



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>
Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: <u>SUB-0034-2023</u>
<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>SCOPE-0019-2023</u>
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____
GENERAL INFORMATION		
Development name: Yardly Buffalo Village		
Inside City limits? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
Property address(es): 5225 Forestville Rd, 5221 Forestville Rd, 5121 Forestville Rd		
Site P.I.N.(s): 1746410189, 1746308877, 1746319793		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Construction of residential buildings, parking, wet utilities, stormwater conveyance and treatment, and associated site infrastructure.		
<b>Current Property Owner(s):</b> Megan Ledbetter		
Company: TM BTR of Carolinas LLC		Title:
Address: 11405 N Community House Rd Ste 150, Charlotte NC 28277-4430		
Phone #: 704-251-8142		Email: MLedbetter@taylormorrison.com
<b>Applicant Name (if different from owner. See "who can apply" in instructions):</b>		
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder		
Company: TM BTR of Carolinas LLC		Address:

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b> Megan Ledbetter	
Company: TM BTR of Carolinas LLC	Title:
Address: 11405 N Community House Rd Ste 150, Charlotte NC 28277-4430	
Phone #: 704-251-8142	Email: MLedbetter@taylormorrison.com
Applicant Name: Katie Witt, PE	
Company: Kimley-Horn	Address: 300 S Main St, Suite 212, Holly Springs, NC 27540
Phone #: 984-275-3559	Email: katie.witt@kimley-horn.com

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): CX-3-CU(10.55 AC) & RX-3-CU(11.60 AC)	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 22.15	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 341	New gross floor area: 296,532 SF
Max # parking permitted (7.1.2.C): No maximum	Total sf gross (to remain and new): 296,532 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 113
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Residential	Proposed # of basement levels (UDO 1.5.7.A.6) 0

**STORMWATER INFORMATION**

Imperious Area on Parcel(s): Existing (sf) <u>2,082</u> Proposed total (sf) <u>364,550</u>	Impervious Area for Compliance (includes ROW): Existing (sf) <u>2,082</u> Proposed total (sf) <u>364,550</u>
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**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units: 224	Total # of hotel bedrooms: N/A
# of bedroom units: 1br <u>52</u> 2br <u>76</u> 3br <u>96</u> 4br or more _____	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.

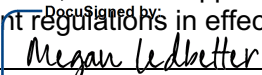
**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

DocuSigned by: 	
Signature: 5B3604B1E6A445E...	Date: 10-13-2023
Printed Name: Megan Ledbetter	

# ADMINISTRATIVE SITE REVIEW FOR YARDLY BUFFALO VILLAGE RESIDENTIAL ASR-XXXX-XXXX BUFFALO ROAD RALEIGH, WAKE COUNTY, NORTH CAROLINA

**Administrative Site Review Application**  
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 • Raleigh, NC 27601 • (919) 996-2000

**Office Use Only - Client #:** \_\_\_\_\_ **Planner (print):** \_\_\_\_\_

Please review UDD Section 10.2.6 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Form and Description Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

**Building and Development Type (Check all that apply)**

Detached  General  Subdivision case # SUB-2024-2023  
 Attached  Mixed use  Bosping/Market plan case # SCOPE-0019-2023  
 Townhouse  Civic  Certificate of Appropriateness # \_\_\_\_\_  
 Apartment  Cottage Court  Board of Adjustment # \_\_\_\_\_  
 Try house  Zoning Case # \_\_\_\_\_  
 Open lot  Development  Design Alternative # \_\_\_\_\_

**GENERAL INFORMATION**

Development name: Yardly Buffalo Village  
 Inside City limits?  Yes  No  
 Property address(es): 5225 FORESTVILLE RD, 5221 FORESTVILLE RD, 5121 FORESTVILLE RD  
 Site P.I.N(s): 1746410189, 1746308877, 1746319793  
 Please describe the scope of work. Include any additions, expansions, and uses (UDD 6.1.4).  
 Construction of residential building, parking, wet utilities, stormwater conveyance and treatment, and site preparation (site grading, parking, wet utilities, stormwater conveyance and treatment, and site preparation).

**Current Property Owner:** Megan Ledbetter  
 Company: TM BTR of Carolina LLC Title: \_\_\_\_\_  
 Address: 11405 N Community House Rd Site 150, Charlotte NC 28277-4430  
 Phone # 704-251-8142 Email: M.Ledbetter@taylor-morrison.com  
 Applicant Name (if different from owner, see "who can apply" instructions): \_\_\_\_\_  
 Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: TM BTR of Carolina LLC Address: \_\_\_\_\_

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raleighnc.gov

**DEVELOPMENT TYPE + SITE DATA TABLE**  
(Applicable to all developments)

SITE DATA		BUILDING DATA	
Zoning district(s) (please provide the acreage of each): CX-3-CU(10.55 AC) & RX-3-CU(11.80 AC)	Existing gross floor area (not to be demolished): 0 SF	Existing gross floor area to be demolished: 0 SF	
Gross site acreage: 22.35	Existing gross floor area to be demolished: 0 SF	Existing gross floor area to be demolished: 0 SF	
# of parking spaces proposed: 341	New gross floor area: 296,532 SF	New gross floor area: 296,532 SF	
Max # parking permitted (7.1.2.C): No maximum	Total of gross (to remain and new): 296,532 SF	Total of gross (to remain and new): 296,532 SF	
County District (if applicable): N/A	Proposed # of buildings: 113	Proposed # of buildings: 113	
Existing use (UDD 6.1.4): Vacant	Proposed # of stories for each: 1	Proposed # of stories for each: 1	
Proposed use (UDD 6.1.4): Residential	Proposed # of basement levels (UDD 1.5.7.A.8): 0	Proposed # of basement levels (UDD 1.5.7.A.8): 0	

**STORMWATER INFORMATION**

Impervious Area on Parcel(s)		Impervious Area for Compliance (includes ROW)	
Existing (sq) 2,082	Proposed total (sq) 364,550	Existing (sq) 2,082	Proposed total (sq) 364,550

**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units: 224		Total # of hotel bedrooms: N/A	
# of bedroom units: 52	2br 78	3br 96	4br or more
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No		
	Is a frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No		

Continue to Applicant Signature Block on Page Three.

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**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for such development as is authorized by the assessment.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make the application, as qualified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to execution by final statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(b).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City in a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development approval will not be issued. If the time period for processing is resumed, that shall apply to the new application.

Signature: Megan Ledbetter Date: 10-13-2023  
 Printed Name: Megan Ledbetter

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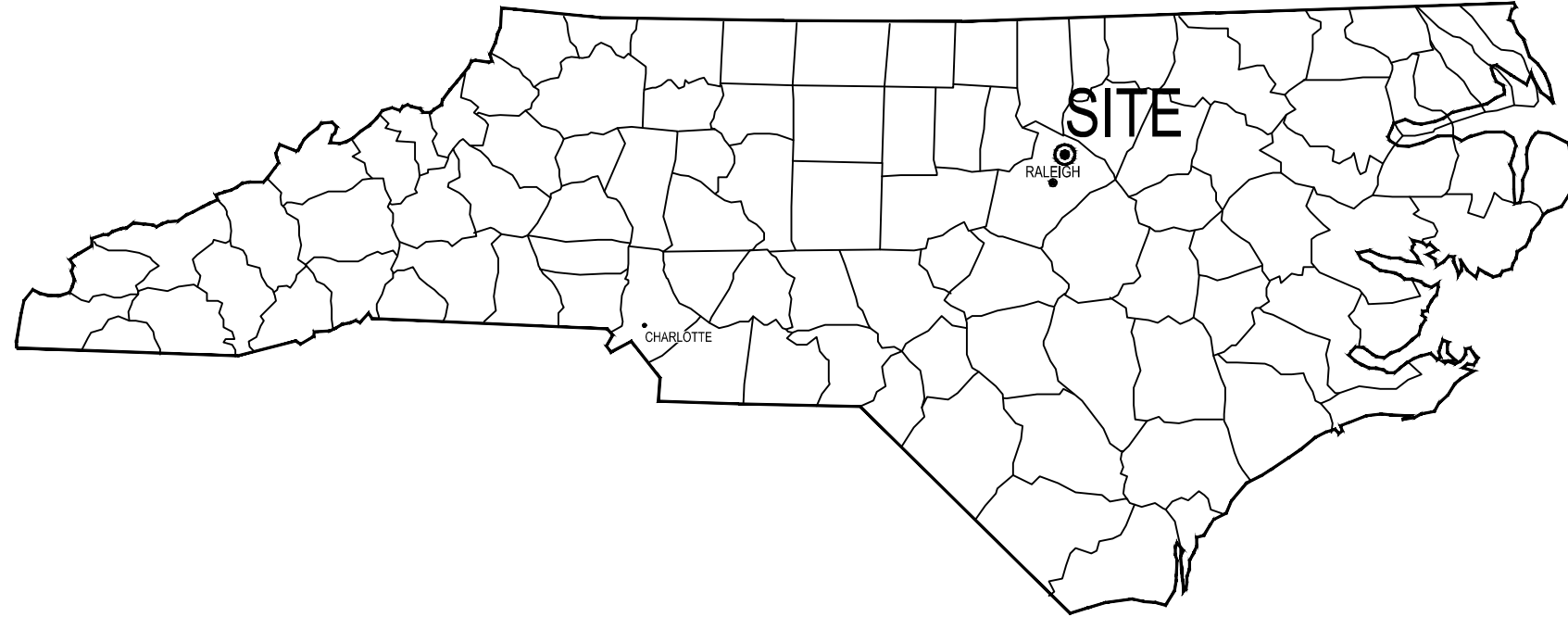
**NOTES:**

- LIGHTING PLAN TO BE PROVIDED WITH SITE PERMIT REVIEW.
- TREE CONSERVATION PLANS PROPOSED WITH COR CASE #SUB-0034-2023.

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER SHEET
C002	ZONING CONDITIONS
C003	APPROVAL LETTERS
C100	EXISTING CONDITIONS
C101	OVERALL DEMOLITION PLAN
C200	OVERALL SITE PLAN
C201	SITE PLAN
C202	SITE PLAN
C203	SITE PLAN
C300	OVERALL GRADING AND DRAINAGE PLAN
C301	GRADING AND DRAINAGE PLAN
C302	GRADING AND DRAINAGE PLAN
C303	GRADING AND DRAINAGE PLAN
C400	OVERALL UTILITY PLAN
C401	UTILITY PLAN
C402	UTILITY PLAN
C403	UTILITY PLAN
L100	OVERALL LANDSCAPE PLAN
L101	LANDSCAPE PLAN
L102	LANDSCAPE PLAN
L103	LANDSCAPE PLAN
L104	LANDSCAPE NOTES AND DETAILS
A100 - A116	BUILDING ELEVATIONS

SITE DATA TABLE	
<b>PROPERTY INFORMATION</b>	YARDLY BUFFALO VILLAGE RESIDENTIAL
PROJECT NAME:	TM BTR OF CAROLINAS, LLC
CURRENT OWNER(S):	CITY OF RALEIGH
JURISDICTION:	1746-31-9793, 1746-41-0189, 1746-30-8877
PIN #:	5121, 5225, 5221 FORESTVILLE ROAD
STREET ADDRESS:	
<b>SITE SIZE &amp; COVERAGE</b>	
EXISTING ACREAGE:	22.15 AC
GROSS BUILDING SQUARE FOOTAGE (PROJECT LIMITS):	296,532 SF
TOTAL NUMBER OF UNITS:	222 UNITS
MAXIMUM BUILDING HEIGHT:	3 STORIES / 40' MAX
<b>ZONING</b>	
EXISTING ZONING:	CX-3-CU, RX-3-CU
PROPOSED ZONING:	CX-3-CU, RX-3-CU
EXISTING USE (WITHIN PROJECT LIMITS):	VACANT LOT
PROPOSED USE (WITHIN PROJECT LIMITS):	RESIDENTIAL
FRONTAGE REQUIREMENTS:	
<b>BUILDING / STRUCTURE SETBACK REQUIREMENTS</b>	
PRIMARY STREET (BUFFALO RD):	10' MINIMUM
SIDE STREET (YARDLY VILLAGE LN):	10' MINIMUM
FRONTAGE REQUIREMENTS:	5' MINIMUM
<b>PARKING SETBACK REQUIREMENTS</b>	
PRIMARY STREET (BUFFALO RD, FORESTVILLE RD):	N/A
SIDE STREET (YARDLY VILLAGE LN):	N/A
SIDE / REAR PROPERTY LINE:	N/A
<b>OFF-STREET PARKING</b>	
PARKING MAXIMUM (RX-3-CU/CX-3-CU):	NO MAXIMUM
PROVIDED ON SITE PARKING:	321 SPACES
PROVIDED STREET PARKING (YARDLY VILLAGE LANE/VINERY LANE):	94 SPACES
PROVIDED HANDICAP PARKING:	12 SPACES
PROVIDED BICYCLE PARKING:	0 SPACES

ADDRESS TABLE			
ADDRESS	PIN	PARCEL ID/REID	COUNTY
5121 FORESTVILLE ROAD	#1746319793	#0505408	WAKE
5225 FORESTVILLE ROAD	#1746410189	#0047172	WAKE
5221 FORESTVILLE ROAD	#1746308877	#0109904	WAKE



PROJECT OWNER AND CONSULTANT INFORMATION		
<b>DEVELOPER:</b> TAYLOR MORRISON 11405 N COMMUNITY HOUSE ROAD CHARLOTTE, NC 28277 PHONE (704) 251-8142  CONTACT: MEGAN LEDBETTER	<b>ENGINEER:</b> KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN STREET SUITE 212 HOLLY SPRINGS, NORTH CAROLINA 27540 PHONE (919) 667-2000  CONTACT: KATIE WITT, P.E.	<b>SURVEYOR:</b> ALLIED ASSOCIATES, P.A. 4720 KESTER MILL ROAD WINSTON-SALEM, NORTH CAROLINA 27103 PHONE (336) 765-2377 FAX (336) 760-8886  CONTACT: DAVID K. ALLEY, PLS

**NOT FOR CONSTRUCTION**

**GEOMETRIC CONTROL**  
HORIZONTAL DATUM:  
NAD 83 (2011)  
VERTICAL DATUM:  
NAVD 88  
DRAWING UNITS:  
U.S. SURVEY FEET



COVER SHEET

YARDLY BUFFALO VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON RALEIGH NC

SHEET NUMBER  
**C001**

**Kimley-Horn**  
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
300 SOUTH MAIN ST, SUITE 212, HOLLY SPRINGS, NC 27540  
PHONE: 919-677-2000  
WWW.KIMLEY-HORN.COM  
NC LICENSE #P-702

PRELIMINARY  
NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	JMC
CHECKED BY	KLW

No.	REVISIONS	DATE	BY

**ZONING CONDITIONS:**

**TCZ-28-22 - 0 BUFFALOE ROAD,** LOCATED AT THE SOUTHEAST CORNER OF ITS INTERSECTION WITH FORESTVILLE ROAD, BEING WAKE COUNTY PIN 1746411926. APPROXIMATELY 22.93 ACRES REZONED TO COMMERCIAL MIXED USE-3 STORIES-CONDITIONAL USE (CX-3-CU) [MODIFIED CONDITIONS].

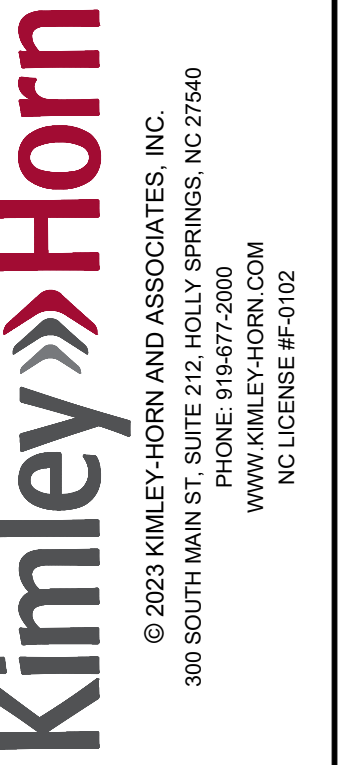
**AMENDED CONDITIONS DATED:** APRIL 13, 2022

- A. THERE SHALL BE A MINIMUM FIFTY-FOOT (50') PRINCIPAL BUILDING SETBACK FROM THE SHARED BOUNDARY LINE WITH THOSE ADJACENT PROPERTIES WITH PROPERTY IDENTIFICATION NUMBERS (PINS) 1746-42-7078 (DEED BOOK 16105, PAGE 1542, WAKE COUNTY REGISTRY) AND 1746-41-6877 (DEED BOOK 9050, PAGE 759, WAKE COUNTY REGISTRY), ANY TREES WITHIN THE SETBACK SHALL REMAIN, EXPECT FOR THOSE TREES DETERMINED TO BE UNHEALTHY, DEAD OR HAZARDOUS.
- B. PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY:
  - i. DORMITORY, FRATERNITY, SORORITY;
  - ii. ADULT ESTABLISHMENTS;
  - iii. BAR, NIGHTCLUB, TAVERN, LOUNGE (EXCEPT AS ASSOCIATED WITH A HOTEL IN THE SAME BUILDING);
  - iv. FUNERAL HOME;
  - v. ANIMAL CARE (INDOOR);
  - vi. VETERINARY CLINIC/HOSPITAL;
  - vii. DETENTION CENTER, JAIL, PRISON;
  - viii. MOVIE THEATRE - EITHER INDOOR OR OUTDOOR;
  - ix. EMERGENCY SHELTER - TYPE B;
  - x. BOWLING ALLEY;
  - xi. MINI-WAREHOUSE STORAGE FACILITY.
- C. THE VEHICLE FUEL SALES USE SHALL COMPLY WITH THE REGULATIONS SET FORTH IN UDO SECTION 6.4.11.C.3. UDO SECTIONS 6.4.11.C.3.A.I - IX SHALL NOT APPLY IF THE PROPERTY ON WHICH ANY VEHICLE FUELS SALES USE SITS IS FARTHER THAN 200' FROM A RESIDENTIAL DISTRICT.
- D. THE VEHICLE SALES/RENTAL AND VEHICLE REPAIR (MINOR) USES SHALL BE SUBJECT TO THE NEIGHBORHOOD MIXED USE REGULATIONS LISTED IN UDO SECTIONS 6.4.13.B.5. AND 6.5.6.C.2.F., RESPECTIVELY.
- E. NO SINGLE RETAIL ESTABLISHMENT DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL EXCEED 65,000 SQUARE FEET, FLOOR AREA GROSS. AGGREGATE RETAIL SQUARE FOOTAGE DEVELOPED ON THE ENTIRE SUBJECT PROPERTY SHALL NOT EXCEED 130,000 SQUARE FEET, FLOOR AREA GROSS. PRIOR TO RECORDING ANY PLAT OR DEED DIVIDING THE REZONED PROPERTY INTO TWO OR MORE PARCELS, A RESTRICTIVE COVENANT ALLOCATING RETAIL FLOOR AREA GROSS SQUARE FOOTAGE TO THE LOTS WITHIN THE REZONED PROPERTY SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. NO COVENANT ALLOCATING RETAIL SQUARE FOOTAGE SHALL BE RECORDED AMENDED OR TERMINATED WITHOUT THE PRIOR WRITTEN CONSENT OF THE RALEIGH CITY ATTORNEY OR HIS/HER DEPUTY WHICH SHALL BE EVIDENCED BY HIS/HER SIGNATURE ON THE DOCUMENT.
- F. OFFICE AND INSTITUTIONAL USES DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED 20,000 SQUARE FEET, FLOOR AREA GROSS.
- G. RESIDENTIAL DENSITY DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED TEN (10) DWELLING UNITS PER ACRE.
- H. NO BUILDING CONSTRUCTED ON THE PROPERTY AFTER ADOPTION OF THIS ZONING ORDINANCE SHALL EXCEED A HEIGHT OF FORTY-FOUR (44) FEET, MEASURED IN ACCORDANCE WITH UDO SECTION 1.5.7, AND NO SUCH BUILDING SHALL EXCEED THREE (3) OCCUPIED STORIES.
- I. POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT, AND ALL POLE MOUNTED LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, REGARDLESS OF WATTAGE. NOTWITHSTANDING THE FOREGOING, IN BUFFER AREAS AND PROTECTIVE YARDS, POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED TWELVE (12) FEET IN HEIGHT.
- J. PRIOR TO LOT RECORDATION OR THE ISSUANCE OF ANY BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL DEED TO THE CITY THE TRANSIT EASEMENT MEASURING TWENTY (20) FEET LONG BY FIFTEEN (15) FEET WIDE ADJACENT TO THE PUBLIC RIGHT OF WAY TO SUPPORT A BUS STOP FOR FUTURE TRANSIT SERVICES IN THE AREA. THE LOCATION OF THE TRANSIT EASEMENT SHALL BE TIMELY REVIEWED AND APPROVED BY THE TRANSIT DIVISION OF THE CITY, AND THE CITY ATTORNEY OR HIS/HER DESIGNEE SHALL APPROVE THE TRANSIT EASEMENT DEED PRIOR TO RECORDATION IN THE WAKE COUNTY REGISTRY.
- K. UNTIL THE THREE LANES ON THE BUFFALOE ROAD BRIDGE OVER I-540 ARE INCREASED BY AT LEAST ONE EASTBOUND LANE THROUGH REPLACEMENT, EXPANSION OR RE-STRIPING OF SAID BRIDGE, DEVELOPMENT OF THE ENTIRE SUBJECT PROPERTY SHALL BE CAPPED AS FOLLOWS: (I) ONE-STORY RETAIL USES SHALL NOT EXCEED TWENTY THOUSAND (20,000) SQUARE FEET, FLOOR AREA GROSS, AND RETAIL USES WITHIN VERTICAL MIXED USE BUILDINGS SHALL NOT EXCEED A TOTAL OF FORTY THOUSAND (40,000) SQUARE FEET FLOOR AREA GROSS, AND (II) OFFICE AND INSTITUTIONAL USES AS LIMITED BY CONDITION E), AND (III) RESIDENTIAL USES SHALL NOT EXCEED FORTY (40) DWELLING UNITS.
- L. DEVELOPMENT OCCURRING ON THE PROPERTY AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE CONSISTENT WITH THE FOLLOWING-GUIDELINES.
  - 1. PARKING SHALL NOT OCCUPY MORE THAN ONE-THIRD OF THE FRONTAGE OF THE PROPERTY ALONG BUFFALOE ROAD IF PARKING IS LOCATED TO THE SIDE(S) OF THE BUILDINGS ALONG BUFFALOE ROAD.
  - 2. ANY PARKING SPACES LOCATED WITHIN TWENTY-FIVE (25') OF THE RIGHT-OF-WAY OF EITHER BUFFALOE ROAD OR FORESTVILLE ROAD SHALL BE VISUALLY SCREENED BY EVERGREEN SHRUBS SPACED NO MORE THAN FOUR FEET (4') ON CENTER AND EXPECTED TO REACH A HEIGHT OF AT LEAST THIRTY INCHES (30") WITHIN THREE (3) YEARS OF PLANTING WITH A MINIMUM INSTALL HEIGHT OF 18 INCHES.
  - 3. INTERNAL STREETS WILL BE DESIGNED TO BE PEDESTRIAN ORIENTED AND A NETWORK OF INTERNAL AND PUBLIC SIDEWALKS, WALKWAYS TO BUILDING ENTRANCES AND CROSSWALKS WILL CONNECT BUILDINGS, PARKING, BIKE RACKS, SIDEWALKS AND A TRANSIT STOP.
  - 4. PEDESTRIAN CONNECTIONS BETWEEN THE TRANSIT STOP AND BUILDING ENTRANCES SHALL BE PROVIDED VIA PUBLIC SIDEWALKS AND/OR INTERNAL SIDEWALKS.
  - 5. SIDEWALKS INTERNAL TO THE SITE SHALL BE A MINIMUM OF SIX (6) FEET WIDE.
- M. AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

**Z-27-22 - 5221 AND 5225 FORESTVILLE ROAD,** ON ITS EAST SIDE, LOCATED ONE THIRD OF A MILE SOUTH OF ITS INTERSECTION WITH BUFFALOE ROAD, BEING WAKE COUNTY PINS 1746308877 & 1746410189. APPROXIMATELY 14.6 ACRES REZONED TO RESIDENTIAL MIXED USE-3 STORIES- CONDITIONAL USE (RX-3-CU).

**CONDITIONS DATED:** OCTOBER 10, 2022

- 1. RESIDENTIAL DENSITY SHALL BE LIMITED TO 204 UNITS.
- 2. AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.
- 3. THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4. THAT ARE PERMITTED, LIMITED OR SPECIAL USES IN THE RX- DISTRICT SHALL BE PROHIBITED:
  - (I) CEMETERY;
  - (II) SCHOOL, PUBLIC OR PRIVATE (K-12);
  - (III) DAY CARE CENTER; (IV) HEALTH CLUB;
  - (V) MEDICAL; OFFICE;
  - (VI) OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (250 SEATS);
  - (VII) BED AND BREAKFAST;
  - (IX) HOSPITALITY HOUSE;
  - (X) PARKING FACILITY;
  - (XI) COPY CENTER;
  - (XII) OPTOMETRIST;
  - (XIII) EATING ESTABLISHMENT;
  - (XIV) RETAIL SALES.



**PRELIMINARY**  
NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	JMC
CHECKED BY	KLW

**ZONING CONDITIONS**

**YARDLY BUFFALOE VILLAGE**  
PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
RALEIGH NC

**SHEET NUMBER**  
**C002**



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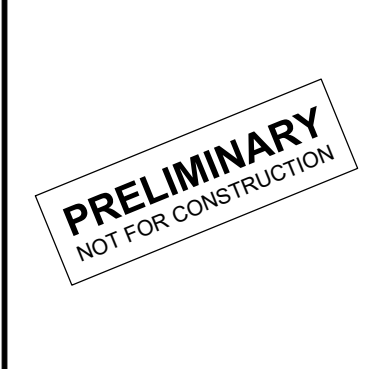
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**YARDLY BUFFALO VILLAGE**  
PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
RALEIGH NC

# APPROVAL LETTERS

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	JMC
CHECKED BY	KLW



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No.	REVISIONS	DATE	BY

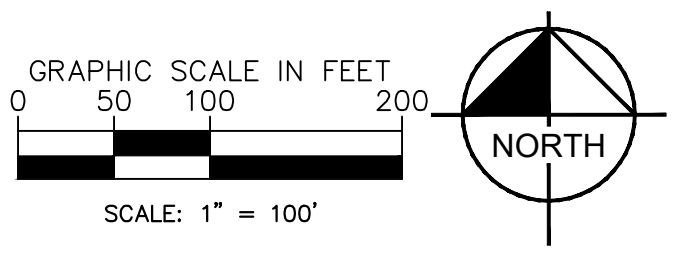


**LEGEND**

EXISTING IRON PIN	○ EIP
EXISTING REBAR	○ EIR
NO POINT SET	● NPS
IRON REBAR SET	● IRS
CABLE PEDESTAL	○ C
TELEPHONE MANHOLE	○ T
TELEPHONE PEDESTAL	○ TP
FLOOD LIGHT	○ FL
GUY WIRE	○ GW
LIGHT POLE	○ LP
ELECTRIC MANHOLE	○ EM
ELECTRIC METER	○ E
ELECTRIC TRANSFORMER	○ ET
UTILITY POLE	○ UP
GAS METER	○ G
GAS VALVE	○ GV
SEWER CLEAN OUT	○ SCO
SEWER MANHOLE	○ SM
SIGN	○ S
CATCH BASIN	○ CB
CURB INLET	○ CI
DROP \ YARD INLET	○ DI / YI
FLARED END SECTION	○ FES
STORM MANHOLE	○ SMH
HANDICAP	○ H
FIRE HYDRANT	○ FH
WATER MANHOLE	○ WMH
WATER METER	○ W
WATER VALVE	○ WV
WELL	○ W
MANHOLE	○ MH
PRESSURE INDICATOR VALVE	○ PIV
TREE	○ T
RIGHT-OF-WAY	— R/W
CONCRETE MONUMENT	— CM
CHORD	— CH
SIGHT EASEMENT	— SE
DEED BOOK	— DB
PLAT BOOK	— PB
CURB AND GUTTER	— C&G
REINFORCED CONCRETE PIPE	— RCP
CORRUGATED METAL PIPE	— CMP
CORRUGATED PLASTIC PIPE	— CPP
BOUNDARY LINE	— B
RIGHT-OF-WAY LINE	— R/W
UNSURVEYED PROPERTY LINE	— UPL
SANITARY SEWER LINE	— SS
UNDERGROUND ELECTRIC LINE	— UE
ELECTRIC LINE	— E
TREE LINE	— T
WATER LINE	— W
FENCE LINE	— F
EDGE OF GRAVEL	— EG
EDGE OF PAVEMENT	— EP
TELEPHONE LINE	— T
UNDERGROUND TELEPHONE LINE	— UT
OVERHEAD UTILITY EASEMENT	— OHU
UNDERGROUND FIBER OPTICS	— FO

LINE TABLE			LINE TABLE		
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	764.47	S59°07'26.29"E	L23	100.00	N22°56'33.71"E
L2	30.74	S23°04'05.37"W	L24	100.00	N31°35'33.71"E
L3	633.07	S23°04'05.37"W	L25	100.00	N37°54'33.71"E
L4	22.92	S5°35'15.40"W	L26	314.09	N40°02'33.71"E
L5	829.16	S3°44'26.30"W	L27	148.75	N41°36'33.71"E
L6	441.17	S82°07'45.05"W	L28	7.50	N42°21'03.71"E
L7	317.26	S82°07'45.05"W	L29	315.05	S60°29'33.00"E
L8	145.02	N1°30'57.28"W	L30	50.00	S32°43'57.00"W
L9	267.29	N78°28'48.79"W	L31	66.00	S57°16'03.00"E
L10	24.61	N78°28'48.79"W	L32	326.73	N32°43'57.00"E
L11	61.24	N0°06'44.21"W	L33	214.52	S57°09'15.00"E
L12	316.88	N0°03'25.12"W	L34	52.29	S30°51'36.00"W
L13	53.29	N89°11'38.92"E	L35	66.00	S59°08'24.00"E
L14	347.80	S76°36'46.72"E	L36	50.00	N30°51'36.00"E
L15	177.16	N1°40'30.84"W	L37	60.37	S57°09'15.00"E
L16	137.39	N88°33'19.34"W	L38	190.71	S30°51'36.00"W
L17	223.42	N7°20'34.02"E	L39	171.81	S1°40'31.00"E
L18	151.91	N84°13'36.96"W	L40	216.19	S87°47'15.59"W
L19	240.47	N14°49'18.12"E	L41	216.19	S87°47'15.59"W
L20	100.00	N15°07'33.71"E	L42	256.75	S0°42'03.96"E
L21	100.00	N16°52'33.71"E	L43	496.49	N88°33'19.34"W
L22	100.00	N22°56'33.71"E			

NOTES:  
 1. ENVIRONMENTAL INFORMATION TAKEN FROM SURVEY PROVIDED ON 06/15/2023 BY ESP ASSOCIATES, INC 2200 GATEWAY CENTRE BLVD, SUITE 216, MORRISVILLE, NC 27560, (919) 678-1070.  
 2. SURVEY INFORMATION TAKEN FROM SURVEY PROVIDED ON 07/10/2023 BY ALLIED ASSOCIATES, P.A. 4720 KESTER MILL RD, WINSTON SALEM, NC 27103, (336) 971-1154.



NO.	REVISIONS	DATE	BY

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**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	KLW
CHECKED BY	KLW

**EXISTING CONDITIONS**

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
 RALEIGH NC

SHEET NUMBER  
**C100**

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**DEMOLITION LEGEND**

---	EXISTING PROPERTY LINE
-X-X-X-X-X-X-	EXISTING LINEAR ITEM TO BE REMOVED
⊕	TREE PROTECTION FENCE
---	LIMITS OF DISTURBANCE (LOD)
⊗	EXISTING ITEM TO BE REMOVED

**NOTES:**  
 1. ALL SEPTIC TANKS/WELLS TO BE ABANDONED ACCORDING TO WAKE COUNTY STANDARDS.

**TREE LEGEND**

LABEL	COMMON NAME
T1	RED MAPLE
T2	SILVER MAPLE
T3	AMERICAN HORNBEAM
T4	PIGNOT HICKORY
T5	PECAN
T6	MOCKERNUT HICKORY
T7	FLOWERING DOGWOOD
T8	AMERICAN HOLLY
T9	EASTERN RED CEDAR
T10	SWEETGUM
T11	TULIP POPLAR
T12	RED MULBERRY
T13	BLACK GUM
T14	SOURWOOD
T15	SHORTLEAF PINE
T16	LOBLOLLY PINE
T17	AMERICAN SYCAMORE
T18	BLACK CHERRY
T19	WHITE OAK
T20	SOUTHERN RED OAK
T21	BLACKJACK OAK
T22	WATER OAK
T23	WILLOW OAK
T24	NORTHERN RED OAK
T25	POST OAK
T26	WINGED ELM
T27	AMERICAN ELM

No.	REVISIONS	DATE	BY

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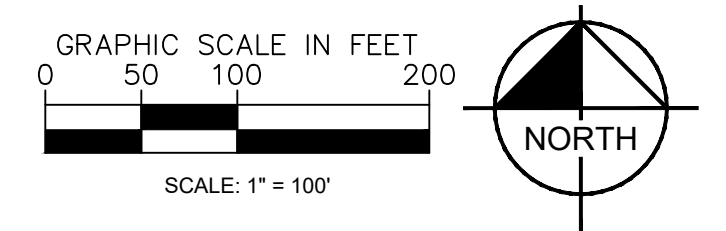
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 NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	MTH
CHECKED BY	KLW

**OVERALL DEMOLITION PLAN**

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
 RALEIGH, NC

**SHEET NUMBER**  
**C101**



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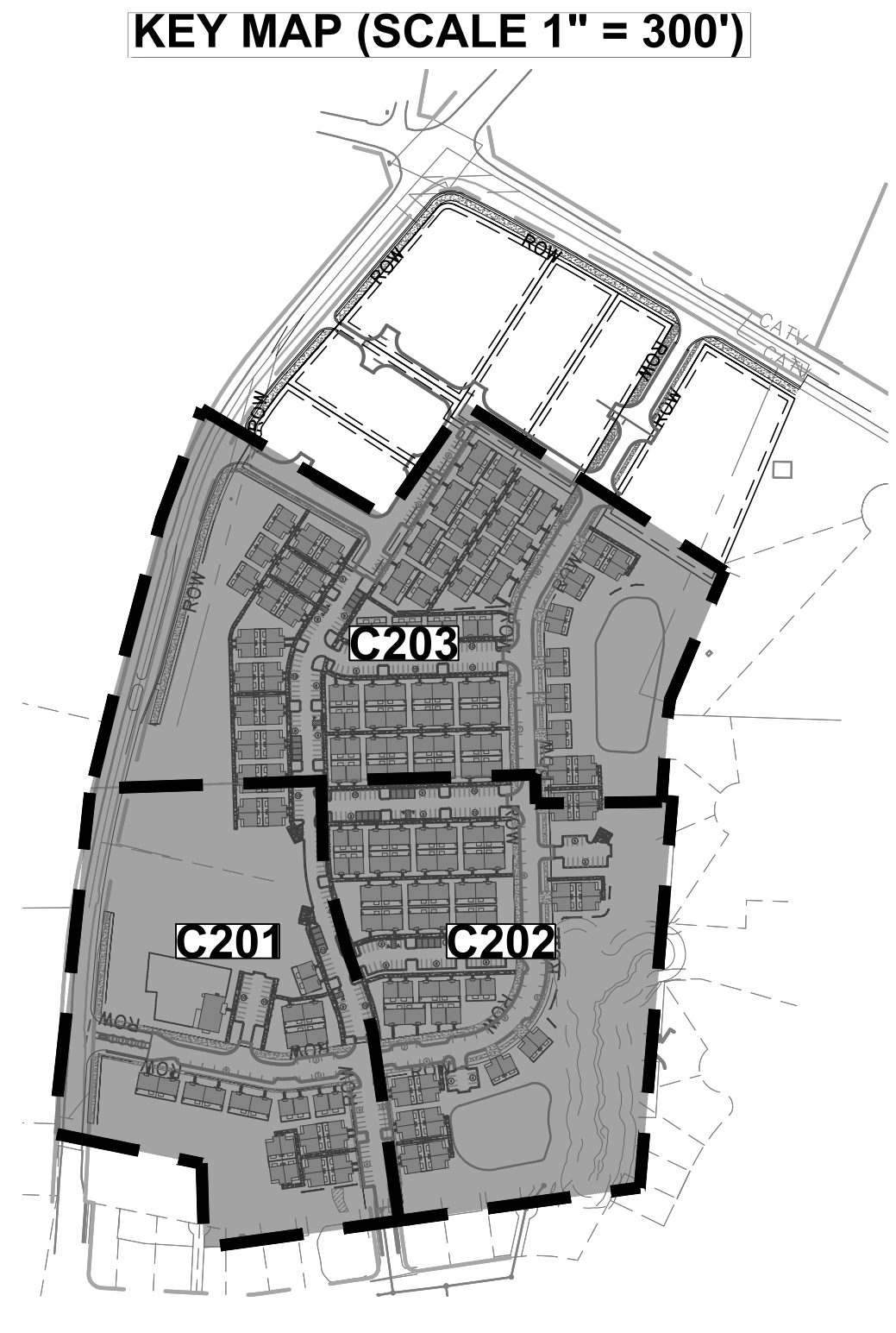


SITE DATA TABLE	
<b>PROPERTY INFORMATION</b>	
PROJECT NAME:	YARDLY BUFFALO VILLAGE RESIDENTIAL
CURRENT OWNER(S):	TM BTR OF CAROLINAS, LLC
JURISDICTION:	CITY OF RALEIGH
PIN #:	1746-31-9793, 1746-41-0189, 1746-30-8877
STREET ADDRESS:	5121, 5225, 5221 FORESTVILLE ROAD
<b>SITE SIZE &amp; COVERAGE</b>	
EXISTING ACREAGE:	22.16 AC
GROSS BUILDING SQUARE FOOTAGE (PROJECT LIMITS):	296,532 SF
TOTAL NUMBER OF UNITS:	222 UNITS
MAXIMUM BUILDING HEIGHT:	3 STORIES / 40' MAX
<b>ZONING</b>	
EXISTING ZONING:	CX-3-CU, RX-3-CU
PROPOSED ZONING:	CX-3-CU, RX-3-CU
EXISTING USE (WITHIN PROJECT LIMITS):	VACANT LOT
PROPOSED USE (WITHIN PROJECT LIMITS):	RESIDENTIAL
FRONTAGE REQUIREMENTS:	N/A
<b>BUILDING / STRUCTURE SETBACK REQUIREMENTS</b>	
PRIMARY STREET (BUFFALO RD)	10' MINIMUM
SIDE STREET (YARDLY VILLAGE LN)	10' MINIMUM
SIDE / REAR PROPERTY LINE	5' MINIMUM
<b>PARKING SETBACK REQUIREMENTS</b>	
PRIMARY STREET (BUFFALO RD, FORESTVILLE RD)	N/A
SIDE STREET (YARDLY VILLAGE LN)	N/A
SIDE / REAR PROPERTY LINE	N/A
<b>OFF-STREET PARKING</b>	
PARKING MAXIMUM (RX-3-CU/CX-3-CU)	NO MAXIMUM
PROVIDED ON SITE PARKING:	321 SPACES
PROVIDED STREET PARKING (YARDLY VILLAGE LANE/INVERLY LANE):	94 SPACES
PROVIDED HANDICAP PARKING:	12 SPACES
PROVIDED BICYCLE PARKING:	0 SPACES

- SITE DEVELOPMENT PLAN NOTES**
- SEE "EXISTING CONDITIONS" FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONINGS AND USE.
  - ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED. DIMENSIONS LABELED "EOP" ARE MEASURED FROM LIP OF GUTTER TO LIP OF GUTTER.
  - DIMENSIONS TO THE BUILDING ARE MEASURED TO THE EXTERIOR OF THE FOUNDATION WALL UNLESS OTHERWISE SHOWN.
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  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

**PROPOSED IMPROVEMENTS LEGEND**

--- EXISTING PROPERTY BOUNDARY	--- ROW --- RIGHT-OF-WAY
- - - 20' NEUSE RIVER BUFFER	--- TOP OF BANK ---
--- RETAINING WALL ---	- - - 50' NEUSE RIVER BUFFER
--- CURB AND GUTTER ---	--- WETLAND ---
--- 10' BUILDING SETBACK ---	--- PRIMARY TREE CONSERVATION AREA ---
↑ ↑ ↑ TRAFFIC ARROWS	--- SECONDARY TREE CONSERVATION AREA ---
STOP BAR, "STOP" MARKING & SIGN	--- NEUSE RIVER BUFFER CONSERVATION AREA ---
SIGNS - SINGLE / DOUBLE	--- CONCRETE SIDEWALK ---
SIGNS - MONUMENT / PYLON	--- HEAVY DUTY CONCRETE ---
○ ○ ○ ○ ○ SITE LIGHTING	



GRAPHIC SCALE IN FEET  
0 50 100 200  
SCALE: 1" = 100'

NORTH

**811**  
Know what's below.  
Call before you dig.

NO.	REVISIONS	DATE	BY

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NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	JMC
CHECKED BY	KLW

**OVERALL SITE PLAN**

**YARDLY BUFFALO VILLAGE**  
VILLAGE  
PREPARED FOR  
YARDLY BY TAYLOR MORRISON  
RALEIGH NC

SHEET NUMBER  
**C200**

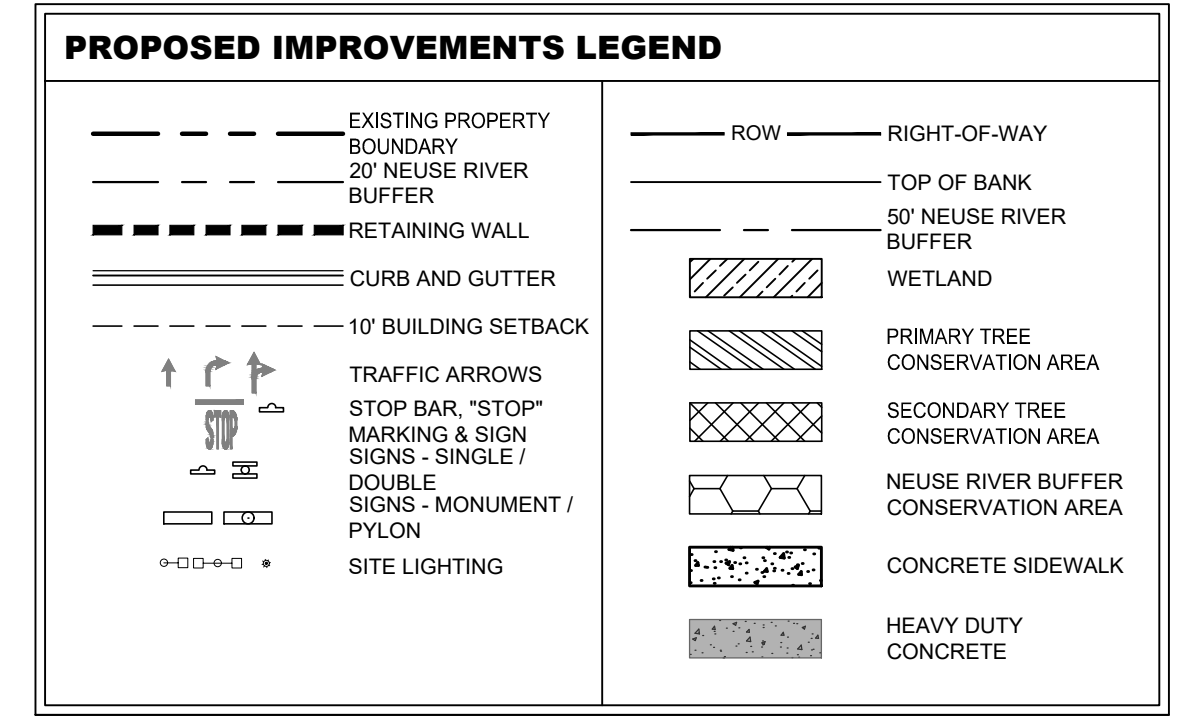
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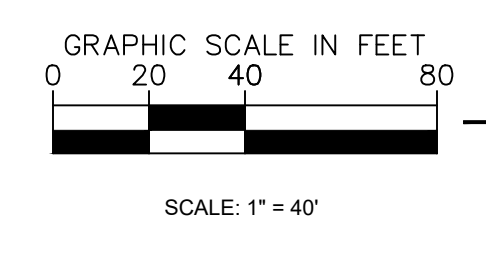
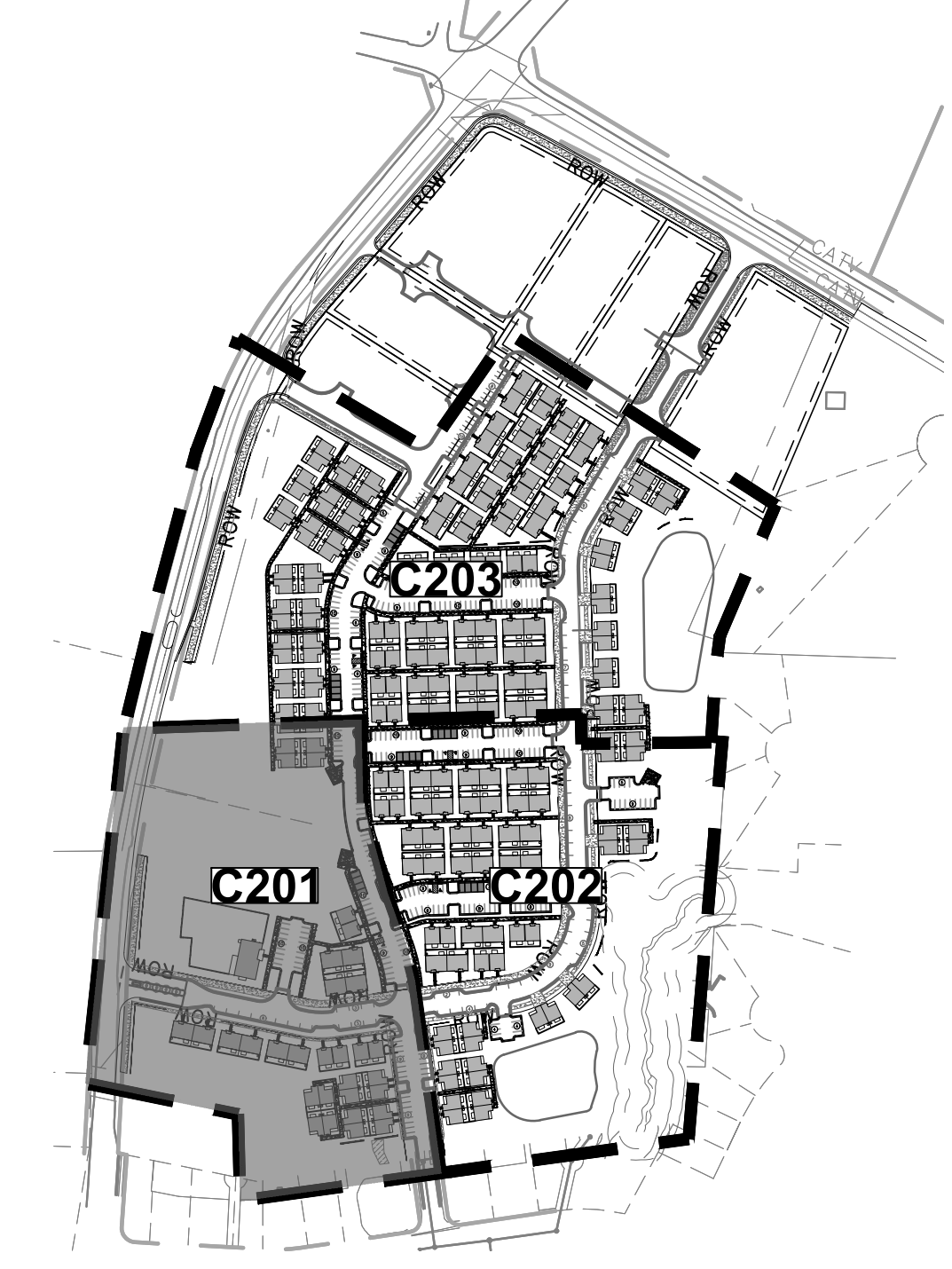
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- SITE DEVELOPMENT PLAN NOTES**
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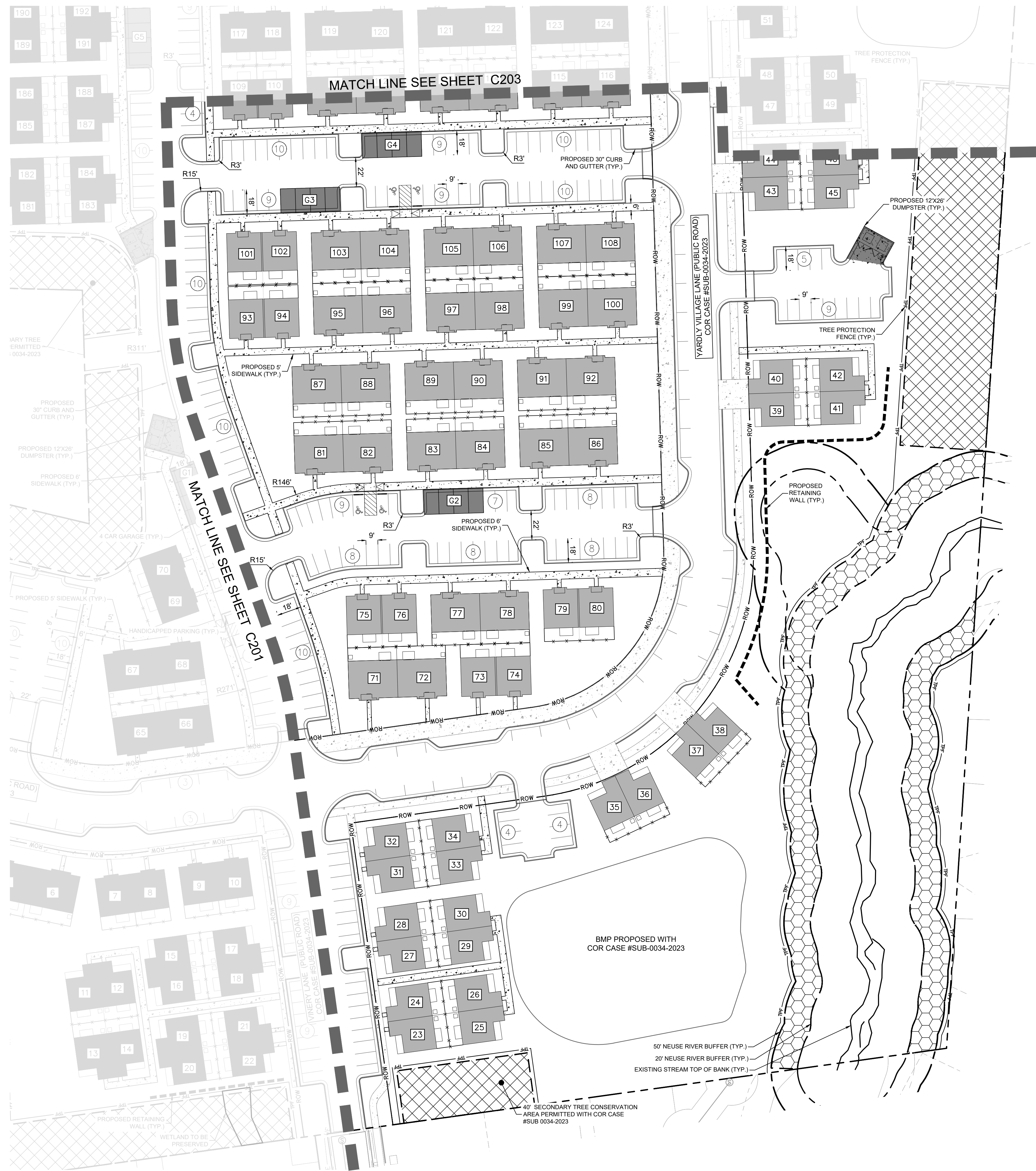
**KEY MAP (SCALE 1" = 300')**



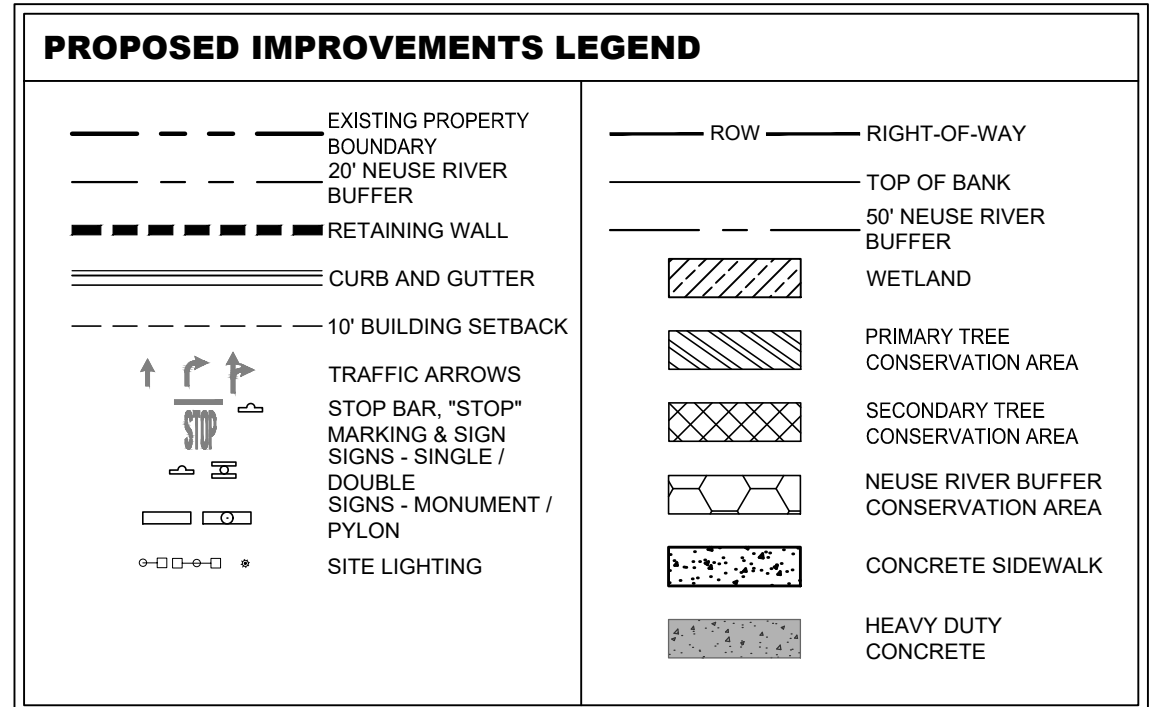
<p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN ST., SUITE 212, HOLLY SPRINGS, NC 27540 PHONE: 919-677-2000 WWW.KIMLEY-HORN.COM NC LICENSE #P-102</p>	<p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION</p>	<p>KH PROJECT 017270019</p>	<p>DATE 10/13/2023</p>	<p>SCALE AS SHOWN</p>	<p>DESIGNED BY JMC</p>	<p>DRAWN BY JMC</p>	<p>CHECKED BY KLV</p>	<p>NO.</p>	<p>REVISIONS</p>	<p>DATE</p>	<p>BY</p>	
	<p><b>YARDLY BUFFALO VILLAGE</b> PREPARED FOR YARDLY BY TAYLOR MORRISON RALEIGH NC</p>	<p><b>SITE PLAN</b></p>										
<p>SHEET NUMBER <b>C201</b></p>												

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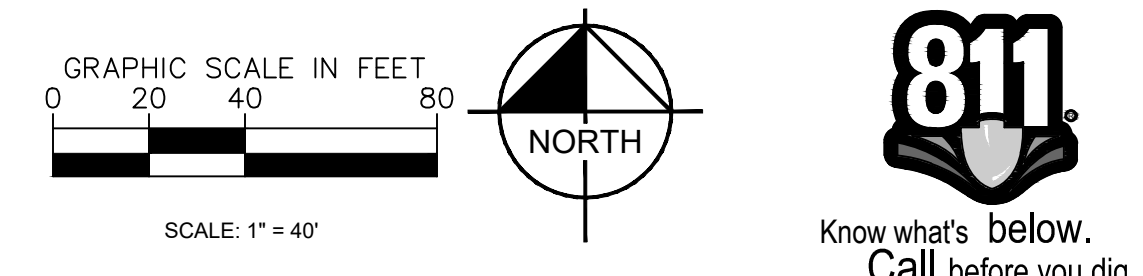
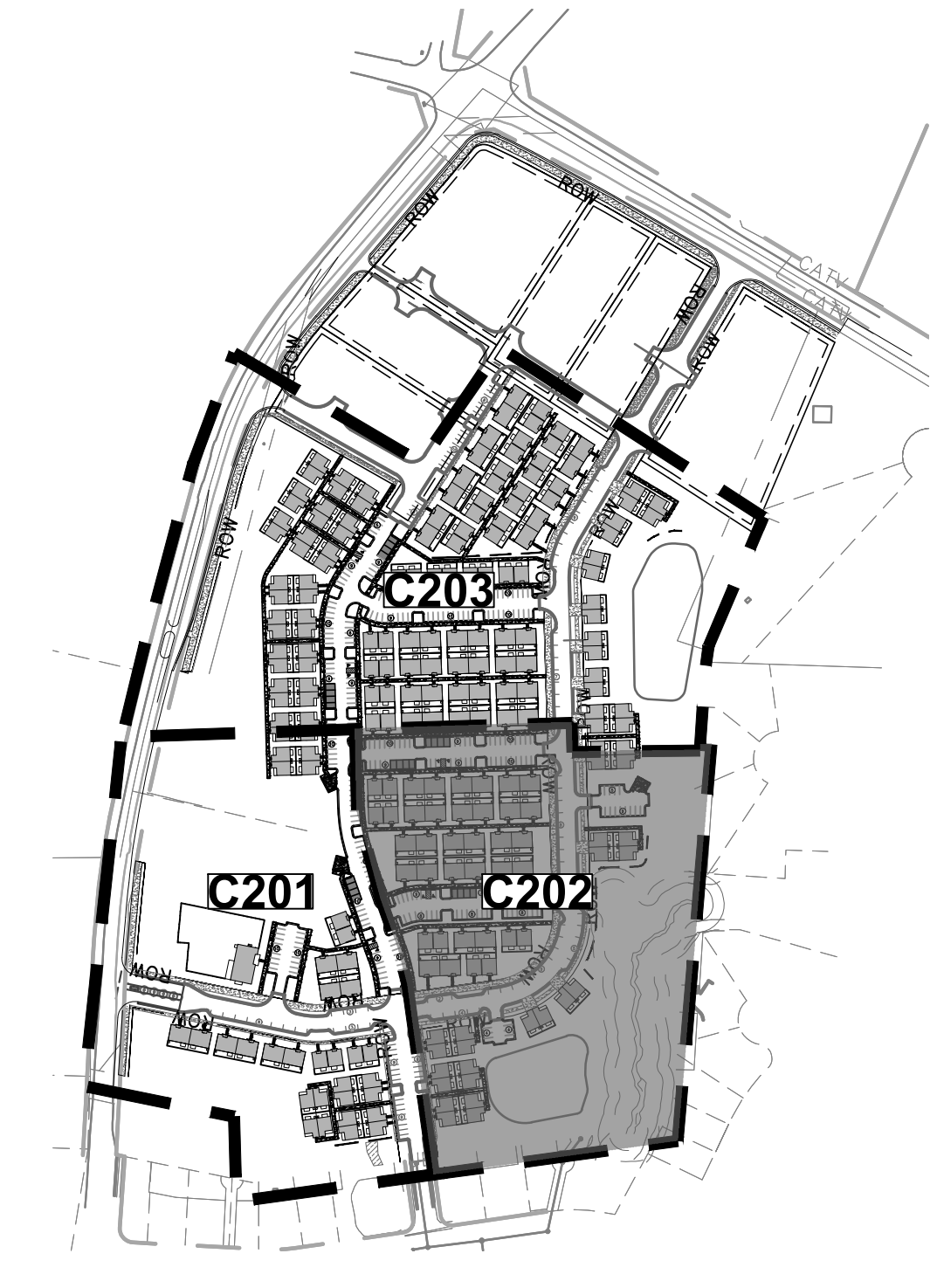
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- SITE DEVELOPMENT PLAN NOTES**
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**KEY MAP (SCALE 1" = 300')**



No.	REVISIONS	DATE	BY

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KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	JMC
CHECKED BY	KLW

**SITE PLAN**

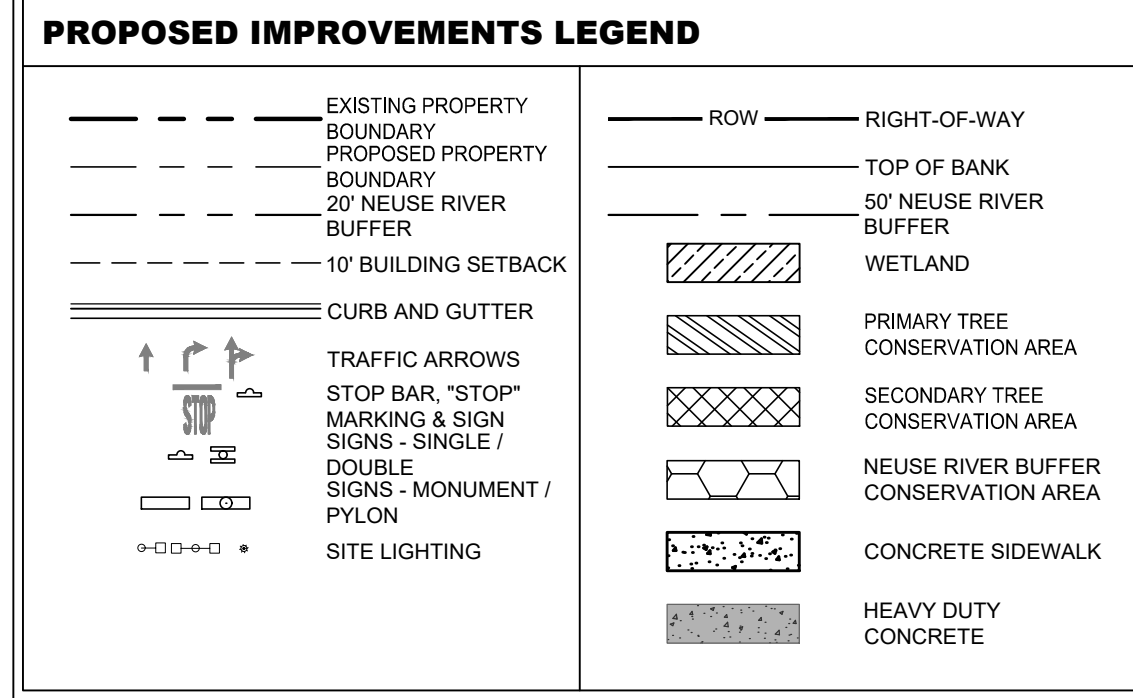
**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
 RALEIGH, NC

SHEET NUMBER  
**C202**

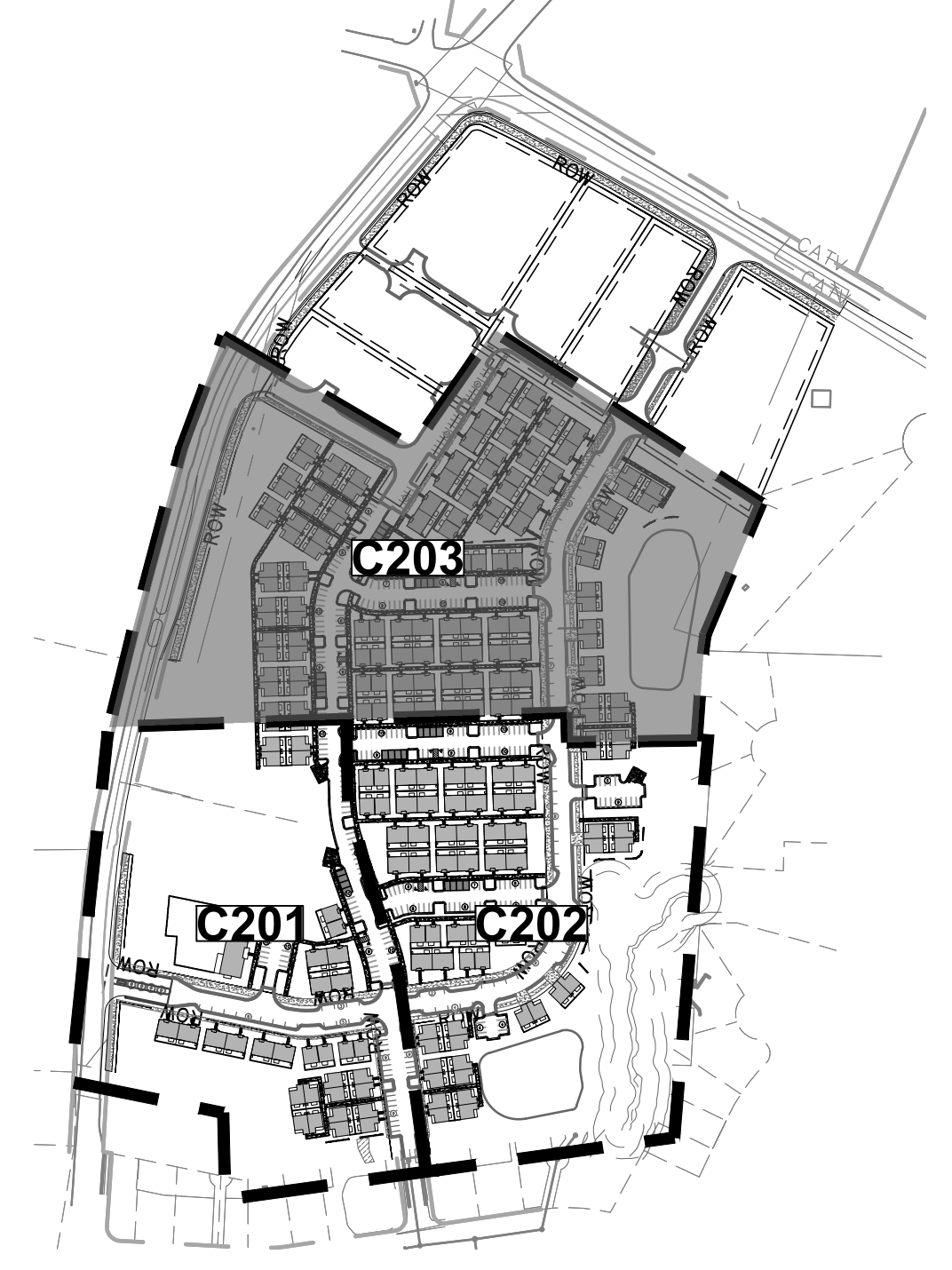
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**SITE DEVELOPMENT PLAN NOTES**

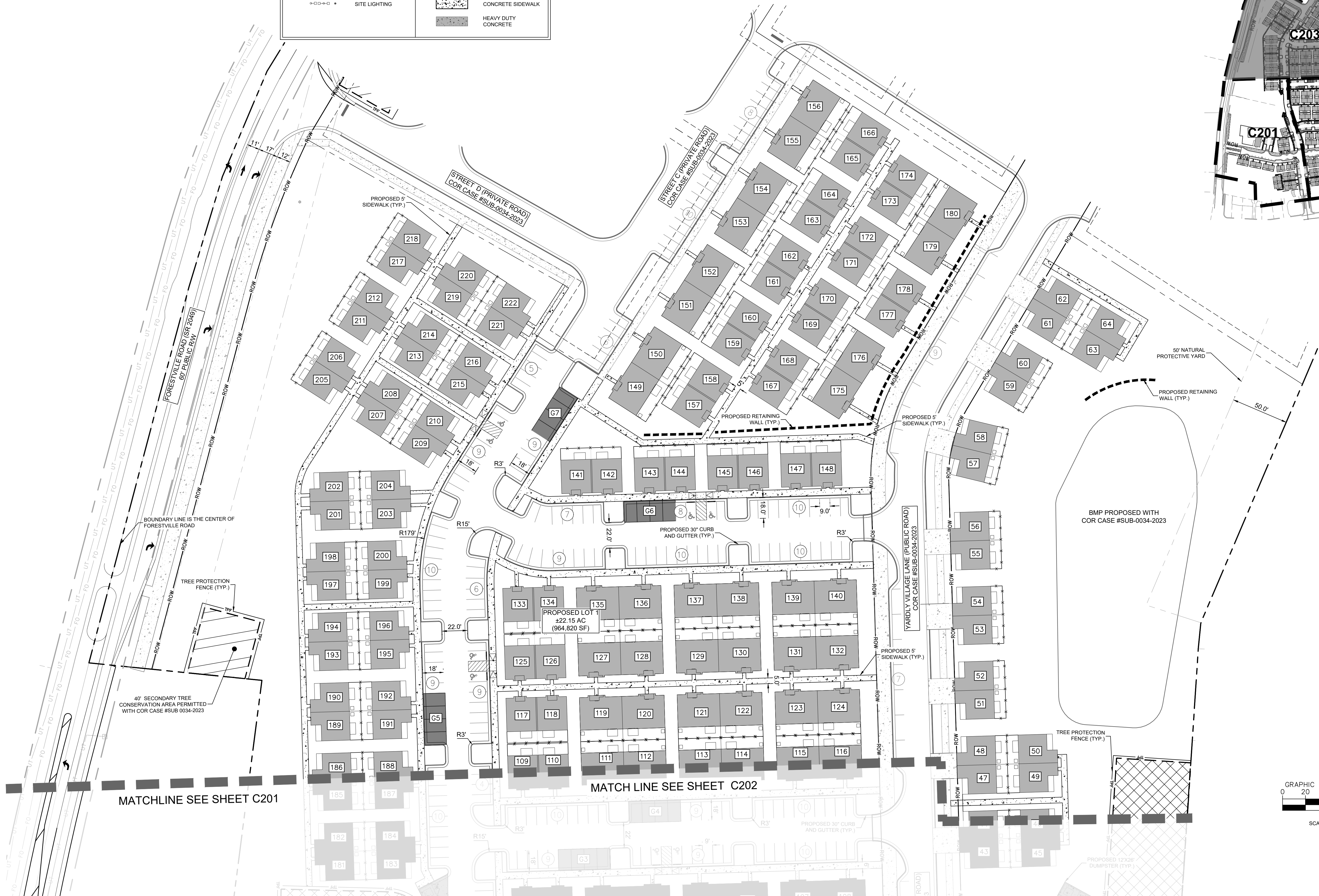
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**KEY MAP (SCALE 1" = 300')**



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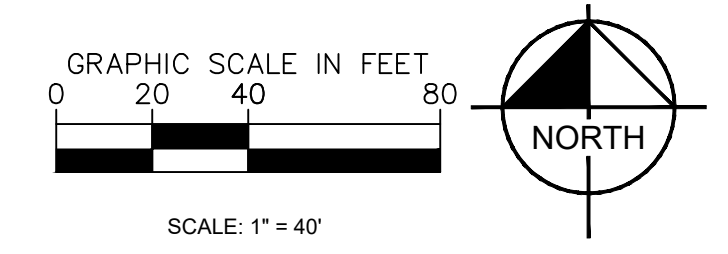
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**SITE PLAN**

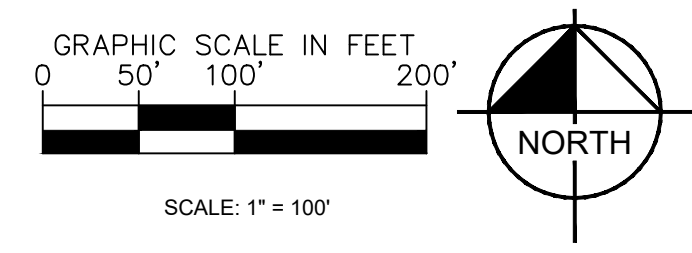
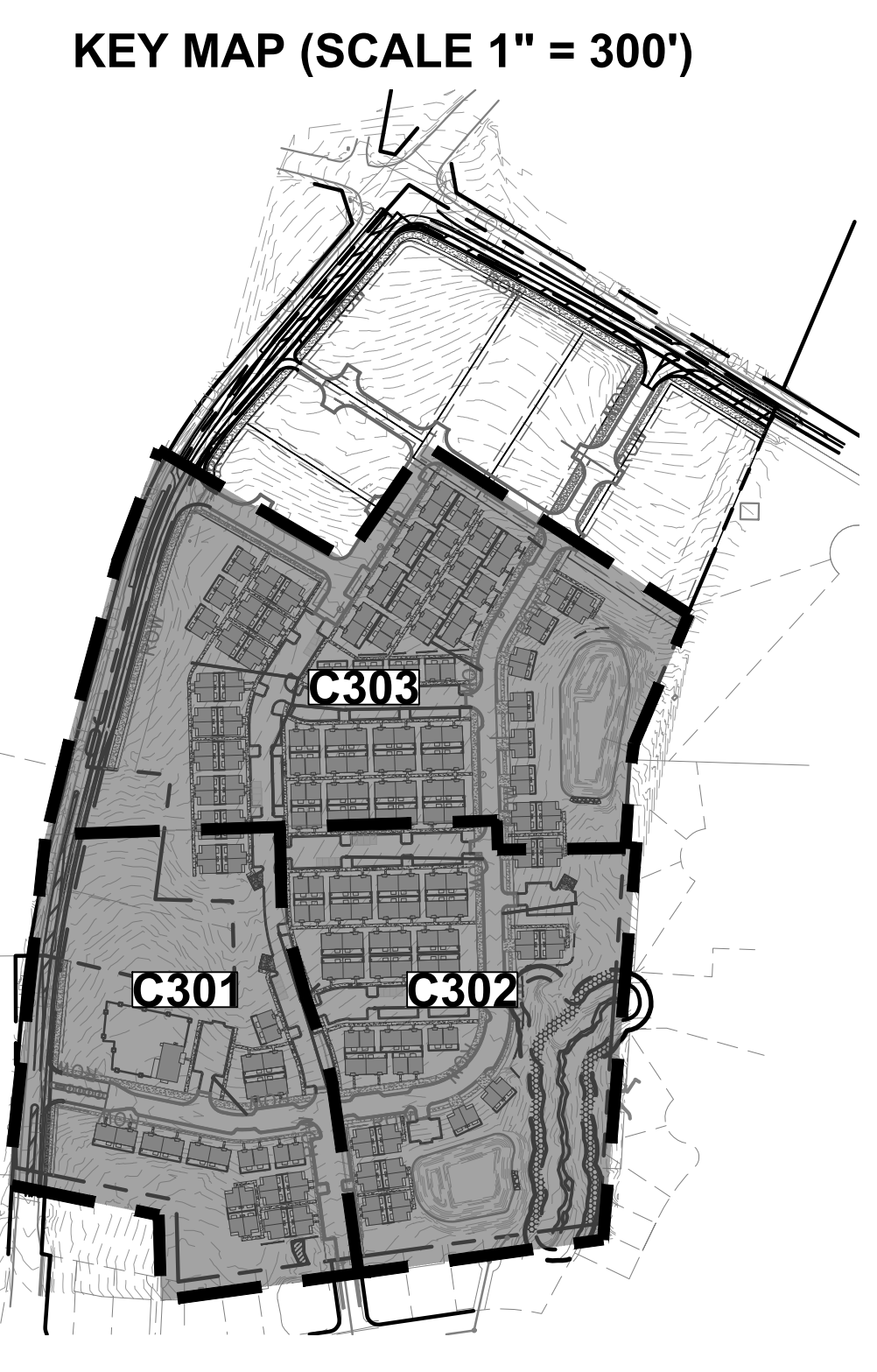
**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
 RALEIGH NC

SHEET NUMBER  
**C203**



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Plotted By: Lam, Rich - Sheet Set: Yardly Buffalo Village - Layout: C300 - OVERALL GRADING AND DRAINAGE PLAN - October 13, 2023 02:42:51 pm - K:\CHL\_P\017270 Taylor Morrison\018 Raleigh\Buffalo\02 - DWG\PlanSheets\ASR\PlanSheets\C300 - GREG DRNG PLAN.dwg



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	No.	DATE	BY													
<p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION</p> <table border="1"> <tr> <td>KH PROJECT</td> <td>017270019</td> </tr> <tr> <td>DATE</td> <td>10/13/2023</td> </tr> <tr> <td>SCALE</td> <td>AS SHOWN</td> </tr> <tr> <td>DESIGNED BY</td> <td>JMC</td> </tr> <tr> <td>DRAWN BY</td> <td>JMC</td> </tr> <tr> <td>CHECKED BY</td> <td>KLW</td> </tr> </table>	KH PROJECT	017270019	DATE	10/13/2023	SCALE	AS SHOWN	DESIGNED BY	JMC	DRAWN BY	JMC	CHECKED BY	KLW	<p><b>OVERALL GRADING AND DRAINAGE PLAN</b></p>			
KH PROJECT	017270019															
DATE	10/13/2023															
SCALE	AS SHOWN															
DESIGNED BY	JMC															
DRAWN BY	JMC															
CHECKED BY	KLW															
<p><b>YARDLY BUFFALO VILLAGE</b> PREPARED FOR YARDLY BY TAYLOR MORRISON RALEIGH NC</p>	<p>SHEET NUMBER <b>C300</b></p>															

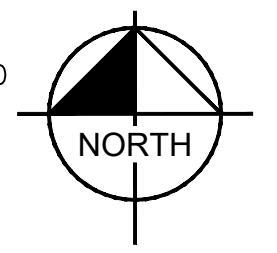
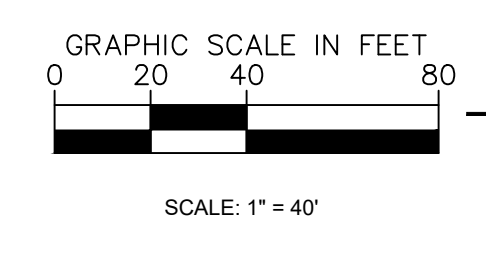
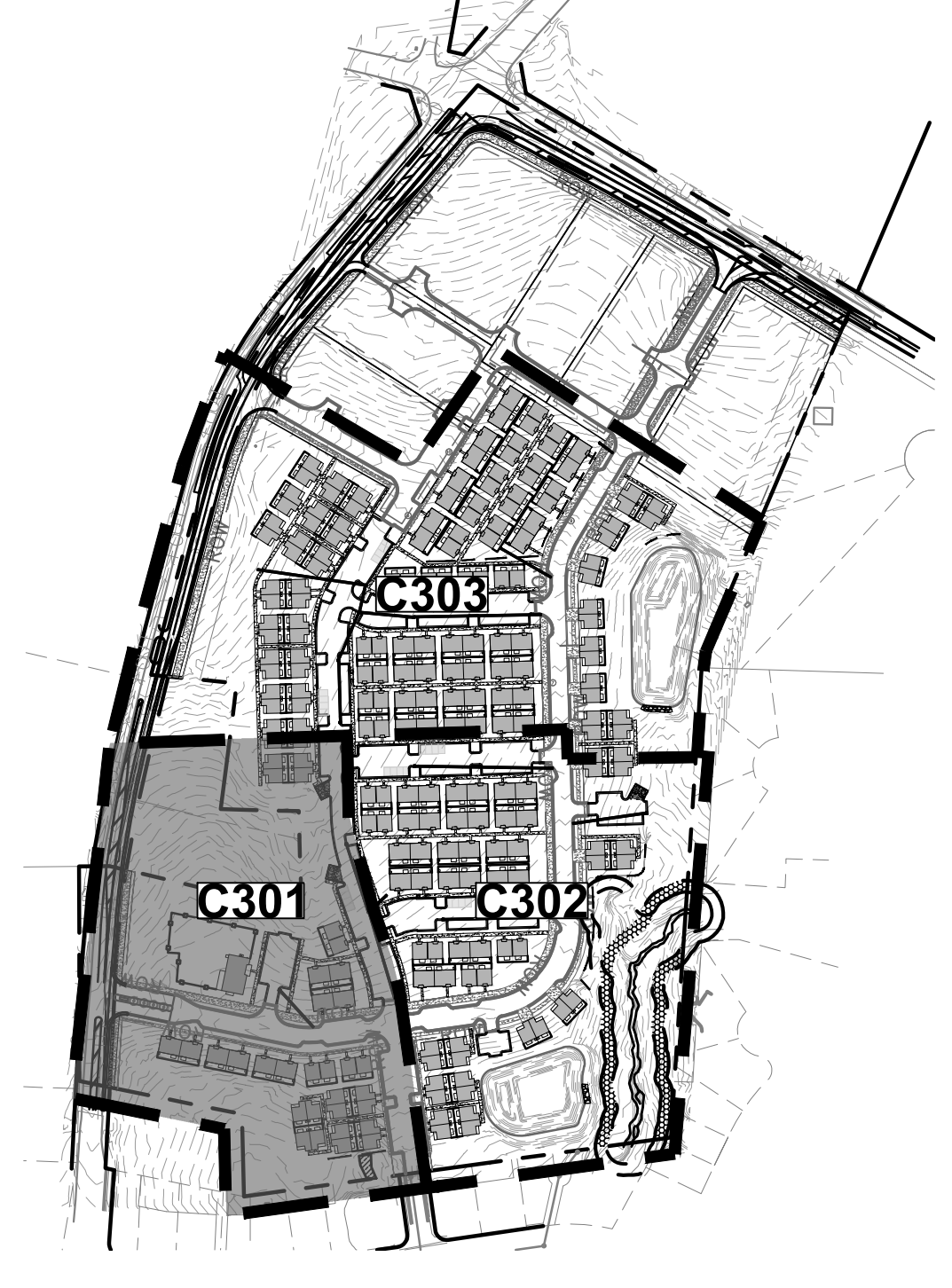
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GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	ROW - RIGHT-OF-WAY
---	CURB AND GUTTER	---	STORM DRAIN
450	PROPOSED MAJOR CONTOUR	450	EXISTING MAJOR CONTOUR
451	PROPOSED MINOR CONTOUR	451	EXISTING MINOR CONTOUR
826.00	SPOT ELEVATION	LOD	LIMITS OF DISTURBANCE
CB	CATCH BASIN (CB)	PT	PRIMARY TREE CONSERVATION AREA
SD	MANHOLE (SDMH)	ST	SECONDARY TREE CONSERVATION AREA

KEY MAP (SCALE 1" = 300')



No.	REVISIONS	DATE	BY

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KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	JMC
CHECKED BY	KLW

**GRADING AND DRAINAGE PLAN**

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
 RALEIGH, NC

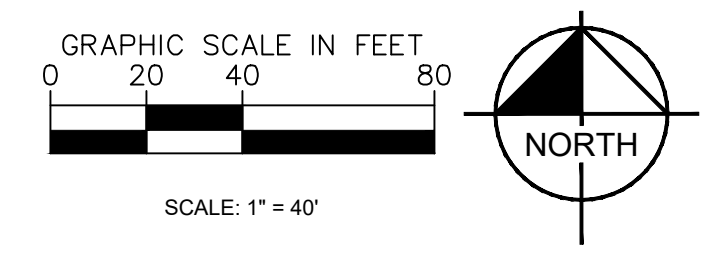
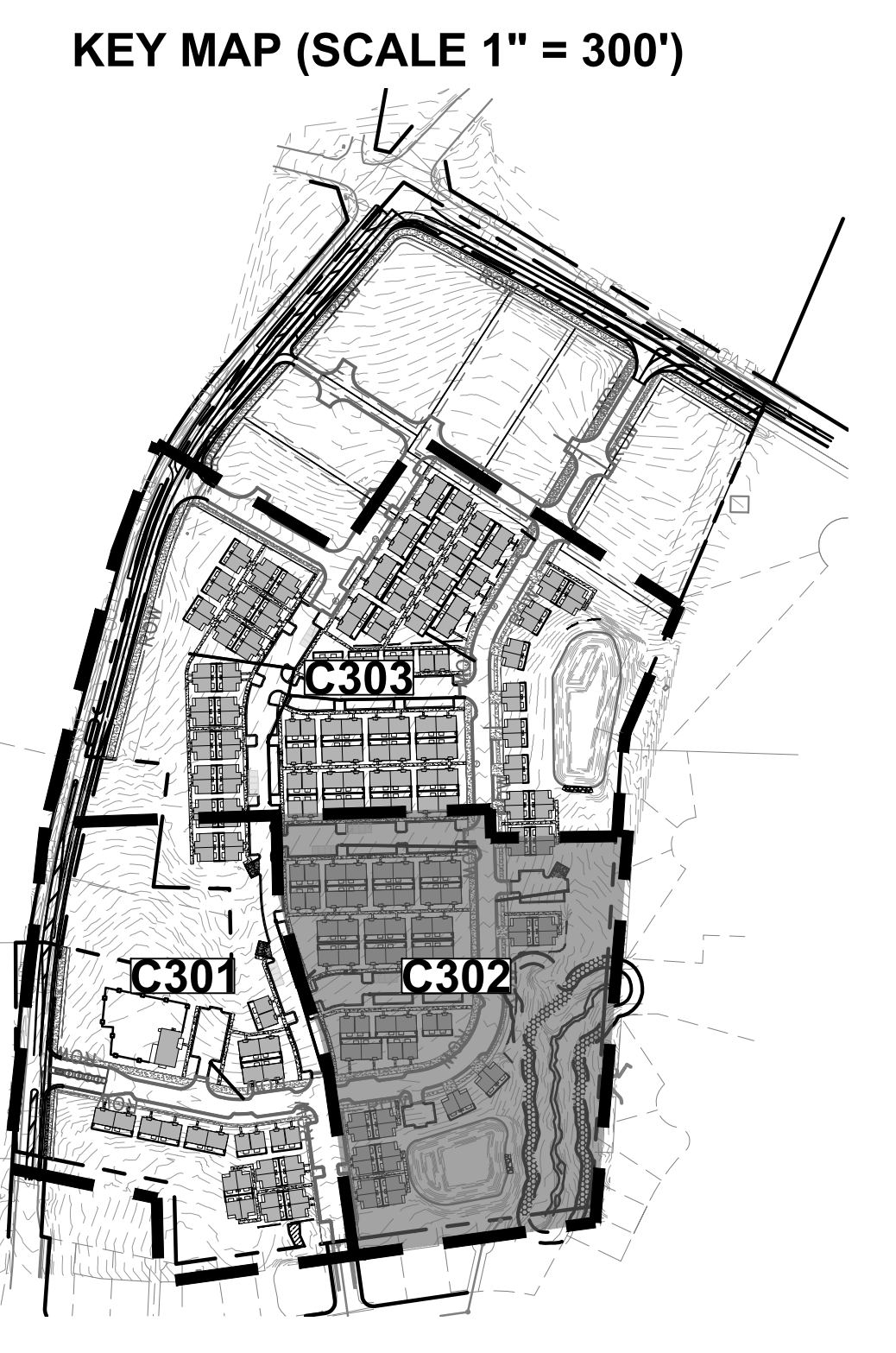
SHEET NUMBER  
**C301**

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---	PROPERTY BOUNDARY	---	ROW	---	RIGHT-OF-WAY
---	CURB AND GUTTER	---	STORM DRAIN	---	EXISTING MAJOR CONTOUR
---	PROPOSED MAJOR CONTOUR	---	450	---	EXISTING MINOR CONTOUR
---	PROPOSED MINOR CONTOUR	---	451	---	LIMITS OF DISTURBANCE
---	SPOT ELEVATION	---	LOC	---	PRIMARY TREE CONSERVATION AREA
---	CATCH BASIN (CB)	---	---	---	SECONDARY TREE CONSERVATION AREA
---	MANHOLE (SDMH)	---	---	---	---



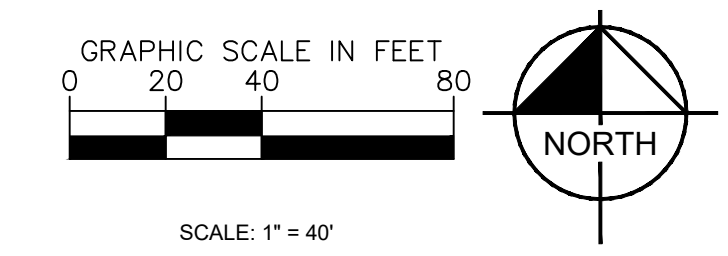
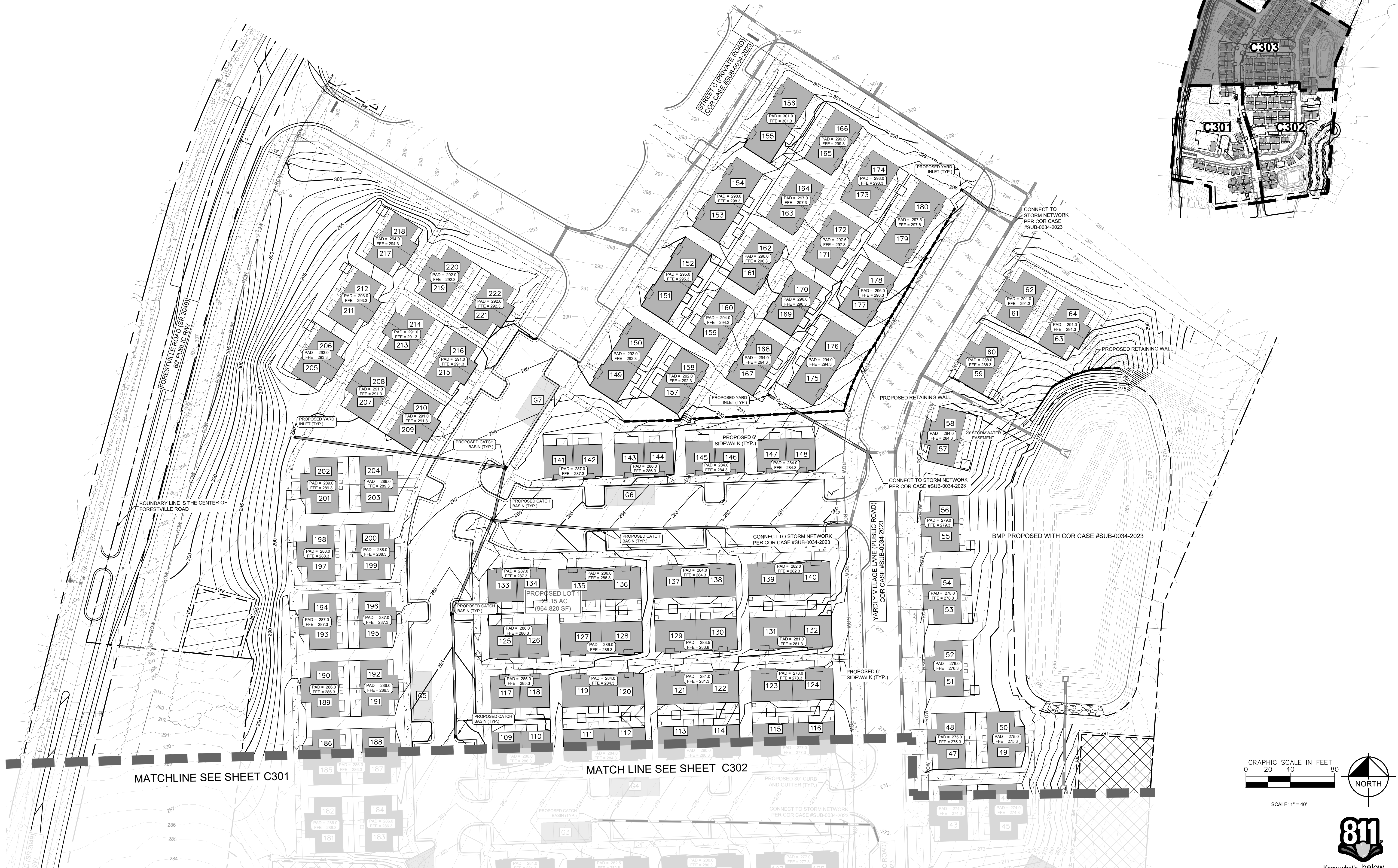
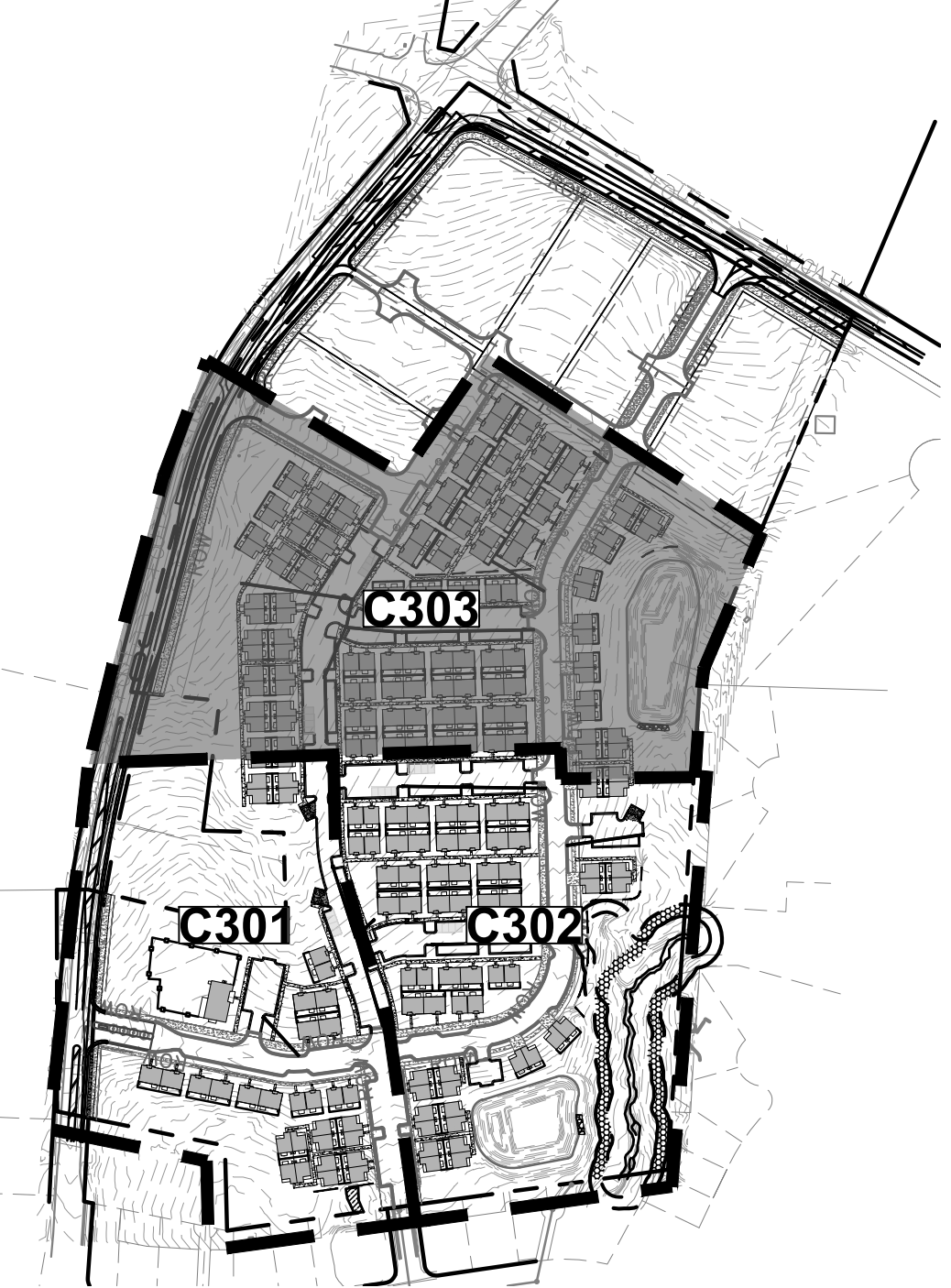
<p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN ST., SUITE 212, HOLLY SPRINGS, NC 27540 WWW.KIMLEY-HORN.COM NC LICENSE #P-9102</p>	<p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION</p>	<table border="1"> <tr> <td>KH PROJECT</td> <td>017270019</td> </tr> <tr> <td>DATE</td> <td>10/13/2023</td> </tr> <tr> <td>SCALE</td> <td>AS SHOWN</td> </tr> <tr> <td>DESIGNED BY</td> <td>JMC</td> </tr> <tr> <td>DRAWN BY</td> <td>JMC</td> </tr> <tr> <td>CHECKED BY</td> <td>KLW</td> </tr> </table>	KH PROJECT	017270019	DATE	10/13/2023	SCALE	AS SHOWN	DESIGNED BY	JMC	DRAWN BY	JMC	CHECKED BY	KLW	<table border="1"> <tr> <td>NO.</td> <td>REVISIONS</td> <td>DATE</td> <td>BY</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISIONS	DATE	BY				
	KH PROJECT	017270019																					
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SCALE	AS SHOWN																						
DESIGNED BY	JMC																						
DRAWN BY	JMC																						
CHECKED BY	KLW																						
NO.	REVISIONS	DATE	BY																				
<p><b>YARDLY BUFFALO VILLAGE</b> GRADING AND DRAINAGE PLAN</p>	<p><b>YARDLY BY TAYLOR MORRISON</b> RALEIGH, NC</p>	<p>SHEET NUMBER <b>C302</b></p>																					

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GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	ROW
---	CURB AND GUTTER	---	RIGHT-OF-WAY
---	PROPOSED MAJOR CONTOUR	---	STORM DRAIN
---	PROPOSED MINOR CONTOUR	---	EXISTING MAJOR CONTOUR
---	SPOT ELEVATION	---	EXISTING MINOR CONTOUR
---	CATCH BASIN (CB)	---	LIMITS OF DISTURBANCE
---	MANHOLE (SDMH)	---	PRIMARY TREE CONSERVATION AREA
		---	SECONDARY TREE CONSERVATION AREA

KEY MAP (SCALE 1" = 300')



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	<p>REVISIONS</p>
<p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION</p>	<p>KH PROJECT 017270019</p>
<p>DATE 10/13/2023</p>	<p>SCALE AS SHOWN</p>
<p>DESIGNED BY JMC</p>	<p>DRAWN BY JMC</p>
<p>CHECKED BY K/LW</p>	<p>NC</p>
<p><b>YARDLY BUFFALO VILLAGE</b> GRADING AND DRAINAGE PLAN</p>	<p>PREPARED FOR <b>YARDLY BY TAYLOR MORRISON</b></p>
<p><b>811</b> Know what's below. Call before you dig.</p>	<p>SHEET NUMBER <b>C303</b></p>

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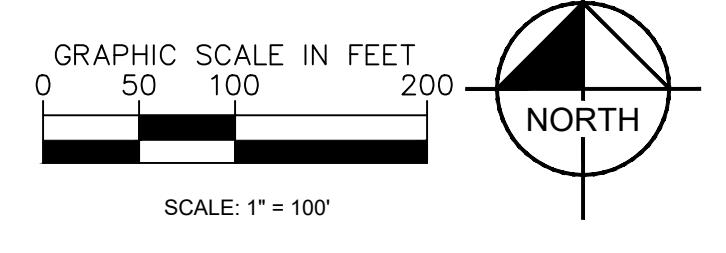
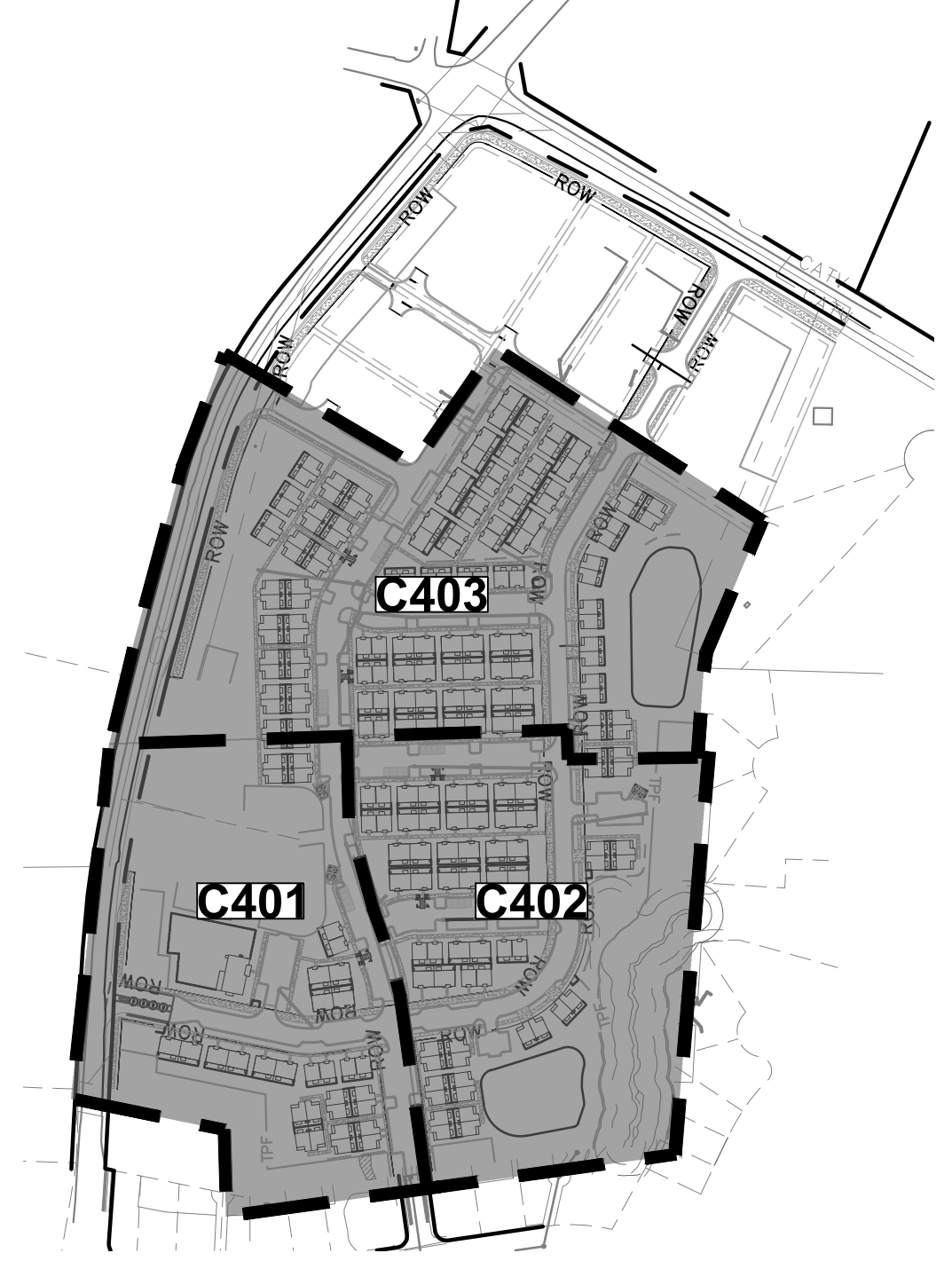


Plotted By: Lam, Rich Sheet Set: Yardly Buffalo Village Layout: C400 OVERALL UTILITY PLAN October 13, 2023 02:43:35pm K:CHL PR:1017270 Taylor Morrison 019 Raleigh-Buffer02 - DWG/PlanSheets/ASR Plansheets/C400 - UTILITY PLAN.dwg



UTILITY LEGEND			
---	PROPERTY BOUNDARY	---	ROW - RIGHT-OF-WAY
W	WATER LINE	SS	SANITARY SEWER LINE
RD	ROOF DRAIN	UE	UTILITY EASEMENT
M	WATER METER	GV	GATE VALVE
C	POINT OF CONNECTION	BP	BACKFLOW PREVENTOR
TT	PIPE TEEBENDS	SSC	SANITARY SEWER CLEANOUT (SSCO)
FH	FIRE HYDRANT (FH)	SSMH	SANITARY SEWER MANHOLE (SSMH)
FDC	FIRE DEPARTMENT CONNECTION (FDC)		

KEY MAP (SCALE 1" = 300')



No.	REVISIONS	DATE	BY

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KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	MTH
CHECKED BY	KLW

# OVERALL UTILITY PLAN

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
 RALEIGH NC

SHEET NUMBER  
**C400**

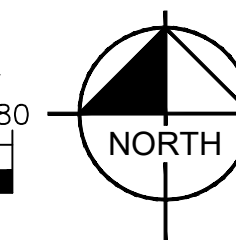
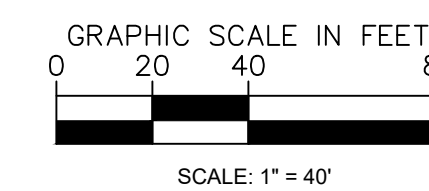
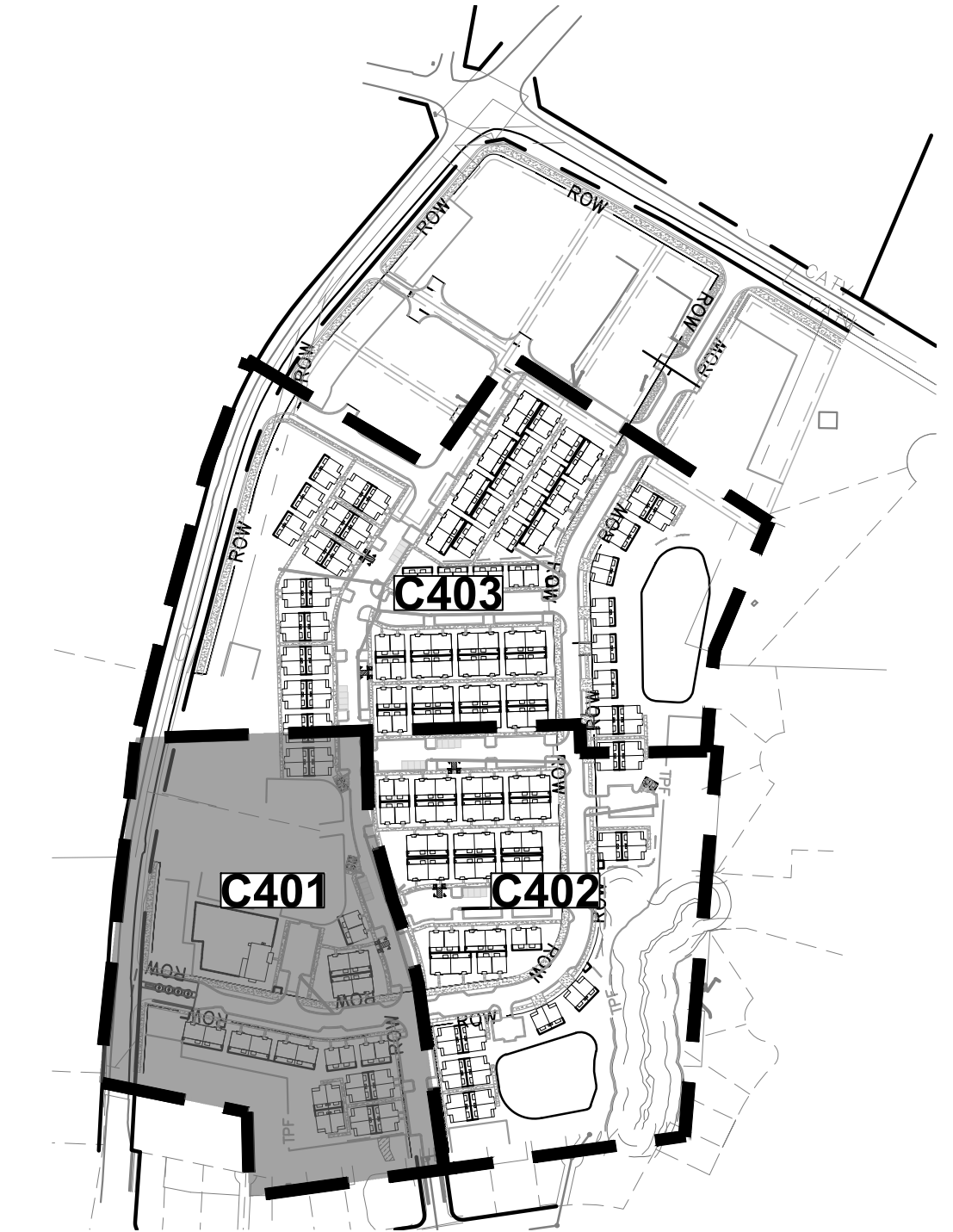
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UTILITY LEGEND					
---	PROPERTY BOUNDARY	---	ROW	---	RIGHT-OF-WAY
W	WATER LINE	SS	SANITARY SEWER LINE		
RD	ROOF DRAIN	UE	UTILITY EASEMENT		
M	WATER METER	GV	GATE VALVE		
C	POINT OF CONNECTION	BPV	BACKFLOW PREVENTOR		
TT	PIPE TEEBENDS	SSC	SANITARY SEWER CLEANOUT (SSC)		
FH	FIRE HYDRANT (FH)	SSMH	SANITARY SEWER MANHOLE (SSMH)		
FDC	FIRE DEPARTMENT CONNECTION (FDC)				

KEY MAP (SCALE 1" = 300')



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KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	MTH
CHECKED BY	KLW

**UTILITY PLAN**

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
 RALEIGH NC

SHEET NUMBER  
**C401**

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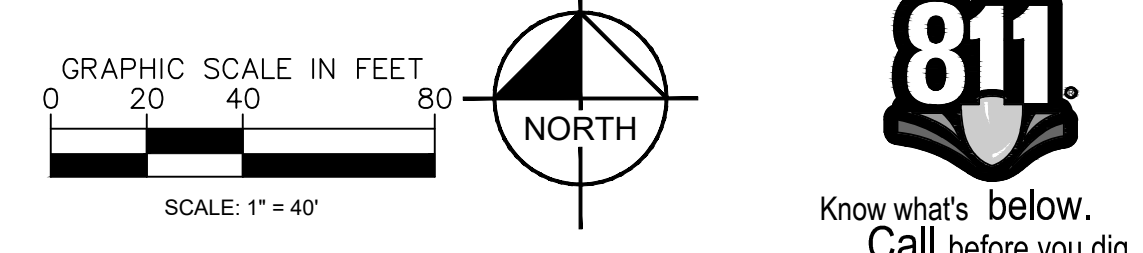
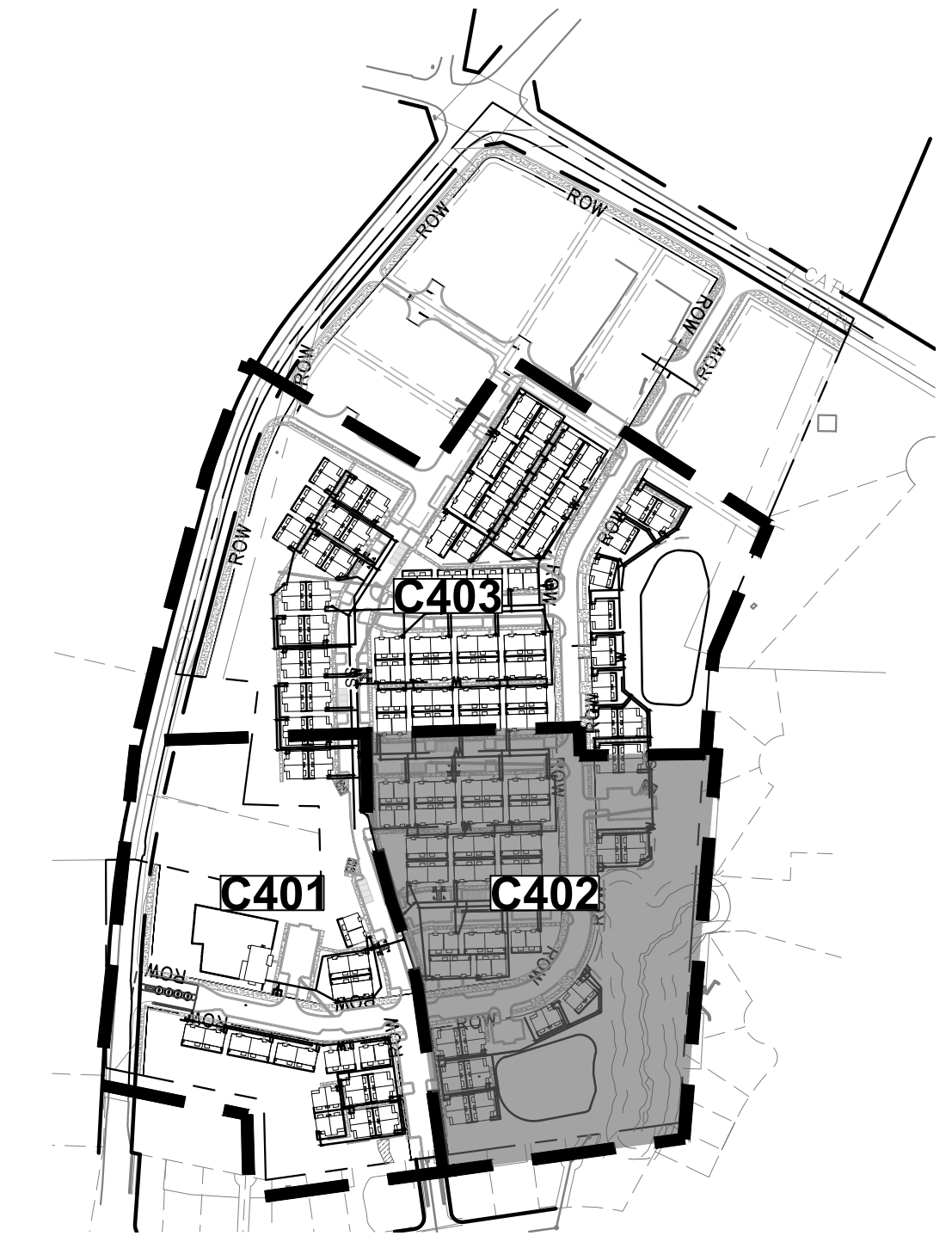
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**UTILITY LEGEND**

--- (dashed line)	PROPERTY BOUNDARY	--- (dashed line)	ROW	--- (dashed line)	RIGHT-OF-WAY
W (line with W)	WATER LINE	SS (line with SS)	SANITARY SEWER LINE		
RD (line with RD)	ROOF DRAIN	UE (line with UE)	UTILITY EASEMENT		
M (circle with M)	WATER METER	G (circle with G)	GATE VALVE		
C (circle with C)	POINT OF CONNECTION	BP (circle with BP)	BACKFLOW PREVENTOR		
T (line with T)	PIPE TEEBENDS	SC (circle with SC)	SANITARY SEWER CLEANOUT (SSCO)		
FH (circle with FH)	FIRE HYDRANT (FH)	SMH (circle with SMH)	SANITARY SEWER MANHOLE (SSMH)		
FDC (circle with FDC)	FIRE DEPARTMENT CONNECTION (FDC)				

KEY MAP (SCALE 1" = 300')



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KH PROJECT: 017270019  
DATE: 10/13/2023  
SCALE: AS SHOWN  
DESIGNED BY: JMC  
DRAWN BY: MTH  
CHECKED BY: KLV

**UTILITY PLAN**

**YARDLY BUFFALO VILLAGE**  
PREPARED FOR  
YARDLY BY TAYLOR MORRISON  
RALEIGH NC

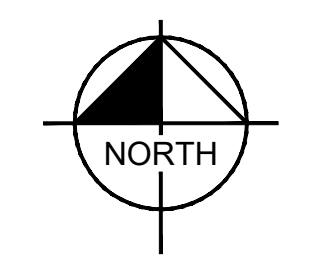
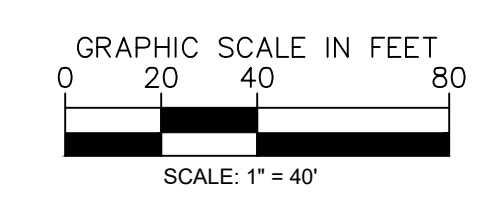
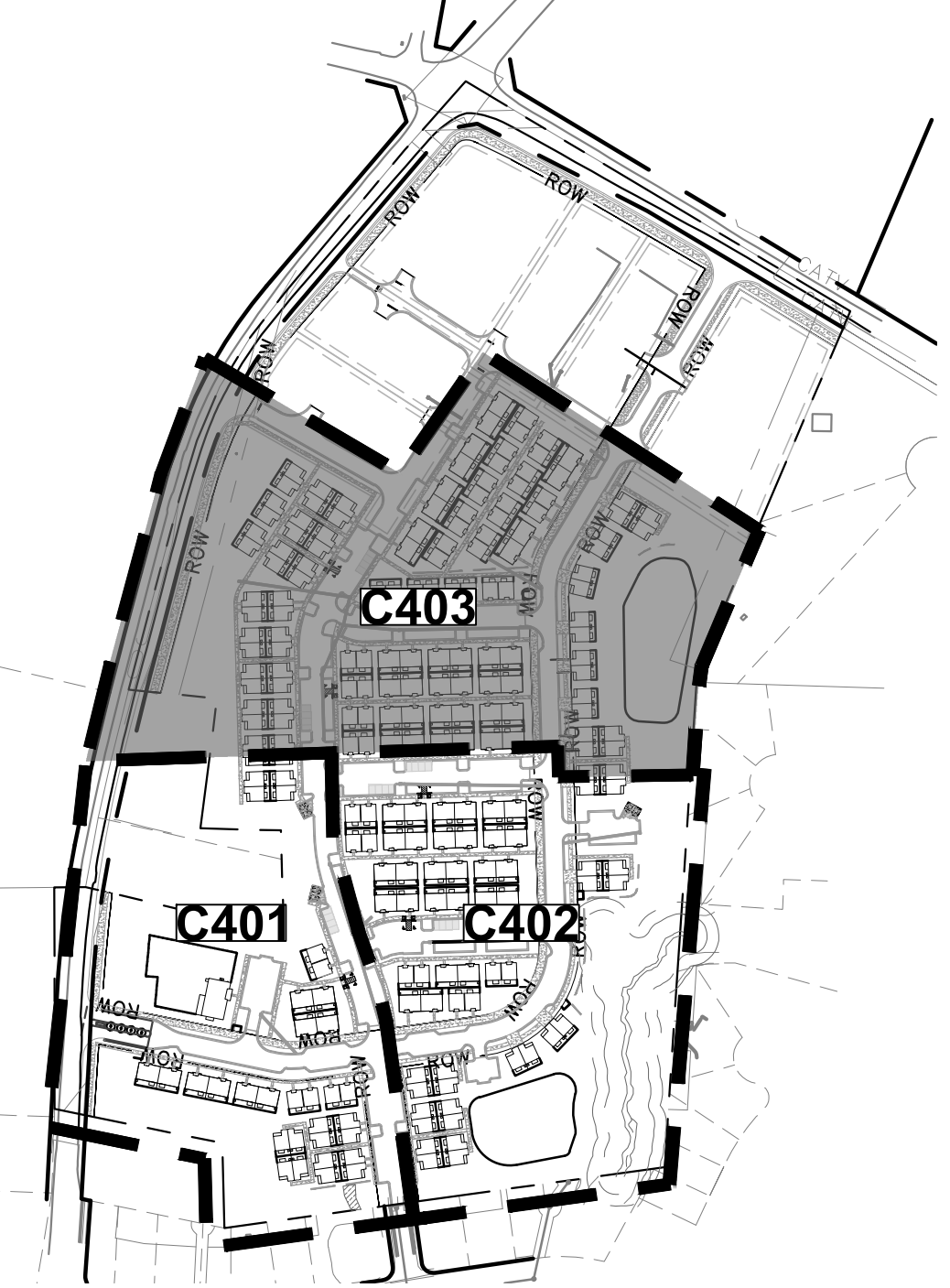
SHEET NUMBER  
**C402**

NO. BY DATE

Plotted By: Lam, Rich. Sheet Set: Yardsville Village Layout C403 UTILITY PLAN October 13, 2023 02:43:47pm K:\CHL\_PRJ\017270\_Taylor Morrison\019 Raleigh-Buffer\02 - DWG\PlanSheets\ASR PlanSheets\C400 - UTILITY PLAN.dwg

UTILITY LEGEND			
---	PROPERTY BOUNDARY	---	ROW - RIGHT-OF-WAY
W	WATER LINE	SS	SANITARY SEWER LINE
RD	ROOF DRAIN	UE	UTILITY EASEMENT
M	WATER METER	GV	GATE VALVE
PC	POINT OF CONNECTION	BPF	BACKFLOW PREVENTOR
PT	PIPE TEE/BENDS	SSC	SANITARY SEWER CLEANOUT (SSCO)
FH	FIRE HYDRANT (FH)	SSM	SANITARY SEWER MANHOLE (SSMH)
FD	FIRE DEPARTMENT CONNECTION (FDC)		

KEY MAP (SCALE 1" = 300')



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DATE	10/13/2023
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DESIGNED BY	JMC
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CHECKED BY	KLW

**UTILITY PLAN**

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
**YARDLY BY TAYLOR MORRISON**  
 RALEIGH NC

SHEET NUMBER  
**C403**

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**OVERALL PLANT SCHEDULE - L100**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER
	AB	15	Acer buergerianum	Trident Maple	B & B	2" CAL
	NE	19	Nyssa sylvatica 'JFS-red'	Firestarter® Tupelo	B & B	2" CAL
	QP	11	Quercus phellos 'QPSTA'	Hightower® Willow Oak	B & B	2" CAL

**GENERAL NOTES:**

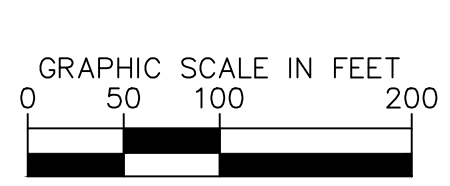
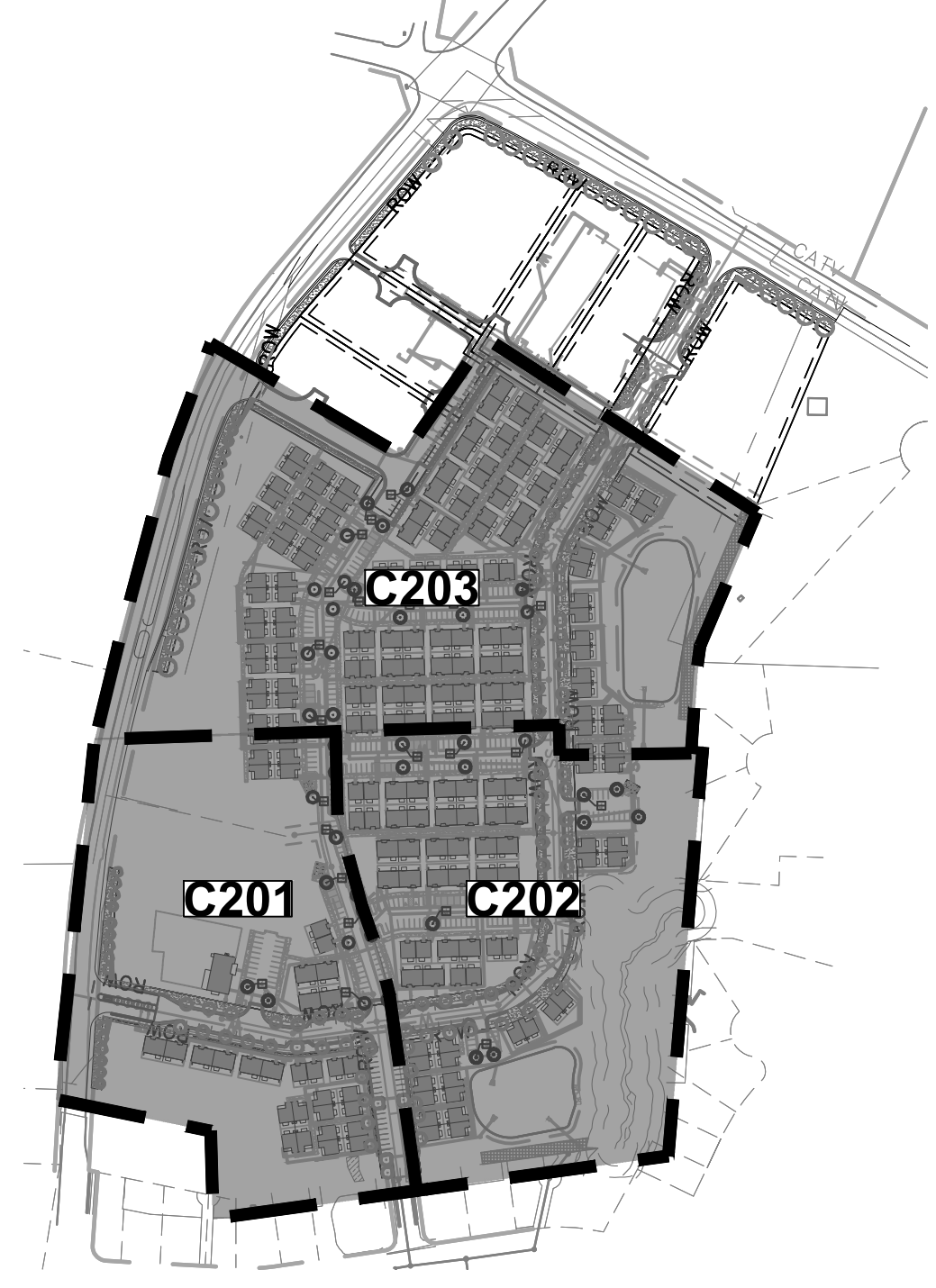
- PLEASE SEE SHEET L104 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, AND NOTES.

- NEUSE RIVER BUFFER CONSERVATION AREA
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- 20' PROTECTIVE YARD (SEE SHEET L105, DETAIL 3 FOR TYPICAL SECTION)

Plotted By: Lam, Rich - Sheet Set: Yardly Buffalo Village - Layout: L100 OVERALL LANDSCAPE PLAN - October 13, 2023 02:44:22pm K:\CHL - PRE\017270 Taylor Morrison\019 Raleigh-Buffer\02 - DWG\PlanSheets\ASR - Plansheets\L100 OVERALL LANDSCAPE PLAN.dwg



**KEY MAP (SCALE 1" = 300')**



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KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JTS
DRAWN BY	JTS
CHECKED BY	EGM

**OVERALL LANDSCAPE PLAN**

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
 YARDLY BY TAYLOR MORRISON  
 RALEIGH, NC

SHEET NUMBER  
**L100**

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**PLANT KEY - L101**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME
	AB	7	Acer buergerianum	Trident Maple
	NE	2	Nyssa sylvatica 'IFS-red'	Firestarter® Tupelo
	OP	3	Quercus phellos 'QPSTA'	Hightower® Willow Oak

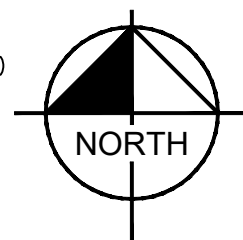
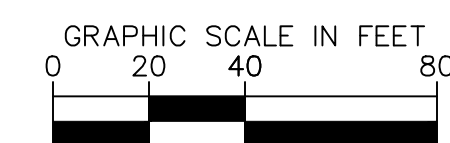
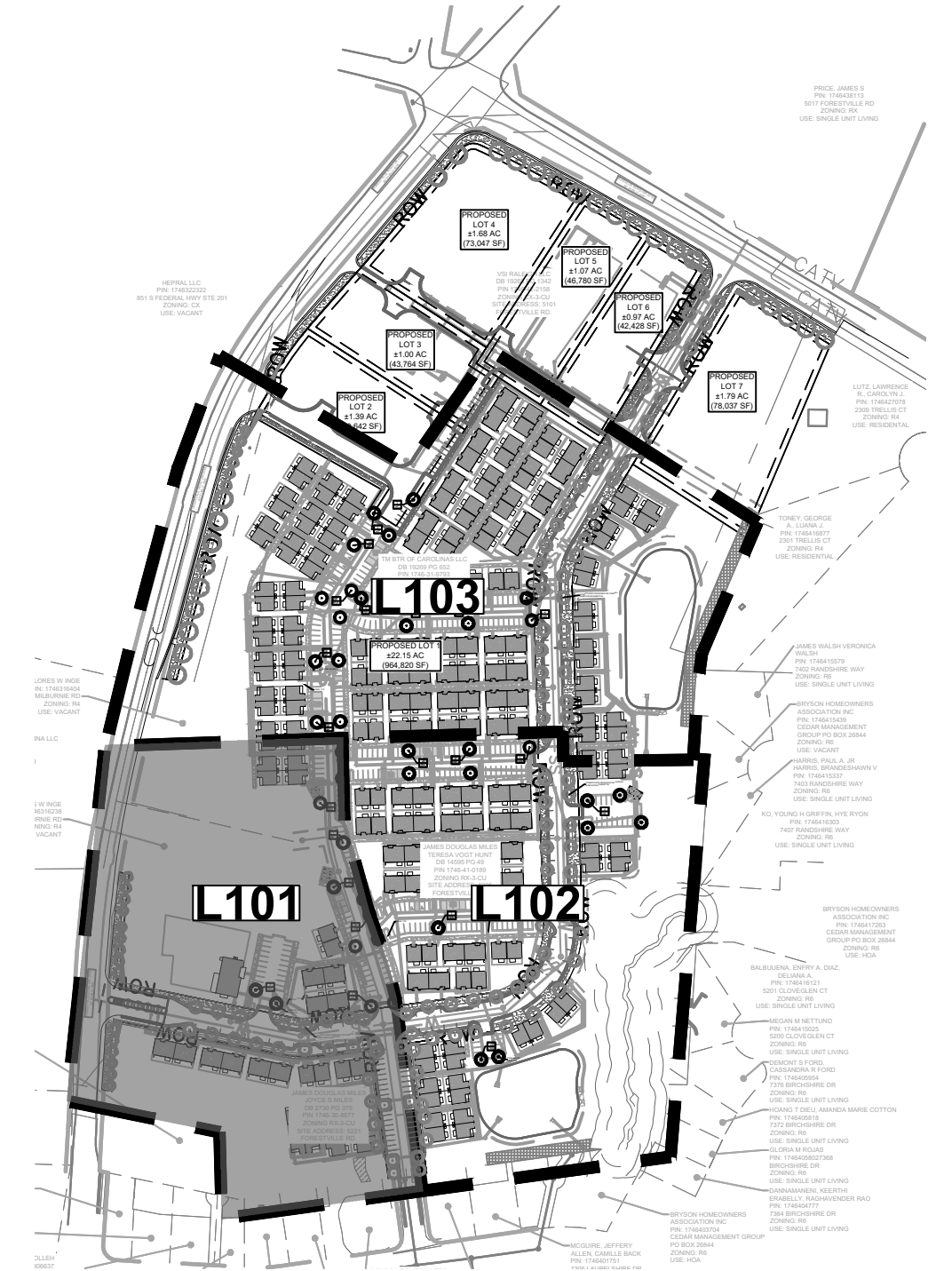
**GENERAL NOTES:**

- PLEASE SEE SHEET L104 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, AND NOTES.



	NEUSE RIVER BUFFER CONSERVATION AREA
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA
	20' PROTECTIVE YARD SEE SHEET L106, DETAIL 31 FOR TYPICAL SECTION

**KEY MAP (SCALE 1" = 300')**



Know what's below.  
Call before you dig.

**Kimley** **Horn**

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300 SOUTH MAIN ST., SUITE 212, HOLLY SPRINGS, NC 27540  
PHONE: 919-677-2000  
WWW.KIMLEY-HORN.COM  
NC LICENSE #P-5102

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JTS
DRAWN BY	JTS
CHECKED BY	EGM

**LANDSCAPE PLAN**

**YARDLY BUFFALO VILLAGE**

PREPARED FOR

YARDLY BY TAYLOR MORRISON

NC

SHEET NUMBER  
**L101**

No.	REVISIONS	DATE	BY

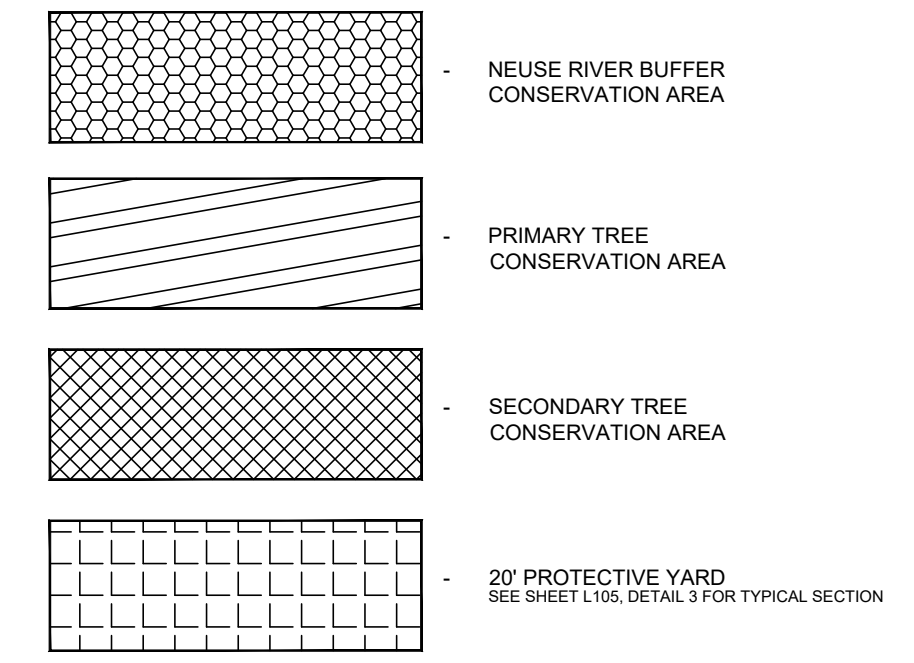
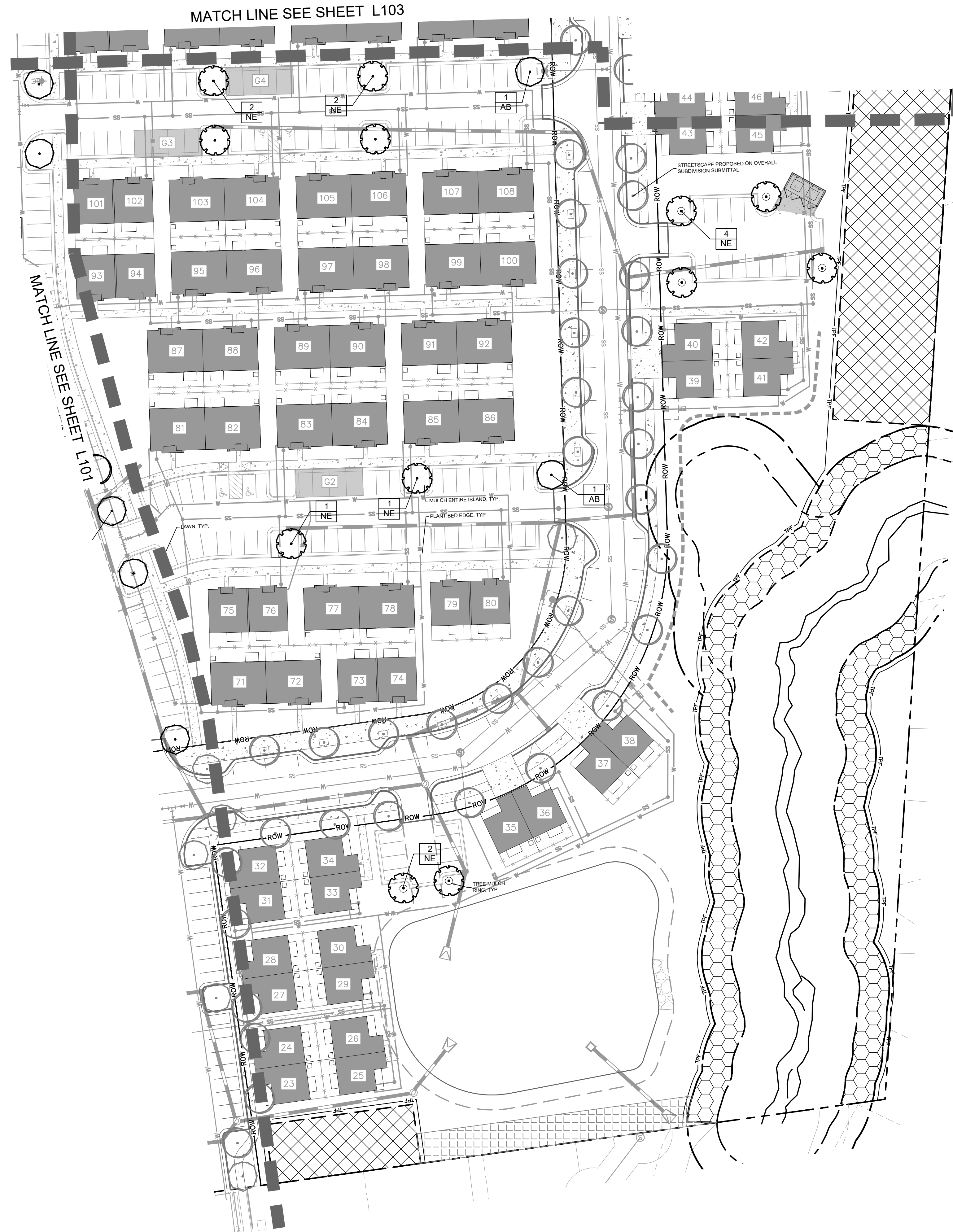
Plotted By: Lam, Rich. Sheet Set: Yardly Buffalo Village Layout: L102 LANDSCAPE PLAN October 13, 2023 02:44:41pm K:\CHL\_PRJ\017270 Taylor Morrison\019 Raleigh-Buffalo\02 - DWG\PlanSheets\ASR PlanSheets\L100 OVERALL LANDSCAPE PLAN.dwg

**PLANT KEY - L102**

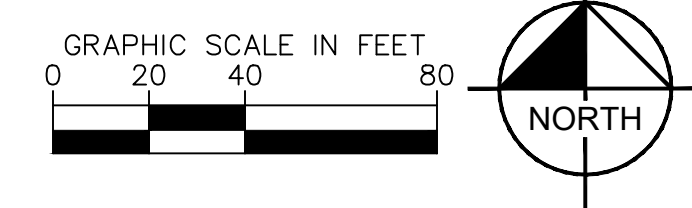
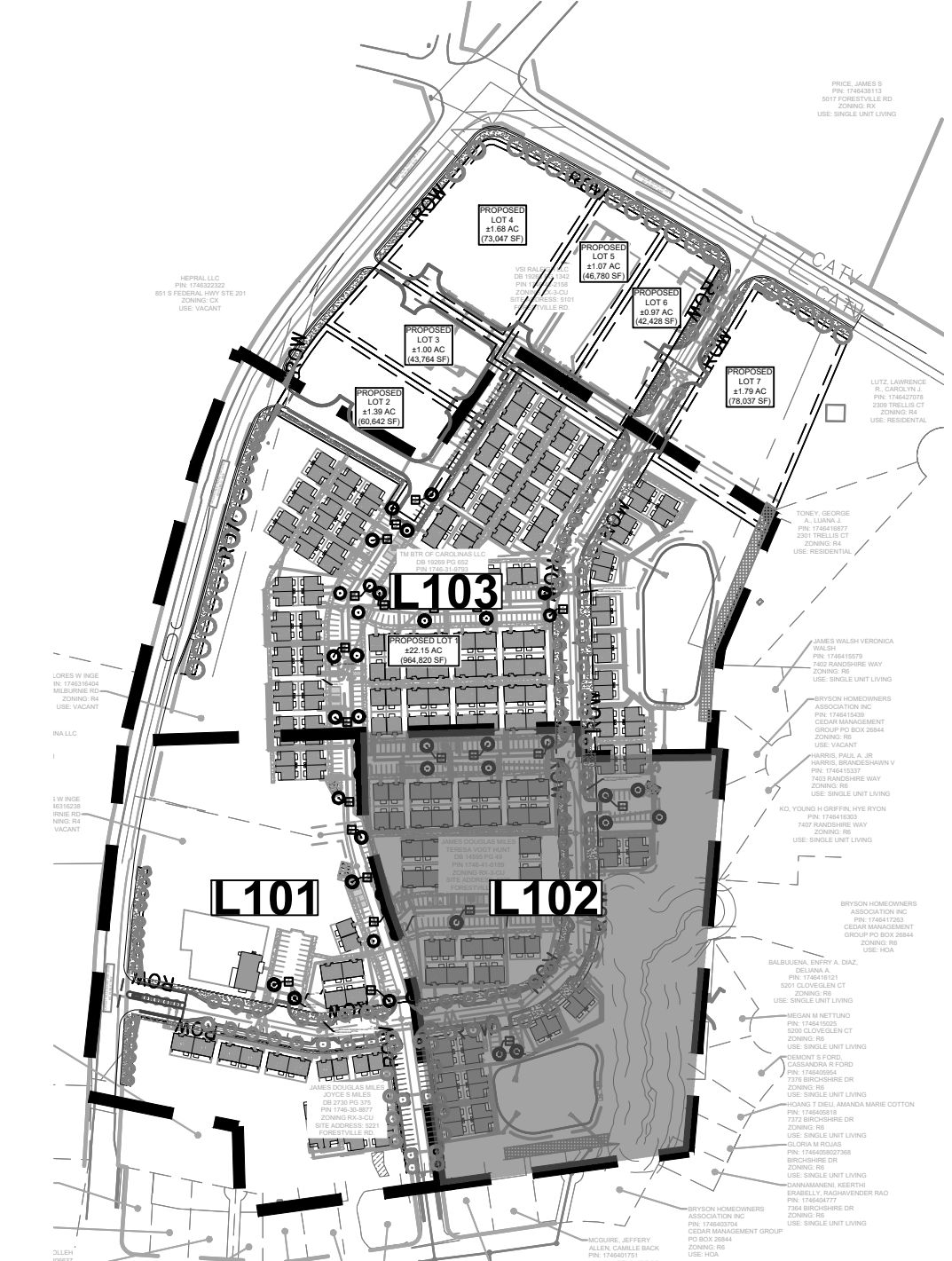
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME
	AB	3	Acer buergerianum	Trident Maple
	NE	12	Nyssa sylvatica 'JFS-red'	Firestarter® Tupelo

**GENERAL NOTES:**

- PLEASE SEE SHEET L104 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, AND NOTES.



**KEY MAP (SCALE 1" = 300')**



No.	REVISIONS	DATE	BY

**Kimley** **Horn**

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**PRELIMINARY**  
NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JTS
DRAWN BY	JTS
CHECKED BY	EGM

**LANDSCAPE PLAN**

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
 YARDLY BY TAYLOR MORRISON  
 RALEIGH NC

SHEET NUMBER  
**L102**

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Plotted By: Lam, Rich. Sheet Set: Yardly Buffalo Village. Layout: L103 LANDSCAPE PLAN. October 13, 2023 02:44:49pm. K:\CHL\_PRJ\017270 Taylor Morrison\019 Raleigh-Buffalo\02 - DWG\PlusSheets\ASR Plans\sheetL103 OVERALL LANDSCAPE PLAN.dwg

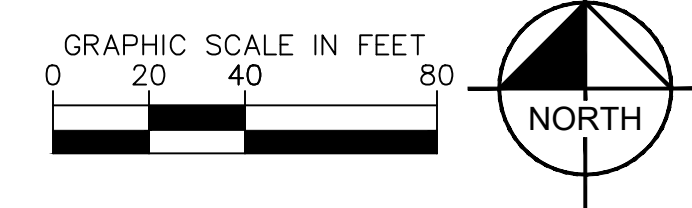
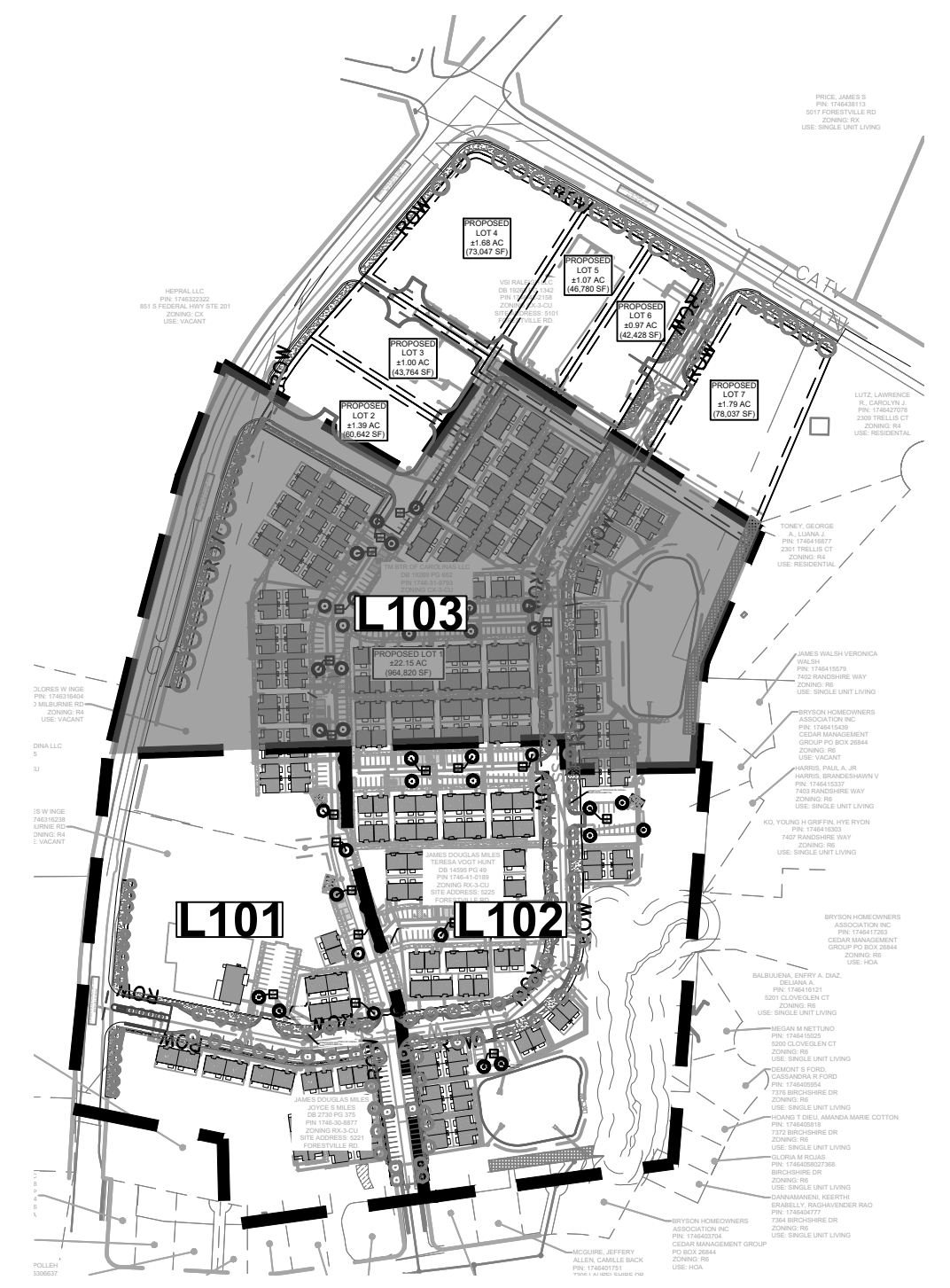
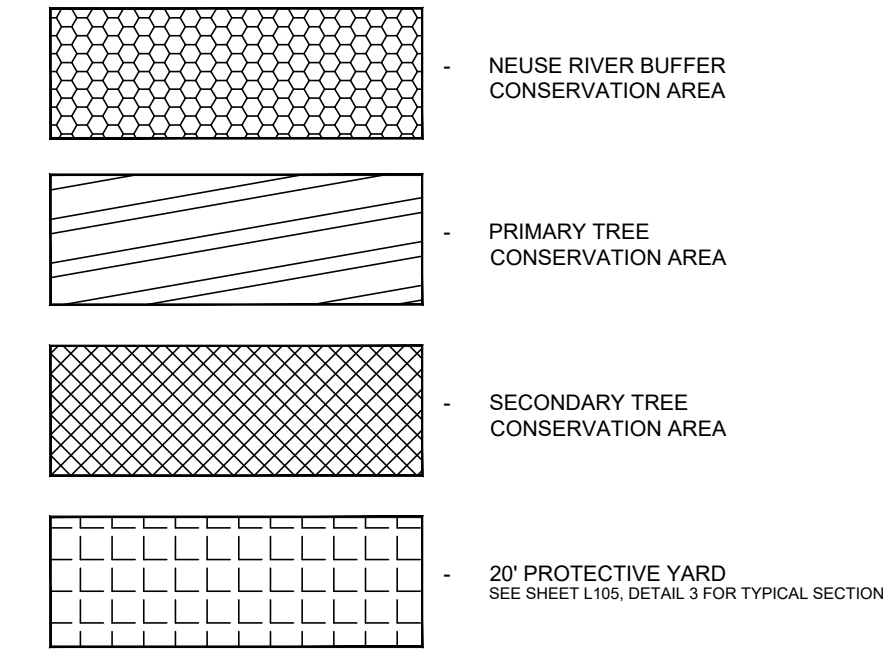
**PLANT KEY - L103**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME
	AB	5	Acer buergerianum	Trident Maple
	NE	5	Nyssa sylvatica 'JFS-red'	Firestarter® Tupelo
	QP	8	Quercus phellos 'QPSTA'	Hightower® Willow Oak

**GENERAL NOTES:**

- PLEASE SEE SHEET L103 LANDSCAPE DETAILS FOR FULL PLANT SCHEDULE, INSTALLATION DETAILS, AND NOTES.

**KEY MAP (SCALE 1" = 300')**



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**PRELIMINARY**  
NOT FOR CONSTRUCTION

KH PROJECT	017270019
DATE	10/13/2023
SCALE	AS SHOWN
DESIGNED BY	JTS
DRAWN BY	JTS
CHECKED BY	EGM

**LANDSCAPE PLAN**

**YARDLY BUFFALO VILLAGE**  
 PREPARED FOR  
 YARDLY BY TAYLOR MORRISON  
 RALEIGH NC

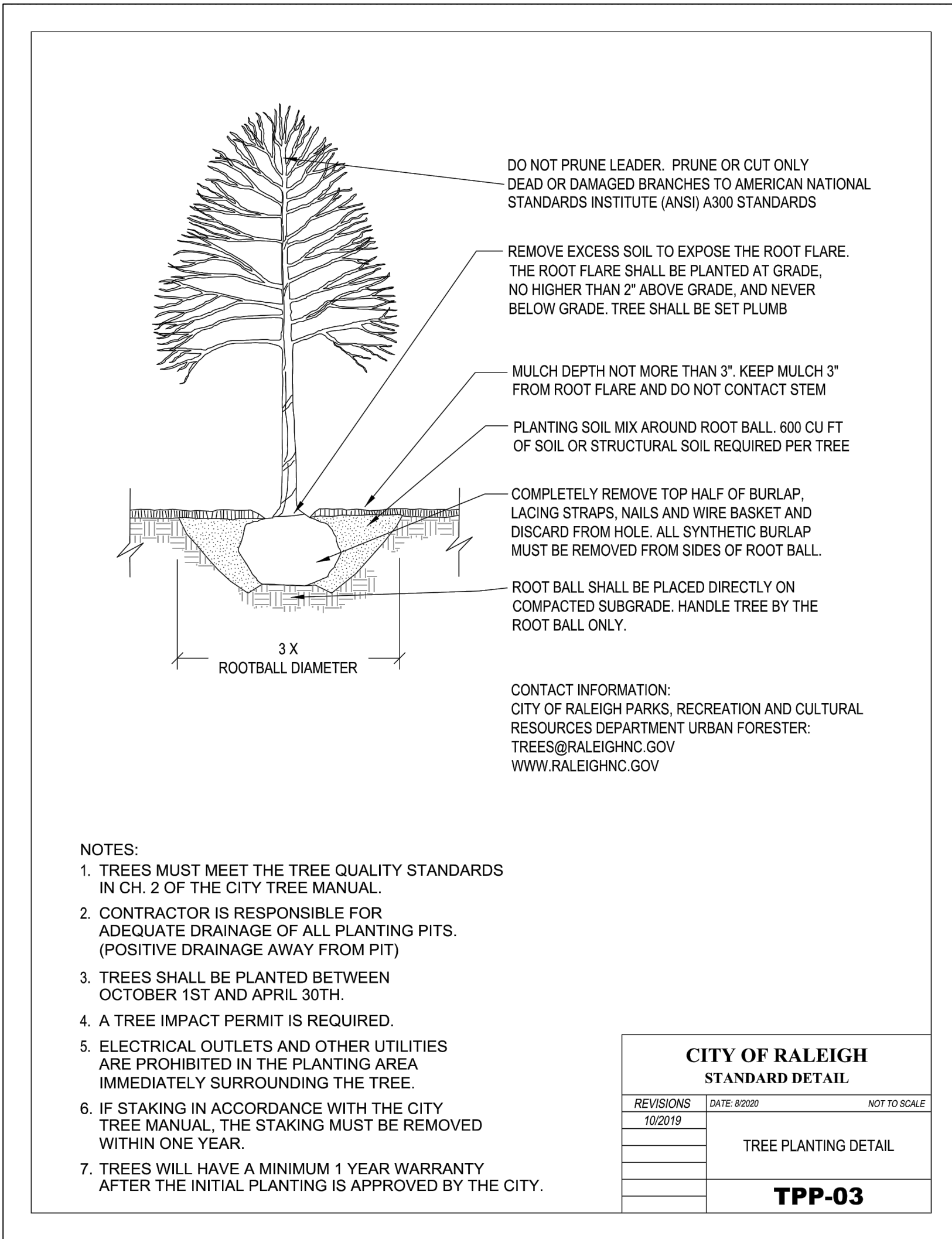
SHEET NUMBER  
**L103**

No.	REVISIONS	DATE	BY

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Plotted By: Lam, Rich. Sheet Set: Yardly Buffalo Village. Layout: L104 LANDSCAPE NOTES AND DETAILS. October 13, 2023. 02:44:51pm. K:\CHL - PRE\1017270 Taylor Morrison\101 Buffalo\02 - DWG\Plant\Sheets\ASR Plant\SheetL100 OVERALL LANDSCAPE PLAN.dwg



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
10/20/19		
		TREE PLANTING DETAIL
		<b>TPP-03</b>

**1** TYPICAL TREE PLANTING  
SCALE: N.T.S. DETAIL

**GENERAL LANDSCAPE NOTES:**

- THE CONTRACT INCLUDES ALL DEMOLITION REQUIRED TO COMPLETE JOB, AND TO REMOVE AND TO DISPOSE OF ITEMS FROM SITE COMPLETELY IN ACCORDANCE WITH LOCAL LAWS. DO NOT BURN OR BURY ANY DEMOLITION ITEMS ON SITE. CONTRACTOR IS RESPONSIBLE FOR MAKING SITE VISIT TO DETERMINE AND VERIFY ALL DEMOLITION REQUIREMENTS PRIOR TO BIDDING. CONTRACTOR SHALL RECYCLE OR DISPOSE OF WASTE PRODUCTS AND PLANT CONTAINERS OFF-SITE IN A RESPONSIBLE MANNER.
- PERMITS AND FEES REQUIRED FOR WORK MUST BE OBTAINED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING ADJACENT PLANTS, FACILITIES & STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER. ADJACENT STREETS & SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD & DUST-FREE.
- EXISTING UTILITIES SHOWN ON LANDSCAPE DRAWINGS ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE & VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES & STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER & THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE OWNER IMMEDIATELY FOR CLARIFICATION.
- UTILITY MANHOLE COVERS AND ACCESS BOX COVERS ARE TO BE LOCATED ENTIRELY WITHIN A PLANTED AREA OR A PAVED AREA, AND CLEAR OF ALL FENCE LINES. IF ANY CONDITION ARISES WHERE A UTILITY COVER IS TO CROSS A BOUNDARY OR FENCE LINE, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL EXISTING SIGNAGE TO REMAIN TO BE PROTECTED IN PLACE OR STOCKPILED AND REINSTALLED UPON COMPLETION OF WORK UNLESS OTHERWISE NOTED OR SPECIFIED.
- PLANT SPECIES ARE SELECTED FOR HARDINESS IN LOCAL CLIMATE. PERMANENT IRRIGATION IS NOT PART OF THIS CONTRACT. PLANTS ARE TO BE WATERED BY CONTRACTOR DURING ESTABLISHMENT PERIOD.
- IF CONTRACTOR IS UNABLE TO LOCATE/PURCHASE ANY OF THE SPECIFIED PLANT MATERIAL LISTED, THE CONTRACTOR SHALL SUBMIT ANY SPECIES ALTERNATIVES TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03.

(SEE PLANTING PLAN)

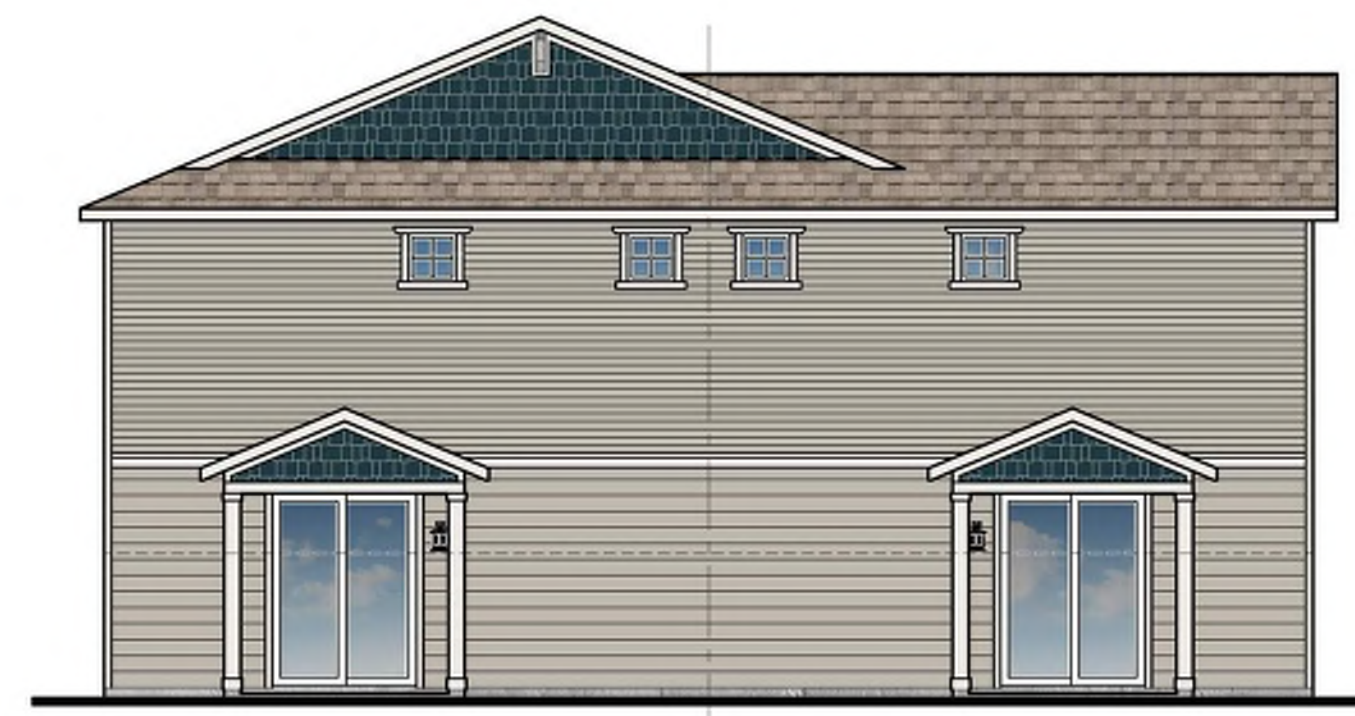
- ALL PLANTS PROVIDED BY CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
- ALL PLANTS ARE TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
- ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 3 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
- THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH OWNER PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE PLANT SCHEDULE) AT THE NURSERY FOR APPROVAL BY THE OWNER PRIOR TO PURCHASING PLANTS.
- OWNER SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE OWNER.
- ALL PLANTS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE BEFORE PLANTING.
- ALL LANDSCAPE AREAS TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN AND DRAINAGE PLANS FOR SPECIFIC GRADING INFORMATION AND PIPE INVERTS.
- ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
- ALL SHRUB, GROUND COVER & ANNUAL PLANTING BEDS SHALL BE FILLED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- FINISH OFF 2' - 4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND ROOT FLARE.
- CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL COMPLETION OF WORK.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO COMPLETION OF WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET PLANT SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING.
- EXISTING PLANT MATERIAL MAY BE USED TO SATISFY PERIMETER PARKING ISLAND REQUIREMENTS. EXISTING MATERIAL MUST BE IN ADEQUATE HEALTH AND MEET SIZE AND SPECIES REQUIREMENTS AS LISTED IN THE CITY OF RALEIGH UDO TO BE COUNTED. PLANT MATERIAL SHOWN ON SHEET C7.0 AS PERIMETER ISLAND PLANTINGS REPRESENT THE CORRECT NUMBER OF PLANTS TO SATISFY PERIMETER ISLAND REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO FLAG ADEQUATE PLANT MATERIAL TO PRESERVE, PRIOR TO LANDSCAPE INSTALLATION.



YARDLY BUFFALO VILLAGE PREPARED FOR YARDLY BY TAYLOR MORRISON RALEIGH NC	LANDSCAPE NOTES AND DETAILS	KH PROJECT 017270019 DATE 10/13/2023 SCALE AS SHOWN DESIGNED BY JTS DRAWN BY JTS CHECKED BY EGM		<p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN ST. SUITE 212, HOLLY SPRINGS, NC 27540 PHONE: 919-677-2000 WWW.KIMLEY-HORN.COM NC LICENSE #P-1012</p>	REVISIONS	BY
					No.	DATE



**LEFT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**REAR ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**RIGHT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**FRONT ELEVATION**  
CRAFTSMAN 1/4" = 1'-0"

COLOR SCHEME 1  
BUILDING B-B | UNITS B, B | CAROLINA REGIONAL PRODUCT

8-10-2023



**LEFT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**REAR ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



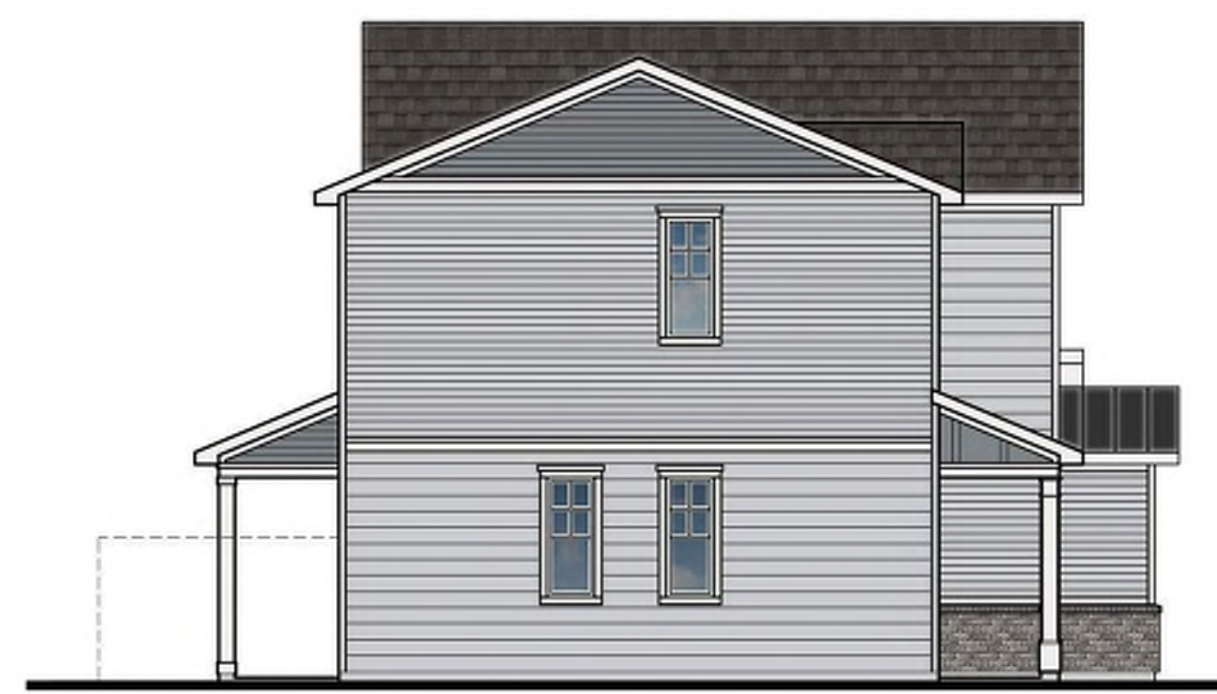
**RIGHT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**FRONT ELEVATION**  
FARMHOUSE 1/4" = 1'-0"

COLOR SCHEME 2  
BUILDING B-B | UNITS B, B | CAROLINA REGIONAL PRODUCT

8-10-2023



**LEFT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**REAR ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**RIGHT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**FRONT ELEVATION**  
TRADITIONAL 1/4" = 1'-0"

- ASPHALT SHINGLE ROOFING
- LAP SIDING (4" EXP)
- STANDING SEAM METAL ROOF
- COACH LIGHT
- LAP SIDING (8" EXP)
- ROWLOCK CAP
- MASONRY VENEER

- OVERALL HEIGHT
- T.O. PLATE
- ± 27'-0"
- 9'-1"
- FIN. FLR
- T.O. PLATE
- 9'-1"
- FIN. FLR

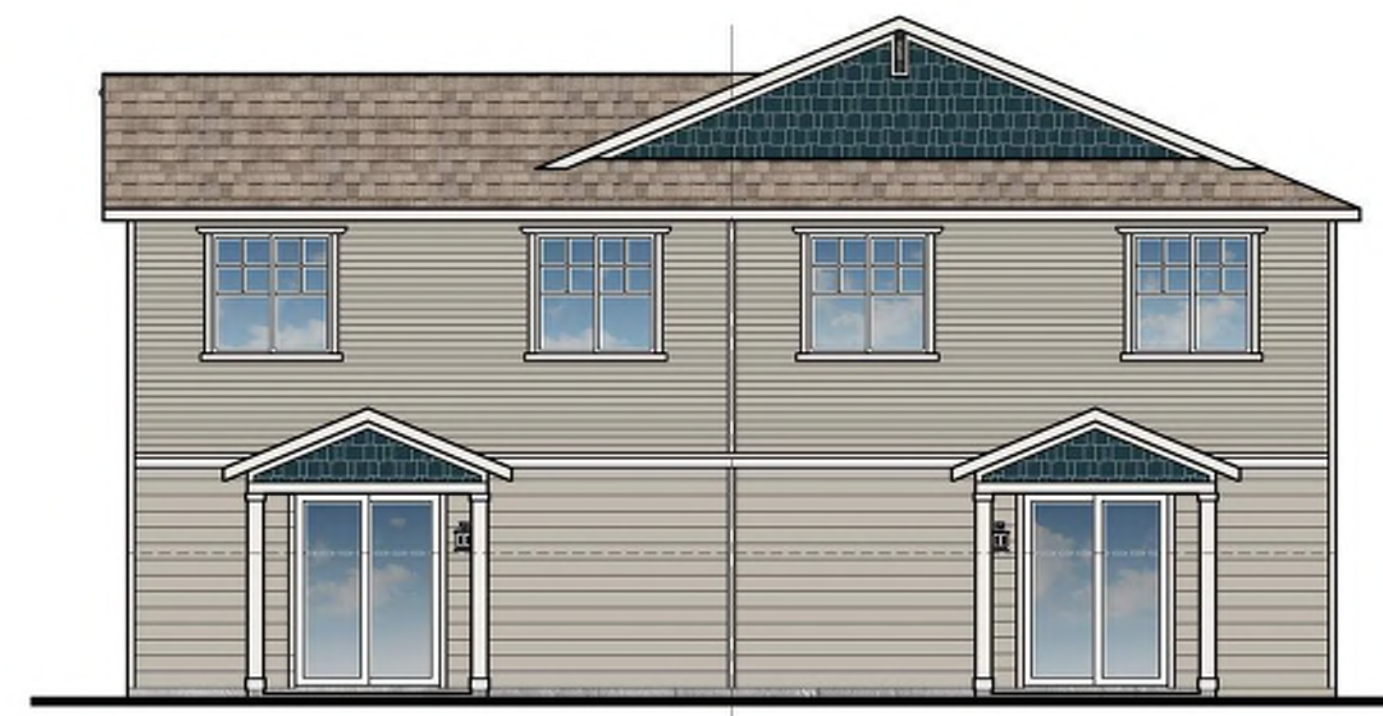
COLOR SCHEME 3

**BUILDING B-B | UNITS B, B | CAROLINA REGIONAL PRODUCT**

8-10-2023



**LEFT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**REAR ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**RIGHT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**FRONT ELEVATION**  
CRAFTSMAN 1/4" = 1'-0"

COLOR SCHEME 1  
BUILDING C-C | UNITS C, C | CAROLINA REGIONAL PRODUCT

8-10-2023



**LEFT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**REAR ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**RIGHT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**FRONT ELEVATION**  
FARMHOUSE 1/4" = 1'-0"

- ASPHALT SHINGLE ROOFING
- BOARD & BATTEN SIDING
- LAP SIDING (4" EXP)
- STANDING SEAM METAL ROOF
- COACH LIGHT
- LAP SIDING (8" EXP)
- CUT STONE CAP
- MASONRY VENEER

OVERALL HEIGHT  
± 27'-0"  
T.O. PLATE  
9'-1"  
FIN. FLR.  
T.O. PLATE  
9'-1"  
FIN. FLR.

12  
17

12  
5

COLOR SCHEME 2  
BUILDING C-C | UNITS C, C | CAROLINA REGIONAL PRODUCT

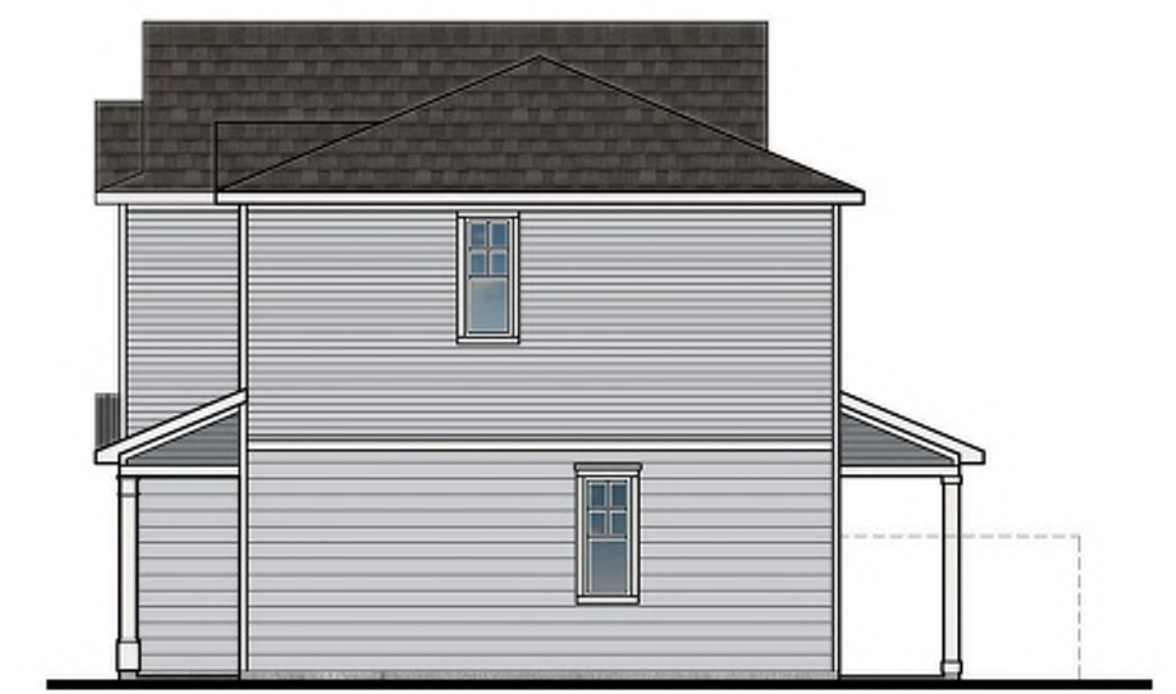
8-10-2023



**LEFT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**REAR ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**RIGHT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**FRONT ELEVATION**  
TRADITIONAL 1/4" = 1'-0"

- ASPHALT SHINGLE ROOFING
- LAP SIDING (4" EXP)
- STANDING SEAM METAL ROOF
- COACH LIGHT
- DECORATIVE COLUMN
- LAP SIDING (8" EXP)

- OVERALL HEIGHT
- T.O. PLATE
- ± 27'-0"
- 9'-1"
- FIN. FLR.
- T.O. PLATE
- 9'-1"
- FIN. FLR.

COLOR SCHEME 3  
**BUILDING C-C | UNITS C, C | CAROLINA REGIONAL PRODUCT**

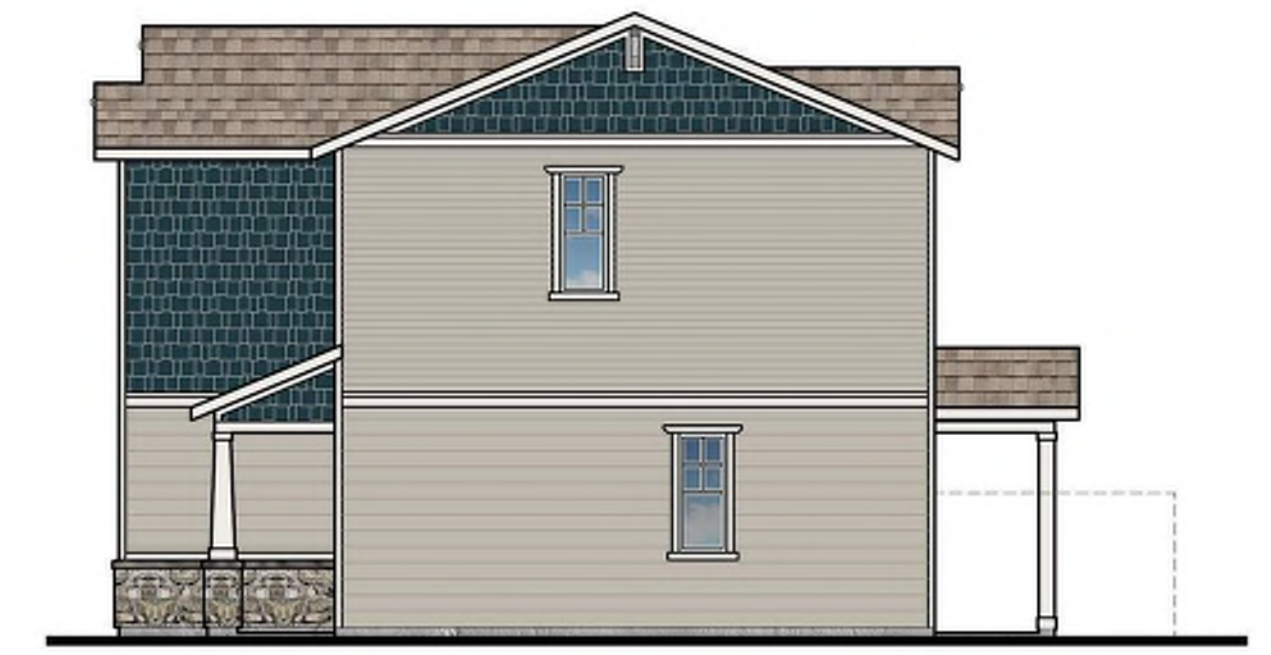
8-9-2023



**LEFT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**REAR ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**RIGHT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**FRONT ELEVATION**  
CRAFTSMAN 1/4" = 1'-0"

- ASPHALT SHINGLE ROOFING
- DECORATIVE BRACKET
- SHINGLE SIDING
- LAP SIDING (4" EXP)
- STANDING SEAM METAL ROOF
- COACH LIGHT
- LAP SIDING (8" EXP)
- MASONRY VENEER

- OVERALL HEIGHT
- T.O. PLATE
- 9'-1"
- ± 25'-6"
- FIN. FLR.
- T.O. PLATE
- 9'-1"
- FIN. FLR.

COLOR SCHEME 1  
BUILDING D-D | UNITS D, D | CAROLINA REGIONAL PRODUCT

8-10-2023





**LEFT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**REAR ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**RIGHT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**FRONT ELEVATION**  
FARMHOUSE 1/4" = 1'-0"

ASPHALT SHINGLE ROOFING

BOARD & BATTEN SIDING

LAP SIDING (4" EXP)

STANDING SEAM METAL ROOF

COACH LIGHT

LAP SIDING (8" EXP)

MASONRY VENEER

OVERALL HEIGHT

T.O. PLATE

± 27'-0"

9'-1"

FIN. FLR.

T.O. PLATE

9'-1"

FIN. FLR.

12

7

COLOR SCHEME 2

BUILDING D-D | UNITS D, D | CAROLINA REGIONAL PRODUCT

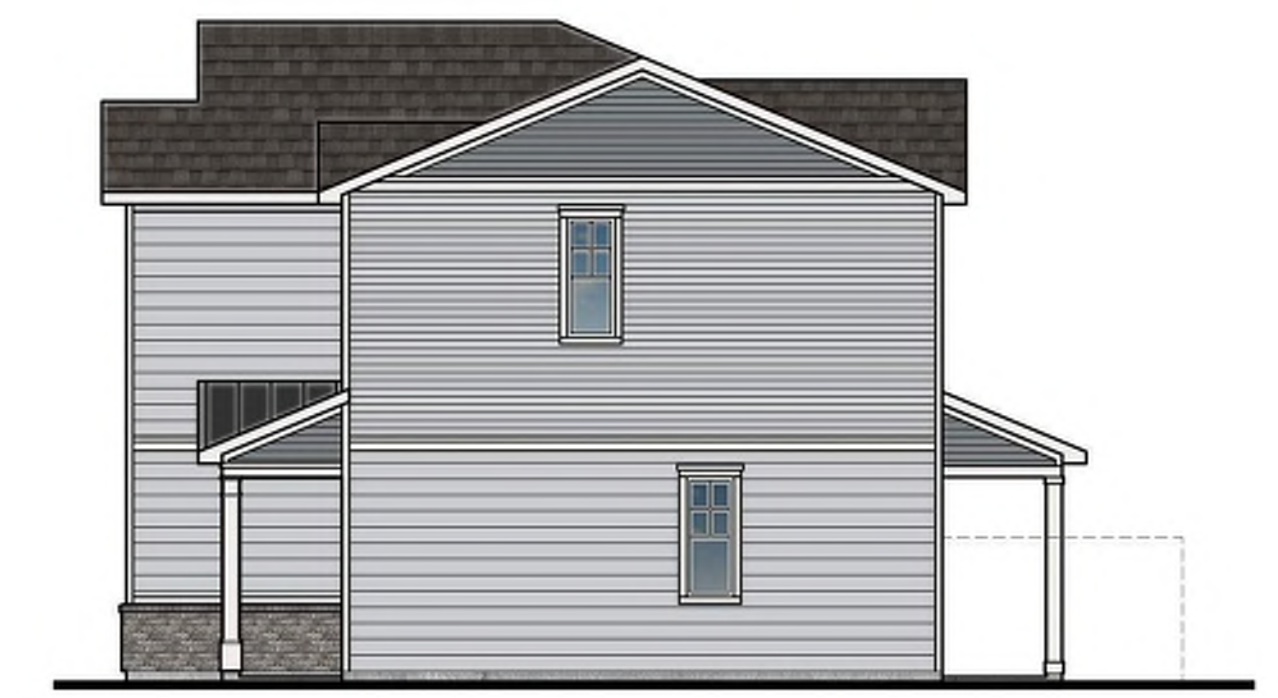
8-10-2023



**LEFT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**REAR ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**RIGHT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**FRONT ELEVATION**  
TRADITIONAL 1/4" = 1'-0"

COLOR SCHEME 3  
BUILDING D-D | UNITS D, D | CAROLINA REGIONAL PRODUCT

8-10-2023



**LEFT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**REAR ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**RIGHT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**FRONT ELEVATION**  
CRAFTSMAN 1/4" = 1'-0"

COLOR SCHEME 1  
BUILDING E-E | UNITS E, E | CAROLINA REGIONAL PRODUCT

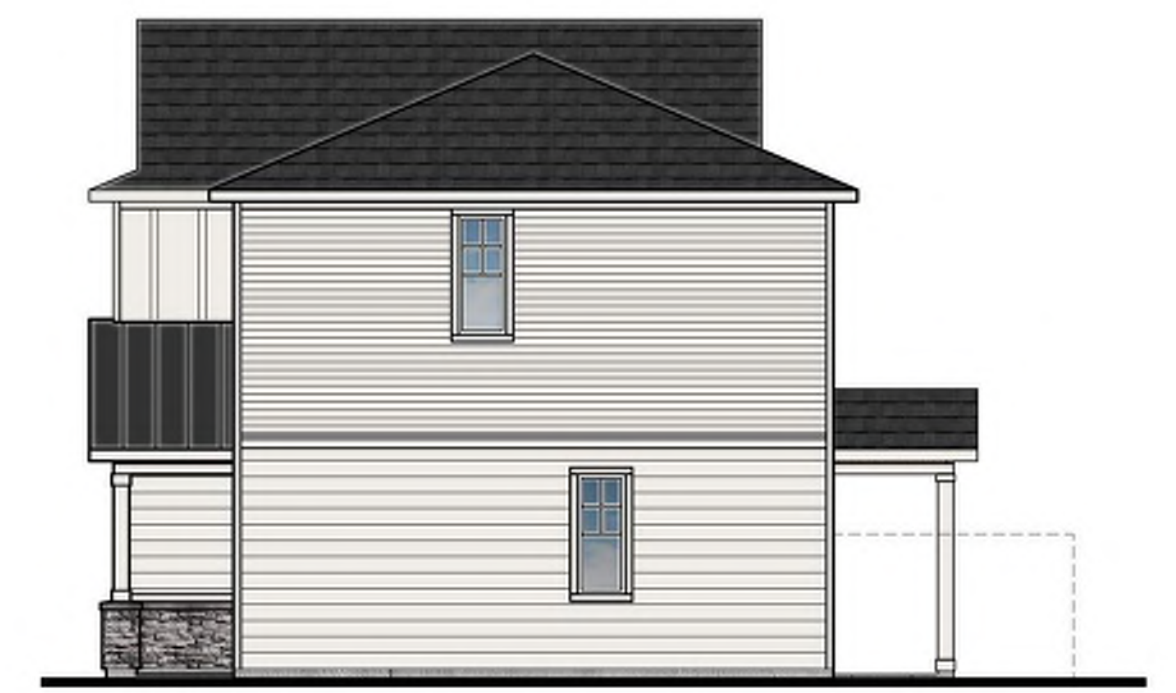
8-10-2023



**LEFT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**REAR ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**RIGHT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



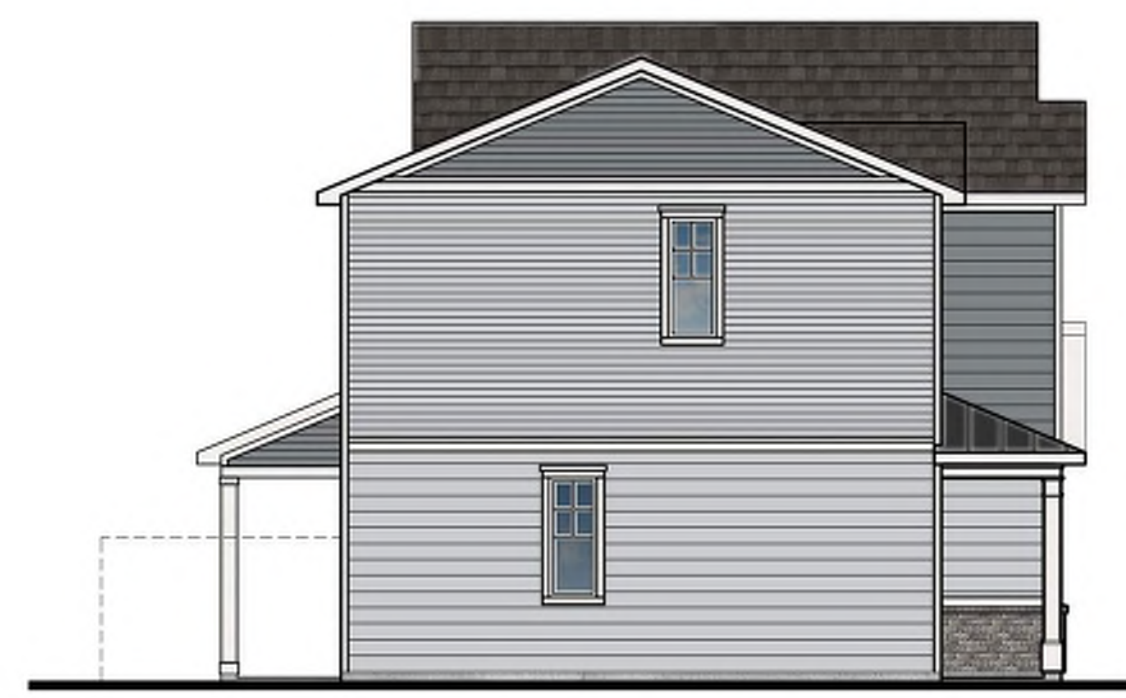
**FRONT ELEVATION**  
FARMHOUSE 1/4" = 1'-0"

- ASPHALT SHINGLE ROOFING
- BOARD & BATTEN SIDING
- LAP SIDING (4" EXP)
- STANDING SEAM METAL ROOF
- COACH LIGHT
- LAP SIDING (8" EXP)
- CUT STONE CAP
- MASONRY VENEER

- OVERALL HEIGHT
- T.O. PLATE
- 9'-1"
- ± 27'-0"
- FIN. FLR.
- T.O. PLATE
- 9'-1"
- FIN. FLR.

COLOR SCHEME 2  
BUILDING E-E | UNITS E, E | CAROLINA REGIONAL PRODUCT

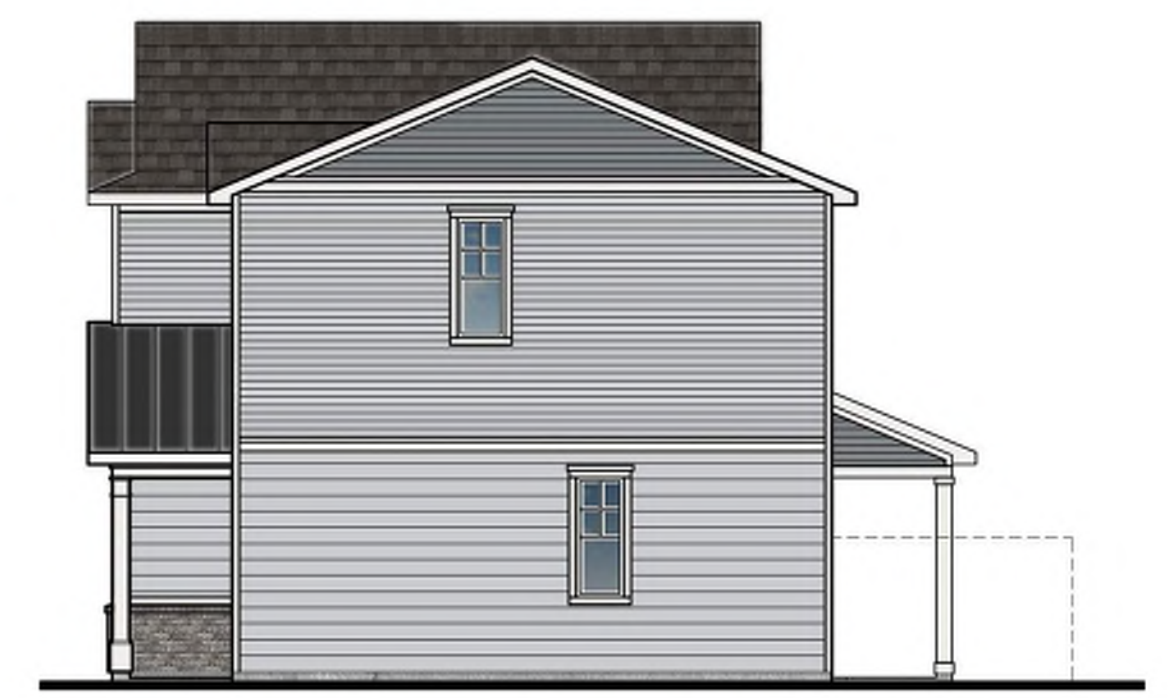
8-10-2023



**LEFT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**REAR ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**RIGHT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**FRONT ELEVATION**  
TRADITIONAL 1/4" = 1'-0"

- ASPHALT SHINGLE ROOFING
- LAP SIDING (4" EXP)
- STANDING SEAM METAL ROOF
- COACH LIGHT
- LAP SIDING (8" EXP)
- ROWLOCK CAP
- MASONRY VENEER

- OVERALL HEIGHT
- T.O. PLATE
- 9'-1"
- FIN. FLR.
- T.O. PLATE
- 9'-1"
- FIN. FLR.

COLOR SCHEME 3  
BUILDING E-E | UNITS E, E | CAROLINA REGIONAL PRODUCT

8-10-2023



**FRONT ELEVATION**  
ELEVATION A - CRAFTSMAN 1/4" = 1'-0"

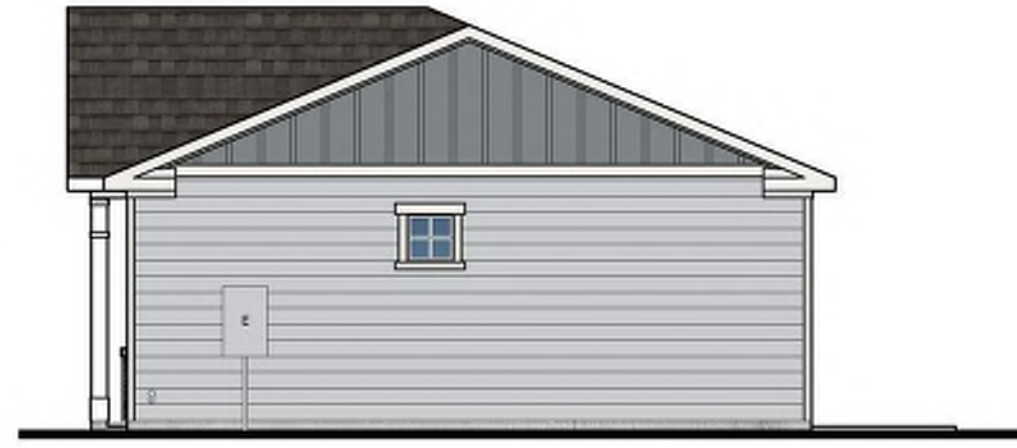


**FRONT ELEVATION**  
ELEVATION B - MODERN FARMHOUSE 1/4" = 1'-0"



**FRONT ELEVATION**  
ELEVATION C - TRADITIONAL 1/4" = 1'-0"

- COMMUNITY GENERAL NOTES:**
- 1) Exterior materials shall be limited to a mix of Fiber Cement, Stone, Stucco, and/or Brick Materials
  - 2) Units built on slab foundations shall have a minimum four course brick/stone of standard size, extending up the face of the slab
  - 3) Front wall of all units shall not run unbroken (unarticulated) for a distance of more than 24 linear feet. All wall offsets shall be a minimum of one (1) foot in depth.
  - 4) Majority of all roof areas on any unit shall have a minimum 6/12 pitch roof.
  - 5) Any exposed chimneys shall be stucco or brick veneered consistent with the architecture of the home



**RIGHT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**REAR ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**LEFT ELEVATION**  
TRADITIONAL 1/8" = 1'-0"



**FRONT ELEVATION**  
TRADITIONAL 1/4" = 1'-0"

- DECORATIVE GABLE VENT
- STANDING SEAM METAL ROOF
- COMPOSITE SHINGLES
- 1x6 FASCIA TRIM TYP
- DECORATIVE SHUTTERS
- 1x4 CEMENTITIOUS TRIM & VERTICAL PANEL
- CEMENTITIOUS LAP SIDING
- PRE-CAST STONE CAP
- MASONRY VENEER

OVERALL HEIGHT  
T.O. PLATE  
FIN. FLR

10-12 TYP

COLOR SCHEME 3  
BUILDING 2-2 | YARDLY BTR TWO - FAMILY | CAROLINA REGIONAL PRODUCT

8-29-2023



**RIGHT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**REAR ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**LEFT ELEVATION**  
CRAFTSMAN 1/8" = 1'-0"



**FRONT ELEVATION**  
CRAFTSMAN 1/4" = 1'-0"

- DECORATIVE BRACKET
- CEMENTITIOUS SHINGLE SIDING
- COMPOSITE SHINGLES
- 1x6 FASCIA TRIM TYP
- 1x4 CEMENTITIOUS TRIM & VERTICAL PANEL
- CEMENTITIOUS LAP SIDING
- PRE-CAST STONE CAP
- MASONRY VENEER

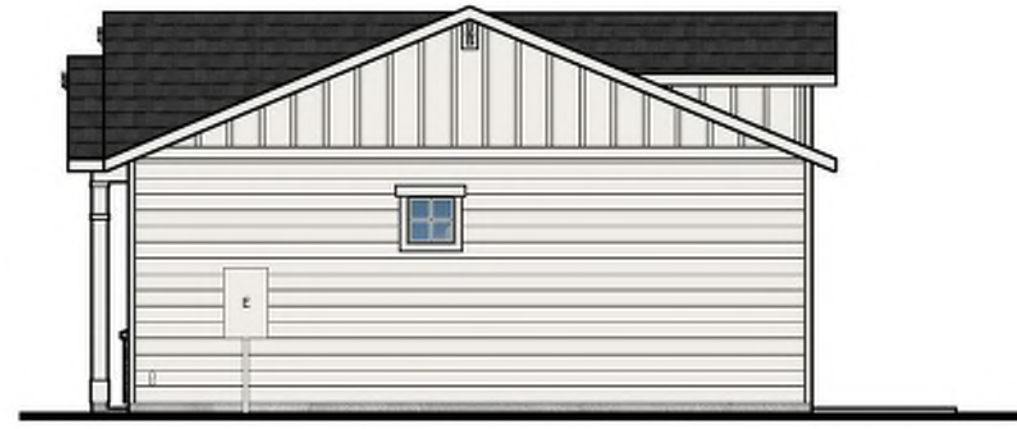
OVERALL HEIGHT  
T.O. PLATE  
10'-11"

COLOR SCHEME 1

**BUILDING 2-2 | YARDLY BTR TWO - FAMILY | CAROLINA REGIONAL PRODUCT**

8-29-2023





**RIGHT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**REAR ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**LEFT ELEVATION**  
FARMHOUSE 1/8" = 1'-0"



**FRONT ELEVATION**  
FARMHOUSE 1/4" = 1'-0"

COLOR SCHEME 2

**BUILDING 2-2 | YARDLY BTR TWO - FAMILY | CAROLINA REGIONAL PRODUCT**

8-29-2023