

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Case #: _____	Planner (print): _____
---------------------------------------	------------------------

Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: Z-13-19	
		Administrative Alternate #: _____	

GENERAL INFORMATION
---------------------

Development name: Sycamore Grove Apartments	
Inside City limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Property address(es): <b>8211 Louisburg Road</b>	
Site P.I.N.(s): 1747295817 and 1747298944	
Please describe the scope of work. Include any additions, expansions, and change of use. Apartment development with 64 apartments--(16) one-bedroom apts., (30) two-bedroom apts., and (18) three-bedroom apts.	
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>	
Company: Sycamore Grove Apartments, LLC	Title: Dane Sambrick / Member - Manager
Address: 4944 Windy Hill Dr., Raleigh, NC 27609	
Phone #: 919-602-0678	Email: dsambrick@sambrick.us
Applicant Name: Dane Sambrick	
Company: Sycamore Grove Apartments, LLC	Address: 4944 Windy Hill Dr., Raleigh, NC 27609
Phone #: 919-602-0678	Email: dsambrick@sambrick.us

**DEVELOPMENT TYPE + SITE DATE TABLE**

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): RX-3-CU, Zoning Case #Z-13-2019	Existing gross floor area (not to be demolished): 0
Gross site acreage: 4.28	Existing gross floor area to be demolished: 0
# of parking spaces required: 137	New gross floor area: 73,164
# of parking spaces proposed: 138	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings: 2
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: <b>3</b>
Proposed use (UDO 6.1.4): Multi-Family Apartments	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: <u>0</u> Square Feet: <u>0</u>	Proposed Impervious Surface: Acres: <u>1.86</u> Square Feet: <u>81,195</u>
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

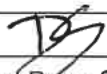
**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units: 64	Total # of hotel units:
# of bedroom units: 1br <input checked="" type="checkbox"/> <b>16</b> 2br <input checked="" type="checkbox"/> <b>30</b> 3br <input checked="" type="checkbox"/> <b>3</b> 4br or more <input type="checkbox"/>	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**SIGNATURE BLOCK**

I hereby designate Triangle Site Design, PLLC to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: 	Date: 8/17/2020
Printed Name: Dane Sambrick	

INDEX OF DRAWINGS

Table with 2 columns: Drawing ID and Description. Includes items like COVER SHEET, DEMOLITION PLAN, SITE PLAN, GRADING & DRAINAGE PLAN, UTILITY PLAN, STORMWATER MANAGEMENT DETAILS, SOLID WASTE MANAGEMENT DETAILS, LIGHTING PLAN, LANDSCAPE PLAN, TREE CONSERVATION PLAN, BOUNDARY & TOPOGRAPHIC SURVEY, BUILDING FLOOR PLAN, BUILDING ELEVATIONS.

SITE REVIEW

ASR- \_\_\_\_\_ -2020

Proposed

Sycamore Grove Apartments

8211 Louisburg Road

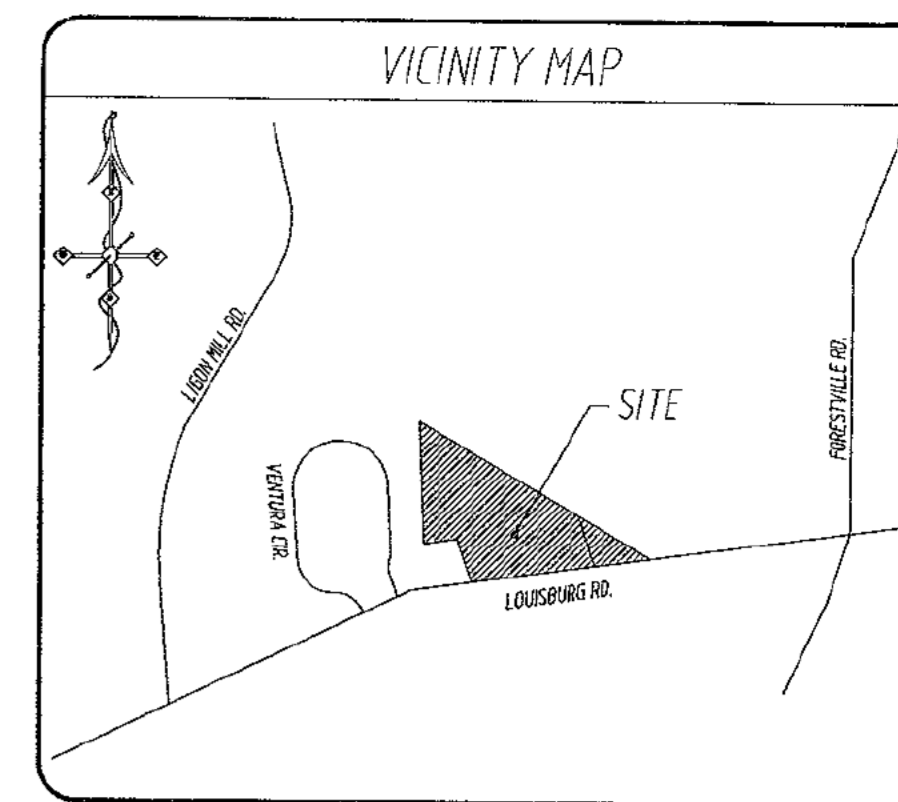
Raleigh, Wake County, North Carolina

OWNER/DEVELOPER

Sycamore Grove Apartments, LLC
4944 Windy Hill Drive
Raleigh, NC 27609
(919) 602-0678
(252) 758-1002
dsambrick@sambrick.us

CIVIL ENGINEER

Triangle Site Design, PLLC
Attn. Matt Lowder, PE
4004 Barrett Drive
Suite 101
Raleigh, NC 27609
(919)553-6570
mlowder@trianglesitedesign.com
NC LICENSE#P-0619



ZONING CONDITIONS: Z-13-19

7-13-19 - 8071 and 8225 Louisburg Road - near the intersection of Louisburg Road and Windy Hill Drive, being Wake County File #174795817 & 174728944, approximately 4.18 acres zoned to Residential Mixed Use 3-Stories-Conditional Use (RZ-3-CU).

- 1. The following principal uses listed in Allowed Principal Use Table (RZO Sec. 6.1.4) shall be prohibited: (a) medical - all types, (b) office - all types, (c) overnight lodging - all types, (d) personal service - all types, (e) retail establishments, and (f) retail sales - all types, and (g) two-story detached, fraternity and emergency shelter use.
2. The minimum density of dwelling units on the property shall not exceed 15 dwelling units per acre.
3. For purposes of this zoning ordinance, the following properties shall be defined as "Adjacent Properties": 1. P/N# 174791799 (01/22/16, PG 19/7), 2. P/N# 174722207 (08/13/16, PG 22/1), 3. P/N# 174820095 (08/08/12, PG 20/1), 4. P/N# 174820111 (08/16/12, PG 22/4), 5. P/N# 174820524 (08/15/16, PG 22/2), and 6. P/N# 174820846 (08/13/17, PG 17/1). In those areas along the Adjacent Properties where a Neighborhood Transition under UDO Section 3.5 is required (i.e. Type 2 protective yard pursuant to UDO Section 3.5.1B shall be provided in Zone A, (ii) any additional understory and shade trees that must be planted to satisfy the landscaping requirements shall be an evergreen species; and (iii) the required fence along the Adjacent Properties shall be a minimum of seven (7) feet in height.
4. The building setbacks from the existing right-of-way for Louisburg Road (U.S. Hwy 401, as shown on Highway Map 8004, Page 225 and 226, Wake County Registry, shall be a minimum of forty (40) feet.
5. The parking setback from the existing right-of-way for Louisburg Road (U.S. Hwy 401, as shown on Highway Map 8004, Pages 225 and 226, Wake County Registry, shall be a minimum of forty (40) feet, provided that parking shall be allowed within said 40 foot setback so long as such parking is located along the primary access drive to the property and west of the existing City of Raleigh Sanitary Sewer Easement (EB 14866, PG 959) that runs parallel to Louisburg Road (U.S. Hwy 401).
6. An undeveloped protective yard with an average width of forty (40) feet shall be provided along the frontage of Louisburg Road (U.S. Hwy 401), provided that, no portion of the protective yard shall be less than ten (10) feet in width. The protective yard set forth in this condition may be located immediately adjacent to the right-of-way regardless of any public or private easements located on the property and breaks for pedestrians and vehicle access and ground signs are allowed within the protective yard.
7. The Property shall not have to comply with any block perimeter requirements set forth in UDO, including but not limited to, UDO Section 8.22

IMPERVIOUS AREA SUMMARY table with columns: ITEM, AREA (SF), ACRES, and PERCENTAGE. Includes rows for BUILDINGS, PAVEMENT, SIDEWALK, TOTAL IMPERVIOUS AREA (ON-SITE), POROUS PAVEMENT, GREEN/OPEN SPACE, INCREASE IN ON-SITE IMPERVIOUS AREA, and PROPOSED OFF-SITE SIDEWALK.

BULK AREA REQUIREMENTS table with columns: LOCATION, ZONE, EXISTING USE, PROPOSED USE, P/N# ID, ITEM, REQUIREMENTS, and PROVIDED. Includes rows for LOCATION, DENSITY, MAXIMUM BUILDING LOT COVERAGE, MAXIMUM FRONT BUILD TO LOT, BUILDING SETBACKS, SETBACK FROM PRIMARY STREET, SETBACK FROM SECONDARY STREET, SETBACK FROM SIDE LOT LINE, SETBACK FROM FRONT LOT LINE, SETBACK FROM REAR LOT LINE, SETBACK FROM SIDE LOT LINE, MAXIMUM BUILDING HEIGHT, and WATERSHED.

CONDITION OF APPROVAL
A SECURITY FOR ALL PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO ANY MAP REVISION OR BUILDING PERMIT, WHICHEVER COMES FIRST.
- CITY STREET REQUIREMENTS FOR CONSTRUCTION COSTS AS APPLICABLE TO MAINTAINED FRONTAGE AND NOT OF CONSTRUCTION COSTS ALONG THE ADJACENT MAIN FRONTAGE.

FLOOD ZONE NOTE:
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAPS (FIRM #170714101) & #170714101A EFFECTIVE DATE MAY 2, 2006. FEMA FIRMS SUBJECT TO CHANGE.

AMENITY AREA CALCULATION table with columns: TOTAL AREA, AMENITY AREA REQUIREMENT, PERCENT OF PROPERTY, and PROPOSED AMENITY AREA.

PARKING CALCULATION table with columns: ITEM, REQUIREMENTS, and PROVIDED. Includes rows for BUILDING SIZE, PARKING REQUIRED, ON-PARKING ON, ON-DRIVEWAY WIDTH, HANDICAP SPACES, and LOADING SPACE.

CITY OF RALEIGH NOTES
REVIEW OF CITY OF RALEIGH CONSTRUCTION NOTES
- LOTS AND STREETS TO BE IMPROVED PRIOR TO ANY PERMITS OR CONSTRUCTION. THE CONTRACTOR OR LICENSEE SHALL SUBMIT A PROPER, CURRENT, AND UP-TO-DATE TRAFFIC STUDY WITH A SIGNATURE AND SEAL SERVICES APPLICATION TO REQUEST THE CONSTRUCTION PERMIT TO THE CITY OF RALEIGH.
- RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE CONSTRUCTION PERMIT TO THE CITY OF RALEIGH.
- THE CITY OF RALEIGH REQUIRES ALL IMPROVEMENTS ON-LOT TO BE COMPLETED PERMITS FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND MUST BE COMPLETED PRIOR TO ANY CONSTRUCTION.
- ALL TRAFFIC CONTROL SIGNALS AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR SIGNALING STRUCTURES", MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SIGNALING STRUCTURES", AND THE "CITY OF RALEIGH TRAFFIC CONTROL SERVICES MANUAL".
- ALL PUBLIC UTILITIES MUST BE ACCESSIBLE TO PROTECT THEMSELVES AND PROTECT THE PUBLIC FROM ANY DAMAGE TO THEIR UTILITIES. THE CITY OF RALEIGH REQUIRES ALL UTILITIES TO BE DEEPENED AND RE-ROUTED TO THE CITY OF RALEIGH TRAFFIC CONTROL SERVICES MANUAL.
- PRIOR TO THE START OF WORK, THE CITY OF RALEIGH WILL CONDUCT A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR AND THE CITY OF RALEIGH TRAFFIC CONTROL SERVICES DIVISION.
- ALL PERMITS MUST BE OBTAINABLE AND TYPICAL ON-SITE DURING THE CONSTRUCTION PERIOD.

CONSTRUCTION DRAWING NOTE
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE NOTES
1. SOLID WASTE SERVICES WILL BE PROVIDED BY PRIVATE COMPANY.
2. SEE SHEET 1.81 FOR SOLID WASTE DETAILS.

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-959-2300

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Table with 2 columns: Building Type and Site Transaction History. Building types include Detached, Attached, Apartment, Townhouse. Site transaction history includes Subdivision case #, Scoping/sketch plan case #, Certificate of Appropriateness #, Board of Adjustment #, Zoning Case #, and Administrative Alternate #.

GENERAL INFORMATION

Development name: Sycamore Grove Apartments

Inside City limits?  Yes  No

Property address(es): 8211 Louisburg Road

Site P.I.N.(s): 1747295017 and 1747298944

Please describe the scope of work. Include any additions, expansions, and change of use. Apartment development with 64 apartments--(16) one-bedroom apts., (30) two-bedroom apts., and (18) three-bedroom apts.

Current Property Owner/Developer Contact Name: Sycamore Grove Apartments, LLC Title: Dane Sambrick / Member - Manager

Address: 4944 Windy Hill Dr., Raleigh, NC 27609

Phone #: 919-602-0678 Email: dsambrick@sambrick.us

Applicant Name: Dane Sambrick

Company: Sycamore Grove Apartments, LLC Address: 4944 Windy Hill Dr., Raleigh, NC 27609

Phone #: 919-602-0678 Email: dsambrick@sambrick.us

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)

Table with 2 columns: SITE DATA and BUILDING DATA. Includes rows for Zoning district, Existing gross floor area, Gross site acreage, # of parking spaces required, # of parking spaces proposed, Overlay District, Existing use, and Proposed use.

STORMWATER INFORMATION

Table with 2 columns: Existing Impervious Surface and Proposed Impervious Surface. Includes rows for Acres, Square Feet, and Is this a flood hazard area?

RESIDENTIAL DEVELOPMENTS

Table with 2 columns: Residential Developments and Hotel Units. Includes rows for Total # of dwelling units, # of bedrooms units, and # of lots.

SIGNATURE BLOCK

I hereby designate Triangle Site Design, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: [Signature] Date: 8/17/2020

Printed Name: Dane Sambrick



CONTRACT: TRIANGLE SITE DESIGN, PLLC 4004 BARRETT DR. STE 101 RALEIGH, NC 27609 (919) 553-6570 mlowder@trianglesitedesign.com LICENSE #P-0619

OWNER/DEVELOPER: Sycamore Grove Apartments, LLC 4944 Windy Hill Drive Raleigh, NC 27609 (919) 602-0678 (252) 758-1002 dsambrick@sambrick.us

Sycamore Grove Apartments 8211 Louisburg Road Raleigh, NC Wake County ASR-2020

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of any information contained in this document without written authorization and adaptation by Triangle Site Design, PLLC shall be without liability to Triangle Site Design, PLLC.

Table with 2 columns: Date and Description. Includes rows for Date, Drawn, Checked, and Approved.

Project No: 09010

Date: August 17, 2020

Title: COVER SHEET

Sheet No: C0.0



**AMENITY AREA CALCULATION**

TOTAL AREA	3,97 AC (172,835 SF)
AMENITY AREA REQUIREMENT:	10% OF PROPERTY
	172,835 SF ÷ 10% = 17,284 SF
PROPOSED AMENITY AREA:	24,552 SF NOTED ON SITE PLAN

**IMPERVIOUS AREA SUMMARY**

SITE AREA = 396,510 SF (9.21 AC)			
BUILDINGS	77,907 SF	0.64 AC (9.5%)	16.96 %
PAVEMENT	17,835 SF	0.19 AC (2.8%)	25.65 %
SIDEWALK	5,453 SF	0.13 AC (2.0%)	2.92 %
<b>TOTAL IMPERVIOUS AREA (ON-SITE)</b>	<b>101,195 SF</b>	<b>1.06 AC (15.7%)</b>	<b>25.53 %</b>
PERVIOUS PAVEMENT	1,540 SF	0.03 AC (0.4%)	0.81 %
VEGETATED/OPEN SPACE	103,890 SF	2.30 AC (35.4%)	26.64 %
<b>INCREASE IN ON-SITE IMPERVIOUS AREA</b>	<b>81,195 SF</b>	<b>1.06 AC (15.7%)</b>	
<b>PROPOSED OFF-SITE SIDEWALK</b>	<b>89 SF</b>	<b>0.00 AC (0.0%)</b>	

**PARKING CALCULATION**

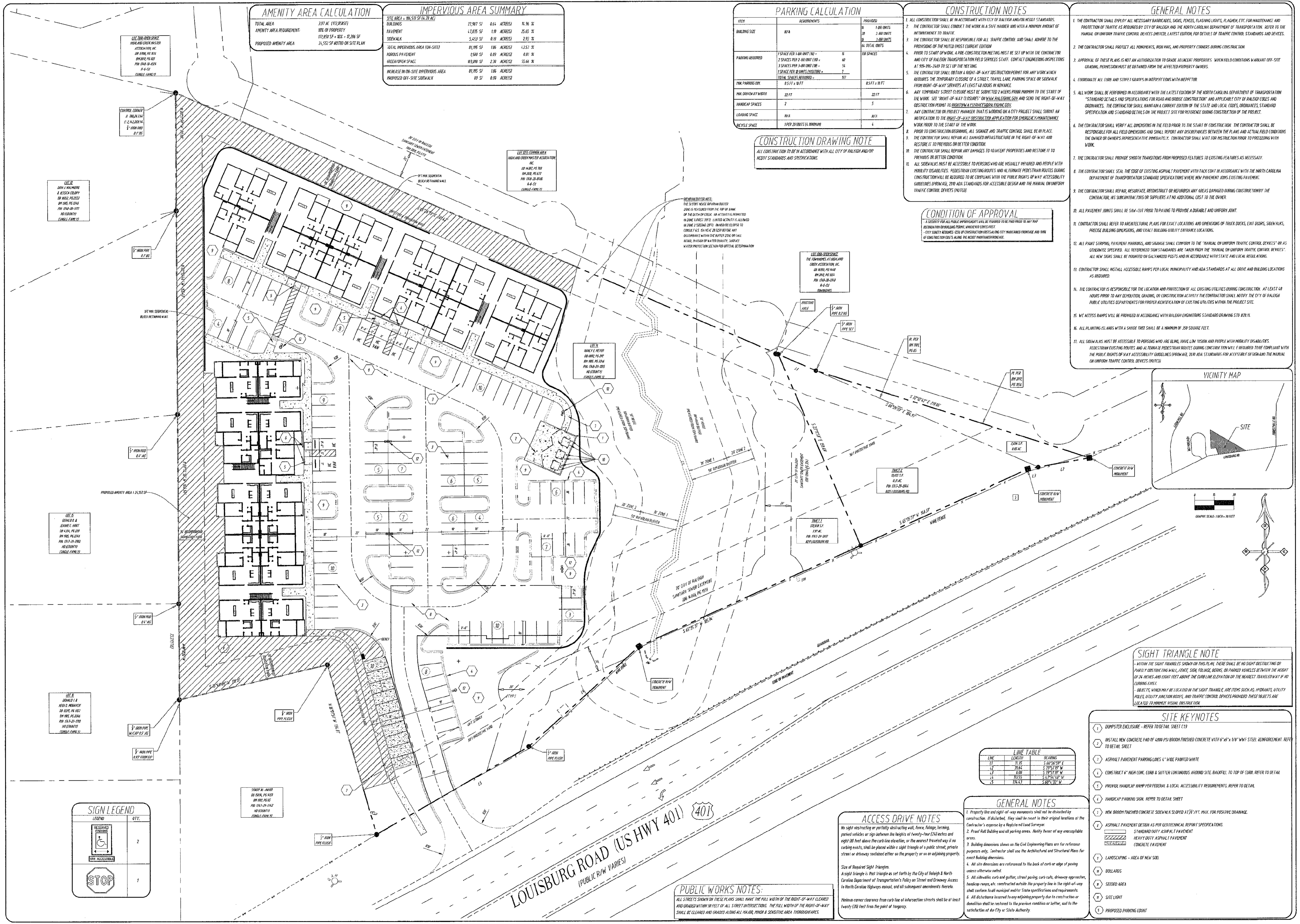
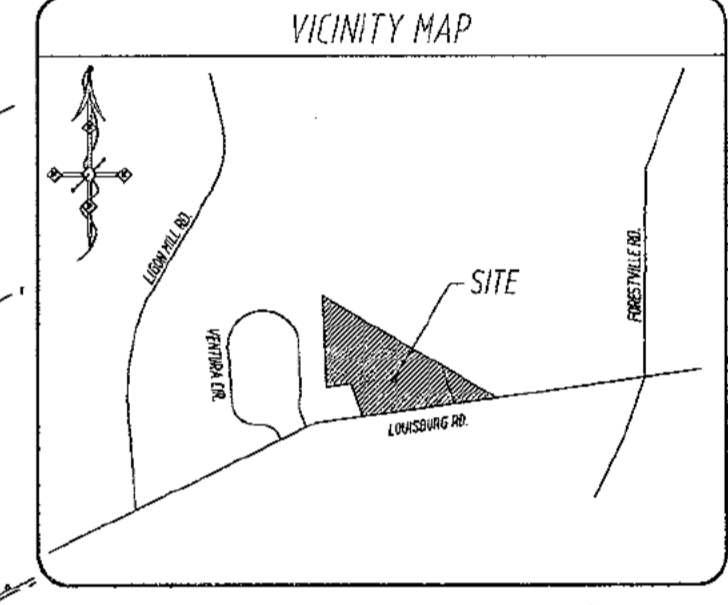
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	N/A	
PARKING REQUIRED:	1 SPACE PER 1-OR UNIT (N)	16
	2 SPACES PER 2-OR UNIT (E)	60
	3 SPACES PER 3-OR UNIT (W)	54
	5 SPACES PER 5-OR UNIT (MAX)	2
TOTAL SPACES REQUIRED		132
PROVIDED:		
FOR SPACES		132
FOR TRUCKS		4
TOTAL PROVIDED		136

- CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR STATE STANDARDS.
  - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTED (MUT) ORDINANCE.
  - PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTORS AT 919-996-2400 TO SET UP THE MEETING.
  - THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY (ROW) OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
  - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR TO THE START OF THE WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGH.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RALEIGH@VISITVALENCIA.COM FOR REVIEW.
  - ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT AN APPLICATION TO THE RIGHT-OF-WAY OBSTRUCTION APPLICATION FOR CONSTRUCTION/MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
  - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
  - THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
  - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

- GENERAL NOTES**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FLAGS, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY CITY OF RALEIGH AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
  - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS BEARING CONSTRUCTION.
  - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSIONS MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  - COORDINATE ALL (T) AND (S) STIFFY GROUPS IN INTERSECTIONS WITH INSPECTOR.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE CITY OF RALEIGH CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATIONS AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTIONS PRIOR TO PROCEEDING WITH WORK.
  - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
  - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
  - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR RECONSTRUCT ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
  - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECAST BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL PAINT STOPPING, PAVEMENT FINISHES, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED PULTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
  - NO ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD 802.10.
  - ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 300 SQUARE FEET.
  - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

**CONSTRUCTION DRAWING NOTE**  
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR MUTCD STANDARDS AND SPECIFICATIONS.

**CONDITIONS OF APPROVAL**  
 A SECURITY FOR ALL PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO ANY PAVEMENT OR CONSTRUCTION WORK. THE SECURITY SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS AND SHALL BE FOR THE MAINTENANCE OF THE PUBLIC IMPROVEMENTS FOR THE LIFE OF THE PROJECT.



**LET 1**  
 4" DIA. 1" DEPTH  
 2" DIA. 1" DEPTH  
 1" DIA. 1" DEPTH  
 1/2" DIA. 1" DEPTH  
 1/4" DIA. 1" DEPTH  
 1/8" DIA. 1" DEPTH

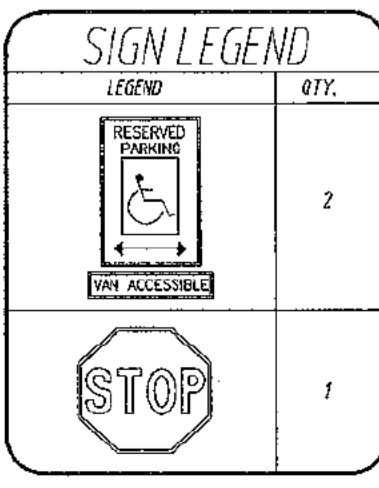
**LET 2**  
 4" DIA. 1" DEPTH  
 2" DIA. 1" DEPTH  
 1" DIA. 1" DEPTH  
 1/2" DIA. 1" DEPTH  
 1/4" DIA. 1" DEPTH  
 1/8" DIA. 1" DEPTH

**LET 3**  
 4" DIA. 1" DEPTH  
 2" DIA. 1" DEPTH  
 1" DIA. 1" DEPTH  
 1/2" DIA. 1" DEPTH  
 1/4" DIA. 1" DEPTH  
 1/8" DIA. 1" DEPTH

**LET 4**  
 4" DIA. 1" DEPTH  
 2" DIA. 1" DEPTH  
 1" DIA. 1" DEPTH  
 1/2" DIA. 1" DEPTH  
 1/4" DIA. 1" DEPTH  
 1/8" DIA. 1" DEPTH

**LET 5**  
 4" DIA. 1" DEPTH  
 2" DIA. 1" DEPTH  
 1" DIA. 1" DEPTH  
 1/2" DIA. 1" DEPTH  
 1/4" DIA. 1" DEPTH  
 1/8" DIA. 1" DEPTH

**LET 6**  
 4" DIA. 1" DEPTH  
 2" DIA. 1" DEPTH  
 1" DIA. 1" DEPTH  
 1/2" DIA. 1" DEPTH  
 1/4" DIA. 1" DEPTH  
 1/8" DIA. 1" DEPTH



**SHOULDER AREA**  
 4" DIA. 1" DEPTH  
 2" DIA. 1" DEPTH  
 1" DIA. 1" DEPTH  
 1/2" DIA. 1" DEPTH  
 1/4" DIA. 1" DEPTH  
 1/8" DIA. 1" DEPTH

**PUBLIC WORKS NOTES:**  
 ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS. THE FULL WIDTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR & SENSITIVE AREA THROUGHFARES.

**ACCESS DRIVE NOTES**  
 No sight triangles on partially obstructed way, fence, foliage, bearing parked vehicles or sign between the heights of twenty-foot (20) feet and eight (8) feet above the curb line elevation, on the nearest traveled way if no curbing exists, shall be placed within a sight triangle of a public street, private street or driveway contained either on the property or on an adjoining property.

Size of Required Sight Triangles  
 A sight triangle is that triangle as set forth by the City of Raleigh & North Carolina Department of Transportation's Policy on Street and Driveway Access to North Carolina Highways manual, and all subsequent amendments thereto.

Minimum clear clearance from curb line of intersection streets shall be at least twenty (20) feet from the point of tangency.

**LINE TABLE**

LINE	LENGTH	BEARING
L1	31.25'	S 64° 55' 00" W
L2	29.62'	S 77° 57' 00" W
L3	8.00'	S 77° 57' 00" W
L4	10.555'	S 27° 54' 00" W
L5	174.42'	S 64° 55' 00" W

- GENERAL NOTES**
- Property line and sight-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
  - Proof Roll Buildings and all parking areas. Notify Owner of any encroachable areas.
  - Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact building dimensions.
  - All site dimensions are referenced to the back of curb or edge of paving unless otherwise noted.
  - All sidewalks, curbs and gutters, street paving, curbs, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
  - All disturbances caused to any adjoining property due to construction or demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.

**SIGHT TRIANGLE NOTE**  
 WITHIN THE "SIGHT TRIANGLES" SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BEARS, OR PARKED VEHICLES BETWEEN THE HEIGHT OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OF THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.  
 OBJECTS, WHICH MAY BE LOCATED IN THE SIGHT TRIANGLE, ARE ITEMS SUCH AS: HYDRANTS, UTILITY POLES, UTILITY JUNCTION BOXES, AND TRAFFIC CONTROL DEVICES PROVIDED THESE OBJECTS ARE LOCATED TO MINIMIZE VISUAL OBSTRUCTION.

- SITE KEYNOTES**
- DUMPS PER ENCLOSURE - REFER TO DETAIL SHEET C19
  - INSTALL NEW CONCRETE PAD OF 4000 PSI BROOM FINISHED CONCRETE WITH 6"x6"x8" W/8" STEEL REINFORCEMENT. REFER TO DETAIL SHEET
  - ASPHALT PAVEMENT PARKING LINES 4" W/8" PAINTED WHITE
  - CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. REFER TO DETAIL
  - PROVIDE HANDICAP RAMP PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS. REFER TO DETAIL
  - HANDICAP PARKING SIGN. REFER TO DETAIL SHEET
  - NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AT 1/4" PER FOOT FOR POSITIVE DRAINAGE
  - ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS.  
 STANDARD DUTY ASPHALT PAVEMENT  
 HEAVY DUTY ASPHALT PAVEMENT  
 CONCRETE PAVEMENT
  - LANDSCAPING - AREA OF NEW SOIL
  - BOLLARDS
  - SEEDED AREA
  - SITE LIGHT
  - PROPOSED PARKING COUNT



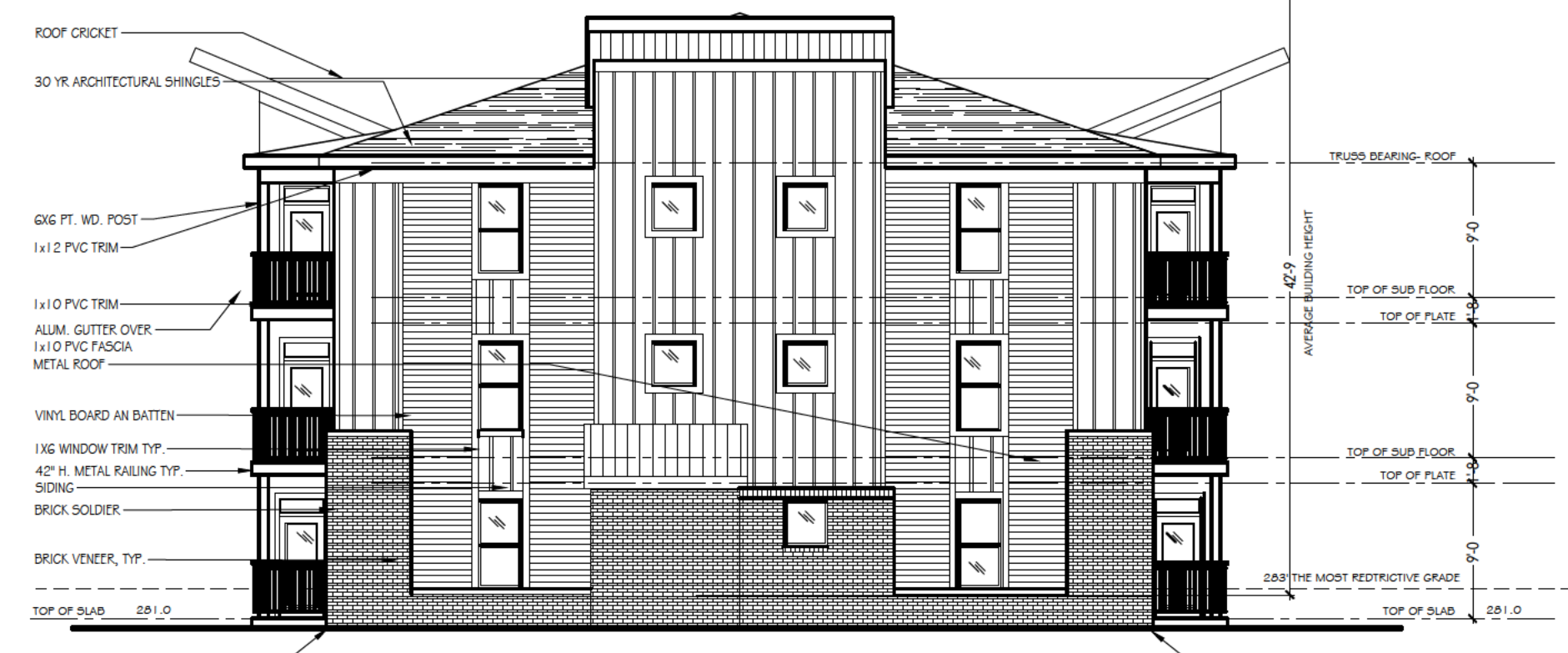


4 | NORTH BUILDING ELEVATION  
A3.10 | SCALE: 3/32" = 1'-0"

NORTH ELEVATION			
	HIGH GRADES	LOW GRADES	AVERAGE
PRE-EXISTING GRADES	296'	289'	282.5'
PROPOSED GRADES	284'	280'	282'

WEST ELEVATION			
	HIGH GRADES	LOW GRADES	AVERAGE
PRE-EXISTING GRADES	296'	294'	295'
PROPOSED GRADES	284'	284'	285'

EAST ELEVATION			
	HIGH GRADES	LOW GRADES	AVERAGE
PRE-EXISTING GRADES	273'	269'	271'
PROPOSED GRADES	280'	280'	280'



3 | EAST BUILDING ELEVATION  
A3.10 | SCALE: 3/32" = 1'-0"



2 | WEST BUILDING ELEVATION  
A3.10 | SCALE: 3/32" = 1'-0"

MOST RESTRICTIVE GRADE CHART					
	NORTH AVG.	SOUTH AVG.	EAST AVG.	WEST AVG.	FINAL AVG.
PRE-EXISTING GRADES	282.5'	283.5'	271'	295'	283'
PROPOSED GRADES	282'	282'	280'	285'	282.25'

# ' IS THE MOST RESTRICTIVE GRADE  
- BUILDING HEIGHT IS 5# (ALLOWED PER BOARD OF ADJUSTMENT)  
- # ' IS THE BUILDING ELEVATION

NOTE:  
BOARD OF ADJUSTMENT BOA-0052-2019 THAT REMOVED THE 2 REQUIREMENT FROM CURB OR FROM THE CROWN AND REDUCED OUR BUILD-TO AREA 1P 5'



1 | SOUTH BUILDING ELEVATION  
A3.10 | SCALE: 3/32" = 1'-0"

SOUTH ELEVATION			
	HIGH GRADES	LOW GRADES	AVERAGE
PRE-EXISTING GRADES	294'	273'	283.5'
PROPOSED GRADES	284'	280'	282'



**WEST ELEVATION**

	HIGH GRADES	LOW GRADES	AVERAGE
PRE-EXISTING GRADES	288'	276'	282'
PROPOSED GRADES	282'	280'	281'

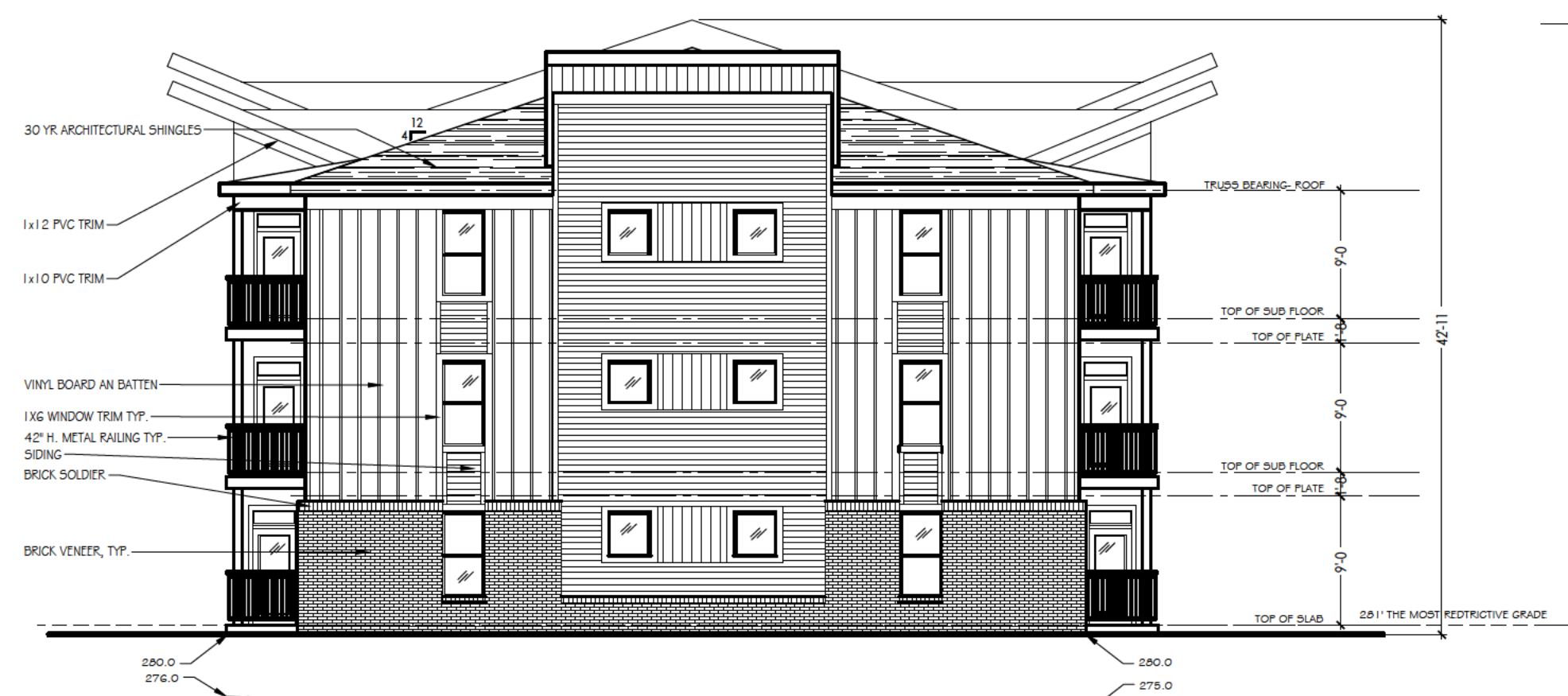
**4 WEST BUILDING ELEVATION**  
A3.20 | SCALE: 3/32" = 1'-0"

**SOUTH ELEVATION**

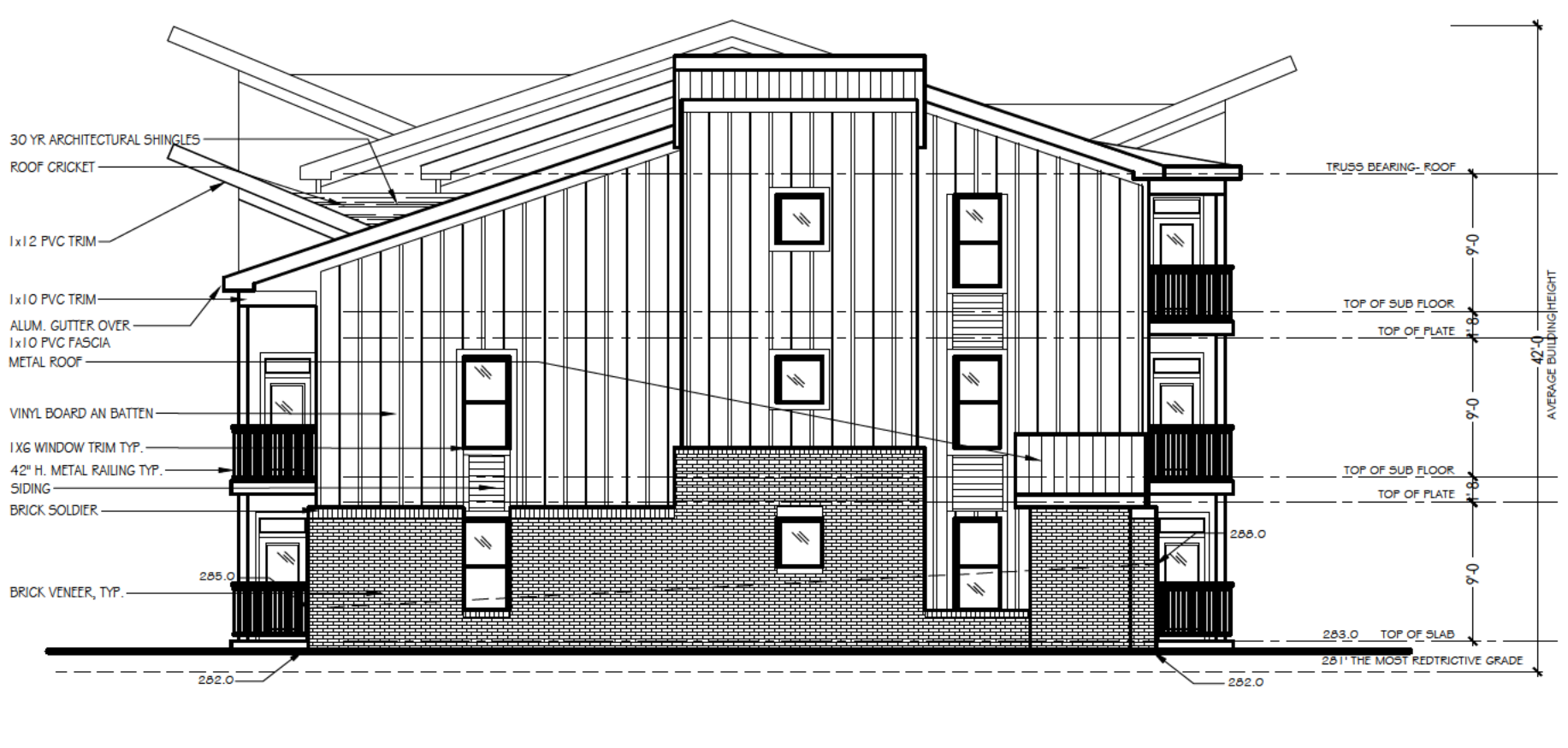
	HIGH GRADES	LOW GRADES	AVERAGE
PRE-EXISTING GRADES	276'	275'	275.5'
PROPOSED GRADES	280'	280'	280'

**NORTH ELEVATION**

	HIGH GRADES	LOW GRADES	AVERAGE
PRE-EXISTING GRADES	288'	285'	286.5'
PROPOSED GRADES	282'	282'	282'



**3 SOUTH BUILDING ELEVATION**  
A3.20 | SCALE: 3/32" = 1'-0"



**2 NORTH BUILDING ELEVATION**  
A3.20 | SCALE: 3/32" = 1'-0"

**MOST RESTRICTIVE GRADE CHART**

	NORTH AVG.	SOUTH AVG.	EAST AVG.	WEST AVG.	FINAL AVG.
PRE-EXISTING GRADES	286.5'	275.5'	285'	282'	281.13'
PROPOSED GRADES	282'	280'	281'	281'	281'

281' IS THE MOST RESTRICTIVE GRADE  
- AVERAGE BUILDING HEIGHT IS 42' (50' MAX HEIGHT ALLOWED)  
- 323' IS THE BUILDING ELEVATION

NOTE:  
BOARD OF ADJUSTMENT BOA-0052-2019 THAT REMOVED THE 2 REQUIREMENT FROM CURB OR FROM THE CROWN AND REDUCED OUR BUILD-TO AREA TP 5'



**EAST ELEVATION**

	HIGH GRADES	LOW GRADES	AVERAGE
PRE-EXISTING GRADES	285'	276'	280.5'
PROPOSED GRADES	282'	280'	281'

**1 EAST BUILDING ELEVATION**  
A3.20 | SCALE: 3/32" = 1'-0"

PROFESSIONAL SEAL

**SAMBRICK**  
SYCAMORE GROVE, RALEIGH, NC

DATES:

DESIGNED BY: BLJ  
DRAWN BY: BLJ  
CHECKED BY: BLJ  
SCALE: VARIES  
PROJECT NUMBER:

ELEVATIONS  
BUILDING "B"

**A3.20**