Administrative Site Review Application



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting. Office Use Only: Case #: Planner (print): Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.) Site Plan Tier: Tier Two Site Plan Tier Three Site Plan **Building and Development Type Site Transaction History** (Check all that apply) Detached General Subdivision case #: Scoping/sketch plan case #: Attached Mixed use Certificate of Appropriateness #: Townhouse Civic Board of Adjustment #: Apartment **Cottage Court** Zoning Case #: _____ Tiny house Frequent Transit Design Alternate #: _____ **Development Option** Open lot **GENERAL INFORMATION** Development name: Inside City limits? Yes No Property address(es): Site P.I.N.(s): Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). **Current Property Owner(s):** Title: Company: Address: Phone #: Email: Applicant Name (If different from owner. See "who can apply" in instructions): Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder Company: Address:

Phone #:	Email:		
NOTE: please attach purchase agreement	or contrac	t, lease or easement when submitting this form.	
Developer Contact:			
Company:		Title:	
Address:			
Phone #: Email:			
Applicant Name:			
Company: Address:			
Phone #:	Email:		
		PE + SITE DATE TABLE all developments)	
SITE DATA	ppiicable it	BUILDING DATA	
-		Existing gross floor area (not to be demolished):	
Gross site acreage:		Existing gross floor area to be demolished:	
# of parking spaces proposed:		New gross floor area:	
		Total sf gross (to remain and new):	
		Proposed # of buildings:	
Existing use (UDO 6.1.4):		Proposed # of stories for each:	
Proposed use (UDO 6.1.4):		Proposed # of basement levels (UDO 1.5.7.A.6)	
STORMWATER INFORMATION			
Imperious Area on Parcel(s): Existing (sf) Proposed total (sf)		Impervious Area for Compliance (includes ROW):	
		Existing (sf) Proposed total (sf)	
DECIDENTIAL	OVEDNIC	HT LODGING DEVELOPMENTS	
	x OVERNIG	HT LODGING DEVELOPMENTS Total # of hotel bedrooms:	
Total # of dwelling units: # of bedroom units: 1br 2br 3br			
# of lots:		Is your project a cottage court? Yes No	

Continue to Applicant Signature Block on Page 4.

A frequent transit development?

) No

) Yes

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

Administrative Site Review Application

Applicant Name (If different from owner. See "who can apply" in instructions)

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Address: 621 Hillsborough St, Ste 500

Office Use Only: Case #:		Planner (print):	
			ce determining a Site Plan Tier is needed nd Development Portal. (Note: There is a
Site Plan Tier: Tier Two Site F	Plan Tier Three	Site Plan	
The state of the s			

Site Plan Tier: Tier Tw	o Site Plan	Tier Three	Site Plan	
Building and Development Type (Check all that apply)				Site Transaction History
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Trans Development C		Scoping/ske Certificate of Board of Ad Zoning Cas	n case #: S-050-14 etch plan case #: of Appropriateness #: djustment #: se #: Z-20-2013 ernate #:
Development name: Zaxl			FORMATIO	N
with the contracted Press to each year to record the decision of the processing of the section of the contract	es 🗸 No	5-75-5-4 6 0-7-5		
Site P.I.N.(s): 07859220 Please describe the scop	200 W 10 W 10	additions, e	xpansions, a	nd uses (UDO 6.1.4).
Single story retail/resta	urant building with	drive-thru	and associ	ated parking and utilities.
Current Property Owner	(s): TBR Lake Boo	ne Owner l	LC/TR	
Company: TBR Lake Be	one Owner LLC/T	R	Title:	
Address: PO Box 2019	7, Atlanta, GA 3032	25		
Phone #:	E	mail:		

Phone #: 919-361-5000	Email: veno@mcadamsco.com	
NOTE: please attach purchase ag	reement or contract	, lease or easement when submitting this form.
Developer Contact: Matthew Bull	ard	
Company: Two Birdz, LLC		Title: Manager
Address: 608 LAkeshore Drive, I	Raleigh, NC 27609	
Phone #: 919-295-2190	Email: treve	or@br1980.com
Applicant Name: Richard Veno		
Company: McAdams	Address: 62	21 Hillsborough Street, Suite 500, Raleigh, NC 27603
Phone #: 919-361-5000	Email: ven	o@mcadamsco.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)		
SITE DATA	BUILDING DATA	
Zoning district(s) (please provide the acreage of each): CX-5-PL-CU	Existing gross floor area (not to be demolished): N/A	
Gross site acreage: 0.87	Existing gross floor area to be demolished: N/A	
# of parking spaces proposed: 20	New gross floor area: 2,300SF	
Max # parking permitted (7.1.2.C): 23	Total sf gross (to remain and new): 2,300SF	
Overlay District (if applicable):	Proposed # of buildings: 1	
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1	
Proposed use (UDO 6.1.4): Retail/Restaurant	Proposed # of basement levels (UDO 1.5.7.A.6) 0	

STORMW	ATER INFORMATION
Imperious Area on Parcel(s): Existing (sf) 15,296 Proposed total (sf) 28,000	Existing (sf) 15,296 Proposed total (sf) 28,000
RESIDENTIAL & OVERN	IIGHT LODGING DEVELOPMENTS
	Total # of hotel bedrooms: N/A
Total # of dwelling units: N/A	Total # of hotel bedrooms: N/A
Total # of dwelling units: N/A	Total # of hotel bedrooms: N/A

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK
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Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen Stat. § 160D-403(f).
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.
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ZAXBY'S - LAKE BOONE TRAIL

4112 LAKE BOONE TRAIL

RALEIGH, NORTH CAROLINA, 27607

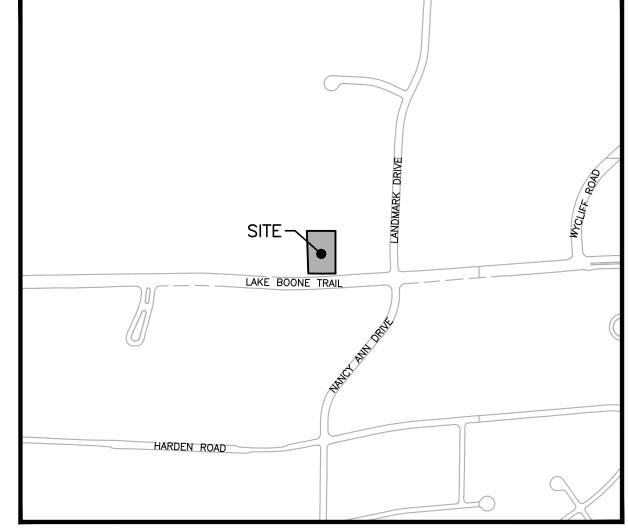
ADMINISTRATIVE SITE REVIEW

PROJECT NUMBER: SPEC24398

DATE: SEPTEMBER 10, 2024

SIT	E DATA TABLE
SITE ADDRESS	4112 LAKE BOONE TRAIL RALEIGH, NORTH CAROLINA 27607
OWNER	TBR LAKE BOONE OWNER, LLC PO BOX 56607 ATLANTA, GEORGIA 30343
PIN	0785922003
EXISTING USE	OPEN LOT/VACANT
PROPOSED USE	GENERAL (RESTAURANT)
REAL ESTATE ID	0434935
ZONING	CX-5-PL-CU
WATERSHED	CRABTREE CREEK
LOT AREA	38,101 SF / 0.87 AC
PROJECT AREA	0.70 ACRES
AREA IN FLOODWAY/FLOODPLAIN	NONE
BUILDING SQUARE FOOTAGE	2,300 GFA
AMENITY AREA	REQUIRED: 38,101X10% = 3,810 SF
	PROPOSED: 3,811 SF
BUILDING SETBACKS	PRIMARY STREET: 5' SIDE: 6' REAR: 6'
PARKING SETBACKS	PRIMARY STREET: 10' SIDE: 0' OR 3' REAR: 0' OR 3'
PARKING REQUIREMENTS	REQUIRED: 15 SPACES (1 PER 150 GFA) (1 ACCESSIBLE SPACE INCLUDED) MAXIMUM: 23 SPACES (1 PER 100 GFA)
	PROPOSED: 21 SPACES (1 ACCESSIBLE SPACE INCLUDED)
BIKE PARKING REQUIREMENTS	REQUIRED: SHORT—TERM: 1 PER 50,000 SF (MIN. 4 LONG—TERM: 1 PER 25,000 SF (MIN. 4
DIRE LAWING IVERGINEMENTS	TOTAL REQUIRED SHORT-TERM PARKING: 4 TOTAL REQUIRED LONG-TERM PARKING: 4
	TOTAL PROVIDED PARKING: 8
IMPER/IOUS AREA	EXISTING: 0.35 AC / 15,296 SF (40.2%)
IMPERVIOUS AREA	PROPOSED: 0.64 AC / 28,000 SF (73.5%)

	Sheet List Table
Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	PROJECT NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	PAVEMENT AND SIGNAGE PLAN
C3.00	GRADING PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	WATER & SEWER DETAILS
C8.02	STORM DRAINAGE DETAILS
L5.00	LANDSCAPE PLAN
A102	REFERENCE FLOOR PLAN
A202	EXTERIOR ELEVATIONS
A202A	EXTERIOR ELEVATIONS







CONDITION OF APPROVAL

1. A TRANSPOSED COPY OF THE PROPOSED SOLID WASTE SERVICE AGREEMENT FROM THE PRIVATE CONTRACTOR SHALL BE PROVIDED PRIOR TO SITE PERMIT REVIEW APPROVAL OUTLINING TIMES OF SERVICE ON THE PROVIDERS LETTER HEAD.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOEWAYSERVICES@RAI FIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- 3. A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE

4. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING

- 5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT
- 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD); 5.2. PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
- 5.3. AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
- 5.4. RALEIGH STREET DESIGN MANUAL (RSDM).
- 6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409. and the **Public Utilities Department** at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.

NOTE:

16461, PGS. 1503-1542.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT

SOLID WASTE INSPECTION STATEMENT:

A CROSS ACCESS AGREEMENT HAS BEEN PREVIOUSLY RECORDED FOR LOTS 2-5 UNDER BM:

THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES.

LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



Suite 500 Raleigh, NC 27603 phone 919. 361. 5000

621 Hillsborough Street

fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

CONTACT

RICHARD VENO VENO@MCADAMSCO.COM PHONE: 919. 361. 5000

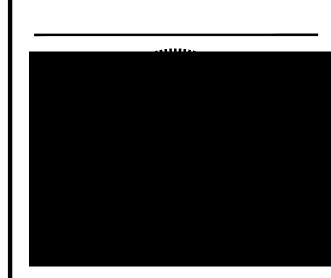
CLIENT

TWO BIRDZ, LLC **608 LAKESTONE DRIVE** RALEIGH, NORTH CAROLINA 27609 PHONE: XXX. XXX. XXXX

PROJECT DIRECTORY

DEVELOPER TWO BIRDZ, LLC **608 LAKESTONE DRIVE** RALEIGH, NORTH CAROLINA 27609 PHONE: XXX. XXX. XXXX

APD ENGINEERING & ARCHITECTURE, PLLC 615 FISHERS RUN VICTOR, NEW YORK 14564 PHONE: 585. 742. 2222



REVISIONS

ADMINISTRATIVE SITE REVIEW FOR:

ZAXBY'S - LAKE BOONE TRAIL 4112 LAKE BOONE TRAIL RALEIGH, NORTH CAROLINA, 27607 PROJECT NUMBER: SPEC24398

Z-20-13 - LANDMARK DRIVE, CONDITIONAL USE

TOWER-- ALL TYPES, WATER OR SANITARY SEWER TREATMENT PLANT, ADULT ESTABLISHMENT

OCATED ON LAKE BOONE TRAIL BEING WAKE COUNTY PIN(S), APPROXIMATELY 34.29 ACRE(S) TO BE REZONED FROM O&I-1 CUD. TO CX-5PL CU, CX-4-PL CU, NX-4 CU, OX -3 CU, OX-4-CU.

CONDITIONS DATED: 09/19/13

NARRATIVE OF CONDITIONS BEING REQUESTED:

THE FOLLOWING PRINCIPAL USES, AS LISTED IN UDO SECTION 6.1.4, "ALLOWED PRINCIPAL USE TABLE", SHALL BE PROHIBITED ON ALL PORTIONS OF THE PROPERTY:

3OARDINGHOUSE, DORMITORY, FRATERNITY, SORORITY, MONASTERY, CONVENT, ORPHANAGE, EMERGENCY SHELTER TYPE A,

EMERGENCY SHELTER TYPE B, SPECIAL CARE FACILITY, CEMETERY, COLLEGE, COMMUNITY COLLEGE, UNIVERSITY CIVIC CLUB, MUSEUM, LIBRARY, SCHOOL, PUBLIC OR PRIVATE (K-12), AERATION FACILITY, ARTESIAN WELL, TELECOMMUNICATION

BILLIARD HALL, POOL HALL, BINGO PARLOR, BOWLING ALLEY, CONVENTION CENTER, ARENA, SHOOTING RANGE MINIATURE GOLF FACILITY, MOTOR TRACK, MOVIE THEATER OR OTHER INDOOR THEATER, SKATING RINK, RADIO, TV OR RECORDING STUDIO, UTILITY OFFICE AA. OUTDOOR RECREATION -- ALL TYPES, BED AND BREAKFAST CC. YOUTH HOSTEL

PASSENGER TERMINAL--ALL TYPES, FUNERAL HOME, FUNERAL PARLOR, MORTUARY, UNDERTAKING ESTABLISHMENT, CREMATORIUM, PET CREMATORIUM, LOCKSMITH, PALMIST, PSYCHIC, MEDIUM, FORTUNE TELLING, POST OFFICE TATTOO PARLOR, BODY PIERCING JJ. WEDDING CHAPEL, PAWNSHOP, VEHICLE SALES/RENTAL

LIGHT MANUFACTURING NN. CAR WASH, VEHICLE REPAIR -- ALL TYPES ZONING CONFORMANCE: NO PROHIBITED USES ABOVE ARE PROPOSED.

JPON REDEVELOPMENT OF THE PROPERTY, EXCLUDING MAINTENANCE AND REPAIRS OF EXISTING BUILDINGS OR STRUCTURES. OR RECONSTRUCTION WITH LIKE SIZE BUILDINGS AND USES, THAT AREA ON THE PROPERTY (THE "BUFFER AREA") BETWEEN THE EASTERN EDGE OF THE RIGHT-OF-WAY OF LANDMARK DRIVE AND THE PROPERTY LINE ADJACENT TO THOSE PROPERTIES DESCRIBED IN THE DEEDS RECORDED IN THE WAKE COUNTY REGISTRY AS FOLLOWS: BOOK 14378, PAGE 1296; BOOK 4681, PAGE 860; BOOK 3491, PAGE 38; BOOK 6241, PAGE 489; AND BOOK 15160, PAGE 1925 (COLLECTIVELY, THE "SINGLE FAMILY RESIDENTIAL PARCELS") SHALL, AT A AINIMUM, BE PLANTED WITH FIVE SHADE TREES PER 100 LINEAL FEET AND FOUR UNDERSTORY TREES PER 100 LINEAR FEET. ZONING CONFORMANCE: REQUIRED LANDSCAPE MATERIAL IS ALREADY EXISTING.

OTHER THAN THE INSTALLATION AND MAINTENANCE OF THE PLANTING MATERIAL REFERENCED IN ABOVE CONDITION 2, THE BUFFER AREA SHALL NOT BE DISTURBED, WITH THE FOLLOWING EXCEPTIONS: (A) UTILITY SERVICES AND RELATED EASEMENTS; (B) STORM DRAINAGE FACILITIES AND RELATED EASEMENTS; (C PLANTING MATERIAL AND ANY FENCES OR WALLS PERMITTED BY THE UDO TO COMPLETE ANY TRANSITION REQUIREMENTS; AND (D) REMOVAL OF DEAD, PEST INFESTED, DISEASED OR DAMAGED PLANT MATERIALS THAT POSE SAFETY HAZARDS, PROVIDED NONE OF THESE ACTIVITIES ARE ALLOWED IN DESIGNATED TREE CONSERVATION AREAS. IF

ZONING CONFORMANCE: NO IMPACTS ARE PROPOSED WITHIN THE BUFFER WITH THIS PROJECT.

JPON REDEVELOPMENT OF THAT PORTION OF THE PROPERTY DESIGNATED AREA 1 ON THE ATTACHED EXHIBIT 1, EXCLUDING MAINTENANCE AND REPAIRS OF EXISTING BUILDINGS OR STRUCTURES OR RECONSTRUCTION WITH LIKE SIZE BUILDINGS AND USES, NO NEW BUILDINGS OR ADDITIONS TO EXISTING BUILDINGS SHALL BE CONSTRUCTED WITHIN ONE HUNDRED AND TWENTY (120) FEET OF THE COMMON PROPERTY LINE WITH THE SINGLE FAMILY RESIDENTIAL PARCELS. THE MAXIMUM BUILDING HEIGHT SHALL BE FORTY-FIVE (45) FEET FOR NEW BUILDINGS OR ADDITIONS TO EXISTING BUILDINGS LOCATED WITHIN THAT PORTION OF AREA 1 THAT IS WITHIN TWO HUNDRED AND TWENTY (220) FEET FROM THE SINGLE FAMILY RESIDENTIAL PARCELS.

ZONING CONFORMANCE: THE PROPOSED LOT IS NOT LOCATED IN THE DESCRIBED AREA.

EXCEPT FOR DIRECT BROADCAST SATELLITE DISHES MEASURING THIRTY-NINE (39) INCHES OR LESS. ALL HVAC OR MECHANICAL EQUIPMENT, INCLUDING DISH ANTENNAE, LOCATED ON THE ROOF OF ANY BUILDING CONSTRUCTED AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE SCREENED IN ACCORDANCE WITH UDO SECTION 7.2.5.D.2.

ZONING CONFORMANCE: THE HVAC AND MECHANICAL UNITS WILL BE SCREENED PER UDO SECTION 7.2.5.D.2. THIS WILL BE MADE A CONDITION OF APPROVAL.

WITHIN THIRTY (30) DAYS OF THE DATE OF THE ADOPTION OF THIS REZONING ORDINANCE, THE PROPERTY OWNER SHALL REQUEST THE CITY OF RAI FIGH TO INSTALL A TRAFFIC SIGNAL AT THE INTERSECTION OF LAKE BOONE TRAIL AND LANDMARK DRIVE. IF NO TRAFFIC LIGHT IS APPROVED BY THE CITY, THEN THE OWNER OF THE REZONED PROPERTY, OR IF THERE ARE MORE THAN ONE LOT OWNER, THE OWNER OF THE LARGEST PORTION OF THE PROPERTY, SHALL ALSO MAKE THIS REQUEST AT LEAST EVERY TWO (2) YEARS THEREAFTER. FURTHER, AND IN ADDITION TO OTHER NOTICES REQUIRED HEREUNDER. THE APPLICANT FOR A SUBDIVISION PLAN OR SITE PLAN REVIEW SHALL ALSO MAKE THIS REQUEST AT THE TIME OF APPLICATION. EXCEPT FOR SUCH PLANS ASSOCIATED WITH MAINTENANCE AND REPAIR OF EXISTING BUILDINGS OR STRUCTURES OR RECONSTRUCTION WITH LIKE SIZE BUILDINGS AND USES. NOTICE OF THE REQUESTS MADE PURSUANT TO THIS CONDITION 6. SHALL BE PROVIDED TO THE MEREDITH WOODS NEIGHBORHOOD AND THE OWNERS OF THE SUMMIT OFFICE BUILDING (BOOK 11297, PAGE 1077) IN ACCORDANCE WITH THE METHODS PERMITTED BY EITHER SUBSECTION A. OR SUBSECTION B, OF UDO SECTION 10.2.1.C.1. THE OBLIGATIONS IMPOSED BY THIS CONDITION 6. SHALL EXPIRE TEN 10) YEARS FROM THE DATE OF THE ADOPTION OF THIS REZONING ORDINANCE.

ZONING CONFORMANCE: THE REQUIRED TRAFFIC SIGNAL IS EXISTING.

WITHIN TEN (10) YEARS OF THE DATE OF THE ADOPTION OF THIS REZONING ORDINANCE AND AFTER WRITTEN NOTICE FROM THE CITY OF RALEIGH OR THE CITY'S DECISION TO PERMIT THE INSTALLATION OF THE TRAFFIC SIGNAL AT THE INTERSECTION OF LAKE BOONE TRAIL AND LANDMARK DRIVE, THE OWNER OF THE REZONED PROPERTY, OR IF THERE ARE MORE THAN ONE LOT OWNER, THE OWNER OF THE LARGEST PORTION OF THE PROPERTY, SHALL CONTRIBUTE \$85,000 TO THE CITY OF RALEIGH FOR USE IN CONNECTION WITH THE TRAFFIC SIGNAL'S INSTALLATION. SUCH PAYMENT SHALL BE PROVIDED TO THE CITY OF RALEIGH WITHIN SIX MONTHS OF THE DATE OF THE CITY'S DECISION TO PERMIT A TRAFFIC SIGNAL.

ZONING CONFORMANCE: THE REQUIRED TRAFFIC SIGNAL IS EXISTING AND THE FEE HAS BEEN PAID.

A LIGHTING PLAN AND PHOTOMETRIC ANALYSIS OF THE PROPOSED SITE LIGHTING FOR THE PROPERTY SHALL BE SUBMITTED IN ACCORDANCE WITH UDO ARTICLE 7.4. FOR THOSE PORTIONS OF THE PROPERTY DESIGNATED AREA 1. AREA 2 OR AREA 4 ON THE ATTACHED EXHIBIT 1. LIGHTING FEATURES SHALL CREATE DOWNWARD LIGHTING AND, IF NECESSARY, WILL UTILIZE SHIELDING, HOODS, OR OTHER APPROPRIATE MEASURES TO ACHIEVE FULL CUT-OFF DESIGN ZONING CONFORMANCE: A LIGHTING PLAN WILL BE SUBMITTED

THE APPLICANT FOR ANY SITE PLAN CONCERNING ANY PORTION OF THE PROPERTY, EXCLUDING MAINTENANCE AND REPAIRS OF EXISTING BUILDINGS OR STRUCTURES OR RECONSTRUCTION WITH LIKE SIZE BUILDINGS AND USES, SHALL PROVIDE, AT LEAST THIRTY (30) DAYS IN ADVANCE OF SUBMITTING A SITE PLAN REVIEW APPLICATION. WRITTEN NOTICE TO ALL OWNERS OF THE SINGLE FAMILY RESIDENTIAL PARCELS OF THE APPLICANT'S SUBMITTAL OF ANY SITE PLAN TO THE CITY. SUCH NOTICE SHALL INCLUDE A PROPOSED MEETING DATE, WHERE THE APPLICANT WILL PRESENT THE SITE PLAN, LIGHTING PLAN, AND PHOTOMETRIC ANALYSIS PREPARED IN CONJUNCTION WITH SUCH SITE PLAN. THE APPLICANT SHALL FURNISH SUCH NOTICE OF THIS MEETING TO THE OWNERS OF THE SINGLE FAMILY RESIDENTIAL PARCELS AT LEAST FOURTEEN (14) DAYS IN ADVANCE OF THE APPLICANT'S PROPOSED MEETING DATE. THE NOTICE REQUIRED BY THIS CONDITION SHALL BE PROVIDED IN ACCORDANCE WITH THE METHODS PERMITTED BY EITHER SUBSECTION A. OR

ZONING CONFORMANCE: WRITTEN NOTICE TO BE PROVIDED AND A PUBLIC MEETING TO BE HELD.

PRIOR TO RECORDATION OF A SUBDIVISION PLAT OR ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT ON THE PROPERTY, WHICHEVER SHALL FIRST OCCUR, A TRANSIT EASEMENT SHALL BE DEEDED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY. PRIOR TO RECORDATION OF THE TRANSIT EASEMENT. THE DIMENSIONS (NOT TO EXCEED 15 FEET IN DEPTH OR 20 FEET IN WIDTH, AND MAY BE REDUCED BY THE CITY BASED ON LOCATION) AND LOCATION OF (THE EASEMENT ALONG LAKE BOONE TRAIL SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND THE EASEMENT DOCUMENT APPROVED BY THE CITY ATTORNEY'S OFFICE. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR NEW DEVELOPMENT ON THE PROPERTY, AN ADA ACCESSIBLE TRANSIT SHELTER (FREE-STANDING OR INCORPORATED INTO A BUILDING), WITH CONSTRUCTION PLANS APPROVED BY THE PUBLIC WORKS DEPARTMENT, SHALL BE CONSTRUCTED BY THE LOT OWNER.

ZONING CONFORMANCE: THE REQUIRED TRANSIT EASEMENT HAS ALREADY BEEN PROVIDED.

RESIDENTIAL DEVELOPMENT ON THE PROPERTY SHALL NOT EXCEED 800 DWELLING UNITS. NONRESIDENTIAL DEVELOPMENT ON THE PROPERTY SHALL NOT EXCEED 100,000 SQUARE FEET OF GROSS FLOOR AREA. PRIOR TO RECORDATION OF A SUBDIVISION PLAT FOR THE PROPERTY, THE OWNER OF THE PROPERTY SHALL CAUSE TO BE RECORDED IN THE WAKE COUNTY REGISTRY A RESTRICTIVE COVENANT THAT ALLOCATES ALLOWABLE RESIDENTIAL DENSITY AND NONRESIDENTIAL FLOOR AREA UPON THE PROPERTY TO ALL LOTS OF RECORD COMPRISING THE PROPERTY. SUCH RESTRICTIVE COVENANT SHALL BE APPROVED BY THE CITY ATTORNEY OR HIS DESIGNEE PRIOR TO RECORDATION OF A SUBDIVISION PLAT FOR THE PROPERTY AND PRIOR TO RECORDATION OF THE RESTRICTIVE COVENANT, AND SUCH RESTRICTIVE COVENANT SHALL BE PROMPTLY RECORDED FOLLOWING ITS APPROVAL BY CITY OFFICIALS. SUCH RESTRICTIVE COVENANT SHALL PROVIDE THAT IT MAY BE AMENDED OR TERMINATED ONLY WITH THE PRIOR WRITTEN CONSENT OF THE CITY ATTORNEY OR HIS DESIGNEE, WHICH CONSENT SHALL NOT BE UNREASONABLY WITHHELD. ZONING CONFORMANCE: RESIDENTIAL UNITS ARE NOT PROPOSED WITH THIS LOT.

WITHIN (THAT PORTION OF THE PROPERTY DESIGNATED AREA 1 ON THE ATTACHED EXHIBIT 1, ANY UNENCLOSED LOADING AREA OCATED ON THAT SIDE OF A BUILDING FACING LANDMARK DRIVE, AND WHERE NO OTHER BUILDING IS LOCATED BETWEEN THE OADING AREA AND LANDMARK DRIVE, SHALL BE SCREENED WITH A WALL TOTALING AT LEAST EIGHT FEET IN HEIGHT AND SUCH WALL

SHALL COMPLY WITH UDO SECTIONS 7.2.5.B.3 AND 7.2.5.B.4. ZONING CONFORMANCE: NO LOADING AREA IS PROPOSED ALONG LANDMARK DR WITH THIS PROJECT.

WITHIN THAT PORTION OF THE PROPERTY DESIGNATED AREA 1 ON THE ATTACHED EXHIBIT 1, ANY UNENCLOSED SERVICE AREA OCATED ON THAT SIDE OF A BUILDING FACING LANDMARK DRIVE, AND WHERE NO OTHER BUILDING IS LOCATED BETWEEN THE SERVICE AREA AND LANDMARK DRIVE, SHALL BE SCREENED ON THREE SIDES BY A WALL AT LEAST SIX FEET IN HEIGHT AND ON A -OURTH SIDE BY A SOLID GATE AT LEAST SIX FEET IN HEIGHT. FOR AN ENCLOSURE SUBJECT TO THIS CONDITION. THE SIDE OF THE ENCLOSURE WITH A GATE MAY NOT FACE LANDMARK DRIVE. FOR AN ENCLOSURE SUBJECT TO THIS CONDITION, THE WALL AND GATE SCREENING THE SERVICE AREA MUST BE OF A HEIGHT AT LEAST 12 INCHES ABOVE THE HIGHEST POINT OF ANY DUMPSTER LOCATED IN THE SERVICE AREA, BUT IN NO EVENT LESS THAN SIX FEET IN HEIGHT. THE WALLS AND GATE SUBJECT TO THIS CONDITION SHALL

COMPLY WITH UDO SECTION 7.2.5.C.3. ZONING CONFORMANCE: NO SERVICE AREA IS PROPOSED ALONG LANDMARK DR WITH THIS PROJECT.

WITHIN THAT PORTION OF THE PROPERTY DESIGNATED AREA 1 ON THE ATTACHED EXHIBIT 1, NEW CONSTRUCTION (EXCLUDING REMODELING, RENOVATION AND MAINTENANCE OF EXISTING STRUCTURES) SHALL OCCUR ONLY BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM MONDAY THROUGH FRIDAY, 8:00 AM AND 6:00 PM SATURDAY AND SHALL BE PROHIBITED ON SUNDAY. ZONING CONFORMANCE: NO CONSTRUCTION IS PROPOSED ALONG LANDMARK DR WITH THIS PROJECT.

O CONSTRUCTION MATERIALS, DEBRIS OR EQUIPMENT SHALL BE STORED, HANDLED OR PARKED WITHIN THE BUFFER AREA. THIS CONDITION SHALL NOT PROHIBIT THE USE OF EQUIPMENT IN THE BUFFER AREA FOR THE PURPOSES SET FORTH IN ABOVE CONDITION 3

F THIS REZONING ORDINANCE ZONING CONFORMANCE: NO IMPACTS ARE PROPOSED WITH THIS PROJECT.

SITE PLAN NOTES

- NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES. WHICH EVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCROACH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL
- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL RESIDENTIAL AND RESIDENTIAL COLLECTOR INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR. & SENSITIVE AREA THOROUGHFARES.
- WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS. THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURB LINE EXISTS. REFER TO SECTION 6.12 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- 4. MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BI MET AND ORDINANCED BY CITY COUNCIL APPROVAL.
- 5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS
- 6. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 7. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- 10. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER
- 11. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- 12. PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (919) 996-2409, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- 13. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 14. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE
- 15. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 16. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- FOLIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 18. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- 19. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD
- PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM THE RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR
- 8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER
- 9 ALL SIDEWALKS MUST RE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MORILITY DISABILITIES EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

DEMOLITION NOTES:

- 1. IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS, PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR, ALL REGULATED AND/OR FRIABLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIABLE ASBESTOS CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.
- 2. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS:
- a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
- b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE
- c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO
- d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS: MAINTAIN 24" MIN VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS
- f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL
- 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- 7. INSTALL 3/4" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- 8. INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED
- 24. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. WHERE SANITARY SERVICES ARE SERVING A BUILDING INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLF IN THE PUBLIC SEWER. SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE SERVICE LINE. SANITARY SERVICES SERVING A BUILDING WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH
- 25. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 26. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 27. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 296-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- 28. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ADDITIONAL UTILITY NOTES

- 1. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- 2. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFIED DEVELOPMENT ORDINANCE (UDO).
- 3. ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5'Wx5'L CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT
- 4. ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND
- 5. IN ACCORDANCE WITH GENERAL STATUTE 87-121(G), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
- 6. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 7. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY
- 8. ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND
- 9. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER
- 10. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND

GRADING NOTES

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS
- 4. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 8. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

STORM DRAINAGE NOTES

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
- 3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- 4 ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- 6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- 11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS BY MANUFACTURER.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
- 13. "KNOCK-OUT" BOXES OR HDPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY

RETAINING WALL NOTES

CITY OF RALEIGH STORMWATER DEPARTMENT.

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCROACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR
- THE CONSTRUCTION OF THE RETAINING WALLS. RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING
- 4. THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- 5. ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).

WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.

- ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- 8. STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.
- PER UDO SEC 7.2.8.D. RETAINING WALLS THAT ARE LOCATED WITHIN 30 FEET OF A PUBLIC SIDEWALK SHALL BE REQUIRED TO ADHERE TO THE FOLLOWING: A RETAINING WALL MAY NOT EXCEED A CONTINUOUS, UNINTERRUPTED HEIGHT OF 15 FEET. ADDITIONAL HEIGHT MAY BE PERMITTED. PROVIDED THE WALL CONTAINS A 2-FOOT STEP BACK FOR EACH 15 FEET OF WALL HEIGHT AND THIS REGULATION SHALL NOT APPLY TO WALLS ASSOCIATED WITH CULVERTS OR STREAM CROSSINGS OR TO TRANSPORTATION IMPROVEMENTS, SUCH AS BRIDGE OVERPASS STRUCTURES FOR STREET OR RAILROADS.

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CLIENT

TWO BIRDZ, LLC **608 LAKESTONE DRIVE** RALEIGH, NORTH CAROLINA 27609 PHONE: OWNER PHONE

The John R. McAdams Company,

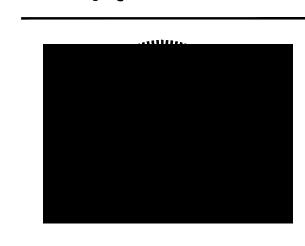
621 Hillsborough Street, Suite 500

Raleigh, NC 27603

phone 919. 361. 5000

fax 919. 361. 2269

NC license number: C-0293, C-187



REVISIONS

6 - -

PLAN INFORMATION

PROJECT NO. SPEC24398 FILENAME SPEC24398-ASR-N1 CHECKED BY **DRAWN BY** SCALE

SHEET

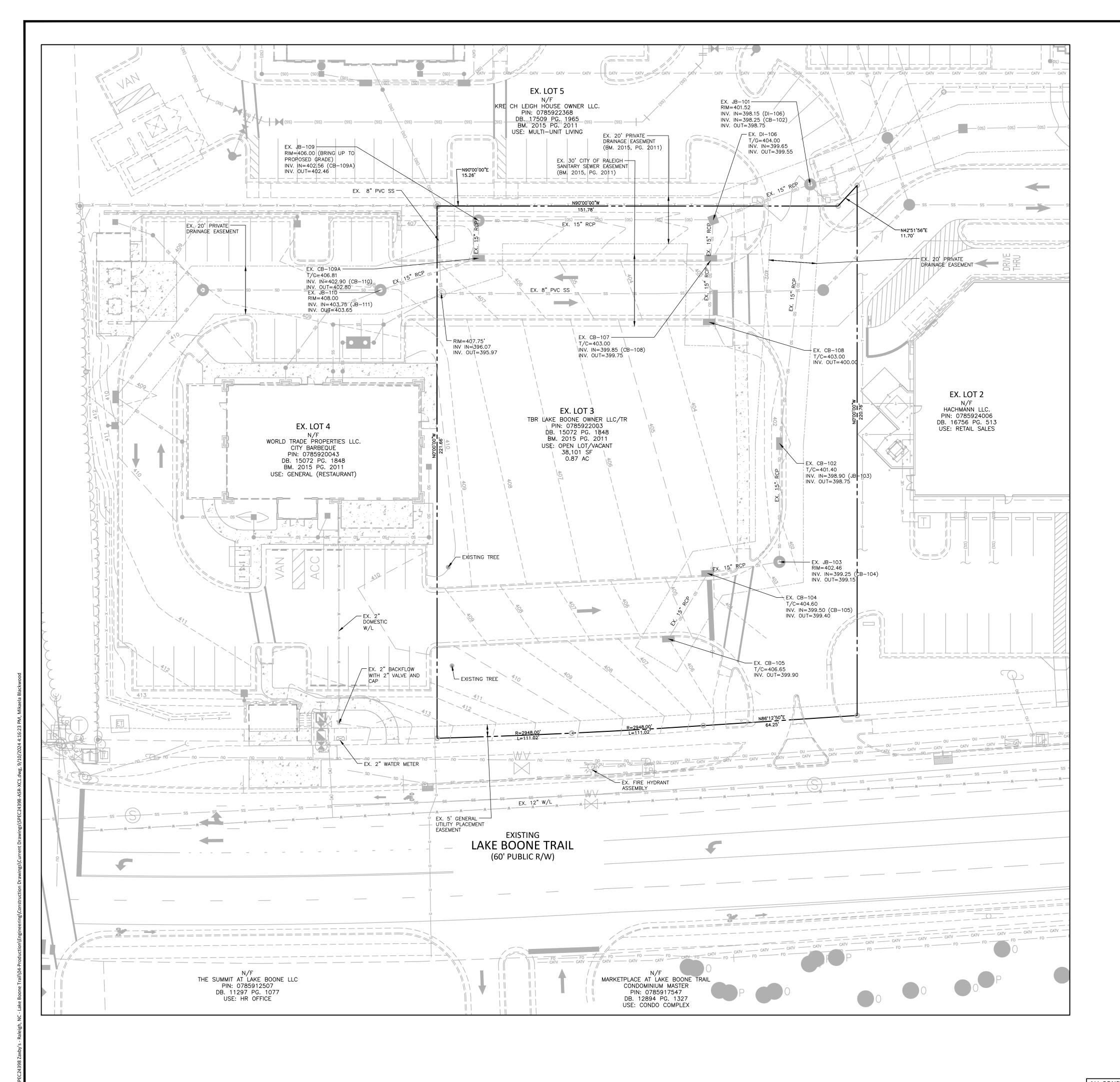
DATE

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

PROJECT NOTES

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811" REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



LEGEND EXISTING IRON PIPE IRON PIPE SET CALCULATED POINT BORE HOLE SANITARY SEWER MANHOLE SANITARY SEWER CLEANOUT WATER VALVE WATER METER FIRE HYDRANT TELEPHONE PEDESTAL TELEPHONE MANHOLE ELECTRIC BOX LIGHT POLE POWER POLE GUY WIRE CURB INLET STORM DRAINAGE MANHOLE YARD INLET FIBER OPTIC MARKER FIBER OPTIC VAULT SIGN BOLLARD STORM DRAIN PIPE OVERHEAD UTILITY LINES WATER LINE SANITARY SEWER LINE TELEPHONE LINE ---- G ---- GAS LINE ——— UE ——— UNDERGROUND ELECTRIC —X———X— FENCE LINE TREE LINE

GUARDRAIL



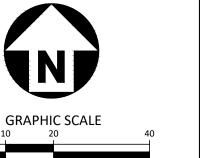
The John R. McAdams Company, Inc. 621 Hillsborough Street, Suite 500 Raleigh, NC 27603

phone 919. 361. 5000 fax 919. 361. 2269 NC license number: C-0293, C-187

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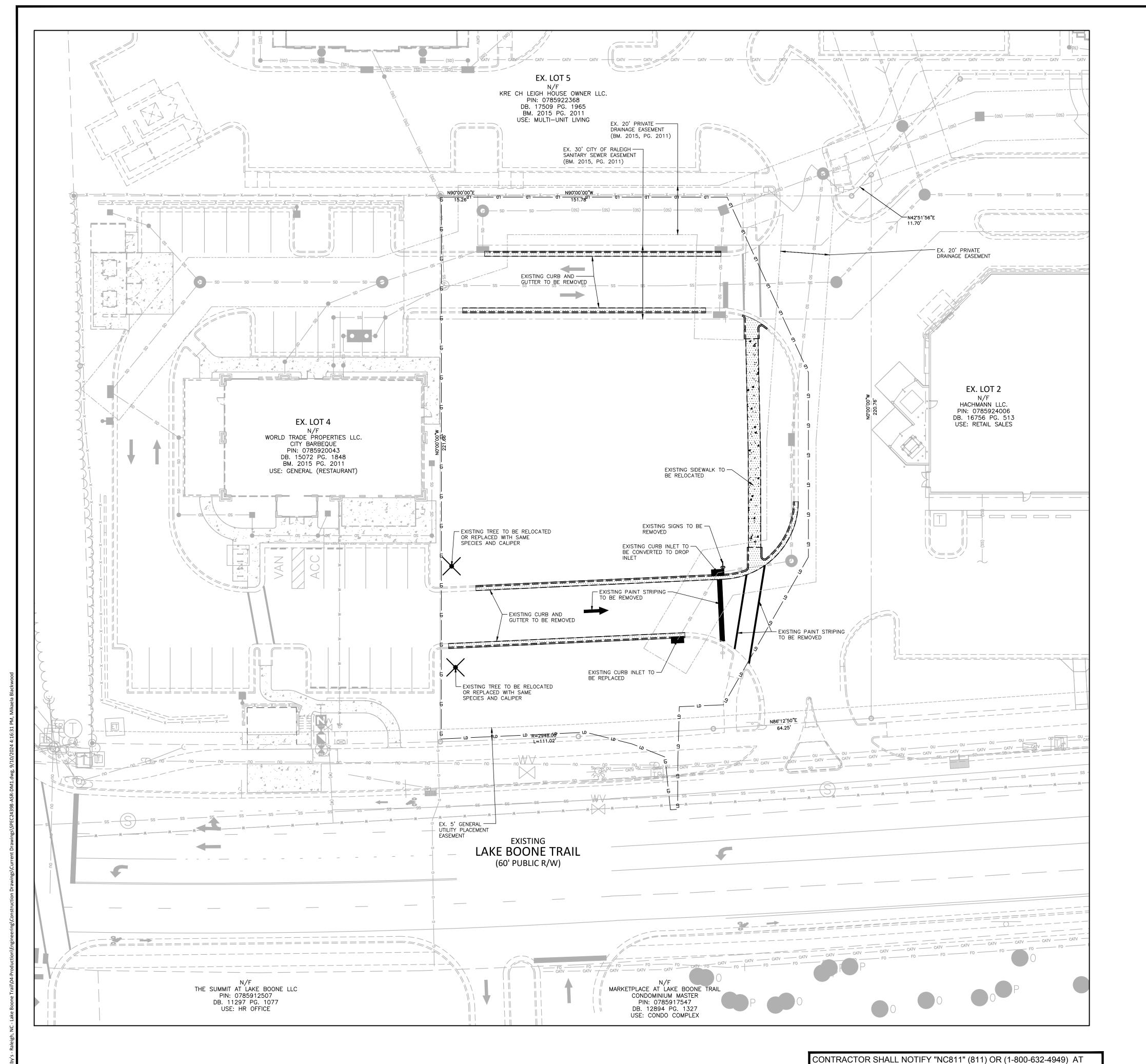
NO. DATE DESCRIPTION

PLAN INFORMATION

PROJECT NO. SPEC24398 FILENAME SPEC24398-ASR-XC1 CHECKED BY DRAWN BY SCALE

DATE SHEET

EXISTING CONDITIONS



DEMOLITION LEGEND

XTREE

TREE OR OTHER VEGETATION TO BE REMOVED

UNDERGROUND UTILITY TO BE REMOVED AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE

PAVING, ETC.)

NOTE: SEE CO.01 FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



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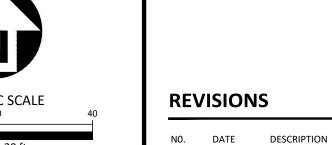
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Know what's below.
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DEMOLITION PLAN

PLAN INFORMATION

PROJECT NO. SPEC24398

FILENAME

DRAWN BY

SCALE

DATE

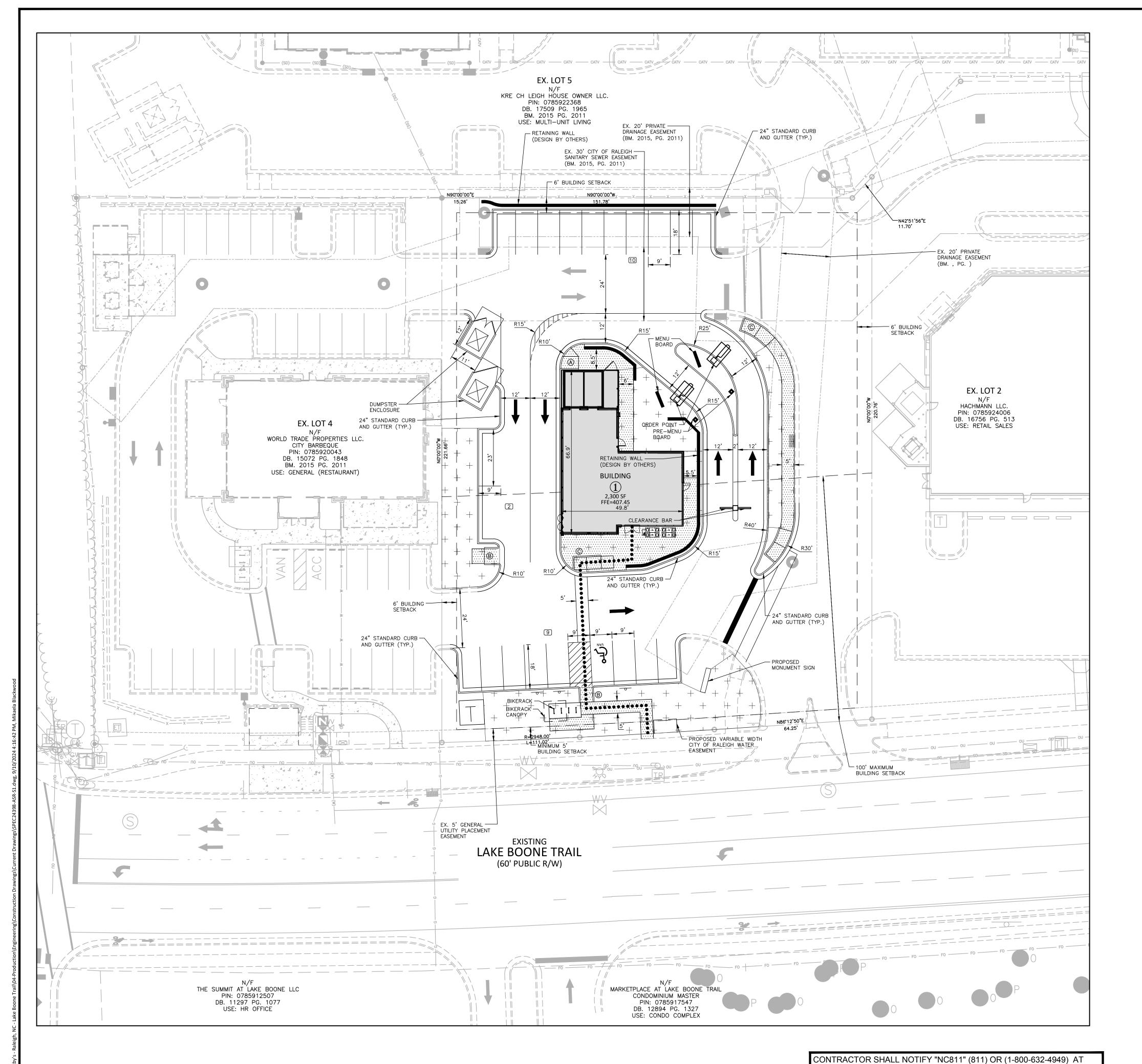
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CHECKED BY

1" = 20'

09. 10. 2024

SPEC24398-ASR-DM1



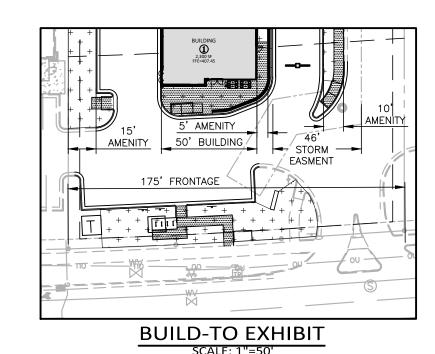
SITE LEGEND SIGNAGE YARD LIGHTS LIGHT POLE POWER POLE TRAFFIC DIRECTIONAL ARROW ACCESSIBLE PARKING STALL VAN ACCESSIBLE PARKING STALL PARKING SPACE COUNT ACCESSIBLE RAMPS ● ● ● ● ● ● ● ● ACCESSIBLE ROUTE PROPERTY LINE RIGHT-OF-WAY LINE EASEMENT LINE

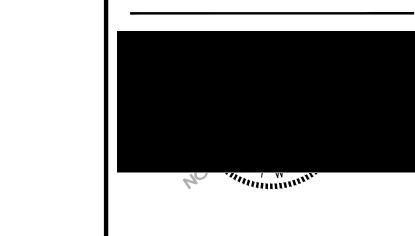
AMENITY AREA

OUTDOOR AMENITY REQUIREMENTS TOTAL SITE AREA: 38,101 SF. OUTDOOR AMENITY REQUIRED: 3,810 SF. (10%) OUTDOOR AMENITY PROVIDED: 3,811 SF. (10%) BUILD-TO REQUIREMENTS LAKE BOONE TRAIL FRONTAGE: BUILDING WITHIN BUILD-TO: REQUIRED: FRONTAGE AFTER 46' REDUCTION: (46' STORM DRAINAGE EASEMENT) REQUIRED AFTER 30% REDUCTION TO % REQUIRED: (30' AMENITY AREAS ALONG FRONTAGE (17% OF FRONTAGE)) PROVIDED:

50 LF (BETWEEN 5' AND 100') 87.50 LF (50.0%) 129 LF 45 LF (35.0%)

50 LF (38.8%)





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PHONE: OWNER PHONE

RALEIGH, NORTH CAROLINA 27609



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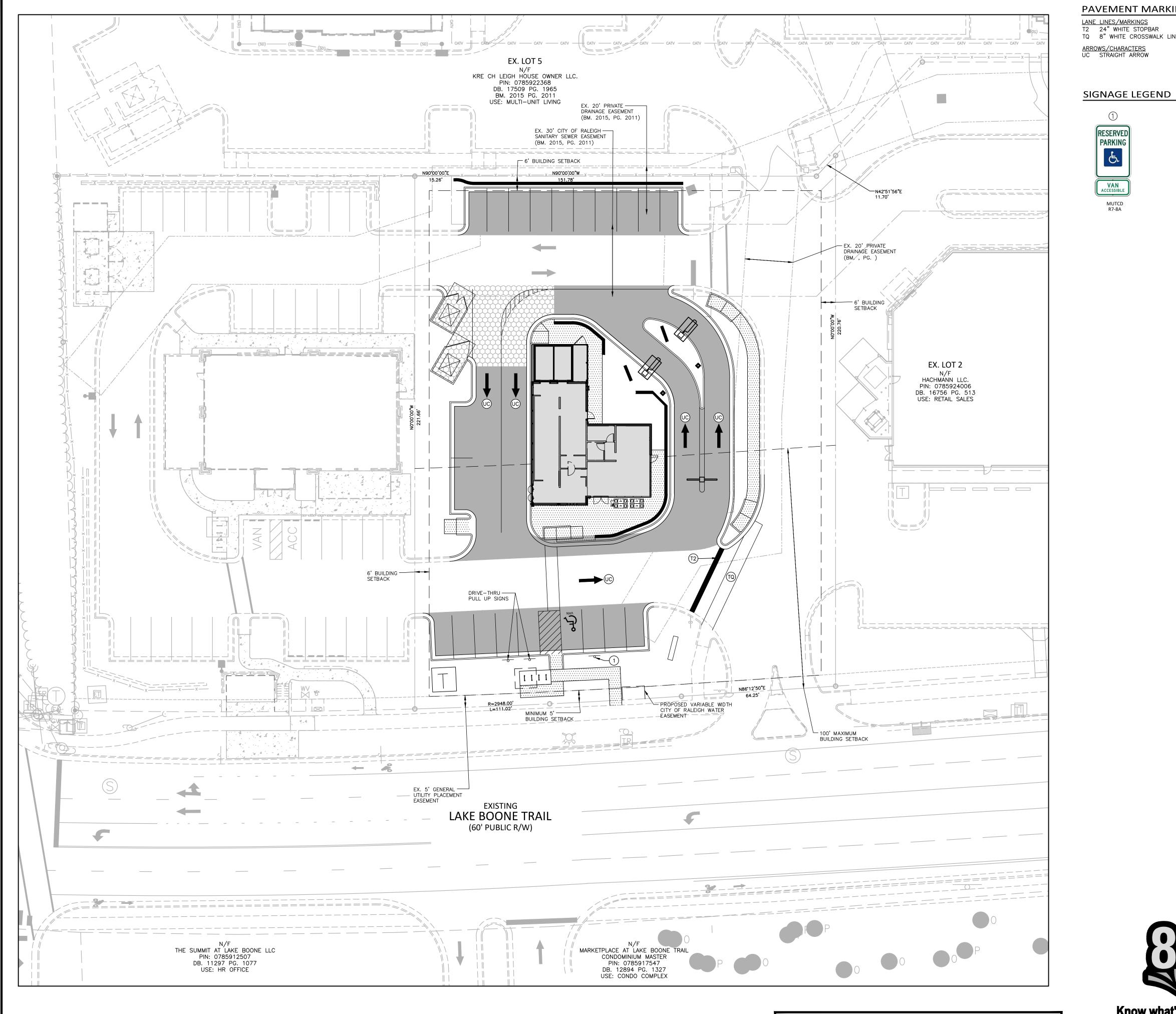
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SITE PLAN

1" = 20'

09. 10. 2024

SPEC24398-ASR-S1



PAVEMENT MARKING LEGEND

LANE LINES/MARKINGS T2 24" WHITE STOPBAR TQ 8" WHITE CROSSWALK LINE

RESERVED

PARKING

VAN ACCESSIBLE

MUTCD R7-8A

ARROWS/CHARACTERS
UC STRAIGHT ARROW

PAVEMENT LEGEND:

HEAVY DUTY CONCRETE PAVEMENT

CONCRETE SIDEWALK

LIGHT DUTY ASPHALT PAVEMENT

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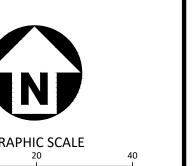
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CHECKED BY DRAWN BY SCALE 1" = 20' DATE 09. 10. 2024

PLAN INFORMATION

PROJECT NO. SPEC24398

REVISIONS

NO. DATE DESCRIPTION

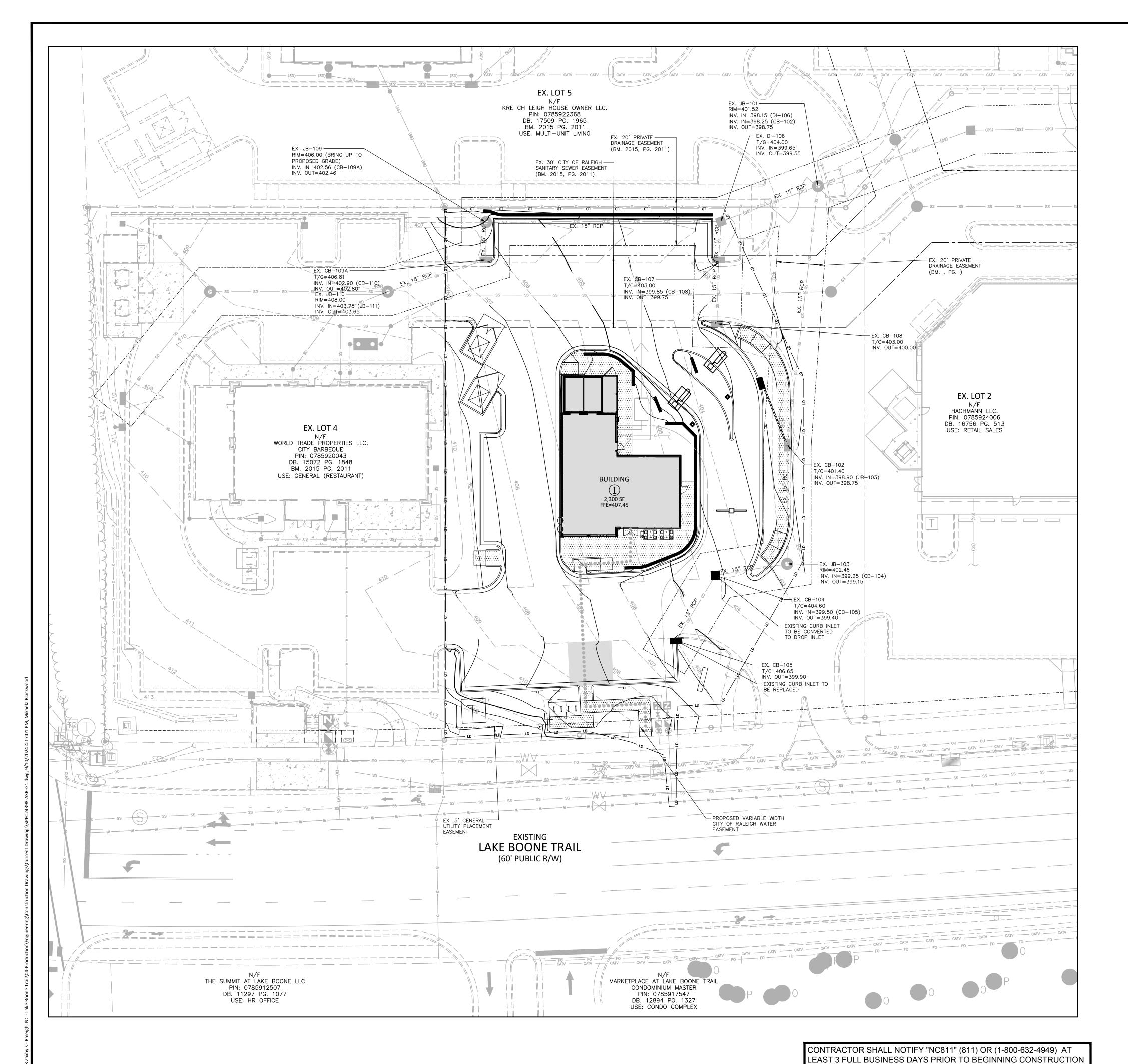
SHEET

FILENAME

PAVEMENT AND SIGNAGE PLAN

SPEC24398-ASR-PM1

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



GRADING LEGEND

FLARED END SECTION

ENDWALL SECTION

CATCH BASIN

■ DROP INLET

STORM SERVICE INLET

STORM SERVICE ROOF—DRAIN

JUNCTION BOX

DRAINAGE FLOW ARROW

TOP & BOTTOM CURB ELEVATIONS

TW=223.00 TOP OF WALL ELEVATION

BW=213.00 BOTTOM OF WALL ELEVATION

(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
+ 250.60 SPOT ELEVATION

LINE BREAK SYMBOL

STORM DRAINAGE

STORM SERVICE LINE

-----LD ------ LIMITS OF DISTURBANCE

wooded area

250

MAJOR CONTOUR

252

MINOR CONTOUR

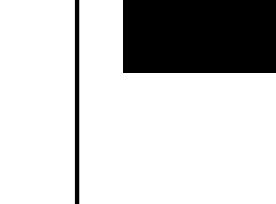
EXISTING MAJOR CONTOUR

— — — EASEMENT LINE

ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)

____252____ EXISTING MINOR CONTOUR

LIMITS OF DISTURBANCE = 0.70 ACRES



REVISIONS

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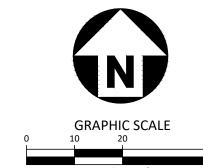
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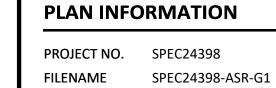
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 RW

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 MKB

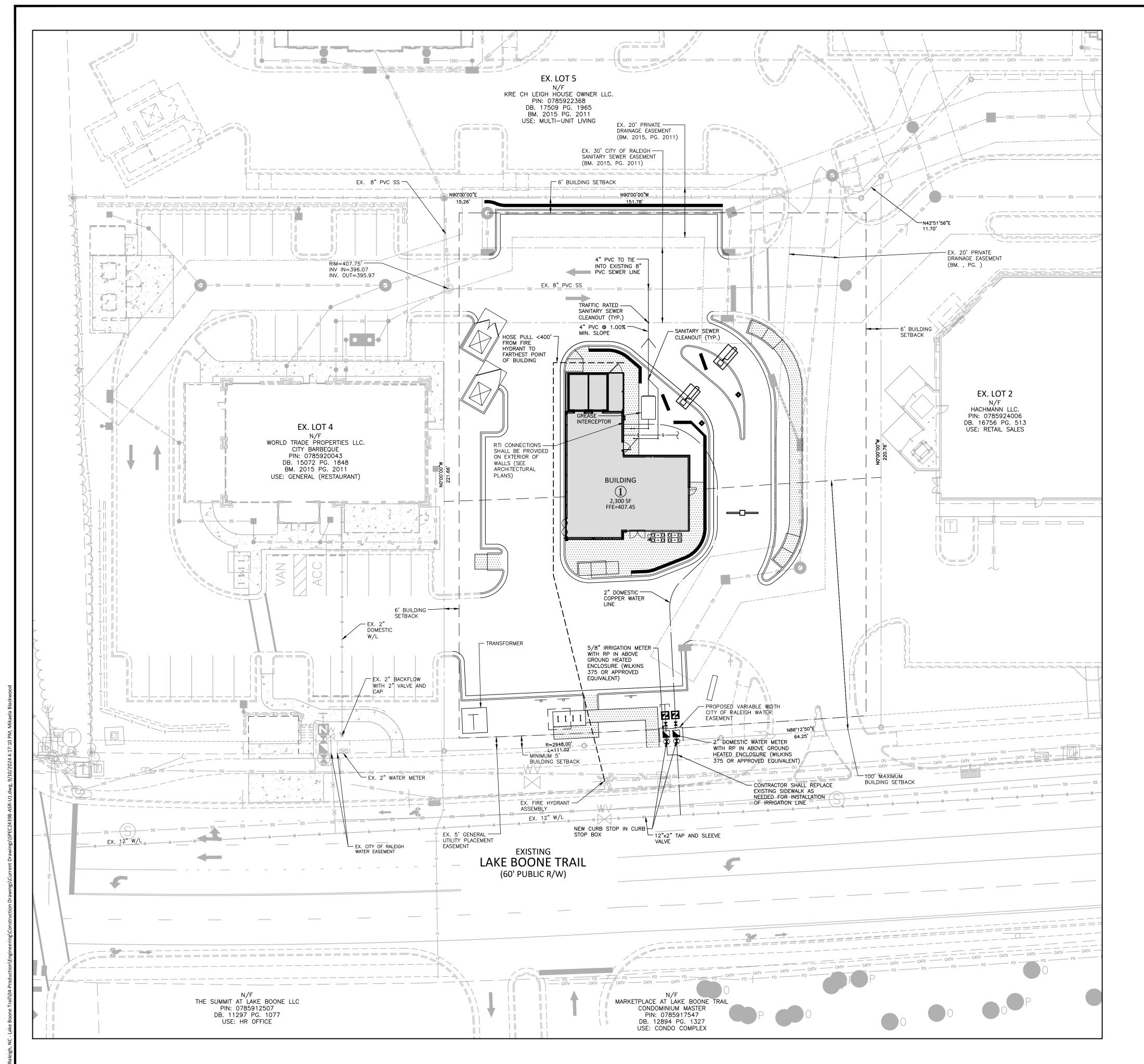
 SCALE
 1" = 20'

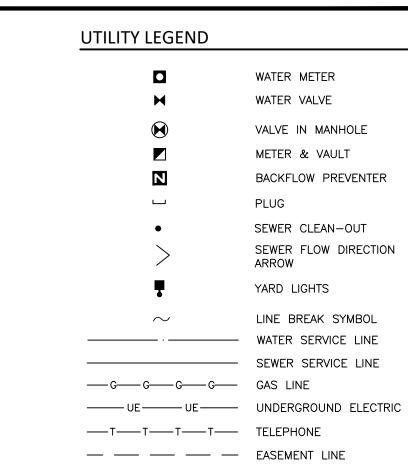
 DATE
 09. 10. 2024

 SHEET

GRADING PLAN

C3.00







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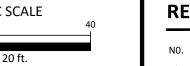




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REVISIONS

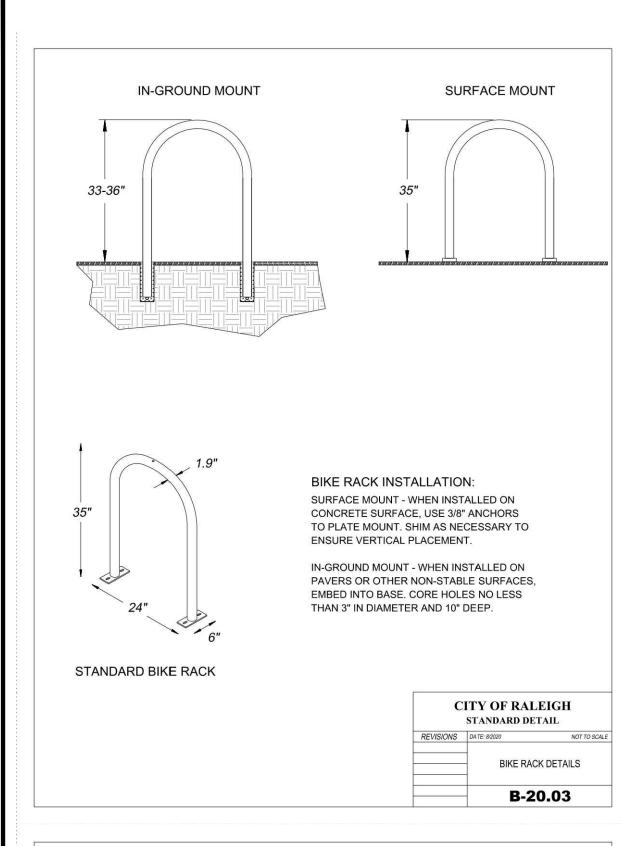
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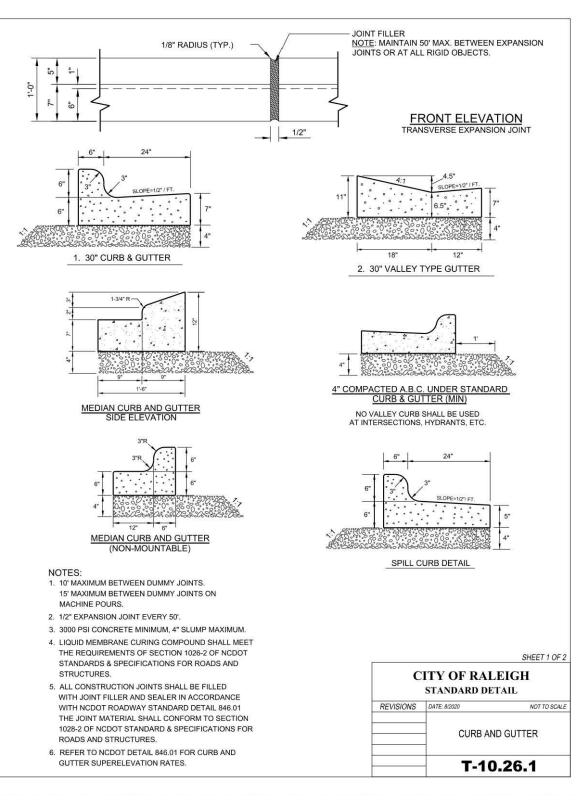
PLAN INFORMATION

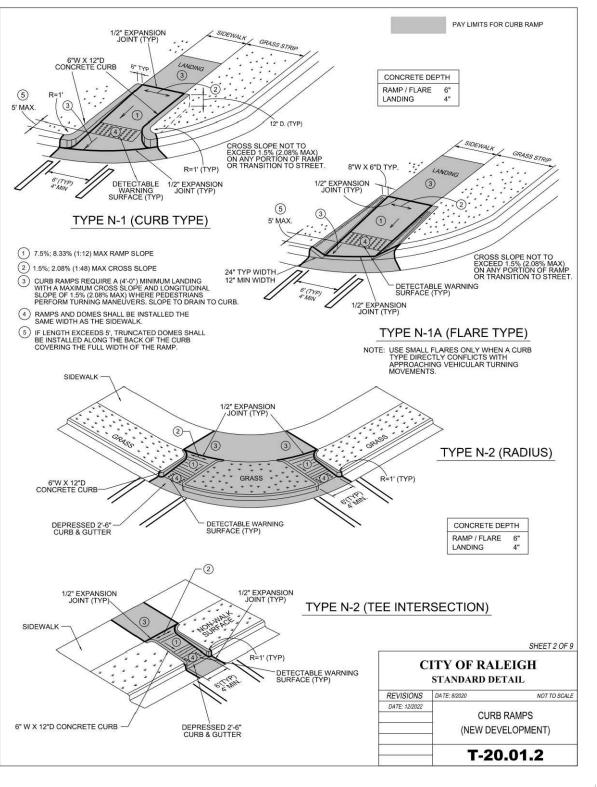
PROJECT NO. SPEC24398 FILENAME SPEC24398-ASR-U1 CHECKED BY DRAWN BY SCALE 1" = 20' 09. 10. 2024

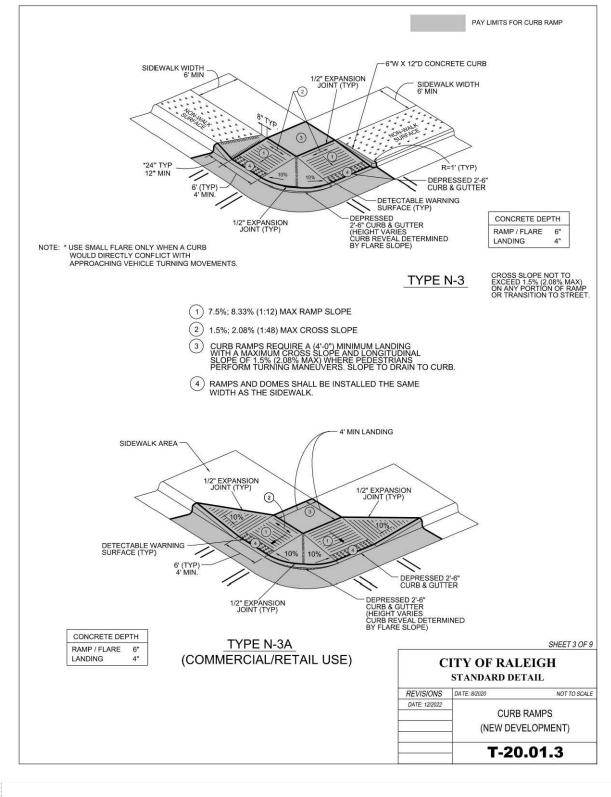
DATE SHEET

UTILITY PLAN









NOTE: CURB STOP SHALL BE SLOTTED, FOR DRAINAGE

6" LONG PRECAST CONCRETE WHEELSTOP W/(2) #4 BARS

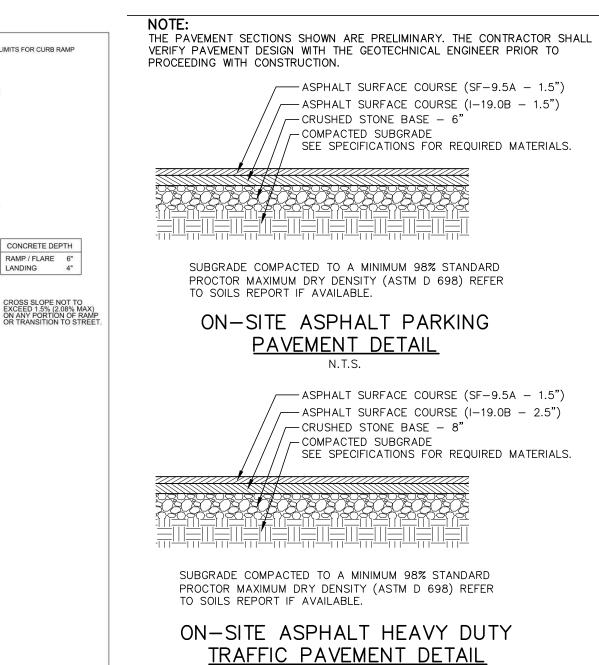
CONTINUOUS, 5'-6" LONG

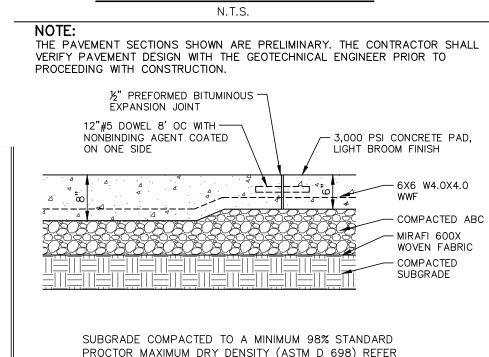
AS SPECIFIED

 (2) #4 BARS THRU WHEELSTOP AND PAVEMENT (MIN. 18" LONG). ON CONCRETE PAVEMENT, USE

EPOXY BONDING AGENT

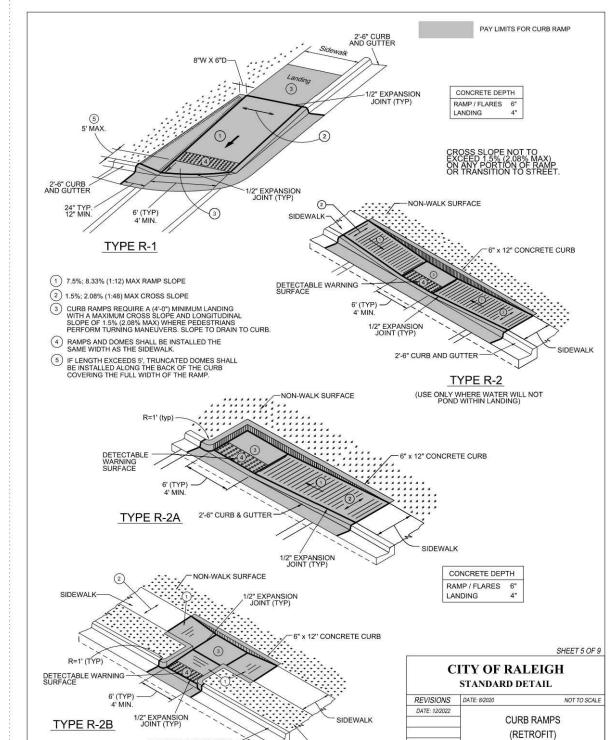
- BASE AS SPECIFIED





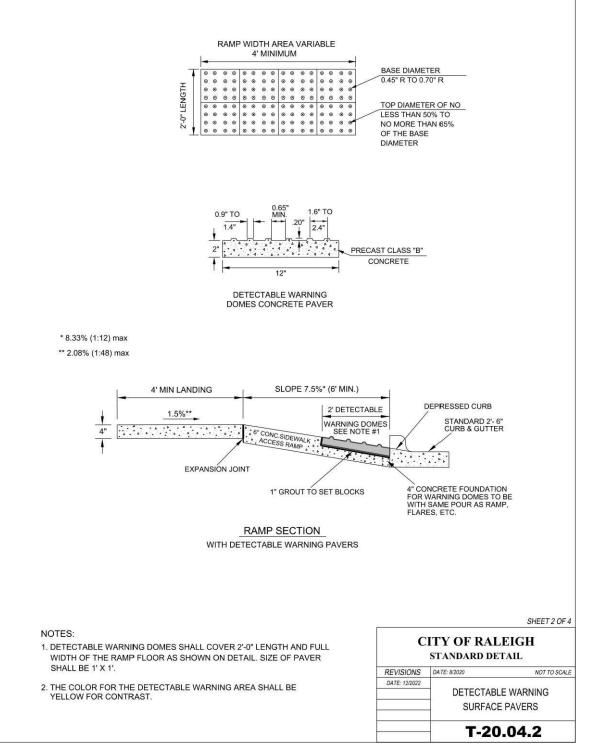
PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) REFER TO SOILS REPORT IF AVAILABLE.

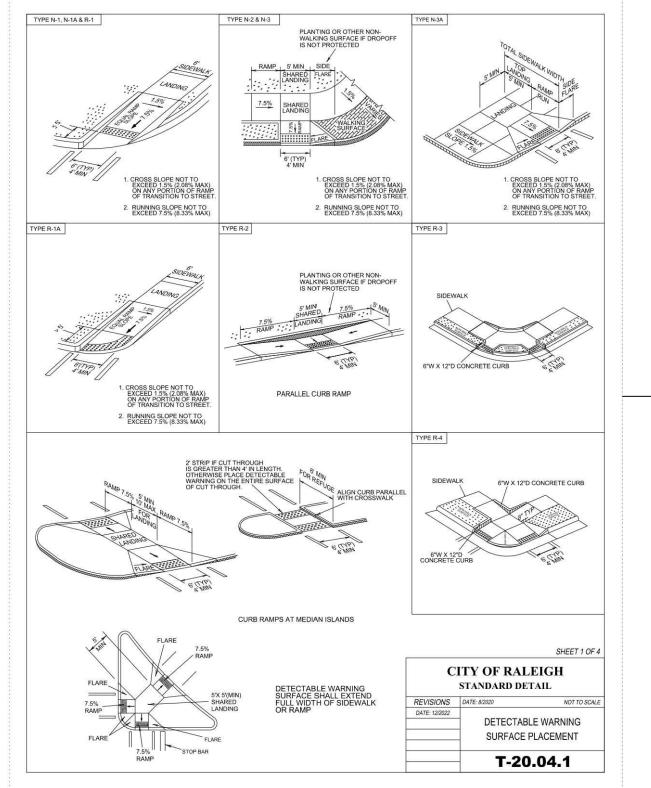
ON-SITE REINFORCED
CONCRETE DETAIL

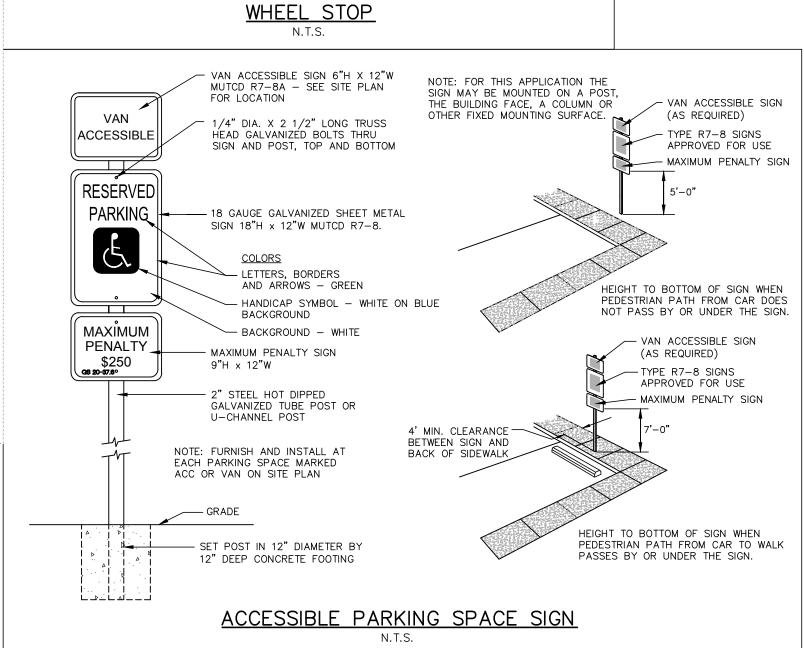


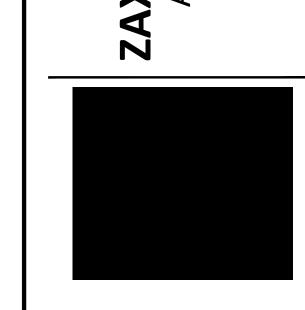
NON-WALK SURFACE

T-20.01.5









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CLIENT

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RALEIGH, NORTH CAROLINA 27609

PHONE: OWNER PHONE

REVISIONS

SHEET

N0.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. SPEC24398

FILENAME SPEC24398-ASR-D1

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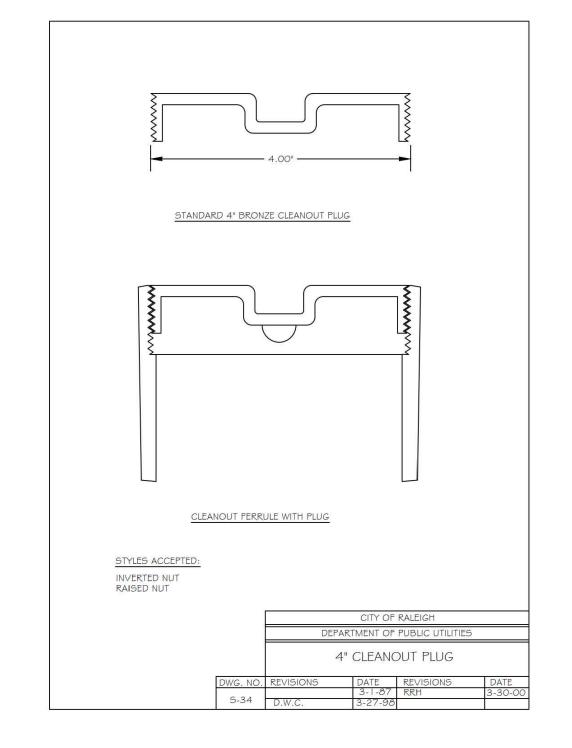
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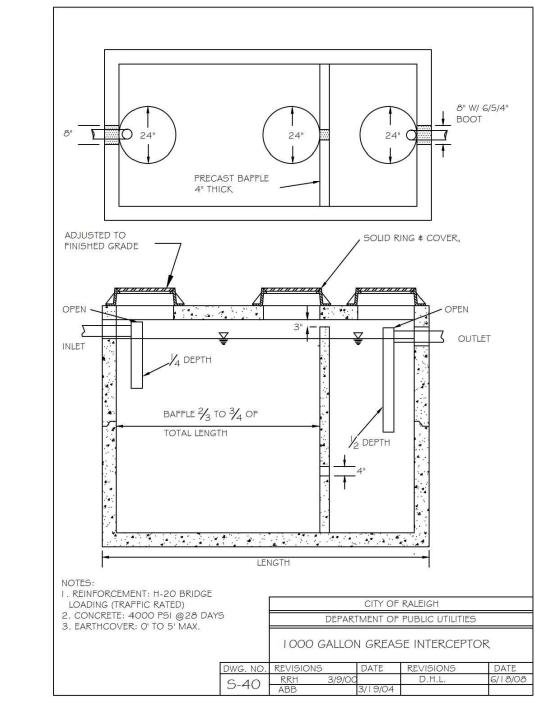
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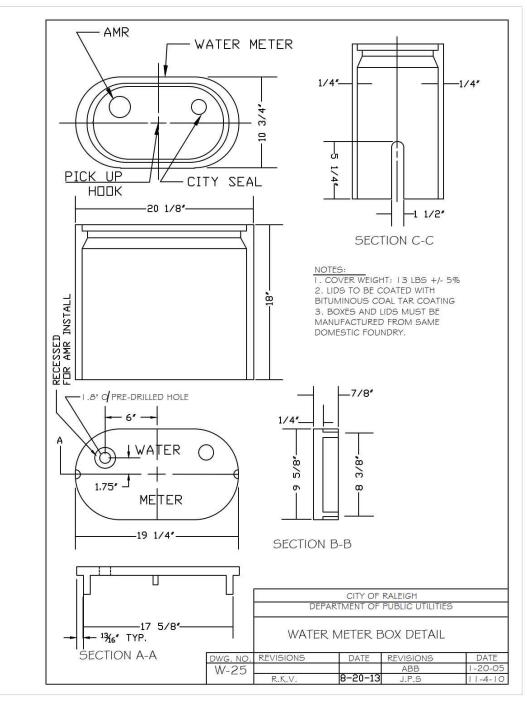
DATE 09. 10. 2024

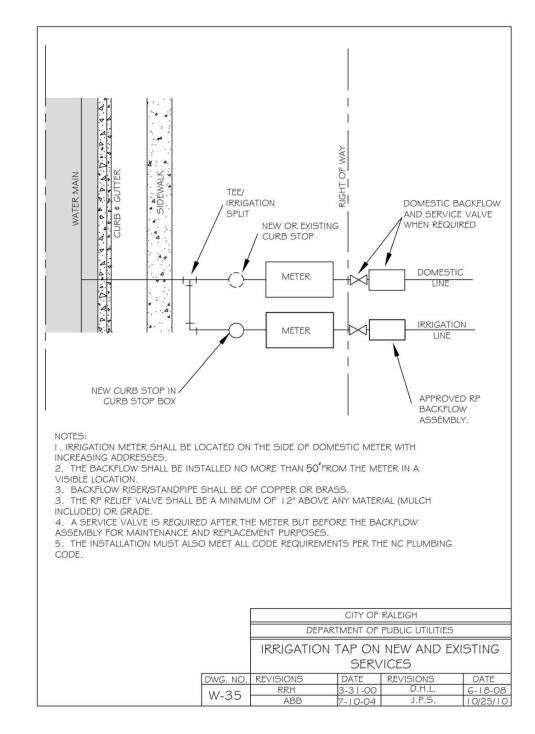
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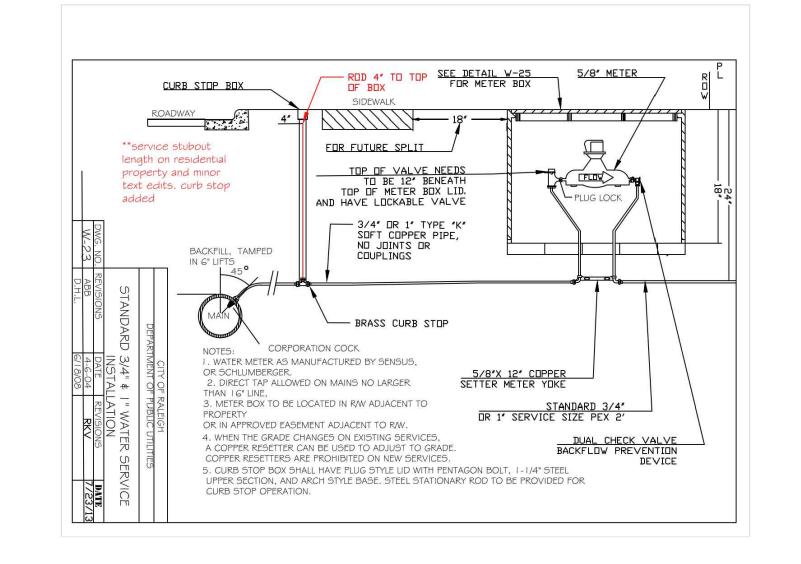
C8.00













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REVISIONS

NO. DATE DESCRIPTION 4 - -6 - -

PLAN INFORMATION

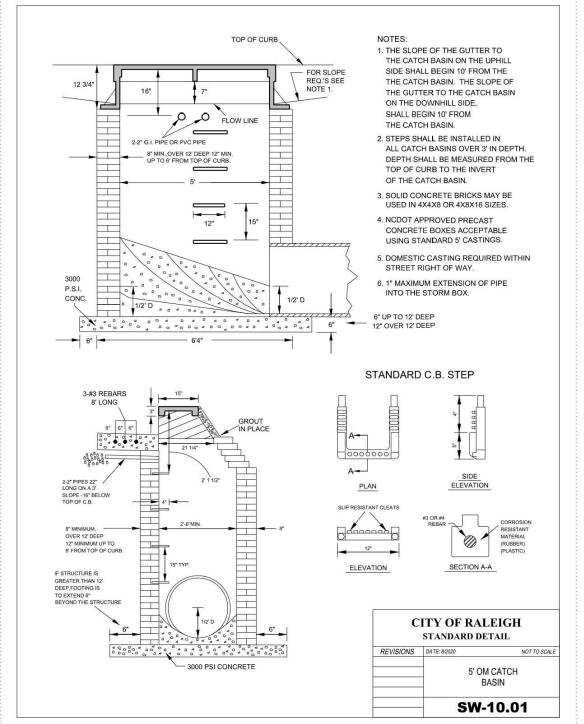
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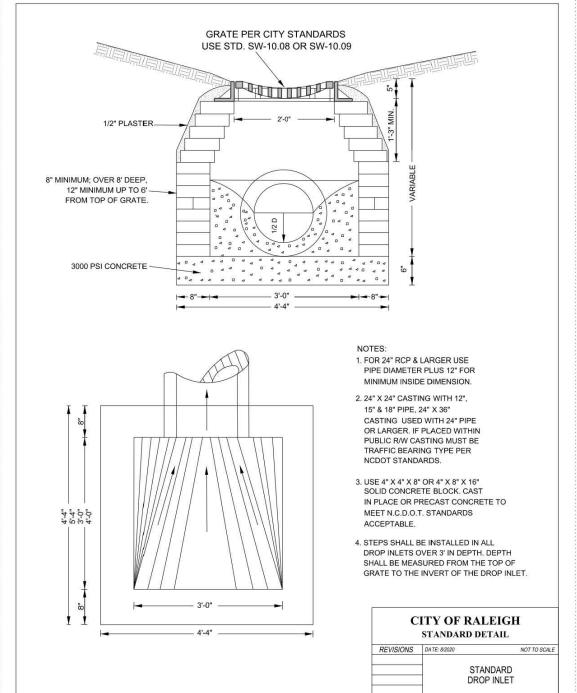
DATE SHEET

WATER & SEWER

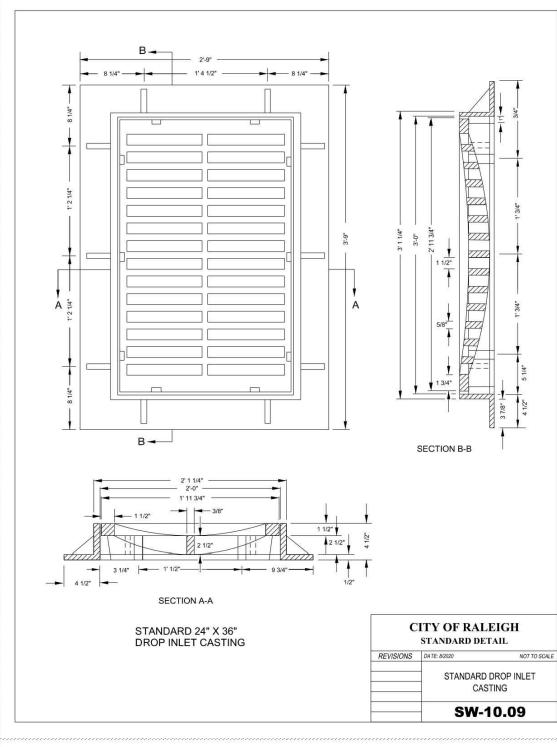
09. 10. 2024

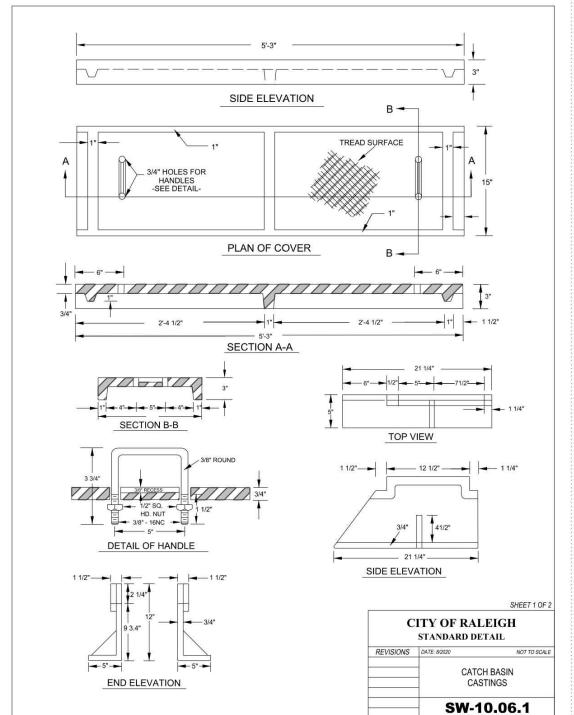
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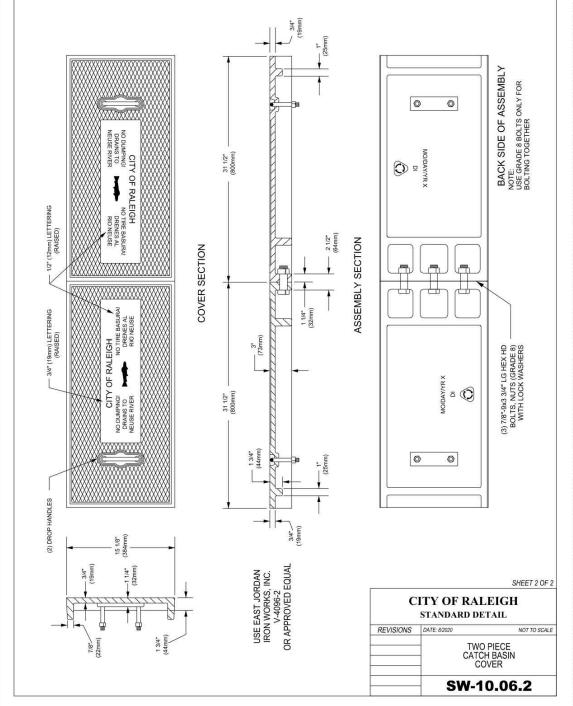


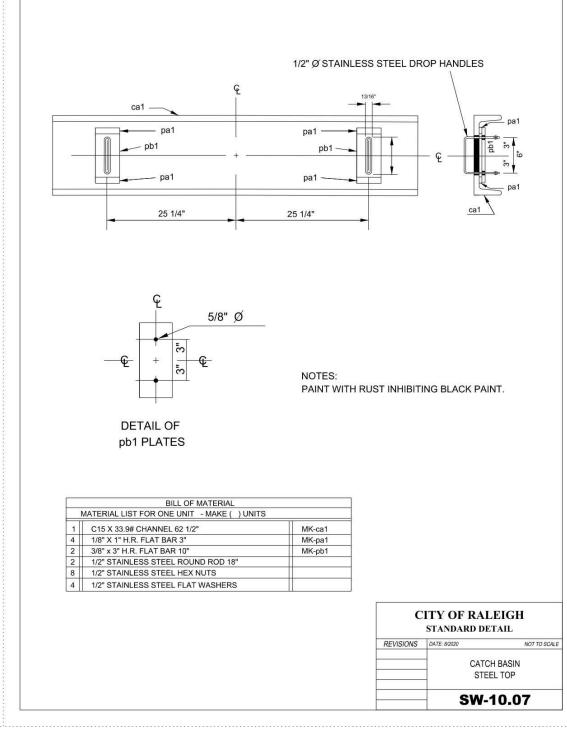


SW-10.03











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Raleigh, NC 27603 phone 919. 361. 5000 fax 919. 361. 2269

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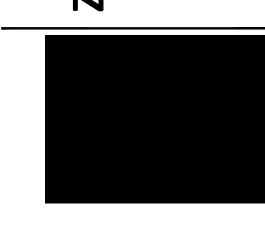
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RALEIGH, NORTH CAROLINA 27609
PHONE: OWNER PHONE

CAXBY'S - LAKE BOONE I K.
ADMINISTRATION SITE REVIEW
4112 LAKE BOONE TRAIL
RALEIGH, NORTH CAROLINA 27607



REVISIONS

N0.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-

PLAN INFORMATION

PROJECT NO. SPEC24398

FILENAME SPEC24398-ASR-D1

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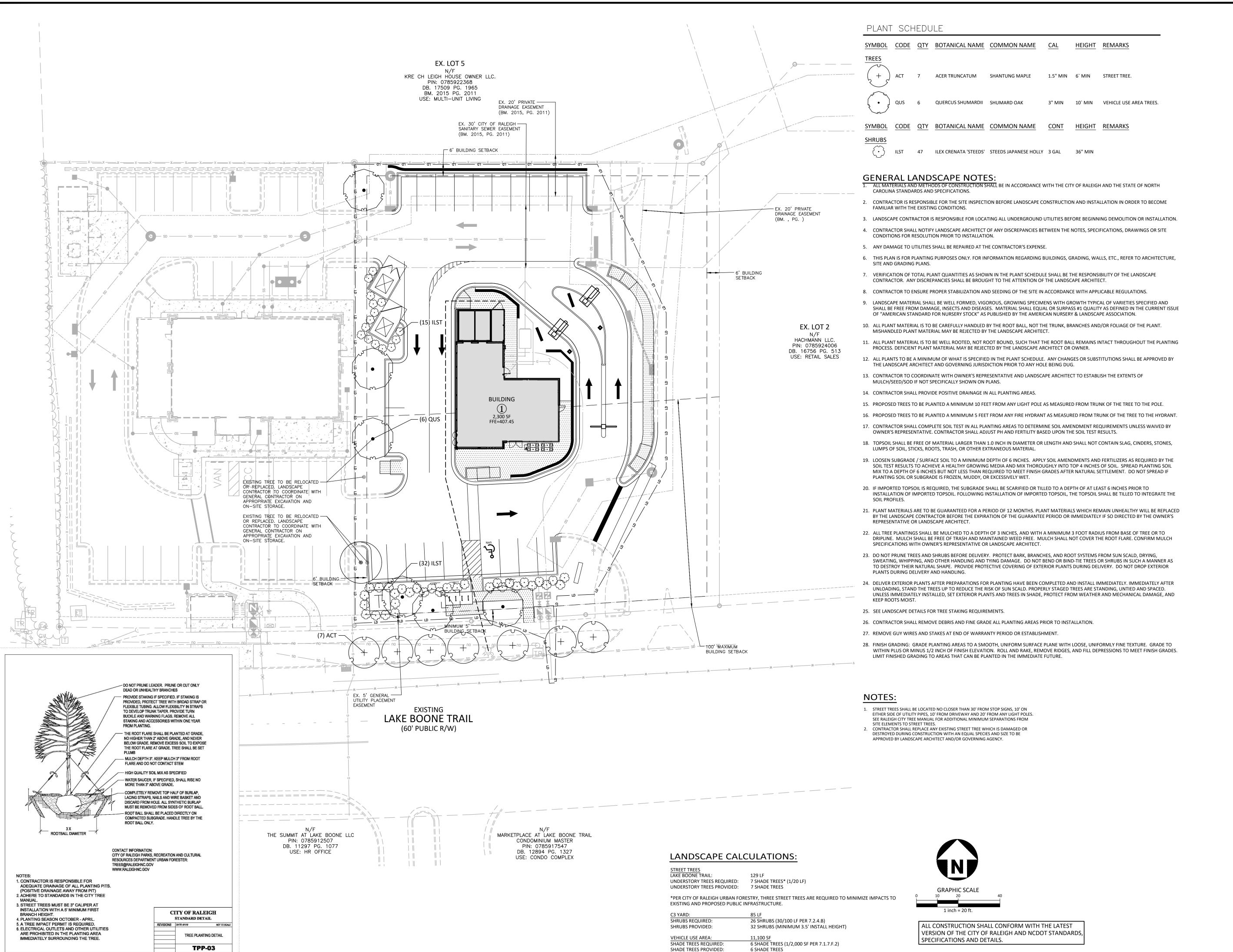
SCALE #######

DATE 09. 10. 2024

SHEET

STORM DRAINAGE DETAILS

C8.02





McAdam

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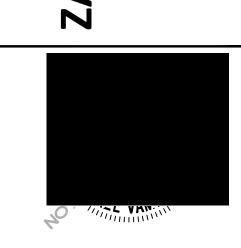
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RALEIGH, NORTH CAROLINA 27609
PHONE: OWNER PHONE

3Y'S - LAKE BOONE TR/ OMINISTRATION SITE REVIEW 4112 LAKE BOONE TRAIL



REVISIONS

 NO.
 DATE
 DESCRIPTION

 1

 2

 3

 4

 5

 6

PLAN INFORMATION

PROJECT NO. SPEC24398

FILENAME SPEC24398-ASR-LS1

CHECKED BY RW

DRAWN BY MKB

SCALE 1" = 20'

SCALE 1" = 20'
DATE 09. 10. 2024

SHEET

LANDSCAPE PLAN

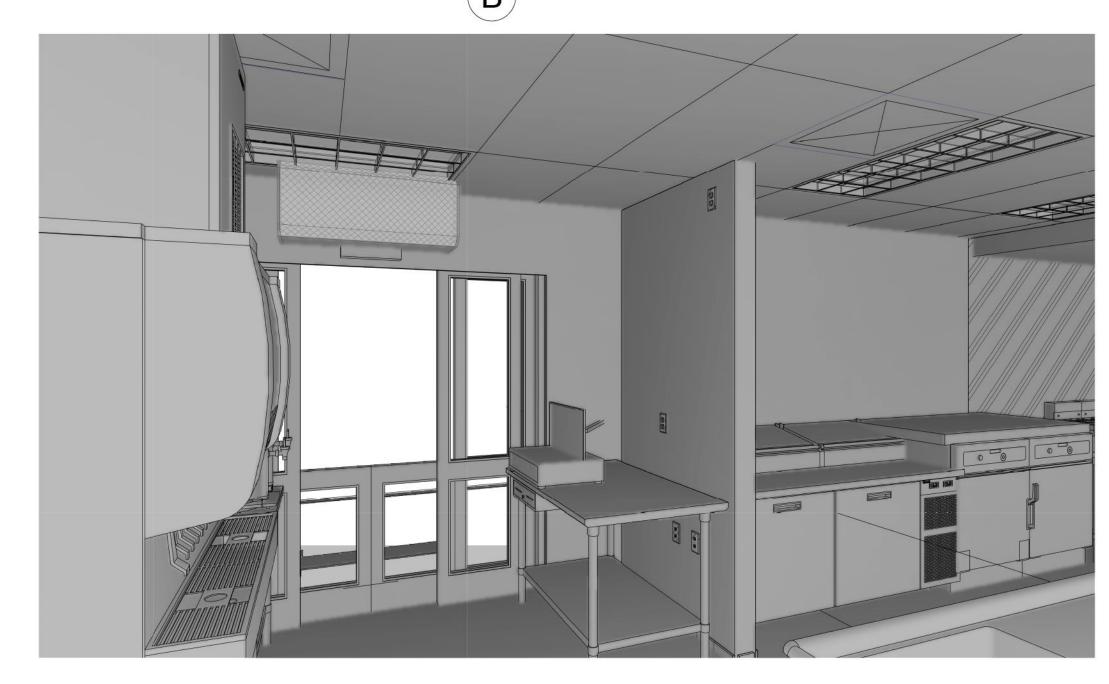
L5.00



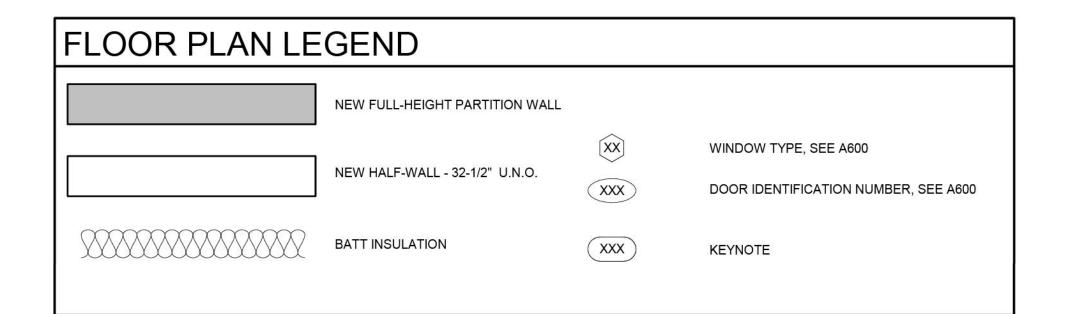
C DINING INTERIOR - DINING ROOM



B DINING 3D VIEW 02



A DINING INTERIOR - DRIVE THRU

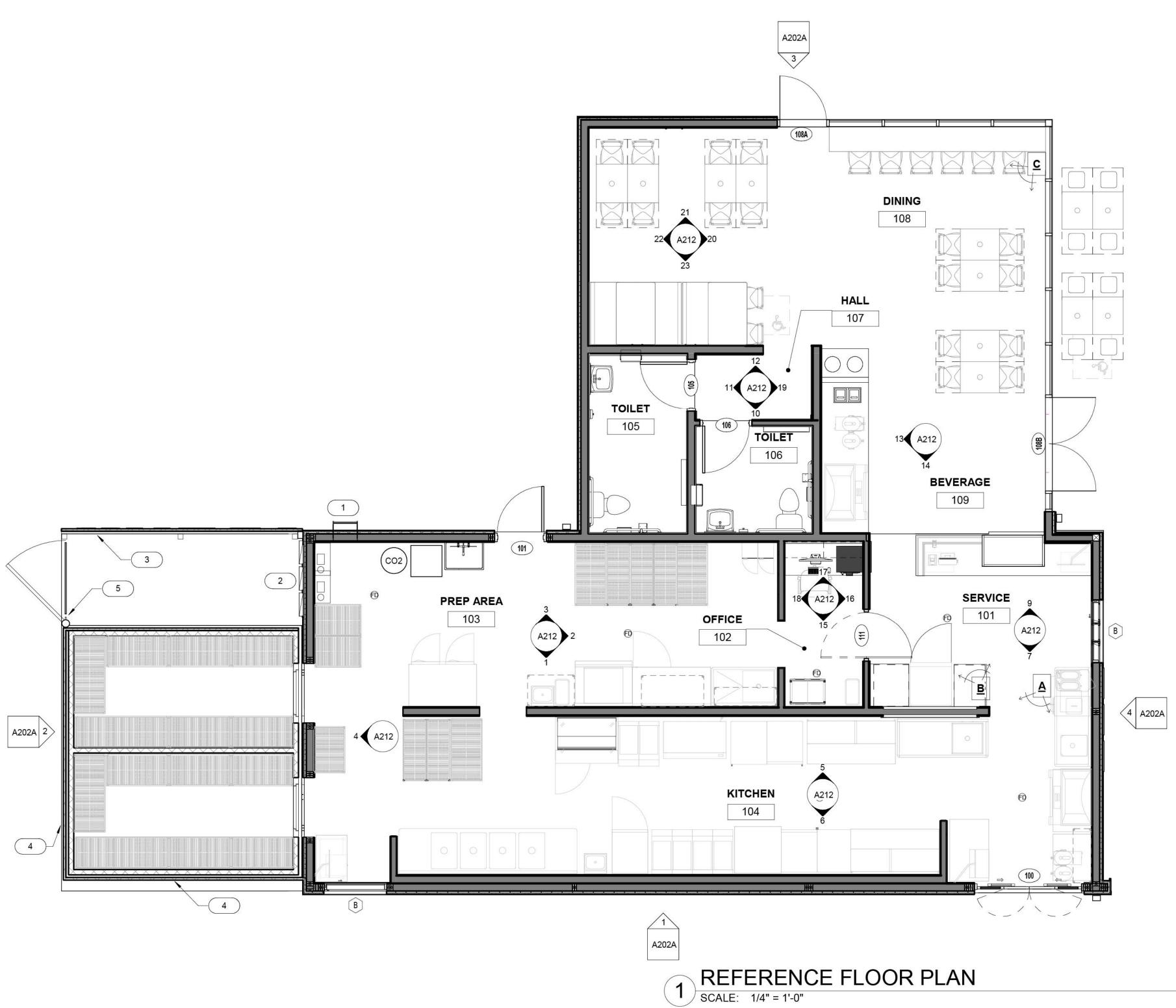


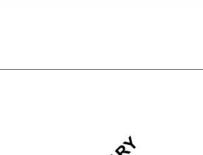


- UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, PERMITS, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF THE REQUIRED WORK.
- APPROVED FIRE EXTINGUISHERS SHALL BE FURNISHED, LOCATED AND INSTALLED BY THE GENERAL CONTRACTOR AS REQUIRED BY THE
- GOVERNING AUTHORITY.
- REFER TO SHEET AXXX FOR FINISH PLAN
 REFER TO SHEET AXXX FOR REFLECTED CEILING PLAN
 LANDING NOT MORE THAN ½ INCH BELOW THE THRESHOLD IS REQUIRED ON EACH SIDE OF AN EGRESS DOOR.

FLOOR PLAN KEYNOTES

- ROOF ACCESS LADDER
 ELECTRICAL PANELS, SEE MEP PLANS
 WOOD FENCE PAINTED WHITE WITH 4X4 PT POST WITH 2X4 HORIZONTAL
 MEMBERS AT 6", 4', AND 7'-6" WITH 8' RED U PANEL STEEL MOUNTED
- STARTING 4" ABOVE GROUND AROUND THE SERVICE YARD 8' U PANEL STEEL MOUNTED ON THE COOLER WITH A 4" CORNICE TRIM
- AROUND THE TOP. REFER SHEET A603/01 FOR GATE DETAIL.





CONQUEST



PC #: ENTITY #:

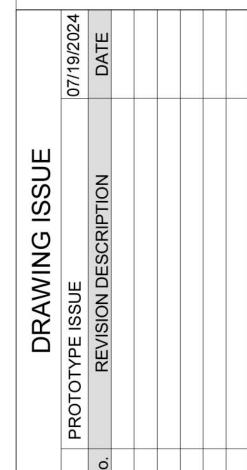
PROJECT #:

Franchising

Zaxby's S D⁻



ZAXBY'S DESIGN TEAM



Drawing Title REFERENCE FLOOR PLAN



A102

