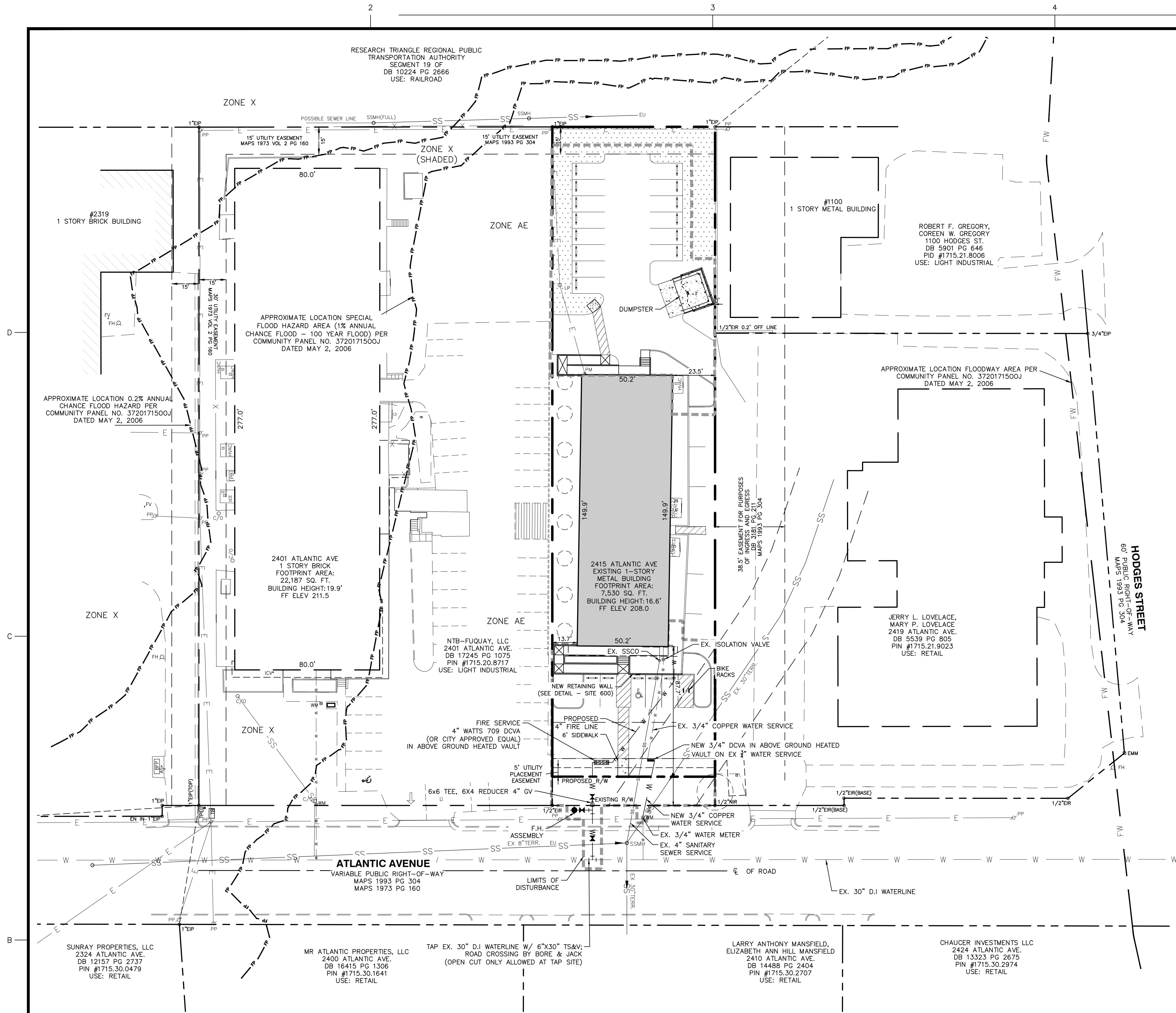
DATE: 29 AUG 2019
REVISED:
29 OCT 2019
20 FEB 2020

SITE PLAN

SITE LAYOUT & STAKING PLAN

Job Code: AAUA

Dwg No. SITE 200



NOTE:
IF FOOD PREPARATION IS TO OCCUR IN THE FACILITY, A GREASE TRAP MUST BE INSTALLED. GREASE TRAPS MUST BE APPROVED BY FOG@RALEIGHNC.GOV OR 919-996-1871.

UTILITY NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDING WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLANS.
- FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PERMITS PER THE 2012 NCFPC, SECTION 507.3.
- CONTRACTORS ABANDONING WATER SERVICES SHALL REMOVE THE ENTIRE SERVICE STUB, WHEN AVAILABLE, A MECHANICAL PLUG SHALL BE USED TO ABANDON THE CORPORATION COCK. IF EQUIPMENT NECESSARY TO PLUG THE MAIN IS NOT AVAILABLE, THE CORPORATION STOP SHALL BE TURNED OFF AND CAPPED. A 1/2" PVC PIPE SHALL EXTEND A MINIMUM OF 12" ABOVE THE CAPPED CORPORATION STOP, WRAPPED AT LEAST 3 TIMES WITH CAUTION TAPE TO IDENTIFY AN ABANDONED TAP. ALL REMAINING PORTIONS OF THE SERVICE STUB SHALL BE REMOVED FROM THE MAIN TO THE RIGHT OF WAY LINE AND SHALL BE DISPOSED OF PROPERLY. WATER MAIN ABANDONMENT MUST BE PERFORMED IN ACCORDANCE WITH A PLAN APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. SERVICE AND MAIN ABANDONMENT REQUIRES A STUB PERMIT FOR INSPECTION BY THE PUBLIC WORKS DEPARTMENT AT 919-996-2409.

GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BASE INFORMATION IS TAKEN FROM A SURVEY FROM R.B. PHARR & ASSOCIATES, P.A. DATED JULY 24, 2018. ADDITIONAL INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND IS NOT FIELD VERIFIED.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

STANDARD UTILITY NOTES (AS APPLICABLE):

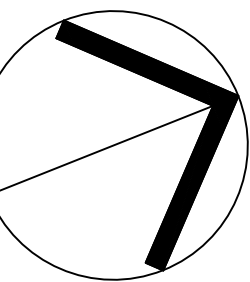
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100 SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.

LEGEND

---	PROPERTY BOUNDARY
---	ADJACENT LOT LINE
---	EX. EASEMENT
---	EXISTING STORM
---	PROPOSED STORM
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	FLOOD PLAIN LINE
---	FLOODWAY
---	LIMITS OF DISTURBANCE
---	EXISTING TOPO MAJOR
---	EXISTING TOPO MINOR
---	PROPOSED CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR

HATCH LEGEND

[Hatch]	BUILDING
[Hatch]	GRAVEL
[Hatch]	ASPHALT
[Hatch]	LANDSCAPE ISLANDS
[Hatch]	AMENITY AREA
[Hatch]	CONCRETE
[Hatch]	PAVEMENT STRIPING

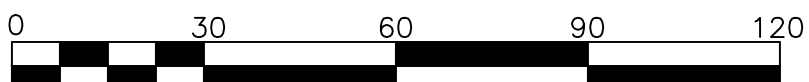


NORTH

UTILITY PLAN

SCALE: 1" = 30'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

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E Mail: ed@thesitegroup.net

ADMINISTRATIVE SITE PLANS FOR:
URBAN AXES

ASR-0066-2019
2415 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA

Drawn By: JHJ
Checked By: EFS

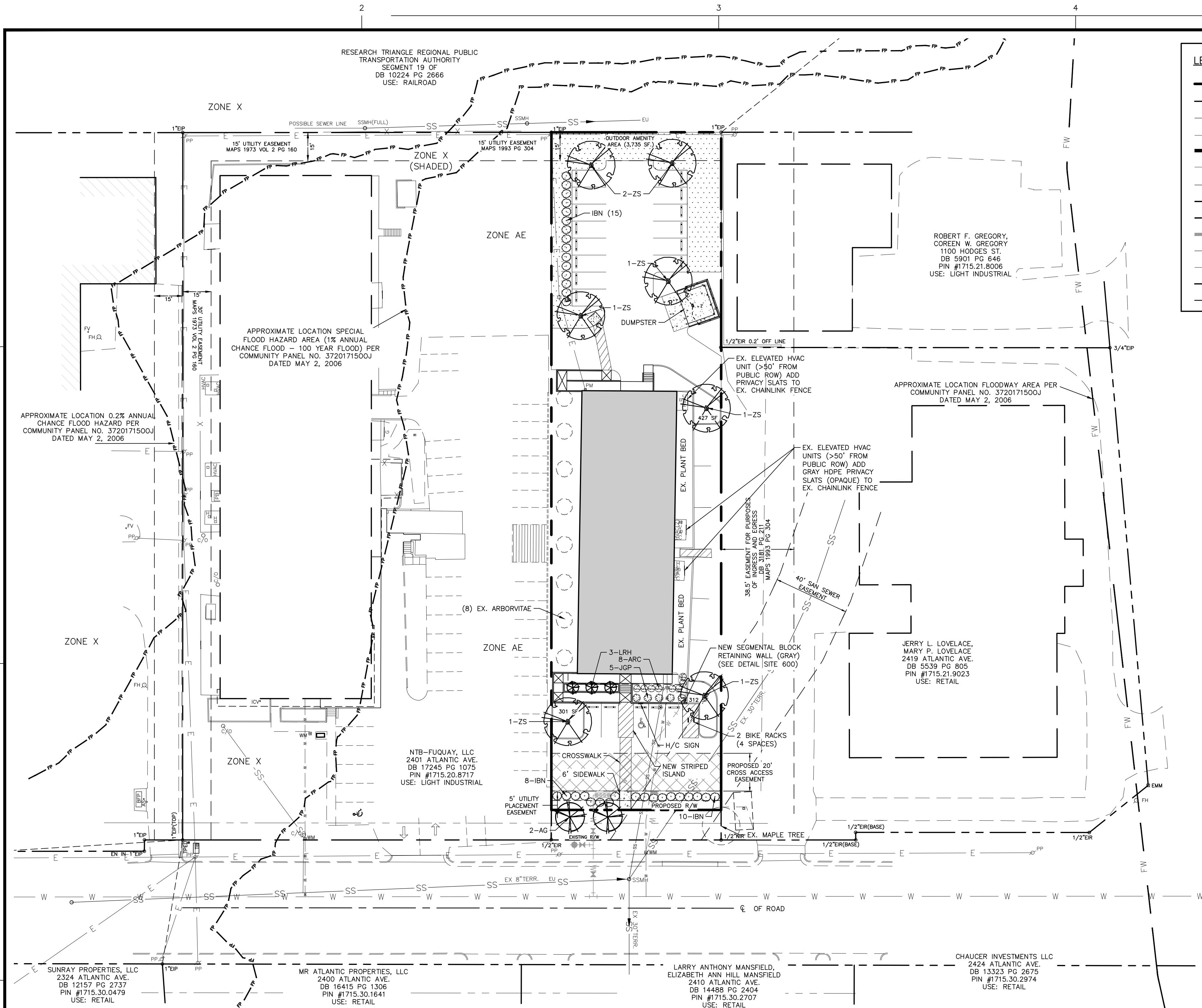
DATE: 29 AUG 2019
REVISED:
29 OCT 2019
20 FEB 2020

SITE PLAN

UTILITY PLAN

Job Code: AAUA

Dwg No. 400
SITE 400



OVERALL ONSITE PLANT LIST								
KEY	QTY	BOTANICAL NAME	COMMON NAME	INSTALL HEIGHT	INSTALL SIZE	MATURE HEIGHT/SPREAD	ROOT	REMARKS
CANOPY TREES								
ZS	7	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	10' HT. (MIN.)	3" CAL.	50'/40'	B&B	MATCHING
UNDERSTORY TREES								
AG	2	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HT. (MIN.)	2" CAL.	20'/15'	B&B	SINGEL-STEM
LRH	3	LAGERSTROMIA BLACK DIAMOND 'RED HOT'	RED HOT CRAPE MYRTLE	5' HT. (MIN.)	10 GAL.	10'/6'	CONT.	MATCHING
SHRUBS								
ARC	8	ABELIA GRANDIFLORA 'ROSE CREEK'	ROSE CREEK ABELIA	24" HT. (MIN.)	5 GAL.	4'/4'	CONT.	MATCHING
IBN	33	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	24" HT. (MIN.)	5 GAL.	5'/5'	CONT.	MATCHING
JGP	5	JUNIPERUS CONFERTA 'GOLDEN PACIFIC'	GOLDEN PACIFIC JUNIPER	12" HT. (MIN.)	7 GAL.	2'/6'	CONT.	MATCHING

PLANTING NOTES:
LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.

SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER, O.C. = ON-CENTER, (R) = TO REMAIN

MULCH: MULCH ALL BED AREAS WITH HARDWOOD MULCH TO A DEPTH OF 3".

NOTE:
1. ANY TREES IN SIGHT TRIANGLES WILL BE LIMBED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SIGHT TRIANGLES WILL BE MAINTAINED BELOW 2.5'.
2. ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.
3. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
4. STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH TPP-03 CITY DETAIL BETWEEN OCT 1 AND APRIL 30. A LANDSCAPE AGREEMENT IS NEEDED IF CO IS REQUIRED OUTSIDE OF THE PLANTING WINDOW. CONTACT THE URBAN FORESTRY INSPECTOR WITH QUESTIONS.

AMENITY AREA CALCULATIONS:

REQUIRED AMENITY AREA:	0.07 AC. / 3,226 SF. (10%)
PROPOSED AMENITY AREA:	0.08 AC. / 3,600 SF. (10.5%)

STREET TREE PLANTING:

REQUIRED: 1 TREE 40' O.C. (AVE): 89.88'/40' = 2 TREES REQ'D
1 EXISTING; TWO UNDERSTORY TREES ADDED (DUE TO OVERHEAD UTILITIES) TO MEET MAXIMUM SPACING REQUIREMENT.

FLOODPLAIN NOTE:

THIS SITE IS IN SPECIAL FLOOD HAZARD AREAS ZONE 'X' AND ZONE 'AE' AS SHOWN ON FIRM PANEL 3720171500J DATED MAY 2, 2006

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

LEGEND

- PROPERTY BOUNDARY
- ADJACENT LOT LINE
- EX. EASEMENT
- SD EXISTING STORM
- PROPOSED STORM
- EXISTING WATER LINE
- SS EXISTING SEWER LINE
- FP FLOOD PLAIN LINE
- FLOODWAY
- LIMITS OF DISTURBANCE
- EXISTING TOPO MAJOR
- EXISTING TOPO MINOR
- 300 PROPOSED CONTOUR MAJOR
- 301 PROPOSED CONTOUR MINOR

HATCH LEGEND

- BUILDING
- GRAVEL
- ASPHALT
- LANDSCAPE ISLANDS
- AMENITY AREA
- CONCRETE
- PAVEMENT STRIPING

DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR UNHEALTHY BRANCHES.

PROVIDE STAKING IF SPECIFIED. IF STAKING IS PROVIDED, PROTECT TREE WITH BROAD STRAP OR FLEXIBLE TUBING. ALLOW FLEXIBILITY IN STRAPS TO DEVELOP TRUNK TAPER. PROVIDE TURN BUCKLE AND WARNING FLAGS. REMOVE ALL STAKING AND ACCESSORIES WITHIN ONE YEAR FROM PLANTING.

THE ROOT FLARE SHALL BE PLANTED AT GRADE. NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE AT GRADE. TREE SHALL BE SET PLUMB.

MULCH DEPTH 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM.

HIGH QUALITY SOIL MIX AS SPECIFIED

WATER SAUCER SHALL BE NO MORE THAN 3" ABOVE GRADE

COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE.

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

ROOTBALL DIAMETER

3 X

NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SEASON OCTOBER - APRIL.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGH.GOV
WWW.RALEIGHNC.GOV

CITY OF RALEIGH
PARKS, RECREATION AND CULTURAL RESOURCES DEPT

REVISIONS	DATE	BY	NOT TO SCALE

TREE PLANTING DETAIL

PRCR-03

To promote aeration and percolation in heavy soil, plant rootball above existing grade as shown.

Provide an earth saucer for water retention.

Backfill with 80% parent material and 20% decomposed organic material by volume well mixed as approved by the architect.

Provide 6" minimum of backfill on each side of rootball to promote rapid reestablishment.

Provide minimum 4" thick pine straw in 5' wide planting bed or as directed on plans.

SHRUB PLANTING DETAIL
N.T.S.

THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

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Raleigh, NC 27605-1136 USA
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Fax: 919.839.2255
E Mail: ed@thesitegroup.net

ADMINISTRATIVE SITE PLANS FOR:

URBAN AXES
ASR-0066-2019
2415 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA

Drawn By: **JHJ**
Checked By: **EFS**

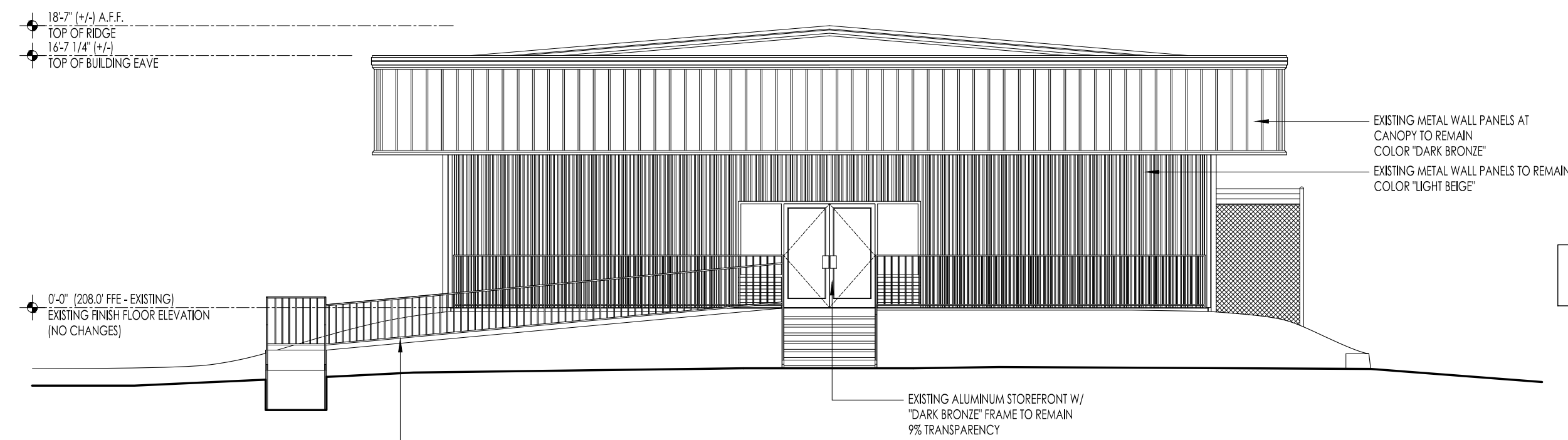
DATE: 29 AUG 2019
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SITE PLAN

LANDSCAPE PLAN

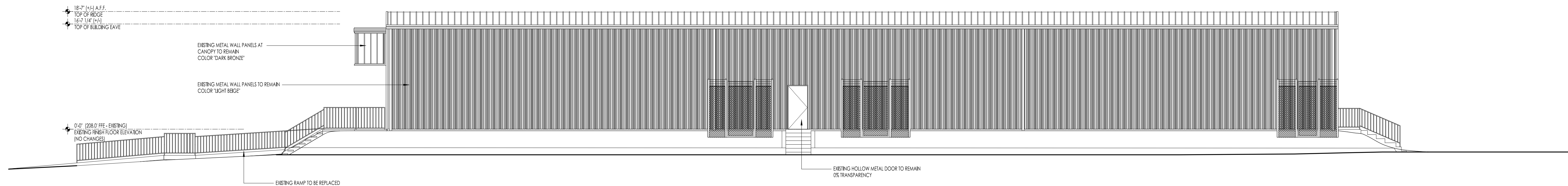
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Dwg No. **SITE 500**

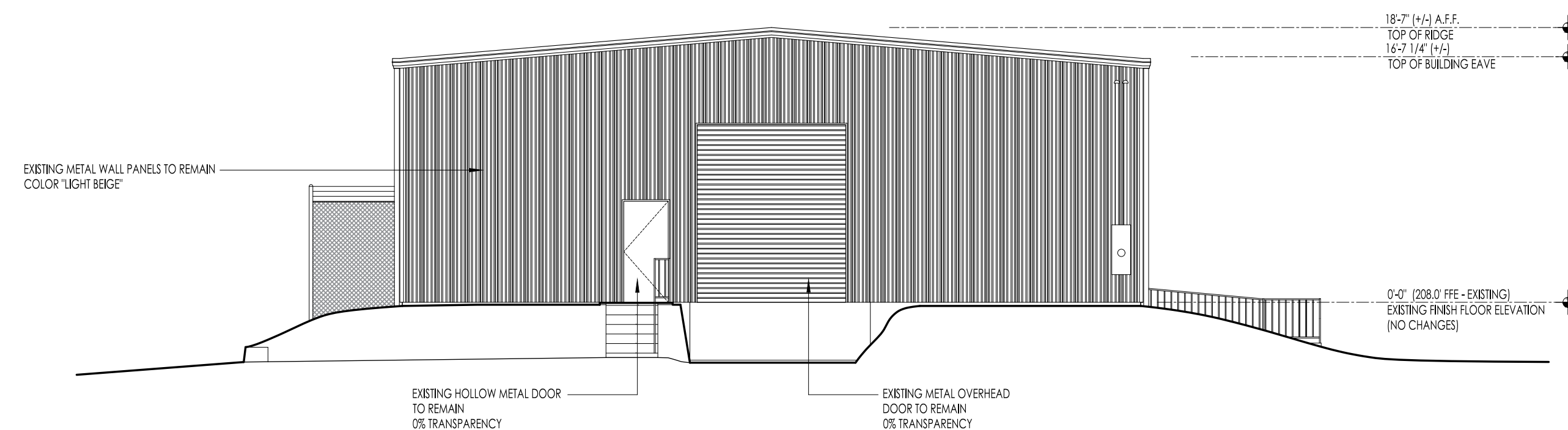


NO FACADE CHANGES

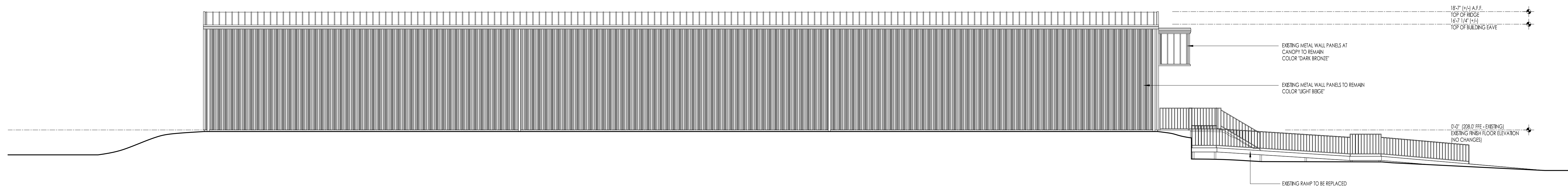
01
A-1
EXISTING EAST ELEVATION
SCALE: 1/8"=1'-0"



02
A-1
EXISTING NORTH ELEVATION
SCALE: 1/8"=1'-0"



03
A-1
EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0"



04
A-1
EXISTING SOUTH ELEVATION
SCALE: 1/8"=1'-0"

ADMINISTRATIVE SITE PLANS FOR

URBAN AXES
ASTON PROPERTIES
2415 ATLANTIC AVENUE
RALEIGH, NORTH CAROLINA

JOB #:

DWG BY:
DVS
CHK BY:
DVS
DATE: 08/29/19
REV NO DATE
1 10/29/19

EXISTING EXTERIOR
ELEVATIONS

SHEET NUMBER

A-1