



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: _____

Inside City limits? Yes No

Property address(es): _____

Site P.I.N.(s): _____

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s):

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder

Company: _____ Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK


Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

Administrative Site Review Application

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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: 0.00-14
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #:
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustments #:
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit	Zoning Case #: 2.25-2013
<input type="checkbox"/> Open lot	<input type="checkbox"/> Development Option	Design Alternate #:

GENERAL INFORMATION

Development name: Zaxby's - Lake Boone Trail

Inside City limits? Yes No

Property address(es): 4112 Lake Boone Trail

Site P.I.N.(s): 0785922003

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Single story retail/restaurant building with drive-thru and associated parking and utilities.

Current Property Owner(s): TBR Lake Boone Owner LLC/TR

Company: TBR Lake Boone Owner LLC/TR Title:

Address: PO Box 20197, Atlanta, GA 30325

Phone #: Email:

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: McAdams Address: 621 Hillsborough St, Ste 500

Revision 01.01.24
raleighnc.gov

Phone #: 919-361-5000 Email: veno@mcadamsco.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Matthew Bullard

Company: Two Birdz, LLC Title: Manager

Address: 608 Lakeshore Drive, Raleigh, NC 27609

Phone #: 919-295-2100 Email: trevor@br1980.com

Applicant Name: Richard Veno

Company: McAdams Address: 621 Hillsborough Street, Suite 500, Raleigh, NC 27603

Phone #: 919-361-5000 Email: veno@mcadamsco.com

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA **BUILDING DATA**

Zoning district(s) (please provide the acreage of each): Existing gross floor area (not to be demolished):

CX-5-PL-CU Existing gross floor area: N/A

Gross site acreage: 0.87 Existing gross floor area to be demolished:

of parking spaces proposed: 20 New gross floor area: 2,300SF

Max # parking permitted (7.2.C): 23 Total # of gross (to remain and new): 2,300SF

Overlay District (if applicable): Existing use (UDO 6.1.4): Vacant Proposed # of buildings: 1

Existing use (UDO 6.1.4): Vacant Proposed # of stories for each: 1

Proposed use (UDO 6.1.4): Retail/Restaurant Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION

Imperious Area on Parcel(s): Impervious Area for Compliance (includes ROW):

Existing (sf) 15,296 Proposed total (sf) 28,000

Existing (sf) 15,296 Proposed total (sf) 28,000

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: N/A Total # of hotel bedrooms: N/A

of bedroom units: 1br 2br 3br 4br or more

of lots: Is your project a cottage court? Yes No

A frequent transit development? Yes No

Continue to Applicant Signature Block on Page 4.

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Signature: _____ Date: 9/10/2024

Printed Name: Richard Veno

Signature: _____ Date: _____

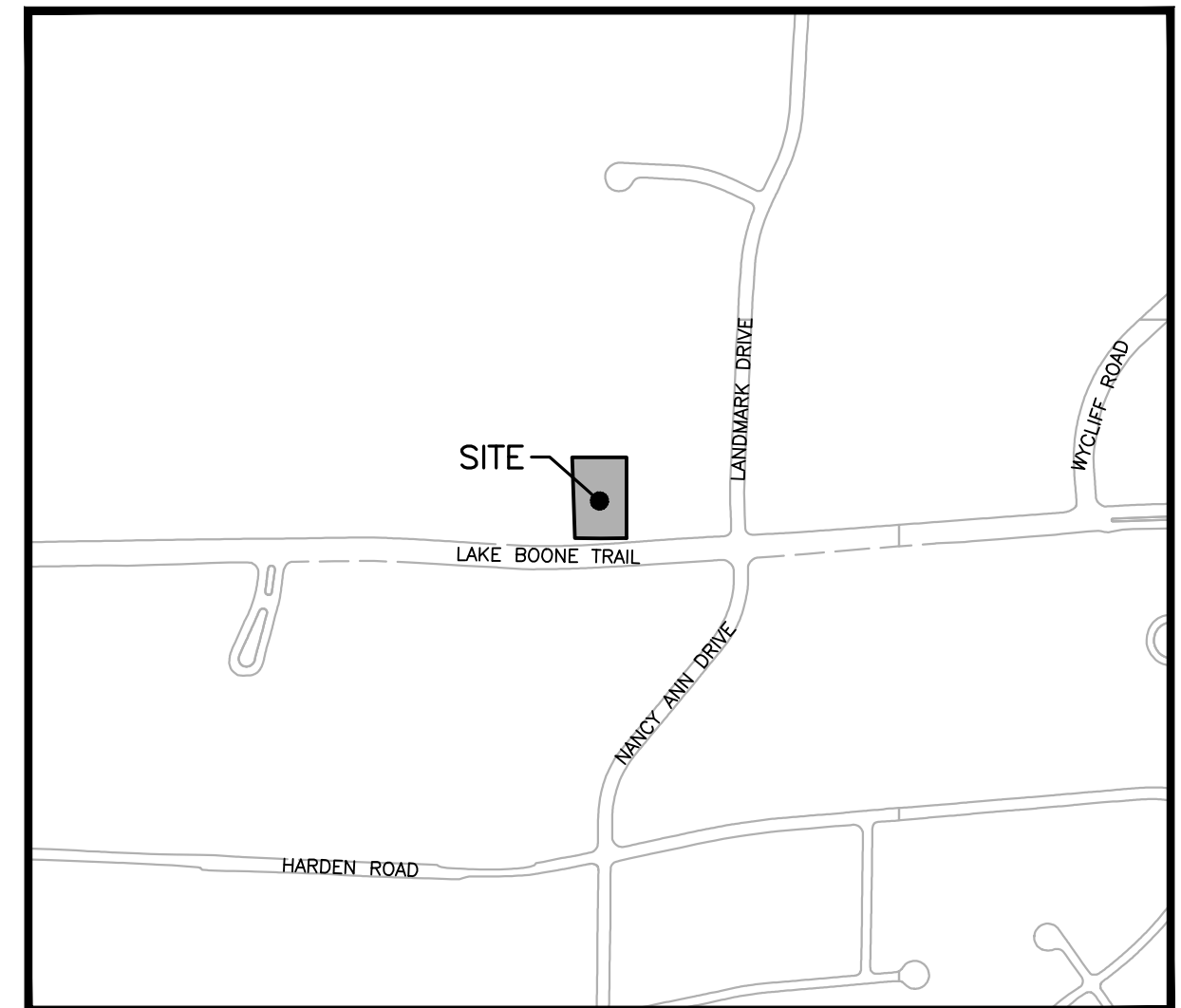
Printed Name: _____

Revision 01.01.24
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ZAXBY'S - LAKE BOONE TRAIL

4112 LAKE BOONE TRAIL
RALEIGH, NORTH CAROLINA, 27607
ADMINISTRATIVE SITE REVIEW
PROJECT NUMBER: SPEC24398

DATE: SEPTEMBER 10, 2024



VICINITY MAP
1"=500'

SITE DATA TABLE	
SITE ADDRESS	4112 LAKE BOONE TRAIL RALEIGH, NORTH CAROLINA 27607
OWNER	TBR LAKE BOONE OWNER, LLC PO BOX 56607 ATLANTA, GEORGIA 30343
PIN	0785922003
EXISTING USE	OPEN LOT/VACANT
PROPOSED USE	GENERAL (RESTAURANT)
REAL ESTATE ID	0434935
ZONING	CX-5-PL-CU
WATERSHED	ORABITRE_CREEK
LOT AREA	38,101 SF / 0.87 AC
PROJECT AREA	0.70 ACRES
AREA IN FLOODWAY/FLOODPLAIN	NONE
BUILDING SQUARE FOOTAGE	2,300 GFA
AMENITY AREA	REQUIRED: 38,101X10% = 3,810 SF PROPOSED: 3,811 SF
BUILDING SETBACKS	PRIMARY STREET: 5' SIDE: 6' REAR: 6'
PARKING SETBACKS	PRIMARY STREET: 10' SIDE: 0' OR 3' REAR: 0' OR 3'
PARKING REQUIREMENTS	REQUIRED: 15 SPACES (1 PER 150 GFA) (1 ACCESSIBLE SPACE INCLUDED) MAXIMUM: 23 SPACES (1 PER 100 GFA) PROPOSED: 21 SPACES (1 ACCESSIBLE SPACE INCLUDED)
BIKE PARKING REQUIREMENTS	REQUIRED: SHORT-TERM: 1 PER 50,000 SF (MIN. 4) LONG-TERM: 1 PER 25,000 SF (MIN. 4) TOTAL REQUIRED SHORT-TERM PARKING: 4 TOTAL REQUIRED LONG-TERM PARKING: 4 TOTAL PROVIDED PARKING: 8
IMPERVIOUS AREA	EXISTING: 0.35 AC / 15,296 SF (40.2%) PROPOSED: 0.64 AC / 28,000 SF (73.5%)

Sheet List Table	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	PROJECT NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	PAVEMENT AND SIGNAGE PLAN
C3.00	GRADING PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	WATER & SEWER DETAILS
C8.02	STORM DRAINAGE DETAILS
L5.00	LANDSCAPE PLAN
A102	REFERENCE FLOOR PLAN
AZ02	EXTERIOR ELEVATIONS
AZ02A	EXTERIOR ELEVATIONS

CONDITION OF APPROVAL

- A TRANSPROSED COPY OF THE PROPOSED SOLID WASTE SERVICE AGREEMENT FROM THE PRIVATE CONTRACTOR SHALL BE PROVIDED PRIOR TO SITE PERMIT REVIEW APPROVAL OUTLINING TIMES OF SERVICE ON THE PROVIDERS LETTER HEAD.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS. HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88

NOTE:

A CROSS ACCESS AGREEMENT HAS BEEN PREVIOUSLY RECORDED FOR LOTS 2-5 UNDER BM: 16461, PGS. 1503-1542.

SOLID WASTE INSPECTION STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at **(919) 996-2409**, and the **Public Utilities Department** at **(919) 996-4540** at least **twenty-four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection**, **Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CONTACT
RICHARD VENO
VENO@MCADAMSCO.COM
PHONE: 919. 361. 5000

CLIENT
TWO BIRDZ, LLC
608 LAKESTONE DRIVE
RALEIGH, NORTH CAROLINA 27609
PHONE: XXX. XXX. XXXX

PROJECT DIRECTORY
DEVELOPER
TWO BIRDZ, LLC
608 LAKESTONE DRIVE
RALEIGH, NORTH CAROLINA 27609
PHONE: XXX. XXX. XXXX
ARCHITECT
APD ENGINEERING & ARCHITECTURE, PLLC
615 FISHERS RUN
VICTOR, NEW YORK 14564
PHONE: 585. 742. 2222

REVISIONS

NO.	DATE
1	-
2	-
3	-

ADMINISTRATIVE SITE REVIEW FOR:
ZAXBY'S - LAKE BOONE TRAIL
4112 LAKE BOONE TRAIL
RALEIGH, NORTH CAROLINA, 27607
PROJECT NUMBER: SPEC24398



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CLIENT

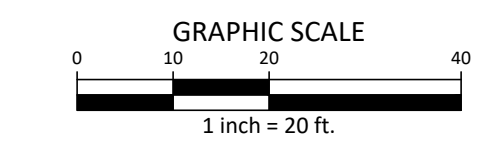
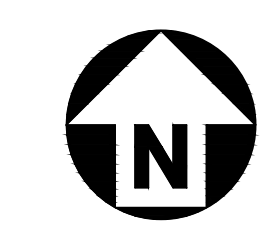
TWO BIRD, LLC
608 LAKESTONE DRIVE
RALEIGH, NORTH CAROLINA 27609
PHONE: OWNER PHONE

ZAXBY'S - LAKE BOONE TRAIL
ADMINISTRATION SITE REVIEW
4112 LAKE BOONE TRAIL
RALEIGH, NORTH CAROLINA 27607

PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- BORE HOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- GUY WIRE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- FIBER OPTIC MARKER
- FIBER OPTIC VAULT
- SIGN
- BOLLARD
- SD — STORM DRAIN PIPE
- OU — OVERHEAD UTILITY LINES
- W — WATER LINE
- SS — SANITARY SEWER LINE
- T — TELEPHONE LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- X — FENCE LINE
- X — TREE LINE
- G — GUARDRAIL



REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. SPEC24398
 FILENAME SPEC24398-ASR-XC1
 CHECKED BY RW
 DRAWN BY MKB
 SCALE 1" = 20'
 DATE 09.10.2024

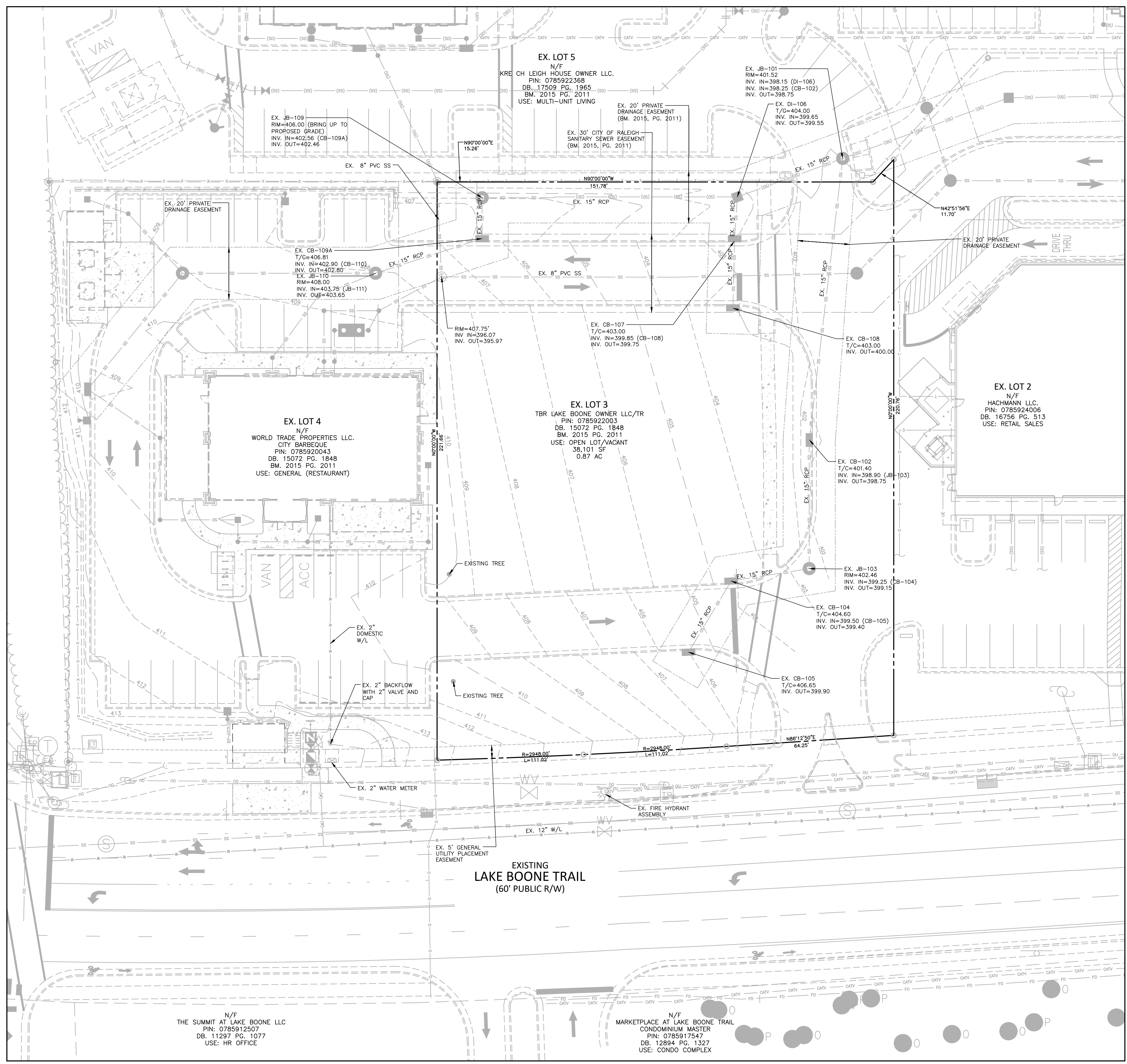
SHEET

EXISTING CONDITIONS

C1.00



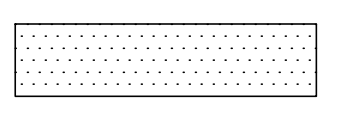
ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



X:\Projects\SPEC24398\Zaxby's - Raleigh, NC - Lake Boone Trail\04-Production\Engineering\Construction\Drawings\Current\Drawings\SPEC24398-ASR-XC1.dwg, 9/10/2024, 4:18:23 PM, Mikaela Blackwood

DEMOLITION LEGEND

-  TREE OR OTHER VEGETATION TO BE REMOVED
-  UNDERGROUND UTILITY TO BE REMOVED
-  AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE CO.01 FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



McADAMS

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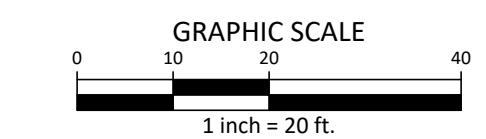
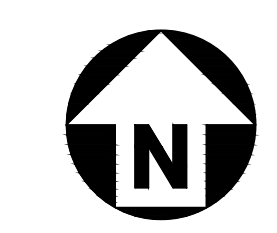
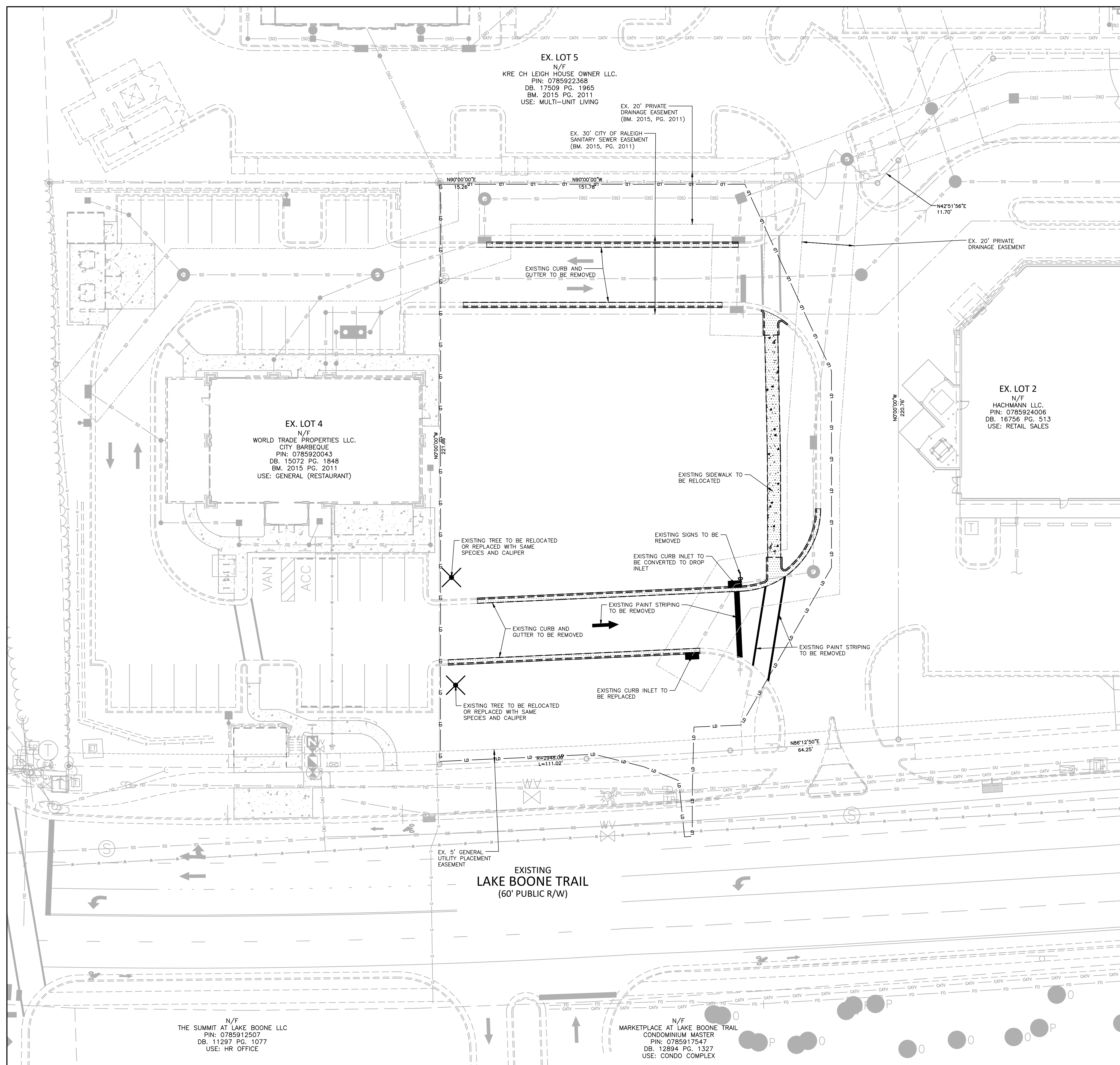
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Know what's below.
Call before you dig.

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REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	SPEC24398
FILENAME	SPEC24398-ASR-DM1
CHECKED BY	RW
DRAWN BY	MKB
SCALE	1" = 20'
DATE	09.10.2024

SHEET

DEMOLITION PLAN

C1.01

X:\Projects\SPEC\24398\Zaxby's - Raleigh, NC - Lake Boone Trail\04-Production\Engineering\Construction\Drawings\Current\Drawings\SPEC\24398-ASR-DM1.dwg, 9/10/2024 4:18:31 PM, Mikalaha Blackwood



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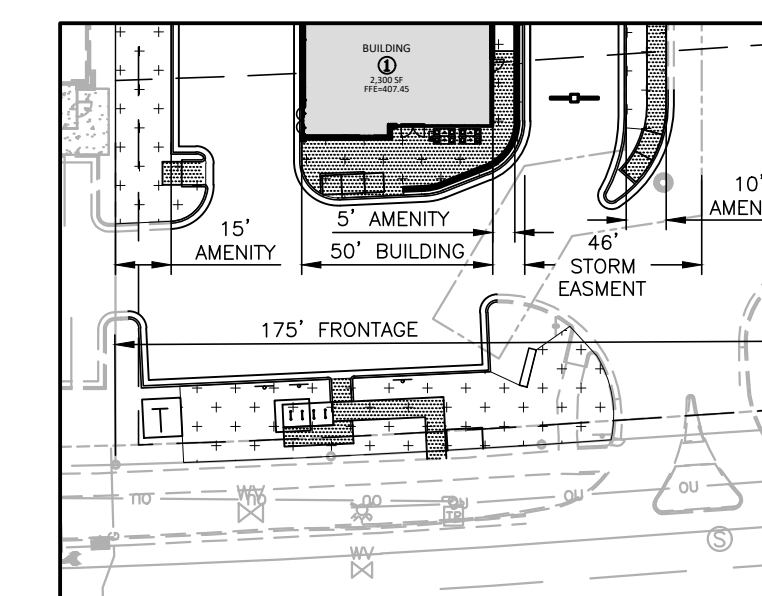
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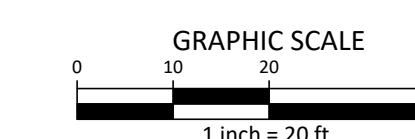
SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- AMENITY AREA

OUTDOOR AMENITY REQUIREMENTS	
TOTAL SITE AREA:	38,101 SF.
OUTDOOR AMENITY REQUIRED:	3,810 SF. (10%)
OUTDOOR AMENITY PROVIDED:	3,811 SF. (10%)
BUILD-TO REQUIREMENTS	
LAKE BOONE TRAIL FRONTAGE:	175 LF
BUILDING WITHIN BUILD-TO:	50 LF (BETWEEN 5' AND 100')
REQUIRED:	87.50 LF (50.0%)
FRONTAGE AFTER 46' REDUCTION:	129 LF
(46' STORM DRAINAGE EASEMENT)	
REQUIRED AFTER 30% REDUCTION TO % REQUIRED:	45 LF (35.0%)
(30' AMENITY AREAS ALONG FRONTAGE (17% OF FRONTAGE))	
PROVIDED:	50 LF (38.8%)



BUILD-TO EXHIBIT
SCALE: 1"=50'



**Know what's below.
Call before you dig.**

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CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

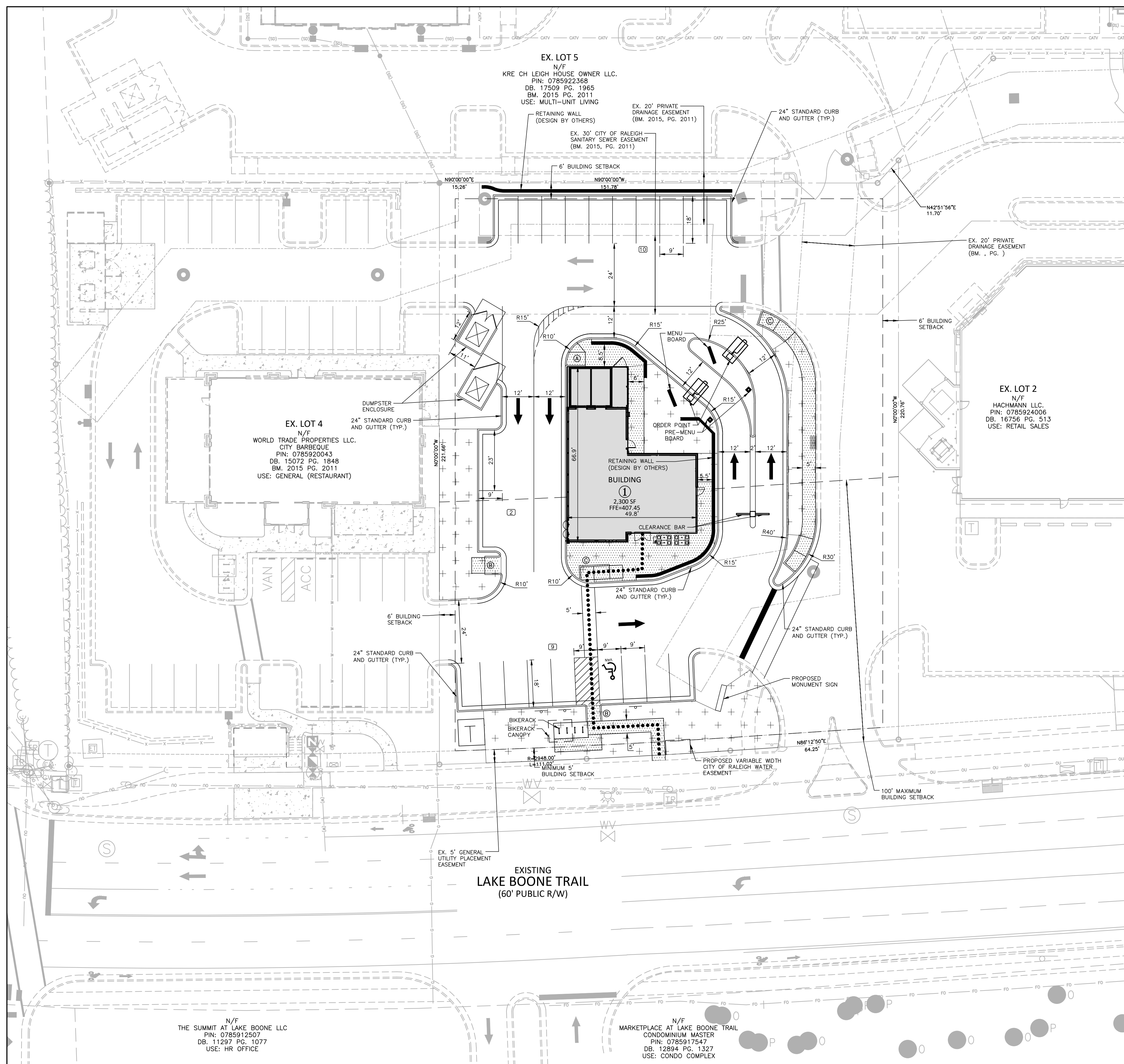
PROJECT NO. SPEC24398
 FILENAME SPEC24398-ASR-S1
 CHECKED BY RW
 DRAWN BY MKB
 SCALE 1" = 20'
 DATE 09.10.2024

SHEET

SITE PLAN

C2.00

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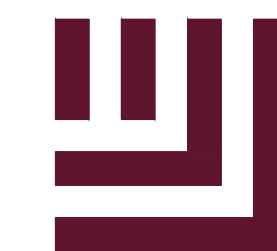
N/F
 THE SUMMIT AT LAKE BOONE LLC
 PIN: 0785912507
 DB: 11297 PG. 1077
 USE: HR OFFICE

N/F
 MARKETPLACE AT LAKE BOONE TRAIL
 CONDOMINIUM MASTER
 PIN: 0785917547
 DB: 12894 PG. 1327
 USE: CONDO COMPLEX

EX. LOT 4
 N/F
 WORLD TRADE PROPERTIES LLC.
 CITY BARBECUE
 PIN: 0785920043
 DB: 15072 PG. 1848
 BM: 2015 PG. 2011
 USE: GENERAL (RESTAURANT)

EX. LOT 5
 N/F
 KRE CH LEIGH HOUSE OWNER LLC.
 PIN: 0785922368
 DB: 17509 PG. 1965
 BM: 2015 PG. 2011
 USE: MULTI-UNIT LIVING

EX. LOT 2
 N/F
 HACHMANN LLC.
 PIN: 0785924006
 DB: 16756 PG. 513
 USE: RETAIL SALES



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Raleigh, NC 27603

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NC license number: C-0293, C-187

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CLIENT

TWO BIRDZ, LLC
608 LAKESTONE DRIVE
RALEIGH, NORTH CAROLINA 27609
PHONE: OWNER PHONE

**ZAXBY'S - LAKE BOONE TRAIL
ADMINISTRATION SITE REVIEW
4112 LAKE BOONE TRAIL
RALEIGH, NORTH CAROLINA 27607**

PAVEMENT MARKING LEGEND

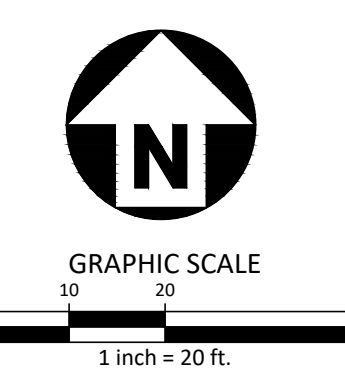
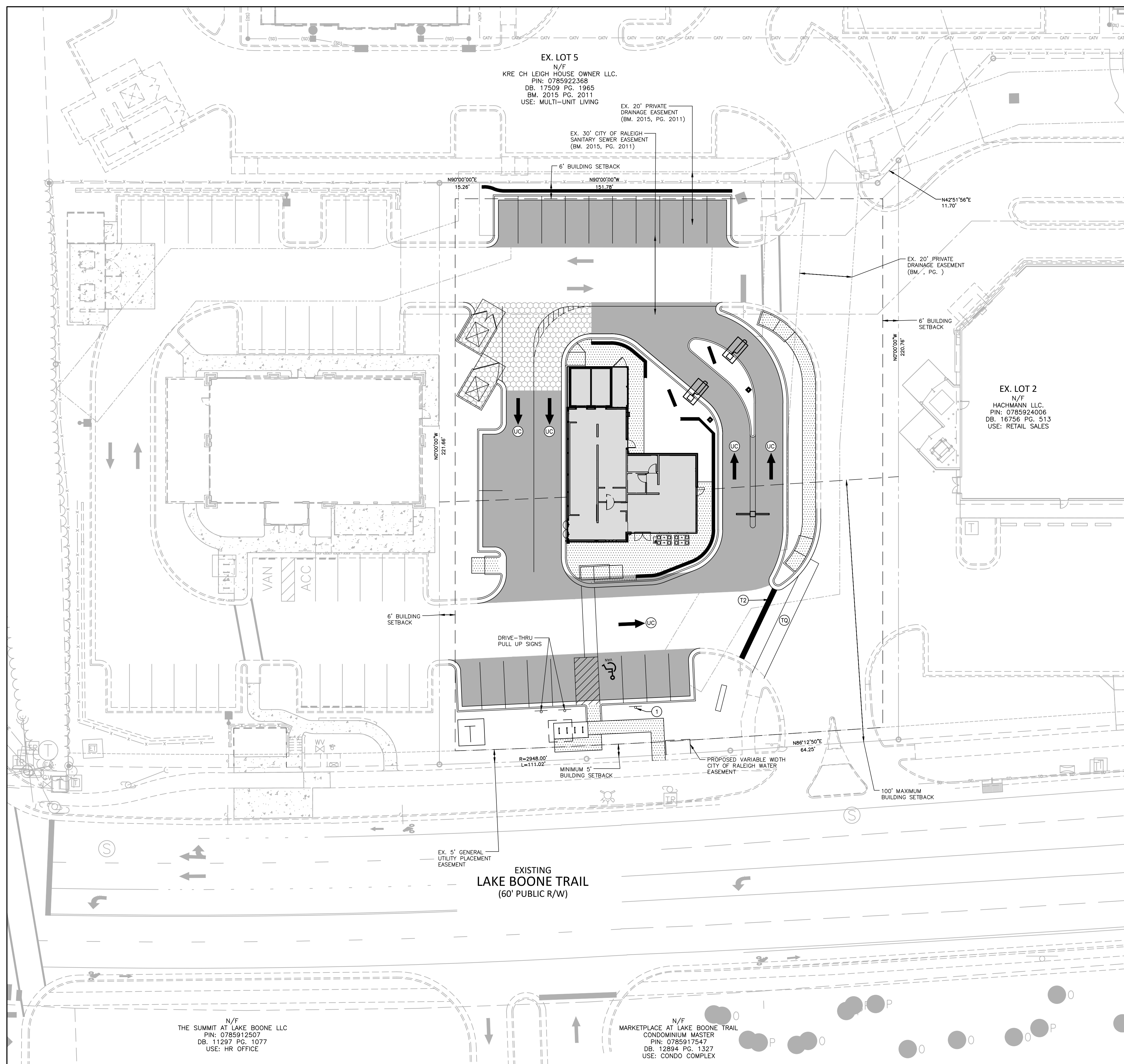
LANE LINES/MARKINGS
T2 24" WHITE STOPBAR
TQ 8" WHITE CROSSWALK LINE
ARROWS/CHARACTERS
UC STRAIGHT ARROW

SIGNAGE LEGEND



PAVEMENT LEGEND:

HEAVY DUTY CONCRETE PAVEMENT
 CONCRETE SIDEWALK
 LIGHT DUTY ASPHALT PAVEMENT



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6	-	-

PLAN INFORMATION

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DATE 09.10.2024

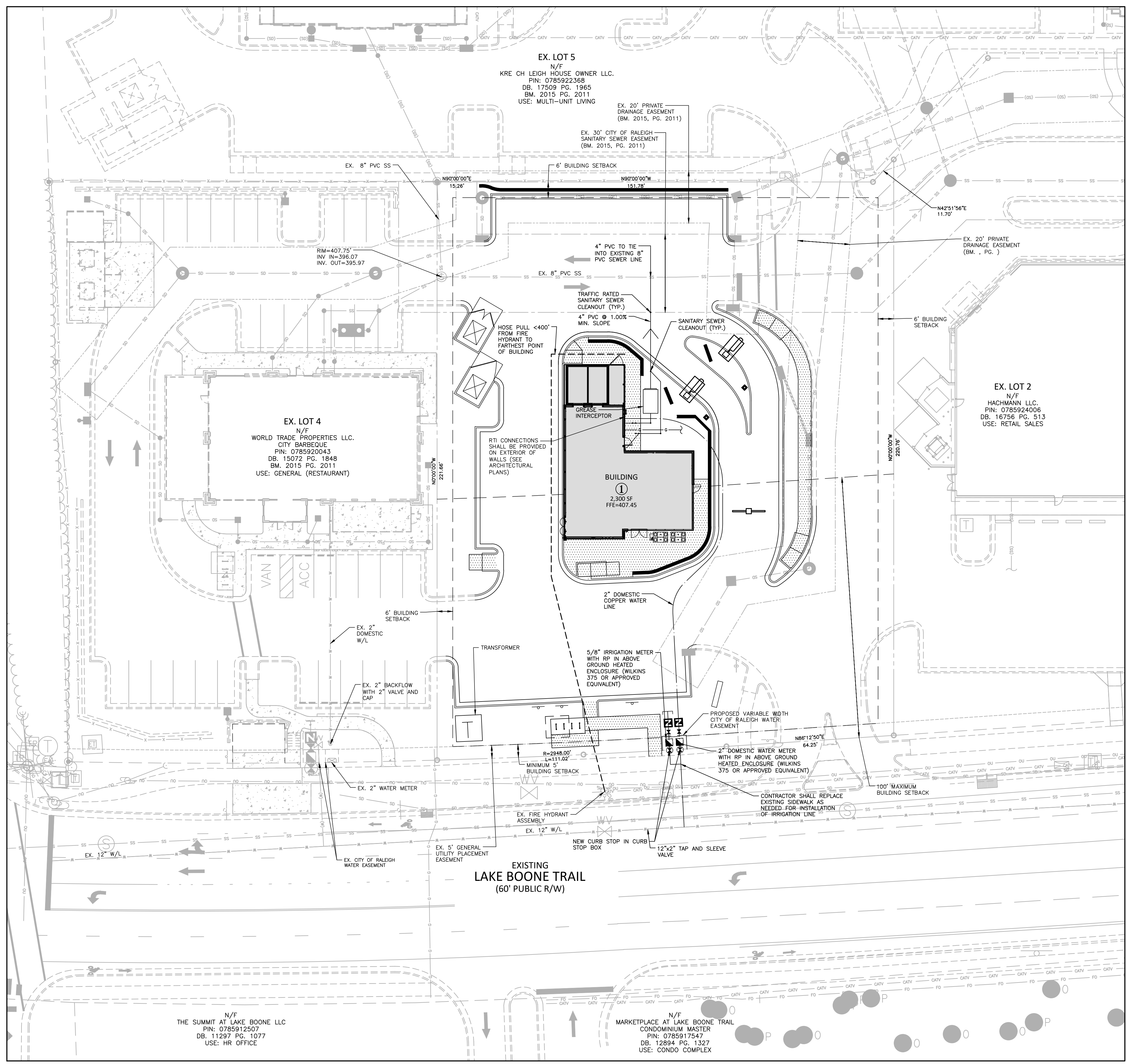
SHEET

PAVEMENT AND SIGNAGE PLAN

C2.01

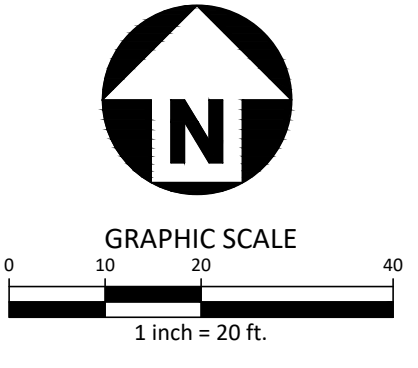
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UTILITY LEGEND

	WATER METER
	WATER VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	PLUG
	SEWER CLEAN-OUT
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LINE BREAK SYMBOL
	WATER SERVICE LINE
	SEWER SERVICE LINE
	GAS LINE
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE



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 608 LAKESTONE DRIVE
 RALEIGH, NORTH CAROLINA 27609
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ZAXBY'S - LAKE BOONE TRAIL
 ADMINISTRATION SITE REVIEW
 4112 LAKE BOONE TRAIL
 RALEIGH, NORTH CAROLINA 27607

REVISIONS

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4	-	-
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PLAN INFORMATION

PROJECT NO.	SPEC24398
FILENAME	SPEC24398-ASR-U1
CHECKED BY	RW
DRAWN BY	MKB
SCALE	1" = 20'
DATE	09.10.2024

SHEET

UTILITY PLAN

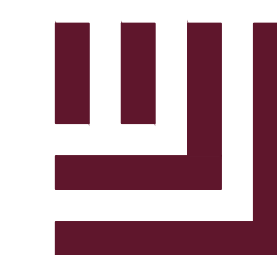
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PLAN INFORMATION

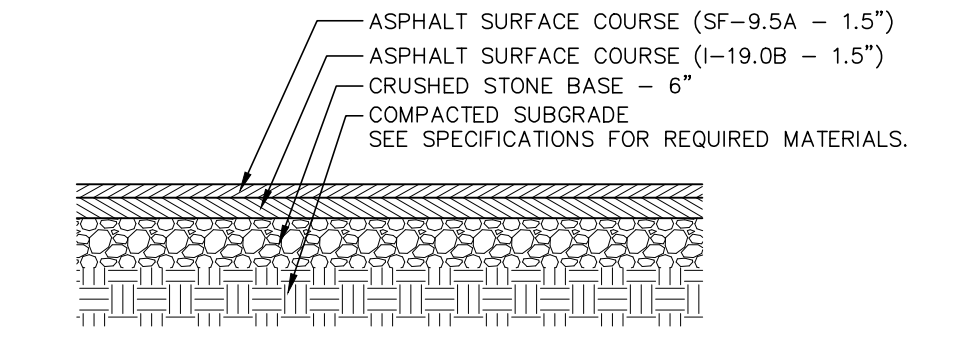
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FILENAME	SPEC24398-ASR-D1
CHECKED BY	RW
DRAWN BY	MKB
SCALE	#####
DATE	09.10.2024

SHEET

SITE DETAILS

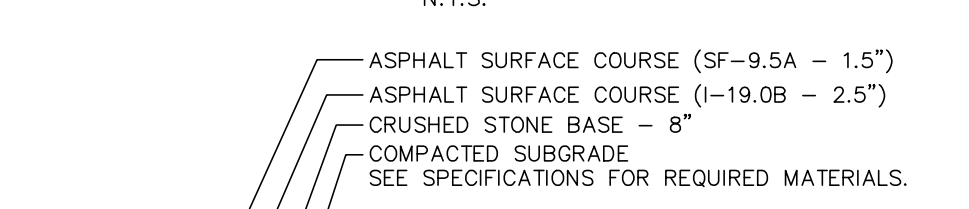
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NOTE: THE PAVEMENT SECTIONS SHOWN ARE PRELIMINARY. THE CONTRACTOR SHALL VERIFY PAVEMENT DESIGN WITH THE GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.



SUBGRADE COMPACTED TO A MINIMUM 98% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) REFER TO SOILS REPORT IF AVAILABLE.

ON-SITE ASPHALT PARKING PAVEMENT DETAIL



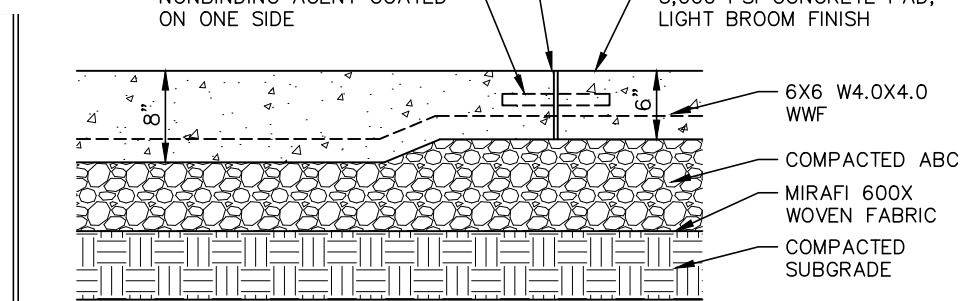
SUBGRADE COMPACTED TO A MINIMUM 98% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) REFER TO SOILS REPORT IF AVAILABLE.

ON-SITE ASPHALT HEAVY DUTY TRAFFIC PAVEMENT DETAIL



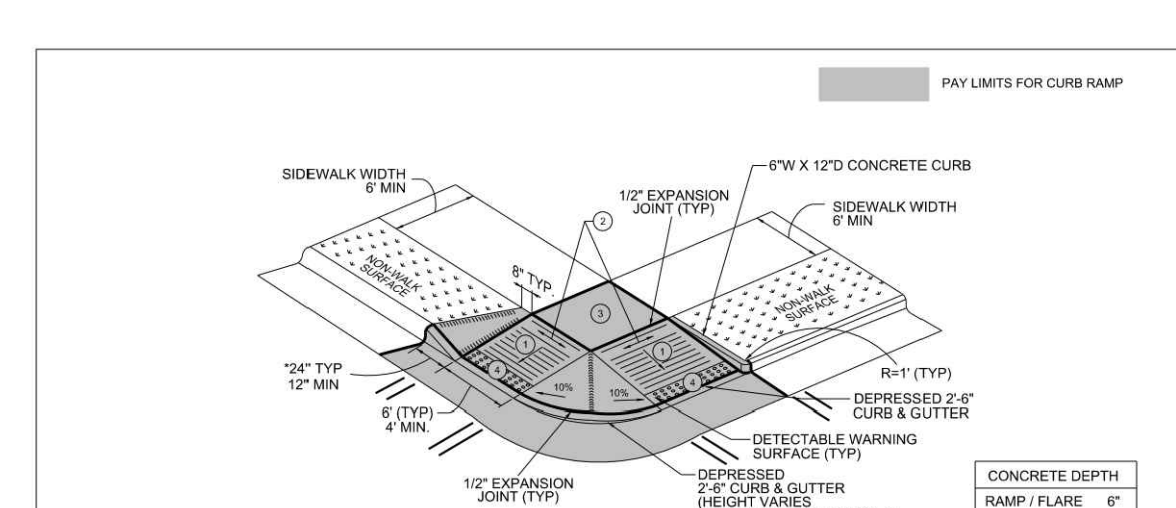
SUBGRADE COMPACTED TO A MINIMUM 98% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) REFER TO SOILS REPORT IF AVAILABLE.

ON-SITE REINFORCED CONCRETE DETAIL



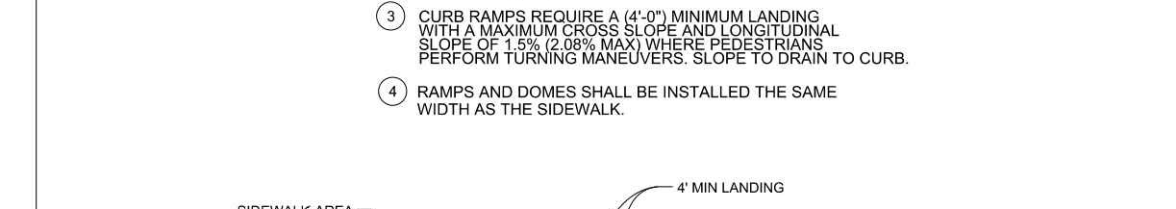
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ON-SITE REINFORCED CONCRETE DETAIL

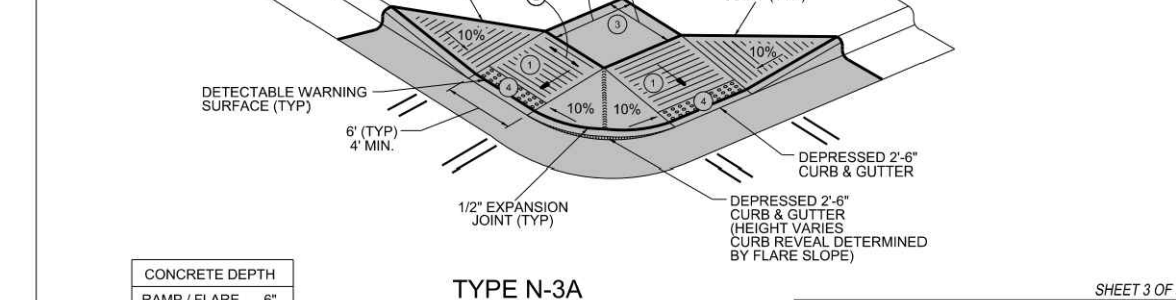


NOTE: * USE SMALL FLARE ONLY WHEN A CURB WOULD DIRECTLY CONTACT WITH APPROACHING VEHICLE TURNING MOVEMENTS.

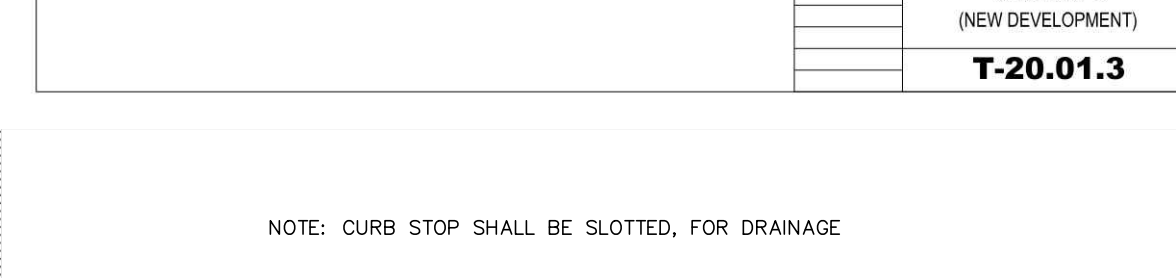
TYPE N-3



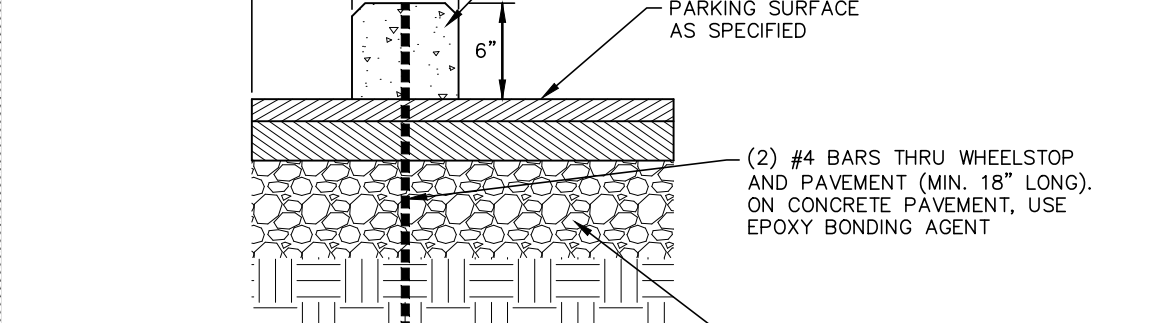
TYPE N-1 (CURB TYPE)



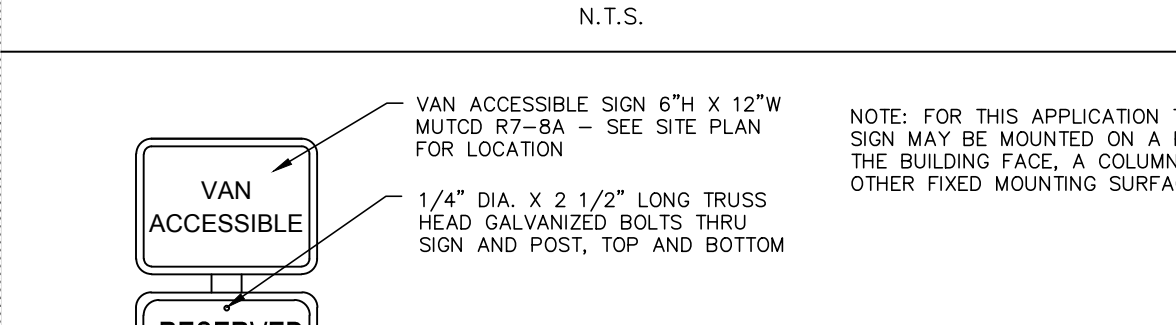
TYPE N-1A (FLARE TYPE)



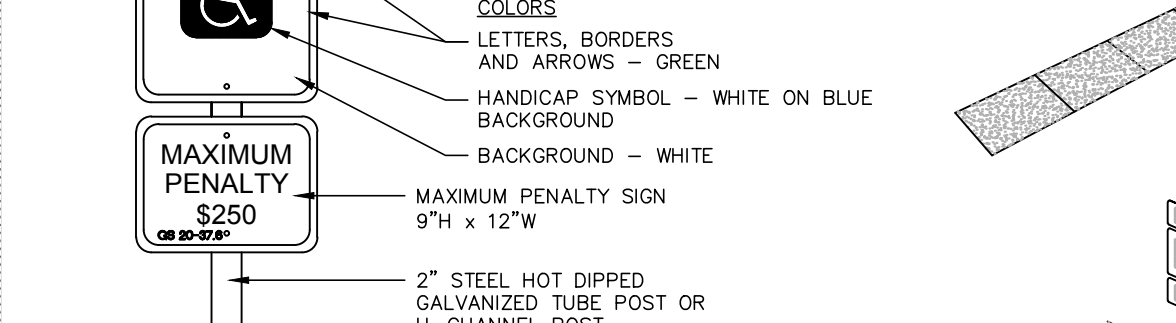
TYPE N-2 (RADIUS)



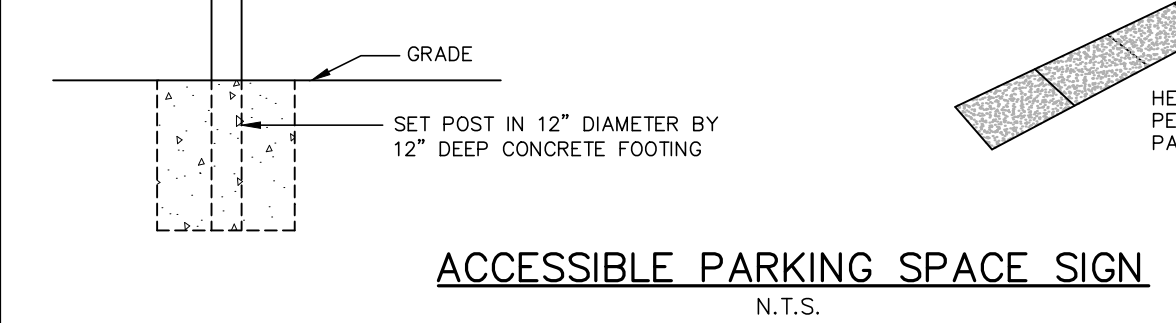
TYPE N-2 (TEE INTERSECTION)



TYPE N-3A (COMMERCIAL/RETAIL USE)



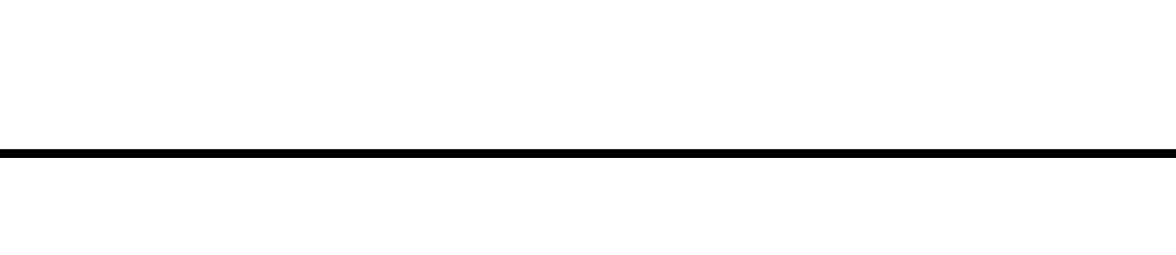
TYPE N-1 (CURB TYPE)



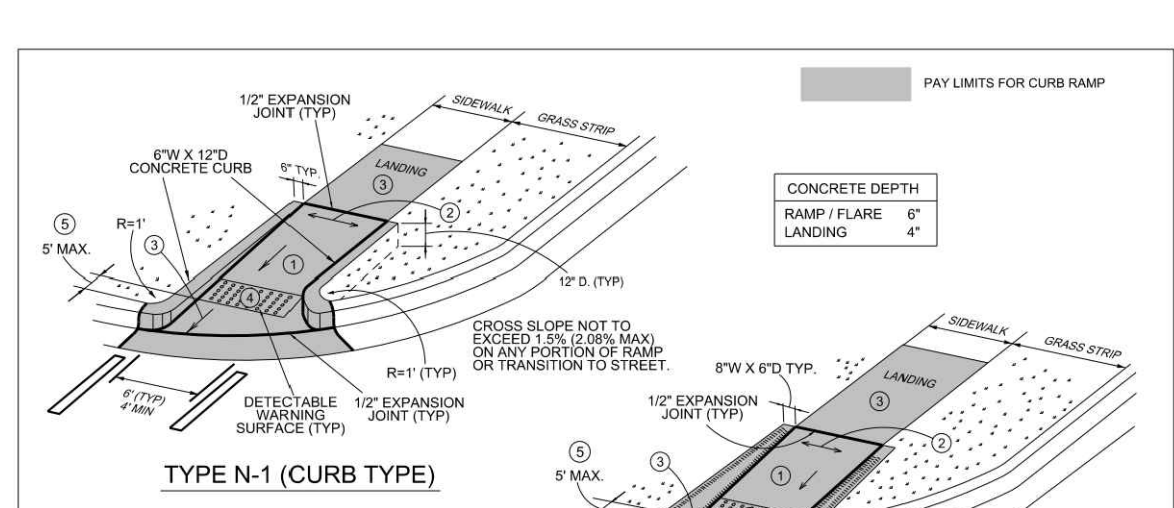
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TYPE N-2 (RADIUS)

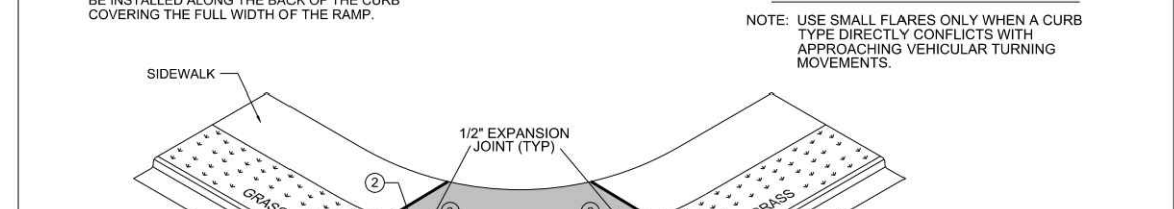


TYPE N-2 (TEE INTERSECTION)

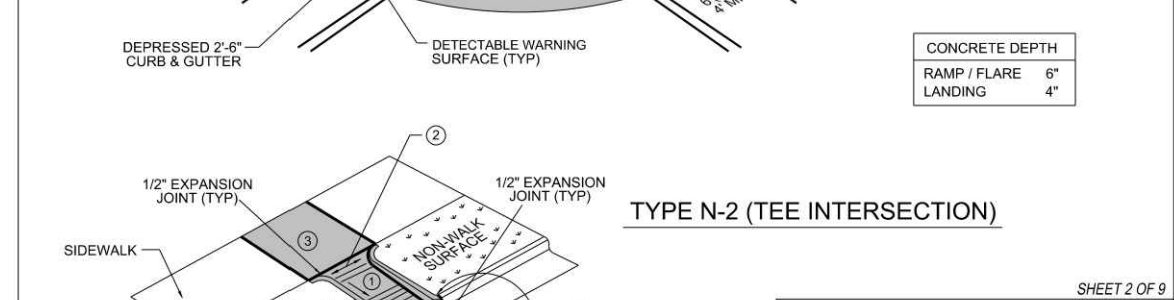


NOTE: * USE SMALL FLARE ONLY WHEN A CURB WOULD DIRECTLY CONTACT WITH APPROACHING VEHICLE TURNING MOVEMENTS.

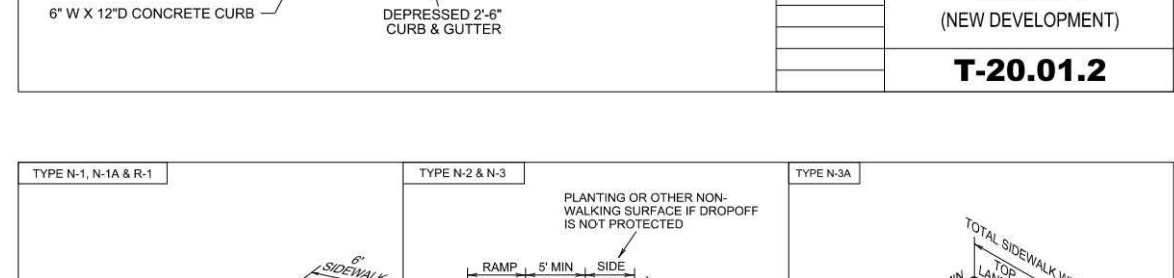
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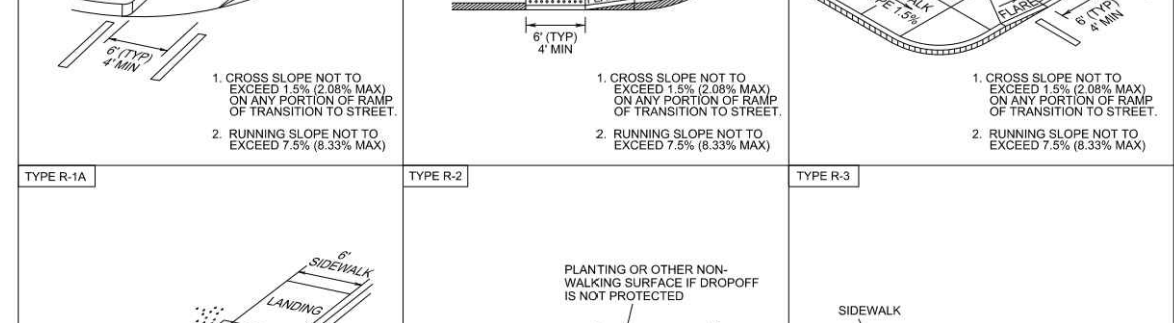
TYPE N-1 (CURB TYPE)



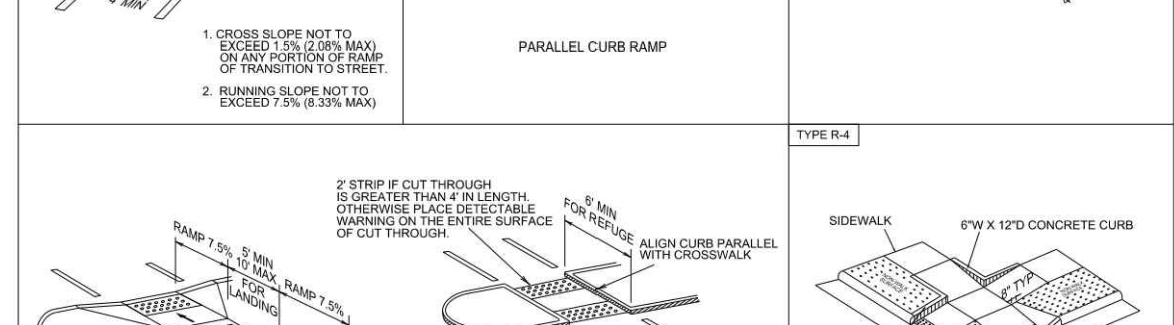
TYPE N-1A (FLARE TYPE)



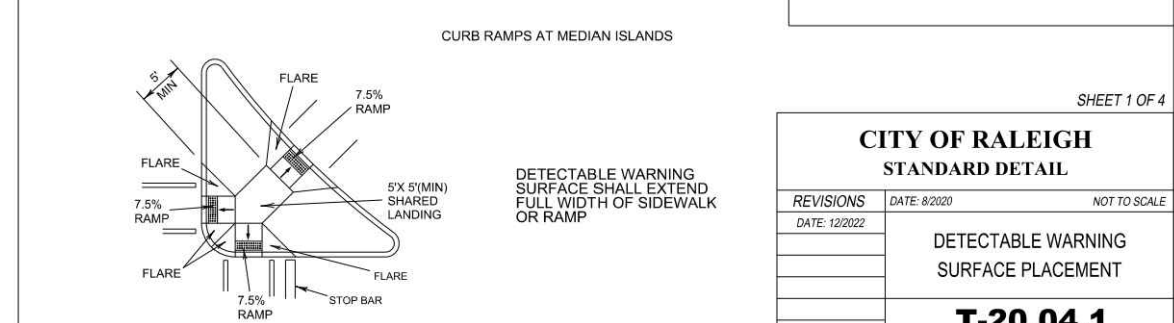
TYPE N-2 (RADIUS)



TYPE N-2 (TEE INTERSECTION)



TYPE N-3A (COMMERCIAL/RETAIL USE)



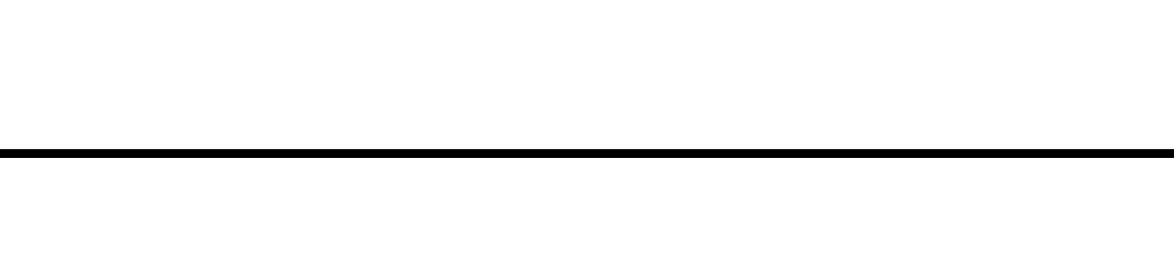
TYPE N-1 (CURB TYPE)



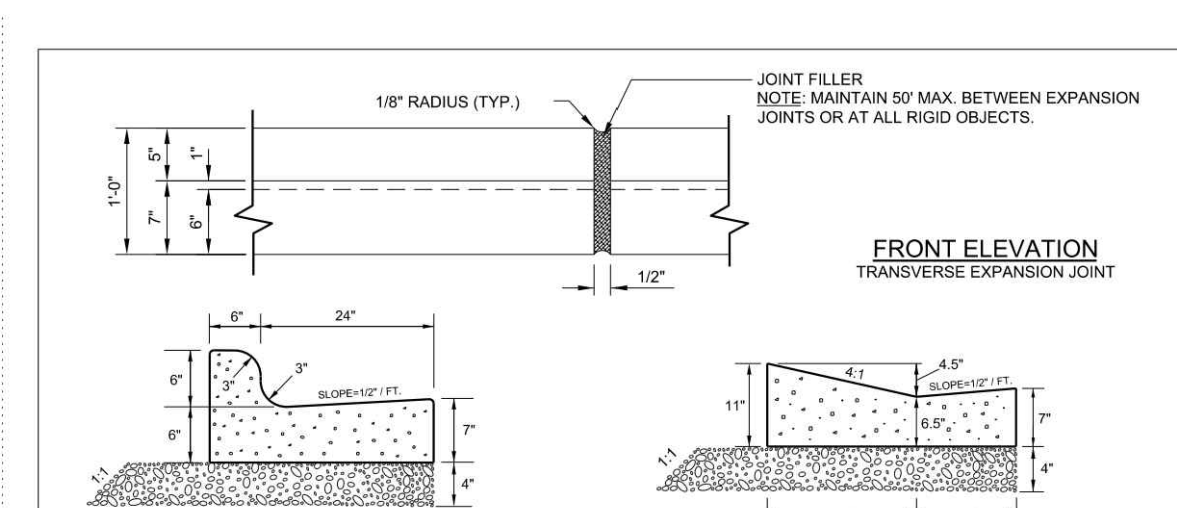
TYPE N-1A (FLARE TYPE)



TYPE N-2 (RADIUS)



TYPE N-2 (TEE INTERSECTION)

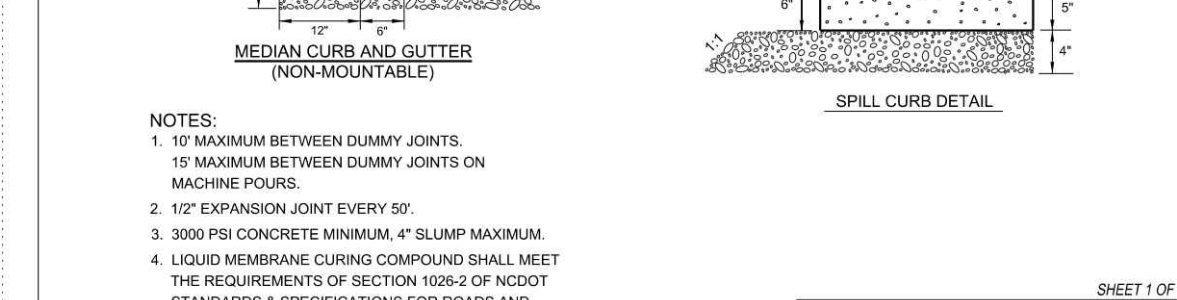


NOTE: MAINTAIN 20' MAX. BETWEEN EXPANSION JOINTS OR AT ALL RIGID OBJECTS.

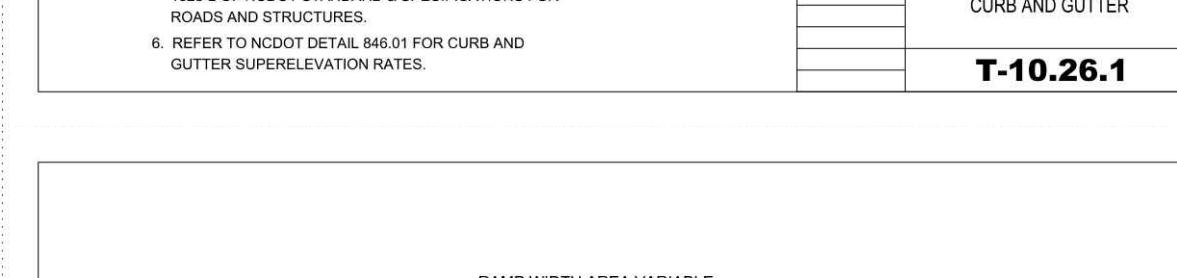
FRONT ELEVATION TRANSVERSE EXPANSION JOINT



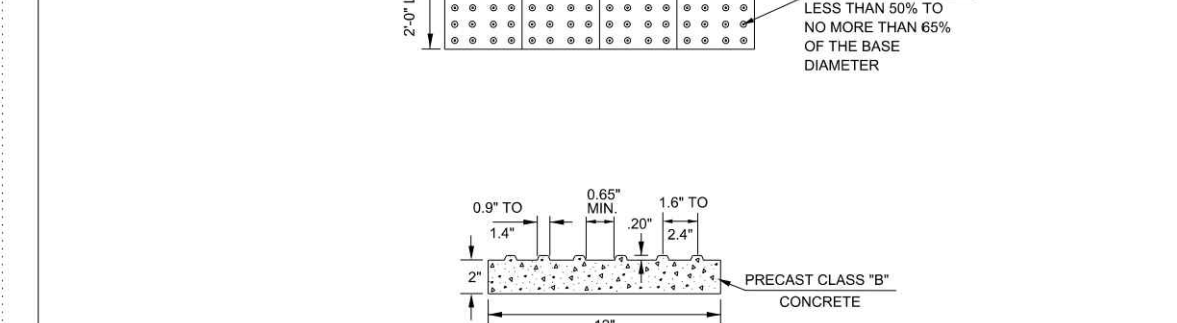
1. 30" CURB & GUTTER



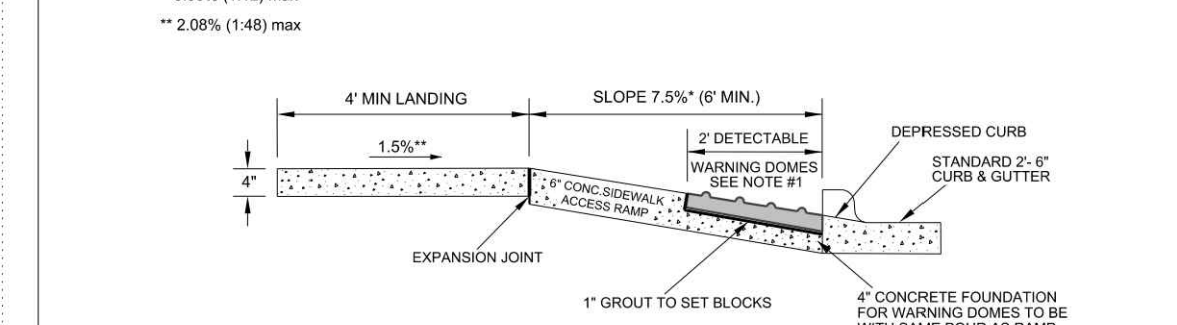
2. 30" VALLEY TYPE GUTTER



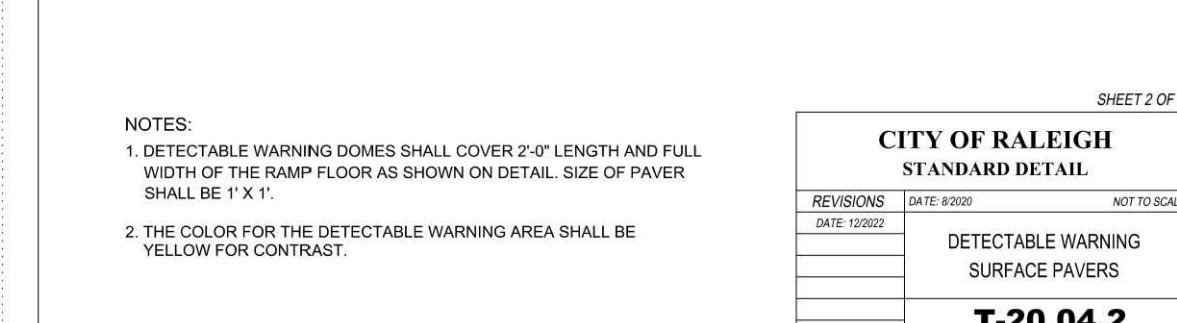
3. MEDIAN CURB AND GUTTER SIDE ELEVATION



4. COMPACTED A.B.C. UNDER STANDARD CURB & GUTTER



SPILL CURB DETAIL



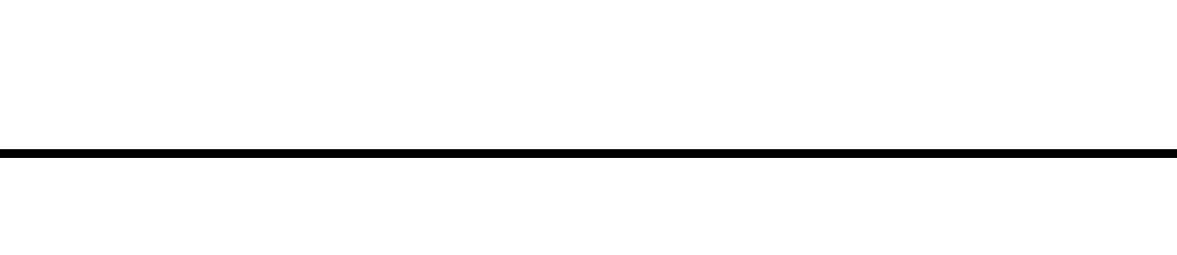
3. MEDIAN CURB AND GUTTER (NON-MOUNTABLE)



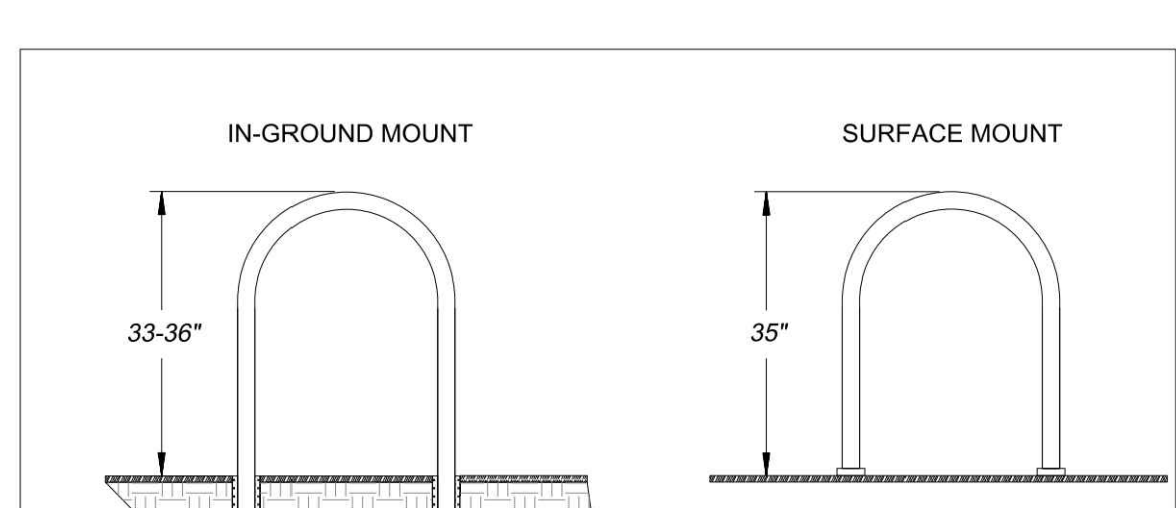
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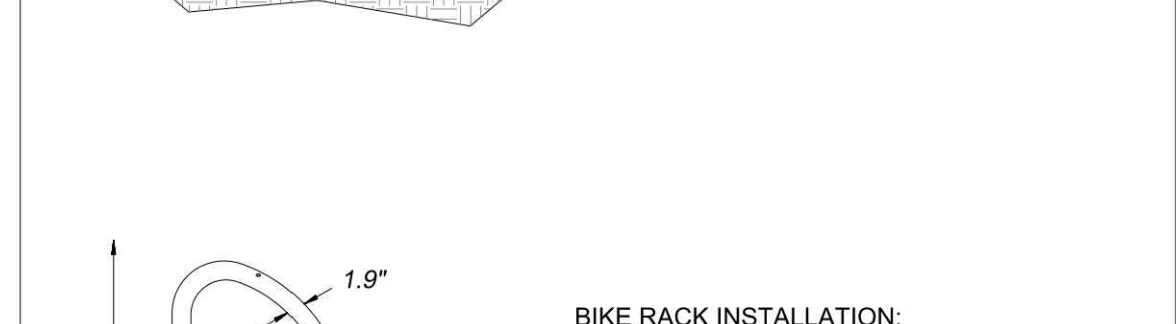
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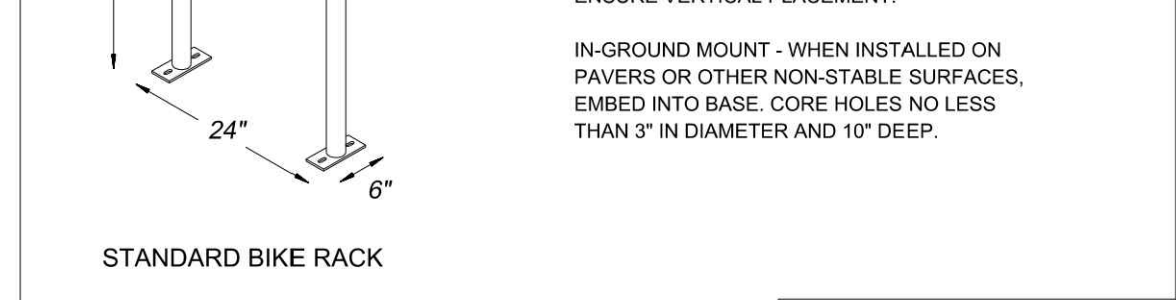
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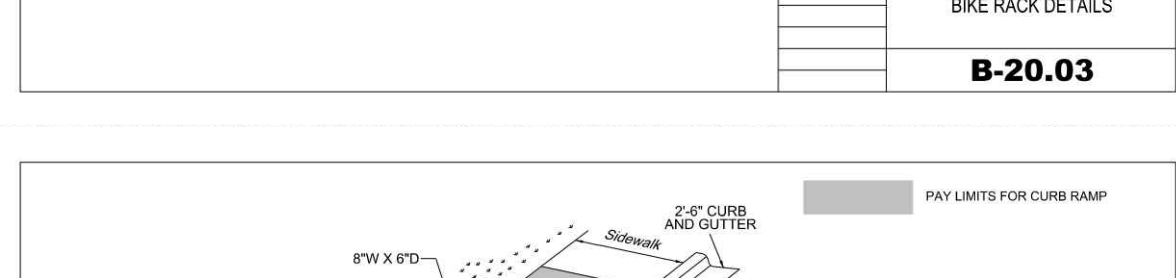
IN-GROUND MOUNT



SURFACE MOUNT



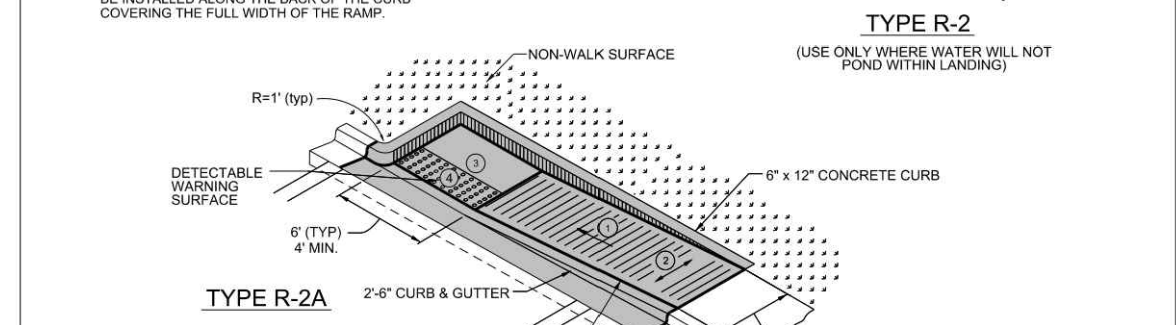
STANDARD BIKE RACK



BIKE RACK INSTALLATION

SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.

IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.



BIKE RACK INSTALLATION

SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.

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BIKE RACK INSTALLATION

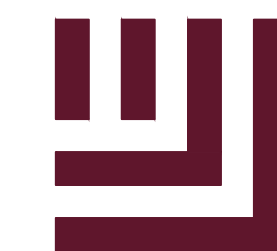
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BIKE RACK INSTALLATION

X:\Projects\SPEC\24398\ASR-D1.dwg, 9/10/2024 4:17:17 PM, Misabel Blackwood



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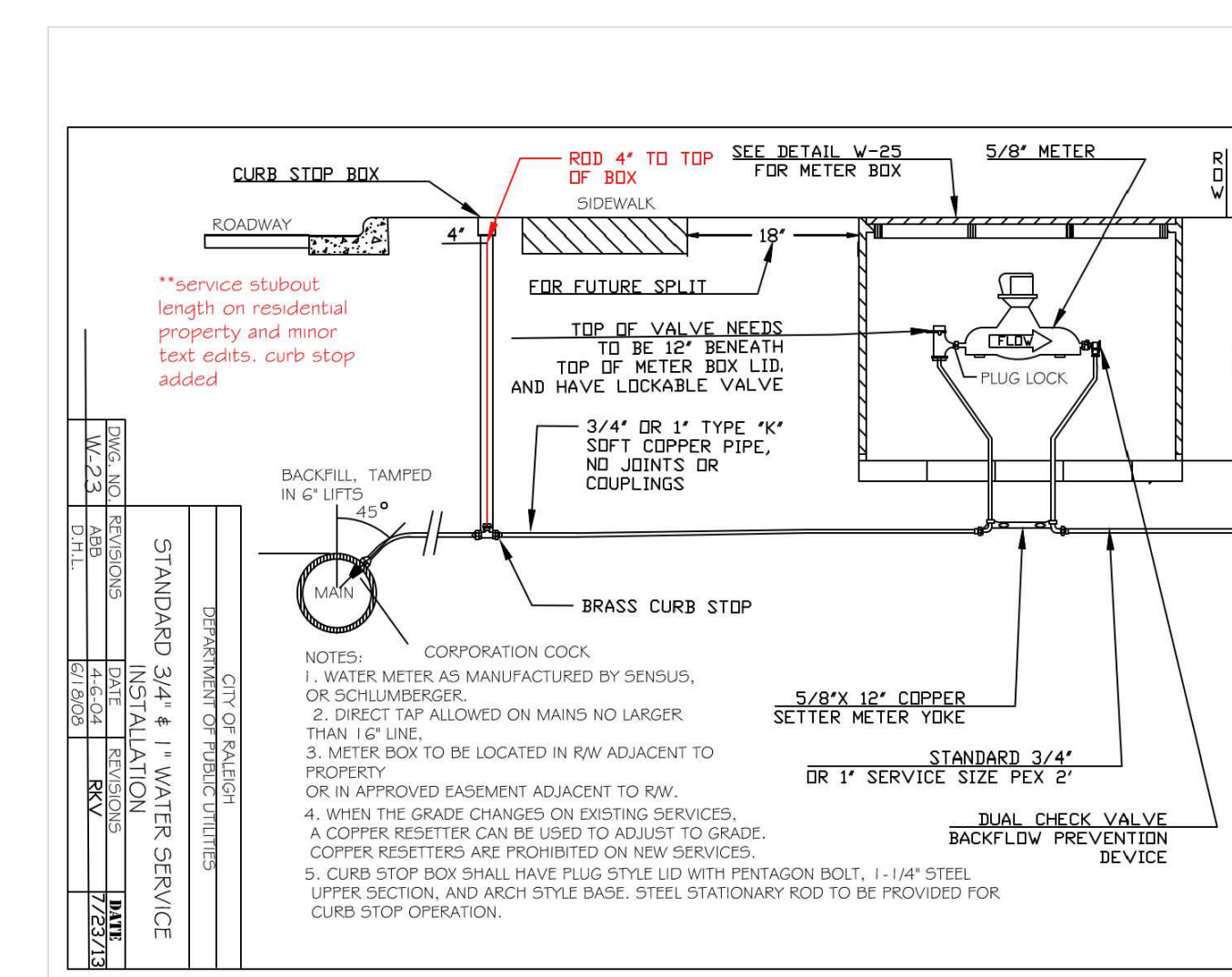
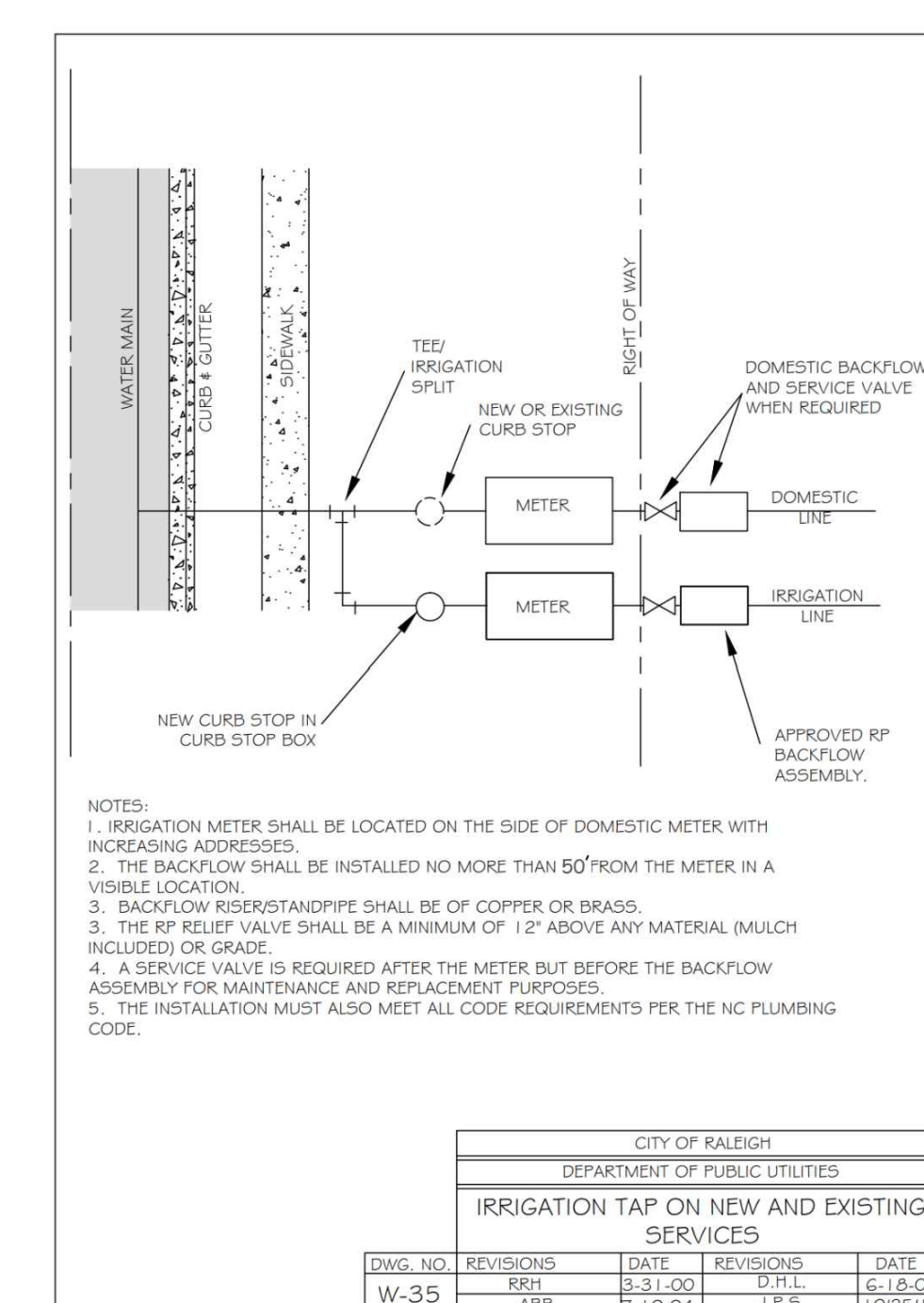
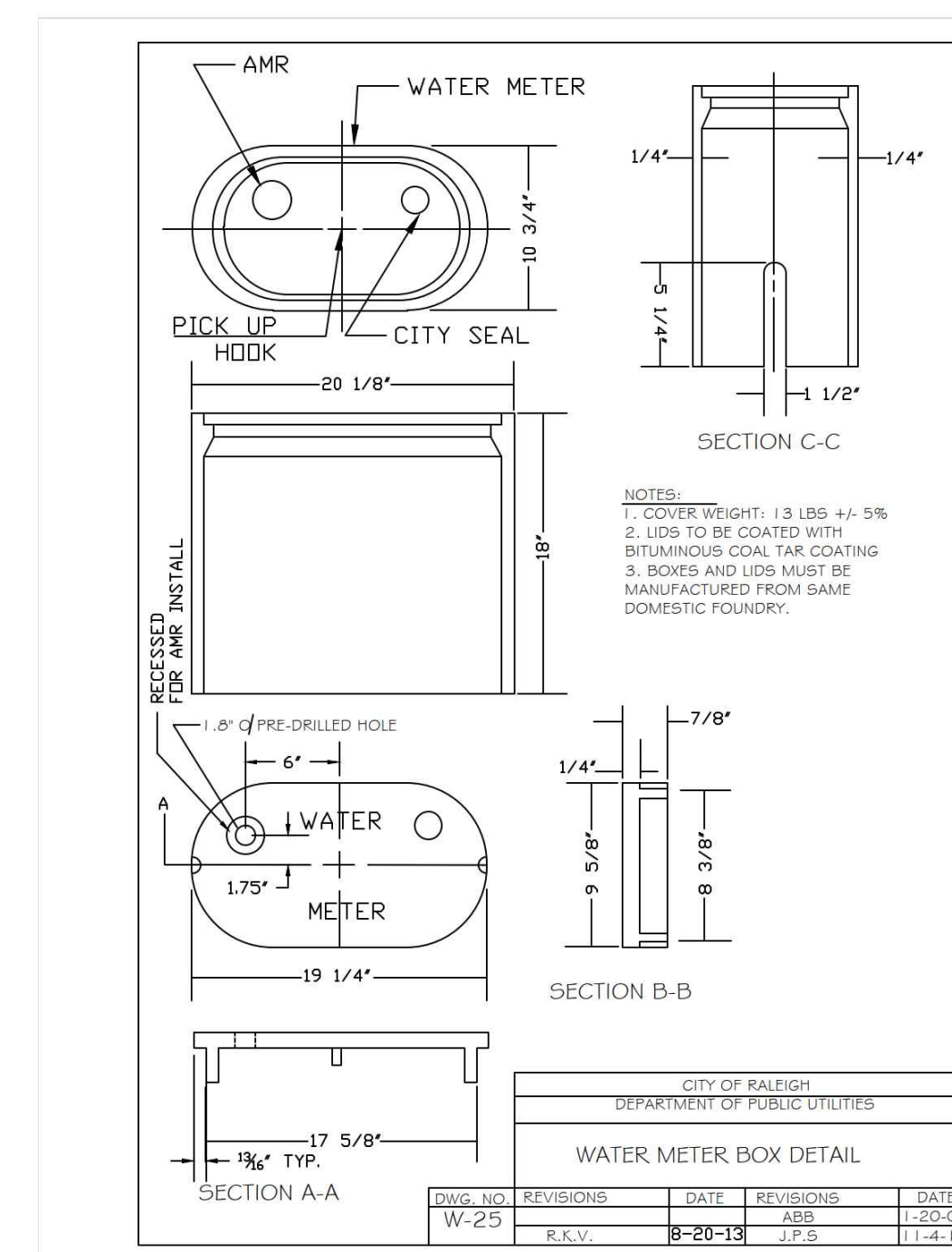
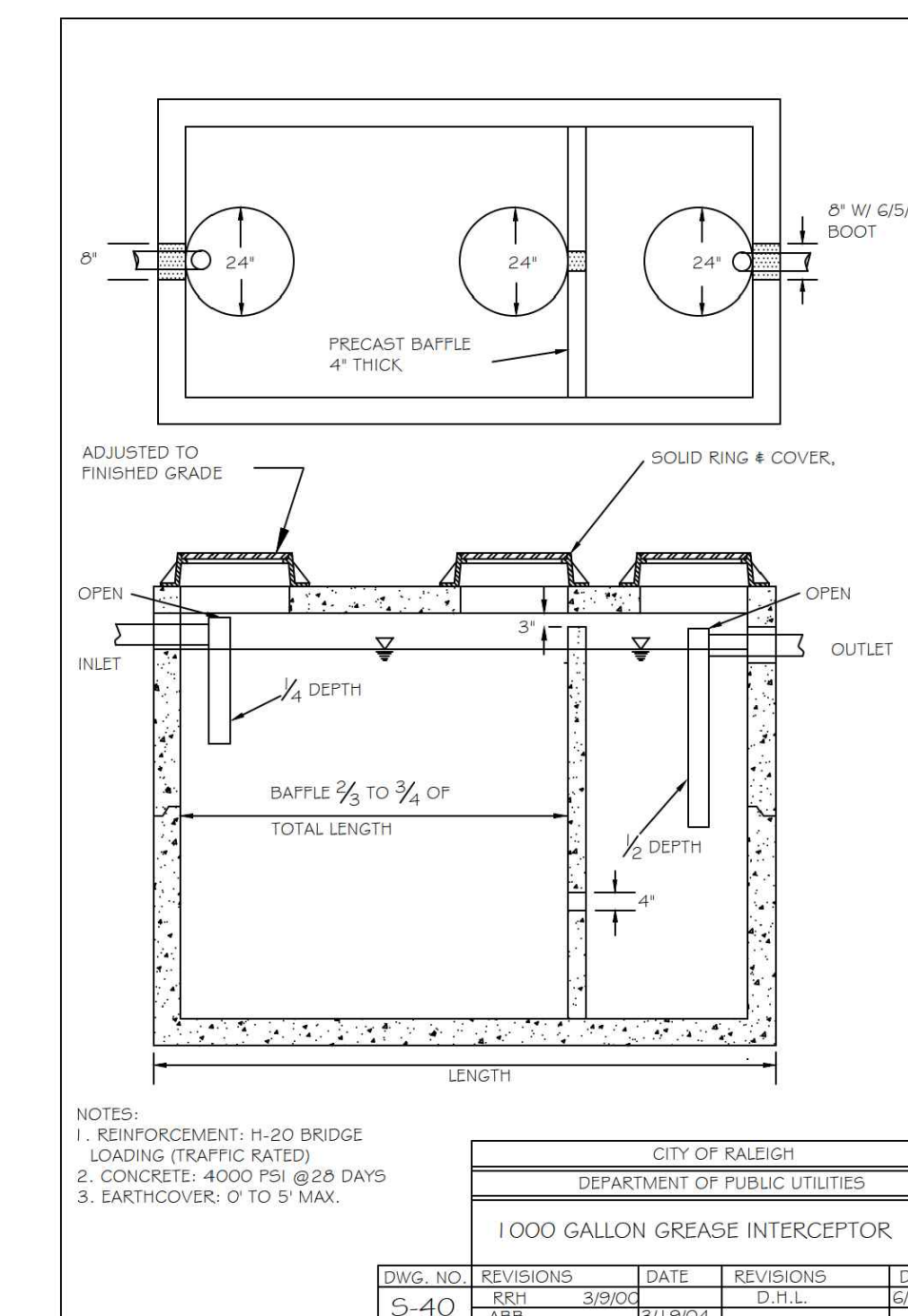
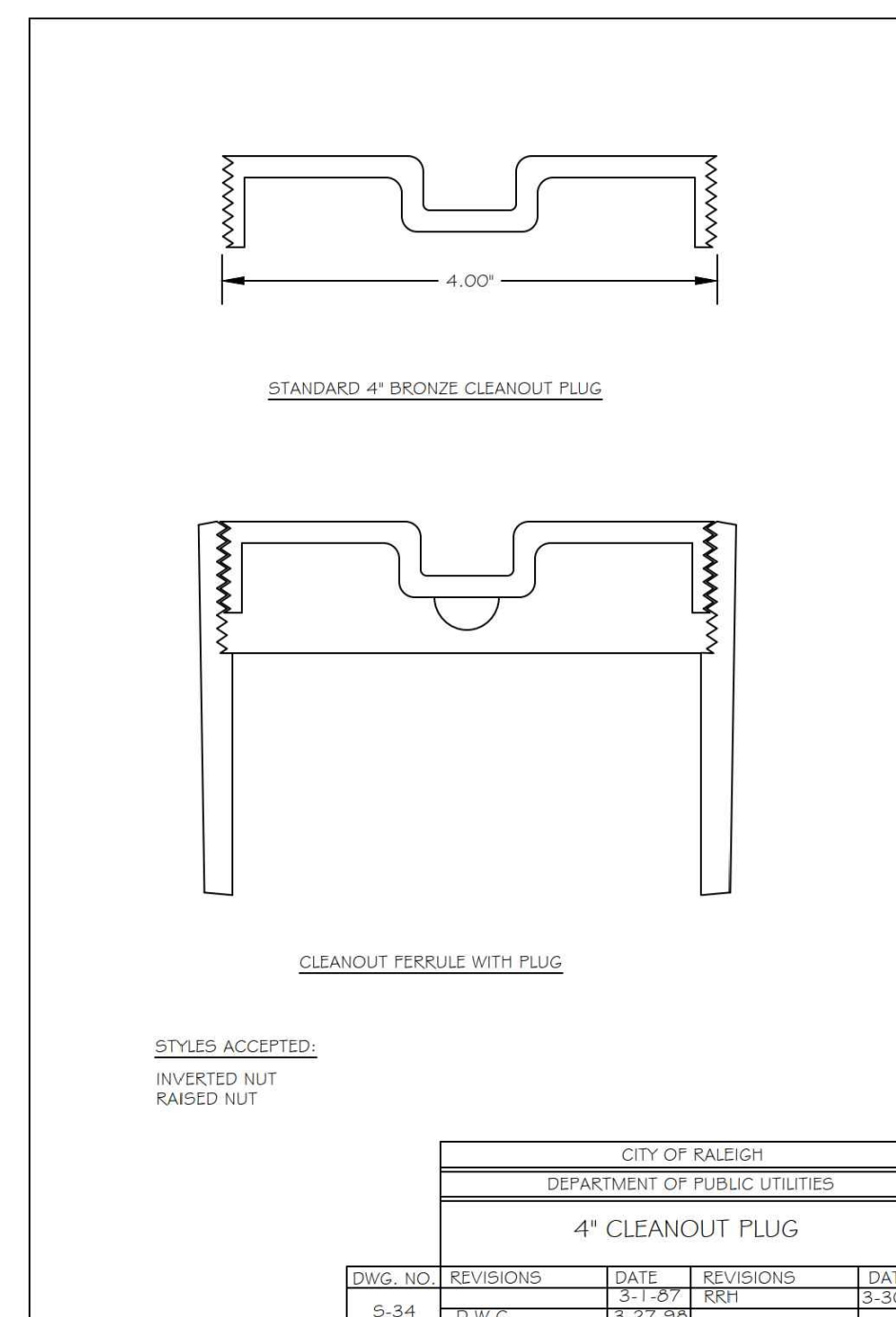
phone 919. 361. 5000
fax 919. 361. 2269
NC license number: C-0293, C-187

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CLIENT

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REVISIONS

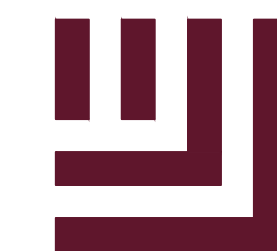
NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO. SPEC24398
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SHEET

WATER & SEWER
 DETAILS
C8.01



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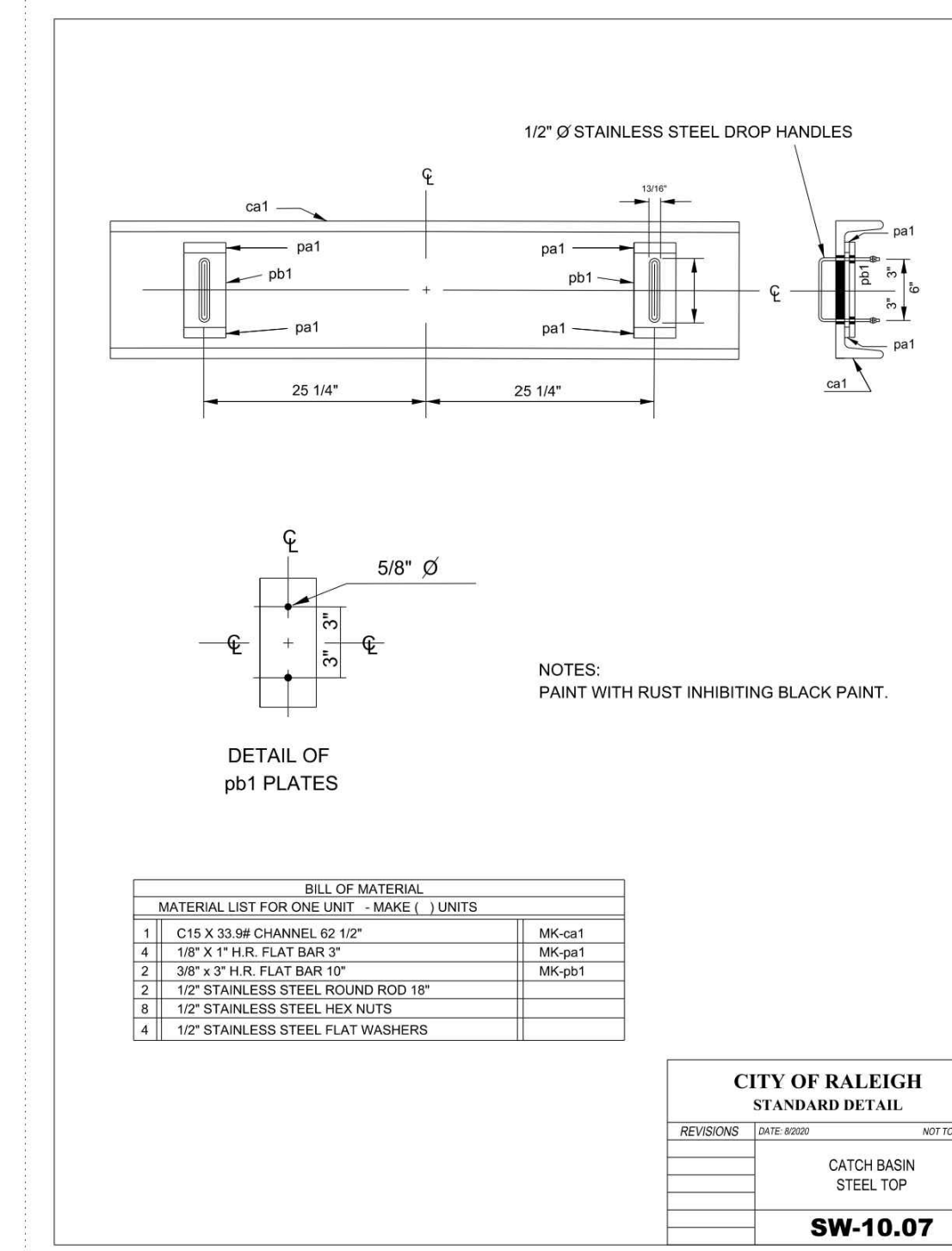
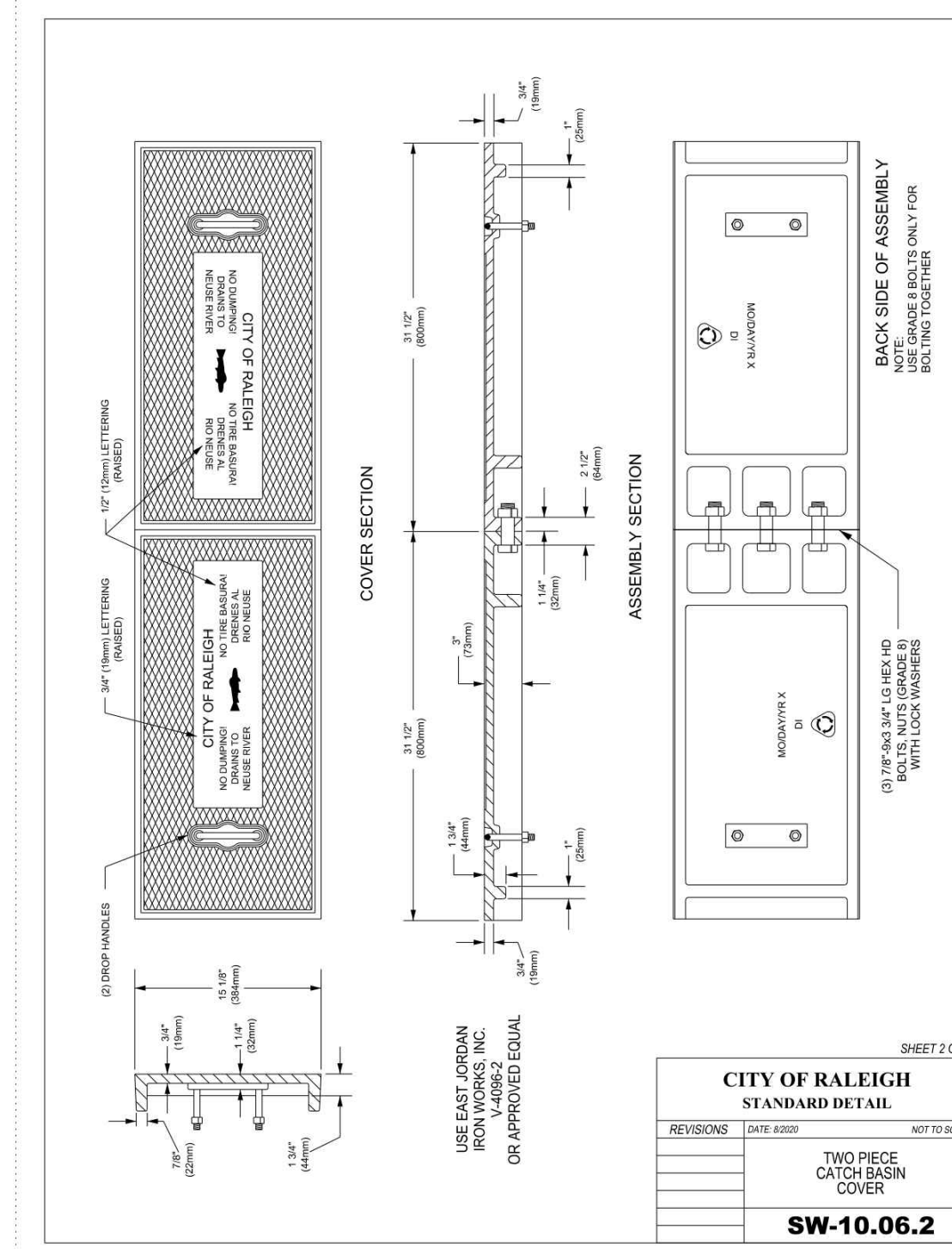
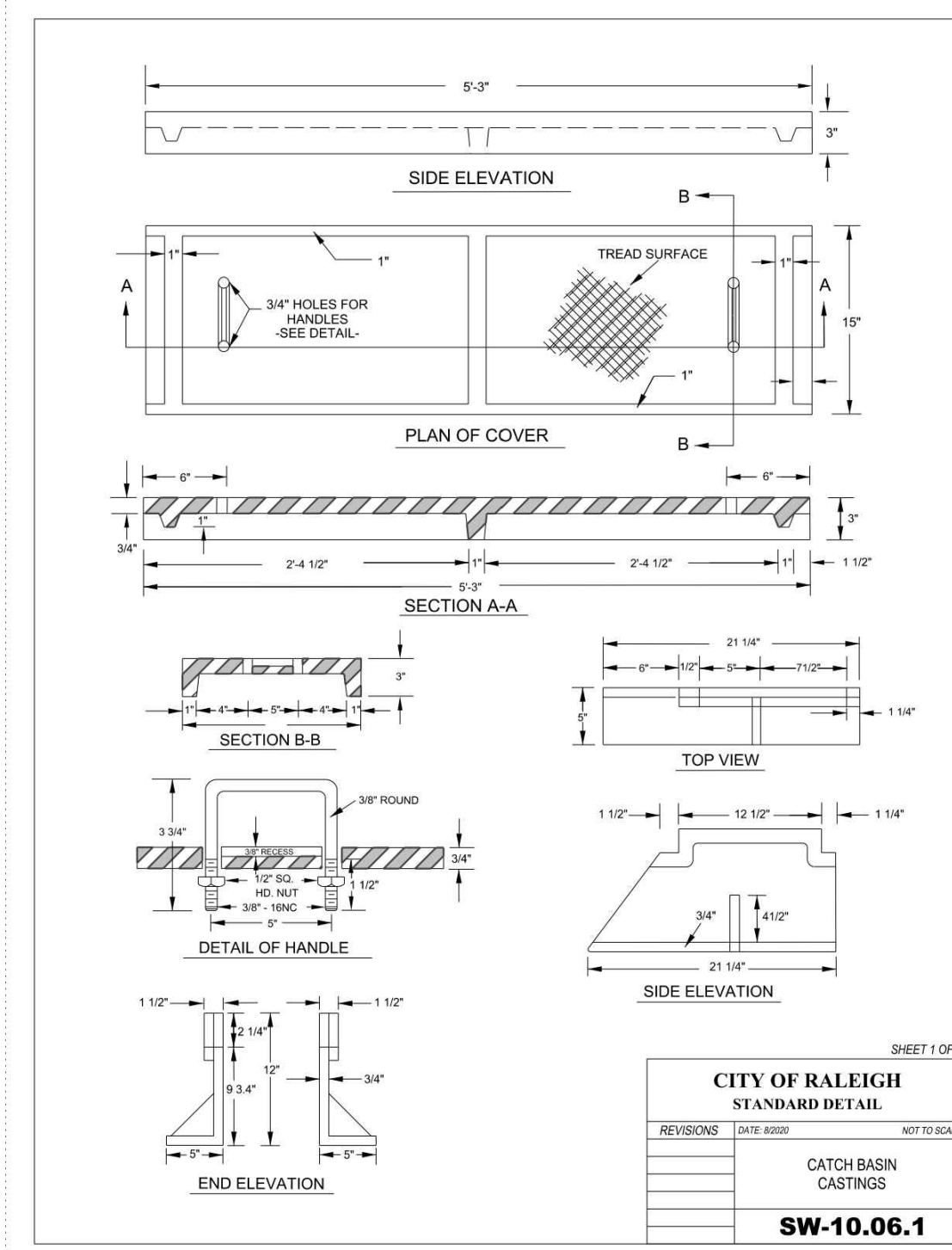
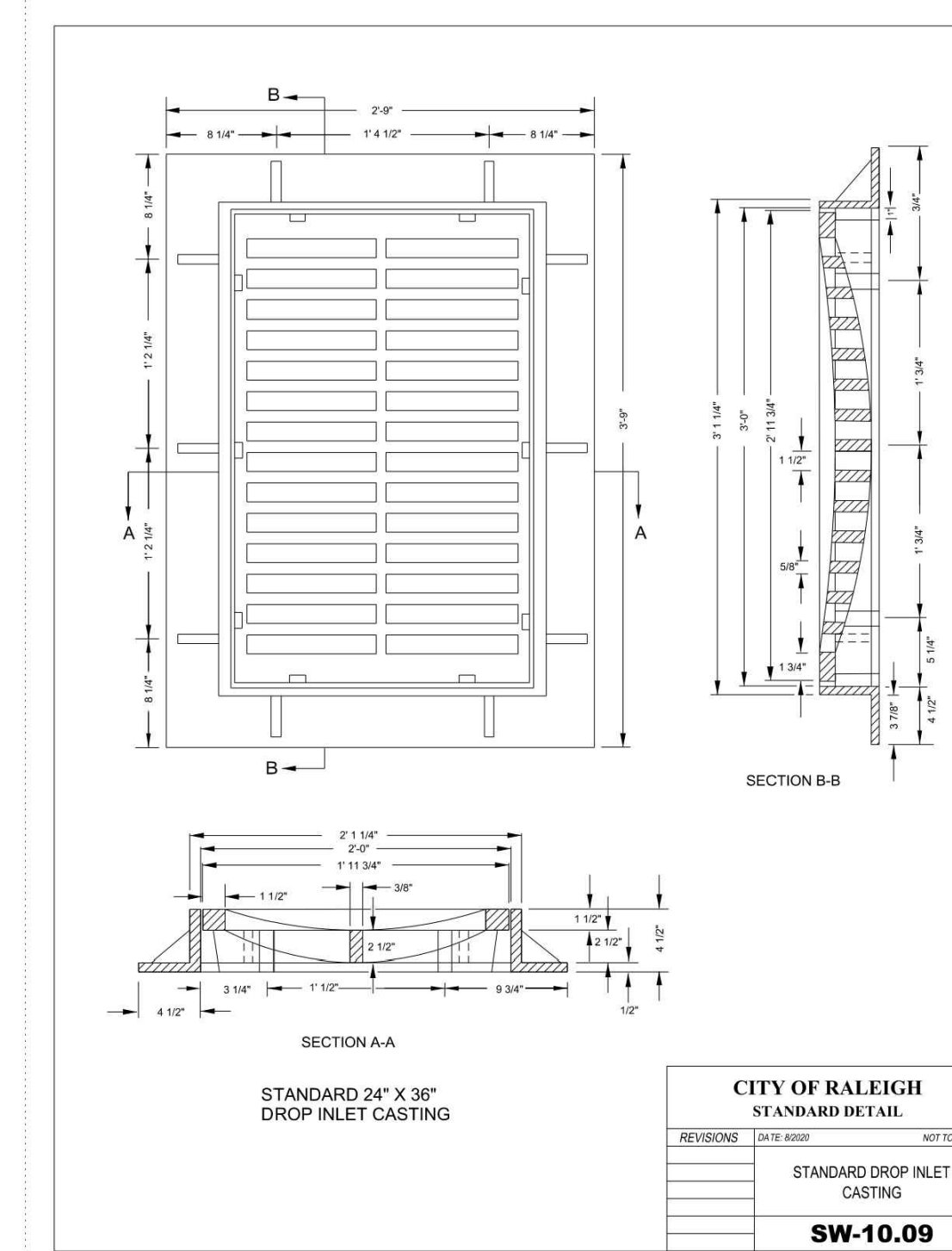
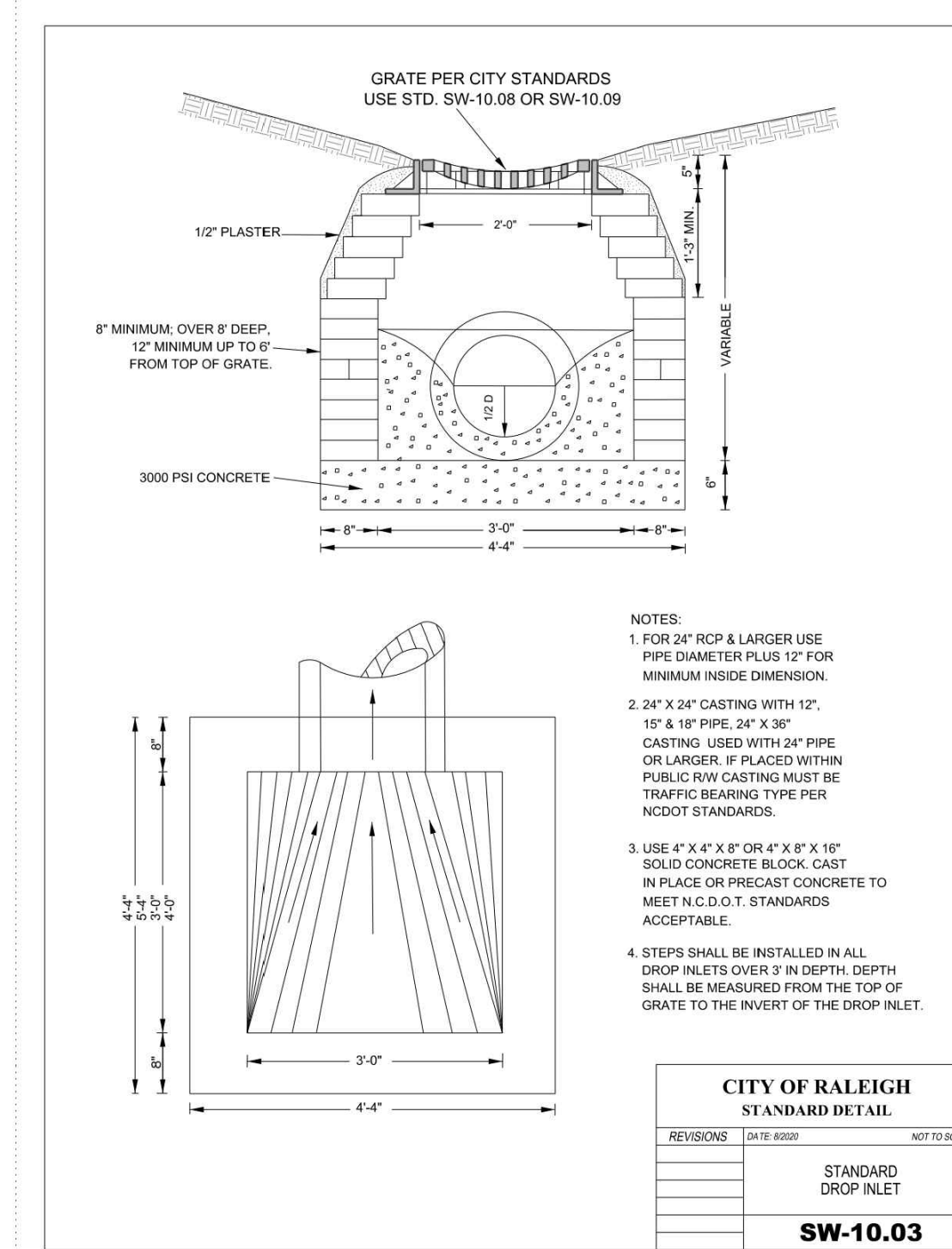
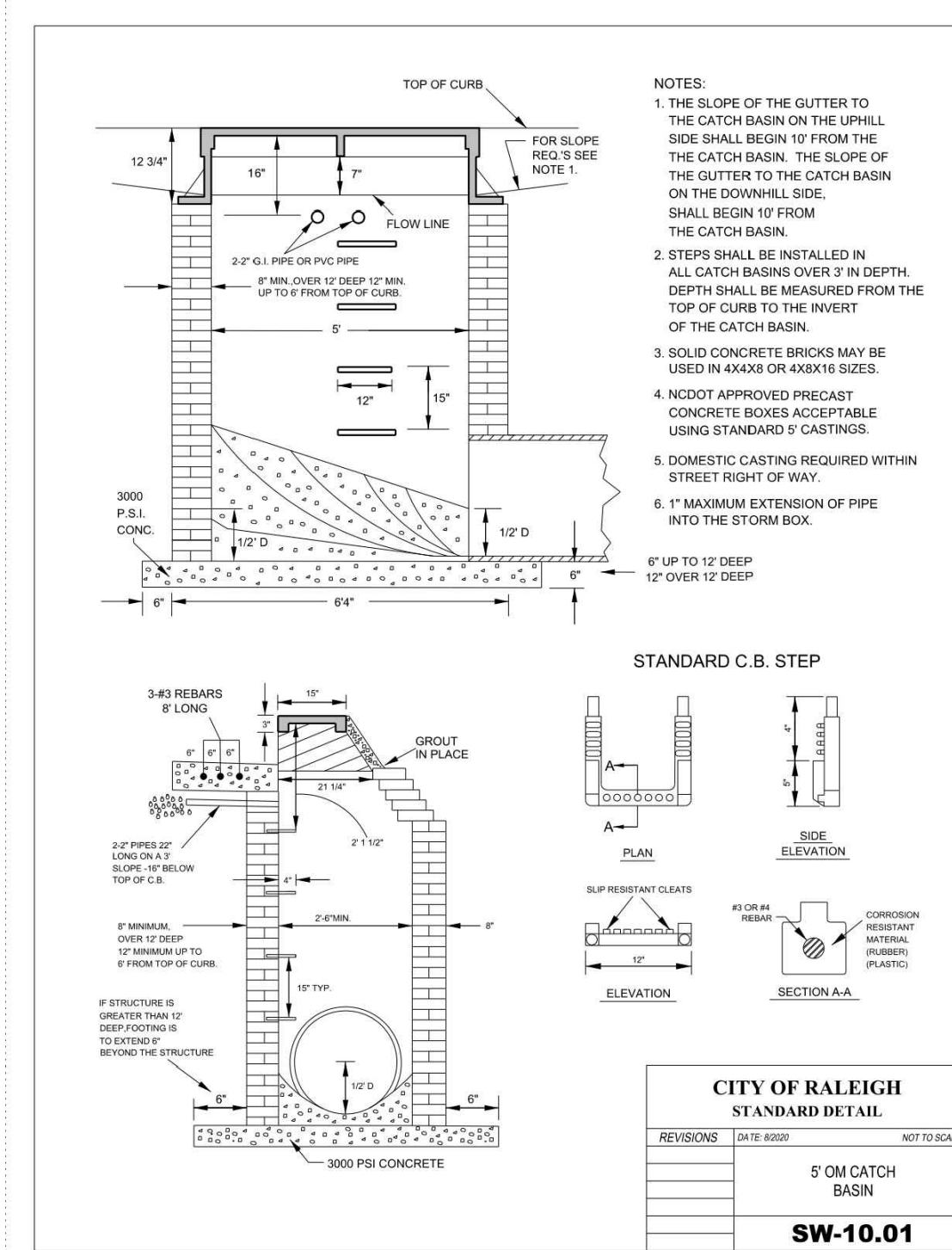
www.mcadamsco.com

CLIENT

TWO BIRDZ, LLC
608 LAKESTONE DRIVE
RALEIGH, NORTH CAROLINA 27609

PHONE: OWNER PHONE

ZAXBY'S - LAKE BOONE TRAIL
ADMINISTRATION SITE REVIEW
4112 LAKE BOONE TRAIL
RALEIGH, NORTH CAROLINA 27607



REVISIONS

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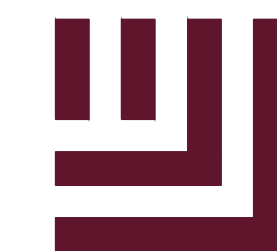
PLAN INFORMATION

PROJECT NO. SPEC24398
 FILENAME SPEC24398-ASR-D1
 CHECKED BY RW
 DRAWN BY MKB
 SCALE #####
 DATE 09.10.2024

SHEET

STORM DRAINAGE
DETAILS

C8.02



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street, Suite 500
Raleigh, NC 27603

phone 919. 361. 5000
fax 919. 361. 2269
NC license number: C-0293, C-187

www.mcadamsco.com

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PLANT SCHEDULE

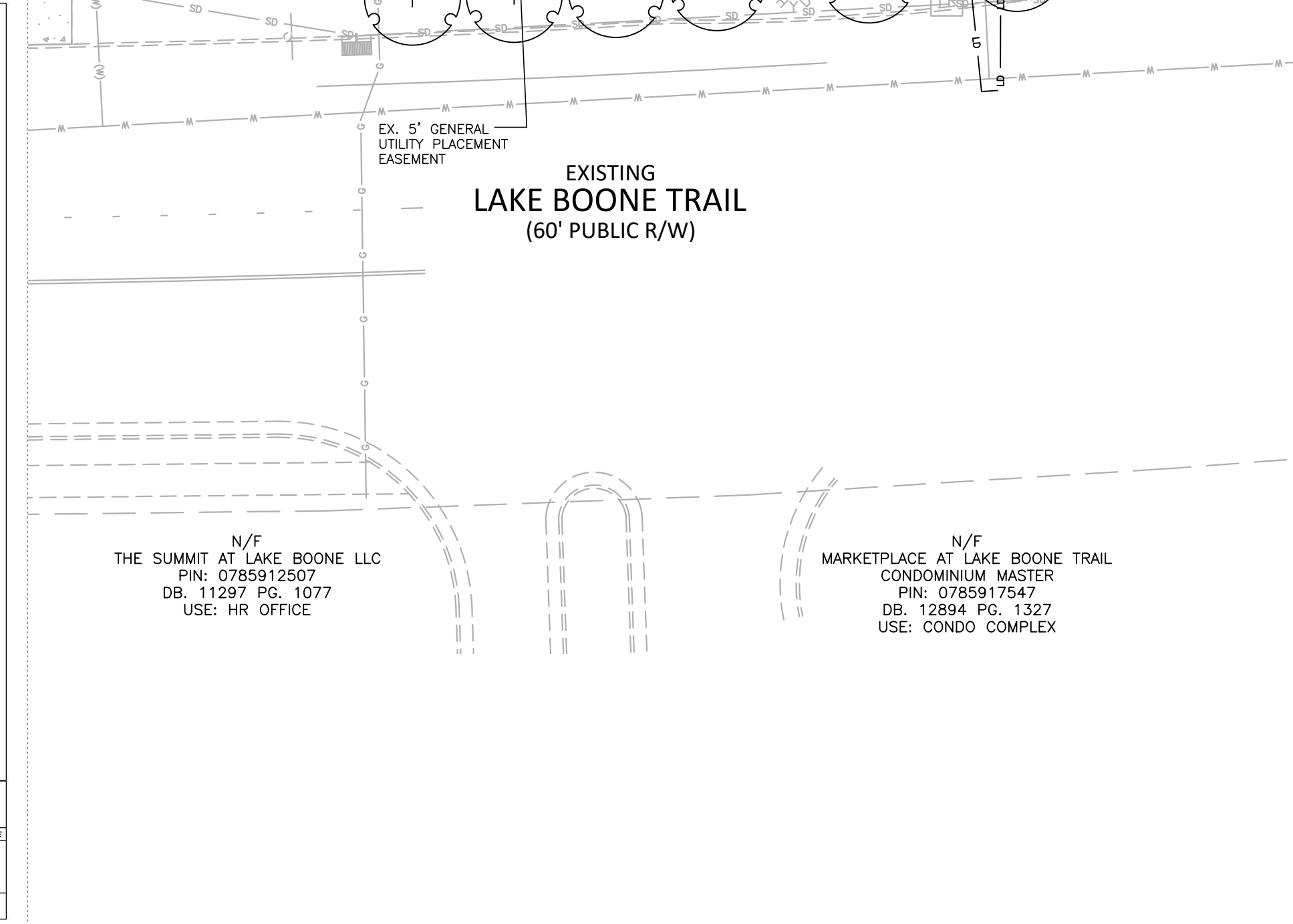
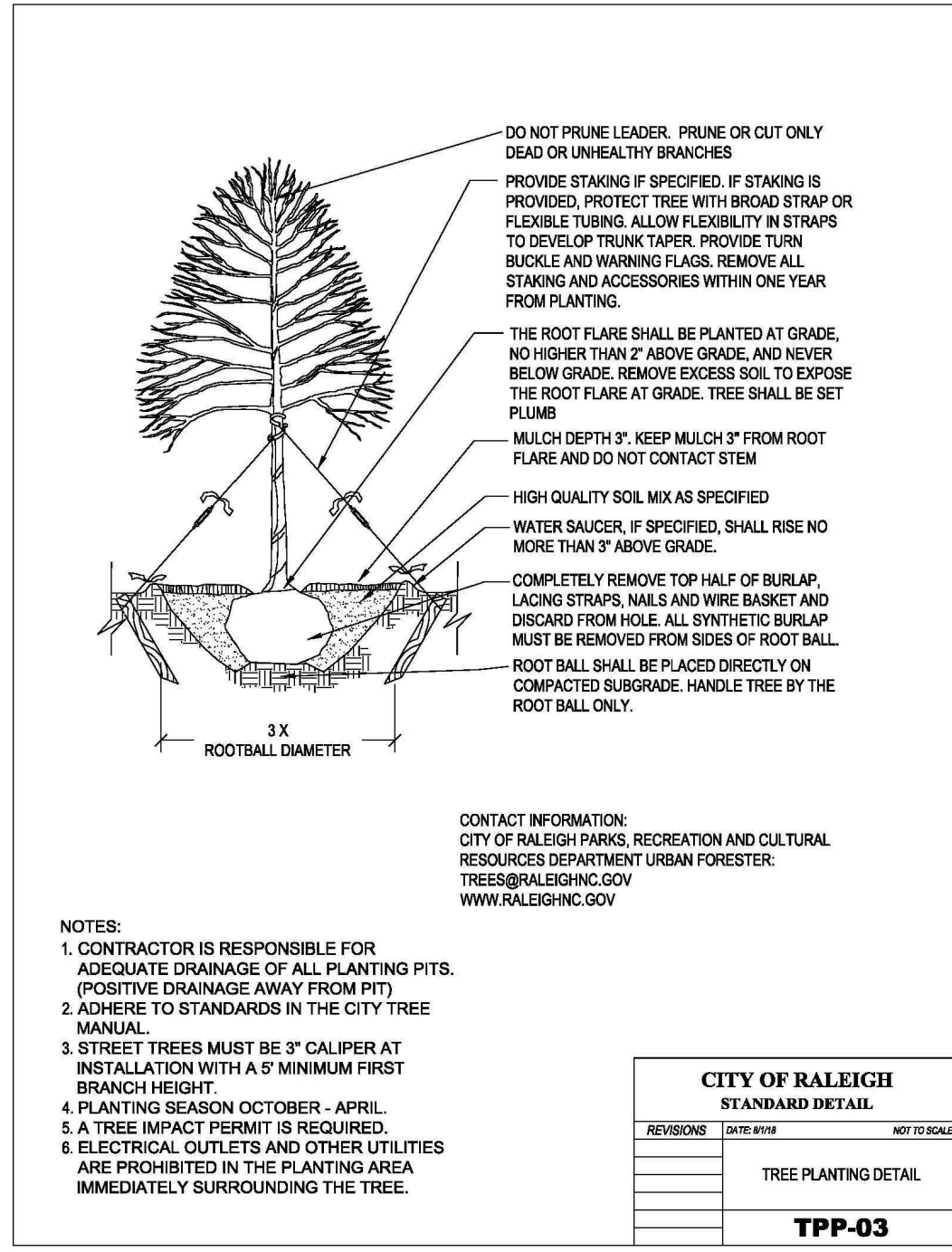
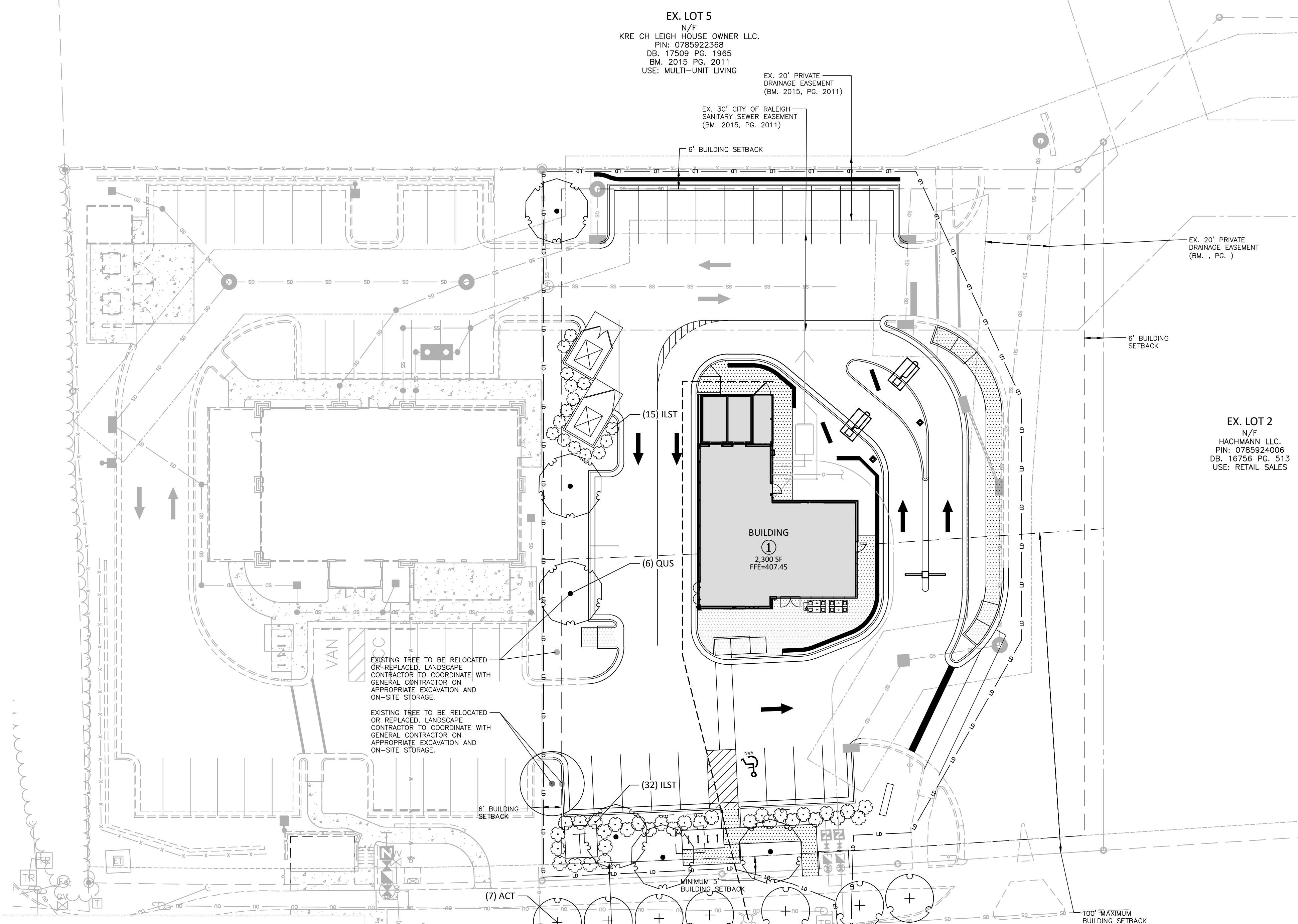
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL	HEIGHT	REMARKS
TREES							
	ACT	7	ACER TRUNCATUM	SHANTUNG MAPLE	1.5" MIN	6' MIN	STREET TREE.
	QUS	6	QUERCUS SHUMARDII	SHUMARD OAK	3" MIN	10' MIN	VEHICLE USE AREA TREES.
SHRUBS							
	ILST	47	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	3 GAL	36" MIN	

GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

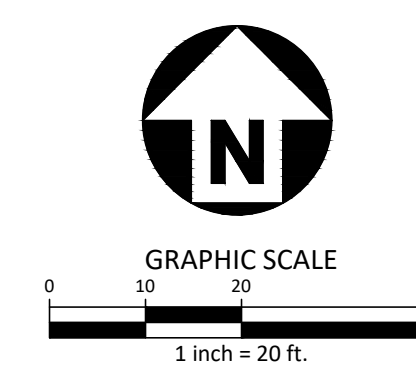
NOTES:

- STREET TREES SHALL BE LOCATED NO CLOSER THAN 30' FROM STOP SIGNS, 10' ON EITHER SIDE OF UTILITY PIPES, 10' FROM DRIVEWAY AND 20' FROM ANY LIGHT POLES. SEE RALEIGH CITY TREE MANUAL FOR ADDITIONAL MINIMUM SEPARATIONS FROM SITE ELEMENTS TO STREET TREES.
- CONTRACTOR SHALL REPLACE ANY EXISTING STREET TREE WHICH IS DAMAGED OR DESTROYED DURING CONSTRUCTION WITH AN EQUAL SPECIES AND SIZE TO BE APPROVED BY LANDSCAPE ARCHITECT AND/OR GOVERNING AGENCY.



LANDSCAPE CALCULATIONS:

STREET TREES	
LAKE BOONE TRAIL:	129 LF
UNDERSTORY TREES REQUIRED:	7 SHADE TREES* (1/20 LF)
UNDERSTORY TREES PROVIDED:	7 SHADE TREES
*PER CITY OF RALEIGH URBAN FORESTRY, THREE STREET TREES ARE REQUIRED TO MINIMIZE IMPACTS TO EXISTING AND PROPOSED PUBLIC INFRASTRUCTURE.	
C3 YARD:	
SHRUBS REQUIRED:	85 LF
SHRUBS PROVIDED:	25 SHRUBS (30/100 LF PER 7.2.4.B)
SHRUBS PROVIDED:	32 SHRUBS (MINIMUM 3.5' INSTALL HEIGHT)
VEHICLE USE AREA:	
SHADE TREES REQUIRED:	11,100 SF
SHADE TREES PROVIDED:	6 SHADE TREES (1/2,000 SF PER 7.1.7.F.2)
SHADE TREES PROVIDED:	6 SHADE TREES



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO.	SPEC24398
FILENAME	SPEC24398-ASR-LS1
CHECKED BY	RW
DRAWN BY	MKB
SCALE	1" = 20'
DATE	09.10.2024

SHREET

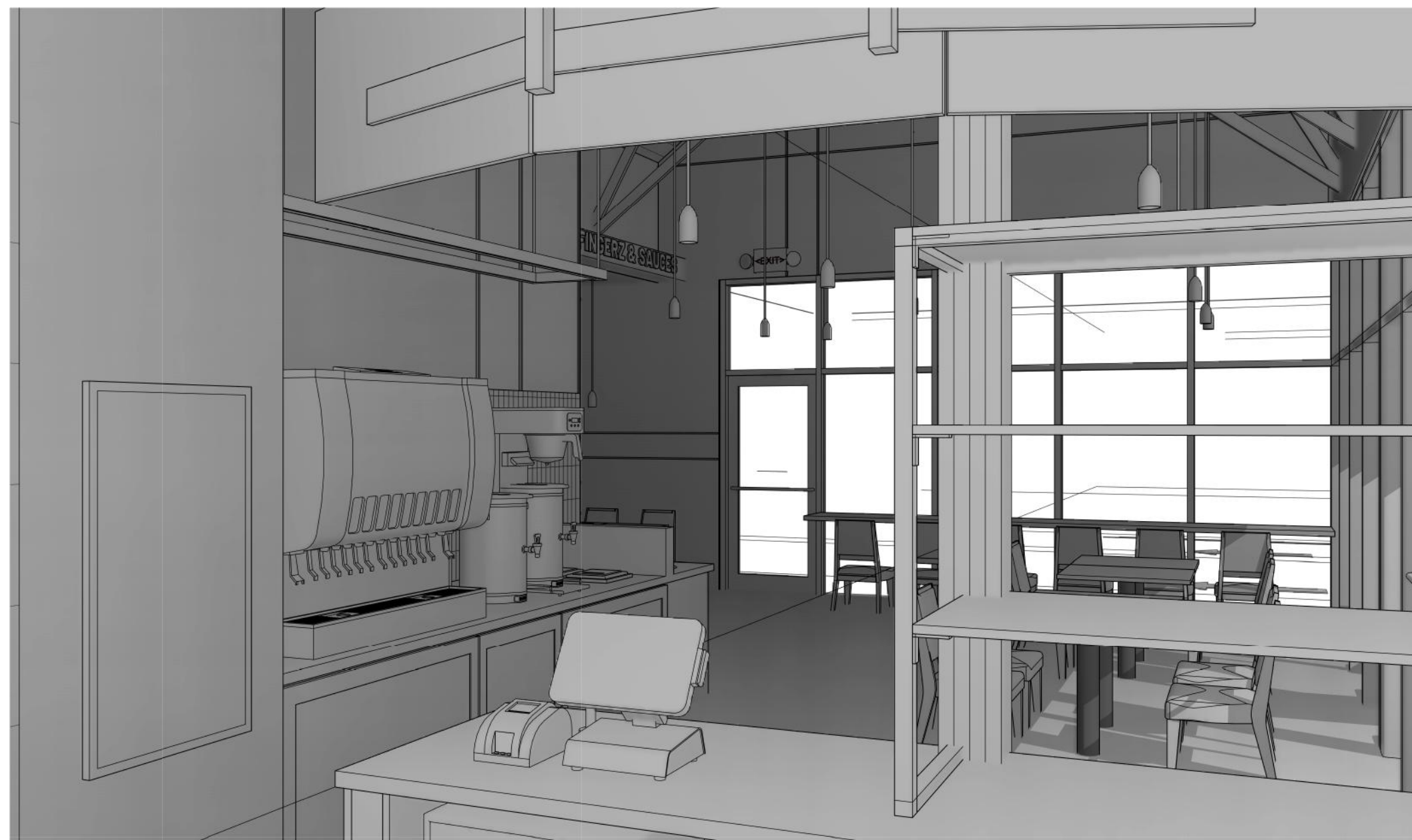
LANDSCAPE PLAN

L5.00

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C DINING INTERIOR - DINING ROOM



B DINING 3D VIEW 02



A DINING INTERIOR - DRIVE THRU

FLOOR PLAN LEGEND

	NEW FULL-HEIGHT PARTITION WALL		WINDOW TYPE, SEE A600
	NEW HALF-WALL - 3/2-1/2" U.N.O.		DOOR IDENTIFICATION NUMBER, SEE A600
	BATT INSULATION		KEYNOTE

FLOOR PLAN GENERAL NOTES

- A. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, PERMITS, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF THE REQUIRED WORK.
- B. APPROVED FIRE EXTINGUISHERS SHALL BE FURNISHED, LOCATED AND INSTALLED BY THE GENERAL CONTRACTOR AS REQUIRED BY THE GOVERNING AUTHORITY.
- C. REFER TO SHEET AXXX FOR FINISH PLAN
- D. REFER TO SHEET AXXX FOR REFLECTED CEILING PLAN
- E. LANDING NOT MORE THAN 1/2 INCH BELOW THE THRESHOLD IS REQUIRED ON EACH SIDE OF AN EGRESS DOOR.

FLOOR PLAN KEYNOTES

- 1. ROOF ACCESS LADDER
- 2. ELECTRICAL PANELS, SEE MEP PLANS
- 3. WOOD FENCE PAINTED WHITE WITH 4X4 PT POST WITH 2X4 HORIZONTAL MEMBERS AT 6'-4" AND 7'-8" WITH 8' RED U PANEL STEEL MOUNTED STARTING 4" ABOVE GROUND AROUND THE SERVICE YARD
- 4. 8' U PANEL STEEL MOUNTED ON THE COOLER WITH A 4" CORNICE TRIM AROUND THE TOP.
- 5. REFER SHEET A603/01 FOR GATE DETAIL.



1 REFERENCE FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

PC #:
ENTITY #:
PROJECT #:

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ZAXBY'S DTO/30 PROTOTYPE
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Anytown USA



DRAWING ISSUE	DATE
07/19/2024	
PROTOTYPE ISSUE	
REVISION DESCRIPTION	
No.	

Drawing Title
REFERENCE FLOOR PLAN

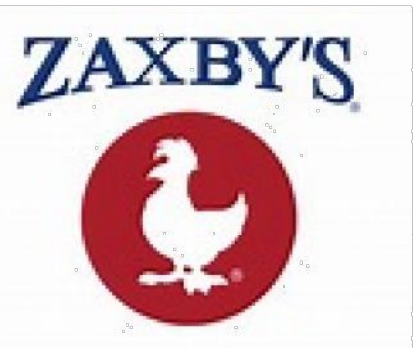
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MATERIAL	KEY	DESCRIPTION	MANUFACTURER	SPECIFICATIONS	NOTES
EXTERIOR WALL FINISH	BR-01	BRICK	GLEN GERY	#567 COAL BRINDLE SMOOTH THIN BRICK	
EXTERIOR WALL FINISH	EIFS-01	EIFS STUCCO	PAREX	ARMOURWALL KRAK-SHIELD SYSTEM	PAINTED PT-12
EXTERIOR WALL FINISH	MP-01	METAL PANEL	VERSA-LINE	1" METAL PANEL - PAINTED P-10 FOUNDERS BLUE	
EXTERIOR WALL FINISH	MP-03	METAL PANEL	VERSA-LINE	1" METAL PANEL - PAINTED P-11 TORCH RED	
EXTERIOR WALL FINISH	PT-10	PAINT	SHERWIN WILLIAMS	PMS 282C - FOUNDERS BLUE, SATIN FINISH	
EXTERIOR WALL FINISH	PT-11	PAINT	SHERWIN WILLIAMS	PMS 185C - TONGUE TORCH RED, SATIN FINISH	
EXTERIOR WALL FINISH	PT-12	PAINT	SHERWIN WILLIAMS	CMYK 2350 / RGB 247 243 237 / HEX #FF7F3E - COLESLAW WHITE, SATIN FINISH	
ROOFING	MP-02	METAL PANEL	MBCI	LOKSEAM - 24 GA 16 INCH WIDTH W/ GALVALUME PLUS COATING	GC TO PROVIDE MATCHING RIDGE VENT AND SNOW/ICE GUARDS AS SHOWN.
ROOFING	MT-01	COPING	BY G.C.	METAL COPING AND TRIM.	PAINTED PT-10
ROOFING	MT-02	GUTTER	BY G.C.	METAL SCUPPER AND DOWNSPOUTS	PAINTED PT-10
ROOFING	TPO-1	ROOFING MEMBRANE	EVERGUARD	60 MIL WHITE 26 GAUGE	
STOREFRONT	SF-01	STOREFRONT	KAWNEER	TRIFAB 451 - ALUMINUM DARK BRONZE ANODIZED	CONTACT: QUALITY GLASS - PHONE (706) 548-4481



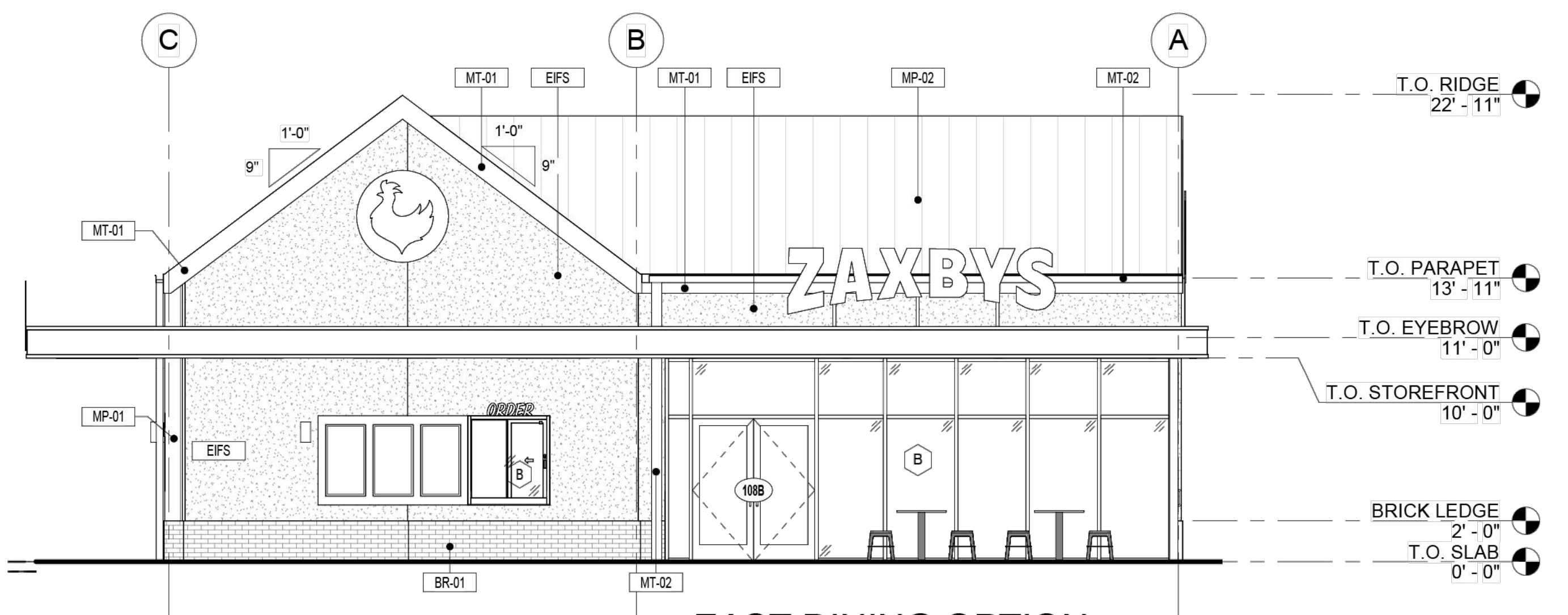
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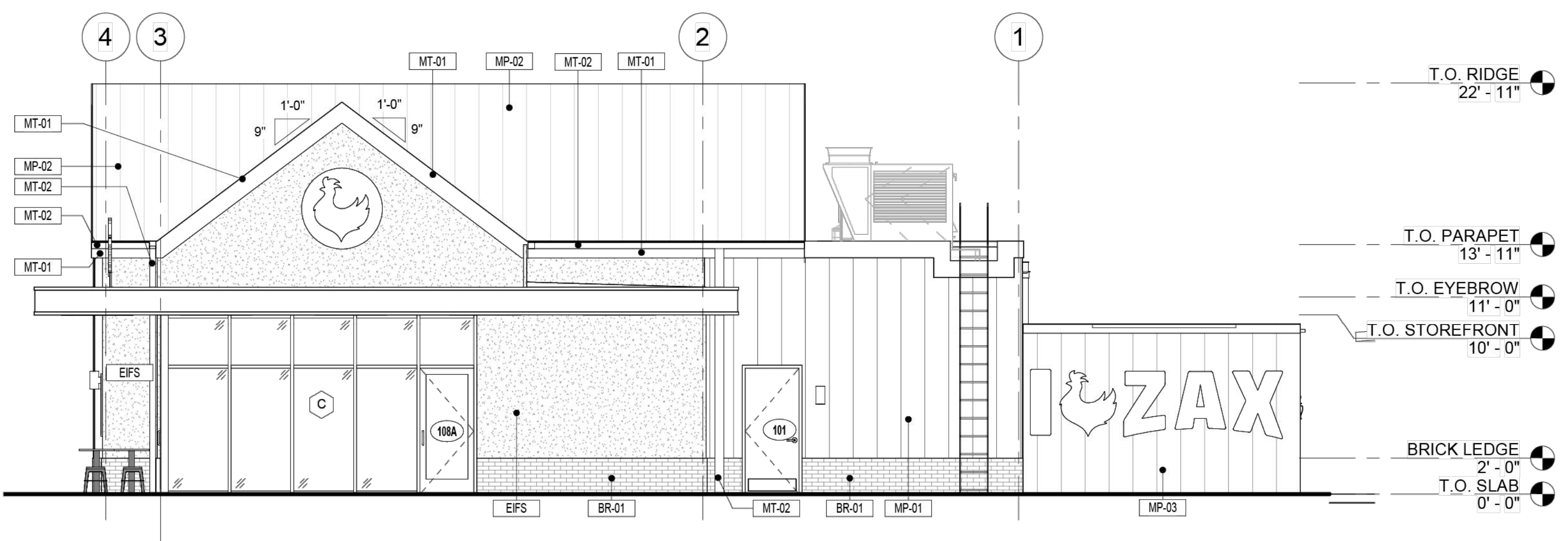
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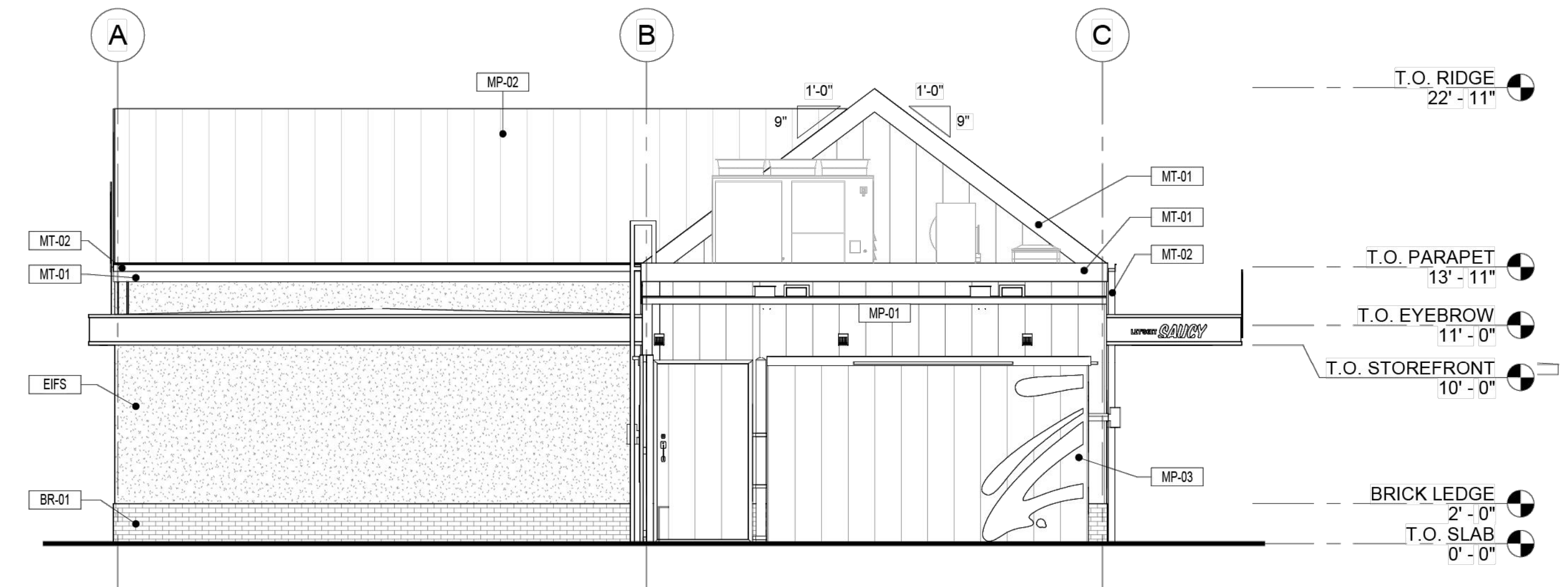
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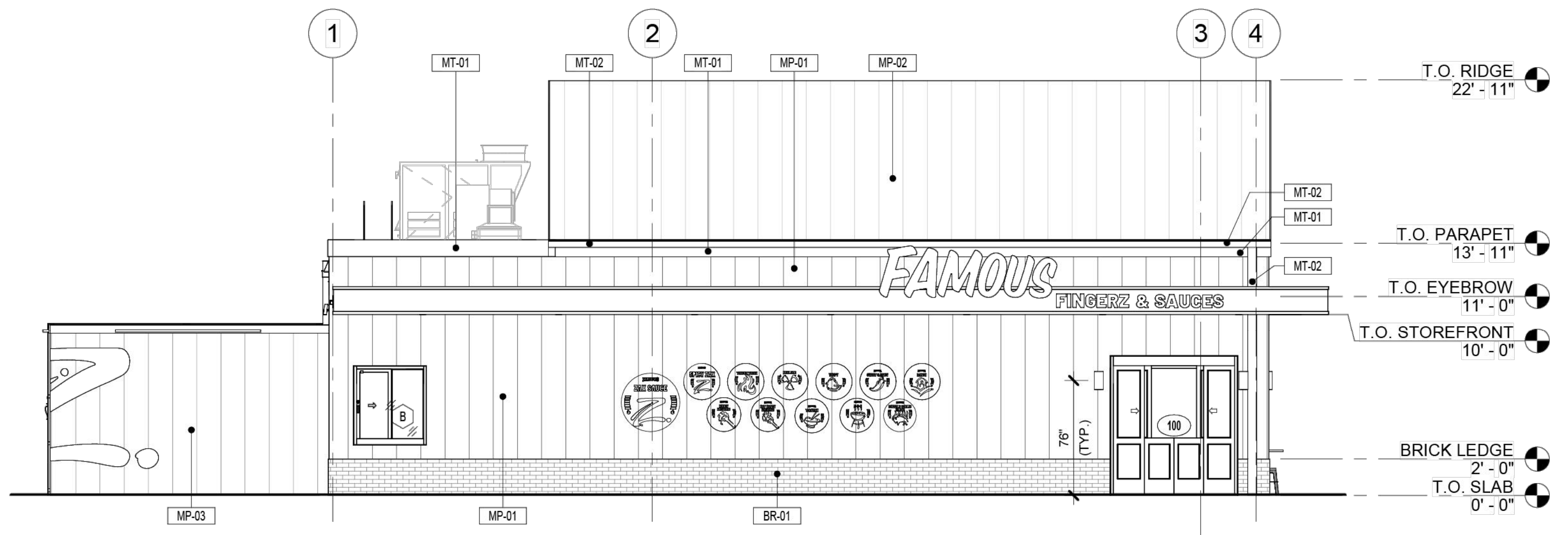
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SCALE: 3/16" = 1'-0"



3 NORTH DINING OPTION
SCALE: 3/16" = 1'-0"



2 WEST DINING OPTION
SCALE: 3/16" = 1'-0"



1 SOUTH DINING OPTION
SCALE: 3/16" = 1'-0"

DRAWING ISSUE	DATE
PROTOTYPE ISSUE	
REVISION DESCRIPTION	
No.	

Drawing Title
EXTERIOR ELEVATIONS

A202

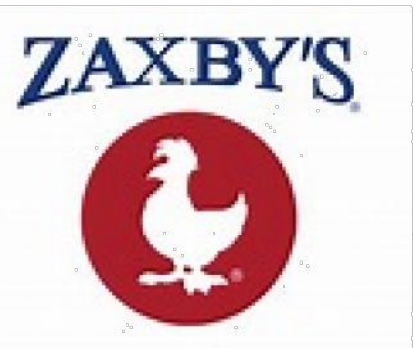
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MATERIAL	KEY	DESCRIPTION	MANUFACTURER	SPECIFICATIONS	NOTES
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EXTERIOR WALL FINISH	EIFS-01	EIFS STUCCO	PAREX	ARMOURWALL KRAK-SHIELD SYSTEM	PAINTED PT-12
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EXTERIOR WALL FINISH	PT-12	PAINT	SHERWIN WILLIAMS	CMYK 2350 / RGB 247 243 237 / HEX #FF7F3E - COLESLAW WHITE, SATIN FINISH	
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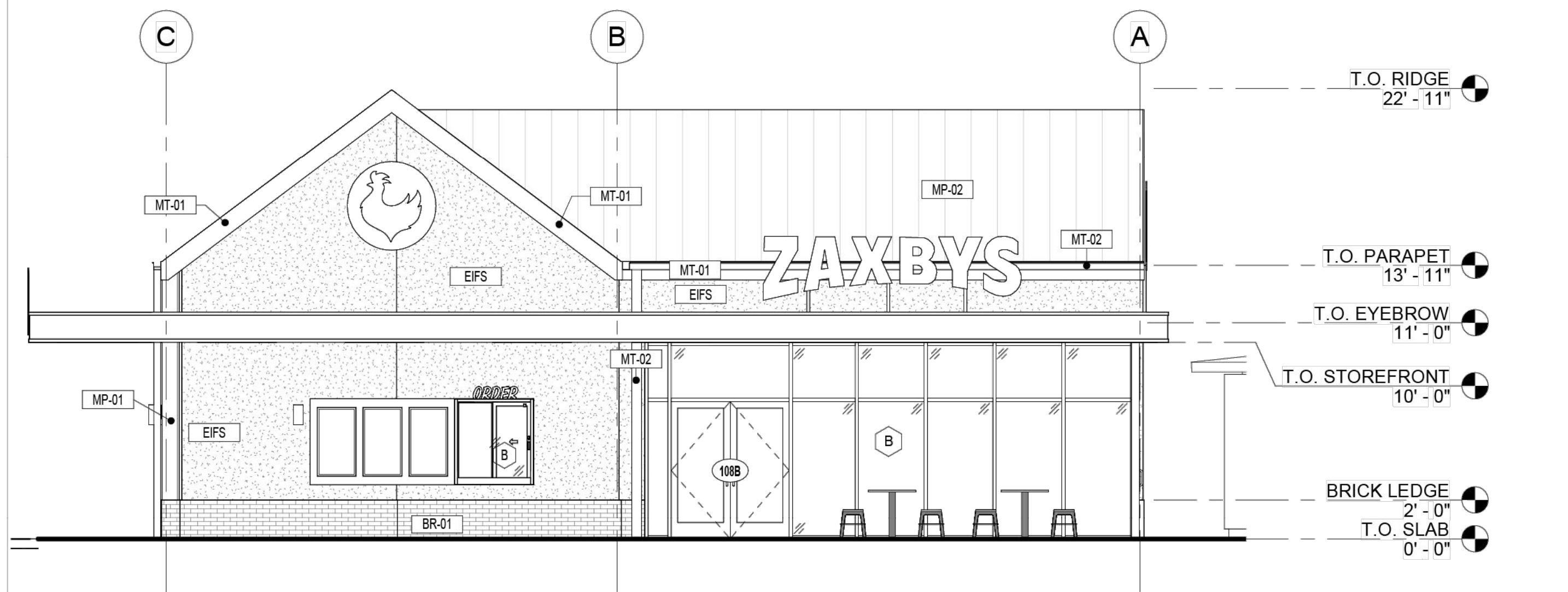
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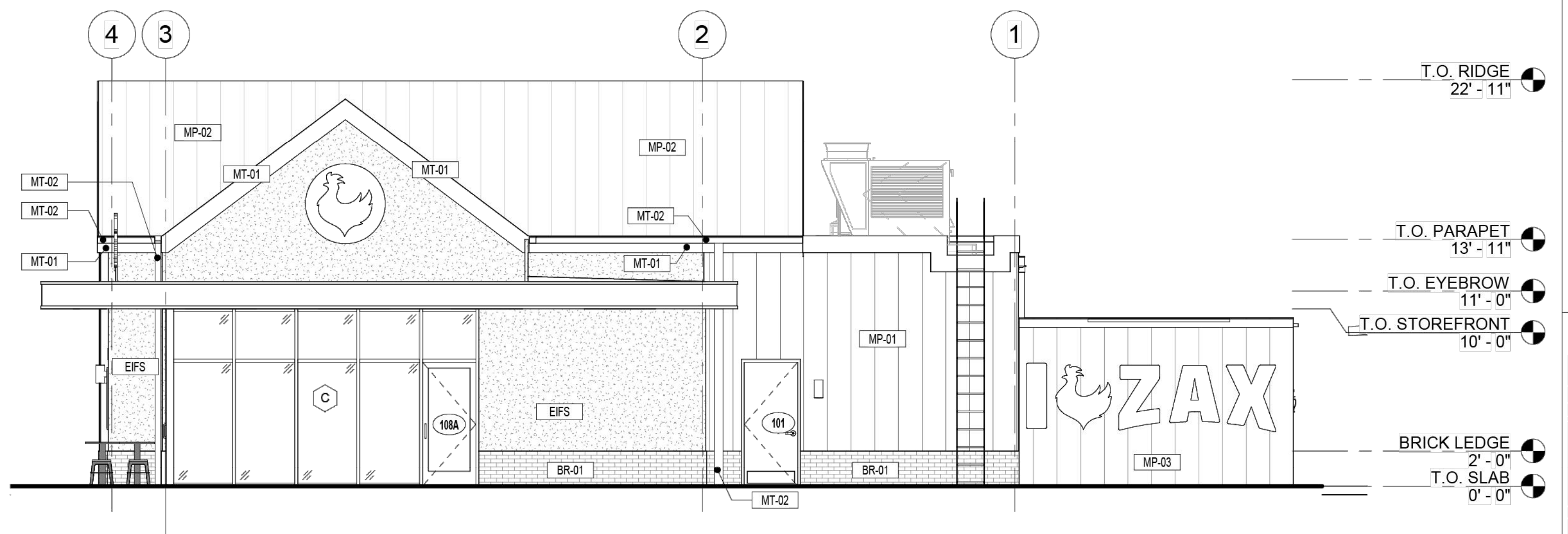
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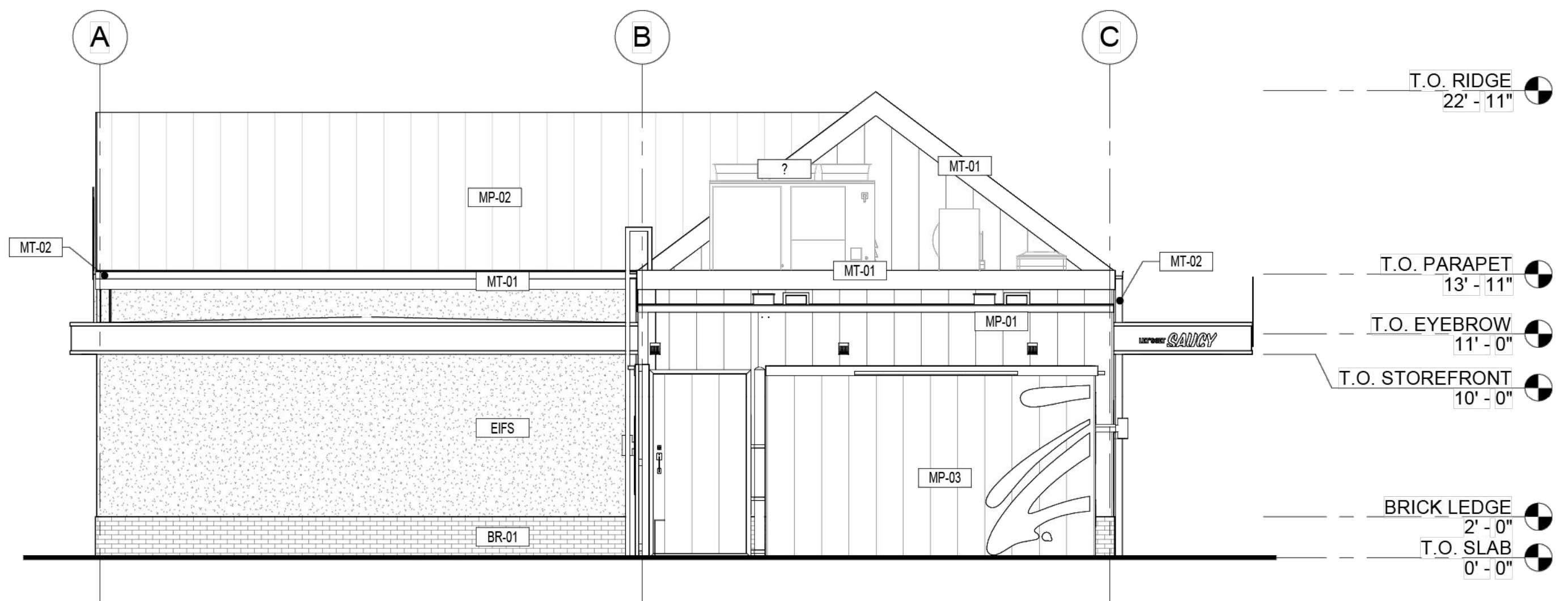
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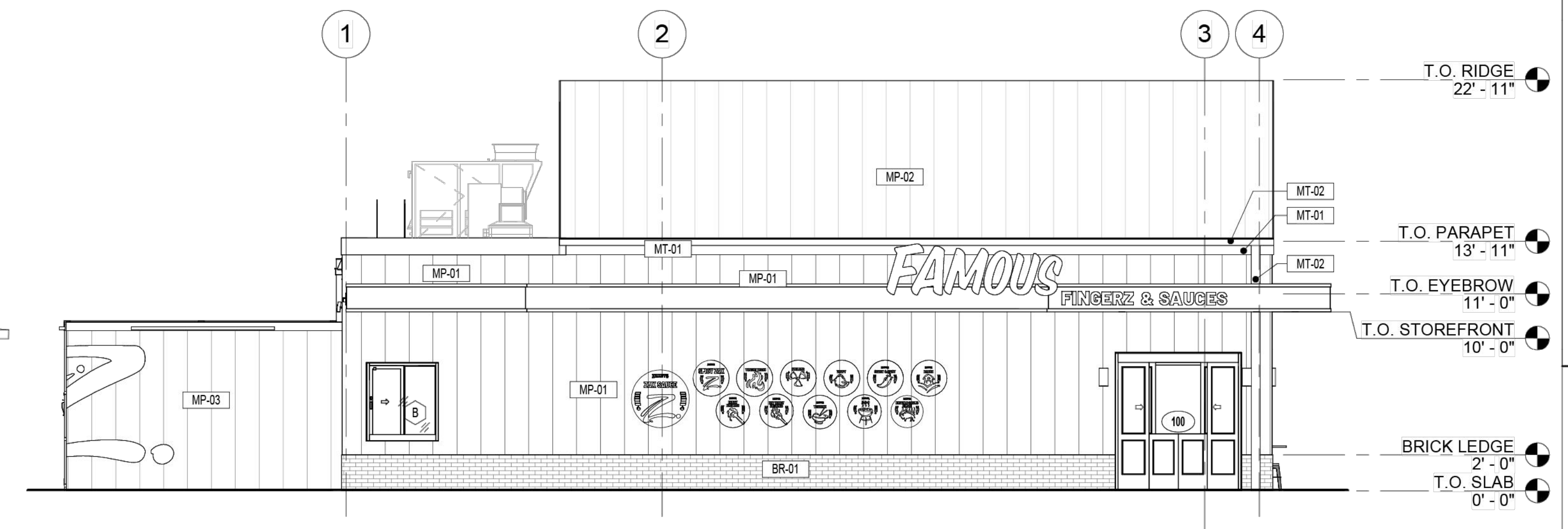
4 EAST ELEVATION



3 NORTH ELEVATION



2 WEST ELEVATION



1 SOUTH ELEVATION

DRAWING ISSUE	DATE
PROTOTYPE ISSUE	07/19/2024
REVISION DESCRIPTION	
No.	

Drawing Title
EXTERIOR ELEVATIONS

A202A