



Administrative Approval Action

Case File / Name: ASR-0068-2020
SECU 5401 Midtown Market

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located at the northeast corner of Midtown Market Avenue and Tolson Street with a common street address of 7725 Midtown Market Avenue.

REQUEST: Development of an approximately 10,394 square foot general building with drive-through, to be used as a bank, and associated site improvements. The subject property is approximately 4.13 acres zoned PD (5401 North Master Plan; MP-2-16).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 8, 2021 by Summit Design and Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

3. Tree protection fence for (8) existing trees in the right-of-way along Midtown Market Ave. must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering



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1. A public infrastructure surety for 5 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
2. An offer of cross access agreement from the subject lot identified by PIN 1736591822 to the adjacent parcel PIN 1736594817 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Tolson St.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 18, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified



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time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Alysia Bailey Taylor* Date: 04/21/2021
Development Services Dir/Designee
Staff Coordinator: Kasey Evans

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STATE EMPLOYEES' CREDIT UNION

ADMINISTRATIVE SITE PLAN REVIEW SUBMITTAL AUGUST 27, 2020
ADMINISTRATIVE SITE PLAN REVIEW SUBMITTAL NOVEMBER 20, 2020
ADMINISTRATIVE SITE PLAN REVIEW SUBMITTAL FEBRUARY 08, 2021

1. **CONSTRUCTION ON THE PROJECT SHALL BE IN ACCORDANCE WITH THE LOCAL, MUNICIPAL, STATE, HCDOT AND UTILITY PROVIDER STANDARD DETAILS & CODE OF ORDINANCES AND STANDARD SPECIFICATIONS.**
2. **ALL WORK, AT A MINIMUM, SHALL BE PERFORMED ACCORDANCE WITH THE 2018 HCDOT ROADWAY STANDARD DRAWINGS AND STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES UNLESS OTHERS ARE NOTED OR DIRECTED.**
3. **CONSTRUCTION ON THE PROJECT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE AND THE MOST CURRENT LOCAL, MUNICIPAL, STATE, HCDOT AND UTILITY PROVIDER STANDARD DETAILS AND SPECIFICATIONS.**
4. **THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE DEMOLITION OF ALL EXISTING ON SITE ITEMS AND ABOVE GROUND, THE CONTRACTOR IS ALSO RESPONSIBLE FOR REMOVAL OF ALL WASTES RESULTING FROM DEMOLITION, AS WELL AS THE GRADING AND FILLING OF ALL DISTURBEDS TO INSURE THE SITE REMAINS FULLY FUNCTIONAL.**
5. **THE CONTRACTOR SHALL OBSERVE ALL REQUIRED SAFETY PRECAUTIONS, THE PERFORMANCE OF ALL WORK SHALL ACCORDANCE WITH OSHA.**
6. **THE CONTRACTOR SHALL, GRASS, BUSHES, BIRDS OR OTHER WILDS PROVIDE TEMPORARY AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, ESPECIALLY BIRDS, BEE PRODUCTION COLONIES, ETC. IN APRIL/MAY.**
7. **WORK WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS, NOTIFICATIONS, STANDARDS AND POLICIES.**
8. **ANY SUBSTITUTION, CHANGES, OR MODIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER, PLANNING DEPARTMENT, STATE, AND OWNER PRIOR TO INSTALLATION/CONSTRUCTION OF CORRESPONDING ITEMS.**
9. **SEEN AND SILENCING PERMIT REQUIRED FOR ALL EXTERIOR SIRENS.**
10. **PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS NECESSARY FOR CONSTRUCTION, THE CONTRACTOR SHALL READ ALL PERMITS AND KNOWING THAT CONSTRUCTION COMPLIES WITH THE PERMITS, ALL REQUIRED PERMITS AND CHANGES MAY INCLUDE, BUT NOT LIMITED TO: EROSION CONTROL, TREE PRESERVATION, SOLE WASTE REMOVAL, HCDOT PERMITS, UTILITY PERMITS, RIGHT-OF-WAY PERMITS, RIGHT-OF-WAY ENCROACHMENT AGREEMENTS, SOLE AND DISCHARGE CONSTRUCTION, PERMITS, WOODS PERMITS, WATER PERMITS, SEWER PERMITS, CHANGEOVER/LOCAL PERMITS, EROSION CONTROL PERMITS, AND ALL OTHER CODE APPROVALS/PERMITS. IF THE CONTRACTOR HAS QUESTIONS ABOUT PERMIT TERMINOLOGY, OR THE NEED FOR A PERMIT, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER IMMEDIATELY.**

Official Use Only: Case #: _____

Planner (print): _____

Building Type

☐ Detached

☐ Attached

☐ Apartment

☐ Townhouse

Site Zoning History

☒ General

☐ Mixed use

☐ Open lot

☐ Civic

GENERAL INFORMATION

Development name STATE EMPLOYEE CREDIT UNION

State city/county ZIP _____

Property address **7725 MIDTOWN MARKET AVENUE, RALEIGH, NC 27616**

Sheet 1.4 (N) of 17 (N) of 16-02

NOTE: Please thoroughly check/develop/confirm Name, Janine Apprikoff.

NOTE: Please attach purchase agreement when submitting this form.

Company: STATE EMPLOYEE CREDIT UNION Title: Chief Administrative Officer

Address: 1110 S. BURNING WOOD CT., RALEIGH, NC 27603

Phone: (800) 338-1534 Email: Janine.Apprikoff@ncsu.org

Applicant Name: STEPHEN DODDSON JR Address: 3203 JACLYNN CT., HILLSBORO, NC 27278

Legacying/other reason for application: _____

Phone: (919) 732-7300 Email: STEPHEN.DODDSON@DUKE.EDU

DEVELOPMENT TYPE - SITE DATA
(Applicable to all developments)

SITE DATA

Zoning district if more than one, please provide the mapping to the zoning district: _____

PD (T) TRANCECT

Grass/soil coverage (4.2 AC)

of parking spaces proposed: 30

of parking spaces proposed: 18

Existing use (UDO 6.1.4) vacant

Proposed use (UDO 6.1.4) STATE FINANCIAL INSTITUTION

BUILDING DATA

Existing gross floor area to be demolished: _____

Existing gross floor area to be demolished: _____

New gross floor area: 10,384

Total of gross floor area and new: 10,384

Proposed # of buildings: 1

Proposed # of stories for each: 1

STORMWATER INFORMATION

Existing Impervious Surface: _____

Is this a flood hazard area? ☐ Yes ☒ No

Is flood plain provided: _____

FEMA Map Panel: _____

Storm Flow Buffer: ☒ Yes ☐ No Wetlands: ☐ Yes ☒ No

Proposed Impervious Surface

_____ Equivalent to _____

RESIDENTIAL DEVELOPMENT

Total # of dwelling units: _____

of bedrooms units: 10 20 30 40

of lots: _____

of 1 or 2 unit lots: _____

of 3 or more unit lots: _____

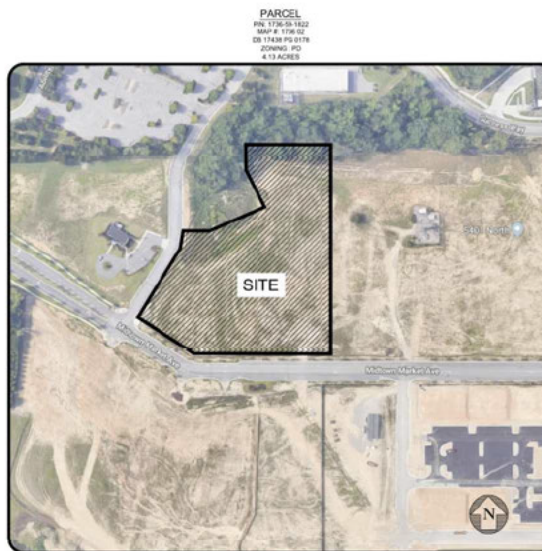
Is this a project a cottage court? ☐ Yes ☒ No

SIGNATURE BLOCK

I hereby designate STEPHAN DODDSON JR to serve as my agent

and to represent me in any public meeting regarding this application.

Signature: Stephan Doddson Jr Date: 5/29/16



SITE LOCATION MAP
NOT TO SCALE

A detailed map of the University of North Carolina at Chapel Hill campus. The map shows the main campus road (Rte 101) running vertically, and the road leading to North College Park (Rte 101/102) running horizontally. A black square indicates the location of the new building, situated near the intersection of these roads. Other landmarks labeled include Cameron Square, Coovertry, North College Park, River Bend Elementary School, and the River Bend Elementary School. The map also shows the location of the new building relative to the existing building (indicated by a grey square) and the location of the new building relative to the existing building (indicated by a grey square). A compass rose is located in the bottom right corner.

STATE EMPLOYEES' CREDIT UNION
119 N. SALISBURY ST.
RALEIGH, NC 27609
(800) 438-1104 (PHONE)
(919) 439-5353 (FAX)

THE JOHN R. MCADAMS COMPANY, INC.
RONALD T. FREDRICK, PLS
2966 MERRIDIAN PARKWAY
DURHAM, NC 27713
(919) 261-6300 (PHONE)
(919) 261-2339 (FAX)

SUMMIT DESIGN & ENGINEERING SERVICES, PLLC
 AARON HUTCHENS (PROJECT CONTACT)
 STEPHEN DODSON, PE
 320 EXECUTIVE COURT
 HILLSBOROUGH, NC 27276
 (919) 736-8863 (PHONE)
 (919) 736-8376 (FAX)
 AARON.HUTCHENS@SUMMITDC.NET
 STEPHEN.DODSON@SUMMITDC.NET

WATER:	CITY OF RALEIGH KEITH TEW (919) 955-3487 KEITH.TEW@RALEIGHNC.GOV	TRANSPORTATION:	CITY OF RALEIGH KEVIN KOO (919) 950-4023 KEVIN.KOO@RALEIGHNC.GOV
SEWER:	CITY OF RALEIGH KEITH TEW (919) 955-3487 KEITH.TEW@RALEIGHNC.GOV	SOLID WASTE:	CITY OF RALEIGH P O BOX 560 RALEIGH, NC 27602 (919) 956-3245
ELECTRIC:	DUKE ENERGY (866) 982-6345 CITY OF RALEIGH PLANNING	PLANNING:	CITY OF RALEIGH PLANNING RYAN BOVIN (919) 956-2681 RYAN.BOVIN@RALEIGHNC.GOV
TELEPHONE:	AT&T (800) 928-1925		
GAS:	PSNC ENERGY (919) 776-2427	STORMWATER:	CITY OF RALEIGH GARY MORTON (919) 956-3817 GARY.MORTON@RALEIGHNC.GOV
CABLE:	TIME WARNER CABLE (919) 441-1877	URBAN FORESTRY:	CITY OF RALEIGH ALAN MCORE (919) 956-4866 ALAN.MCORE@RALEIGHNC.GOV
ZONING:	CITY OF RALEIGH MICHAEL ELABARGER (919) 956-4279 MICHAEL.ELABARGER@RALEIGHNC.GOV		



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NOB11" (811) OR (1-800-652-6948) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NOB11". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

Kasey Evans
Kasey Evans I am approving this document

**PRELIMINARY
NOT FOR
CONSTRUCTION**

[illegible]

PROJECT NO.	18-0270.501
DRAWN BY:	SLF
CHECKED BY:	SWD
FIRST ISSUE DATE:	08/27/2018

COVER SHEET

C-1

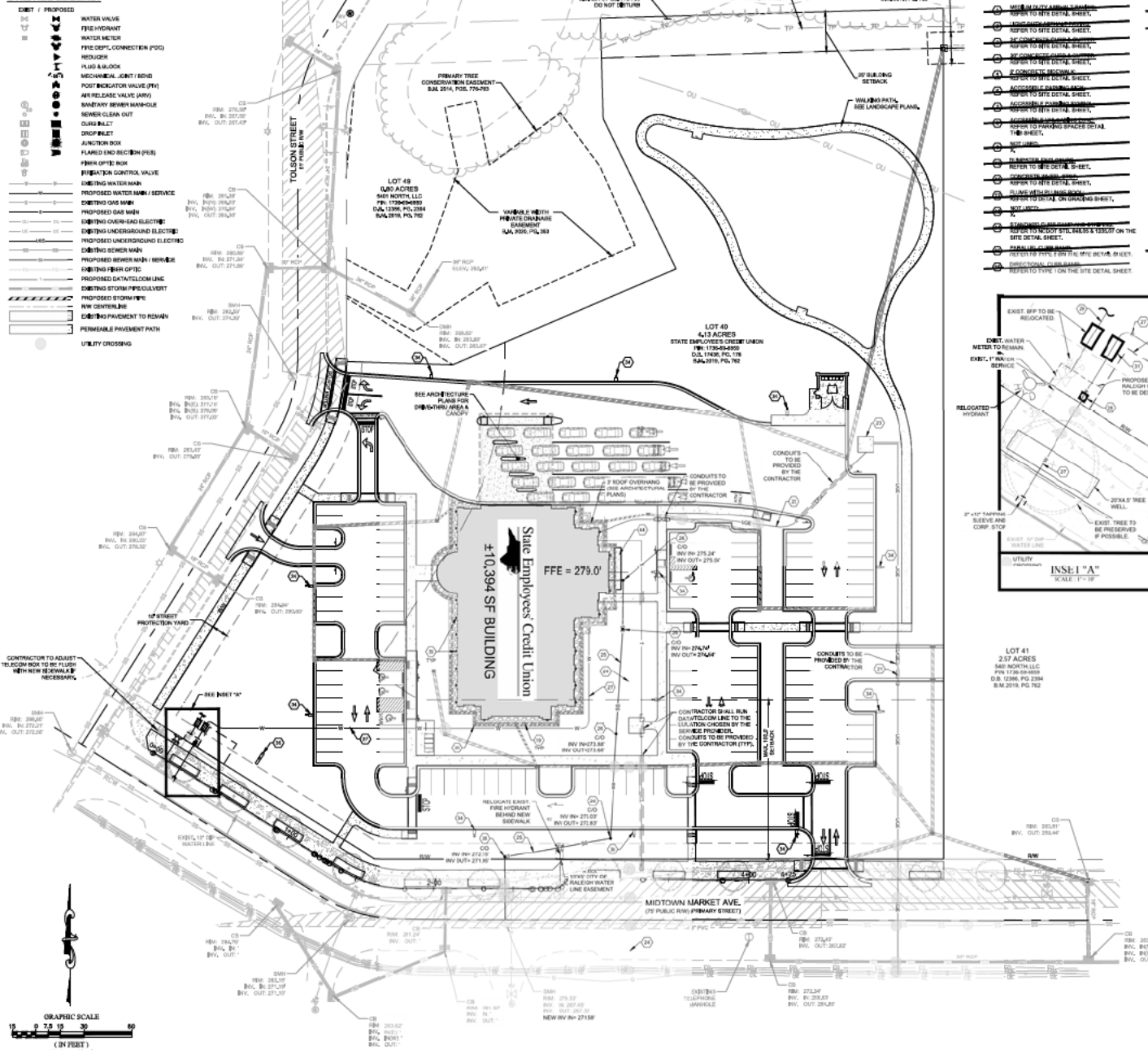
SECUR
State Employees' Credit Union

SUMMIT
DESIGN AND ENGINEERING SERVICES
1117 Newark Drive, Suite 600 Bridge, NJ 20609
Voice (910) 222-0313 Fax (910) 322-0116

RALEIGH BRANCH
STATE EMPLOYEES' CREDIT UNION
7725 MIDTOWN MARKET AVENUE, RALEIGH, NC 27616
MEMBERSHIP IS OPEN TO ALL EMPLOYEES OF THE STATE OF NORTH CAROLINA



EXIST	PROPOSED	
		WATER VALVE
		FIRE HYDRANT
		WATER METER
		FIRE DET., CONNECTION (PGC)
		REDUCER
		FLANGE & LOCK
		MANHOLE, JUNCTION / BEND
		PGC INDICATOR VALVE (PIV)
		AIR RELEASE VALVE (ARV)
		MANHOLE SEWERMAN HOLE
		SEWER CLEAN OUT
		CHURN BUILT
		DROPSIDE
		JUNCTION BOX
		FLARED END SECTION (FES)
		PIVOT OFT BOX
		PISTON CONTROL VALVE
		DRAINAGE WATER MAIN
		PROPOSED WATER MAIN / SERVICE
		EXISTING HOT MAIN
		PROPOSED HOT MAIN
		EXISTING OVERHEAD ELECTRIC
		DRAINAGE UNDERGROUND ELECTRIC
		EXISTING UNDERGROUND ELECTRIC
		DRAINAGE SLOPE
		EXISTING SINKER MAIN
		PROPOSED SEWER MAIN / SERVICE
		EXISTING SEWER OFT
		PROPOSED 4" P.C. DRAINING
		EXISTING STORM / DISCHARGE
		PROPOSED STORM LINE
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		EXISTING PAVEMENT TO REMAIN
		PERMISSIBLE PAVEMENT PATH
		UTILITY CROSSING

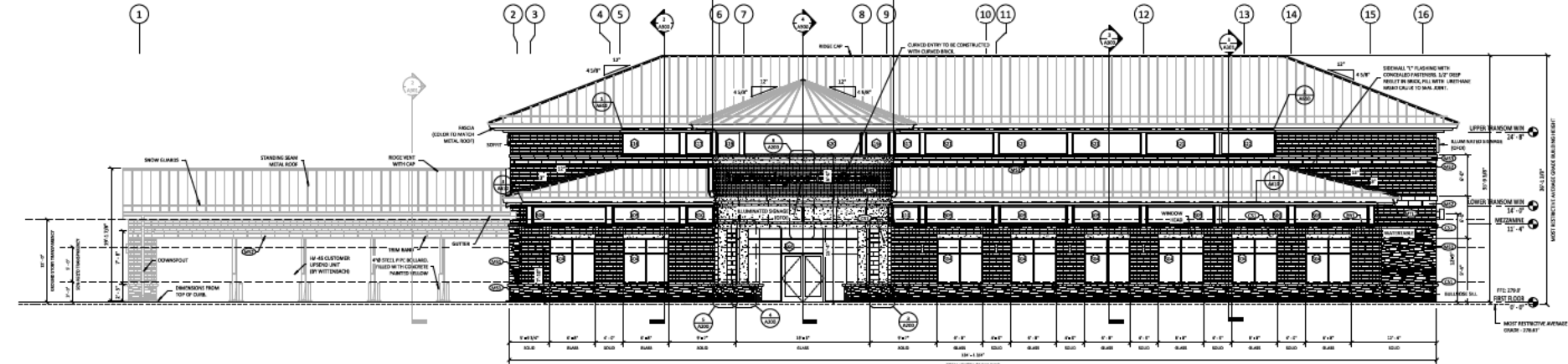


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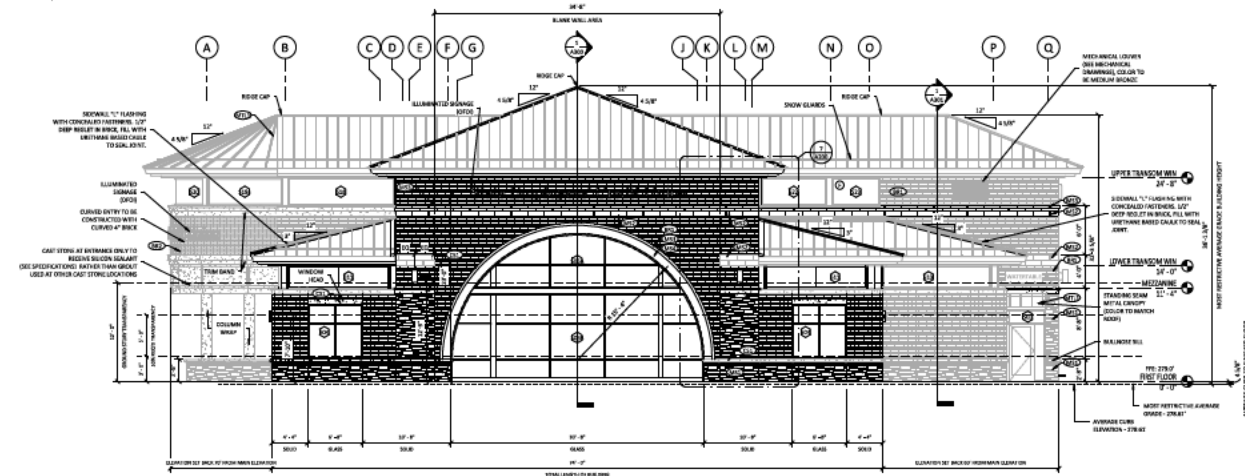
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EXTERIOR FINISH SCHEDULE									
ITEM	MATERIAL	FINISH	QTY	UNIT	REMARKS	ITEM	MATERIAL	FINISH	QTY
101	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	102	BRICK	COMMON	100
103	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	104	BRICK	COMMON	100
105	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	106	BRICK	COMMON	100
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187	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	188	BRICK	COMMON	100
189	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	190	BRICK	COMMON	100
191	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	192	BRICK	COMMON	100
193	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	194	BRICK	COMMON	100
195	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	196	BRICK	COMMON	100
197	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	198	BRICK	COMMON	100
199	BRICK	COMMON	100	SQ YD	BRICK TO MATCH ADJACENT BUILDING	200	BRICK	COMMON	100

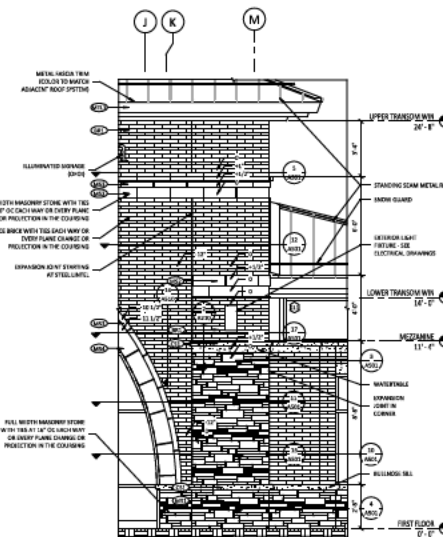
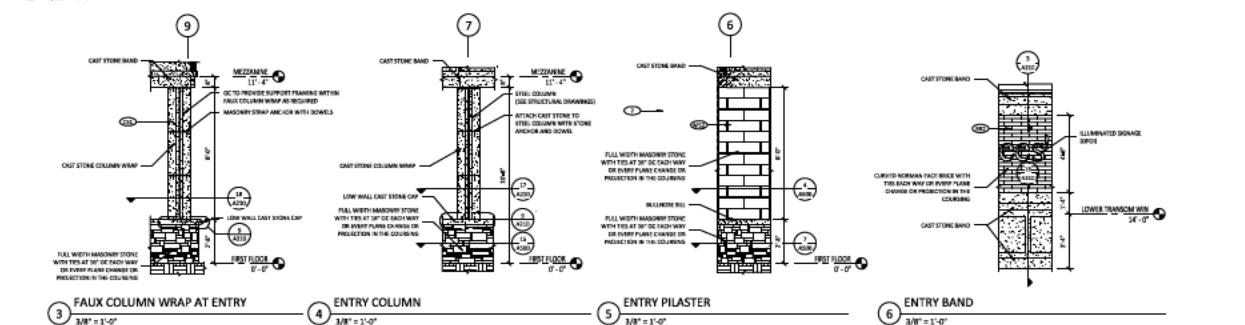
1. ALL TYPING AND FINISHING TO MATCH ADJACENT BUILDING SURFACES.
2. REFER TO SHEET A201 AND A202 FOR DIMENSIONS AND NOTES.



1-STORY BUILDING, WEST ELEVATION - TOLSON STREET
3/16" = 1'-0"



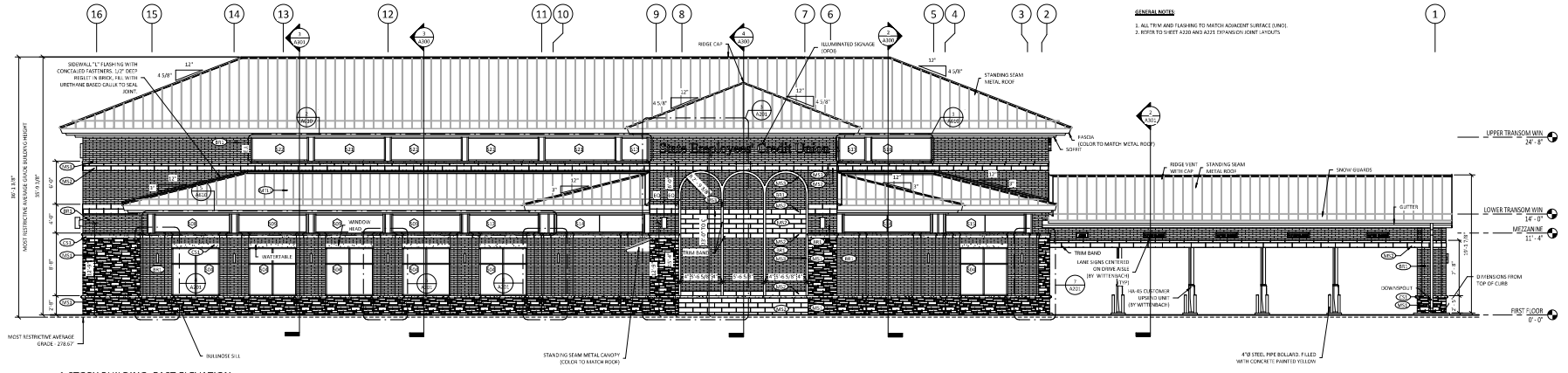
1-STORY BUILDING, SOUTH ELEVATION - MIDTOWN MARKET AVENUE
3/16" = 1'-0"



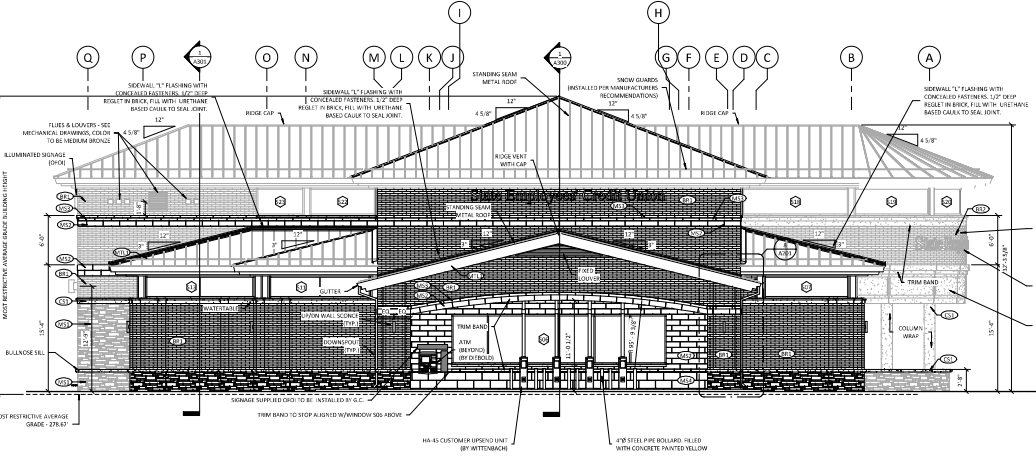
7-ARCHED WINDOW
3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE									
KEY	MATERIAL	APPLY	ID	FINISH	COMMENTS				
1	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
2	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
3	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
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10	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
11	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
12	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
13	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
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15	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
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58	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
59	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
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61	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
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66	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
67	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
68	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
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72	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
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76	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK	BRICK
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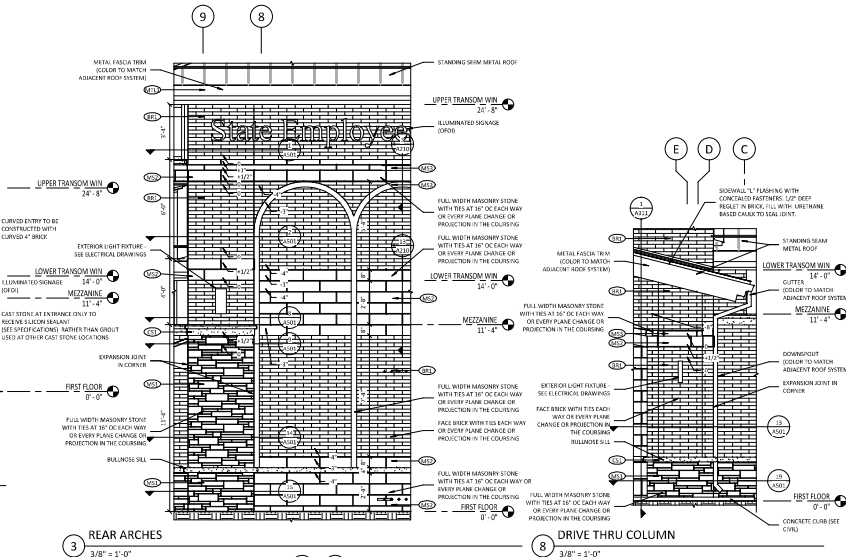
GENERAL NOTES
1. ALL TRIM AND FLASHING TO MATCH ADJACENT SURFACE (SLOPE).
2. REFER TO SHEET A220 AND A221 FOR WINDOW AND DOOR SCHEDULES.



1-STORY BUILDING, EAST ELEVATION
3/8" = 1'-0"

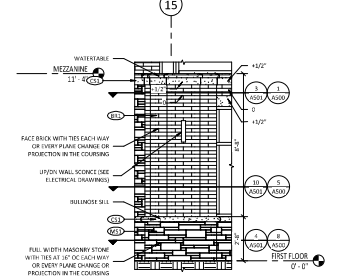


1-STORY BUILDING, NORTH ELEVATION
3/8" = 1'-0"

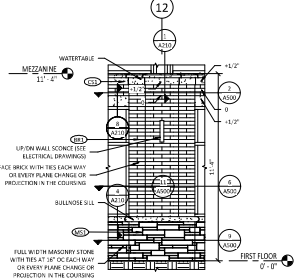


REAR ARCHES
3/8" = 1'-0"

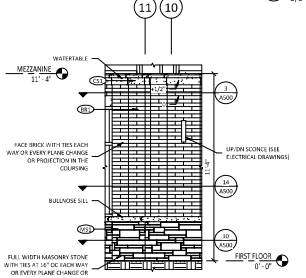
DRIVE THRU COLUMN
3/8" = 1'-0"



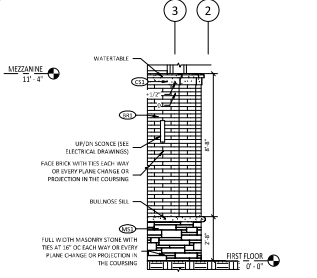
TYPICAL CORNER PILASTER
3/8" = 1'-0"



TYPICAL PILASTER
3/8" = 1'-0"



REAR CORNER PILASTER
3/8" = 1'-0"



DRIVE THRU CONNECTION TO BUILDING CORNER
3/8" = 1'-0"