



Administrative Approval Action

Case File / Name: ASR-0068-2022
DSLCL - RALEIGH UNION STATION BUS STATION

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located at the southwest corner of W Hargett Street and S West Street, with common street addresses of 200, 206 and 210 S West Street.
REQUEST: Development of an approximately 881,240 square foot, 31 story mixed-use building containing a bus passenger terminal, 560 dwelling units, approximately 15,600 square feet of commercial space, and structured parking. The subject property is approximately 1.74 acres zoned DX-40-CU (Z-19-19).

Variance (BOA-0082-2021) approved allowing a zero (0) foot building setback along W Hargett Street and S West Street.

Design Alternates (DA-29-2022) approved related to ground story transparency, minimum façade setback, spacing between driveways and intersections, direction of travel entering and exiting a parking area, street tree spacing, planting area width, sidewalk width, removal of bike lanes, and lane widths. The Design Alternate approval is subject to conditions. See DA-29-2022 for full details.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: RCMP-0215-2023: DSLCL - Recorded Maps/Recombination

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 28, 2023 by STEWART.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Demonstrate compliance with the Design Alternate (DA-29-2022) conditions of approval.
2. Demonstrate compliance with UDO Section 7.4 (Lighting).
3. Demonstrate compliance with UDO Section 7.1.2.C (Parking Requirements by Use) and UDO Section 7.1.7.K (Required Types of Bicycle Parking Facilities).

Engineering

4. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.



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5. An encroachment submittal for pavers within the public right-of-way shall be approved by City Council. The executed encroachment agreement shall be filed with the Development Services Department for the approval by City and returned to the Owner. The Owner is responsible to record the executed encroachment agreement with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Public Utilities

6. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A stormwater control plan shall be approved (UDO 9.2).
9. A design exception must be granted for the pipe proposed under the building.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

2. Infrastructure Construction Plans (spr submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.



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Stormwater

3. If stormwater access easements are a requirement as a condition of a stormwater design exception, the stormwater pipes be granted the exception shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded recombining the property into a single lot.
2. Demonstrate compliance with UDO Section 3.2.6.F (Blank Wall) in accordance with UDO Section 1.5.10 (Blank Wall Area).
3. Demonstrate compliance with zoning condition #6 (Z-19-19).
4. Demonstrate compliance with zoning condition #7 (Z-19-19).

Engineering

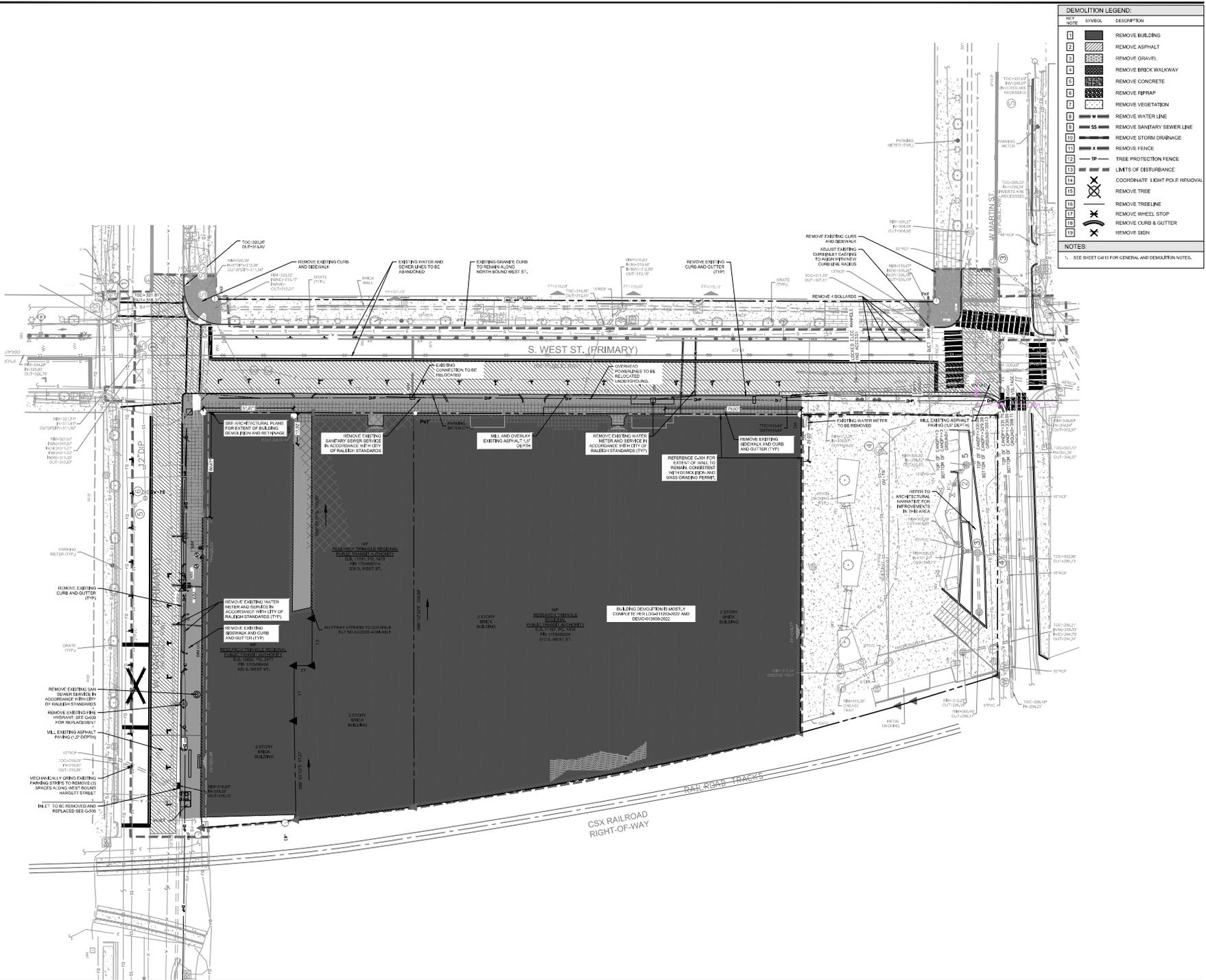
5. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Stormwater

6. If stormwater access easements are a requirement as a condition of a stormwater design exception, the stormwater pipes be granted the exception shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (1) street tree (tree pit) along W. Hargett St. (and (1) street tree (tree pit) fee-in-lieu) and (8) street trees (in tree pits) along S. West St.
8. An encroachment agreement will be required prior to building permit for a design alternate for non-standard tree grates and proposed benches to be used in the right-of-way. Benches must be located in manner that does not conflict with street tree.

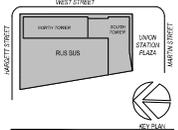
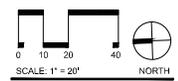


DEMOLITION LEGEND:

SYMBOL	DESCRIPTION
1	REMOVE BUILDING
2	REMOVE ASPHALT
3	REMOVE GRAVEL
4	REMOVE BRICK WALKWAY
5	REMOVE CONCRETE
6	REMOVE RIPRAP
7	REMOVE VEGETATION
8	REMOVE WATER LINE
9	REMOVE SANITARY SEWER LINE
10	REMOVE STORM DRAINAGE
11	REMOVE FENCE
12	TREE PROTECTION FENCE
13	LIMITS OF DISTURBANCE
14	COORDINATE LIGHT POLE REMOVAL
15	REMOVE TREE
16	REMOVE TREE LINE
17	REMOVE WHEEL STOP
18	REMOVE CURB & GUTTER
19	REMOVE SIGN

NOTES:
 1. SEE SHEET 0410 FOR GENERAL AND DEMOLITION NOTES.

No.	Description	Date
1	RESPONSE TO COMMENTS	2023.04.20



PERKINS EASTMAN
 1100 MARKET STREET
 SUITE 1000
 RALEIGH, NC 27601
 TEL: 919.286.7000
 FAX: 919.286.7009

Client: **RB INFRASTRUCTURE, LLC**
 11 WEST HARRIS BLVD., RALEIGH, NC 27601

Civil Eng: **STEWART INC.**
 223 S. WEST STREET, SUITE 1100, RALEIGH, NC 27601
 Transit Plan Eng: **KARLEY MOON**
 421 PAVYVIEW BLVD STREET 1, SUITE 800 RALEIGH, NC 27601

Struct: **THORNTON TOMASETTI**
 3021 R ST, NW, SUITE 800 N. WASHINGTON, DC 20005
 MEP/E: **JORDAN SKALA ENGINEERS**
 4501 CHALLOTTE PARK DR, STE 100, CHARLOTTE, NC 28217

Water Treatment: **LEICHER BATES**
 3403 BROADWAY, SUITE 604, NEW YORK, NY 10018
 Architect: **CLINE DESIGN ASSOCIATES**
 100 N. HARRINGTON STREET, RALEIGH, NC 27603

Cost Est: **ENGINEERING PLANNING & MANAGEMENT**
 5540 CENTERVIEW DRIVE, SUITE 316, RALEIGH, NC 27606
 Access: **CERAMI**
 1901 AVE. OF THE AMERICAS, 4TH FLOOR, RALEIGH, NC 27601

Lifting: **SCHULER SHOOK**
 210 HARRIS STREET 1E, SUITE 200, WENDELAPOLES, VA 26164
 Signage: **SILBERT PERKINS**
 2100 N. W. HARRIS PLAZA, STE 1475, CHARLOTTE, NC 28208

Plan: **RAI ARCHITECTS**
 915 NORTH HARRIS, RALEIGH, NC 27601

PROJECT TITLE:
RUSBUS

201, 203 & 210 S. WEST STREET
 RALEIGH, NC 27601

PROJECT No: 01591_81592
 DRAWING TITLE:
DEMOLITION PLAN

SCALE:
C-200
 DESIGN DEVELOPMENT

APRIL 28, 2023

AMENITY AREA REQUIRED				
TOTAL AREA	AMENITY AREA REQUIRED (10%)	ADDITIONAL AMENITY AREA REQUIRED FOR HEIGHT (24 STORES + 50 SF)	TOTAL AMENITY AREA REQUIRED (7,577 SF + 1,200 SF)	TOTAL AMENITY AREA PROVIDED
75,706	7,577	1,200	8,777	8884

*50 SF PER ADDITIONAL FLOOR OVER 5 STORES** DATA PROVIDED IN SQUARE FEET

AMENITY AREA PROVIDED				
LEGEND	AMENITY AREA 1	AMENITY AREA 2	AMENITY AREA 3 ON ROOF TERRACE (SEE SHEET ADR 10)	TOTAL AMENITY AREA PROVIDED
OUTDOOR AMENITY (OPEN)	1,016	1,129	4,203	6,348
OUTDOOR AMENITY (COVERED)	1,322	1114	0	2,436
TOTAL	2,338	2,243	4,203	8,884

** DATA PROVIDED IN SQUARE FEET

Amenity Area Seating and Planting PER LOCAL REQUIREMENTS IN L.U. 3C	
TOTAL AMENITY AREA REQUIRED (SF)	8,777
PLANTING REQUIRED (1 TREE / 1,000 SF OF REQ. AMENITY AREA)	8,777 SF / 1,000 SF = (8) TREES (2" CAL. MIN.)
PLANTING PROVIDED FROM THE REQUIRED AMENITY (TREES PROVIDED ON LEVEL 6, SEE SHEET ASK FOR LOCATIONS)	9 TREES (2" CALIF. MIN.)
SEATING REQUIRED (1 LF OF SEATING / 50 SF OF REQ. AMENITY AREA)	8,777 SF / 50 SF = 175 LF SEATING
SEATING PROVIDED	AMENITY AREA 1: 2,338 SF / 50 SF = 47 LF AMENITY AREA 2: 2,243 SF / 50 SF = 45 LF AMENITY AREA 3: 4,203 SF / 50 SF = 84 LF TOTAL SEATING PROVIDED: 176 LF

- NOTES:**
1. THE MAJORITY OF PROPOSED AMENITY AREAS WILL BE VISIBLE AND ACCESSIBLE FROM THE PUBLIC RIGHT OF WAY. 4,203 SQ FT OF AMENITY AREA WILL BE PROVIDED WITHIN RESIDENTIAL TERRACE ON UPPER LEVEL. SEE ARCHITECTURAL PLAN SHEET ADR 10.
 2. THE MAJORITY OF AMENITY AREAS 1 & 2 WILL BE COVERED, HOWEVER THE CANOPY ABOVE EXCEEDS THE MINIMUM GROUND STORY HEIGHT, THE PROPOSED GROUND LEVEL FLOOR TO CEILING HEIGHT IS 21'0".

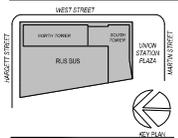
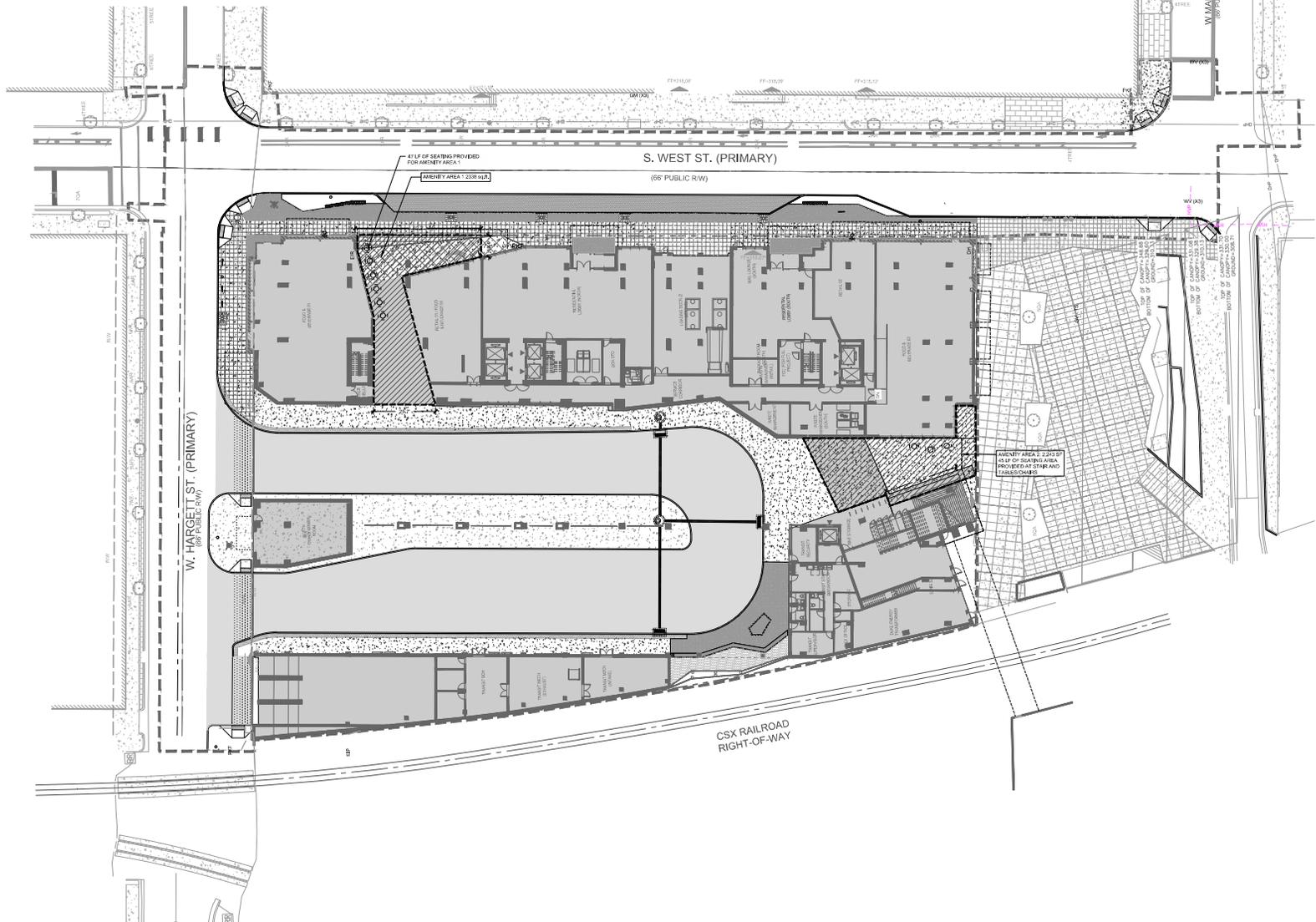
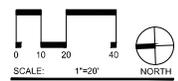
SITE LEGEND:

- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BRICK PAVERS
- PROPOSED FULL DEPTH PAVEMENT
- PROPOSED CONCRETE PAVEMENT (VEHICULAR)
- PROPOSED 1.5" ASPHALT MILL & OVERLAY
- PROPOSED CURB & GUTTER
- PROPOSED STOP BAR
- PROPOSED 4" X 4" TREE GRATE WITH TREES
- PROPOSED 8" WIDE STANDARD CROSSWALK
- PROPOSED 10" WIDE HIGH VISIBILITY CROSSWALK
- PROPOSED SIGN
- PROPOSED BOLLARD
- LIMITS OF DISTURBANCE

NOTES:

1. SEE SHEET CXXX FOR GENERAL AND SITE NOTES.

No.	Description	Date
2	RESPONSE TO COMMENTS	2023.04.28



PERKINS EASTMAN
 100 N. W. STREET
 SUITE 1000
 RALEIGH, NC 27601
 TEL: 919.286.7000
 FAX: 919.286.7000

Client: **RB INFRASTRUCTURE, LLC**
 11 WEST HOOKER BLVD., RALEIGH, NC 27604

- CIVIL: STEWART INC., 223 S. WEST STREET, SUITE 1100, RALEIGH, NC 27603
 TRAFFIC: PAUL NG, KIMLEY-HORN, 421 FAYETTEVILLE STREET, SUITE 500 RALEIGH, NC 27601
 STRUCTURAL: THORNTON TOMASETTI, 3021 R. OY, NW SUITE 800 N. WASHINGTON, DC 20005
 MEP/ELECTRICAL: JORDAN SKALA ENGINEERS, 4301 CHARLOTTE PARK DR, STE 100, CHARLOTTE, NC 28217
 ARCHITECTURE: LEICHER BATES, 1403 BROADWAY, SUITE 804, NEW YORK, NY 10019
 INTERIORS: CLINE DESIGN ASSOCIATES, 103 N. WASHINGTON STREET, RALEIGH, NC 27603
 OWNER: ENGINEERING PLANNING & MANAGEMENT, 5540 CENTERVIEW DRIVE, SUITE 316 RALEIGH, NC 27606
 ADDRESS: CERAMI, 1801 AVE. OF THE AMERICAS, 4TH FLOOR, FOSTER, NC 27618
 LIFTING: SCHULER SHOOK, 210 HARRIS STREET, SE, SUITE 200, MEMPHIS, TN 38104
 SIGNAGE: SELBERT PERKINS, 2 FORT WASHINGTON PLAZA, STE 1475, CHARLOTTE, NC 28203
 PHOTO: hml ARCHITECTS, 915 FORT MYNARD ROAD, RALEIGH, NC 27607

PROJECT TITLE:
RUSBUS

201, 203 & 210 S. WEST STREET
 RALEIGH, NC 27601

PROJECT No: 81591_81592
 DRAWING TITLE:
AMENITY PLAN

SCALE:
C-302
 DESIGN DEVELOPMENT

APRIL 28, 2023

