



.74 AC
 74 AC 75,788 SF (0 AC RIGHT OF WAY EDUCATION)
 K-40-CU
 WAREHOUSE
 ETAIL, RESIDENTIAL, RESTAURANT, HOTEL, RANSIT
 ONE X
 EUSE RIVER
 EW CONSTRUCTION
 0 STORIES
 3 STORIES
 02,445
 SF (0% OF DISTURBED AREA)
 .64 AC/ 115,144 SF
 .71 AC/ 118,235 SF
 .70 AC/ 117,460 SF

| REQUIRED | |
|------------------------|-----------|
| 690 | 0 |
| 286 | 0 |
| 15 | 0 |
| 155 | 0 |
| 0 | 0 |
| 0 | 0 |
| 453 | |
| 3 | |
| 10 | |
| 138 | |
| 4 | |
| 608 | |
| DO REMENT | LONG TERM |
| ACE / 7 ROOMS | 102 |
| ONE | 0 |
| AC/E 1 / SF GFA, IN. 4 | 4 |
| 2E / 2,000 GFA | 2 |
| 145 | 106 |
| 13 | |
| 134 | |
| 147 | |

| PUBLIC IMPROVEMENT QUANTITIES | | |
|--------------------------------|--|-----|
| NUMBER OF LOT (S) | | 1 |
| LOT NUMBER (S) BY PHASE | | 1 |
| NUMBER OF UNITS | | 1 |
| LIVABLE BUILDINGS | | 1 |
| OPEN SPACE | | 0 |
| NUMBER OF OPEN SPACE LOTS | | 0 |
| PUBLIC WATER (LF) | | 475 |
| PUBLIC SEWER (LF) | | 495 |
| PUBLIC STREET (LF) - FULL | | 0 |
| PUBLIC STREET (LF) - PARTIAL | | 774 |
| PUBLIC SIDEWALK (LF) - FULL | | 774 |
| PUBLIC SIDEWALK (LF) - PARTIAL | | 0 |
| STREET SIGNS (LF) | | 0 |
| WATER SERVICE STUBS | | 6 |
| SEWER SERVICE STUBS | | 6 |

ARANCE COMMISSION (DA-0024-2021)

ORITY, PROPERTY OWNER, REQUESTED:

IXIT A PARKING AREA IN A FORWARD MOTION, AS SET FORTH IN UNIFIED DEVELOPMENT /, HARGETT STREET;

EWAYS SET FORTH IN UDO SECTION 8.3.5.C.3.C;

EWAYS SET FORTH IN UDO SECTION 8.3.5.C.3.C;

EWAYS SET FORTH IN UDO SECTION 8.3.5.C.3.C;

WEEN A DRIVEWAY AND INTERSECTION SET FORTH IN RALEIGH STREET DESIGN MANUAL

EEEN A DRIVEWAY AND INTERSECTION SET FORTH IN RSDM SECTION 9.5;

EET TREES, AS SET FORTH IN UDO SECTION 8.5.9.A;

YTH SET FORTH IN UDO SECTION 8.5.9.A;

ALONG WEST STREET, AS SET FORTH IN UDO SECTION 8.5.9.A;

ALONG HARGETT STREET, AS SET FORTH IN UDO SECTION 8.5.9.A;

H IN UDO SECTION 8.5.5.A;

H IN UDO SECTION 8.5.5.A;

'EST SIDE OF WEST STREET WITH A HOTEL DROP OFF AND LOADING AREA AND WITH A 1' SECTION 8.5.5.D;

H IN UDO SECTION 8.5.5.D;

OE OF WEST STREET AS SET FORTH IN UDO SECTION 8.5.5.D;

ON HARGETT STREET AND AN 8' DESIGN ALTERNATE TO THE REQUIRED MINIMUM 12'

OE OF HARGETT STREET AS SET FORTH IN UDO SECTION 8.5.5.A; AND

UM BLANK WALL AREA IN THE VERTICAL DIRECTION ON THE HARGETT STREET AND WEST 3.2.6.

30 SQ. FT. MIXED-USE DEVELOPMENT ON A 1.76-ACRE SITE ZONED DX-40-CU AND LOCATED

IE SPEED OF VEHICLES EGRESSING THE PARKING DECK LOCATED ON HARGETT STREET.

TRANSITS TRAVELING ON THE SOUTH SIDE OF HARGETT STREET AND VEHICLES EXITING THE

200, 206, & 210 S. WEST ST. RALEIGH, NC 27601 CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW

SUBMITTED ON AUGUST 4, 2022

| SHEET TITLE | SHEET NAME | 1ST SUBMITTAL |
|-------------|---|---------------|
| C-000 | COVER SHEET | • |
| C-010 | GENERAL NOTES | • |
| C-100 | SURVEY | • |
| C-101 | EXISTING CONDITIONS PLAN | • |
| C-200 | DEMOLITION PLAN | • |
| C-300 | SITE PLAN | • |
| C-301 | ADA ACCESS PLAN | • |
| C-302 | AMENITY PLAN | • |
| C-304 | HISTORIC PRESERVATION PLAN | • |
| C-500 | GRADING & STORM DRAINAGE PLAN | • |
| C-600 | UTILITIES PLAN | • |
| C-610 | FIRE PROTECTION PLAN | • |
| C-700 | TRANSPORTATION PLAN | • |
| C-702 | WASTE MANAGEMENT PLAN | • |
| C-900 | SITE DETAILS | • |
| C-901 | SITE DETAILS | • |
| C-902 | SITE DETAILS | • |
| C-903 | SITE DETAILS | • |
| C-904 | SITE DETAILS | • |
| C-905 | SITE DETAILS | • |
| C-920 | STORM DRAINAGE DETAILS | • |
| C-921 | STORM DRAINAGE DETAILS | • |
| C-930 | UTILITY DETAILS | • |
| C-931 | UTILITY DETAILS | • |
| C-932 | UTILITY DETAILS | • |
| C-933 | UTILITY DETAILS | • |
| C-941 | UTILITY DETAILS | • |
| C-940 | UTILITY DETAILS | • |
| L-500 | PLANTING PLAN | • |
| L-600 | PLANTING & SOIL DETAILS | • |
| L-601 | PLANTING & SOIL DETAILS | • |
| T-101 | TRANSIT STOP SITE PLAN | • |
| T-102 | ROADWAY TYPICAL SECTIONS | • |
| T-103 | TRANSIT CENTER SITE PLAN | • |
| T-104 | TRANSIT CENTER GRADING AND STORM PLAN | • |
| T-105 | BUS TURN MOVEMENT PLAN | • |
| T-106 | BUS TURN MOVEMENT PLAN | • |
| T-107 | BUS TURN MOVEMENT PLAN | • |
| TR-101 | STRIPING PLAN - 1ST FLOOR (P0) | • |
| TR-102 | STRIPING PLAN - 2ND FLOOR (P1) | • |
| TR-103 | STRIPING PLAN - 3RD FLOOR (P2) | • |
| TR-104 | STRIPING PLAN - 4TH FLOOR (P3) | • |
| TR-105 | STRIPING PLAN - 5TH FLOOR (P4) | • |
| A-101 | 1ST FLOOR PLAN | • |
| A-102 | 2ND FLOOR PLAN | • |
| A-103 | 3RD FLOOR PLAN | • |
| A-104 | 4TH FLOOR PLAN | • |
| A-105 | 5TH FLOOR PLAN | • |
| A-106 | 6TH FLOOR PLAN | • |
| A-107 | 7TH FLOOR PLAN | • |
| A-108 | 8TH FLOOR PLAN (TYPICAL FOR 8TH-12TH FLOOR) | • |
| A-109 | 13TH FLOOR AND SOUTH TOWER LOW ROOF PLAN | • |
| A-110 | 14TH FLOOR PLAN (TYPICAL FOR 14TH-17TH FLOOR) | • |
| A-111 | 17TH FLOOR PLAN | • |
| A-112 | 18TH FLOOR AND SOUTH TOWER MAIN ROOF PLAN | • |
| A-113 | 19TH FLOOR AND SOUTH TOWER HIGH ROOF PLAN (19TH-28TH FLOOR) | • |
| A-114 | 29TH FLOOR PLAN | • |
| A-115 | 31ST FLOOR PLAN (TYPICAL FOR 31ST - 33RD FLOOR) | • |
| A-116 | 33TH FLOOR PLAN | • |
| A-117 | NORTH TOWER PENTHOUSE 1 PLAN | • |
| A-118 | NORTH TOWER PENTHOUSE 2 PLAN | • |
| A-119 | ROOF PLAN | • |
| A-301 | BUILDING ELEVATION - NORTH (OVERALL) | • |
| A-302 | BUILDING ELEVATION - EAST (OVERALL) | • |
| A-303 | BUILDING ELEVATION - SOUTH (OVERALL) | • |
| A-304 | BUILDING ELEVATION - WEST (OVERALL) | • |
| ASR1.0 | OUTDOOR AMENITY SEATING AND PLANTINGS | • |
| AL-101 | ARCHITECTURAL LIGHTING -1ST FLOOR RCP | • |
| AL-201 | ARCHITECTURAL LIGHTING -1ST FLOOR PLAN | • |
| AL-301 | ARCHITECTURAL LIGHTING -ELEVATIONS | • |
| AL-500 | ARCHITECTURAL LIGHTING -SCHEDULES | • |
| AL-501 | ARCHITECTURAL LIGHTING - CUT SHEETS | • |
| AL-502 | ARCHITECTURAL LIGHTING - CUT SHEETS | • |

ENGINEERING - LANDSCAPE ARCHITECTURE - GEOMATICS - GEOTECHNICAL ARCHITECTURE TRANSIT/PARKING

STEWART
 23 S. WEST STREET FIRM LICENSE #: C-1051
 RALEIGH, NC 27603 www.stewartinc.com
 919.380.8750 PROJECT #: C20028

STEWART INC. - GEOMATICS
 CONTACT: FRANK G. MUNDY, II, PLS
 DIRECTOR OF GEOMATICS
 919.866.4806 (T)
 919.380.8752 (F)
 FMUNDY@STEWARTINC.COM

STEWART INC. - GEOTECHNICAL
 CONTACT: DON BROWN, PE
 MANAGER OF CONSTRUCTION SERVICES
 919.866.4842 (T)
 919.380.8752 (F)
 DBROWN@STEWARTINC.COM

PERKINS — EASTMAN

PERKINS EASTMAN
 115 FIFTH AVENUE
 NEW YORK, NY 10003
 CONTACT: HILARY BERTSCH
 212.353.0146 (T)
 H.BERTSCH@PERKINSEASTMAN.COM

Kimley»Horn

KIMLEY-HORN
 ONE BANK OF AMERICA PLAZA
 421 FAYETTEVILLE ST. STE 600
 RALEIGH, NC 27601
 CONTACT: BETTY WHITE, PE
 919.653.2935 (T)
 BETTY.WHITE@KIMLEY-HORN.COM

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) and [TC-11-21](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

| Building Type | Site Transaction History |
|------------------------------------|---|
| <input type="checkbox"/> Detached | <input type="checkbox"/> General |
| <input type="checkbox"/> Attached | <input checked="" type="checkbox"/> Mixed use |
| <input type="checkbox"/> Apartment | <input type="checkbox"/> Open lot |
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Civic |

Subdivision case #: _____
 Scoping/sketch plan case #: SCOPE-0083-2021
 Certificate of Appropriateness #: _____
 Board of Adjustment #: BOA-0082-2021
 Zoning Case #: Z-19-19
 Administrative Alternate #: DA-0024-2021

GENERAL INFORMATION

Development name: Raleigh Union Station Bus Station
 Inside City limits? Yes No
 Property address(es): **200,206 & 210 S. West Street, Raleigh NC 27601**

Site P.I.N (s): 1703-48-8450, 1703-48-8314, 1703-48-8250
 Please describe the scope of work. Include any additions, expansions, and change of use.
 Demolition of existing building for the construction of new bus transit facility and overbuild consisting of 4 levels of parking deck and two towers: (1) 27 floors of north residential tower, and (2) 12 floors of south residential tower.

Current Property Owner/Developer Contact Name: Research Triangle Regional Public Transit Authority/ Micah Kordsmeier
NOTE: please attach purchase agreement when submitting this form.

Company: RB Infrastructure Title: Senior Development Manager
 Address: 11 Franklin Street, Raleigh NC 27604
 Phone #: 919.371.5264 Email: mkordsmeier@hoffman-dev.com
 Applicant Name: Natalie Carmen
 Company: STEWART Address: 223 S. West Street, Raleigh NC 27603
 Phone #: 919.866.4776 Email: ncarmen@stewartinc.com

Page 1 of 2 REVISION 06.02.22
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| DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments) | |
|---|--|
| SITE DATA | BUILDING DATA |
| Zoning district (if more than one, please provide the acreage of each): DX-40-CU | Existing gross floor area (not to be demolished): 0 |
| Gross site acreage: 1.76 | Existing gross floor area to be demolished: 138,747 |
| Maximum # of parking spaces: 1146 | New gross floor area: 702,445 |
| # of parking spaces proposed: 608 | Total sf gross (to remain and new): 702,445 |
| Overlay District (if applicable): N/A | Proposed # of buildings: 1 |
| Existing use (UDO 6.1.4): warehouse | Proposed # of stories for each: 33 and 17 |
| Proposed use (UDO 6.1.4): mixed-use | |

| STORMWATER INFORMATION | |
|---|--|
| Existing Impervious Surface: Acres: 2.714 | Proposed Impervious Surface: Acres: 2.897 |
| Square Feet: 118,235 | Square Feet: 117,460 |
| Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | |
| If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____ | |
| Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |

| RESIDENTIAL DEVELOPMENTS | |
|---|--|
| Total # of dwelling units: 587 | Total # of hotel units: 0 |
| # of bedroom units: 1br 460 2br 127 3br | 4br or more |
| # of lots: 1 | Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |

SIGNATURE BLOCK

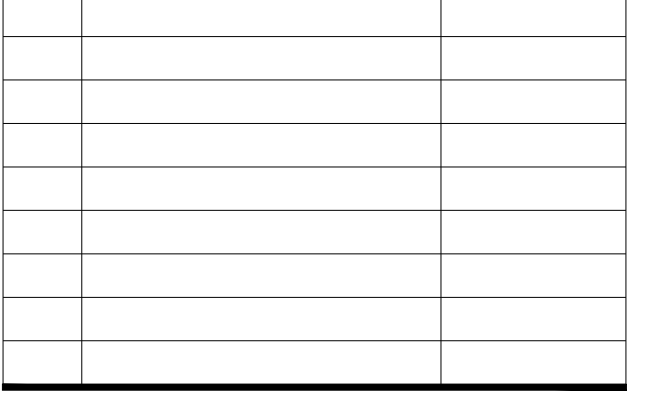
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Natalie Carmen of STEWART will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

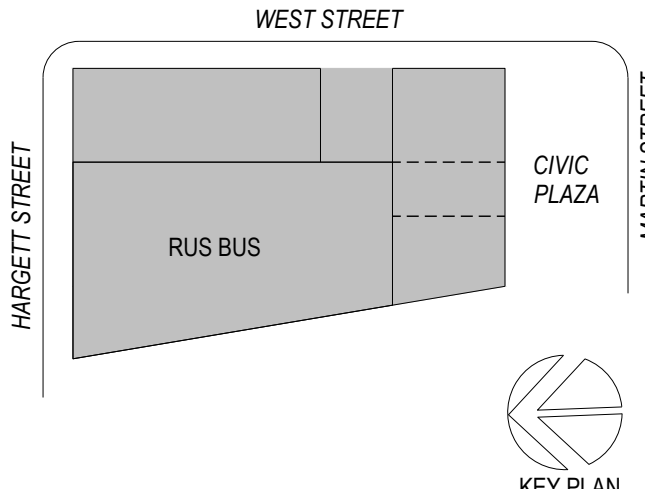
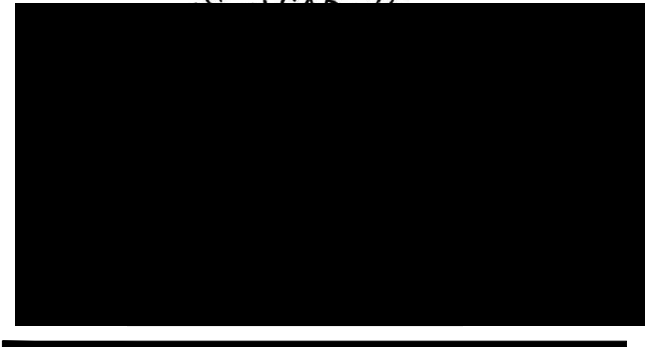
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Natalie Carmen Date: 08/04/2022
 Printed Name: Micah Kordsmeier

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 raleighnc.gov



PRELIMINARY - DO NOT USE FOR CONSTRUCTION



PERKINS — EASTMAN
 115 Fifth Avenue
 New York, NY 10003
 T: +1 212 353 7200
 F: +1 212 353 7876

Owner:
RB INFRASTRUCTURE, LLC
 11 WEST FRANKLIN ST., RALEIGH NC 27604

Civil / Site:
STEWART INC.
 223 S. WEST STREET, SUITE 1100, RALEIGH, NC 27603

Transit / Parking:
KIMLEY-HORN
 42 FAYETTEVILLE STREET, SUITE 600 RALEIGH, NC 27601

Structural:
THORNTON TOMASETTI
 2001 K ST. NW SUITE 600 N. WASHINGTON, DC 20008

MEPPP:
JORDAN SKALA ENGINEERS
 4501 CHARLOTTE PARK DR. STE 100, CHARLOTTE, NC 28217

Vertical Transportation:
LERCH BATES
 1430 BROADWAY, SUITE 908, NEW YORK, NY 10018

Amenities / Interiors:
CLINE DESIGN ASSOCIATES
 125 N. HARRINGTON STREET, RALEIGH, NC 27603

Codes / Accessibility:
ENGINEERING PLANNING & MANAGEMENT
 5540 CENTERVIEW DRIVE, SUITE 318, RALEIGH, NC 27606

Acoustics:
CERAMI
 1991 AVE. OF THE AMERICAS, 4/F, NEW YORK, NY 10018

PROJECT TITLE:
RUS BUS

PROJECT No: 81591

DRAWING TITLE:
COVER SHEET

SCALE:
C-000

ADMINISTRATIVE SITE REVIEW

08/04/2022

YEARS FROM THE DATE OF ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE RENT AND INCOME LIMITS WILL FOLLOW THE AFFORDABLE HOUSING STANDARDS DETERMINED ANNUALLY BY THE CITY OF RALEIGH AND THE NEIGHBORHOODS DEPARTMENT. AN AFFORDABLE HOUSING STRATEGY IN A FORM APPROVED BY THE CITY SHALL BE FILED AND RECORDED IN THE PROPERTY'S CHAIN OF TITLE BY THE PROPERTY OWNER IN THE COUNTY REGISTER OF DEEDS PRIOR TO THE PROJECT RECEIVING A CERTIFICATE OF OCCUPANCY. AFFORDABLE UNITS OFFERED WITHIN THIS PROJECT SHALL BE CONSTRUCTED CONCURRENTLY WITH THE PROJECT'S AFFORDABLE HOUSING UNITS. THE PROPERTY OWNER SHALL CERTIFY TO THE CITY ANNUALLY WITH THIS ZONING CONDITION ON AN ANNUAL BASIS.

MIXED USE BUILDING/STRUCTURE SHALL BE A MIXED USE BUILDING TYPE. THE BUILDING SHALL BE PERMITTED BETWEEN THE BUILDING AND WEST STREET. THE PARKING SHALL BE PERMITTED BETWEEN THE BUILDING AND WEST STREET. THE PARKING SHALL BE PERMITTED BETWEEN THE BUILDING AND WEST STREET. SLEEPS AND BUS LADING AREAS SHALL NOT BE CONSIDERED AS PERMITTED FOR PURPOSES OF THIS CONDITION.

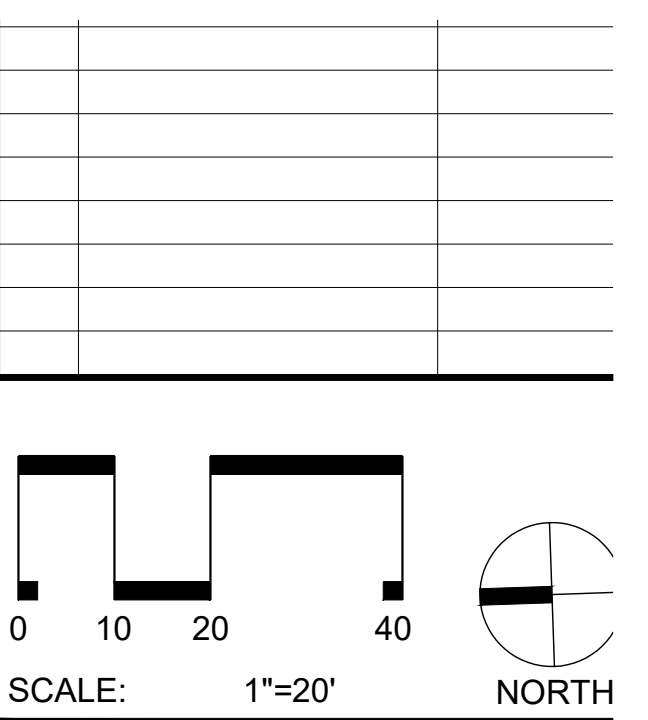
WHERE THE UPPER STORIES OF STRUCTURE PARKING ARE LOCATED AT THE PERIMETER OF A BUILDING, THEY MUST BE SCREENED SO THAT CARS ARE NOT VISIBLE FROM ADJACENT STREETS. SLOPED RAMPS SHALL NOT BE DISCERNIBLE ALONG THE PERIMETER OF ANY PARKING STRUCTURE. ARCHITECTURAL AND VEGETATIVE SCREENS MUST BE USED TO ARTICULATE THE FACADE, HIDE PARKED VEHICLES, AND SHIELD LIGHTING.

THE GROUND STORY MUST HAVE ACTIVE USES (SUCH AS, BUT NOT LIMITED TO, RESIDENTIAL, COMMERCIAL, OFFICE OR CIVIC SPACE) ALONG WEST STREET AND ALONG THE SOUTHERN PROPERTY LINE ADJACENT TO WAKE COUNTY PIN 1703488053.

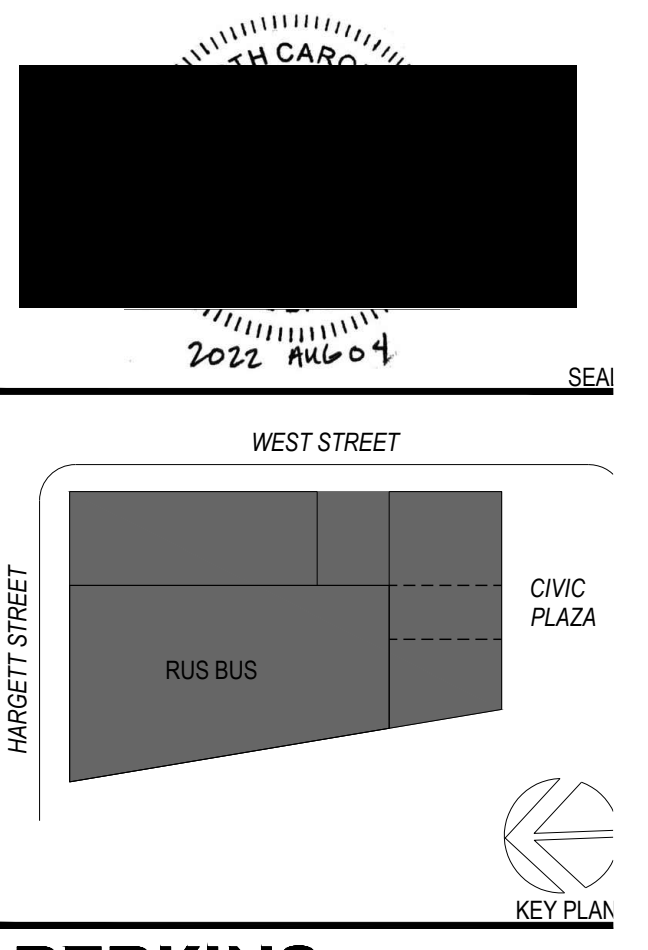
IF SUFFICIENT BUILDING MATERIALS ARE DETERMINED TO BE ELIGIBLE TO BE PRESERVED OR REUSED, THEN A MINIMUM OF 1000 SQUARE FEET OF EXISTING BUILDING MATERIALS, OR AS OTHERWISE REQUIRED BY SECTION 106 OF THE NATIONAL HISTORIC PRESERVATION ACT, 16 U.S.C. 470 ET SEQ., SHALL BE PRESERVED OR REPURPOSED.

- PROPOSED UNIT PAVERS
- PROPOSED CONCRETE PAVERS
- PROPOSED FULL DEPTH ASPHALT
- PROPOSED CONCRETE PAVEMENT (VEHICULAR)
- PROPOSED 1.5" ASPHALT MILL & OVERLAY
- PROPOSED CURB & GUTTER
- PROPOSED STOP BAR
- PROPOSED 4' X 8' TREE GRATE WITH TREE
- PROPOSED 6' WIDE STANDARD CROSSWALK
- PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
- PROPOSED SIGN
- PROPOSED BOLLARD
- LIMITS OF DISTURBANCE

NOTES:
1. SEE SHEET C-010 FOR GENERAL AND SITE NOTES.



PRELIMINARY - DO NOT USE FOR CONSTRUCTION



PERKINS EASTMAN
115 Park Avenue
New York, NY 10003
T +1 212 353 7200
F +1 212 353 7676

Owner:
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THORNTON TOMASETTI
2001 K ST. NW SUITE 600 N, WASHINGTON, DC 20006

MEFP:
JORDAN SKALA ENGINEERS
4501 CHARLOTTE PARK DR. STE 100, CHARLOTTE, NC 28217

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CERAMI
1991 AVE. OF THE AMERICAS, 4/F, NEW YORK, NY 10018

PROJECT TITLE:
RUS BUS

RALEIGH, NC

PROJECT No: 81591

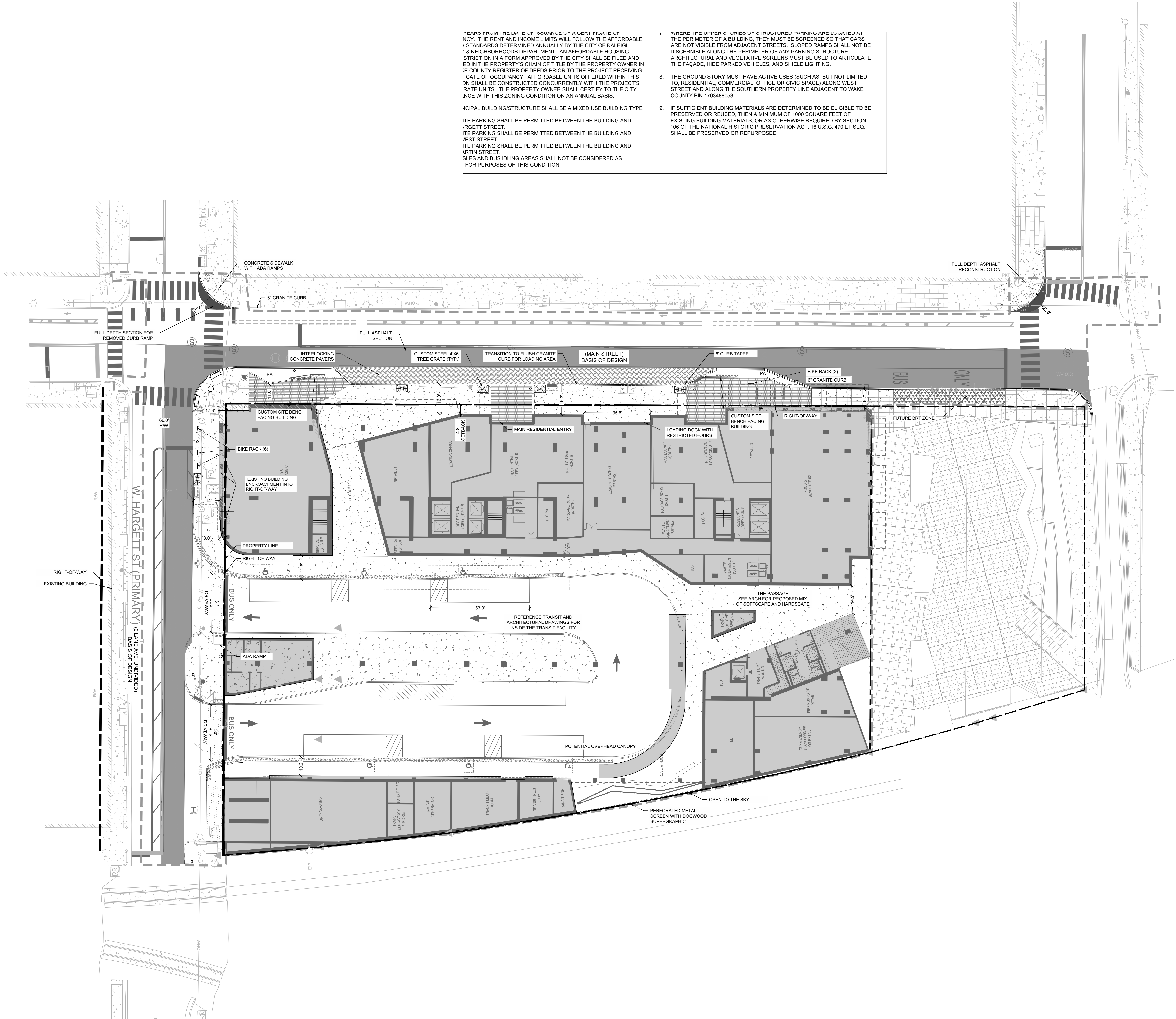
DRAWING TITLE:
SITE PLAN

SCALE:

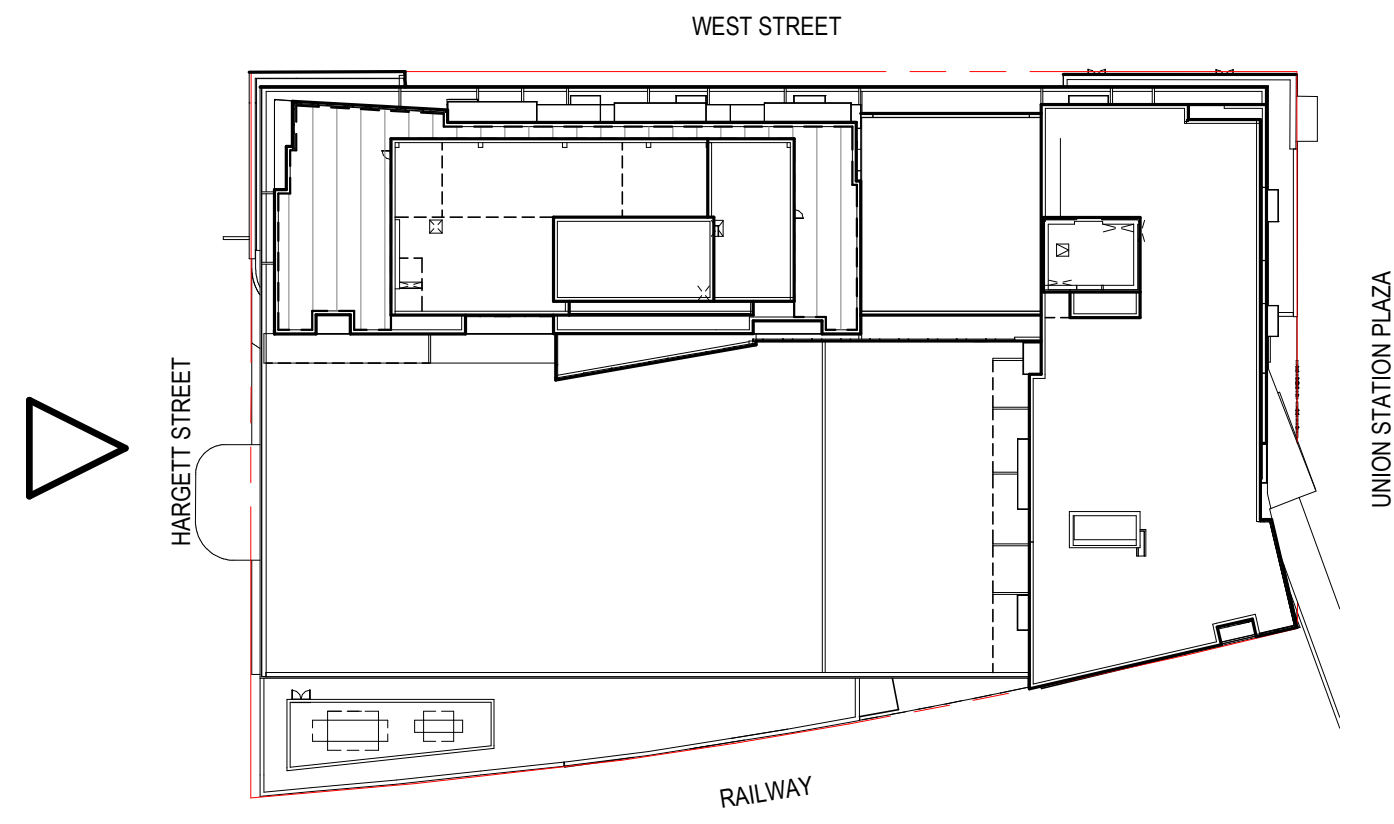
C-300

ADMINISTRATIVE SITE REVIEW

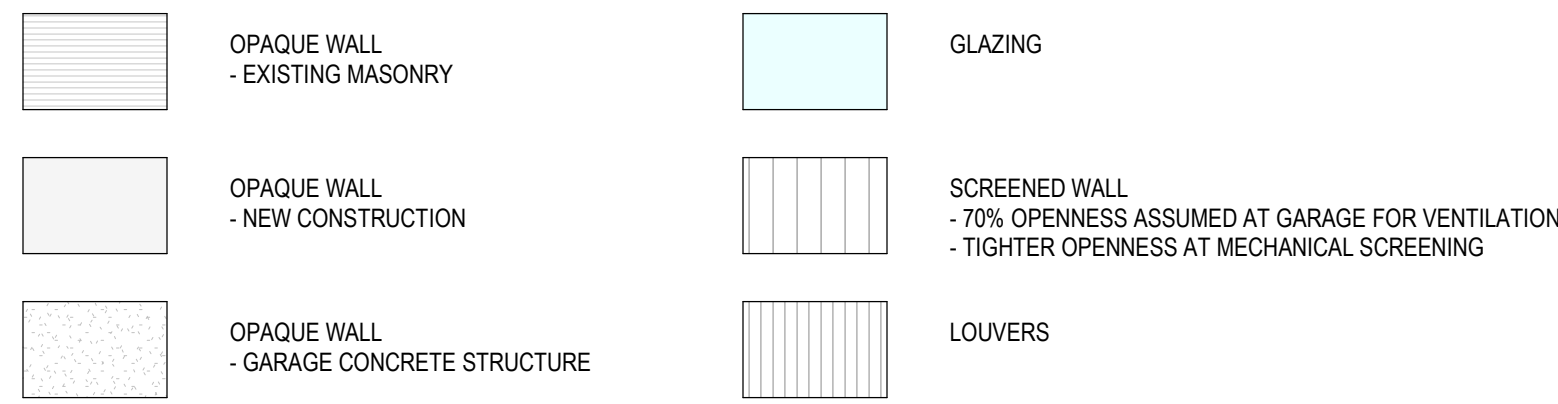
08/04/2022



KEY PLAN



LEGEND



TRANSPARENCY CALCULATIONS

GROUND STORY TRANSPARENCY FACADE CALCULATIONS - EAST ELEVATION (WEST STREET)

AREA TO BE CALCULATED FOR TRANSPARENCY = 241.6' X 12' = 2,899 SF

TRANSPARENCY FROM 0' TO 12' IN HEIGHT:

- TRANSPARENCY REQUIRED = 2,899 SF X 66% (66% TRANSPARENCY PER UDO SEC 3.2.6.F.1 - DX DISTRICT) = 1,913 SF
- TRANSPARENCY PROVIDED = 1,969 SF / 2,899 SF = 67%

TRANSPARENCY FROM 3' TO 8' IN HEIGHT:

- TRANSPARENCY REQUIRED = 1,913 SF X 50% (50% TRANSPARENCY PER UDO SEC 1.5.9.B.1) = 957 SF
- TRANSPARENCY PROVIDED = 820 SF / 1,913 SF = 43%

SEE ELEVATIONS FOR UPPER STORY TRANSPARENCY

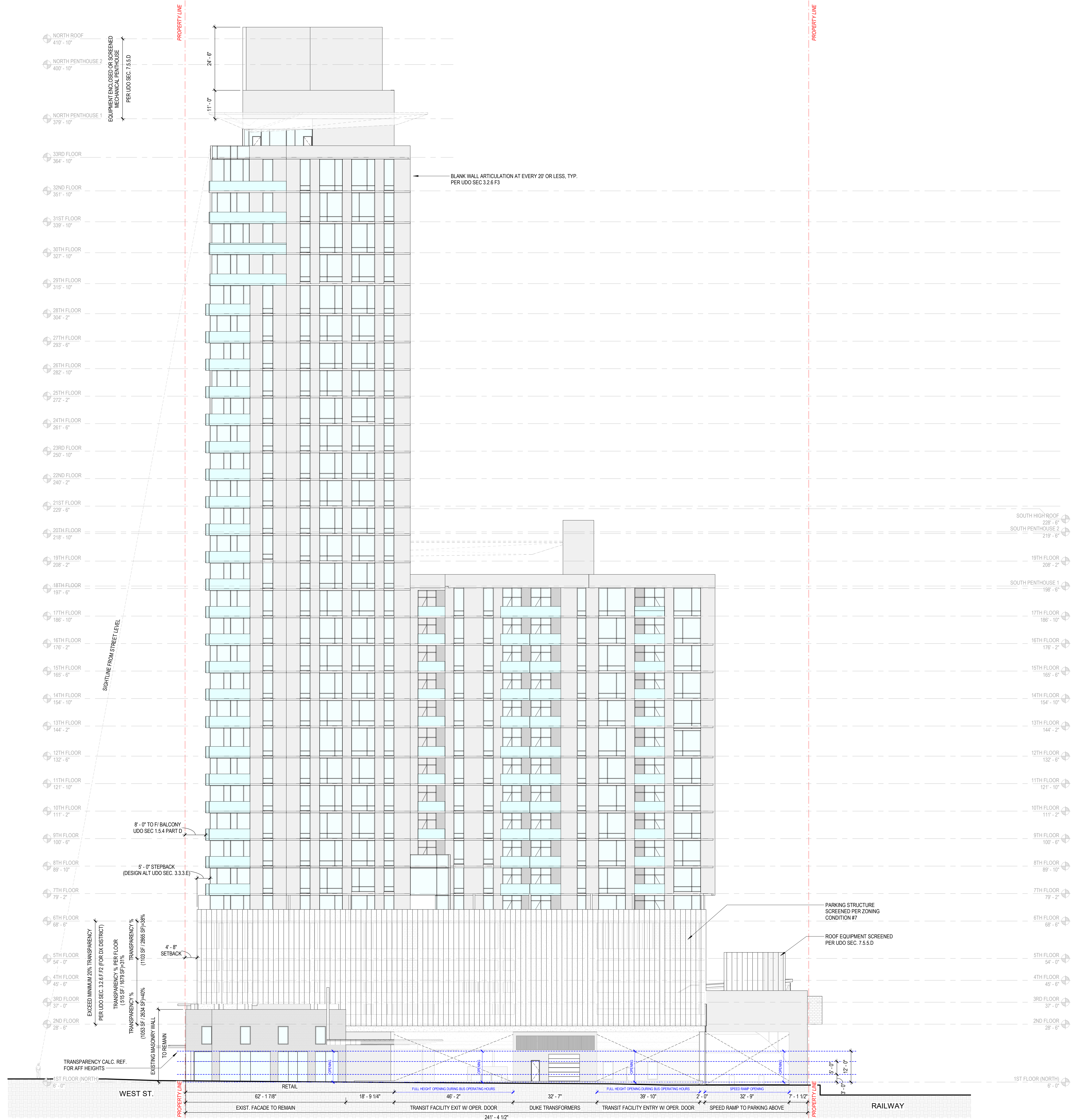
BLANK WALL AREA

MAXIMUM BLANK WALL DIMENSION (HORIZONTAL AND VERTICAL) (PER UDO SEC. 1.5.10 AND SEC 3.2.6.F.3 - DX DISTRICT) = 20 LF

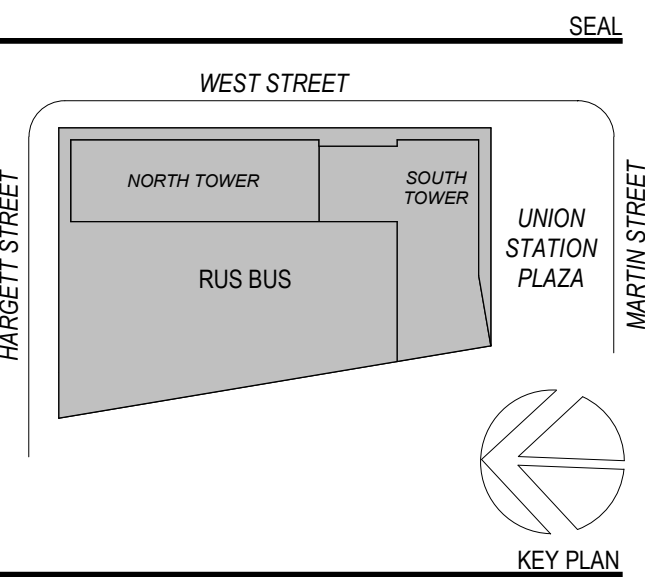
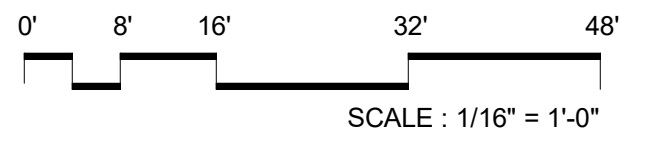
ON FEBRUARY 3, 2022 THE APPEARANCE COMMISSION APPROVED DA-0024-2021, INCLUDING THE REQUEST FOR A DESIGN ALTERNATE FOR COMPLETE RELIEF TO THE REQUIRED MAXIMUM BLANK WALL AREA IN THE VERTICAL DIRECTION ON THE HARGETT STREET AND WEST STREET BUILDING FACADES FOR BOTH TOWERS AS SET FORTH IN UDO SECTION 3.2.6.

BUILDING MASSING - STEPBACKS

ON FEBRUARY 3, 2022 THE APPEARANCE COMMISSION APPROVED DA-0024-2021, INCLUDING 7' DESIGN ALTERNATE TO THE REQUIRED MINIMUM 12' FACADE STEPBACK ON HARGETT STREET AND AN 8' DESIGN ALTERNATE TO THE REQUIRED MINIMUM 12' FACADE STEPBACK ON WEST STREET AS SET FORTH IN UDO SECTION 3.3.3.B.



| No. | Description | Date |
|-----|--------------------|------------|
| 1 | ADMIN. SITE REVIEW | 08/02/2021 |
| 2 | ADMIN. SITE REVIEW | 10/19/2021 |
| 3 | ASR RESP. COMMENT | 02/15/2022 |
| 4 | ASR RESP. COMMENT | 03/16/2022 |
| 5 | ASR RESP. COMMENT | 08/04/2022 |



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 115 Fifth Avenue
 New York, NY 10003
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 F: +1 212 353 7876

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 11 WEST FRANKLIN ST., RALEIGH NC 27604

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 42 FAYETTEVILLE STREET, SUITE 600 RALEIGH, NC 27601
- Structural:
THORNTON TOMASETTI
 2001 K ST. NW SUITE 600 N. WASHINGTON, DC 20006
- MEPP:
JORDAN SKALA ENGINEERS
 4501 CHARLOTTE PARK DR. STE 100, CHARLOTTE, NC 28217
- Vertical Transportation:
LERCH BATES
 1430 BROADWAY, SUITE 908, NEW YORK, NY 10018
- Architects / Interor:
CLINE DESIGN ASSOCIATES
 125 N. HARRINGTON STREET, RALEIGH, NC 27603
- Codes / Accessibility:
ENGINEERING PLANNING & MANAGEMENT
 5540 CENTERVIEW DRIVE, SUITE 318, RALEIGH, NC 27606
- Acoustics:
CERAMI
 1991 AVE. OF THE AMERICAS, 4/F, NEW YORK, NY 10018

PROJECT TITLE:
RUSBUS

201, 203 & 210 S. WEST STREET
 RALEIGH, NC 27601

PROJECT No: 81591, 81592

DRAWING TITLE:
BUILDING ELEVATION - NORTH (OVERALL)

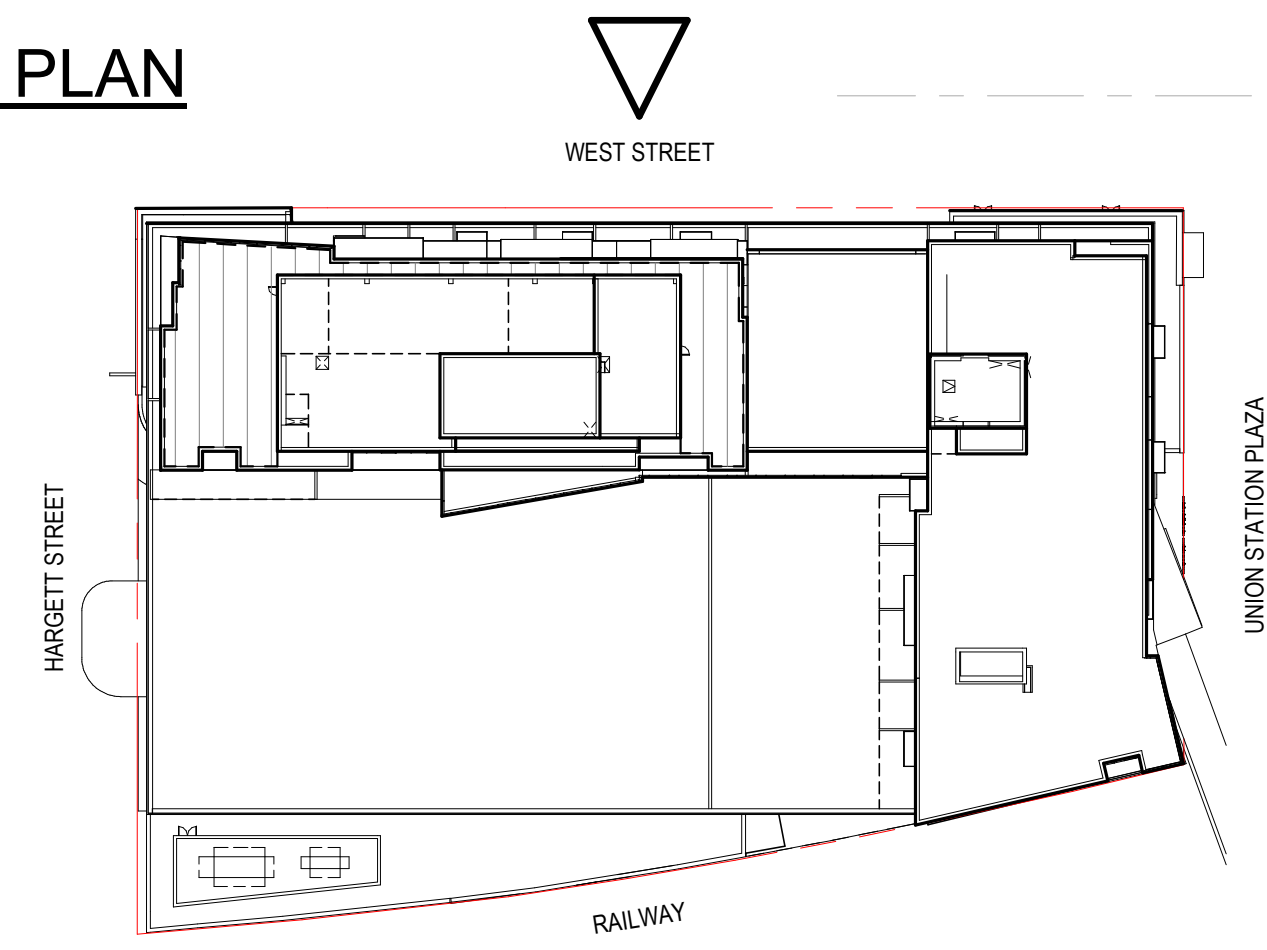
SCALE: As Indicated

A-301

ADMINISTRATIVE SITE REVIEW

08/04/2022

KEY PLAN



TRANSPARENCY CALCULATIONS

GROUND STORY TRANSPARENCY FACADE CALCULATIONS - EAST ELEVATION (WEST STREET)

AREA TO BE CALCULATED FOR TRANSPARENCY: 349' X 12' = 4,188 SF

TRANSPARENCY FROM 0' TO 12' IN HEIGHT:

- TRANSPARENCY REQUIRED = 4,188 SF X 66% = 2,764 SF (66% TRANSPARENCY PER UDO SEC 3.2.6.F.1 - DX DISTRICT)
- TRANSPARENCY PROVIDED = 2,653 SF / 4,188 SF = 63%

TRANSPARENCY FROM 12' TO 24' IN HEIGHT:

- TRANSPARENCY REQUIRED = 2,764 SF X 50% = 1,382 SF (50% TRANSPARENCY PER UDO SEC 1.5.9.B.1)
- TRANSPARENCY PROVIDED = 1,289 SF / 2,764 SF = 46%

SEE ELEVATIONS FOR UPPER STORY TRANSPARENCY

BLANK WALL AREA

MAXIMUM BLANK WALL DIMENSION (HORIZONTAL AND VERTICAL) (PER UDO SEC. 1.5.10 AND SEC 3.2.6.F.3 - DX DISTRICT) = 20 LF

ON FEBRUARY 3, 2022 THE APPEARANCE COMMISSION APPROVED DA-0024-2021, INCLUDING THE REQUEST FOR A DESIGN ALTERNATE FOR COMPLETE RELIEF TO THE REQUIRED MAXIMUM BLANK WALL AREA IN THE VERTICAL DIRECTION ON THE HARGETT STREET AND WEST STREET BUILDING FACADES FOR BOTH TOWERS AS SET FORTH IN UDO SECTION 3.2.6.

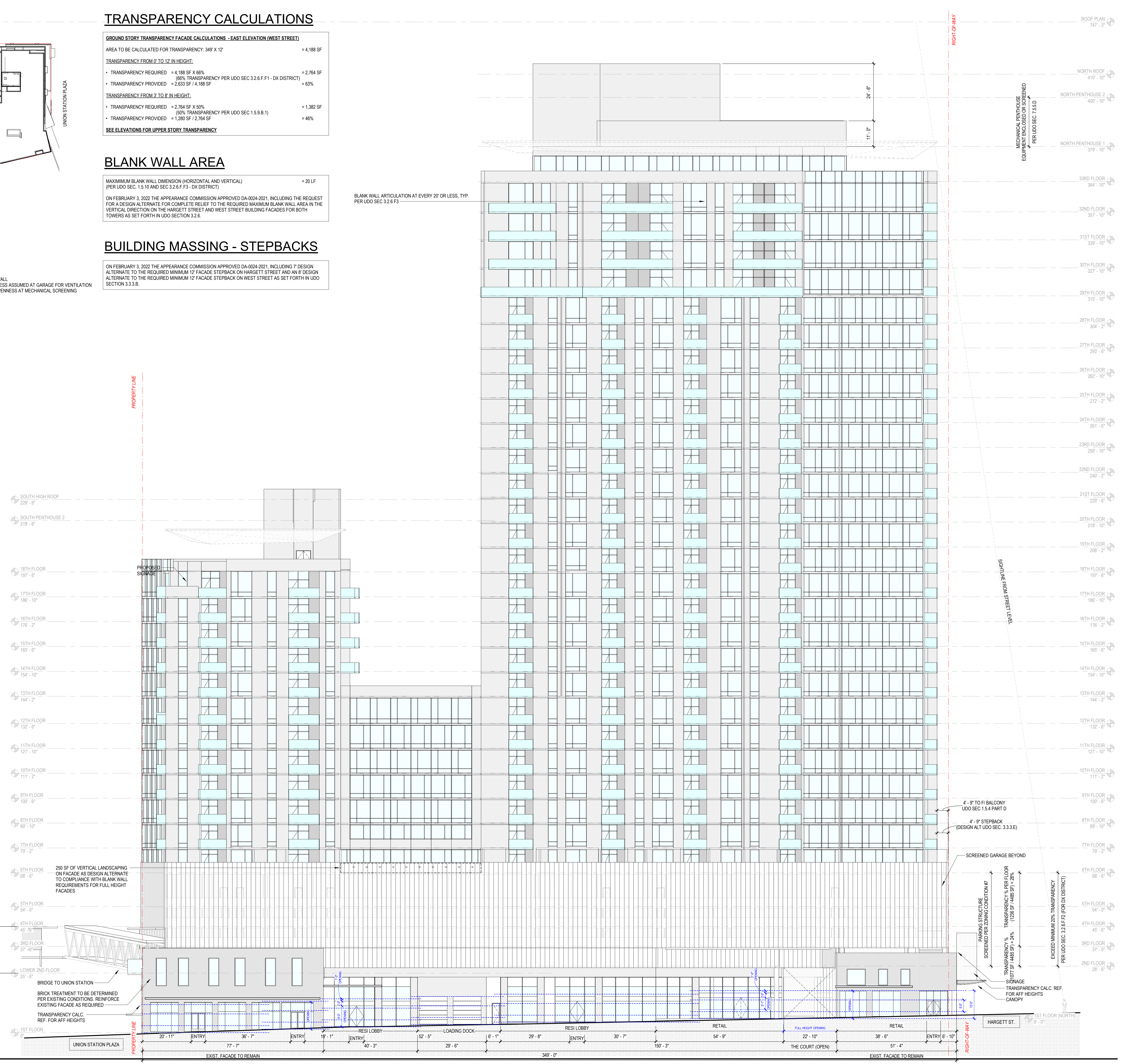
BUILDING MASSING - STEPBACKS

ON FEBRUARY 3, 2022 THE APPEARANCE COMMISSION APPROVED DA-0024-2021, INCLUDING 7 DESIGN ALTERNATE TO THE REQUIRED MINIMUM 12' FACADE STEPBACK ON HARGETT STREET AND AN 8' DESIGN ALTERNATE TO THE REQUIRED MINIMUM 12' FACADE STEPBACK ON WEST STREET AS SET FORTH IN UDO SECTION 3.3.3.B.

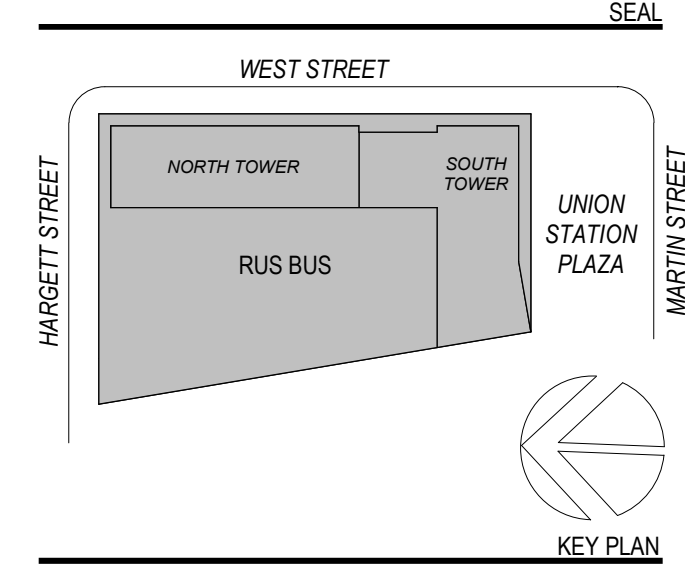
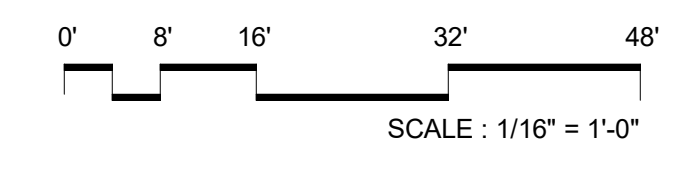
BLANK WALL ARTICULATION AT EVERY 20' OR LESS, TYP. PER UDO SEC 3.2.6.F.3

LEGEND

- OPAQUE WALL - EXISTING MASONRY
- OPAQUE WALL - NEW CONSTRUCTION
- OPAQUE WALL - GARAGE CONCRETE STRUCTURE
- GLAZING
- SCREENED WALL - 70% OPENNESS ASSUMED AT GARAGE FOR VENTILATION - TIGHTER OPENNESS AT MECHANICAL SCREENING
- LOUVERS



| No. | Description | Date |
|-----|--------------------|------------|
| 1 | ADMIN. SITE REVIEW | 08/02/2021 |
| 2 | ADMIN. SITE REVIEW | 10/19/2021 |
| 3 | ASR RESP. COMMENT | 02/15/2022 |
| 4 | ASR RESP. COMMENT | 03/16/2022 |
| 5 | ASR RESP. COMMENT | 08/04/2022 |



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 F: +1 212 353 7676

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RB INFRASTRUCTURE, LLC
 11 WEST FRANKLIN ST., RALEIGH NC 27604

Civil / Site:
STEWART INC.
 223 S. WEST STREET, SUITE 1100, RALEIGH, NC 27603

Transit / Parking:
KIMLEY-HORN
 42 FAYETTEVILLE STREET, SUITE 600 RALEIGH, NC 27601

Structural:
THORNTON TOMASETTI
 2001 K ST. NW SUITE 600 N. WASHINGTON, DC 20006

MEPP:
JORDAN SKALA ENGINEERS
 4501 CHARLOTTE PARK DR. STE 100, CHARLOTTE, NC 28217

Vertical Transportation:
LERCH BATES
 1430 BROADWAY, SUITE 908, NEW YORK, NY 10018

Amenities / Interiors:
CLINE DESIGN ASSOCIATES
 125 N. HARRINGTON STREET, RALEIGH, NC 27603

Codes / Accessibility:
ENGINEERING PLANNING & MANAGEMENT
 5540 CENTERVIEW DRIVE, SUITE 318, RALEIGH, NC 27606

Acoustics:
CERAMI
 1991 AVE. OF THE AMERICAS, 4/F, NEW YORK, NY 10018

PROJECT TITLE:
RUSBUS

201, 203 & 210 S. WEST STREET
 RALEIGH, NC 27601

PROJECT No: 81591, 81592

DRAWING TITLE:
BUILDING ELEVATION - EAST (OVERALL)

SCALE: As Indicated

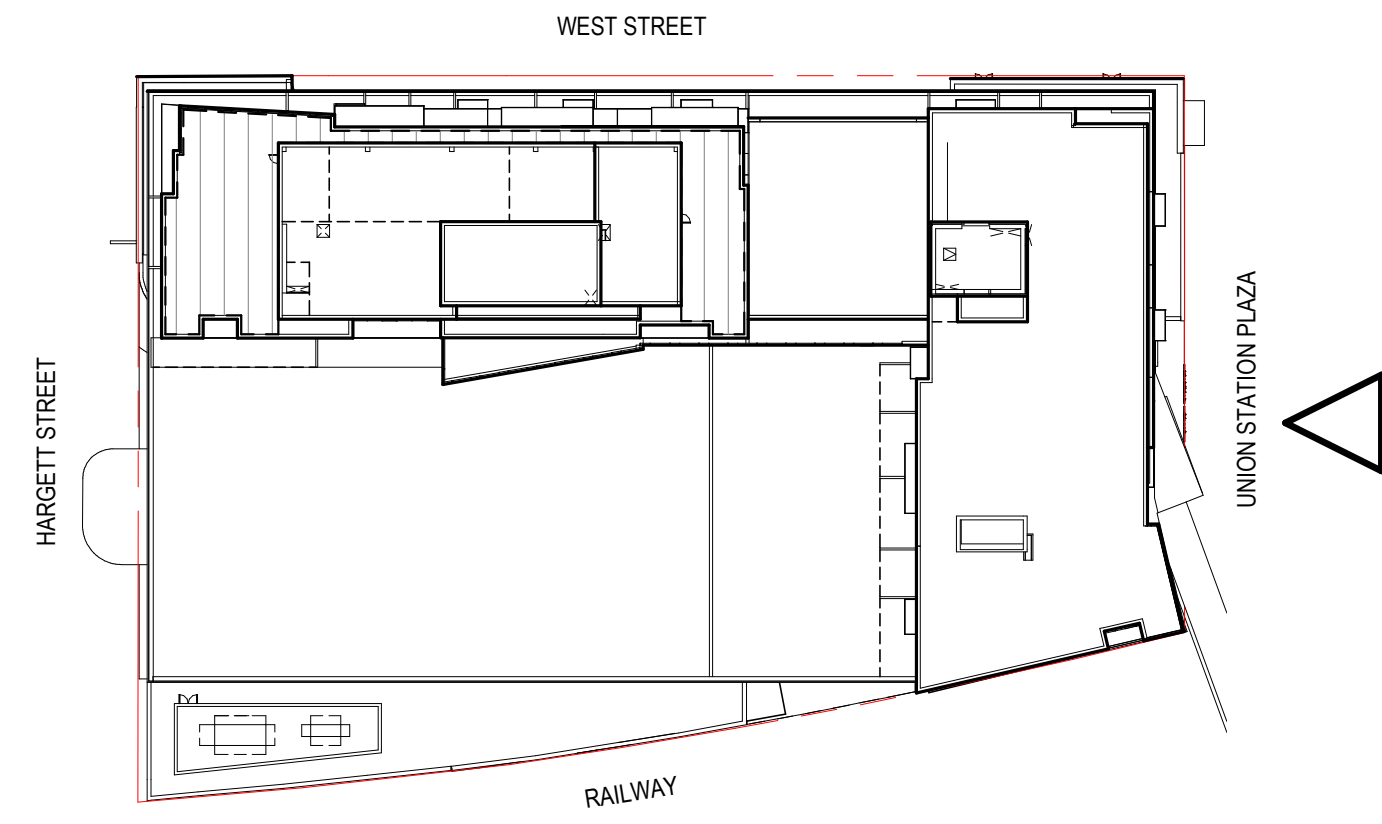
A-302

ADMINISTRATIVE SITE REVIEW

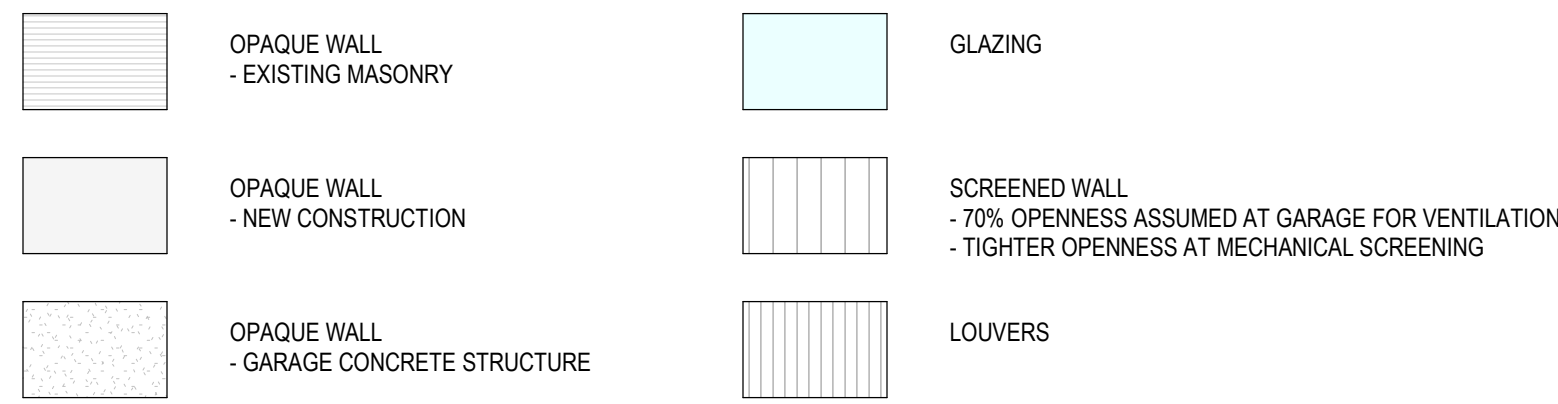
08/04/2022

C:\Users\jlang\Documents\1591_ARCHITECTURE_NEW CENTRAL_2021_Lg lang.rvt 8/4/2022 7:54:59 PM

KEY PLAN



LEGEND

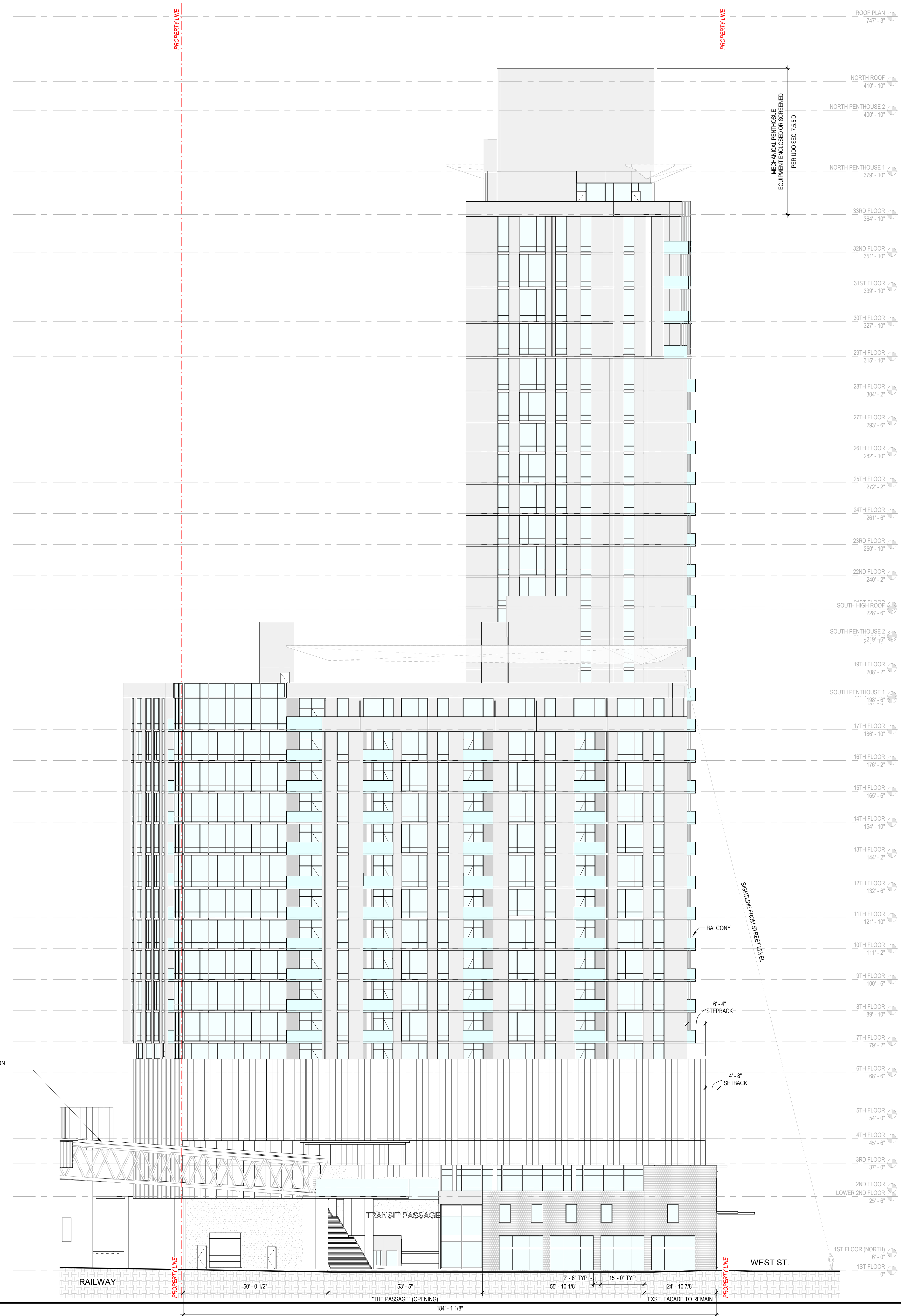


TRANSPARENCY CALCULATIONS

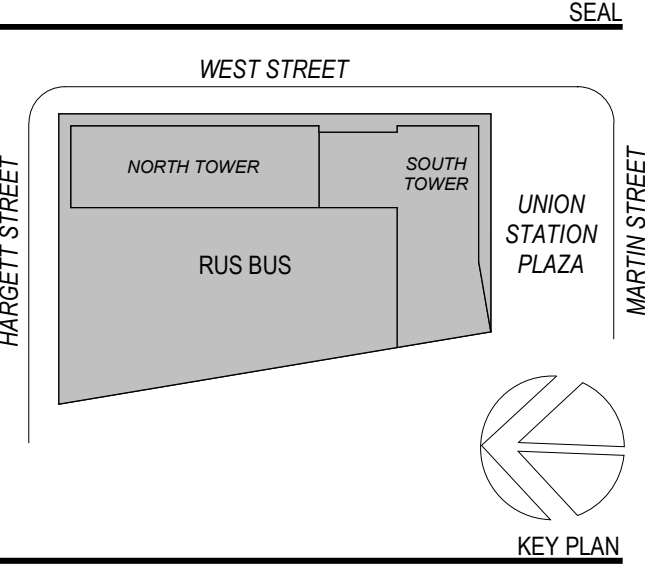
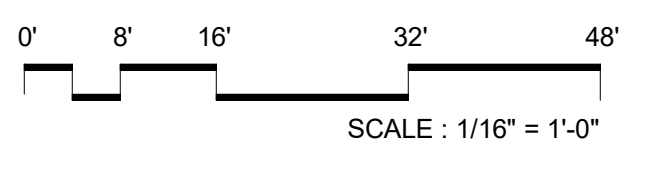
TRANSPARENCY REQUIREMENT NOT APPLICABLE - NOT A STREET-FACING FACADE

BLANK WALL AREA

BLANK WALL REQUIREMENT NOT APPLICABLE - NOT A STREET-FACADE FACADE



| No. | Description | Date |
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Structural:
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Vertical Transportation:
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125 N. HARRINGTON STREET, RALEIGH, NC 27603

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ENGINEERING PLANNING & MANAGEMENT
5540 CENTERVIEW DRIVE, SUITE 318, RALEIGH, NC 27606

Acoustics:
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1991 AVE. OF THE AMERICAS, 4/F, NEW YORK, NY 10018

PROJECT TITLE:
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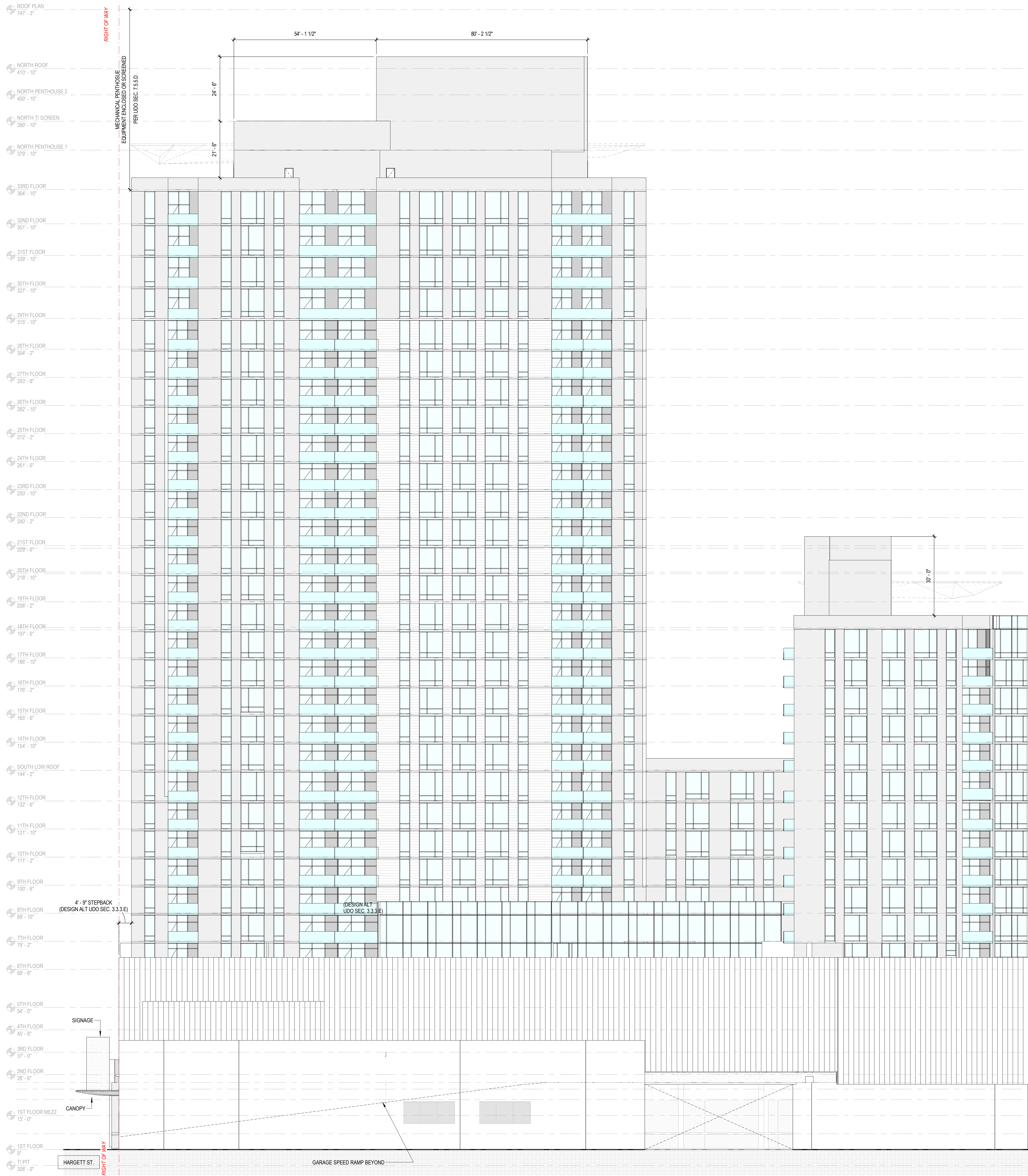
PROJECT No: 81591, 81592

DRAWING TITLE:
BUILDING ELEVATION - SOUTH (OVERALL)

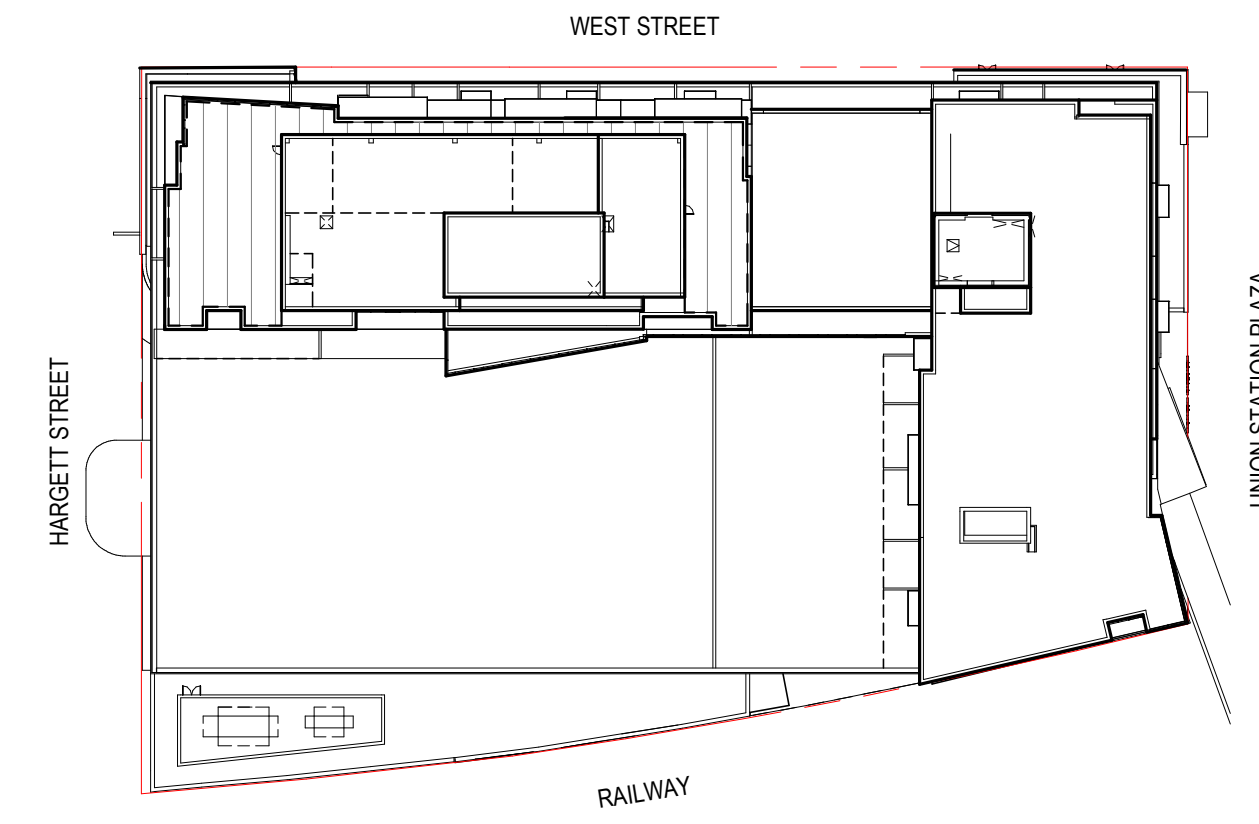
SCALE: As Indicated

A-303
ADMINISTRATIVE SITE REVIEW

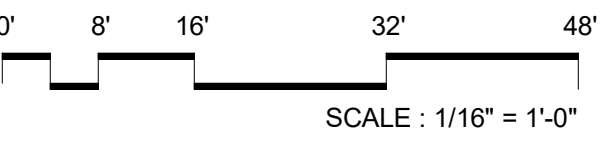
08/04/2022



KEY PLAN



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| 5 | ASR RESP. COMMENT | 08/04/2022 |



LEGEND

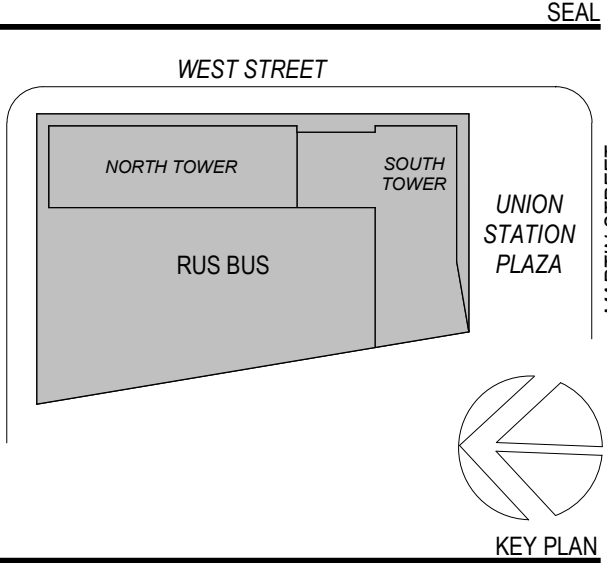
- OPAQUE WALL - EXISTING MASONRY
- OPAQUE WALL - NEW CONSTRUCTION
- OPAQUE WALL - GARAGE CONCRETE STRUCTURE
- GLAZING
- SCREENED WALL - 70% OPENNESS ASSUMED AT GARAGE FOR VENTILATION - TIGHTER OPENNESS AT MECHANICAL SCREENING
- LOUVERS

TRANSPARENCY CALCULATIONS

TRANSPARENCY REQUIREMENT NOT APPLICABLE - NOT A PUBLIC STREET

BLANK WALL AREA

BLANK WALL REQUIREMENT NOT APPLICABLE - NOT A STREET-FACADE FACADE



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 5540 CENTERVIEW DRIVE, SUITE 318, RALEIGH, NC 27606

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PROJECT TITLE:
RUSBUS

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 RALEIGH, NC 27601

PROJECT No: 81591, 81592

DRAWING TITLE:
BUILDING ELEVATION - WEST (OVERALL)

SCALE: As Indicated

A-304

ADMINISTRATIVE SITE REVIEW

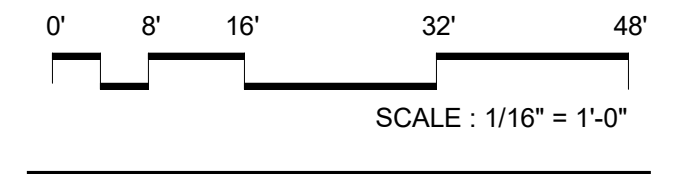
08/04/2022

THIS DRAWING INDICATES LIGHTING EQUIPMENT LAYOUT AND DESIGN OF LIGHTING SYSTEMS. REVIEW BY A QUALIFIED ENGINEER IS NECESSARY TO ASSURE SAFETY AND CODE COMPLIANCE.

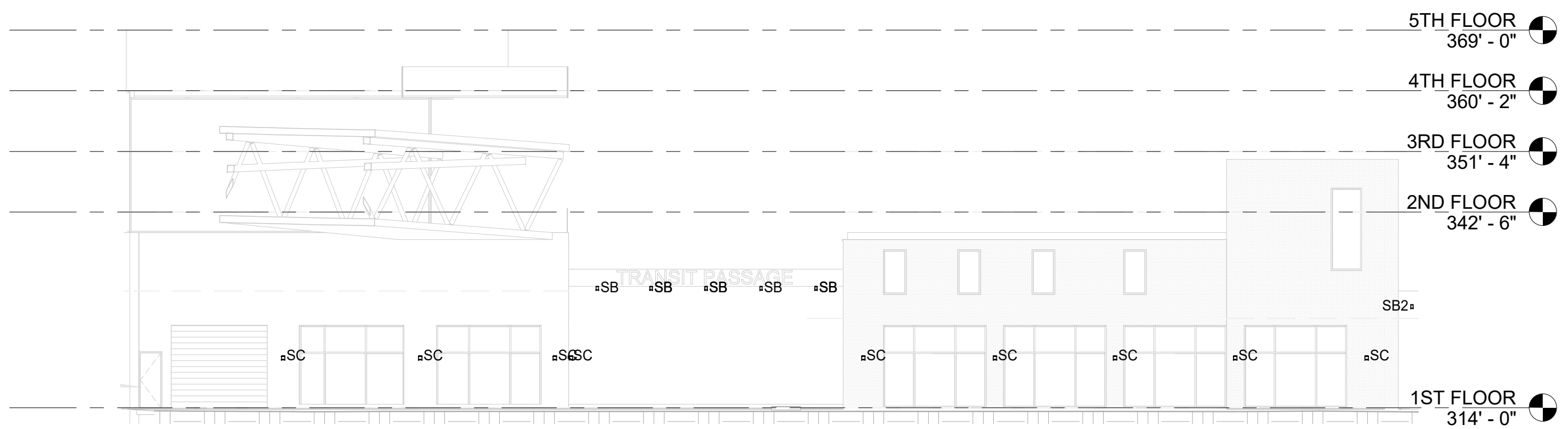
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FOR REFERENCE ONLY

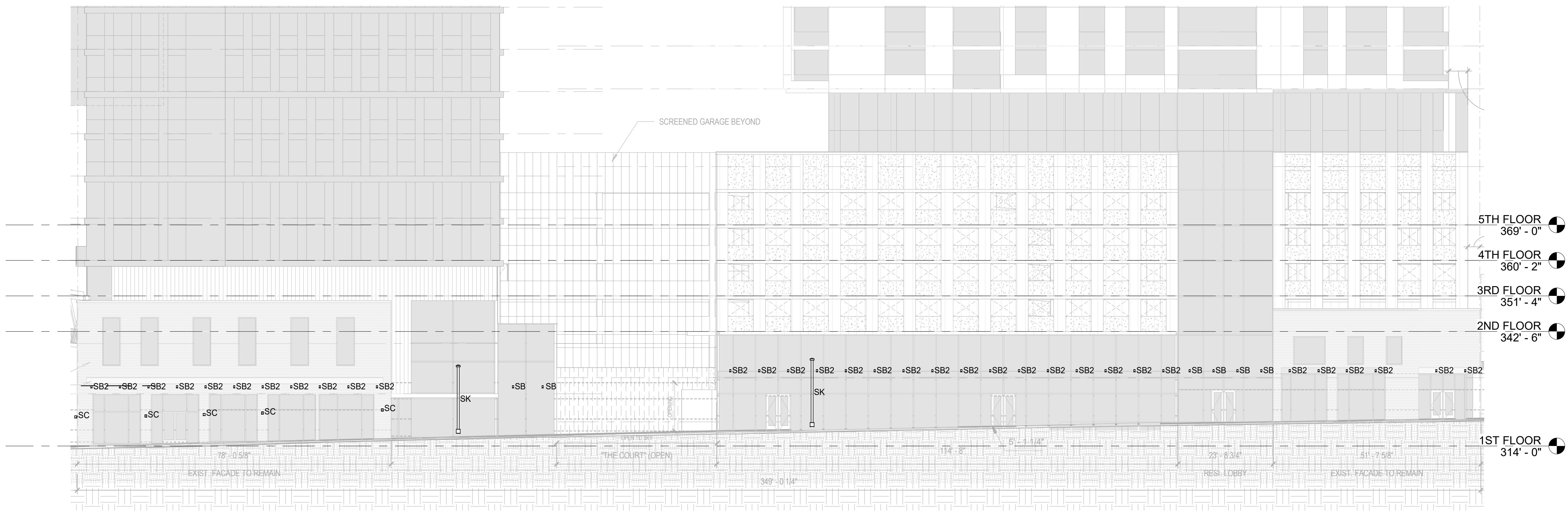
REFER TO E-SERIES DRAWINGS FOR ELECTRICAL FEEDS, DISCONNECT SWITCHES, CONDUIT, AND WIRE FOR ALL LIGHTING EQUIPMENT. DIVISION 28 CONTRACTOR SHALL PROVIDE AND INSTALL ALL LIGHTING EQUIPMENT AND CONTROL WIRING FOR A COMPLETE AND OPERABLE SYSTEM.



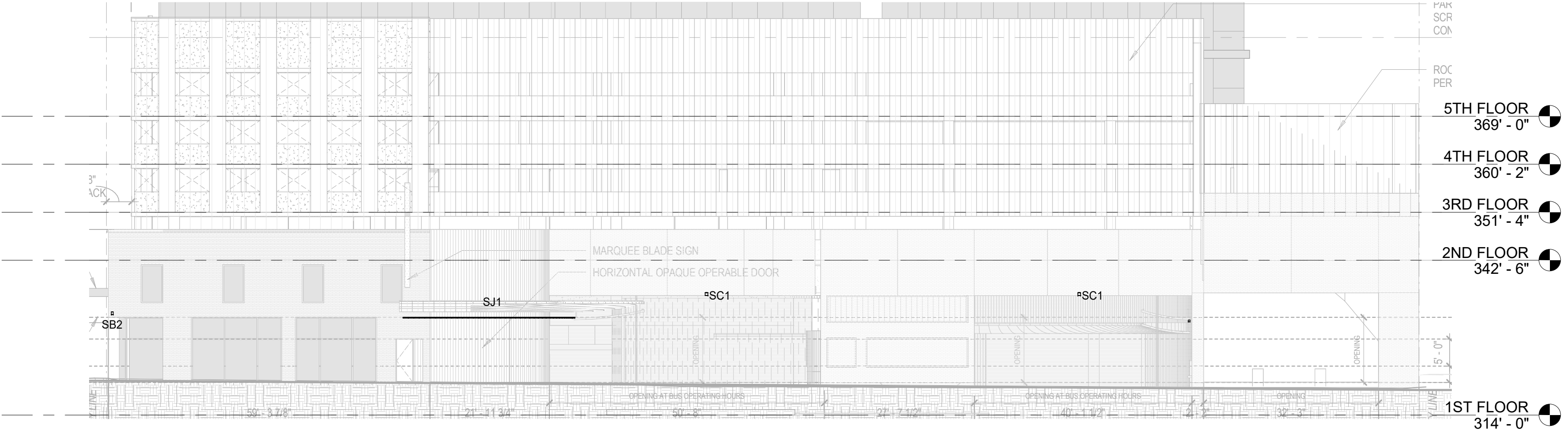
PRELIMINARY
NOT FOR CONSTRUCTION



1 ARCHITECTURAL LIGHTING - PLAN SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



2 ARCHITECTURAL LIGHTING - PLAN EAST ELEVATION
SCALE: 1/16" = 1'-0"

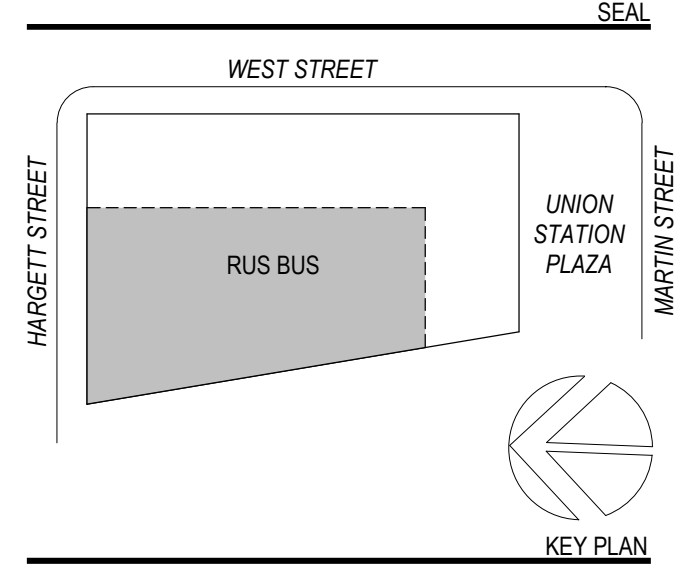


3 ARCHITECTURAL LIGHTING - PLAN NORTH ELEVATION
SCALE: 1/16" = 1'-0"

ARCHITECTURAL LIGHTING - GENERAL NOTES

- A INSTALLATION SHALL CONFORM TO ALL APPLICABLE NEC, UL, STATE AND LOCAL CODES.
- B ALL EMERGENCY EGRESS LIGHTING IS THE RESPONSIBILITY OF THE ELECTRICAL ENGINEER OR ELECTRICAL CONTRACTOR.
- C COMMON NEUTRALS SHALL NOT BE USED FOR LINE VOLTAGE DIMMED CIRCUITS.
- D FIELD PAINT ALL CONDUIT, JUNCTION BOXES, AND HARDWARE TO MATCH ADJACENT SURFACES.
- E ELECTRICAL CONTRACTOR SHALL VERIFY ALL CEILING TYPES, RECESS CONDITIONS, AND MOUNTING HARDWARE REQUIRED PRIOR TO PURCHASE OF ANY LIGHTING FIXTURES.
- F ELECTRICAL CONTRACTOR SHALL VERIFY MOUNTING HEIGHTS OF ALL DECORATIVE FIXTURES WITH SCHULER SHOOK PRIOR TO INSTALLATION.
- G ALL STEP LIGHTS SHALL BE MOUNTED AT +1'-6" A.F.F. TO CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
- H CONTRACTOR SHALL REFER TO ALL PLANS, SECTIONS, ELEVATIONS AND DETAILS WHEN DETERMINING THE QUANTITY AND LOCATIONS OF LIGHTING FIXTURES. DUE TO COMPLEX ARCHITECTURE AND LIGHTING LAYOUTS, ALL FIXTURES MAY NOT SHOW UP ON PLAN VIEWS. CONTRACTOR SHALL ALSO CLOSELY COORDINATE WITH ARCHITECTURAL DRAWINGS FOR LOCATIONS, DIMENSIONS AND MOUNTING CONDITIONS.

ARCHITECTURAL LIGHTING - KEYNOTES



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SCALE: 1/16" = 1'-0"

AL-301
ADMINISTRATIVE SITE REVIEW

08/04/2022