



# Administrative Approval Action

Case File / Name: ASR-0066-2024  
DSLC - Crabtree Boulevard Apts.

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** The project site is located on the southeast corner of Crabtree Blvd and Timber Dr, specifically 2321 Crabtree Blvd (PIN# 1714581011). The site is approximately 1.99 acres in size and comprised of one lot of 1.67 acres zoned OX-7-UL-CU and a 0.32 acre portion of another lot zoned R-10.
- REQUEST:** The application request approval of a seven story apartment building of approximately 242,190 square feet in size with 164 dwelling units. The building will have active uses on the ground level which includes a fitness area, residential uses, and a leasing office.
- DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 14, 2025 by Site collaborative.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

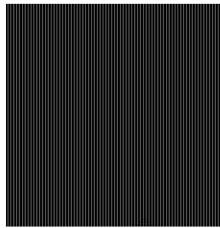
1. A lighting plan will be submitted and approved prior to SPR final approval.

### **Public Utilities**

2. A deed shall be recorded prior to construction approval (SPR) for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

### **Stormwater**

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

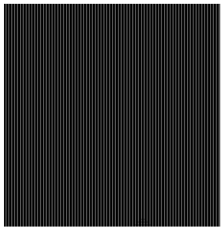
## Engineering

1. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater



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5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## **General**

1. A demolition permit shall be obtained.
2. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lots into a single tract.

## **Engineering**

3. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## **Stormwater**

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

## **Urban Forestry**

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes (13) street trees along Timber Dr. and (9) trees along Crabtree Blvd. for a total of (22) street trees.
7. A public infrastructure surety for (22) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

***The following are required prior to issuance of building occupancy permit:***



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## General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

## Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### 3-Year Expiration Date: May 8, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

### 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan McDonald Digitally signed by Keegan.McDonald@raleighnc.gov  
Reason: I am approving this document  
Date: 2025.05.08 14:33:05-04'00' Date: 05/08/2025  
Development Services Dir/Designee  
Staff Coordinator: Jeff Caines



# CRABTREE BOULEVARD APARTMENTS

## ADMINISTRATIVE SITE REVIEW

CITY OF RALEIGH TRANSACTION #: ASR 0066-2024



### VICINITY MAP

SCALE: 1" = 500'

#### SOLID WASTE SERVICES:

1. REFER TO SOLID WASTE PLAN SHEET L205 FOR WILL SERVE LETTER FROM PRIVATE HAULER.
2. SOLID WASTE ON SITE TO UTILIZE PRIVATE SERVICE.
3. ALL ON-SITE AMENITIES RELATED TO GARBAGE DISPOSAL INCLUDING - BUT NOT LIMITED TO - DUMPSTER ENCLOSURE, PAVEMENT, AND CURB RADI SHALL COMPLY WITH THE CITY'S SOLID WASTE DESIGN MANUAL.

#### LIGHTING PLAN

1. THIS PROJECT DOES NOT HAVE ANY ADDITIONAL PARKING LOT LIGHTING AT THIS TIME. LIGHTING FOR THE BUILDING WILL BE PROVIDED AT BUILDING PERMITS IN ACCORDANCE WITH SEC. 7.4

#### BLOCK PERIMETER (SEC. 8.3.1)

1. THIS PROJECT IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER UDO SEC. 8.3.2.A.1.b.i. REFER TO SHEET L106 FOR EXHIBIT.

#### CROSS ACCESS (SEC. 8.3.3.D)

1. THIS PROJECT IS EXEMPT FROM CROSS ACCESS REQUIREMENTS PER UDO SEC. 8.3.3.D.5.b.v.

#### TREE CONSERVATION

1. THE LOT SIZE IS UNDER 2 ACRES AND THEREFORE IS NOT REQUIRED TO PROVIDE A TREE CONSERVATION PLAN PER SEC. 6.1.2.

#### ADDITIONAL NOTES

1. PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT, A PEDESTRIAN DETOUR AND TRAFFIC CONTROL PLAN MUST BE APPROVED AND PERMITS ISSUED WHEN THE SIDEWALK AND DRIVEWAY ARE REMOVED.

#### Right-of-Way Obstruction Notes:

- Lane and Sidewalk closures or detours: Prior to any lane or sidewalk obstruction, the contractor or engineer shall submit a traffic control and/or pedestrian plan along with a Right-of-Way Services Application to request the obstruction prior to the start of work. [rightofwayservices@raleighnc.gov](mailto:rightofwayservices@raleighnc.gov) for approval.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT "Standard Specification for Roadway Structures", NCDOT "Roadway Standard Drawing Manual", and the NCDOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- All permits must be available and visible on site during the operation.

Digitally signed by  
jeff.caines@raleighnc.gov  
DN:  
E=jeff.caines@raleighnc.gov  
jeff.caines@raleighnc.gov  
Date: 2025.06.09  
09:45:10-04'00'

### Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☒ Tier Three Site Plan ☐

Building and Development Type (Check all that apply)		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #:	_____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #:	_____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #:	_____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #:	_____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #:	24637
<input type="checkbox"/> Open lot		Design Alternate #:	_____

#### GENERAL INFORMATION

Development name: Crabtree Boulevard Apts.

Inside City limits? Yes ☒ No ☐

Property address(es): 2321 Crabtree Blvd., Raleigh, NC 27604

Site P.I.N.(s): 1714581011

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

New multi-story apartment building and surface parking.

Current Property Owner(s): Pigeon House Branch Partners, LLC

Company: Pigeon House Branch Partners, LLC Title: \_\_\_\_\_

Address: 122 Glenwood Avenue, Suite 200, Raleigh, NC 27603

Phone #: 919.427.0280 Email: Henry@lodendev.com

Applicant Name (if different from owner. See "who can apply" in instructions): Graham Smith

Relationship to owner: ☐ Lessee or contract purchaser ☒ Owner's authorized agent ☐ Easement holder

Company: Site Collaborative Address: 1620 Hillsborough St., Raleigh NC 27605

Phone #: 919.805.3586 Email: Graham@sitecollaborative.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Henry Ward

Company: Loden Properties Title: \_\_\_\_\_

Address: 122 Glenwood Avenue, Suite 200, Raleigh, NC 27603

Phone #: 919.427.0280 Email: Henry@lodendev.com

Applicant Name: Graham Smith

Company: Site Collaborative Address: 1620 Hillsborough St., Raleigh NC 27605

Phone #: 919.805.3586 Email: Graham@sitecollaborative.com

#### DEVELOPMENT TYPE • SITE DATE TABLE (Applicable to all developments)

SITE DATA		BUILDING DATA	
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):	0	
OX-7-UL	Existing gross floor area to be demolished:	21,280 SF	
Gross site acreage:	Existing gross floor area to be demolished:	21,280 SF	
1.99 AC (includes Fee Simple Purchase)	New gross floor area: 242,190 SF		
# of parking spaces proposed: 209	Total of gross (to remain and new): 242,190 SF		
Max # parking permitted (7.1.2.C): 273	Proposed # of buildings: 1		
Overlay District (if applicable): N/A	Proposed # of stories for each: 7 + Basement		
Existing use (UDO 6.1.4): Office	Proposed # of basement levels (UDO 1.5.7.A.6) 1		
Proposed use (UDO 6.1.4): Apartments			
STORMWATER INFORMATION			
Imperious Area on Parcel(s):		Imperious Area for Compliance (includes ROW):	
Existing (sf) 38,600	Proposed total (sf) 93,782	Existing (sf) 38,600	Proposed total (sf) 70,679

#### RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 164	Total # of hotel bedrooms: N/A
# of bedroom units: 1br 129 2br 35 3br N/A 4br or more N/A	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

#### APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: _____	Date: 09.06.2024
Printed Name: _____	Date: _____
Signature: _____	Date: _____
Printed Name: _____	Date: _____

SITE DATA SUMMARY	
PROJECT NAME	CRABTREE BLVD. APARTMENTS
EXISTING STREET ADDRESS	2321 CRABTREE BLVD., RALEIGH, NC 27604
PROPOSED LOT AREA	1.99 AC (86,958 SF)
EXISTING LOT AREA	1.67 AC (72,745 SF)
FEE SIMPLE PURCHASE AREA (CITY PARCEL)	0.326 AC (14,213 SF)
CURRENT ZONING	OX-7-UL-CU
ZONING CONDITIONS	REFER TO CASE #2-65-23
FRONTAGE	URBAN LIMITED
OVERLAY DISTRICT(S)	N/A
PIN	1714581011
REAL ID NUMBER	0120841
DEED BOOK / DEED PAGE	DB 019109 / DP 00196
EXISTING GROSS BUILDING AREA	21,280 SF
EXISTING BUILDING USE	OFFICE
PROPOSED GROSS BUILDING AREA	242,190 SF
PROPOSED BUILDING STORIES	6 STORIES + 2 BASEMENT
PROPOSED BUILDINGS USES	APARTMENTS
PROPOSED NUMBER OF UNITS	164
PROPOSED PARKING SPACES	209
PROPOSED SURFACE PARKING	60
PROPOSED GARAGE PARKING	144
EXISTING IMPERVIOUS AREA	38,620 SF
PROPOSED IMPERVIOUS AREA	70,679 SF (PARCEL + ROW)
NET CHANGE IN IMPERVIOUS AREA	32,059 SF (INCREASE)
TOTAL AREA DISTURBED	108,895 SF
OUTDOOR AMENITY AREA	
REQUIRED	8,696 SF
PROPOSED	13,835 SF (SEE SHEET L103. SPECIFIC DETAILS WILL BE PROVIDED DURING SITE PLAN REVIEW (SPR) SUBMITTAL

### CONTACT INFORMATION

PROPERTY OWNER  
LODEN PROPERTIES  
821 WAKE FOREST RD  
RALEIGH, NC 27604  
CONTACT: HENRY WARD  
PHONE: 919.334.8976  
EMAIL: HENRY@LODENDEV.COM

ARCHITECT  
CLINE DESIGN ASSOCIATES  
125 N. HARGETT ST.  
RALEIGH, NC 27603  
CONTACT: BRYAN JOHNSON  
PHONE: 919.427.0280  
EMAIL: BRYANJ@CLINEDESIGNASSOC.COM

LANDSCAPE ARCHITECT  
SITE COLLABORATIVE, INC.  
1620 HILLSBOROUGH ST., SUITE 100  
RALEIGH, NC 27605  
CONTACT: GRAHAM H. SMITH  
PHONE: 919.805.3586  
EMAIL: GRAHAM@SITECOLLABORATIVE.COM

CIVIL ENGINEER  
SWIFT PARTNERS  
424 S. DAWSON ST.  
RALEIGH, NC 27627  
CONTACT: ROSS MASSEY  
PHONE: 828.735.1862  
EMAIL: ROSS.MASSEY@SWIFT-PARTNERS.COM

SHEET INDEX	
LANDSCAPE SHEETS	
COV	COVER SHEET
L101	EXISTING CONDITIONS
L102	DEMOLITION PLAN
L103	SITE PLAN
L104	FIRE ACCESS PLAN
L105	SOLID WASTE PLAN
L106	BLOCK PERIMETER EXHIBIT
L201	HARDSCAPE PLAN
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L203	SITE DETAILS
L204	SITE DETAILS
L205	CITY STANDARD DETAILS
L206	CITY STANDARD DETAILS
L401	PLANTING PLAN
L402	PLANTING NOTES & LEGEND
L403	PLANTING DETAILS

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C511	SCM DETAILS II
C600	UTILITY PLAN
C620	STORM DRAIN DETAILS
C630	UTILITY DETAILS
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A1-01	FLOOR PLAN - MODULES NOTED
A1-02	FLOOR PLAN - MODULES NOTED
A1-03	FLOOR PLAN - MODULES NOTED
A1-04	TYPICAL FLOOR PLAN - MODULES NOTED
A2-01	BUILDING ELEVATION - NORTH (CRABTREE BLVD)
A2-01B	BUILDING ELEVATION - NORTH (CRABTREE BLVD)
A2-02	BUILDING ELEVATION - EAST
A2-03	BUILDING ELEVATION - SOUTH
A2-04	BUILDING ELEVATION - WEST (TIMBER DR)
A4-01	BASEMENT AMENITY



Incorporated in this document is an addendum of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

CRABTREE BLVD. APARTMENTS  
LODEN PROPERTIES  
2321 Crabtree Blvd., Raleigh, NC 27604

SR PROJ. PROJECT NUMBER:  
22013

ASR SUBMITTAL #  
0066-2024

DATE: 09.06.2024

1 - ASR RESUB. 01/17/25

2 - ASR RESUB. 03/13/25

3 - ASR RESUB. 04/14/25

-

-

SHEET TITLE:

COVER

SHEET NUMBER:

COV

# CRABTREE BLVD. APARTMENTS LODEN PROPERTIES 2321 Crabtree Blvd., Raleigh, NC 27604

SR CO. PROJECT NUMBER:  
22013

ASR SUBMITTAL #  
0066-2024

DATE: 09.06.2024  
1 - ASR RESUB. 01/17/25  
2 - ASR RESUB. 03/13/25  
3 - ASR RESUB. 04/14/25

SHEET TITLE:  
EXISTING  
CONDITIONS PLAN

SHEET NUMBER:  
L101

**LEGEND**  
BM BOOK OF MAPS  
DB DEED BOOK  
PAGE  
N/F NOW OR FORMERLY  
R/W RIGHT OF WAY  
EP EXISTING IRON PIPE  
EMAG EXISTING MAG NAIL  
IPB IRON PIPE SET  
MAGS MAG NAIL SET  
CP COMPUTED POINT  
SS SANITARY SEWER  
CS SANITARY SEWER CLEAN OUT  
MH MANHOLE  
ST STORM  
GW GUY ANCHOR

N/F  
CRABTREE HOLDINGS LLC  
PIN: 1714501303  
DB 17948, PG 1530

N/F  
CITY OF RALEIGH  
PIN: 1714501303  
DB 1478, PG 163  
DB 1972, PG 153

N/F  
ERLOWE CHURCH INC.  
PIN: 1714481980  
B 19357, PG 2335

N/F  
OWEN WILLIAMS  
PIN: 1714475911  
DB 11791, PG 1556

N/F  
BLONDE TICALORA  
PIN: 1714507090  
DB 17479, PG 1037

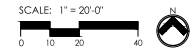
N/F  
CITY OF RALEIGH  
PIN: 1714501303  
DB 2703, PG 214  
BM 1972, PG 153

N/F  
CITY OF RALEIGH  
PIN: 1714501303  
DB 1478, PG 163  
BM 1972, PG 153

N/F  
CITY OF RALEIGH  
PIN: 1714501303  
DB 1986, PG 153

N/F  
CITY OF RALEIGH  
PIN: 1714501303  
DB 1986, PG 153

SCALE: 1" = 20'-0"  
0 10 20 40  
N



DEMOLITION LEGEND		
SYMBOL	KEY	DESCRIPTION
		LIMITS OF DISTURBANCE
	D1	BUILDING TO BE REMOVED COMPLETELY
	D2	TREE TO BE REMOVED COMPLETELY
	D3	VEGETATION TO BE REMOVED COMPLETELY
	D4	ASPHALT PAVING AND BASE TO BE REMOVED COMPLETELY
	D5	CONCRETE PAVING AND BASE TO BE REMOVED COMPLETELY
	D6	CONCRETE CURBS & GUTTERS TO BE REMOVED COMPLETELY
	D7	SIGN TO BE REMOVED COMPLETELY
	D8	MOVEMENT SIGN TO BE REMOVED COMPLETELY
	D9	WALL TO BE REMOVED COMPLETELY
	D10	GRAVEL TO BE REMOVED COMPLETELY
	K1	FIRE HYDRANT TO BE RELOCATED (PER CIVIL ENGS)
	K2	POWER POLE TO BE RELOCATED
	E1	UTILITY SERVICE (PER CIVIL ENGS)
	E2	POWER POLE TO REMAIN

[illegible]

SITE CO.-PROJECT NUMBER:  
22013

PROJECT PHASE:  
ASR SUBMITTAL #  
0066-2024

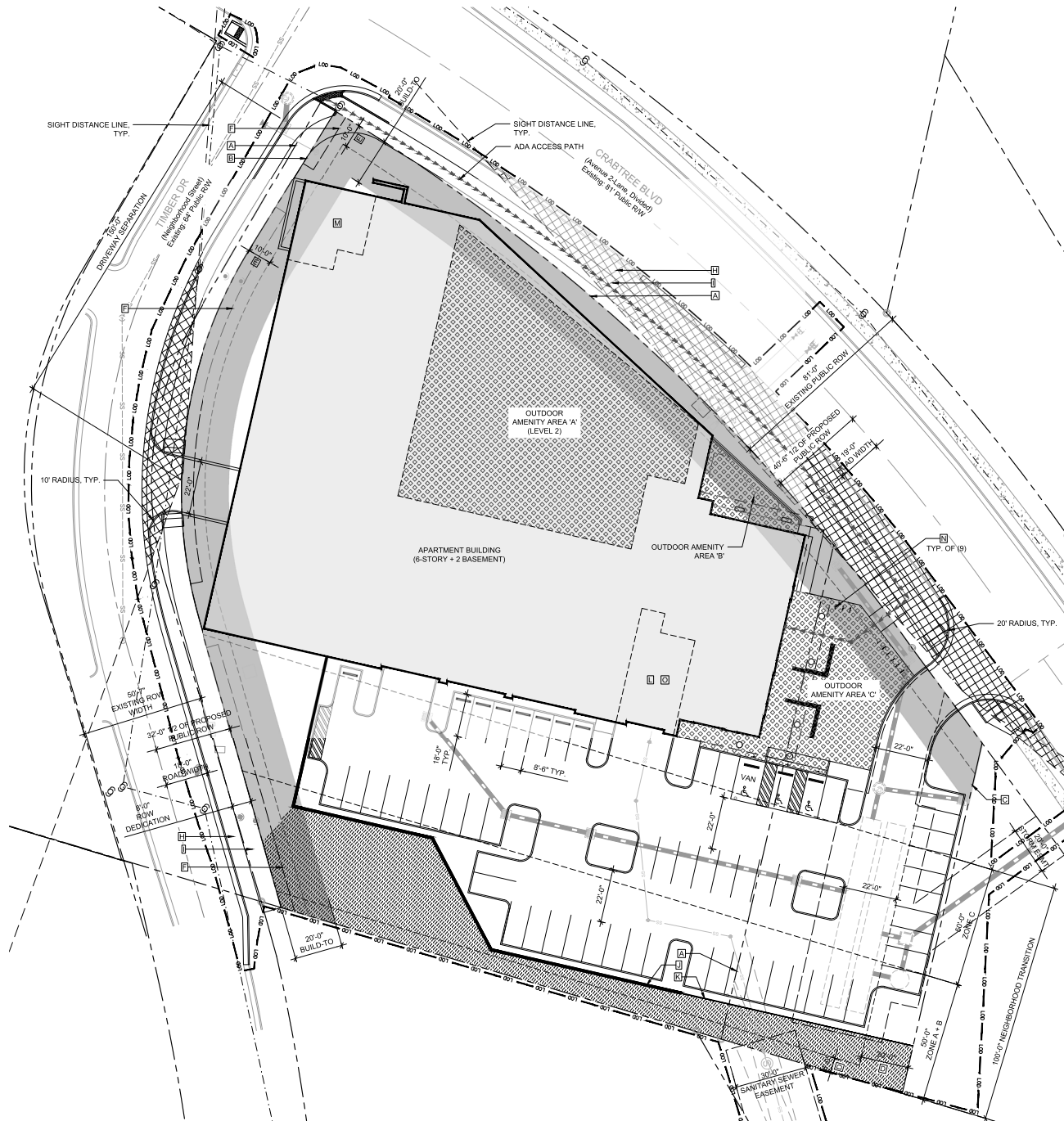
DATE: 09.06.2024

1 - ASR RESUB. 01/17/25  
2 - ASR RESUB. 03/13/25  
3 - ASR RESUB. 04/14/25

"  
"

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:



## SITE LEGEND

SYMBOL	DESCRIPTION
A	EXISTING PROPERTY LINE
B	RIGHT-OF-WAY DEDICATION
C	ADJUSTED PROPERTY LINE (SEE SIMPLE PURCHASE AGREEMENT WITH CITY OF RALEIGH)
D	BUILDING SETBACK LINE
E	PARKING SETBACK LINE
F	5' UTILITY EASEMENT
G	NOT USED
H	PROPOSED 6' WIDE PLANTING AREA
I	PROPOSED 8' WIDE SIDEWALK
J	WALL (6.5' MIN. HT.) TO MEET PROTECTIVE YARD REQUIREMENTS PER SEC. 3.5.3
K	FENCE (6.5' MIN. HT.) TO MEET PROTECTIVE YARD REQUIREMENTS PER SEC. 3.5.3
L	DUMPSTER ENCLOSURE IN BUILDING, MEETS SCREENING REQUIREMENTS PER SEC. 7.2.5
M	LONG-TERM BICYCLE PARKING IN BUILDING
N	SHORT-TERM BICYCLE PARKING
O	TENANT LOADING / UNLOADING

## BUILD-TO (URBAN LIMITED)

CRABTREE BLVD. FRONTAGE (PRIMARY): 381'-4"  
TIMBER DRIVE FRONTAGE (SIDE): 355'-6"

**BUILD-TO CALCULATIONS:**  
CRABTREE BLVD. (50% WITHIN BUILD-TO)  
REQUIRED: 381'-4" X 0.50 = 190'-8"  
PROVIDED: 232'-8"  
TIMBER DRIVE (25% WITHIN BUILD-TO)  
REQUIRED: 355'-6" X 0.25 = 88'-10"  
PROVIDED: 103'-8"

## PROTECTIVE YARD

ZONING: OX-7-UL  
ADJACENT ZONING: R-6  
FRONTAGE: 272'-0"  
PROPOSED YARD: TYPE 1 NARROW (10' AVERAGE WIDTH)  
**PROTECTIVE YARD CALCULATIONS:**  
REQUIRED: 272'-0" X 10 = 2,720 SF  
PROVIDED: 6,102 SF

## OUTDOOR AMENITY AREA

ZONING: OX-7-UL  
PROPOSED USE: APARTMENTS (10% MIN.)  
LOT AREA: 86,958 SF  
**AMENITY SPACE CALCULATIONS:**  
REQUIRED AREA: 86,958 X 0.10 = 8,696 SF  
REQUIRED SEATING (SEC. 1.5.3.C.3): 174 LF  
REQUIRED 2" CAL. TREE (SEC. 1.5.3.C.4): 9 TREES  
PROPOSED: 13,838 SF (NO MORE THAN 50% OF REQUIRED IS ALLOWED IN UPPER LEVELS)  
AMENITY AREA 'A' = 9,474 SF  
AMENITY AREA 'B' = 738 SF  
AMENITY AREA 'C' = 3,623 SF  
LOCATION OF SEATING AND TREES TO BE DETERMINED. SPECIFIC DETAILS WILL BE PROVIDED DURING SITE PLAN REVIEW (SPR) SUBMITTAL.

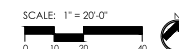
## SIGHT DISTANCE

WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHT OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

**REQUIREMENTS PER STREET DESIGN MANUAL SEC. 12.6. (TABLE 18):**  
CRABTREE BLVD. (35 MPH)  
LEFT TURN: 420'-0"  
RIGHT TURN: 340'-0"  
TIMBER DRIVE (25 MPH)  
LEFT TURN: 280'-0"  
RIGHT TURN: 240'-0"

VEHICLE PARKING					
USE	QTY.	DESCRIPTION (MAX.)	ALLOWED	PROVIDED	NOTE
MULTI-UNIT LIVING: 0-1 BEDROOM	129	1.5 SPACES / UNIT	194	130	65 DECK + 60 SURFACE
MULTI-UNIT LIVING: 2 BEDROOMS	35	2.25 SPACES / UNIT	79	79	DECK ONLY
<b>TOTAL PARKING SPACES</b>	<b>164</b>		<b>273</b>	<b>209</b>	
ACCESSIBLE PARKING SPACE (PER NC BUILDING CODE SEC. 1106.1)			7	10	7 DECK + 3 SURFACE

BICYCLE PARKING (SHORT TERM)				BICYCLE PARKING (LONG TERM)			
USE	DESCRIPTION	REQUIRED	PROVIDED	DESCRIPTION	REQUIRED	PROVIDED	
MULTI-UNIT LIVING	1 SPACE / 20 UNITS (MIN. 4)	8	18	1 SPACE / 7 BDRM.	28	38	
<b>TOTAL</b>		<b>8</b>	<b>18</b>		<b>28</b>	<b>38</b>	



Incorporated on this document is an addendum of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

# CRABTREE BLVD. APARTMENTS LODEN PROPERTIES 2321 Crabtree Blvd., Raleigh, NC 27604

SITE NO. / PROJECT NUMBER:  
22013

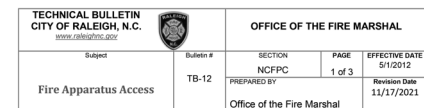
ASR SUBMITTAL #  
0066-2024

DATE: 09.06.2024  
1 - ASR RESUB. 01/17/25  
2 - ASR RESUB. 03/13/25  
3 - ASR RESUB. 04/14/25  
-  
-

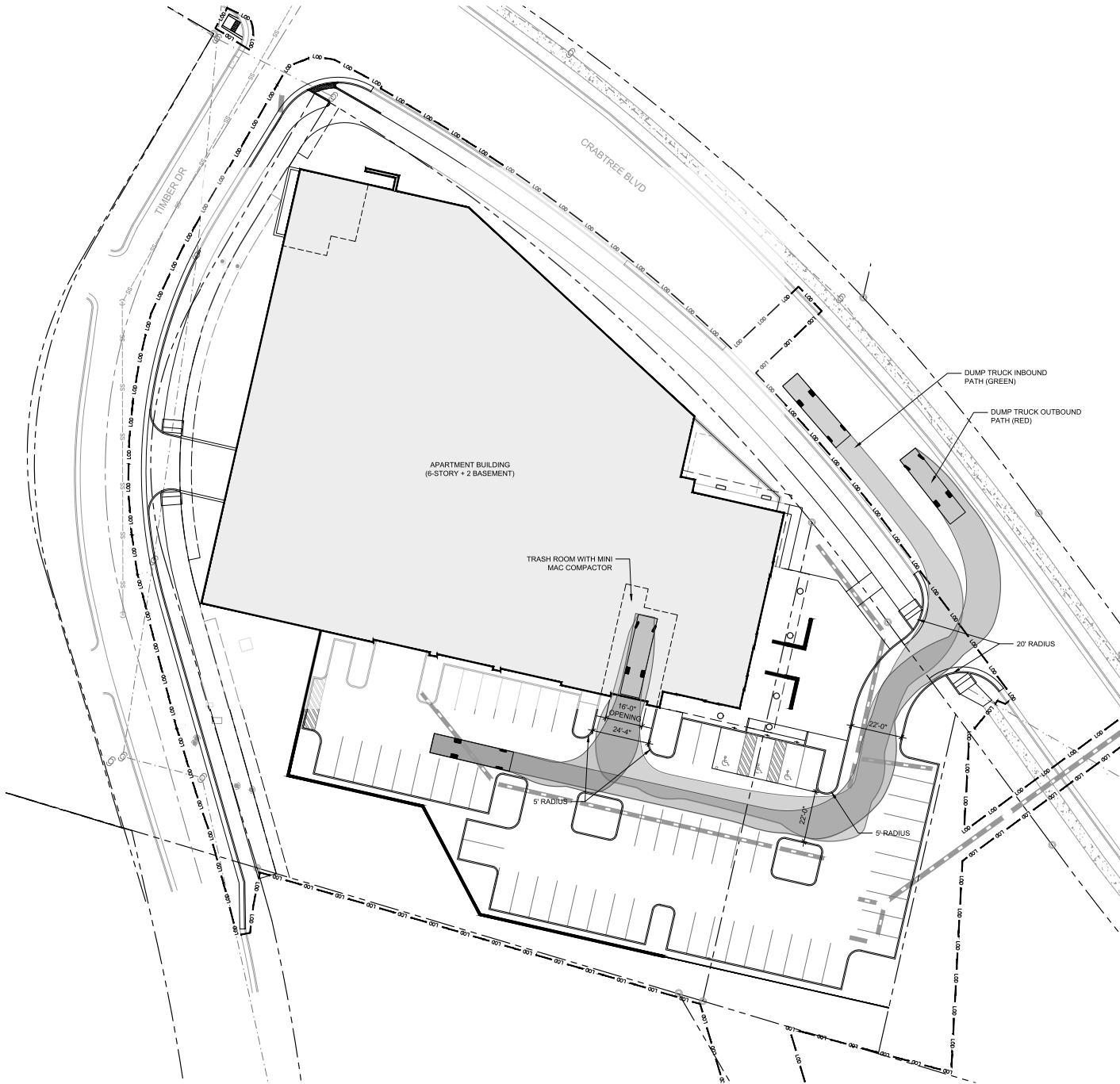
SHEET TITLE:  
SITE PLAN

SHEET NUMBER:

L103



- SCALE: 1" = 20'-0"



January 27, 2025

Site Collaborative  
1620 Hillsborough St.  
Suite 100  
Raleigh, NC 27605

RE: Crabtree Apts

This is a letter of support for trash and recycling services for your expansion project at **2321 Crabtree Blvd., Raleigh, NC 27604**. We have reviewed the plans submitted on January 15, 2025, and have found that GFL Environmental will be able to safely perform all needed services using the existing dumpster location for this expansion.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service.

We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at [cbasick@gflenv.com](mailto:cbasick@gflenv.com).

Sincerely,

*Christie Basick*

Account Manager

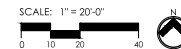
GFL Environmental – Raleigh

3741 Conquest Drive

Garner NC 27529

(M) 919-449-1692

3301 Benson Drive, Suite 601, Raleigh, NC 27609  
Tel: 919-325-3000 | [gflenv.com](http://gflenv.com)



Incorporated into this document is an addendum of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

# CRABTREE BLVD. APARTMENTS LODEN PROPERTIES 2321 Crabtree Blvd., Raleigh, NC 27604

SITE COO. PROJECT NUMBER:  
22013

ASR SUBMITTAL #  
0066-2024

DATE: 09.06.2024

- 1 - ASR RESUB. 01/17/25
- 2 - ASR RESUB. 03/13/25
- 3 - ASR RESUB. 04/14/25

SHEET TITLE:  
SOLID WASTE  
PLAN

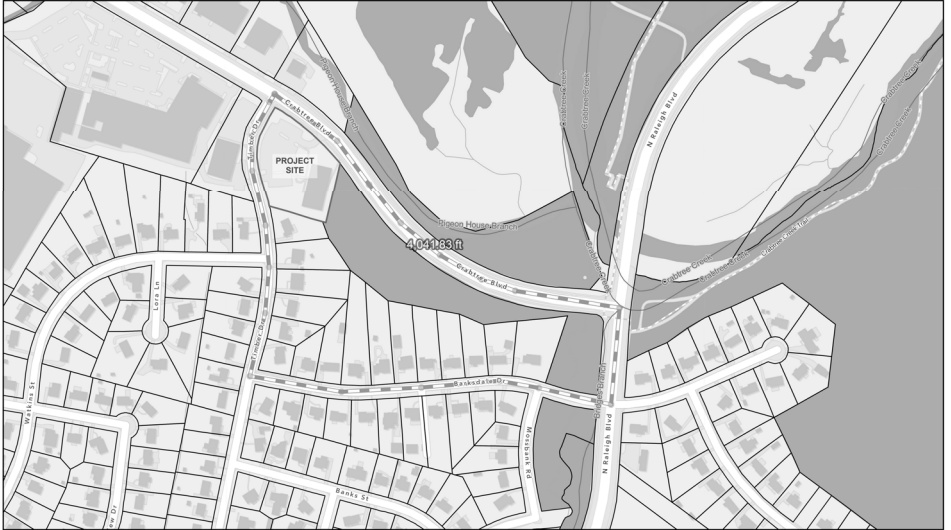
SHEET NUMBER:  
L105

**CRABTREE BLVD. APARTMENTS**  
**LODEN PROPERTIES**  
2321 Crabtree Blvd., Raleigh, NC 27604

SITE COO. PROJECT NUMBER:  
22013  
ASR SUBMITTAL #  
0066-2024  
DATE: 09.06.2024  
1 - ASR RESUB. 01/17/25  
2 - ASR RESUB. 03/13/25  
3 - ASR RESUB. 04/14/25  
+  
+

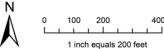
SHEET TITLE:  
**BLOCK  
PERIMETER  
EXHIBIT**

SHEET NUMBER:  
**L106**

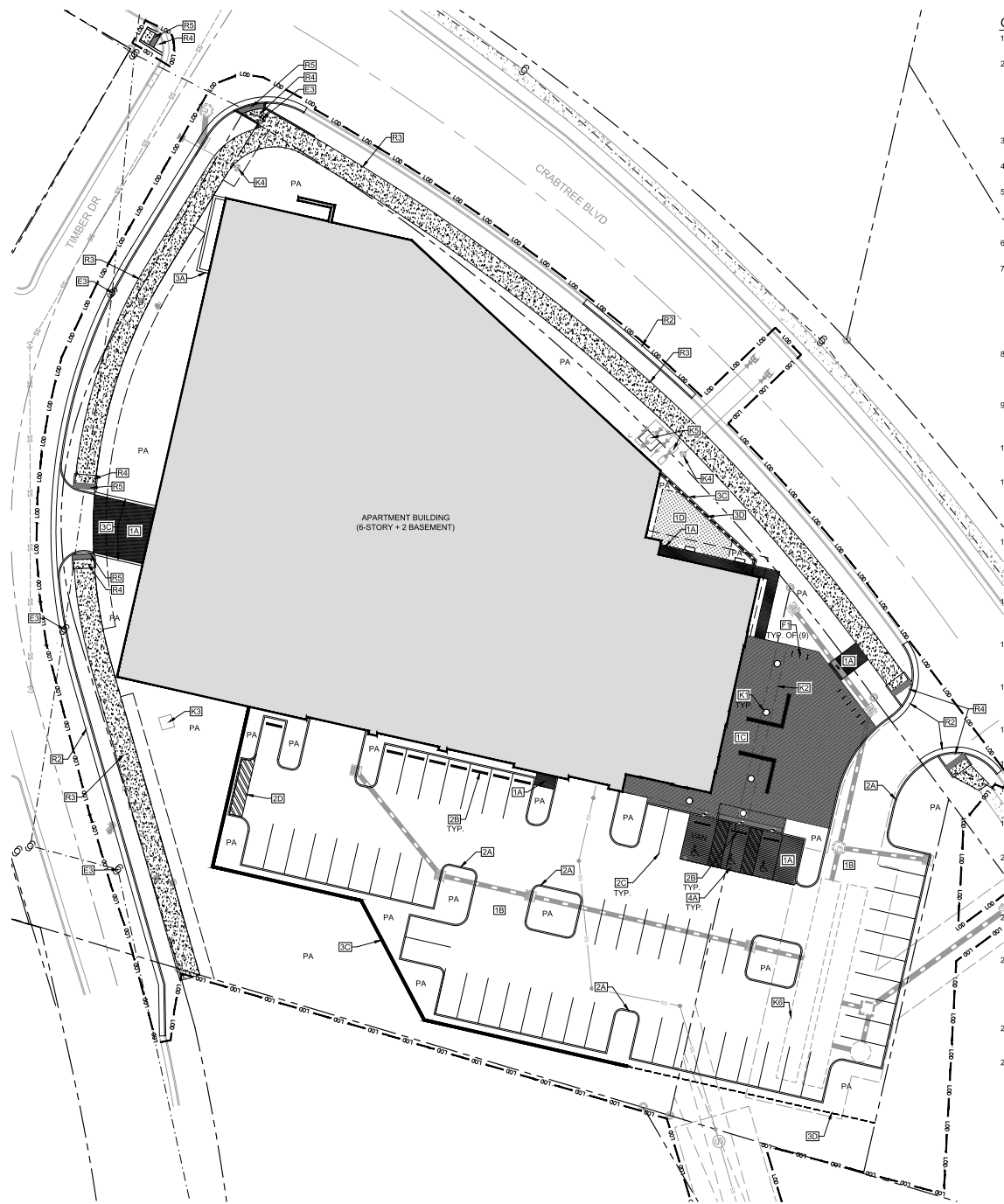


**CALCULATIONS**  
Zoning: OX  
Stories: 6  
Block Perimeter (max.): 2,500 ft.  
Existing Block Perimeter: 4,042 ft.  
Project Block Perimeter: 1,195 ft. (<50% max. block perimeter exempt per Sec. 8.3.2.1.b.iii)

**NOTES**  
1. Measurements taken using  
Wake County's iMaps platform.



**2321 CRABTREE BLVD.**  
ASR 0066-2024  
Block Perimeter Exhibit



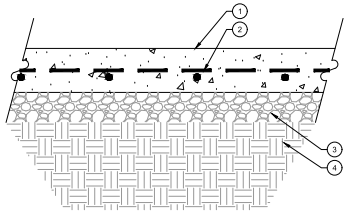


# LEGEND

1. CAST-IN-PLACE CONCRETE, COLOR AND FINISH PER HARDSCAPE LEGEND
2. #4 REBAR, REINFORCEMENT PER TABLE BELOW
3. AGGREGATE BASE COURSE, THICKNESS PER TABLE BELOW
4. PREPARED SUBGRADE PER GEOTECHNICAL REPORT

# NOTES

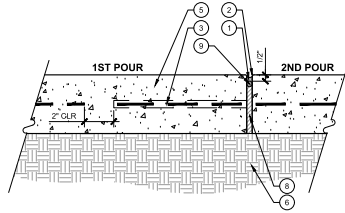
- A. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING
- B. IF NO GEOTECHNICAL REPORT IS AVAILABLE, COMPACT SUBGRADE TO 95% S.P.D.



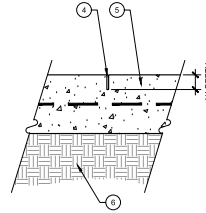
PAVEMENT TYPE	ABC (IN.)	REINFORCEMENT	CONCRETE (IN.)
SERVICE DRIVE AREA / DUMPSTER PAD	4	#4 @ 12" O.C. B.W.	8
ACCESSIBLE PARKING SPACES	4	#4 @ 12" O.C. B.W.	6
PEDESTRIAN SIDEWALKS	4	NONE	4

# LEGEND

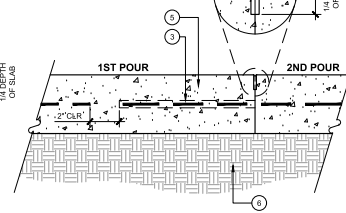
1. 3/8" EXPANSION JOINT W/ SEALANT DUSTED WITH DOUBLE-WASHED CONCRETE SAND WHILE WET PER SPECIFICATIONS, SAND COLOR TO MATCH COLOR OF ADJACENT CONCRETE COLOR
2. 1/8" RADIUS TOOLED EDGE
3. #4 18" STEEL DOWEL @ 18" O.C., CENTERED IN SLAB, SLEEVE ONE SIDE
4. 1/8" WIDE SAWCUT JOINT
5. C.I.P. CONCRETE PAVING PER DETAIL
6. BASE AND SUBGRADE PREPARATION PER GEOTECHNICAL REPORT
7. 3/16" WIDE SAWCUT JOINT, INSTALLED AFTER TOOLED EDGES
8. PREMOULDED FOAM EXPANSION JOINT FILLER PER SPECIFICATIONS
9. 5/8" DIA. POLYETHYLENE FOAM BACKER ROD



EXPANSION JOINT



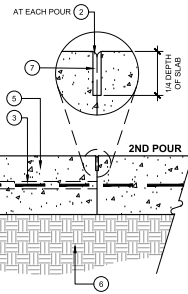
SAWCUT JOINT



COLD JOINT

# NOTES

- A. PROVIDE EXPANSION JOINTS WHERE INDICATED ON THE DRAWINGS, AND WHERE PAVING ABUTS WALLS, CURBS, STEPS, RAMPS AND OTHER VERTICAL APPURTENANCES, OMIT DOWELS WHERE ABUTTING WALLS, BUILDINGS, AND CURBS.
- B. ALL TOOLED EDGES OF EXPANSION JOINTS SHALL BE 1/4" RADIUS MAX.
- C. PROVIDE COLD JOINTS BETWEEN DIFFERENT CONCRETE PAVING TYPES

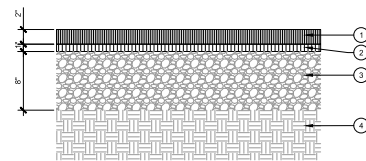


# LEGEND

1. S-9.5B ASPHALT WEARING COURSE
2. SF-9.5A ASPHALT BASE COURSE
3. AGGREGATE BASE COURSE
4. COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

# NOTES

- A. CONTRACTOR SHALL INFORM LANDSCAPE ARCHITECT OF ANY PAVING DESIGN CONFLICTS WITH GEOTECHNICAL REPORT PRIOR TO INSTALLATION
- B. IF NO GEOTECHNICAL REPORT IS AVAILABLE, COMPACT SUBGRADE TO 95% S.P.D.



HEAVY DUTY (DRIVE LANES AND PARKING AREAS)

## 1 CONCRETE PAVING

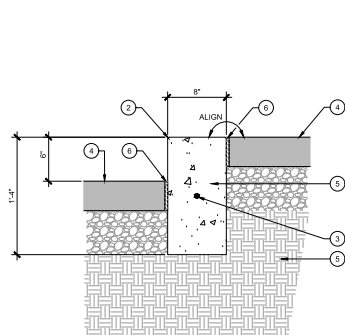
SCALE: 1-1/2" = 1'-0"

## 2 CONCRETE PAVING JOINTS

SCALE: 3" = 1'-0"

## 3 ASPHALT PAVING

SCALE: 1-1/2" = 1'-0"

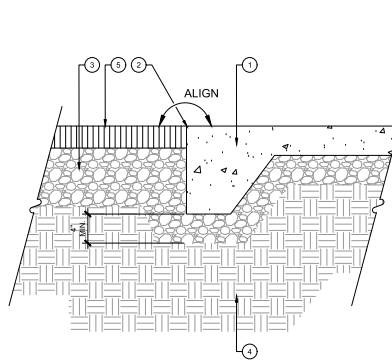


# LEGEND

1. CAST-IN-PLACE CONCRETE, COLOR AND FINISH PER HARDSCAPE LEGEND
2. 1/4" RADIUS ALL EXPOSED EDGES
3. #4 REBAR HORIZ. CONTINUOUS OVERLAP SP/IDE 12" MIN.
4. ADJACENT PAVING PER HARDSCAPE PLAN
5. COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
6. EXPANSION JOINT PER DETAIL (UTILIZE ONLY WHEN ADJACENT TO CONCRETE PAVING)

# NOTES

- A. IF GEOTECHNICAL REPORT NOT AVAILABLE, COMPACT SUBGRADE TO 95% S.P.D.
- B. PROVIDE EXPANSION JOINT 30" O.C. THROUGH LENGTH OF CURB

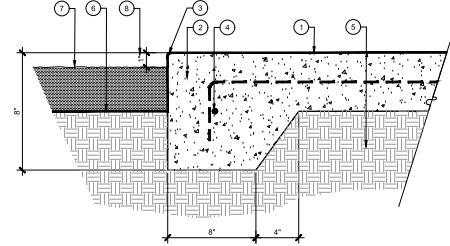


# LEGEND

1. CONCRETE THICKENED EDGE
2. 1/4" RADIUS AT ALL EXPOSED EDGES
3. AGGREGATE BASE COURSE
4. COMPACTED SUBGRADE PER DETAIL
5. ASPHALT PAVING PER DETAIL

# NOTES

- A. IF NO GEOTECHNICAL REPORT AVAILABLE, COMPACT SUBGRADE TO 95% S.P.D.



# LEGEND

1. CONCRETE PAVING PER DETAIL
2. THICKENED EDGE
3. 1/8" RADIUS TOOLED EDGE
4. #3 BAR CONTINUOUS 48" LAPPED AND WIRED
5. COMPACTED SUBGRADE AND BASE REQUIREMENTS PER GEOTECHNICAL REPORT
6. FINISH GRADE AT PLANTING
7. FINISH SURFACE FOR MULCH, PER PLANS AND SPECIFICATIONS
8. 1" GAP NOT REQUIRED WHEN ADJACENT TO ASPHALT PAVING

# NOTES

- A. THICKENED EDGE REQUIRED WHEREVER CONCRETE PAVING IS ADJACENT TO ASPHALT, AREAS OF AT-GRADE PLANTING, LAWN, OR DECOMPOSED GRANITE
- B. IF NO GEOTECHNICAL REPORT AVAILABLE, COMPACT SUBGRADE TO 95% S.P.D.

## 4 CONCRETE 8" CURB

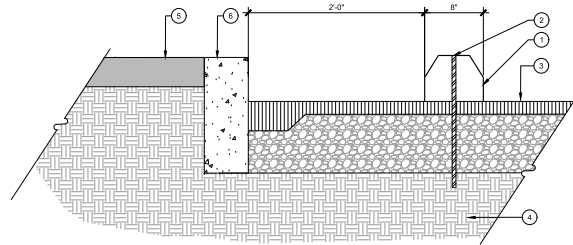
SCALE: 1-1/2" = 1'-0"

## 5 ASPHALT TO CONCRETE TRANSITION

SCALE: 1-1/2" = 1'-0"

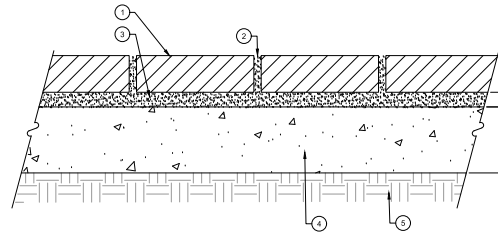
## 6 CONCRETE THICKENED EDGE

SCALE: 3" = 1'-0"



# LEGEND

1. PRECAST CONCRETE WHEELSTOP
2. 5/8" DIA. REIN. BAR 18" LONG 2 PER WHEEL STOP
3. ASPHALT PAVING PER DETAIL
4. EXISTING SUBGRADE
5. ADJACENT PAVING PER HARDSCAPE PLANS
6. C.I.P. CONCRETE CURB PER DETAIL



# LEGEND

1. PRECAST CONCRETE PAVER PER HARDSCAPE LEGEND
2. GROUTED JOINTS, COLOR PER HARDSCAPE LEGEND
3. MORTAR SETTING BED
4. CONCRETE SUBBASE REINFORCED PER DETAIL
5. COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

# NOTES

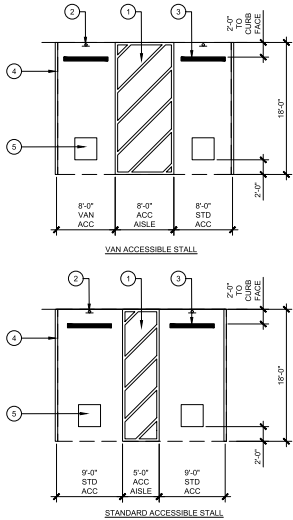
- A. IF GEOTECHNICAL REPORT NOT AVAILABLE, COMPACT SUBGRADE TO 95% S.P.D.
- B. REFER TO HARDSCAPE PLAN AND LEGEND FOR LAYOUT AND PATTERN OF PAVERS
- C. CONTRACTOR TO SUBMIT PAVER AND GROUT SAMPLES TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING AND INSTALLATION
- D. FINISH SURFACE OF PAVERS SHALL BE LEVEL WITH ADJACENT PAVING

## 7 CONCRETE WHEEL STOP

SCALE: 1-1/2" = 1'-0"

## 8 PRECAST CONCRETE PAVING

SCALE: 3" = 1'-0"

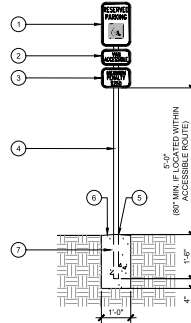


#### LEGEND

1. ACCESSIBLE AISLE TO BE CLEAR OF ALL OBSTRUCTIONS
2. ACCESSIBLE SIGN PER DETAIL, SEE HARDSCAPE PLAN FOR LOCATION
3. CONCRETE WHEELSTOP
4. 4" WIDE WHITE STRIPE
5. 36" X 36" INTERNATIONAL SIGN OF ACCESSIBILITY EMBLEM

#### NOTES

- CONTRACTOR SHALL VERIFY A MAX. SLOPE OF 2% IN ALL DIRECTIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION

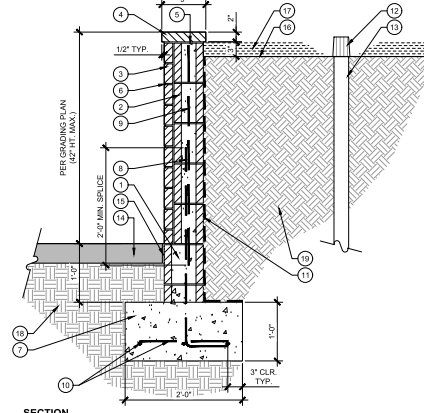


#### LEGEND

1. SIGN WITH INTERNATIONAL SIGN OF ACCESSIBILITY (MUTCD R7-8C)
2. UTILITY VAN ACCESSIBLE SIGN WHEN APPLICABLE
3. PENALTY SIGN - WHEN VAN ACCESSIBLE SIGN NOT REQUIRED, PLACE DIRECTLY BELOW INTERNATIONAL SIGN OF ACCESSIBILITY
4. 2" DIA. OR U-CORNER GALVANIZED STEEL POST CENTERED ON POST
5. NON-SHRINK GROUT POST TO FOOTER
6. SLOPE TOP OF FOOTER AWAY FROM POST WHEN FOOTER IS IN A PLANTING AREA
7. CAST-IN-PLACE CONCRETE FOOTER

#### NOTES

- HEIGHT OF R7-8C RESERVED PARKING SIGN AS PRESCRIBED BY N.C. DEPT. OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, SECTION 2A-2.3, PART B



#### LEGEND

1. 800X16 CMU BLOCK. GROUT ALL VOIDS SOLID
2. 800X16 CMU BLOCK. GROUT ALL VOIDS SOLID
3. MODULAR BRICK TO MATCH ARCHITECTURE
4. PRECAST CONCRETE CAP TO MATCH ADJACENT FOUNTAIN CAP
5. MORTAR SETTING BED
6. 1/4" TOoled JOINTS. MORTAR COLOR TO MATCH ARCHITECTURE
7. CAST IN PLACE CONCRETE FOOTING, 3,000 PSI MIN.
8. #5 REBAR DOWEL AT 40" O.C., ALTERNATE SIDES
9. #5 REBAR, VERTICAL
10. #5 REBAR, HORIZONTAL
11. WATERPROOFING MEMBRANE AND DRAINAGE BOARD
12. 3" DIA. ROUND ATRIUM DRAIN, COLOR: BLACK. VERIFY LOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
13. SOLID PWS DRAINAGE PIPE. CONNECT TO ADJACENT DRAIN SYSTEM AND ENSURE POSITIVE DRAINAGE
14. ADJACENT HARDSCAPE PER PLAN
15. EXPANSION JOINT PER DETAIL (REQUIRED ONLY WHEN ADJACENT TO CONCRETE PAVING)
16. FINISH GRADE IN PLANTER
17. 3" MULCH LAYER PER PLANTING PLANS
18. COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
19. AMENDED PLANTING SOIL BACKFILL

#### NOTES

- IF NO GEOTECHNICAL REPORT IS AVAILABLE, COMPACT SUBGRADE TO 95% S.P.D.
- PROVIDE SHOP DRAWINGS FOR PRECAST CONCRETE CAP PRIOR TO FABRICATION
- PROVIDE MODULAR BRICK PRODUCT DATA PRIOR TO ORDERING
- PROVIDE ATRIUM DRAIN PRODUCT DATA PRIOR TO ORDERING
- ALERT LANDSCAPE ARCHITECT OF ANY KNOWN DISCREPANCIES IN THE FIELD PRIOR TO INSTALLATION



14201H Kaleigh St., Suite 100  
Raleigh, NC 27603  
919.803.3366

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**CRABTREE BLVD. APARTMENTS**  
**LODEN PROPERTIES**  
**2321 Crabtree Blvd., Raleigh, NC 27604**

SIR COO. PROJECT NUMBER:  
22013

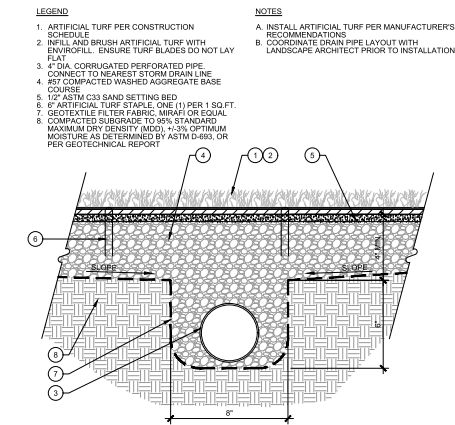
ASR SUBMITTAL #  
0066-2024

DATE: 09.06.2024

1 - ASR RESUB. 01/17/25  
2 - ASR RESUB. 03/13/25  
3 - ASR RESUB. 04/14/25

SHEET TITLE:  
**SITE DETAILS**

SHEET NUMBER:  
**L203**

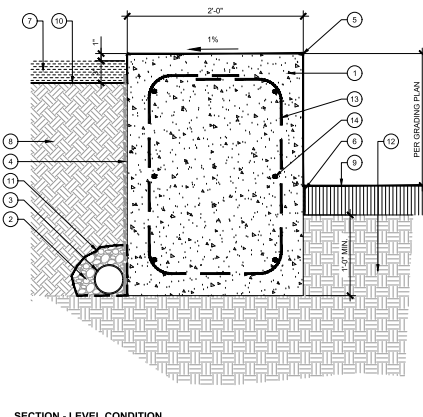


#### LEGEND

1. ARTIFICIAL TURF PER CONSTRUCTION SCHEDULE
2. INFILL AND BRUSH ARTIFICIAL TURF WITH ENVIRONMENT. ENSURE TURF BLADES DO NOT LAY FLAT
3. 4" DIA. CORRUGATED PERFORATED PIPE. CONNECT TO NEAREST STORM DRAIN LINE
4. #40 COMPACTED WASHED AGGREGATE BASE COURSE
5. 1/2" ASTM C33 SAND SETTING BED
6. 6" ARTIFICIAL TURF STAPLE, ONE (1) PER 1 SQ. FT.
7. GEOTEXTILE FILTER FABRIC, MIRAFI OR EQUAL
8. COMPACTED SUBGRADE TO 95% STANDARD MAXIMUM DRY DENSITY (MDD), +/- 3% OPTIMUM MOISTURE AS DETERMINED BY ASTM D693, OR PER GEOTECHNICAL REPORT

#### NOTES

- INSTALL ARTIFICIAL TURF PER MANUFACTURER'S RECOMMENDATIONS
- COORDINATE DRAIN PIPE LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION

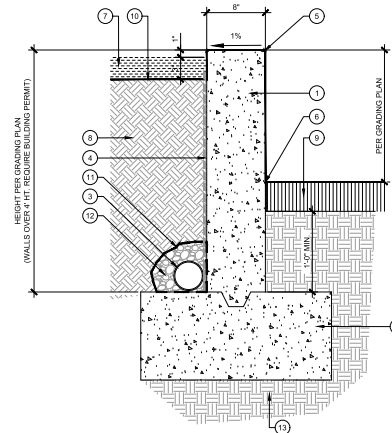


#### LEGEND

1. C.I.P. CONCRETE RETAINING WALL PER HARDSCAPE LEGEND
2. DRAINAGE AGGREGATE, 1 CU.FT. MIN. AROUND PIPE
3. 4" DIA. PERFORATED HOPE PIPE, DAYLIGHT PER CIVIL ENGINEER
4. WATERPROOFING AND DRAINAGE BOARD
5. 1/4" RADIUS AT ALL EXPOSED EDGES
6. EXPANSION JOINT PER DETAIL
7. MULCH PER PLAN AND SPECIFICATIONS
8. PLANTING SOIL PER SPECIFICATIONS
9. ADJACENT CONCRETE PAVING OR PLANTING AREA PER PLAN
10. FINISH GRADE AT PLANTING AREA
11. GEOTEXTILE FABRIC, MIRAFI OR EQUAL
12. COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
13. #5 REBAR AT 12" O.C.
14. #5 REBAR HORIZONTAL, 18" LAP AT SPLICE

#### NOTES

- PROVIDE SHOP DRAWINGS PRIOR TO INSTALLATION



#### LEGEND

1. C.I.P. CONCRETE RETAINING WALL PER HARDSCAPE LEGEND
2. CONCRETE FOOTING SIDE AND REINFORCEMENT PER STRUCTURAL ENGINEER
3. 4" DIA. PERFORATED HOPE PIPE, DAYLIGHT PER CIVIL ENGINEER
4. WATERPROOFING AND DRAINAGE BOARD
5. 1/4" RADIUS AT ALL EXPOSED EDGES
6. EXPANSION JOINT PER DETAIL (ONLY IF ADJACENT TO CONCRETE PAVING)
7. MULCH PER PLAN AND SPECIFICATIONS
8. PLANTING SOIL PER SPECIFICATIONS
9. ADJACENT CONCRETE PAVING OR PLANTING AREA PER PLAN
10. FINISH GRADE AT PLANTING AREA
11. GEOTEXTILE FABRIC
12. COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

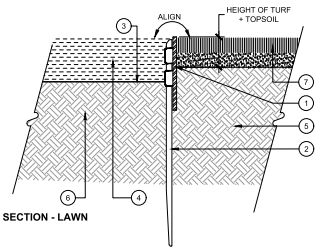
#### NOTES

- WALLS OVER 4' HEIGHT REQUIRE A BUILDING PERMIT

**4 ARTIFICIAL TURF**  
SCALE: 3" = 1'-0"

**5 C.I.P. CONCRETE SEAT WALL**  
SCALE: 1-1/2" = 1'-0"

**6 C.I.P. CONCRETE RETAINING WALL**  
SCALE: 1-1/2" = 1'-0"



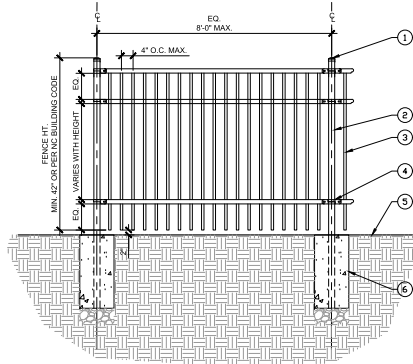
#### LEGEND

1. METAL EDGING, REFER TO HARDSCAPE LEGEND FOR TYPE, COLOR, AND FINISH
2. METAL EDGING STAKE TO MATCH METAL EDGING, SPACE APPROX. 30" O.C.
3. FINISHED GRADE IN ADJACENT PLANTING AREA
4. MULCH IN PLANTING AREA
5. COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
6. AMENDED PLANTING SOIL PER SPECIFICATIONS
7. LAWN PER PLANTING PLAN

#### NOTES

- A. INSTALL EDGING AND STAKES PER MANUFACTURER'S RECOMMENDATIONS
- B. IF NO GEOTECHNICAL REPORT AVAILABLE, COMPACT SUBGRADE TO 95% S.P.D.

1 METAL EDGE  
SCALE: 3" = 1'-0"



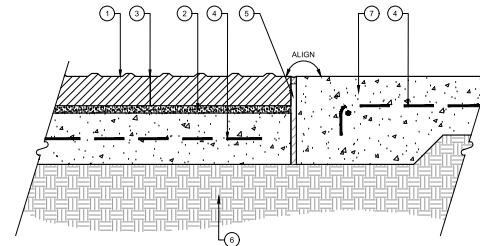
#### LEGEND

1. TERMINAL POST CAP
2. BLACK POWDER-COATED ALUMINUM POST (HEIGHT VARIES)
3. 1" BLACK POWDER-COATED ALUMINUM PICKET
4. BRACKET MATCH FENCE MATERIAL & COLOR
5. FINISH GRADE
6. FOOTER PER MANUFACTURER'S SPECIFICATION

#### NOTES

- A. ALL FENCE COMPONENTS TO BE BLACK POWDER-COATED ALUMINUM
- B. LOCATIONS PER PLANS OR AS DETERMINED BY OWNER
- C. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO PURCHASE
- D. FIELD VERIFY PRIOR TO INSTALLATION

2 DECORATIVE FENCE  
SCALE: 1/2" = 1'-0"



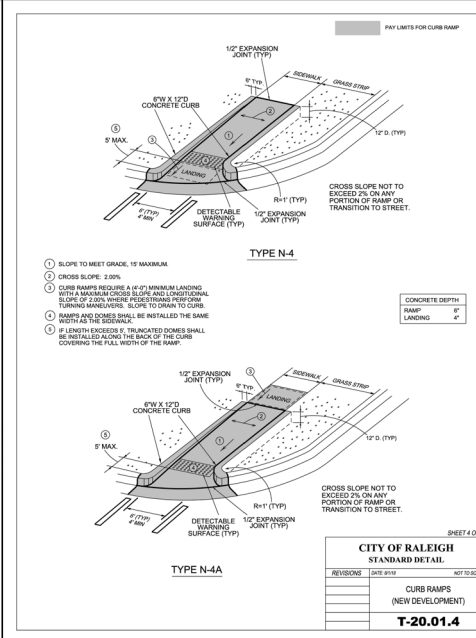
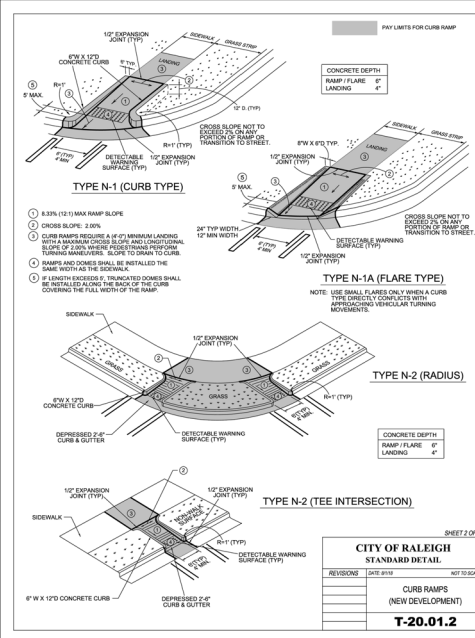
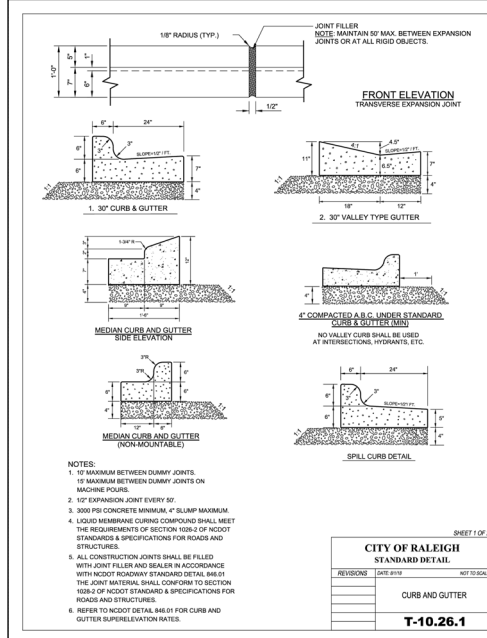
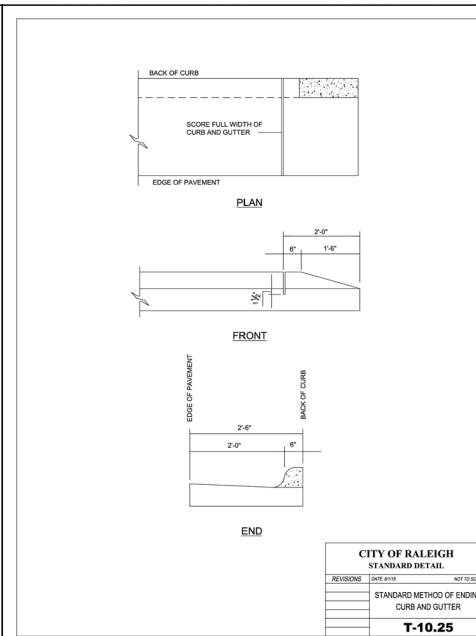
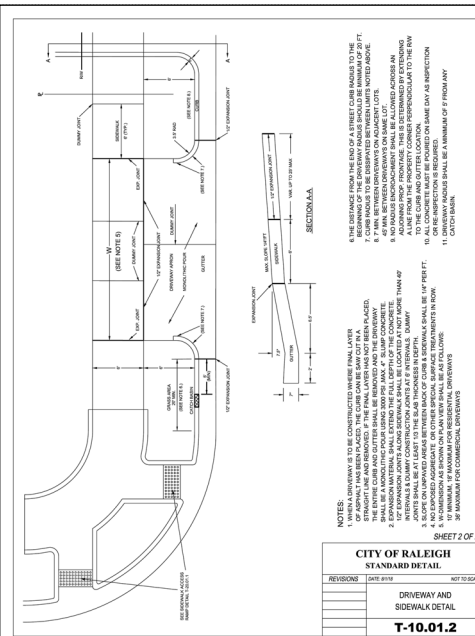
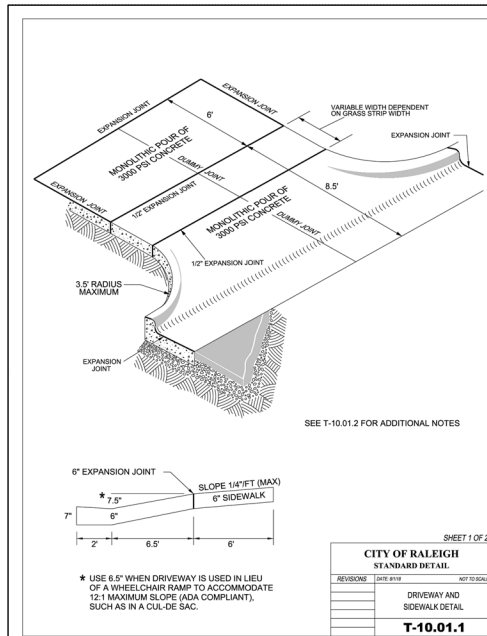
#### LEGEND

1. PRECAST CONCRETE DETECTABLE WARNING PAVERS PER HARDSCAPE LEGEND
2. MORTAR SETTING BED PER MANUFACTURER'S RECOMMENDATION
3. BUTT JOINT BETWEEN PAVERS
4. CONCRETE REINFORCEMENT PER GEOTECHNICAL REPORT
5. EXPANSION JOINT PER DETAIL
6. BASE AND SUBGRADE PREPARATION PER GEOTECHNICAL REPORT
7. CONCRETE THICKENED EDGE PER DETAIL

#### NOTES

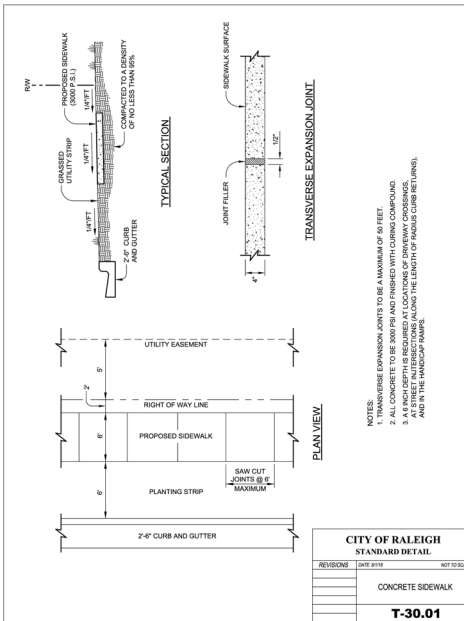
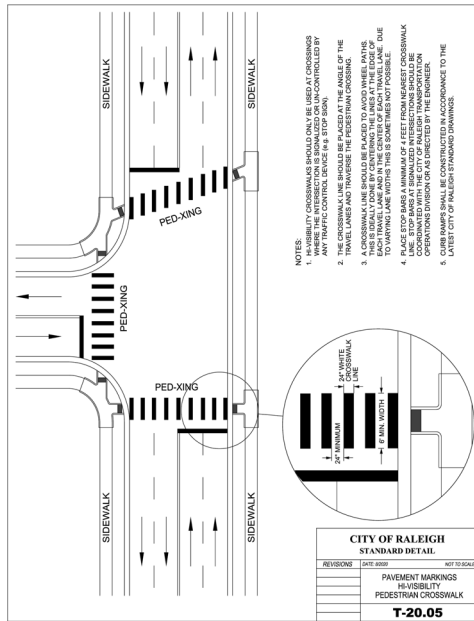
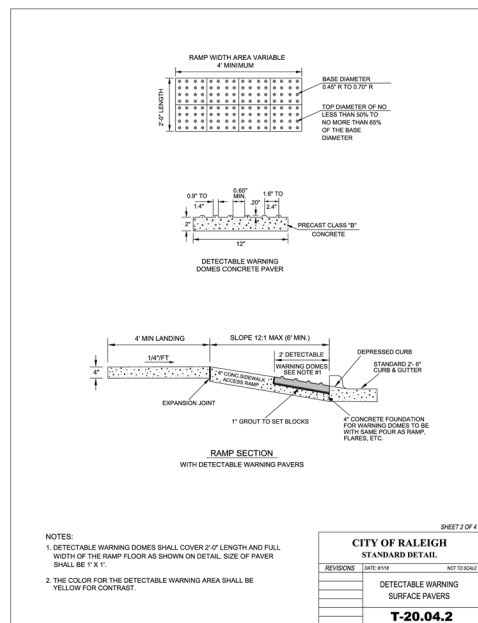
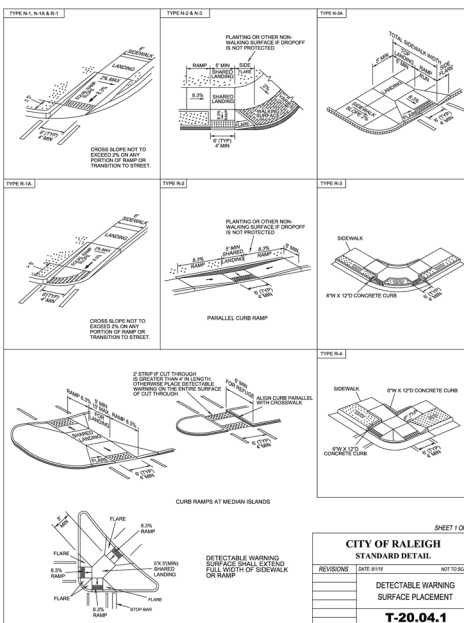
- A. REFER TO HARDSCAPE PLAN AND LEGEND FOR LAYOUT AND PATTERN OF PAVERS
- B. CONTRACTOR SHALL SUBMIT PAVES SAMPLE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING AND INSTALLATION
- C. FINISH SURFACE OF DETECTABLE WARNING PAVERS SHALL BE LEVEL WITH ADJACENT PAVING

3 TRUNCATED DOME  
SCALE: 3" = 1'-0"

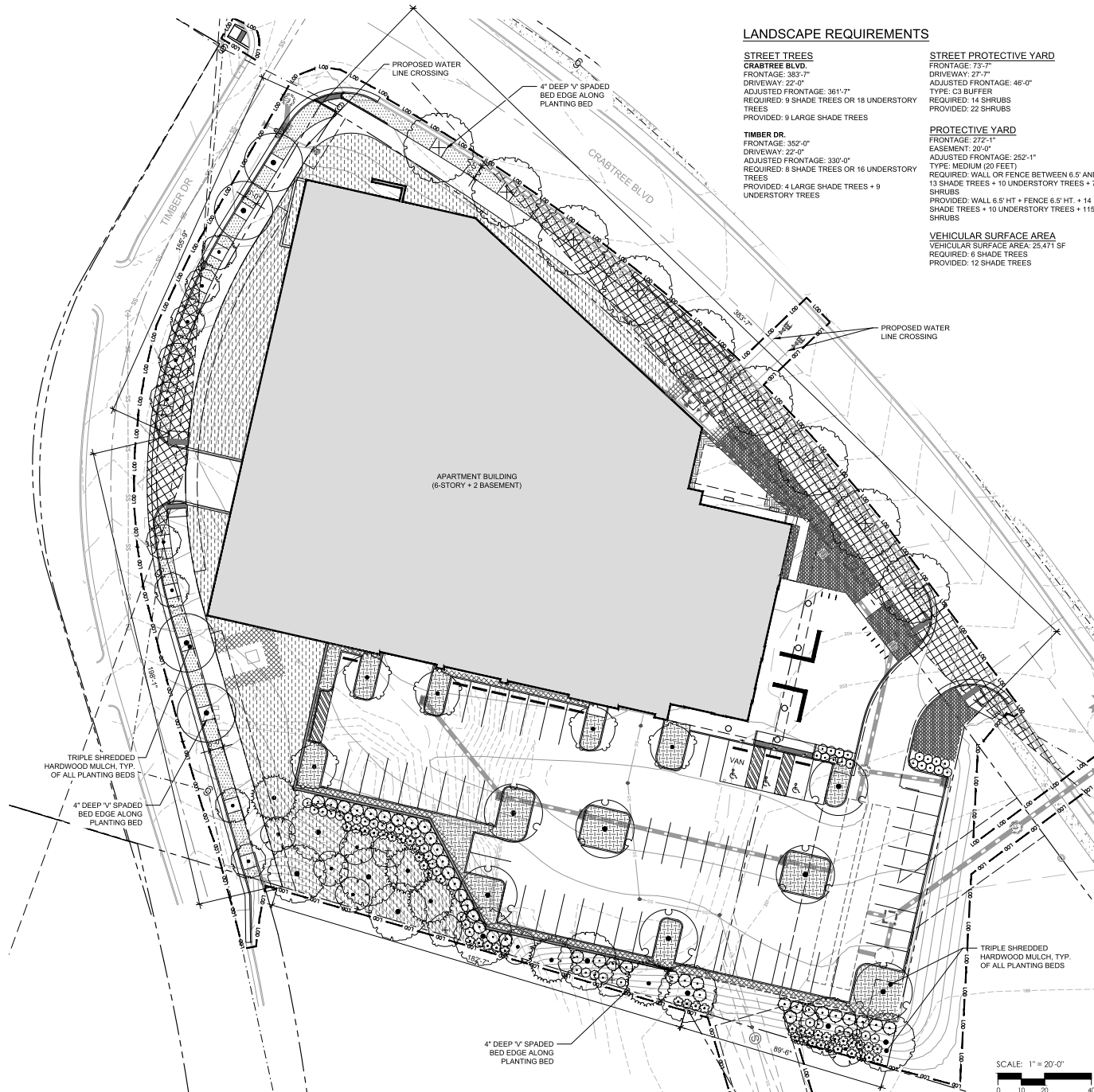


1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. EFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1:12 (1:2-1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS II (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSLIP SURFACE.
8. A 10" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURBS AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

CITY OF RALEIGH		SHEET 8 OF 10
STANDARD DETAIL		
REVISIONS	DATE: 9/1/18	NOT TO SCALE
	CURB RAMP NOTES	
	<b>T-20.01.8</b>	



NOTE: DETAILS ON THIS SHEET APPLY  
TO RIGHT-OF-WAY IMPROVEMENTS ONLY



## LANDSCAPE REQUIREMENTS

**STREET TREES**  
CRABTREE BLVD.  
FRONTAGE: 383'-7"  
DRIVEWAY: 22'-0"  
ADJUSTED FRONTAGE: 361'-7"  
REQUIRED: 9 SHADE TREES OR 18 UNDERSTORY TREES  
PROVIDED: 9 LARGE SHADE TREES

**TIMBER DR.**  
FRONTAGE: 352'-0"  
DRIVEWAY: 22'-0"  
ADJUSTED FRONTAGE: 330'-0"  
REQUIRED: 8 SHADE TREES OR 16 UNDERSTORY TREES  
PROVIDED: 4 LARGE SHADE TREES + 9 UNDERSTORY TREES

**STREET PROTECTIVE YARD**  
FRONTAGE: 73'-7"  
DRIVEWAY: 27'-7"  
ADJUSTED FRONTAGE: 46'-0"  
TYPE: C3 BUFFER  
REQUIRED: 14 SHRUBS  
PROVIDED: 22 SHRUBS

**PROTECTIVE YARD**  
FRONTAGE: 272'-1"  
EASEMENT: 20'-0"  
ADJUSTED FRONTAGE: 252'-1"  
TYPE: MEDIUM (20 FEET)  
REQUIRED: WALL OR FENCE BETWEEN 6.5' AND 9' + 13 SHADE TREES + 10 UNDERSTORY TREES + 76 SHRUBS  
PROVIDED: WALL 6.5' HT. + FENCE 8.5' HT. + 14 SHADE TREES + 10 UNDERSTORY TREES + 115 SHRUBS

**VEHICULAR SURFACE AREA**  
VEHICULAR SURFACE AREA: 25,471 SF  
REQUIRED: 6 SHADE TREES  
PROVIDED: 12 SHADE TREES

## PLANT SCHEDULE

SYMBOL	REMARKS	BOTANICAL NAME	CALIPER
TREES			
		Amelanchier canadensis	1 1/2"
		Cornus kousa	1 1/2"
		Ginkgo biloba 'Bryson City'	3"
		Gymnocladus dioica	3"
		Ilex opaca	---
		Ostrya virginiana	1 1/2"
		Pistacia chinensis	3"
		Quercus nuttallii	3"
		Quercus palustris	3"

SYMBOL	REMARKS	BOTANICAL NAME
SHRUBS		
		Illicium parviflorum
		Myrica cerifera
		Prunus laurocerasus 'Zabeliana'
GROUND COVERS		
	18" MIN. AT PLANTING	ACCENT PLANT MIX Calycanthus x 'Aphrodite' Distylium x 'PIDIST-II' Ilex verticillata 'Winter Red' Pinus virginiana Schizachyrium scoparium 'The Blues' Sporobolus heterolepis 'Tara'
	18" MIN. AT PLANTING	PARKING PLANT MIX Bouteloua gracilis 'Blonde Ambition' Ilex vomitoria 'Nana' Muhlenbergia capillaris 'Pink Cloud' Raphiolepis indica 'Clara'
	18" MIN. AT PLANTING	MASS PLANT MIX Andropogon ternarius 'Black Mountain' Calliopsis americana Carex cherokeensis Carex pensylvanica Clethra alnifolia 'Hummingbird' Itea virginica 'Henry's Garnet' Muhlenbergia capillaris 'Pink Cloud'
	18" MIN. AT PLANTING	EVERGREEN SCREEN Camellia sasanqua Ilex glabra 'Shamrock' Illicium parviflorum 'Florida Sunshine' Prunus laurocerasus 'Schickeliana'
	24" MAX. MATURE HEIGHT	LOW GROUND COVER Bouteloua gracilis 'Blonde Ambition' Carex cherokeensis Carex pensylvanica Dryopteris erythrosora 'Billicance'
		Cynodon dactylon x transvaalensis 'Tifway 419'
TURF		

- NOTES:**
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TTP-03
  - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH TREE MANUAL
  - ALL PLANTING AREAS TO RECEIVE 3" LAYER OF TRIPLE SHREDDED MULCH UNLESS OTHERWISE NOTED
  - V-SPACE ALL PLANTING EDGES AND TREE RINGS
  - ALL AREAS DAMAGED BY CONSTRUCTION NOT COVERED BY HARDCAPE OR PLANTING TO BE SEED WITH TALL RED FESCUE AT A RATE OF 5-6 LBS. PER 1,000 SF



Incorporated in this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Consultants, Inc.

CRABTREE BLVD. APARTMENTS  
LODEN PROPERTIES  
2321 Crabtree Blvd., Raleigh, NC 27604

SR PROJ. PROJECT NUMBER:  
22013  
ASR SUBMITTAL #  
0066-2024  
DATE: 09.06.2024  
1 - ASR RESUB. 01/17/25  
2 - ASR RESUB. 03/13/25  
3 - ASR RESUB. 04/14/25  
+  
+  
SHEET TITLE:  
PLANTING PLAN  
SHEET NUMBER:  
L401

PLANTING NOTES

1. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03.
2. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH TREE MANUAL.
3. ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. CONTRACTOR SHALL INSTALL SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
4. CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
5. ALL WEEDS, NON-NATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION, PLANTING, AND SEEDING/SODDING OPERATIONS.
6. PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
7. IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL STABILIZATION COIR FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEER'S ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
8. PLANTS ARE TO BE PURCHASED BY BOTANICAL NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES. MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING ANSI STANDARD Z60.
9. LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
10. CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES GIVEN ON THE PLANT LEGEND ARE FOR CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN PERMANENT FIXTURES. IF CONFLICT ARISES WITH PLAN, CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR DESIGNEE PRIOR TO PROCEEDING.
11. ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
12. ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND GANKERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIABLE PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
14. IF ANY PLANT/MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR DESIGNEE TWO (2) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT TIME FOR FULL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
15. BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
16. BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
- 16.1. TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- 16.2. ROOT BALLS SHALL BE FIRMLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NONSYNTHETIC TWINE.
- 16.3. ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
- 16.4. REMOVE ALL BURLAP, LACING, AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
- 16.5. DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
17. CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
- 17.1. MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- 17.2. ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
- 17.3. REMOVE CONTAINER PRIOR TO PLANTING.
18. TREES TO BE STAKED WILL BE DESIGNATED BY THE LANDSCAPE ARCHITECT. TREE STAKING FOR CANOPY AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
19. PLANT BED PREPARATION:
- 19.1. ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL TILLED IN TO A DEPTH OF 8" TO ENSURE INTEGRATION WITH EXISTING SOIL.
- 19.2. APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS.
- 19.3. IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
20. ALL MULCH TO BE CERTIFIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.



















SEEDING/SODDING NOTES

1. ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
2. ALL SEEDS/SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF THE SOO.
3. NO SEEDS/SODDED AREAS SHALL BE SODDED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING HAVE OCCURRED AND LANDSCAPE ARCHITECT HAVE REVIEWED THE FINAL GRADINGS.
4. SOD AREAS WILL BE ACCEPTED WHEN IN COMPLIANCE WITH ALL THE FOLLOWING CONDITIONS:
- 4.1. ROOTS ARE THOROUGHLY KNIT TO THE SOIL.
- 4.2. ABSENCE OF VISIBLE JOINTS
- 4.3. ALL AREAS SHOW A UNIFORM STAND OF SPECIFIED GRASS IN HEALTHY CONDITION.
- 4.4. AT LEAST 30 DAYS HAVE ELAPSED SINCE THE COMPLETION OF WORK UNDER THIS SECTION.
5. QUALITY GUARANTEE:
- 5.1. SOD SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOT DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
- 5.2. SEED SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOT DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SEED/SOD IS PROPERLY IRRIGATED DURING THE GROW-IN PERIOD AND SHALL BE RESPONSIBLE IF THE SOD SUFFERS IRREPARABLE HARM.
7. SEED/SOD IS SUBJECT TO INSPECTION AND ACCEPTANCE. LANDSCAPE ARCHITECT AND/OR CLIENT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO ACCEPTANCE OF WORK AND SOD WHICH IN THE LANDSCAPE ARCHITECT'S OPINION FAILS TO MEET THESE SPECIFICATIONS REQUIREMENTS.

8. SOD STANDARDS:
- 8.1. GENERAL: HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZATION, MOWING AND WEED CONTROL, FREE OF OBJECTABLE WEEDS, UNIFORM IN GREEN COLOR, LEAF TEXTURE AND DENSITY, HEALTHY, VIGOROUS ROOT SYSTEM, INSPECTED AND FOUND FREE OF DISEASE, NEMATODES, PEST AND PEST LARVAE BY THE ENTOMOLOGIST OF THE STATE DEPARTMENT OF AGRICULTURE.
- 8.2. EACH PIECE OF SOD: SANDY-LOAM SOIL BASE THAT WILL NOT BREAK, CRUMBLE OR TEAR DURING SOD INSTALLATION.
- 8.3. THICKNESS: MINIMUM 3/4" THICK, EXCLUDING THE TOP GROWTH THATCH.
- 8.4. HATCH: NOT TO EXCEED 1/2" UNCOMPRESSED.
- 8.5. SIZE: CUT IN STRIPS 18" WIDE NO MORE THAN 24 HOURS PRIOR TO DELIVERY.
9. SOD DELIVERY, STORAGE AND HANDLING GUIDELINES ARE AS FOLLOWS:
- 9.1. SOD SHALL BE DELIVERED ON PALLETS PROPERLY LOADED ON VEHICLES AND WITH ROOT SYSTEM PROTECTED FROM EXPOSURE TO SUN, WIND, AND HEAT IN ACCORDANCE WITH STANDARD PRACTICE AND LABELED WITH BOTANICAL AND COMMON NAME OF EACH GRASS SPECIES IN ACCORDANCE WITH FEDERAL SEED ACT. SOD THAT HAS BEEN DAMAGED BY POOR HANDLING OR IMPROPER STORAGE IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER.
- 9.2. PROTECT FROM DEHYDRATION, CONTAMINATION, FREEZING AND HEATING AT ALL TIMES. KEEP STORED SOD MOIST AND UNDER SHADE OR COVERED WITH MOISTENED BURLAP.
- 9.3. DO NOT DROP SOD ROLLS FROM CARTS, TRUCKS OR PALLETS.
- 9.4. DO NOT DELIVER MORE SOD THAN CAN BE INSTALLED WITHIN 36 HOURS.
- 9.5. DO NOT STACK SOD MORE THAN 2 FEET DEEP.

10. SEED/SODDED BED PREPARATION:
- 10.1. ALL DEBRIS, ROCKS, ETC. LARGER THAN 5" ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING.
- 10.2. ALL AREAS TO BE SEEDS/SODDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL TILLED INTO A DEPTH OF 4" TO ENSURE INTEGRATION WITH EXISTING SOIL.
- 10.3. APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS.
- 10.4. IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.

PLANT SCHEDULE

SYMBOL	REMARKS	BOTANICAL NAME	COMMON NAME	CALIPER	INSTALL HEIGHT	B&B OR CONT.	FORM	SPACING	QTY
<b>TREES</b>									
		Amelanchier canadensis	Canadian Serviceberry	1 1/2"	6' MIN.	CONTAINER	2-3 TRUNKS	AS SHOWN	4
		Cornus kousa	Kousa Dogwood	1 1/2"	6' MIN.	CONTAINER	2-3 TRUNKS	AS SHOWN	6
		Ginkgo biloba 'Bryson City'	Bryson City Maidenhair Tree	3"	12-14' MIN.	B&B	SINGLE LEADER	AS SHOWN	5
		Gymnocladus dioica	Kentucky Coffeetree	3"	12-14' MIN.	B&B	SINGLE LEADER	AS SHOWN	9
		Ilex opaca	American Holly	---	10' MIN.	CONTAINER	SINGLE LEADER	AS SHOWN	5
		Ostrya virginiana	American Hophornbeam	1 1/2"	8-10' MIN.	B&B	SINGLE LEADER	AS SHOWN	9
		Pistacia chinensis	Chinese Pistache	3"	12-14' MIN.	B&B	SINGLE LEADER	AS SHOWN	7
		Quercus nuttallii	Nuttall Oak	3"	12-14' MIN.	B&B	SINGLE LEADER	AS SHOWN	4
		Quercus palustris	Pin Oak	3"	12-14' MIN.	B&B	SINGLE LEADER	AS SHOWN	9
<b>SHRUBS</b>									
		Illicium parviflorum	Anise Tree	AS SHOWN	24" MIN.	20" MIN.	EVERGREEN		42
		Myrica cerifera	Wax Myrtle	AS SHOWN	36" MIN.	32" MIN.	EVERGREEN		38
		Prunus laurocerasus 'Zabeliana'	Zabel English Laurel	AS SHOWN	30" MIN.	30" MIN.	EVERGREEN		53
<b>GROUND COVERS</b>									
	18" MIN. AT PLANTING	ACCENT PLANT MIX							109 sf
		Calycanthus x 'Aphrodite'	Aphrodite Sweetshrub	---					
		Diastylum x 'PIDIST-II'	Blue Cascade® Diastylum	---					
		Ilex verticillata 'Winter Red'	Winter Red Winterberry	---					
		Panicum virgatum	Switch Grass	---					
		Schizachyrium scoparium 'The Blues'	The Blues Little Bluestem	---					
		Sporobolus heterolepis 'Tara'	Tara Prairie Dropseed	---					
	18" MIN. AT PLANTING	PARKING PLANT MIX							2,855 sf
		Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	---					
		Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	---					
		Muhlenbergia capillaris 'Pink Cloud'	Pink Cloud Pink Muhly Grass	---					
		Rhaphiolepis indica 'Clara'	Clara Indian Hawthorn	---					
	18" MIN. AT PLANTING	MASS PLANT MIX							9,905 sf
		Andropogon ternarius 'Black Mountain'	Black Mountain Spillbeard Bluestem	---					
		Calliopsis americana	American Beautyberry	---					
		Carex cherokeensis	Cherokee Sedge	---					
		Carex pensylvanica	Pennsylvania Sedge	---					
		Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	---					
		Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetshrub	---					
		Muhlenbergia capillaris 'Pink Cloud'	Pink Cloud Pink Muhly Grass	---					
	18" MIN. AT PLANTING	EVERGREEN SCREEN							1,440 sf
		Camellia sasangua	Sasanqua Camellia	---					
		Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	---					
		Illicium parviflorum 'Florida Sunshine'	Florida Sunshine Anise Tree	---					
		Prunus laurocerasus 'Schipkaensis'	Schipka English Laurel	---					
	24" MAX. MATURE HEIGHT	LOW GROUND COVER							2,158 sf
		Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	---					
		Carex cherokeensis	Cherokee Sedge	---					
		Carex pensylvanica	Pennsylvania Sedge	---					
		Dryopteris erythrosora 'Brilliance'	Brilliance Autumn Fern	---					
<b>TURF</b>									
		Cynodon dactylon x transvaalensis 'Tifway 419'	Tifway 419 Bermudagrass	---					13,490

NOTES:

1. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03.
2. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH TREE MANUAL.
3. ALL PLANTING AREAS TO RECEIVE 3" LAYER OF TRIPLE SHREDDED MULCH UNLESS OTHERWISE NOTED
4. V-SPADE ALL PLANTING EDGES AND TREE RINGS
5. ALL AREAS DAMAGED BY CONSTRUCTION NOT COVERED BY HARDSCAPE OR PLANTING TO BE SEEDDED WITH TALL RED FESCUE AT A RATE OF 5-6 LBS. PER 1,000 SF



Incorporated in this document is an addendum of professional services and shall not be used for any other project without written authorization of Site Collaborative, Inc.

CRABTREE BLVD. APARTMENTS  
LODEN PROPERTIES  
2321 Crabtree Blvd., Raleigh, NC 27604

SR PROJ. PROJECT NUMBER:  
22013

ASR SUBMITTAL #  
0066-2024

DATE: 09.06.2024

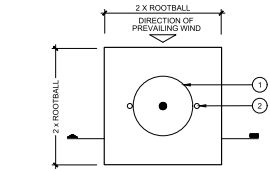
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2 - ASR RESUB. 03/13/25  
3 - ASR RESUB. 04/14/25  
+

SHEET TITLE:

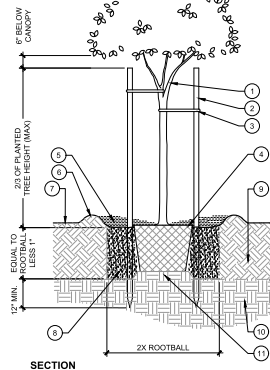
PLANTING  
SCHEDULE +  
NOTES

SHEET NUMBER:

L402



PLAN



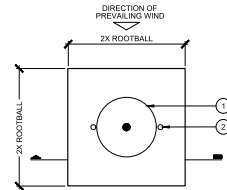
SECTION

#### LEGEND

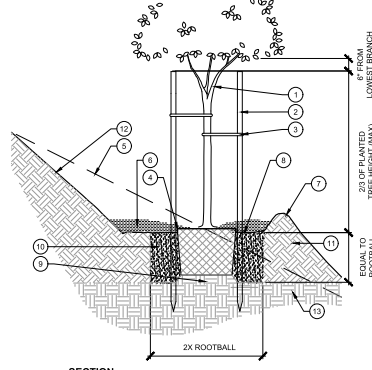
1. TREE AND ROOTBALL PER PLAN
2. TREE STAKES PER SPECIFICATIONS
3. TREE TIES PER SPECIFICATIONS
4. SET ROOTBALL AT 2" ABOVE FINISH GRADE AT EXISTING SLOPE LEVEL
5. MULCH PER PLANS AND SPECIFICATIONS
6. 4" HIGH EARTH BERM AT EDGE OF PLANT PIT, FIRMLY COMPACTED
7. FINISHED GRADE
8. AMENDED SOIL PER SPECIFICATIONS
9. RIPPED AND RECOMPACTED SOIL AMENDED PER SPECIFICATIONS
10. EXISTING UNDISTURBED SOIL
11. PREPARED SUBGRADE PEDESTAL, SIZE PER ROOTBALL DIAMETER

#### NOTES

- A. REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION
- B. KEEP MULCH 12" AWAY FROM STEMS AND TAPER AT ROOTBALL
- C. TAPER MULCH TO 2" DEPTH AT FLATWORK
- D. SET ROOTBALL ON COMPACTED SOIL



PLAN



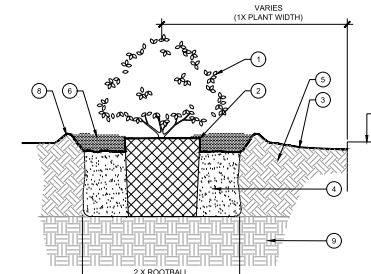
SECTION

#### LEGEND

1. TREE AND ROOTBALL PER PLAN
2. TREE TIES PER SPECIFICATIONS
3. TREE TIES PER SPECIFICATIONS
4. SET ROOTBALL AT 2" ABOVE FINISH GRADE AT EXISTING SLOPE LEVEL
5. LINE OF SLOPE BEYOND/EXISTING SLOPE
6. MULCH PER PLANS AND SPECIFICATIONS
7. 4" HIGH EARTH BERM AT EDGE OF PLANT PIT, FIRMLY COMPACTED
8. PREPARED SUBGRADE PEDESTAL, SIZE TO MATCH ROOTBALL DIAMETER
9. AMENDED SOIL PER SPECIFICATIONS
10. RIPPED AND RECOMPACTED SOIL AMENDED PER SPECIFICATIONS
11. LAYBACK SLOPE BEHIND PLANT PIT AS NEEDED TO PREVENT SOIL SLUFFING
12. EXISTING UNDISTURBED SOIL

#### NOTES

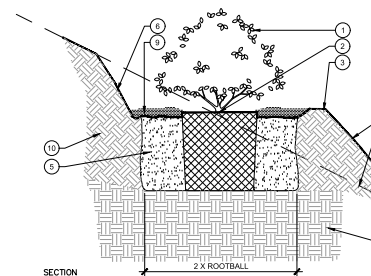
- A. THIS DETAIL USED FOR SLOPES AT 2:1 AND GREATER
- B. REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION
- C. KEEP MULCH 12" AWAY FROM STEMS AND TAPER AT ROOTBALL
- D. TAPER MULCH TO 2" DEPTH AT FLATWORK
- E. SET ROOTBALL ON COMPACTED SOIL



SECTION

3 SHRUB PLANTING - LEVEL

SCALE: 1" = 1'-0"



SECTION

4 SHRUB PLANTING - SLOPED

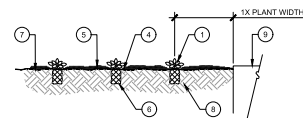
SCALE: 1" = 1'-0"

#### LEGEND

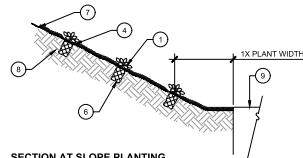
1. GROUNDCOVER PLANT
2. TRIANGULAR SPACING (TYP.) UNLESS OTHERWISE SPECIFIED
3. SPACING INDICATED PER PLANTING LEGEND
4. SET ROOTDOWN ABOVE FINISH GRADE
5. MULCH PER PLANS AND SPECIFICATIONS
6. ROOTBALL
7. FINISH GRADE
8. AMENDED SOIL PER SPECIFICATIONS
9. ADJACENT FINISHED SURFACE PER HARDSCAPE PLAN

#### NOTES

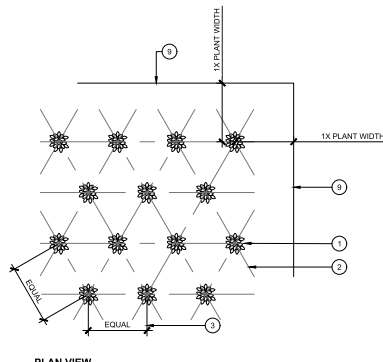
- A. GROUNDCOVER ON SLOPES 3:1 AND STEEPER SHALL BE PLANTED AT 8' O.C. (MAX.)



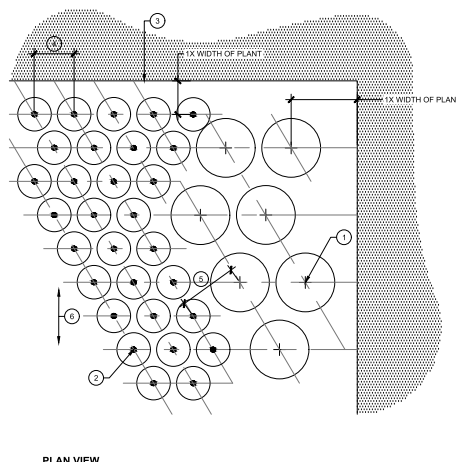
SECTION AT FLAT AREAS



SECTION AT SLOPE PLANTING



PLAN VIEW



PLAN VIEW

#### LEGEND

1. PLANT TYPE 1
2. PLANT TYPE 2
3. ADJACENT EDGE OF PAVING, WALL OR OTHER HARDSCAPE OBSTRUCTION
4. ON CENTER SPACING BETWEEN INDIVIDUAL PLANTS; DISTANCE VARIES PER PLANT TYPE, REFER TO PLANTING LEGEND
5. WHERE DISTINCT PLANT TYPES ARE ADJACENT, PROVIDE THE GREATER O.C. SPACING DISTANCE
6. ORIENTATION OF TRIANGULAR SPACING TO SLOPES

#### LEGEND

1. SHRUB PER PLANS
2. SET ROOTBALL CROWN 1" ABOVE FINISH GRADE
3. FINISH GRADE
4. AMENDED SOIL PER SPECIFICATIONS
5. RIPPED AND RECOMPACTED SOIL AMENDED PER SPECIFICATIONS
6. MULCH PER PLANS AND SPECIFICATIONS; KEEP MULCH 4" - 6" FROM TRUNK, STEMS, AND TAPER AT ROOTBALL
7. ADJACENT FINISHED SURFACE PER HARDSCAPE PLAN
8. 4" TALL EARTH BERM @ EDGE OF PLANT PIT, FIRMLY COMPACTED
9. COMPACTED SUBGRADE PER SPECIFICATIONS

#### NOTES

- A. REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION
- B. KEEP MULCH 6" AWAY FROM STEMS AND TAPER AT ROOTBALL
- C. TAPER MULCH TO 2" DEPTH AT FLATWORK
- D. SET ROOTBALL ON COMPACTED SOIL

#### LEGEND

1. SHRUB PER PLANS
2. SET ROOTBALL CROWN 1" ABOVE FINISH GRADE
3. 6" TALL EARTH BERM @ EDGE OF PLANT PIT
4. FINISH GRADE
5. AMENDED SOIL PER SPECIFICATIONS
6. LAYBACK SLOPE BEHIND PLANT PIT
7. LINE OF SLOPE BEYOND
8. COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
9. MULCH PER PLANS AND SPECIFICATIONS; KEEP MULCH 4" - 6" FROM TRUNK, STEMS, AND TAPER AT ROOTBALL
10. RIPPED AND RECOMPACTED SOIL AMENDED PER SPECIFICATIONS

#### NOTES

- A. THIS DETAIL USED FOR SLOPES AT 2:1 AND GREATER
- B. REFER TO PLANTING SPECIFICATION FOR ADDITIONAL INFORMATION
- C. KEEP MULCH 6" AWAY FROM STEMS AND TAPER AT ROOTBALL
- D. TAPER MULCH TO 2" DEPTH AT FLATWORK
- E. SET ROOTBALL ON COMPACTED SOIL

5 GROUNDCOVER PLANTING

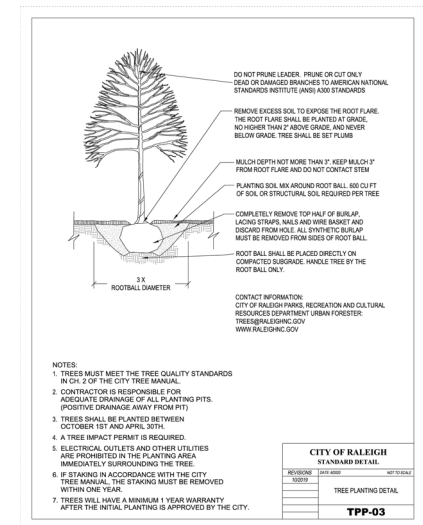
SCALE: 1" = 1'-0"

6 PLANT SPACING

SCALE: 1" = 1'-0"

7 TREE PLANTING (STREET TREES ONLY)

SCALE: 1" = 1'-0"



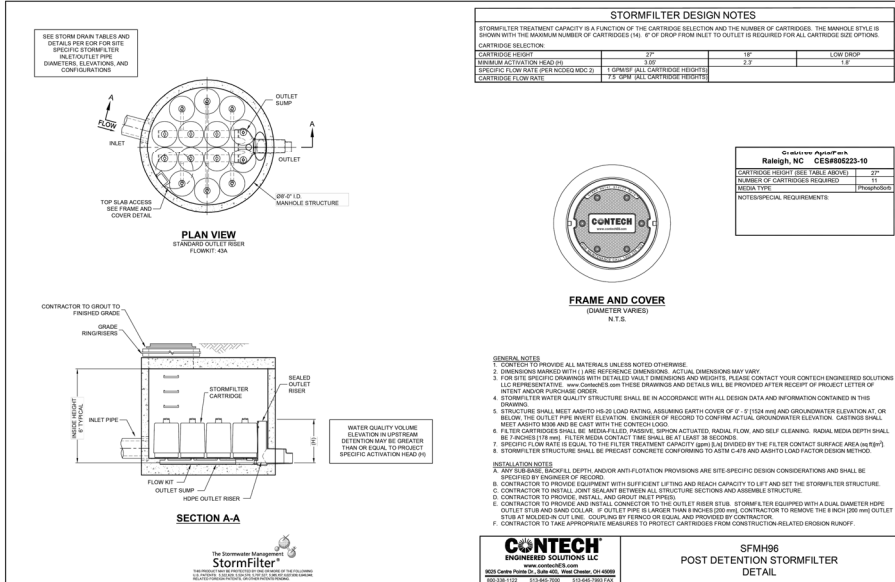
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. POSITIVE DRAINAGE AWAY FROM PITS.
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
4. A TREE IMPACT PERMIT IS REQUIRED.
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
1	09/06/2024	TPP-03
TREE PLANTING DETAIL		
TPP-03		



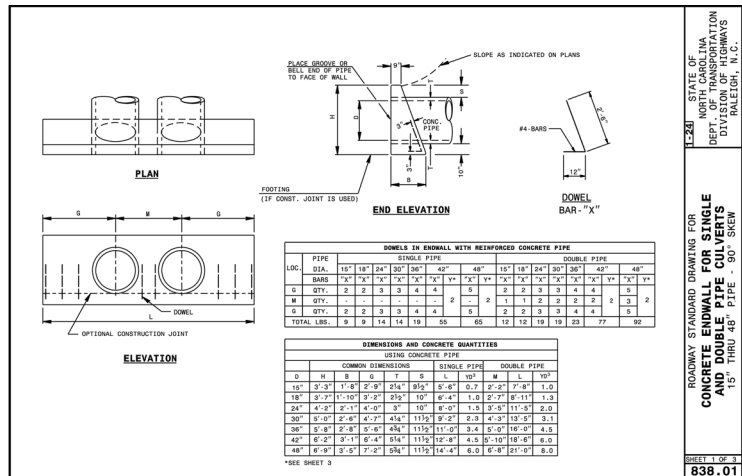
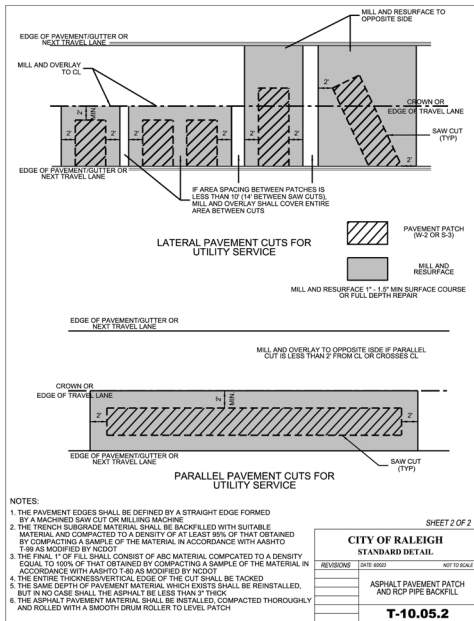
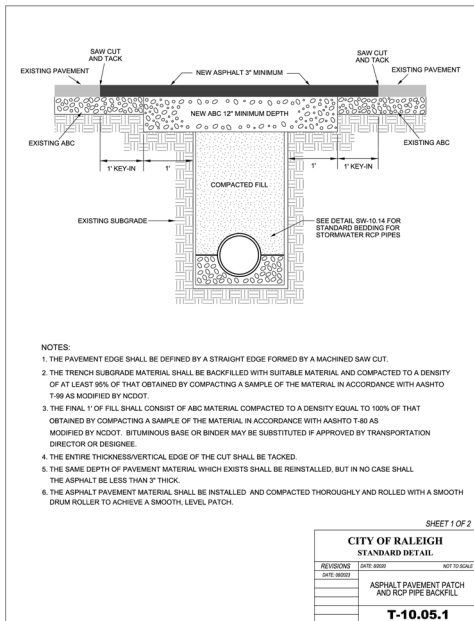


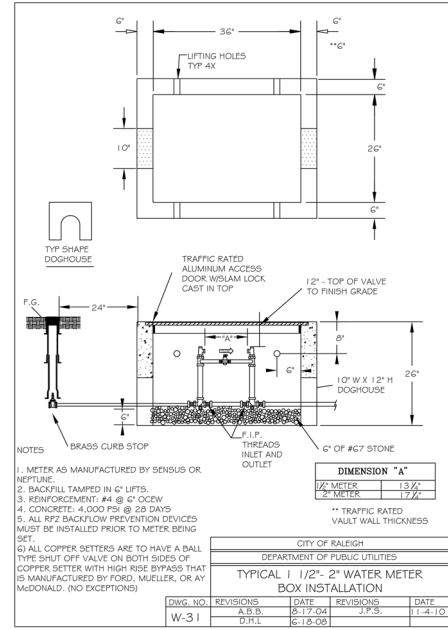
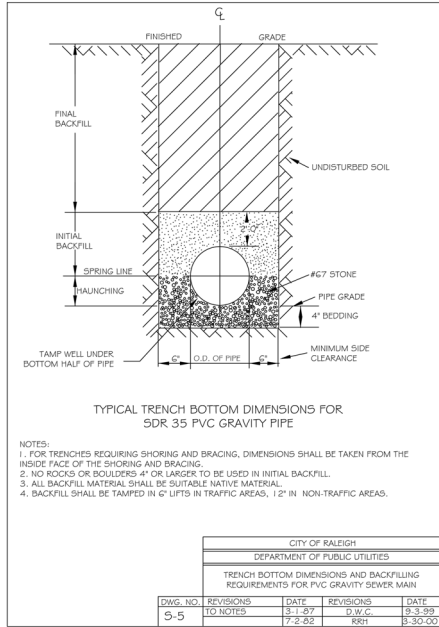
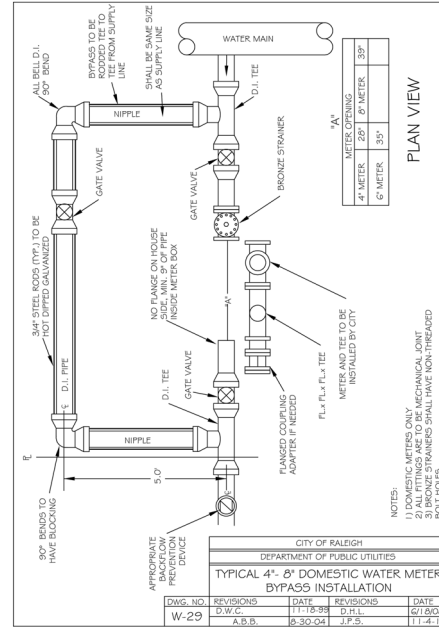
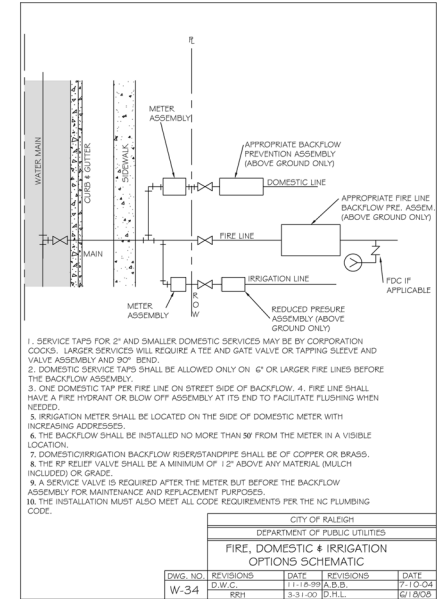
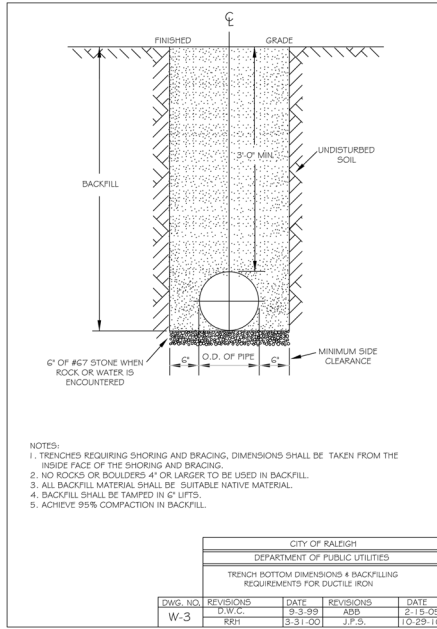
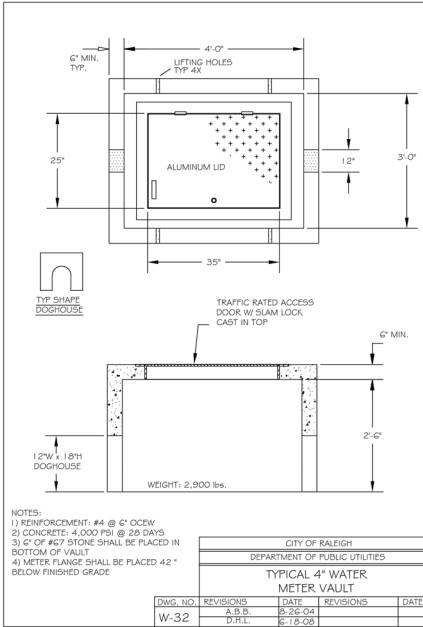
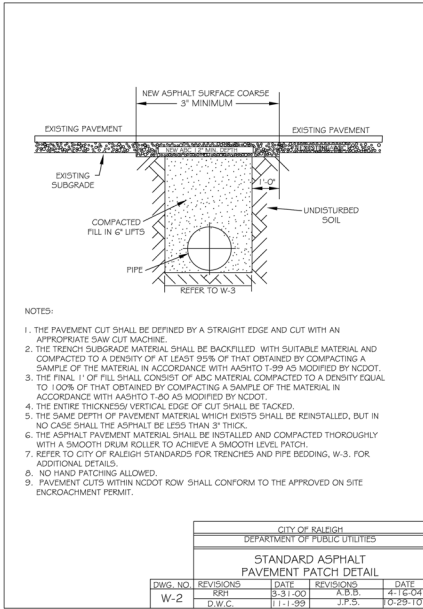


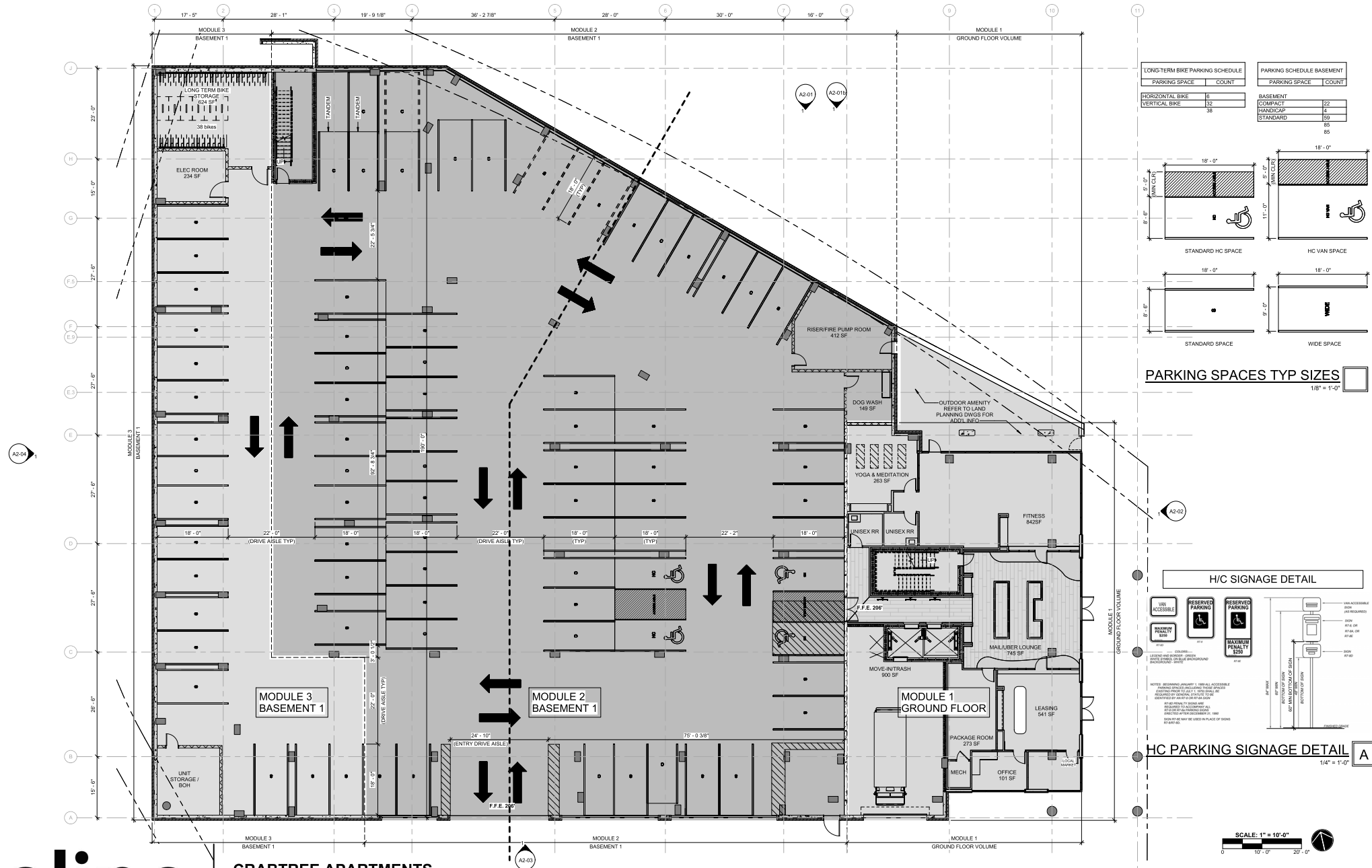




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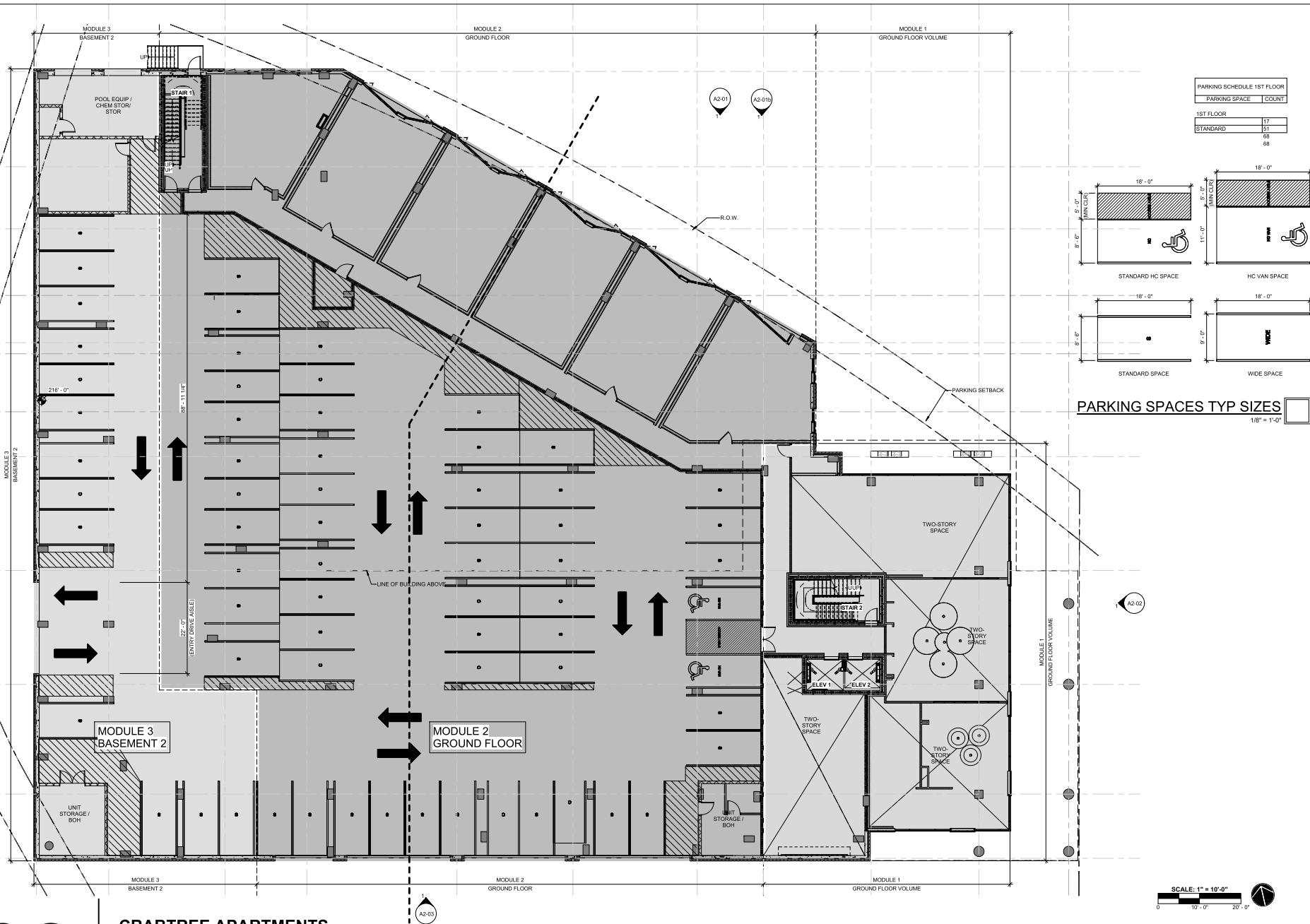




**CRABTREE APARTMENTS**  
RALEIGH, NC

**FLOOR PLAN - MODULES NOTED A1-02**

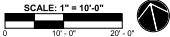
As indicated | 024017 | 04/15/2025  
ASR SUB #0066-2024 | 3 - ASR RESUB. 04/14/2025







**CRABTREE APARTMENTS**  
RALEIGH, NC

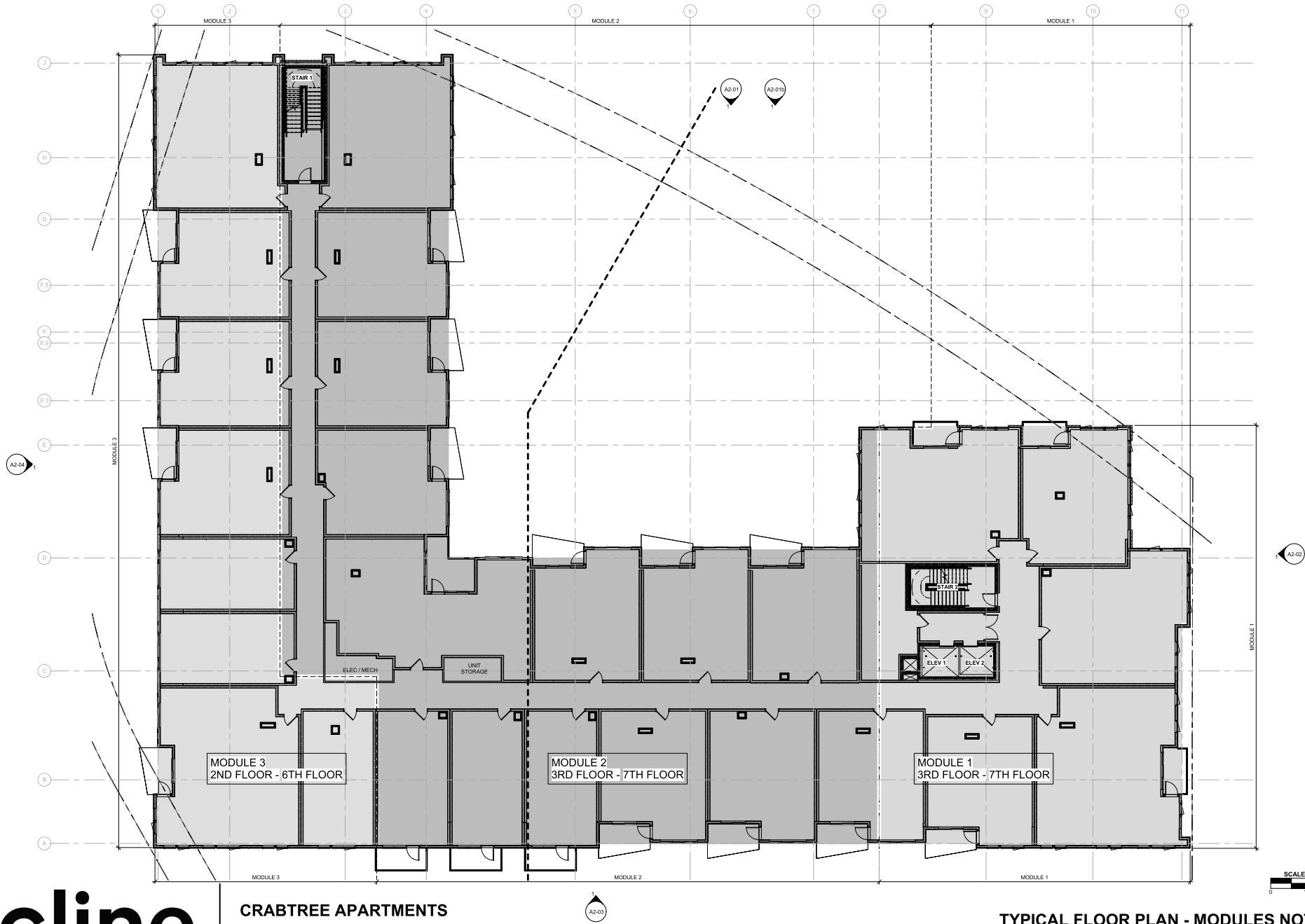


**FLOOR PLAN - MODULES NOTED A1-03**

1" = 10'-0" | 024017 | 04/15/2025  
ASR SUB #0066-2024 | 3 - ASR RESUB. 04/14/2025



**CRABTREE APARTMENTS**  
RALEIGH, NC

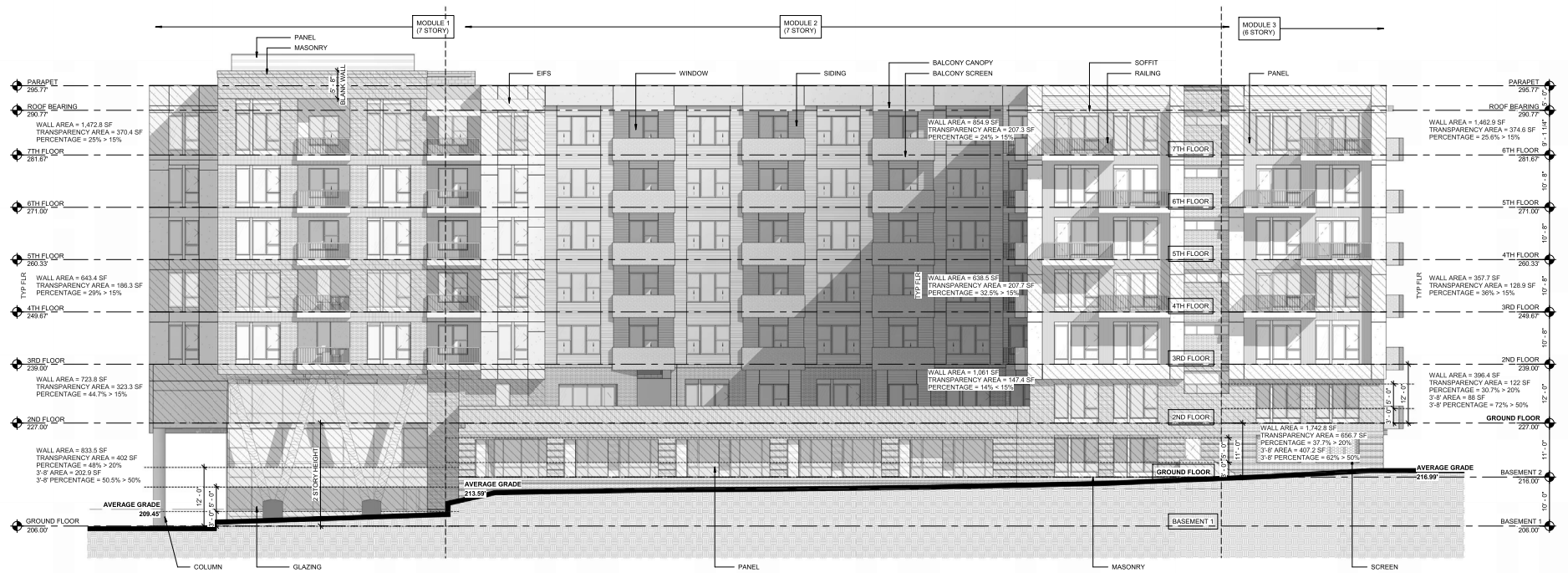


SCALE: 1" = 10'-0"  
0 10'-0" 20'-0"

**TYPICAL FLOOR PLAN - MODULES NOTED A1-04**

1" = 10'-0" | 024017 | 04/15/2025  
ASR SUB #0066-2024 | 3 - ASR RESUB. 04/14/2025

Module	High Elev	Low Elev	Avg Grade
1	211.04	207.85	209.45
2	216.13	211.04	213.59
3	217.85	216.13	216.99



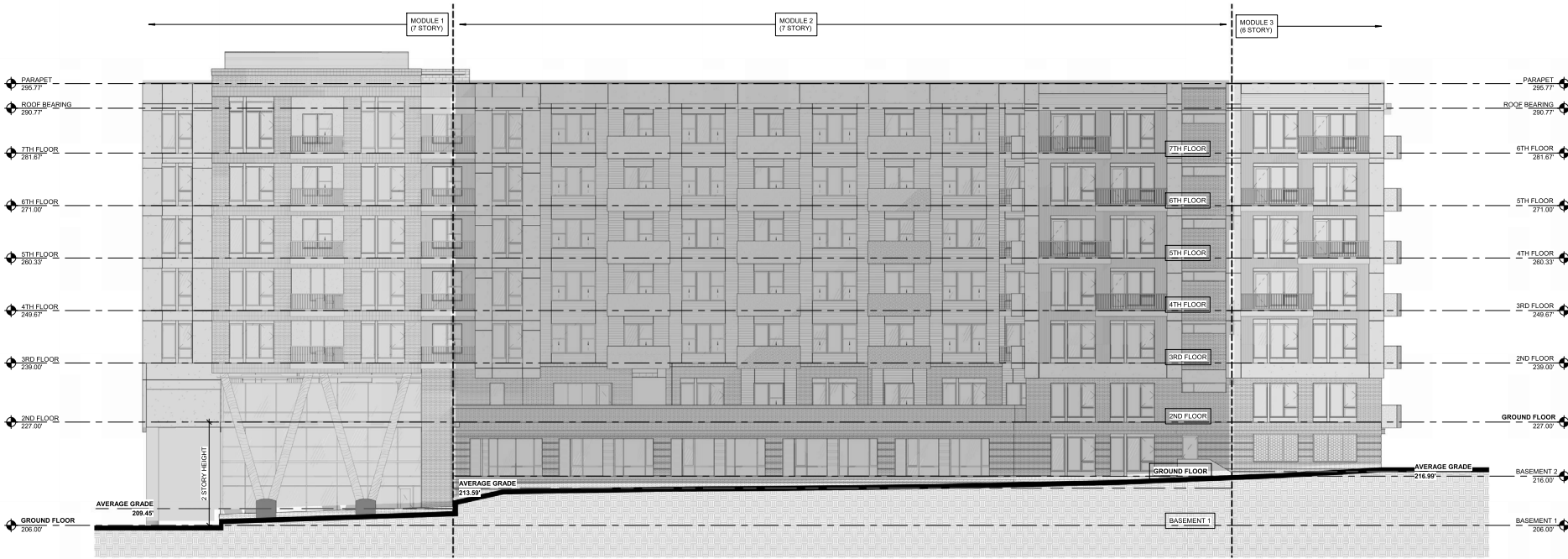
**cline**

**CRABTREE APARTMENTS**  
RALEIGH, NC

**BUILDING ELEVATION - NORTH (CRABTREE BLVD) A2-01**

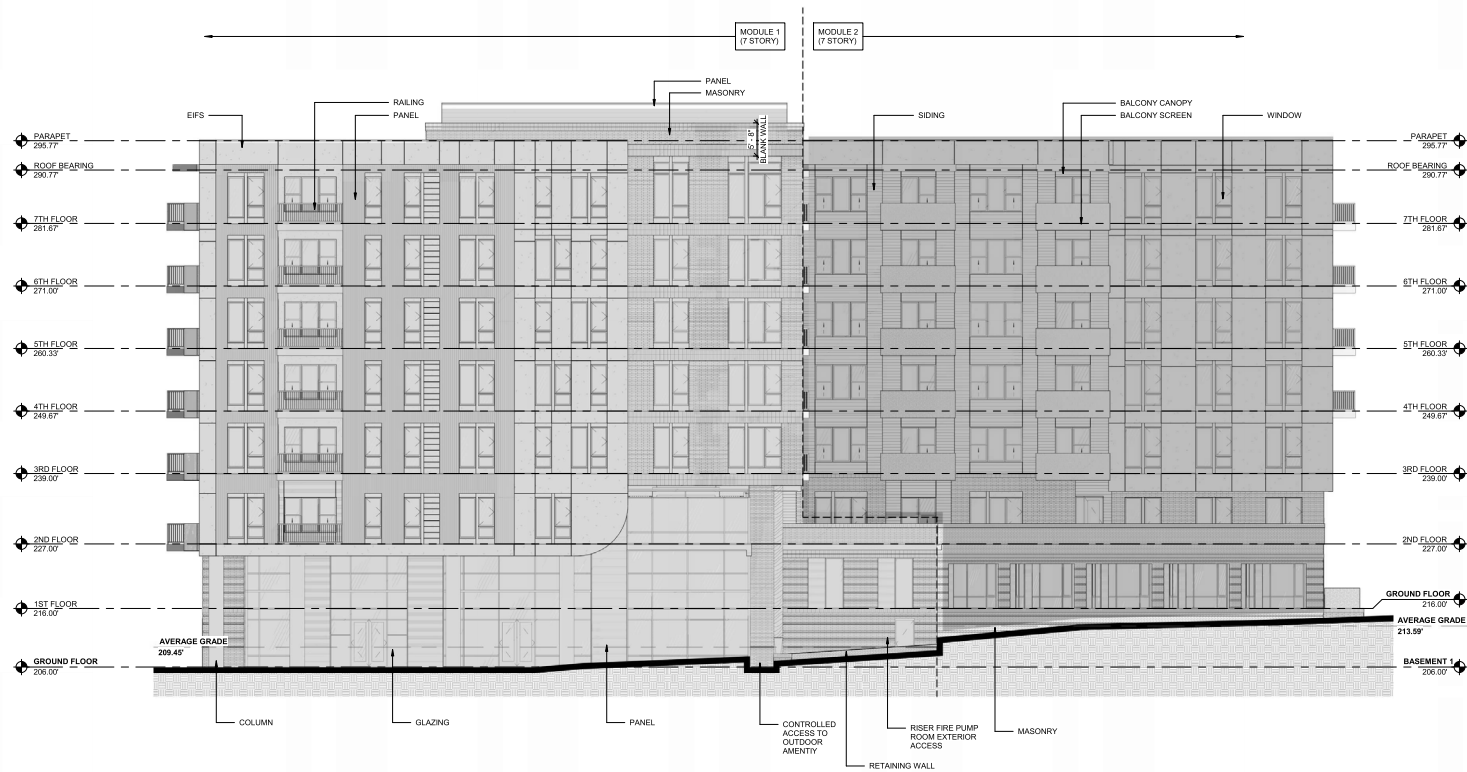
1" = 10'-0" | 024017 | 04/15/2025  
ASR SUB #0066-2024 | 3 - ASR RESUB. 04/14/2025

Module	High Elev	Low Elev	Avg Grade
1	211.04	207.85	209.45
2	216.13	211.04	213.59
3	217.85	216.13	216.99

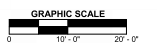


NOTE: COLORS PROVIDED FOR MODULE CLARIFICATION

Module	High Elev	Low Elev	Avg Grade
1	211.04	207.85	209.45
2	216.13	211.04	213.59
3	217.85	216.13	216.99



NOTE: COLORS PROVIDED FOR MODULE CLARIFICATION



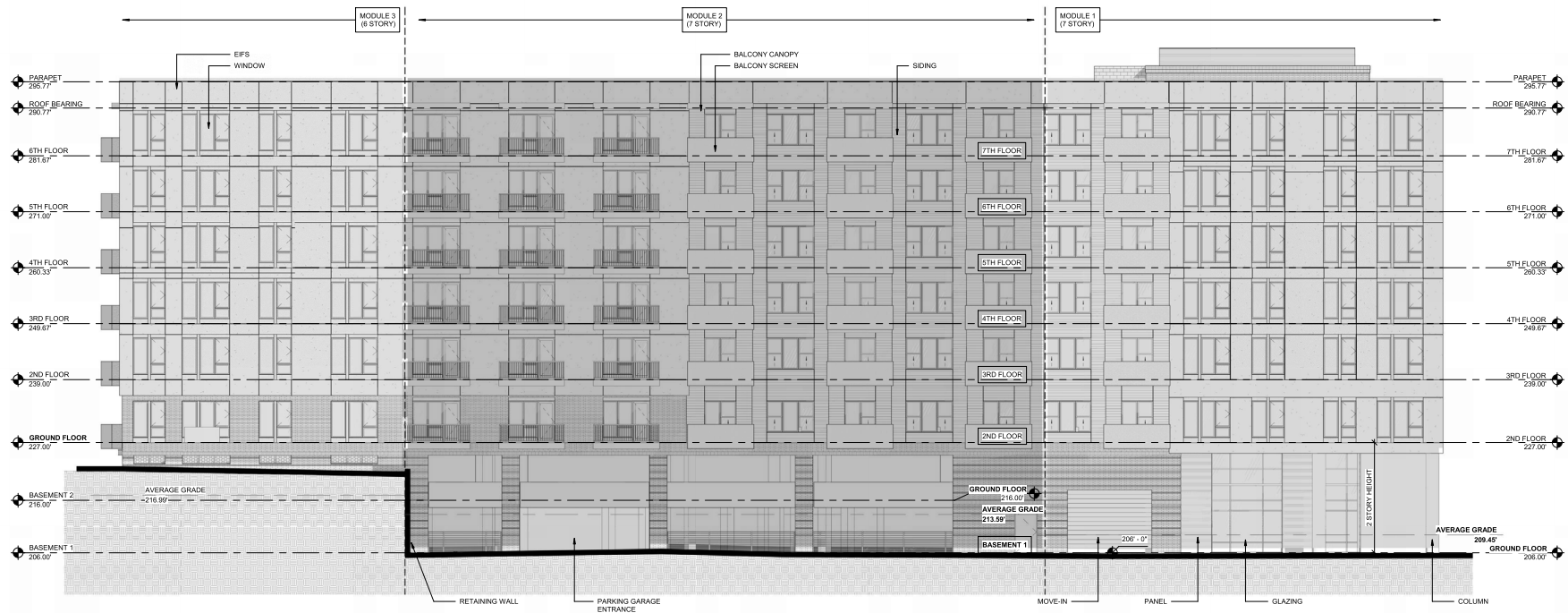
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**CRABTREE APARTMENTS**  
RALEIGH, NC

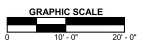
**BUILDING ELEVATION - EAST A2-02**

1" = 10'-0" | 024017 | 04/15/2025  
ASR SUB #0066-2024 | 3 - ASR RESUB. 04/14/2025

Module	High Elev	Low Elev	Avg Grade
1	211.04	207.85	209.45
2	216.13	211.04	213.59
3	217.85	216.13	216.99



NOTE: COLORS PROVIDED FOR MODULE CLARIFICATION



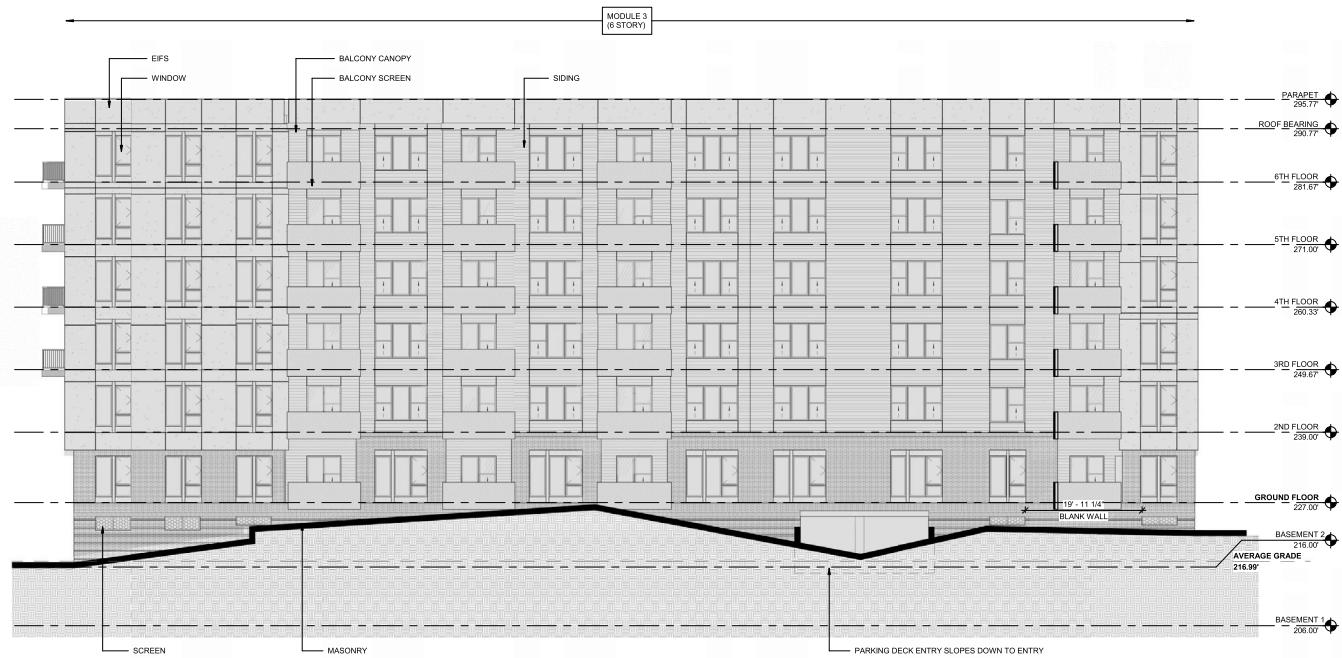
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**CRABTREE APARTMENTS**  
RALEIGH, NC

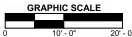
**BUILDING ELEVATION - SOUTH A2-03**

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ASR SUB #0066-2024 | 3 - ASR RESUB. 04/14/2025

Module	High Elev	Low Elev	Avg Grade
1	211.04	207.85	209.45
2	216.13	211.04	213.59
3	217.85	216.13	216.99



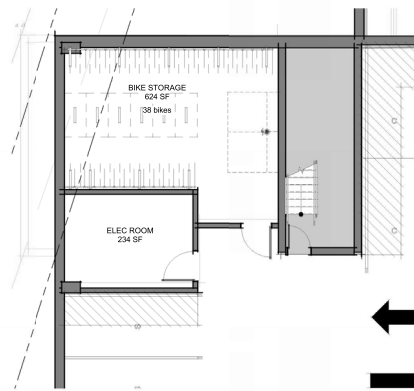
NOTE: COLORS PROVIDED FOR MODULE CLARIFICATION



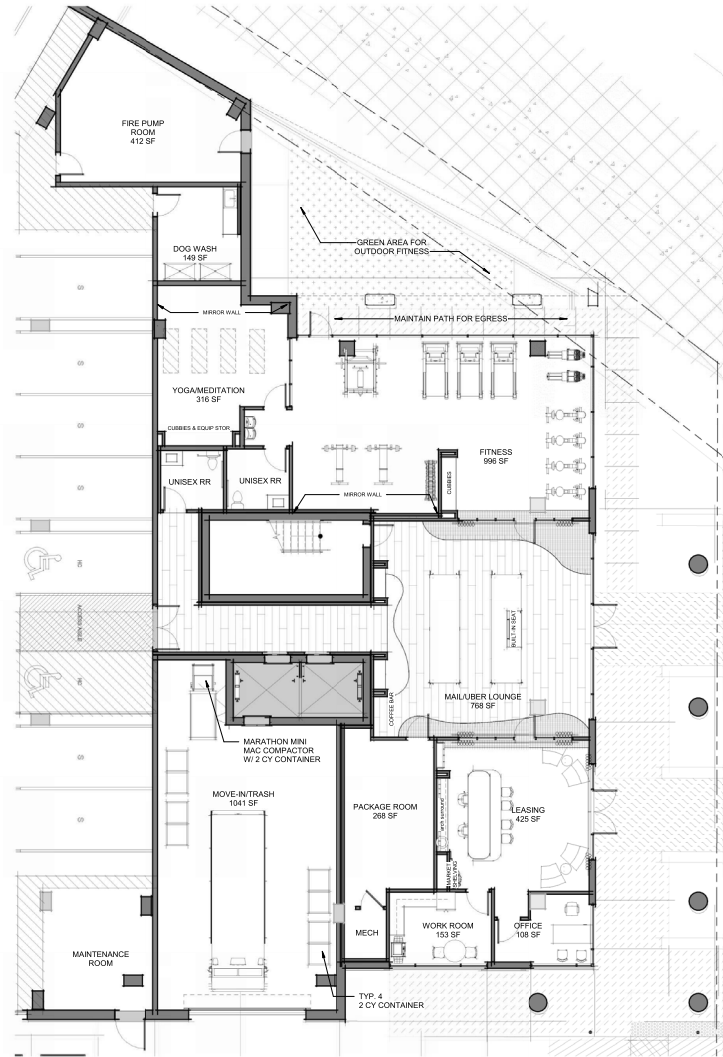
CRABTREE APARTMENTS  
RALEIGH, NC

BUILDING ELEVATION - WEST (TIMBER DR) A2-04

1" = 10'-0" | 024017 | 04/15/2025  
ASR SUB #0066-2024 | 3 - ASR RESUB. 04/14/2025



**BASEMENT ENLARGED AMENITY PLAN** 2  
1/8" = 1'-0"



**BASEMENT ENLARGED AMENITY PLAN** 1  
1/8" = 1'-0"