



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). NEW 15,000 SF EQUIPMENT RENTAL, REPAIR AND STORAGE BUILDING WITH ASSOCIATED DRIVEWAY, PARKING, LOADING/UNLOADING AREA, TREE CONSERVATION AND AMENITY AREAS.		
Current Property Owner(s):		
Company:		Title:
Address:		
Phone #:		Email:
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder		
Company: BOBBITT CONSTRUCTION INC		Address:

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #: 919-890-4337	Email:
Applicant Name:	
Company: BOBBITT CONSTRUCTION INC	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? Yes No
	A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

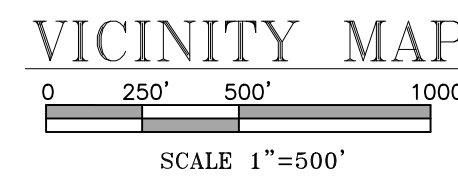
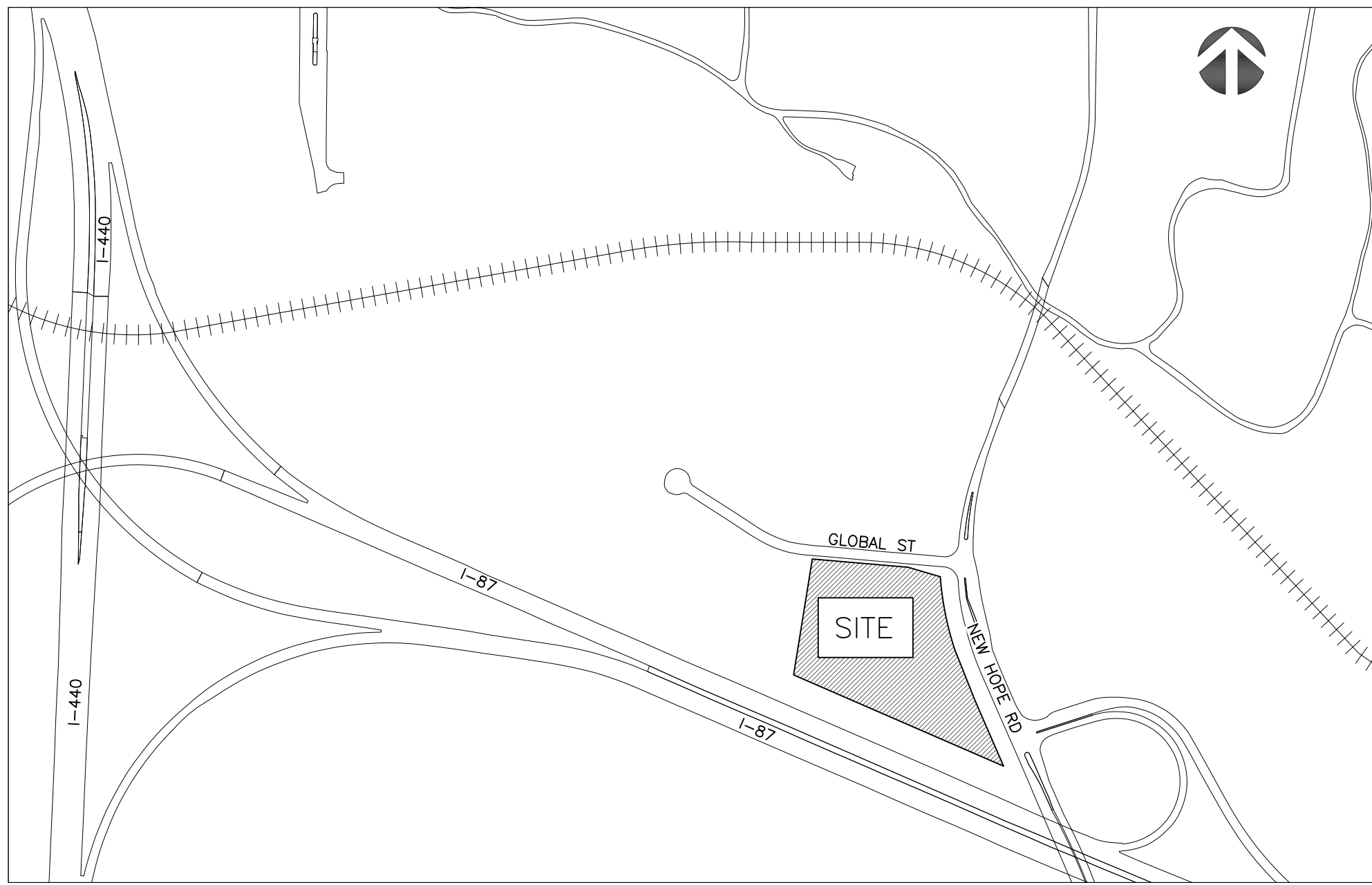
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:

Date:

Printed Name:



- SITE PLAN NOTES:**
1. TOPOGRAPHIC, PLANIMETRIC AND BOUNDARY INFORMATION ARE OBTAINED FROM A SURVEY FOR THIS PROJECT PROVIDED BY MERSTAN, PLLC LAND SURVEYORS OF 2411 US 64 BUSINESS WEST, PITTSBORO, NC 27312; PHONE: (919) 545-7001; DATED: 07/07/2023.
 2. THE RECEIVING WATER COURSE IS CRABTREE CREEK AND LIES IN NEUSE RIVER BASIN.
 3. SUBJECT PARCEL LIES OUTSIDE OF WATER SUPPLY WATERSHED.
 4. SUBJECT PARCEL LIES OUTSIDE OF SPECIAL FLOOD HAZARD ZONE PER FIRM PANEL #3720172300K DATED 19 JULY 2022.
 5. ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF CITY OF RALEIGH SPECIFICATIONS AND DETAILS.

PROJECT LOCATION:

THIS PROJECT IS LOCATED IN THE CITY OF RALEIGH, NORTH CAROLINA AT 4210 GOBAL ST, RALEIGH, NC 27610.

SITE DATA

OWNER:	GREGORY POOLE EQUIPMENT CO P.O. BOX 469 RALEIGH, NC 27502
DESIGNER:	BOBBITT DESIGN-BUILD, INC ATTN: BLAIR PITTMAN, PE (24438) 600 GERMANTOWN ROAD RALEIGH, NC 27607 bpittman@bobbitt.com 919.851.1980
STREET:	4210 GOBAL ST CITY OF RALEIGH
CITY:	RALEIGH, NC 27607
EMAIL ADDRESS:	bpittman@bobbitt.com
PHONE NUMBER:	919.851.1980
SITE ADDRESS:	4210 GOBAL ST CITY OF RALEIGH
PIN:	1723-99-5062
TOTAL SITE ACREAGE:	7.78 ACRES EX. (7.75 AC AFTER DEDICATION)
EXISTING BUILDING AREA:	±700 SF (TO BE REMOVED)
BUILDING ADDITION AREA:	15,100 SF
DISTURBED AREA:	±106,700 SF (±2.45 AC)
ZONING:	IX-3
FRONTAGE TYPE:	N/A
JURISDICTION:	CITY OF RALEIGH
INSIDE CITY LIMIT:	YES
OVERLAY:	SHD-2
EXISTING USE:	OUTDOOR STORAGE/HEAVY EQUIPMENT
PROPOSED BUILDING USE:	EQUIPMENT RENTAL, REPAIR AND STORAGE
WATERSHED:	NEUSE RIVER
BUILDING SETBACKS:	PARKING SETBACKS:
FRONT/FRONT 3 FT	FRONT/STREET 10 FT
SIDE 6 FT	SIDE 3 FT
REAR 6 FT	REAR 3 FT
IMPERVIOUS AREA:	
EXISTING IMPERVIOUS AREA (TOTAL PARCEL)-	±179,100 SF (±4.11 AC)
TOTAL IMPERVIOUS AREA REMOVED:	±56,600 SF
NEW BUILDING AREA:	±15,100 SF
NEW PAVED AREA:	±41,100 SF
PROPOSED IMPERVIOUS AREA:	±176,700 SF (±4.10 AC)
CHANGE IN IMPERVIOUS AREA:	-400 SF
REQUIRED PARKING:	5 SPS (INCLUDING 1 HC ACCESSIBLE)
EXISTING PARKING:	31 SPS (INCLUDING 2 HC ACCESSIBLE)
PROPOSED PARKING:	31 SPS (INCLUDING 2 HC ACCESSIBLE)
(FOR VEHICLE SALES/RENTAL-OR SERVICE-USE-NO-MIN-OR-MAX-PARKING-IS-REQUIRED)	
BIKE PARKING REQUIRED	NONE

BLOCK PERIMETER NOTE:

THE PROJECT IS EXEMPT FROM THE BLOCK PERIMETER REQUIREMENT BECAUSE THE SITE TO BE DEVELOPED IS BELOW THE MINIMUM APPLICABLE SITE AREA ESTABLISHED IN THE TABLE FOUND IN SEC. 8.3.2.A.2.B. MINIMUM APPLICABLE SITE AREA FOR IX ZONING = 9 ACRES TOTAL SITE AREA = 7.75 AC

CROSS-ACCESS NOTE:

CROSS-ACCESS REQUIREMENTS AS DESCRIBED IN UDO SEC. 8.3.5.D ARE NOT APPLICABLE TO THIS PROJECT DUE TO THE FOLLOWING CONDITIONS:

1. THE CREATION OF THE CROSS-ACCESS DRIVEWAY IS OBSTRUCTED BY THE FOLLOWING: STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE. (UDO SEC. 8.3.5.D.b.ii).

SEE EXISTING CONDITIONS, C0.1, AND THE GRADING PLAN C3.0 FOR STEEP SLOPES OF ADJACENT PROPERTY ON WEST, FURTHER, 30' WIDE CITY OF RALEIGH GAS LINE EASEMENT IS EXISTING ON WEST SIDE OF THE PARCEL.

TRAFFIC IMPACT ANALYSIS: NOT REQUIRED

PER THE CITY OF RALEIGH STREET DESIGN MANUAL ARTICLE 7.1.3(A) THE PROPOSED PROJECT DOES NOT MEET THE LAND USE REQUIREMENTS REQUIRING A TRAFFIC IMPACT ANALYSIS

GLOBAL STREET IS CONSIDERED A 2-WAY ROAD WITHOUT STREET PARKING. PER THE CITY OF RALEIGH STREET DESIGN MANUAL ARTICLE 7.1.3(B) THE PROPOSED PROJECT DOES NOT EXCEED 100 VEH/HOUR PEAK HOUR TRIPS OR 3000 VEH/DAY

TREE CONSERVATION AREA NOTE:

TREE CONSERVATION AREA IS RECORDED ON PLAT MAP BM2007 PG2665 (SEE SHEET BM)
THE RECORDED AREA = 20,343 SF (6%)

STORMWATER QUANTITY AND QUALITY NOTE:

THIS PROJECT HAS EXISTING STORMWATER CONTROL DEVICE PREVIOUSLY BEEN APPROVED FOR EXISTING CONDITION. THERE IS NO INCREASE IN IMPERVIOUS AREA TO THIS PARCEL FROM THIS DEVELOPMENT, AND THIS PROJECT IS EXEMPT FROM THE CITY OF RALEIGH STORM WATER MANAGEMENT REQUIREMENTS PER C.O.R. UDO SECTIONS 9.2.2.A.(3).a & 9.2.2.A.(3).b AND SEC 10.3.4.E

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Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option
<input type="checkbox"/> Open lot	

Development name: GREGORY POOLE RENTAL STORE
Inside City limits? Yes No
Property address(es): 4210 GLOBAL ST, RALEIGH, NC 27610
Site P.I.N.(s): 1723-99-5062
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
NEW 15,000 SF EQUIPMENT RENTAL, REPAIR AND STORAGE BUILDING WITH ASSOCIATED DRIVEWAY, PARKING, LOADING/UNLOADING AREA, TREE CONSERVATION AND AMENITY AREAS.

Current Property Owner(s):
Company: GREGORY POOLE EQUIPMENT CO. Title: PAUL EBERHART, VICE PRESIDENT
Address: P.O. BOX 469, RALEIGH, NC 27602
Phone #: 919-890-4337 Email: eberhart@gregpoole.com

Applicant Name (if different from owner. See "who can apply" in instructions):
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
Company: BOBBITT CONSTRUCTION INC Address: 600 GERMANTOWN RD, RALEIGH, NC 27607

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Phone #: 919-851-1980 Email: bpittman@bobbitt.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact:
Company: GREGORY POOLE EQUIPMENT CO. Title: PAUL EBERHART, VICE PRESIDENT
Address: P.O. BOX 469, RALEIGH, NC 27602
Phone #: 919-890-4337 Email: eberhart@gregpoole.com
Applicant Name: BLAIR PITTMAN
Company: BOBBITT CONSTRUCTION INC Address: 600 GERMANTOWN RD, RALEIGH, NC 27607
Phone #: 919-851-1980 Email: bpittman@bobbitt.com

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0
Gross site acreage: 7.75 AC (after RW dedication)	Existing gross floor area to be demolished: 700 SF
# of parking spaces proposed: 31	New gross floor area: 15,100 SF
Max # parking permitted (7.1.2.C): NO MAX.	Total sf gross (to remain and new): 15,100 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): OUTDOOR STORAGE	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Eqp. rental, repair & sto	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION

Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW):
Existing (sf) 179,100 Proposed total (sf) 178,700	Existing (sf) 187,300 Proposed total (sf) 186,900

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br ___ 2br ___ 3br ___ 4br or more ___	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page Three.

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Signature: *Blair Pittman* Date: 13 OCTOBER 2023
Printed Name: BLAIR PITTMAN, PE

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INDEX OF SHEETS

SHEET NUMBER	DESCRIPTION
C0.0	COVER
BM	BM2007 PG2665
C0.1	EXISTING CONDITIONS
C0.2	DEMOLITION PLAN
C1.0	STAKING PLAN
C1.1	WASTE COLLECTION ACCESS PLAN
C1.2	FIRE TRUCK ACCESS PLAN
G2-0	EROSION & SEDIMENT CONTROL PLAN-PHASE-I (RESERVED)
G2-1	EROSION & SEDIMENT CONTROL PLAN-PHASE-II (RESERVED)
G2-2	NPDES-PLAN (RESERVED)
G2-3	NPDES-NOTES (RESERVED)
G2-4	NPDES-NOTES (RESERVED)
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	PLANTING PLAN
G7-0	DETAILS (RESERVED)
C7.1	DETAILS
C7.2	DETAILS
SA1.1	FLOOR PLAN FOR RALEIGH UDO
SA4.1	ELEVATIONS FOR RALEIGH UDO

PUBLIC IMPROVEMENT QUANTITY TABLE

NUMBER OF LOT (S)	1
LOT NUMBER (S) BY PHASE	0
NUMBER OF UNITS	0
LIVABLE BUILDINGS	0
OUTDOOR AMENITY AREA	10% (PROPOSED)
TREE CONSERVATION AREA	6% (EXISTING)
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF) - FULL	0
PUBLIC SIDEWALK (LF) - PARTIAL	0
1' FEE IN LIEU	±1420 LF
STREET SIGNS (LF)	0
WATER SERVICE STUBS	0 (1 EXISTING)
SEWER SERVICE STUBS	0 (2 EXISTING)

CALL BEFORE YOU DIG!
NORTH CAROLINA LAW REQUIRES THAT THREE (3) FULL DAYS BEFORE EVERY EXCAVATION, THE PERSON RESPONSIBLE PLACES A NOTIFICATION REQUEST TO NC 811

NORTH CAROLINA 811 www.nc811.org
1-800-632-4949

North Carolina One-Call Center, Inc.

REVISIONS

No.	DATE	DESCRIPTION	REV. BY
△			
△			
△			
△			

GREGORY POOLE RENTAL STORE

SITE PLAN

APPROVED FOR PERMITTING
NOT FOR CONSTRUCTION

think.design.build

BOBBITT DESIGN-BUILD

600 Germantown Road | Raleigh, North Carolina 27607
Ph: (919) 851-1980 | Email: info@bobbitt.com | Firm Lic. #D0191

COORDINATOR: Blair Pittman

DRAWN BY: N. NYAUPANE

CHK BY: BPP

GREGORY POOLE RENTAL STORE
4210 GOBAL ST
RALEIGH, NC 27610

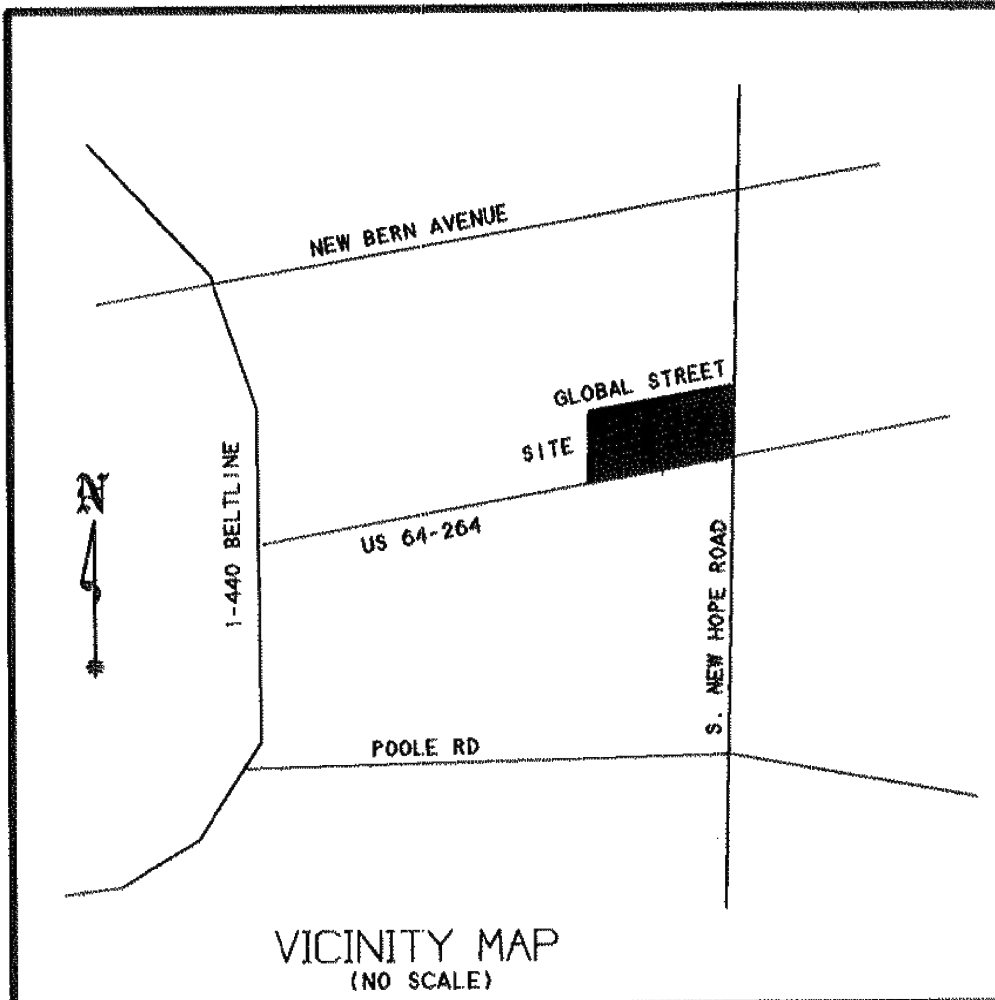
24 X 36

13 OCTOBER 2023

23-0189

COVER

C0.0



I, NIALL W. GILLESPIE, PROFESSIONAL LAND SURVEYOR L-2629
 CERTIFY ONE OR MORE OF THE FOLLOWING AS INDICATED, BY
 () THAT THIS PLAT IS OF A SURVEY THAT CREATES A SUBDIVISION
 OF LAND WITHIN THE PLANNING JURISDICTION OF A COUNTY OR
 MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS
 OF LAND.
 () THAT THIS PLAT IS OF A SURVEY OF AN EXISTING PARCEL OR
 PARCELS OF LAND.
 () THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS
 THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY,
 OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.
 () THAT THE INFORMATION AVAILABLE TO THIS SURVEYOR IS SUCH THAT
 I AM UNABLE TO MAKE A DETERMINATION TO THE BEST OF MY PROFESSIONAL
 ABILITY AS TO PROVISIONS CONTAINED IN 4 THROUGH 4J ABOVE.

NOTE: ALL DISTANCES SHOWN ARE
 HORIZONTAL GROUND DISTANCES
 ALL AREAS BY COORDINATE COMPUTATION.
 IRON PIPES SET AT LOT CORNERS
 NOTE:
 NO NC GRID MONUMENT WITHIN 2000'

LOT SHALL NOT HAVE DRIVEWAY
 ACCESS ONTO NEW HOPE RD.
 REMOVAL OF TREES AND VEGETATION
 AND GRADING OF LAND WITHIN THE SHOD-2
 ZONES WITHIN MUST OBTAINING A PERM
 FROM THE CITY OF RALEIGH IS A VIOLATION
 OF THE RALEIGH CITY CODE AND WILL RESULT
 IN SIGNIFICANT FINANCIAL CONSEQUENCES.
 RIGHT OF WAY OF HIGHWAY 64 BY-PASS
 S. NEW HOPE ROAD AND GLOBAL STREET AND
 ALL DOT EASEMENTS AND BUFFERS TAKEN BY
 N.C.D.O.T. IN CIVIL ACTION #02-018-0778.
 INFORMATION WAS TAKEN FROM N.C.D.O.T.
 PLANS FOR PROJECT #8402204.
 SEE RECORD PLAT B.O.M.2004 PG 1753
 FOR INFORMATION AND RESTRICTIONS

NOTE: ONLY UTILITIES WITH VISIBLE EVIDENCE LOCATED.
 UNDERGROUND UTILITY LINES SHOWN ARE APPROXIMATE
 AND EXTENT IS ESTIMATED & MAY BE INCOMPLETE.
 EXCAVATION MAY BE REQUIRED TO VERIFY LOCATIONS.
 OTHER UNDERGROUND UTILITIES MAY EXIST. CALL ONE CALL
 CENTER AT 1-800-532-4949 BEFORE DIGGING.



NORTH CAROLINA, WAKE COUNTY
 I, NIALL W. GILLESPIE P.L.S. CERTIFY THAT THIS PLAT WAS DRAWN
 UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY
 SUPERVISION. DESCRIPTION RECORDED IN MAP BOOK 2004 PAGE 1753.
 THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS
 BEING DRAWN FROM INFORMATION FOUND IN MAP BOOK 2004 PAGE 1753 OR
 MAP BOOK N/A P. N/A. THAT THE RATIO OF PRECISION AS CALCULATED
 BY COORDINATE COMPUTATION IS 1/10000+. THAT THIS PLAT WAS PREPARED
 IN ACCORDANCE WITH G.S. 4730 AS AMENDED. WITNESS MY ORIGINAL
 SIGNATURE REGISTRATION NUMBER AND SEAL, THIS 2ND DAY OF NOVEMBER, 2007.
 P.L.S. L 2629

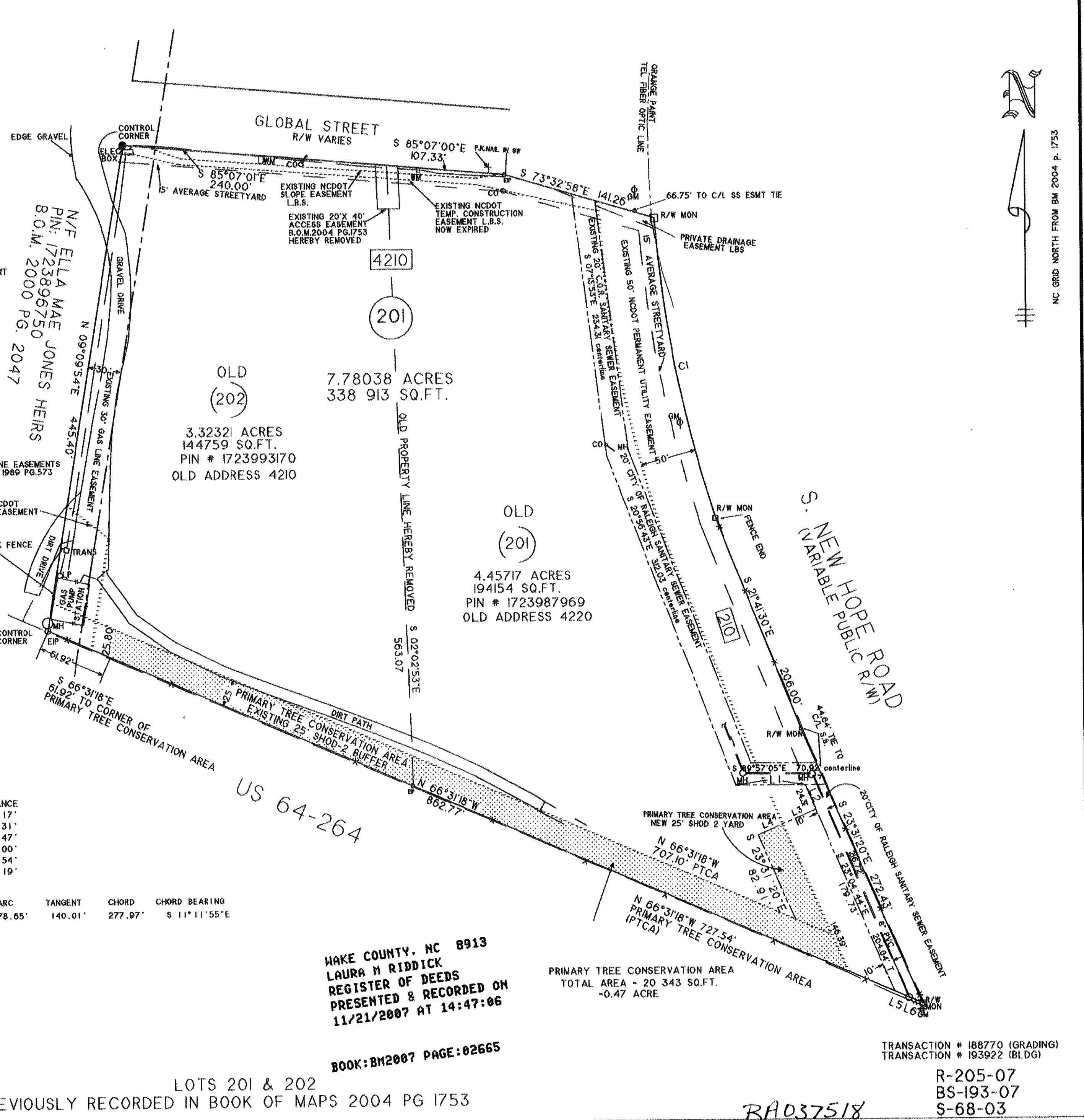
This certifies and warrants that the undersigned is (are) the sole
 owner(s) of the property shown on this map of plot and any
 occupying shares subject to the exceptions on record, having
 acquired the property in fee simple by deed(s) recorded in the
 office of the Register of Deeds of Wake County, North Carolina, or
 otherwise, as shown below and as such, has (have) the right to
 convey and defend the title against the lawful claims of all
 persons whatsoever unless excepted herein and that by subdivision
 of this plot or map for approval I (we) do dedicate to the City of
 Raleigh for public use all streets, easements, rights-of-way,
 parks and greenways, (as these interests are defined in the Code),
 and as the same may be shown thereon, for all lawful purposes to
 which the City may devote or allow the same to be used and upon
 acceptance thereof in accordance with all City policies,
 ordinances, regulations or conditions of the City of Raleigh (or
 the benefit of the public, said dedication shall be irrevocable);
 provided, any dedication of easements for storm drainage are not
 made to the City of Raleigh but are irrevocably made to the
 subsequent owner of any said lot, parcel, share hereon, for their
 use and benefit, subject to conditions of subsections (b), (c),
 (d), and (f) of Section 1 and Section 4 of the City Storm
 Drainage Policy (Resolution 1970-02 as the same may be from time
 to time amended).
 Signatures of property owner(s):
 Book/Pg No.:
 DEED BOOK 11459 PG 1461

STATE OF NORTH CAROLINA
 COUNTY OF WAKE
 I CERTIFY THAT THE FOLLOWING PERSON(S) PERSONALLY APPEARED BEFORE ME THIS DAY, EACH
 ACKNOWLEDGING TO ME THAT HE OR SHE VOLUNTARILY SIGNED THE FOREGOING DOCUMENT FOR THE
 PURPOSE STATED THEREIN AND IN THE CAPACITY INDICATED.
 DATE: 11-7-2007
 PRINTED NAME: Lynette Holmes, Notary Public
 MY COMMISSION EXPIRES: 11-22-07

LINE	BEARING	DISTANCE
L 1	S 89°51'32"E	63.17'
L 2	S 23°04'45"E	24.31'
L 3	S 66°28'40"W	32.47'
L 4	S 66°28'41"W	25.00'
L 5	S 66°31'13"E	14.54'
L 6	S 66°31'16"E	13.19'

CURVE	DELTA ANGLE	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
C 1	13°54'14"	1148.29'	278.05'	140.01'	277.97'	S 11°11'55"E

THIS PROPERTY DOES NOT
 CONTAIN ANY FLOOD HAZARD
 AREAS DESIGNATED BY FEMA
 370243 1723 J dated May 2, 2006.



WAKE COUNTY, NC 8913
 LAURA M RIDDICK
 REGISTER OF DEEDS
 PRESENTED & RECORDED ON
 11/21/2007 AT 14:47:06

TRANSACTION # 188770 (GRADING)
 TRANSACTION # 193922 (BLDG)
 R-205-07
 BS-193-07
 S-68-03

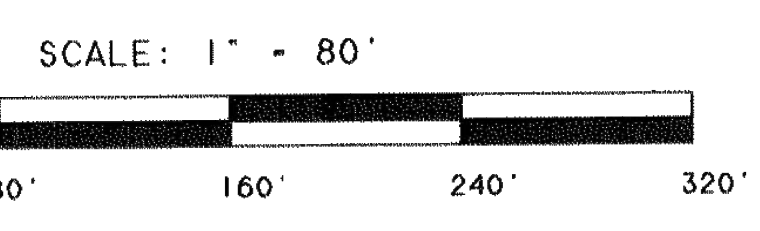
THIS PLAT DOES NOT REQUIRE PRELIMINARY APPROVAL AND MEETS ALL
 STATUTORY REQUIREMENTS FOR RECORDING.
 PLANNING DIRECTOR/WAKE COUNTY REVIEW OFFICER:
 "This plat or map is not a subdivision, but a recombination of previously
 platted property, and meets all statutory requirements for recording."
 Planning Director/Wake County Review Officer:

FILED FOR REGISTRATION
 DATE
 LAURA M. RIDDICK
 REGISTER OF DEEDS
 WAKE COUNTY
 BY: ASST./DEPUTY
 TIME:

SANITARY SEWER EASEMENT AND TREE CONSERVATION AREA DEDICATION MAP AND RECOMBINATION MAP OF EAST PARK 64 BYPASS NORTH LOTS 201 & 202 INTO LOT 201 4210 GLOBAL ST/4220 GLOBAL ST, RALEIGH, NC	
REVISIONS	PROPERTY OF GREGORY POOLE EQUIPMENT CO 4807 BERYL RD RALEIGH, NC 27686
TOWNSHIP: ST. MATTHEWS	COUNTY: WAKE
ETJ: RA	STATE: NORTH CAROLINA
ZONE: IND-1	P.I.N.: 1723993170 1723987969

Niall Gillespie, P.L.S. Land Surveying 1801 White Oak Church Road Apex, North Carolina 27523 Telephone & Fax # (919) 387-0208		
SURVEY DATE 6/28/06	SURVEYED BY: MAR/DD	EPARK201
SCALE: 1"=80'	DRAWN BY: STP	FILE
CHECKED & CLOSURE BY: NWG	EPK201-R	

- LEGEND
- COMPUTED POINT
 - IRON PIPE SET
 - EXISTING IRON PIPE
 - ▭ STREET ADDRESS
 - PP POWER POLE
 - LP LIGHT POLE
 - E- OVERHEAD ELECTRIC LINES
 - T- OVERHEAD TELEPHONE LINES
 - F- FENCE
 - WY CENTER LINE CREEK
 - WH WATER VALVE
 - FH FIRE HYDRANT
 - CO SANITARY SEWER CLEAN OUT
 - MH SANITARYSEWER MANHOLE
 - WM WATER METER
 - CB CATCH BASIN
 - DI DRAIN INLET
 - CAG CURB AND GUTTER
 - EQ EDGE OF PAVEMENT
 - BOC BACK OF CURB
 - FES FLARED END SECTION
 - RCP REINFORCED CONCRETE PIPE
 - LBS LOCATION BY SCALE FROM RECORD PLAT



BM2007 PG 2665

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 NOT FOR CONSTRUCTION

REVISIONS			
No.	DATE	DESCRIPTION	REV. BY
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COORDINATOR:
 Blair Pittman
 DRAWN BY:
 N. NYAUPANE
 CHK BY: BPP

GREGORY POOLE RENTAL STORE
 4210 GOBAL ST
 RALEIGH, NC 27610

24 X 36
 13 OCTOBER 2023
 23-0189
 BM 2007
 PG 2665

BM

SITE PLAN NOTES:
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SYMBOL/LEGEND

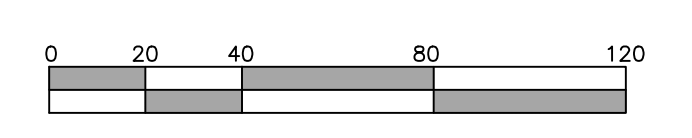
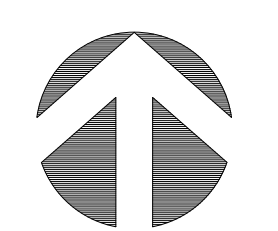
	EXISTING GRAVEL SURFACE
	EXISTING ASPHALT SURFACE
	EXISTING CONCRETE SURFACE

SYMBOL/LEGEND

	EXISTING SAN. SEWER CLEANOUT
	EXISTING WATER METER
	EXISTING BACKFLOW PREVENTER
	EXISTING WATER VALVE
	EXISTING LIGHT POLE
	EXISTING PROPERTY LINE
	ADJOINING PROPERTY LINE
	EX. EASEMENT LINE
	EX. U/G ELECTRIC LINE
	EX. SANITARY SEWER LINE
	EX. STORM SEWER
	EX. WATER LINE

CALL BEFORE YOU DIG!
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North Carolina One-Call Center, Inc.

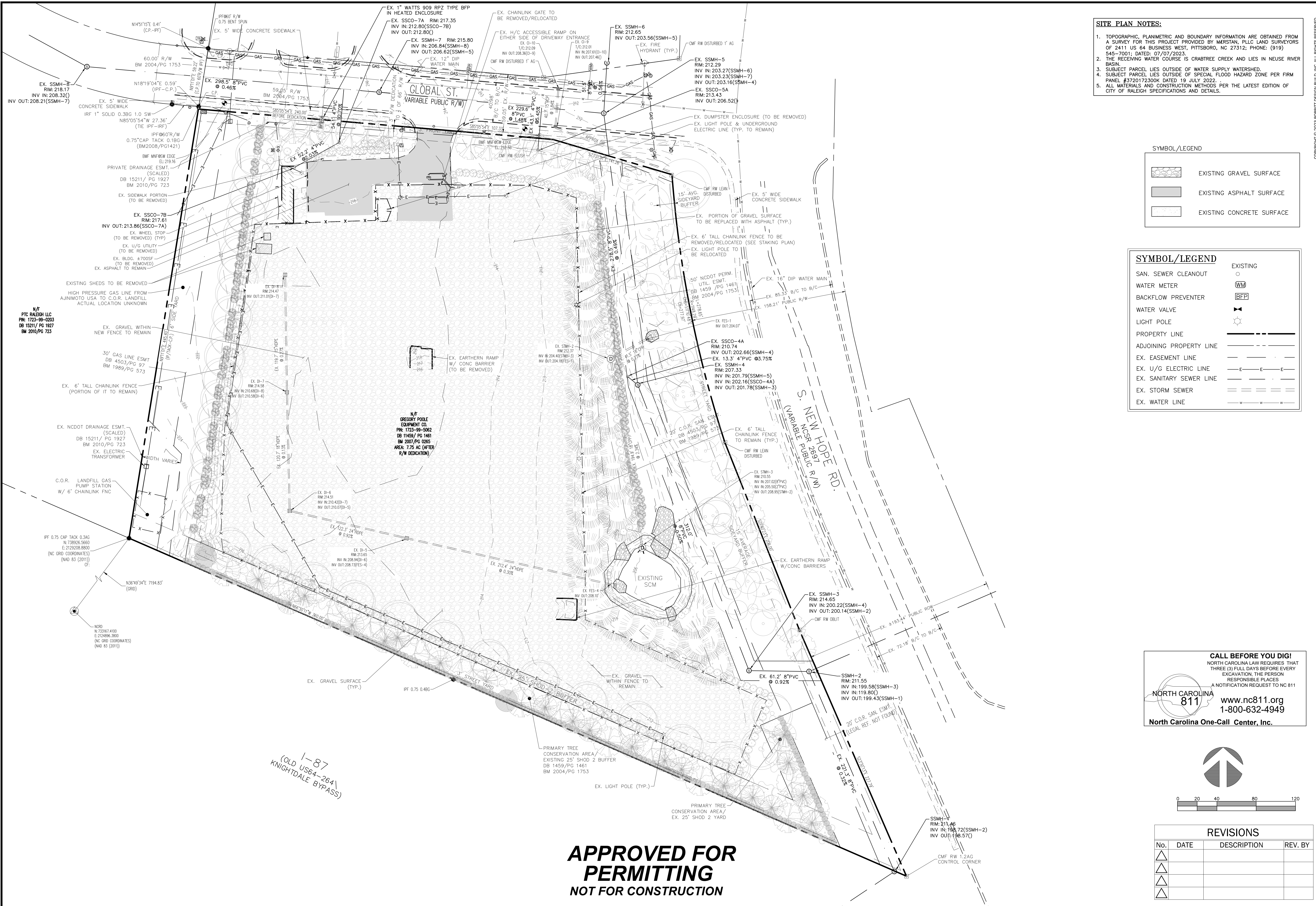


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1-87
(OLD US64-264
KNIGHTDALE BYPASS)



N/F
PTC RALEIGH LLC
P/N 1723-99-1003
DB 15211/PG 1927
BM 2010/PG 723

N/F
GREGORY POOLE
EQUIPMENT CO.
P/N 1723-99-5062
DB 11459/PG 1461
BM 2007/PG 0265
AREA: 7.75 AC (AFTER
R/W DEDICATION)

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SYMBOL/LEGEND

	IMPERVIOUS TO BE DEMOLISHED
	GRAVEL REMOVED FOR BUILDING
	EXISTING GRAVEL SURFACE
	EXISTING ASPHALT SURFACE TO REMAIN
	EXISTING CONCRETE SURFACE
	CONSTRUCTION LIMIT

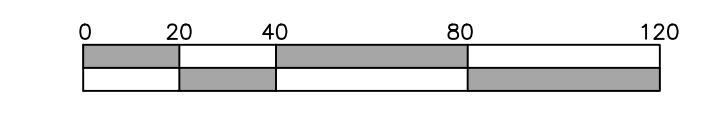
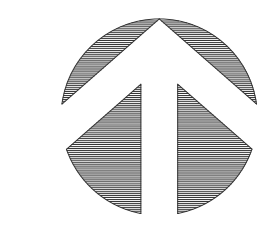
SYMBOL/LEGEND

	EXISTING	PROPOSED
SAN. SEWER CLEANOUT		
WATER METER		
BACKFLOW PREVENTER		
WATER VALVE		
FIRE HYDRANT		
LIGHT POLE		
PROPERTY LINE		
ADJOINING PROPERTY LINE		
EX. EASEMENT LINE		
EX. U/G ELECTRIC LINE		
EX. SANITARY SEWER LINE		
NEW SANITARY SEWER LINE		
EX. STORM SEWER		
NEW STORM DRAIN LINE		
EX. WATER LINE		
NEW WATER LINE		

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1-800-632-4949

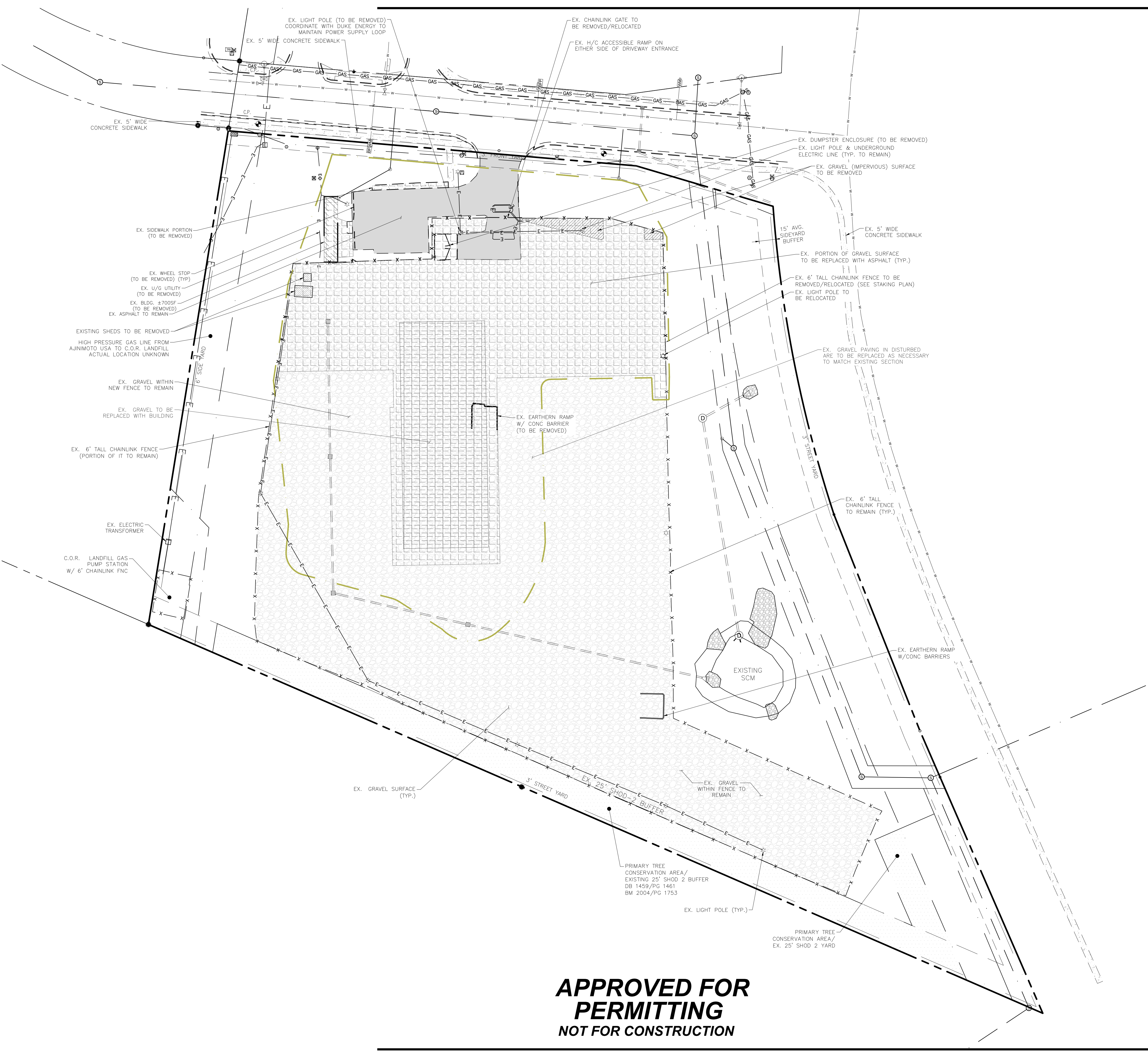
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6. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
7. CONTRACTOR SHALL INSTALL SIGNS, AND CONSTRUCT NECESSARY RAMPS, AS PER THE NORTH CAROLINA STATE BUILDING CODE.

SITE DATA

OWNER:	GREGORY POOLE EQUIPMENT CO P.O. BOX 469 RALEIGH, NC 27502
DESIGNER:	BOBBITT DESIGN-BUILD, INC ATTN: BLAIR PITTMAN, PE (24438) 600 GERMANTOWN ROAD RALEIGH, NC 27607 bpltman@bobbitt.com 919.851.1980
STREET:	4210 GOBAL ST CITY OF RALEIGH
EMAIL ADDRESS:	
PHONE NUMBER:	
SITE ADDRESS:	4210 GOBAL ST CITY OF RALEIGH
JURISDICTION:	
PIN:	1723-99-5062
TOTAL SITE ACREAGE:	7.78 ACRES EX. (7.75 AC AFTER DEDICATION)
EXISTING BUILDING AREA:	±700 SF (TO BE REMOVED)
BUILDING ADDITION AREA:	15,100 SF
DISTURBED AREA:	±106,700 SF (±2.45 AC)
ZONING:	IX-3
FRONTAGE TYPE:	N/A
JURISDICTION:	CITY OF RALEIGH
INSIDE CITY LIMIT:	YES
OVERLAY:	SHOD-2
EXISTING USE:	OUTDOOR STORAGE/HEAVY EQUIPMENT
PROPOSED BUILDING USE:	EQUIPMENT RENTAL, REPAIR AND STORAGE
WATERSHED:	NEUSE RIVER
BUILDING SETBACKS:	PARKING SETBACKS:
FRONT/FRONT 3 FT	FRONT/STREET 10 FT
SIDE 6 FT	SIDE 3 FT
REAR 6 FT	REAR 3 FT
IMPERVIOUS AREA:	
EXISTING IMPERVIOUS AREA (TOTAL PARCEL):	±179,100 SF (±4.11 AC)
TOTAL IMPERVIOUS AREA REMOVED:	±56,600 SF
NEW BUILDING AREA:	±15,100 SF
NEW PAVED AREA:	±11,000 SF
PROPOSED IMPERVIOUS AREA:	±178,700 SF (±4.10 AC)
CHANGE IN IMPERVIOUS AREA:	-400 SF
REQUIRED PARKING:	5 SPS (INCLUDING 1 HC ACCESSIBLE)
EXISTING PARKING:	31 SPS (INCLUDING 2 HC ACCESSIBLE)
PROPOSED PARKING:	31 SPS (INCLUDING 2 HC ACCESSIBLE)
(FOR VEHICLE SALES/RENTAL OR SERVICE USE NO MIN. OR MAX. PARKING IS REQUIRED)	
BIKE PARKING REQUIRED:	NONE

BLOCK PERIMETER NOTE:

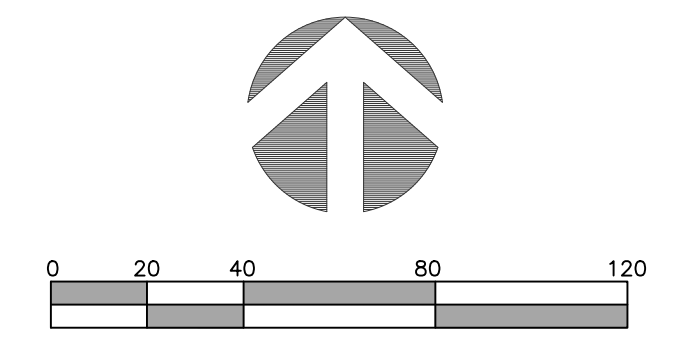
THE PROJECT IS EXEMPT FROM THE BLOCK PERIMETER REQUIREMENT BECAUSE THE SITE TO BE DEVELOPED IS BELOW THE MINIMUM APPLICABLE SITE AREA ESTABLISHED IN THE TABLE FOUND IN SEC. 8.3.2.A.2.B. MINIMUM APPLICABLE SITE AREA FOR IX ZONING = 9 ACRES. TOTAL SITE AREA = 7.75 AC

CROSS-ACCESS NOTE:

CROSS-ACCESS REQUIREMENTS AS DESCRIBED IN UDO SEC. 8.3.5.D ARE NOT APPLICABLE TO THIS PROJECT DUE TO THE FOLLOWING CONDITIONS:

1. THE CREATION OF THE CROSS-ACCESS DRIVEWAY IS OBSTRUCTED BY THE FOLLOWING: STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE. (UDO SEC. 8.3.5.D.b.iii).

SEE EXISTING CONDITIONS, CO.1, AND THE GRADING PLAN C3.0 FOR STEEP SLOPES OF ADJACENT PROPERTY ON WEST. FURTHER, 30' WIDE CITY OF RALEIGH GAS LINE EASEMENT IS EXISTING ON WEST SIDE OF THE PARCEL.



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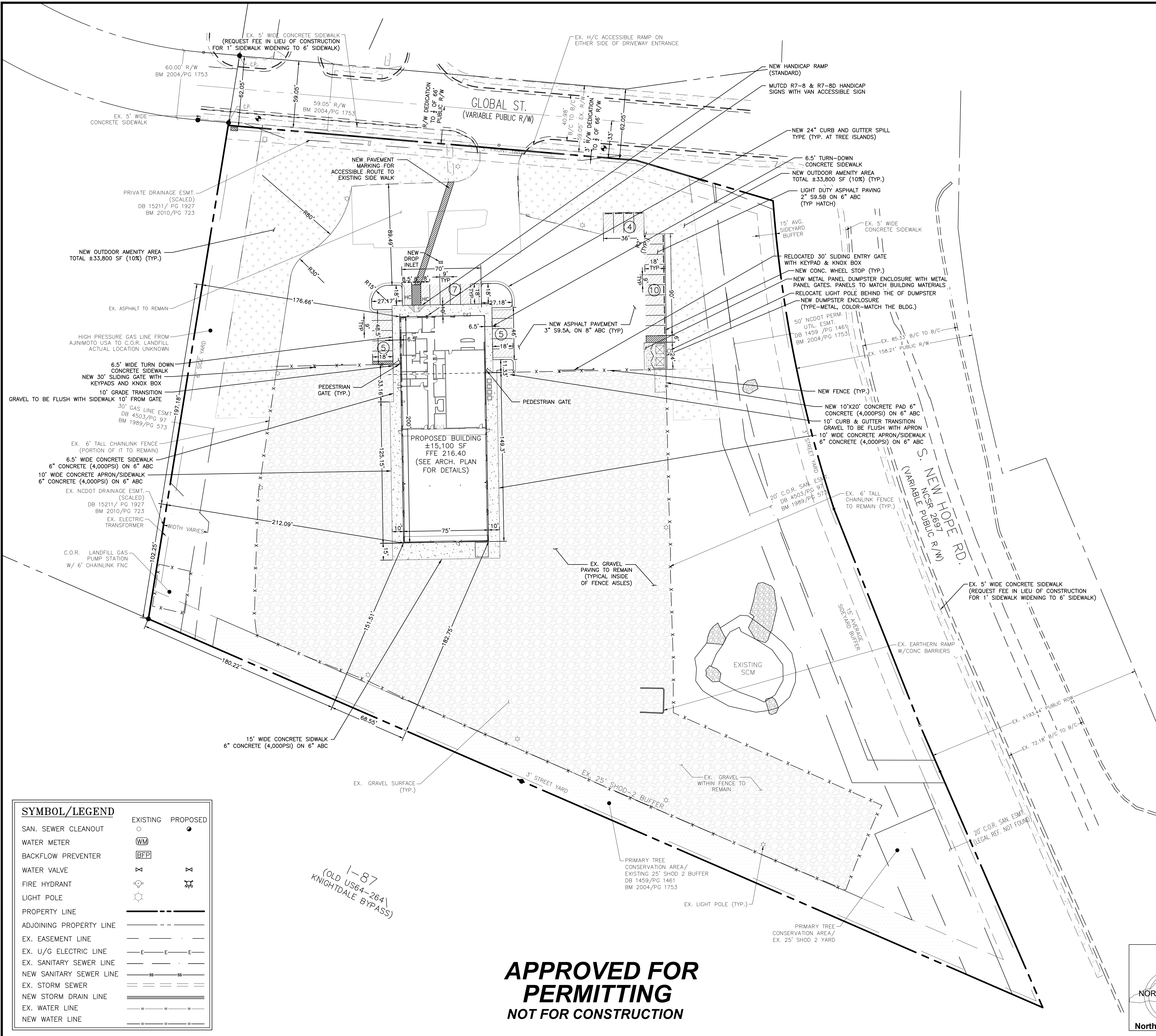
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811 www.nc811.org
1-800-632-4949

North Carolina One-Call Center, Inc.

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SYMBOL/LEGEND

EXISTING	PROPOSED
SAN. SEWER CLEANOUT	○
WATER METER	WM
BACKFLOW PREVENTER	BFP
WATER VALVE	∇
FIRE HYDRANT	⊙
LIGHT POLE	⊙
PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
EX. EASEMENT LINE	---
EX. U/G ELECTRIC LINE	---
EX. SANITARY SEWER LINE	---
NEW SANITARY SEWER LINE	---
EX. STORM SEWER	---
NEW STORM DRAIN LINE	---
EX. WATER LINE	---
NEW WATER LINE	---

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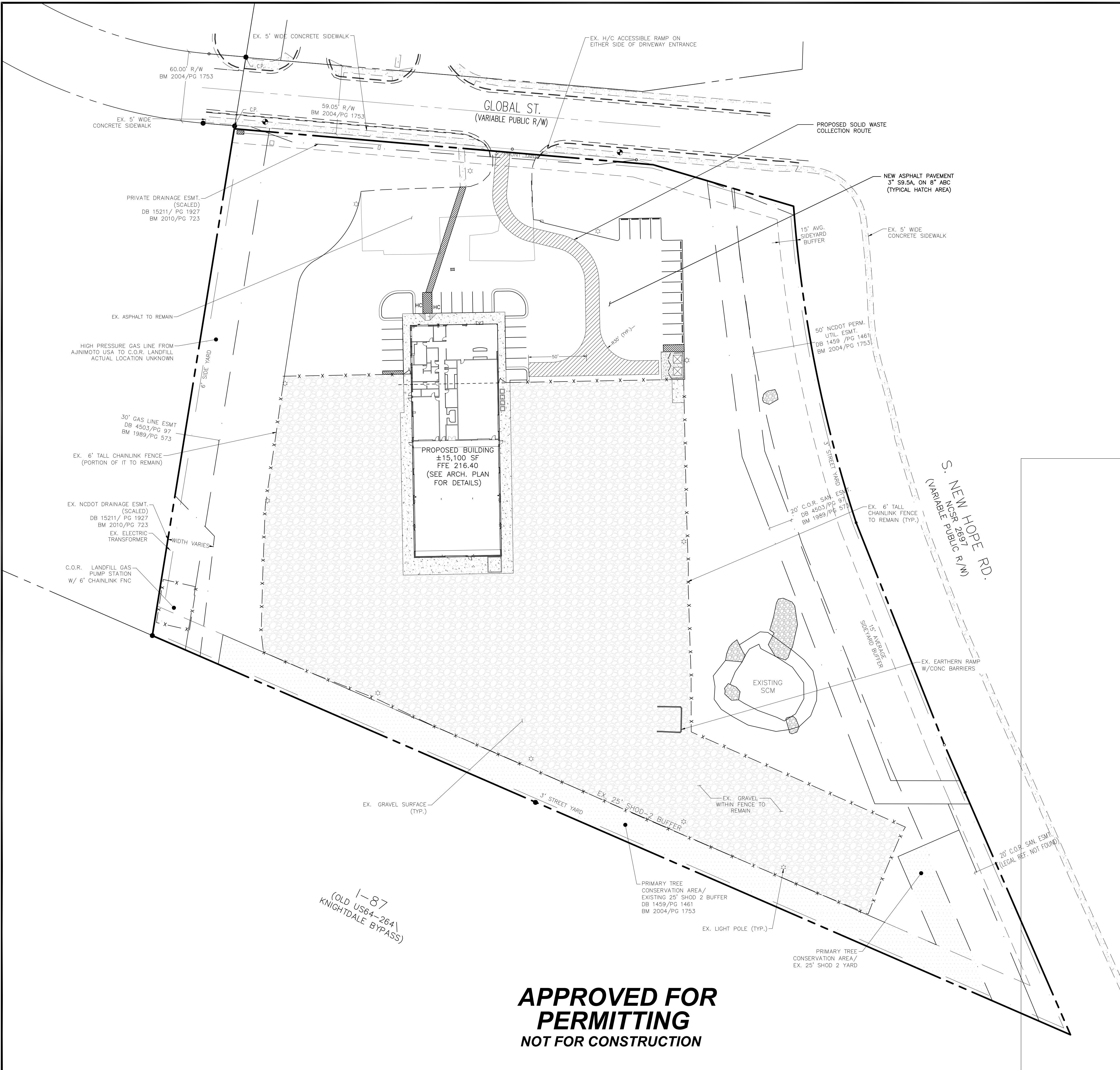
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(OLD US64-264
KNIGHTDALE BYPASS)

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WATER METER		WM	
BACKFLOW PREVENTER		BFP	
WATER VALVE		⊕	⊗
FIRE HYDRANT		⊕	⊗
LIGHT POLE		⊙	⊙
PROPERTY LINE		---	---
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NEW STORM DRAIN LINE		---	---
EX. WATER LINE		---	---
NEW WATER LINE		---	---



BOBBITT DESIGN-BUILD
 600 Germantown Road | Raleigh, North Carolina 27607
 Ph: (919) 851-1980 | Fax: (919) 851-1982 | design@bobbitt.com
 Firm Lic. # 04191

COORDINATOR:
Blair Pittman

DRAWN BY:
N. Nyaupane

CHK BY: BPP

GREGORY POOLE RENTAL STORE
 4210 GOBAL ST
 RALEIGH, NC 27610

24 X 36
 1" = 40'

13 OCTOBER 2023

23-0189

WASTE COLLECTION
 ACCESS PLAN

C1.1

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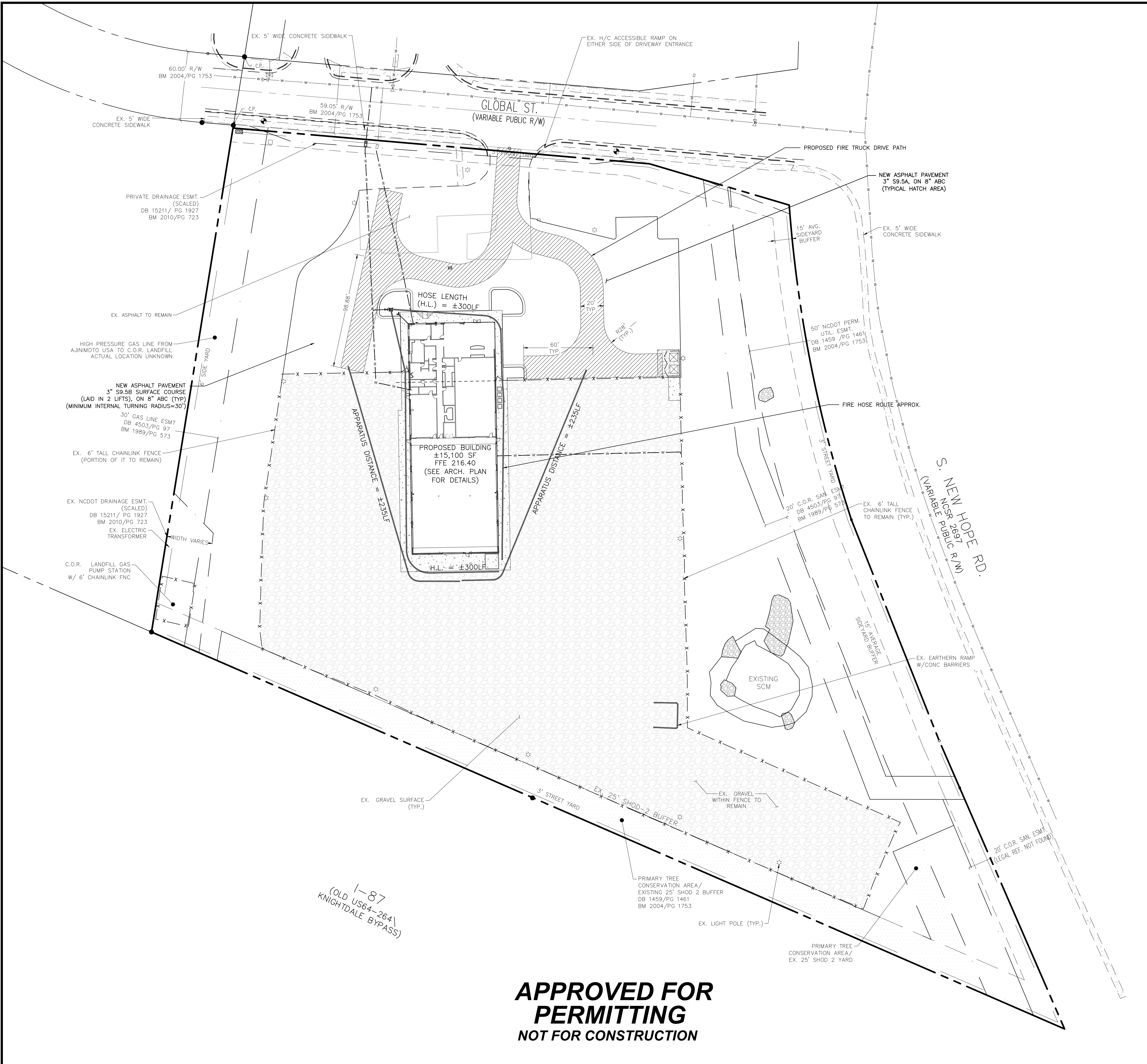
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8. SEE SHEET CO-1 EXISTING CONDITION FOR THE LOCATION OF EXISTING LANDSCAPING TREES.

SYMBOL/LEGEND

	EXISTING	PROPOSED
SAN. SEWER CLEANOUT	○	●
WATER METER	WM	
BACKFLOW PREVENTER	BFP	
WATER VALVE	⋈	⋈
FIRE HYDRANT	⊕	⊕
LIGHT POLE	⊙	⊙
PROPERTY LINE	---	---
ADJOINING PROPERTY LINE	---	---
EX. EASEMENT LINE	---	---
EX. U/G ELECTRIC LINE	—E—E—E—	
EX. SANITARY SEWER LINE	—SS—SS—	
NEW SANITARY SEWER LINE		—SS—SS—
EX. STORM SEWER	—SS—SS—	
NEW STORM DRAIN LINE		—SS—SS—
EX. WATER LINE	—W—W—W—	
NEW WATER LINE		—W—W—W—



1-87
(OLD US64-264)
KNIGHTDALE BYPASS

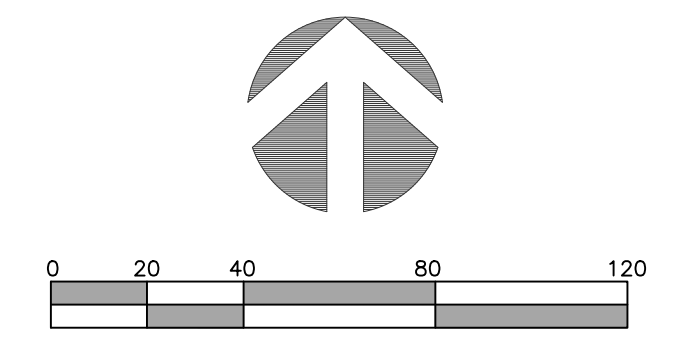
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PROJECT NAME: GREGORY POOLE RENTAL STORE

STORM DRAINAGE CALCULATIONS

STORM FREQUENCY - 2 YR
n = 0.010 (HDPE)

STRUCTURE		INCREMENTAL INLET AREA		DESIGN FLOW - 2YR			STORM SEWER DESIGN					STORM PIPE INVERTS		GRATE ELEV.	HEADWATER		COMMENTS			
FROM	TO	TYPE	'C'	AREA	AVG. 'C'	AREA	I	Q (CFS)	LENGTH (ft.)	DIA. (in.)	SLOPE (%)	DEPTH OF FLOW (ft)	VELOCITY (F/S)	CAPACITY FULL (CFS)	INV. IN	INV. OUT	(FT)	REQ'D	AVAIL.	
9	-	DI	0.79	0.22	-	-	-	-	-	-	-	-	-	-	-	-	214.80	0.64	2.60	NEW DROP INLET
9	8	HDPE	-	-	0.79	0.22	5.76	1.01	108	15	0.46	0.35	3.52	5.73	-	-	211.70	211.20	-	-
8	-	DI	0.56	0.58	-	-	-	-	-	-	-	-	-	-	-	-	214.47	1.08	2.96	EX DROP INLET
8	7	HDPE	-	-	0.62	0.80	5.76	2.87	120	15	0.28	0.73	3.83	4.42	-	-	211.01	210.68	-	-
7	-	DI	0.72	0.51	-	-	-	-	-	-	-	-	-	-	-	-	214.58	1.47	3.50	EX DROP INLET
7	6	HDPE	-	-	0.66	1.31	5.76	4.99	121	18	0.13	1.23	3.22	4.99	-	-	210.58	210.42	-	-
6	-	DI	0.68	0.60	-	-	-	-	-	-	-	-	-	-	-	-	214.51	2.03	3.94	EX DROP INLET
6	5	HDPE	-	-	0.67	1.91	5.76	7.34	122	24	0.92	0.69	7.57	28.34	-	-	210.07	208.94	-	-
5	-	DI	0.94	0.41	-	-	-	-	-	-	-	-	-	-	-	-	213.68	1.77	4.45	EX. FES
5	4	HDPE	-	-	0.72	2.32	5.76	9.57	212	24	0.30	1.11	5.33	16.06	-	-	208.73	208.10	-	-

ROOF DRAIN (SEE PLAN FOR SIZES, LOCATIONS AND SLOPE)
6" HDPE ROOF DRAIN - APPROX 120 LF
8" HDPE ROOF DRAIN - APPROX 225 LF

EROSION CONTROL LEGEND

TEMPORARY SILT FENCE

TEMP. TREE PROTECTION FENCE

COMB. TREE PROTECTION & SILT FENCE

LIMITS OF DISTURBANCE

TEMPORARY SILT FENCE OUTLET

GRADING LEGEND

PROPOSED GRADE ELEVATION x 215.70

TOP OF CURB ELEVATION & BOTTOM OF CURB ELEVATION x 215.50

PROPOSED GRADE SLOPE 4%

EX. MINOR TOPO/CONTOUR 214

EX. MAJOR TOPO/CONTOUR 215

PROPOSED MINOR CONTOUR 215

PROPOSED MAJOR CONTOUR 216

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 - CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. SPECIAL CARE SHOULD BE TAKEN WHILE WORKING WITH EXISTING UNDERGROUND ELECTRIC LINES, UNDERGROUND WATER AND SEWER LINES.
 - GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
 - TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY LAND DISTURBANCE AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING / TREE PROTECTION AREA / PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES."
 - GRADING BEYOND THE DENOTED LIMITS INDICATED ON CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
 - ALL EXISTING UTILITIES AND STORM STRUCTURES ARE SHOWN PER SURVEY DATA AND ARE APPROXIMATE. CONTRACTOR IS FULLY RESPONSIBLE TO FIELD VERIFY ACTUAL LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION AND SHALL CALL UTILITY LOCATOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
 - ALL SIDEWALKS, STOOPS, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDING(S) AT 2% (MIN).
 - FIELD VERIFY THE LOCATION OF THE EXISTING WATER LINES FOR FIRE HYDRANT SHOWN ON THIS MAP. MAKE SURE THE PIPE IS BURIED TO REQUIRED DEPTH AFTER EXCAVATION, IF REQUIRED.
 - ALL AREAS NOT COVERED WITH PAVING, GRAVEL, BUILDING OR PLANTING BEDS SHALL BE SEEDED AS SHOWN IN THE SEEDED PREPARATION AND AND SEEDING SCHEDULE NOTES.
 - ALL CONSTRUCTION MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF RALEIGH ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS.

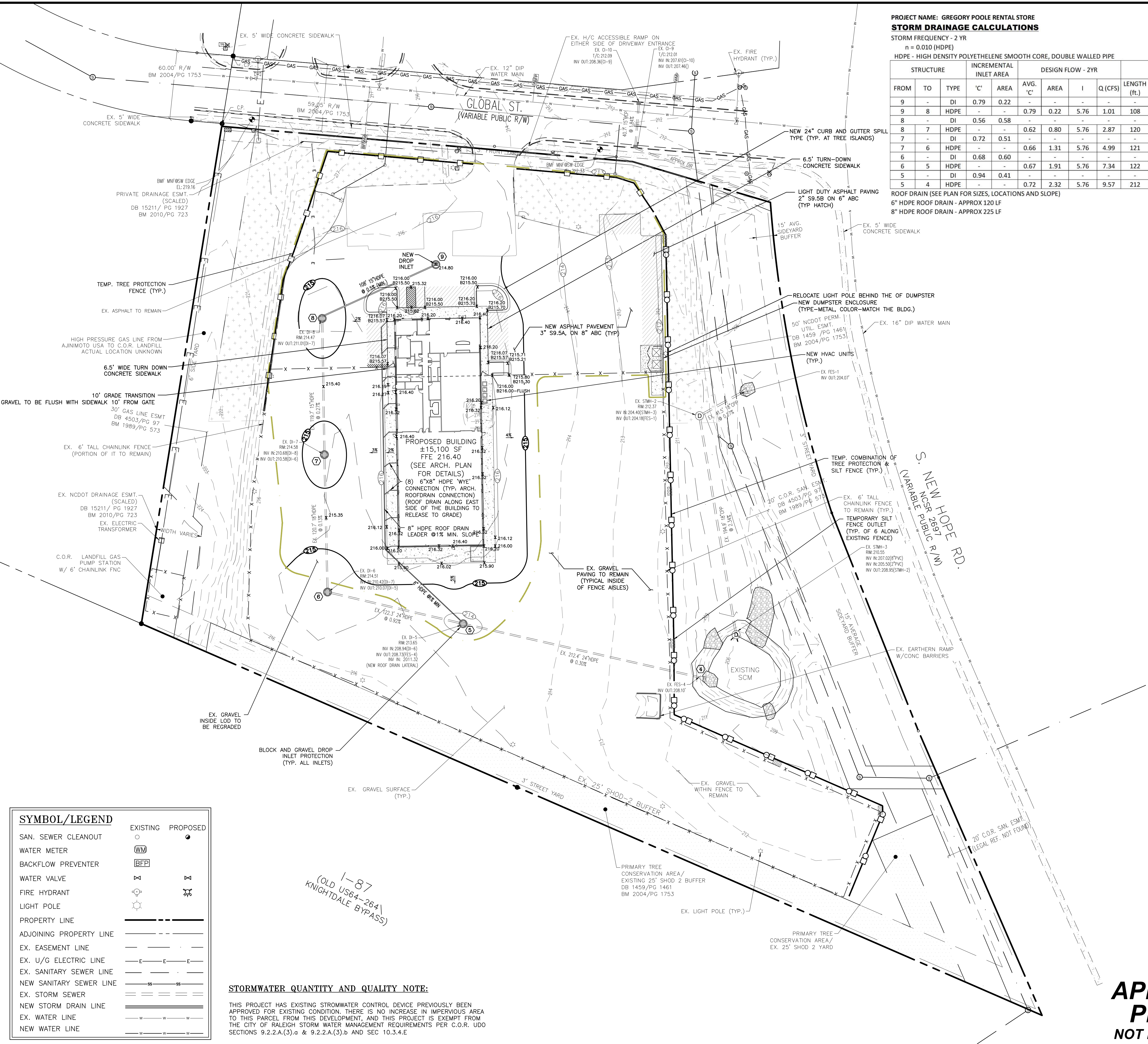
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SYMBOL/LEGEND

EXISTING	PROPOSED

STORMWATER QUANTITY AND QUALITY NOTE:

THIS PROJECT HAS EXISTING STORMWATER CONTROL DEVICE PREVIOUSLY BEEN APPROVED FOR EXISTING CONDITION. THERE IS NO INCREASE IN IMPERVIOUS AREA TO THIS PARCEL FROM THIS DEVELOPMENT, AND THIS PROJECT IS EXEMPT FROM THE CITY OF RALEIGH STORM WATER MANAGEMENT REQUIREMENTS PER C.O.R. UDO SECTIONS 9.2.2.A.(3).a & 9.2.2.A.(3).b AND SEC 10.3.4.E

1-87
(OLD US64-264)
KNIGHTDALE BYPASS

PRIMARY TREE
CONSERVATION AREA/
EXISTING 25' SHOD 2 BUFFER
DB 1459/PG 1461
BM 2004/PG 1753

PRIMARY TREE
CONSERVATION AREA/
EX. 25' SHOD 2 YARD

GENERAL NOTES: UTILITY PLAN

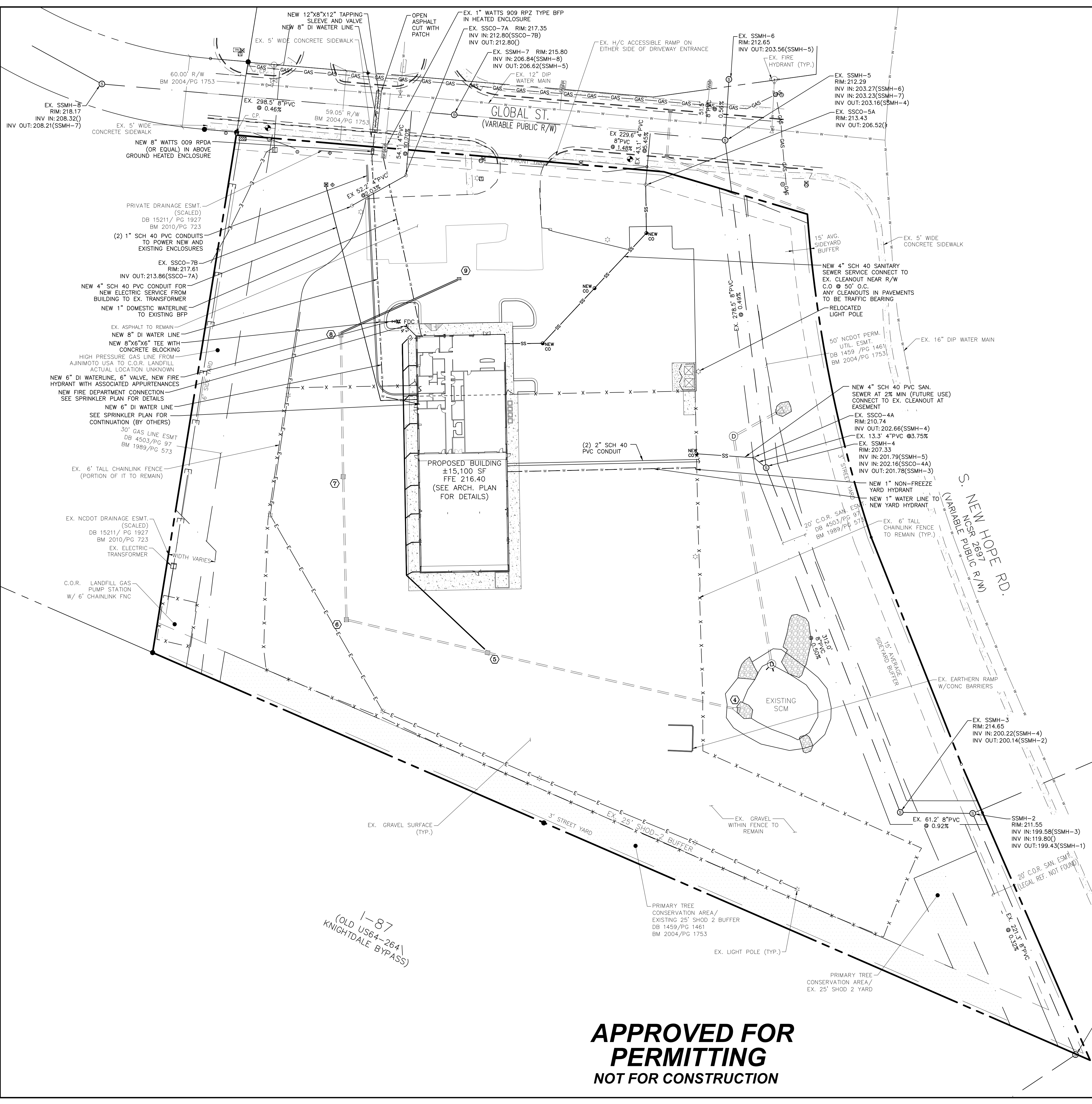
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES AT LEAST 3 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, WATER, GAS, AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
5. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE CONDUITS NECESSARY FOR THE IRRIGATION SYSTEM, SITE LIGHTING, AND SIGNAGE PRIOR TO BEGINNING CONSTRUCTION.
6. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE FOR THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
7. REFER TO SHEET NO. C7.0 THROUGH C7.2 FOR SITE CONSTRUCTION DETAILS.
8. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDING WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
9. HVAC UNITS ARE ASSUMED TO BE MOUNTED ON ROOFTOP.
10. ALL CONSTRUCTION MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF RALEIGH ENGINEERING SPECIFICATIONS AND STANDARD DRAWINGS.
11. SEE SHEET C0.1 EXISTING CONDITION FOR THE LOCATION OF EXISTING LANDSCAPING TREES.

SYMBOL/LEGEND

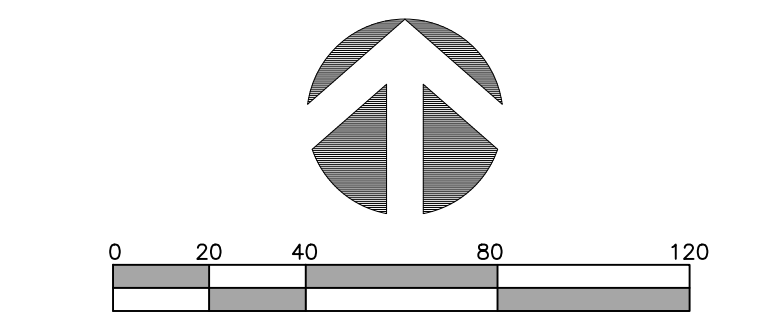
	EXISTING	PROPOSED
SAN. SEWER CLEANOUT		
WATER METER		
BACKFLOW PREVENTER		
WATER VALVE		
FIRE HYDRANT		
LIGHT POLE		
PROPERTY LINE		
ADJOINING PROPERTY LINE		
EX. EASEMENT LINE		
EX. U/G ELECTRIC LINE		
EX. SANITARY SEWER LINE		
NEW SANITARY SEWER LINE		
EX. STORM SEWER		
NEW STORM DRAIN LINE		
EX. WATER LINE		
NEW WATER LINE		

STANDARD CITY OF RALEIGH UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
3. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
4. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
8. INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
9. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
12. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION.



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LANDSCAPE NOTES

- EXISTING LANDSCAPING PLANT/TREE ARE ON GOOD STANDING CONDITION AND FULFILL THE LANDSCAPING REQUIREMENT. MINIMUM CHANGES TO EXISTING LANDSCAPING IS PROPOSED.
- 4 NEW LANDSCAPING TREES NEEDS TO BE PLANTED ON LANDSCAPE ISLAND NEAR THE PROPOSED BUILDING AND 3 SHRUBS WILL BE PLANTED TO REPLACE THE EXISTING SHRUBS NEAR NORTHEAST CORNER.

LANDSCAPE MAINTENANCE NOTES

- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:
- FERTILIZATION: LAWN: FERTILIZE LAWNS TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN SEPTEMBER 1-OCTOBER 31) ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING GROWING SEASON PER SOIL TEST.
- PRUNING: PRUNING SHALL BE LIMITED TO REMOVAL OF ALL DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE ANSI A300 STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
- PEST CONTROL: PRE-EMERGENT WEED CONTROL FOR LAWNS AND SHRUB BEDS SHOULD BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
- MULCHING: MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN PLANT BEDS. MULCH SHALL BE REAPPLIED ONCE A YEAR.
- MOWING: LAWN AREAS SHALL BE MAINTAINED AT THE RECOMMENDED HEIGHT PER TYPE OF GRASS SPECIES CALLED OUT ON THE PLAN AND SHALL BE MOWED APPROXIMATELY 40 TIMES PER YEAR. SECONDARY TURF AREAS MAY BE MAINTAINED AT A HEIGHT OF 6" AND MOWED ONCE A YEAR IN SEPTEMBER.
- PLANT PROTECTION: AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS. WARNING: IF ANY IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON.
- FAILURE TO MAINTAIN ALL PLANTINGS IN ACCORDANCE WITH THIS PLAN MAY CONSTITUTE A VIOLATION OF THE LAND DEVELOPMENT ORDINANCE AND MAY RESULT IN FINES.

PLANT LEGEND

	ZELKOVA
	LOROPETALUM

PARKING LOT TREE COVERAGE (SEC 7.1.7)

PARKING LOT AREA: 5,200 SF
(1 TREE/2000 SF MIN)

TREES:	REQ.	PROP.
	3	4

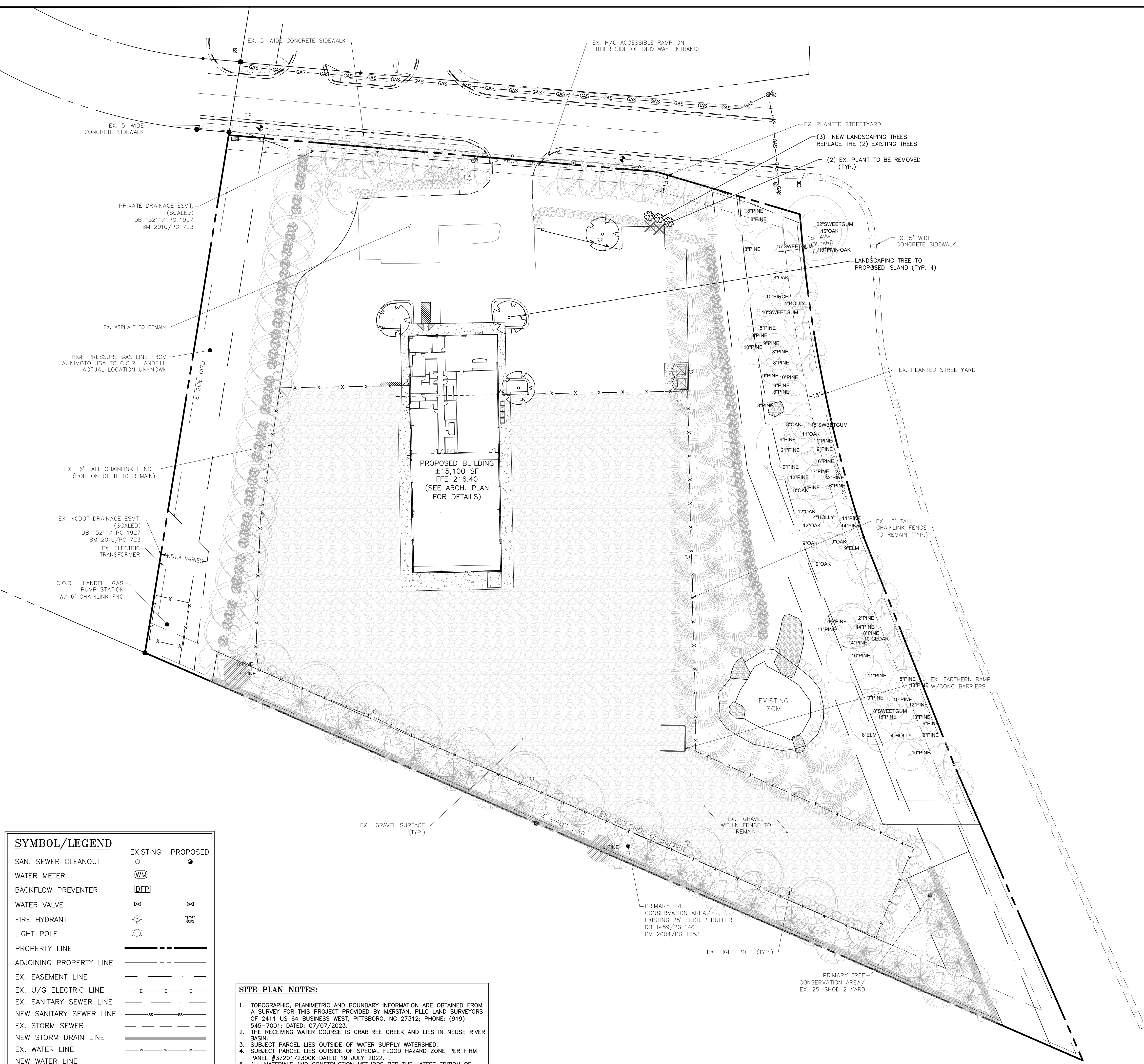
PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	ROOT	CAL./HT.	COMMENTS
SHADE TREES:					
4	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO ZELKOVA	B&B	3" MIN / 10' MIN	PARKING LOT
SHRUBS:					
3	LOROPETALUM CHINESE VAR RUBRUM'BLUSH'	CHINESE WITCHAZEL	CONT	24" MIN.	MATCH EXISTING

ALL PLANT MATERIAL SHALL CONFORM W/ AMERICAN STANDARD FOR NURSERY STOCK ANSI 260.1

TREE CONSERVATION AREA NOTE:

TREE CONSERVATION AREA IS RECORDED ON PLAT MAP BM2007 PG2665 (SEE SHEET BM)
THE RECORDED AREA = 20,343 SF (6%)



SYMBOL/LEGEND

EXISTING	PROPOSED

SITE PLAN NOTES:

- TOPOGRAPHIC, PLANIMETRIC AND BOUNDARY INFORMATION ARE OBTAINED FROM A SURVEY FOR THIS PROJECT PROVIDED BY MERSTAN, PLLC LAND SURVEYORS OF 2411 US 64 BUSINESS WEST, PITTSBORO, NC 27312; PHONE: (919) 545-7001; DATED: 07/07/2023.
- THE RECEIVING WATER COURSE IS CRABTREE CREEK AND LIES IN NEUSE RIVER BASIN.
- SUBJECT PARCEL LIES OUTSIDE OF WATER SUPPLY WATERSHED.
- SUBJECT PARCEL LIES OUTSIDE OF SPECIAL FLOOD HAZARD ZONE PER FIRM PANEL #3720172300K DATED 19 JULY 2022.
- ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF CITY OF RALEIGH SPECIFICATIONS AND DETAILS.

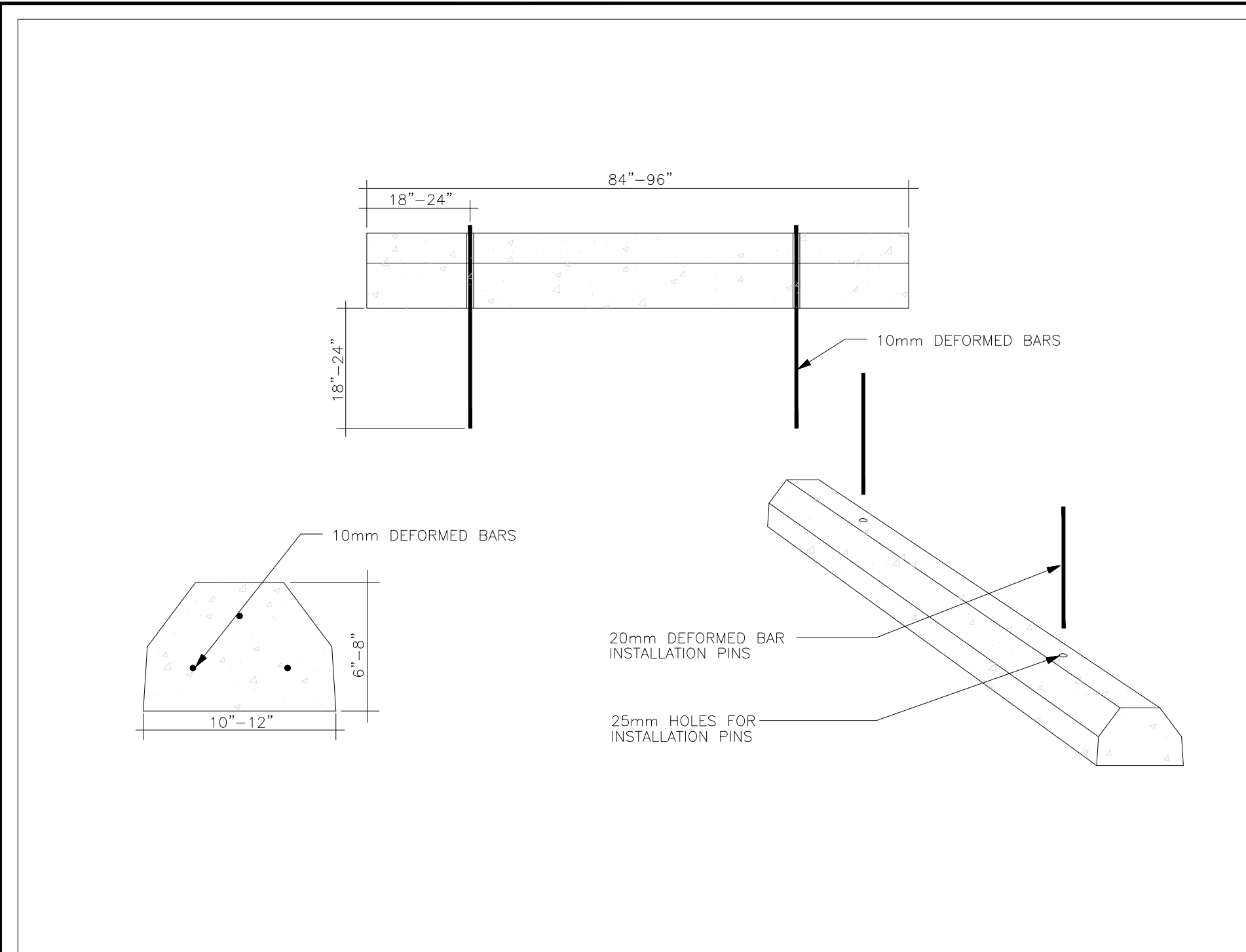
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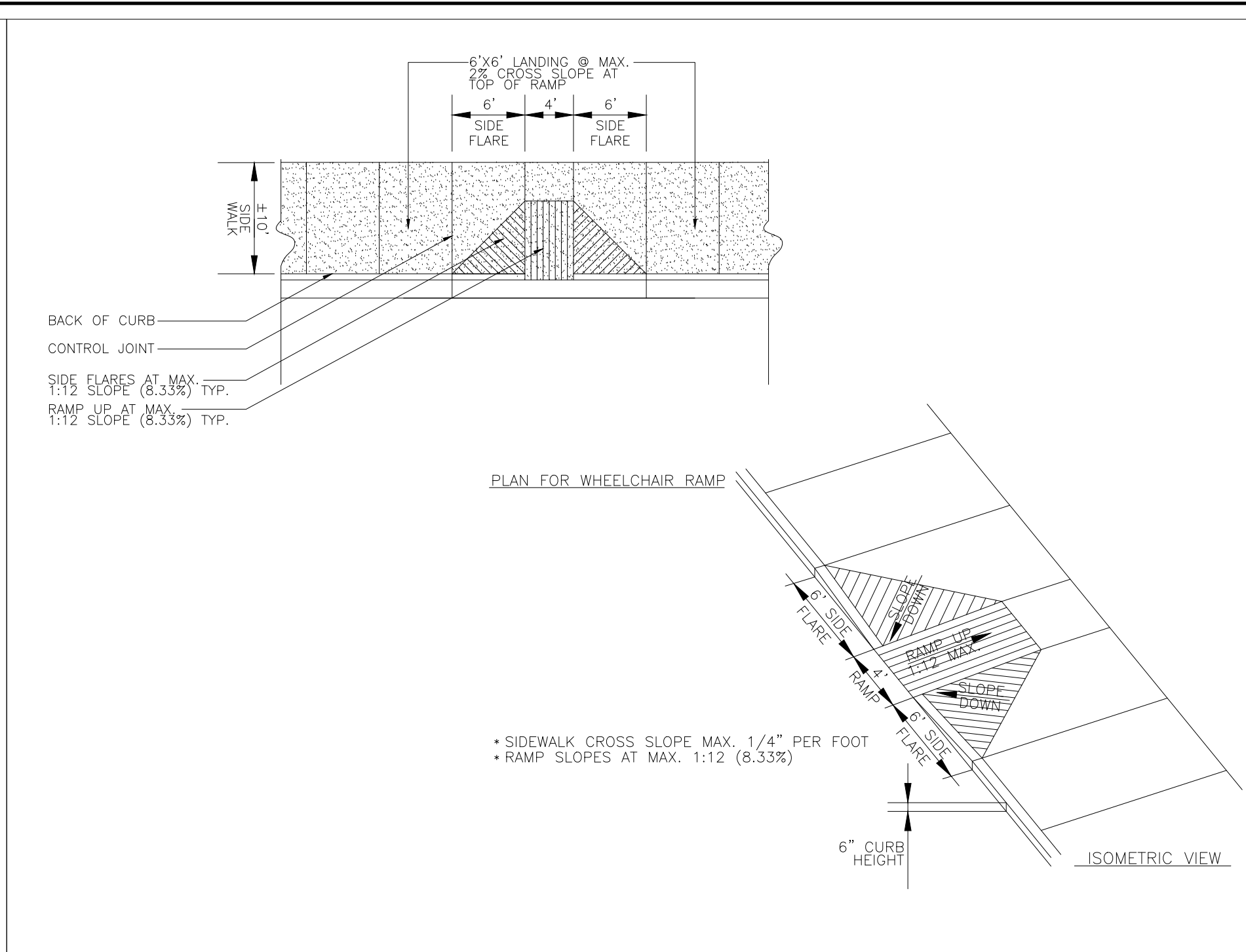
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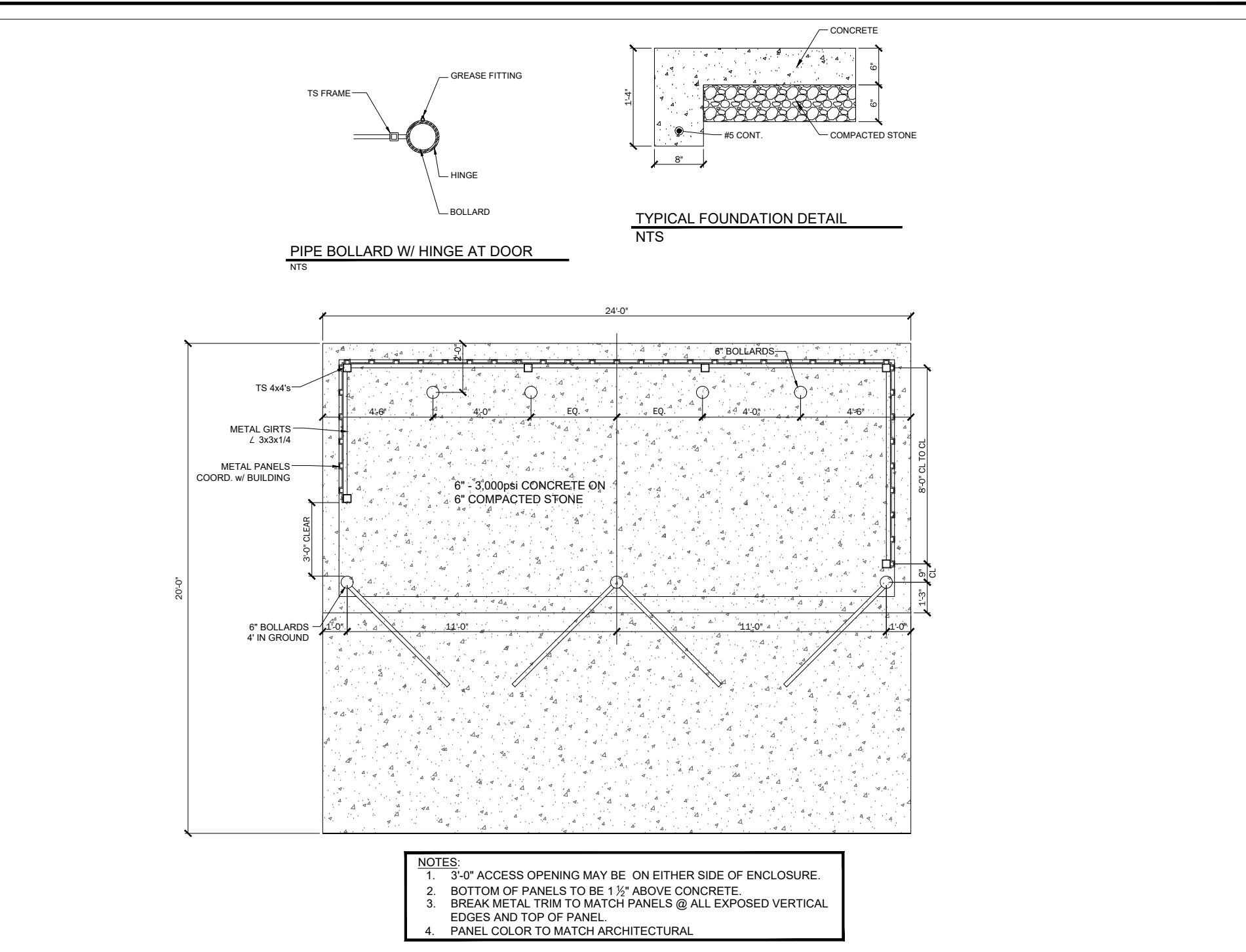
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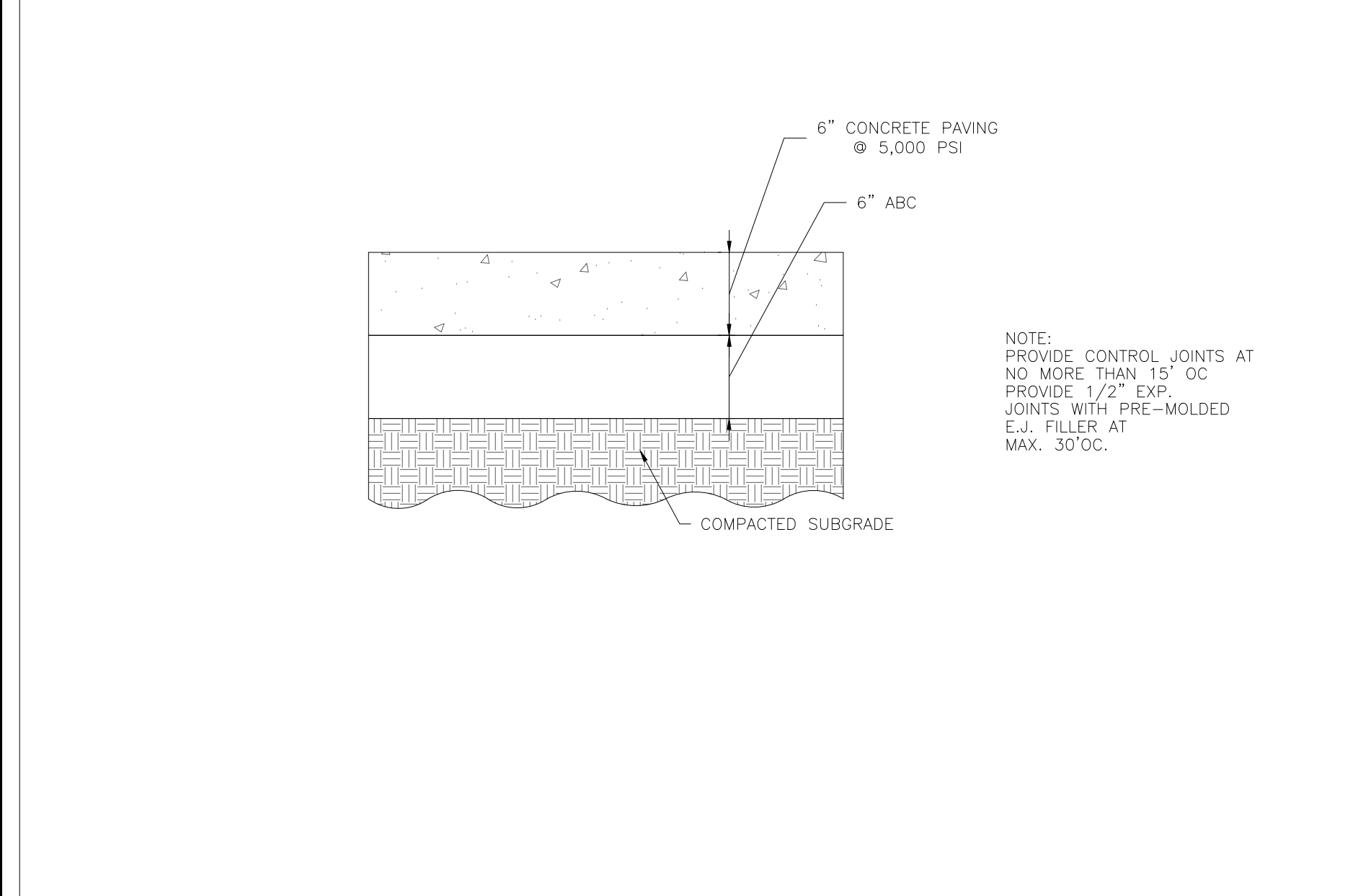
CONCRETE WHEEL STOP N.T.S.



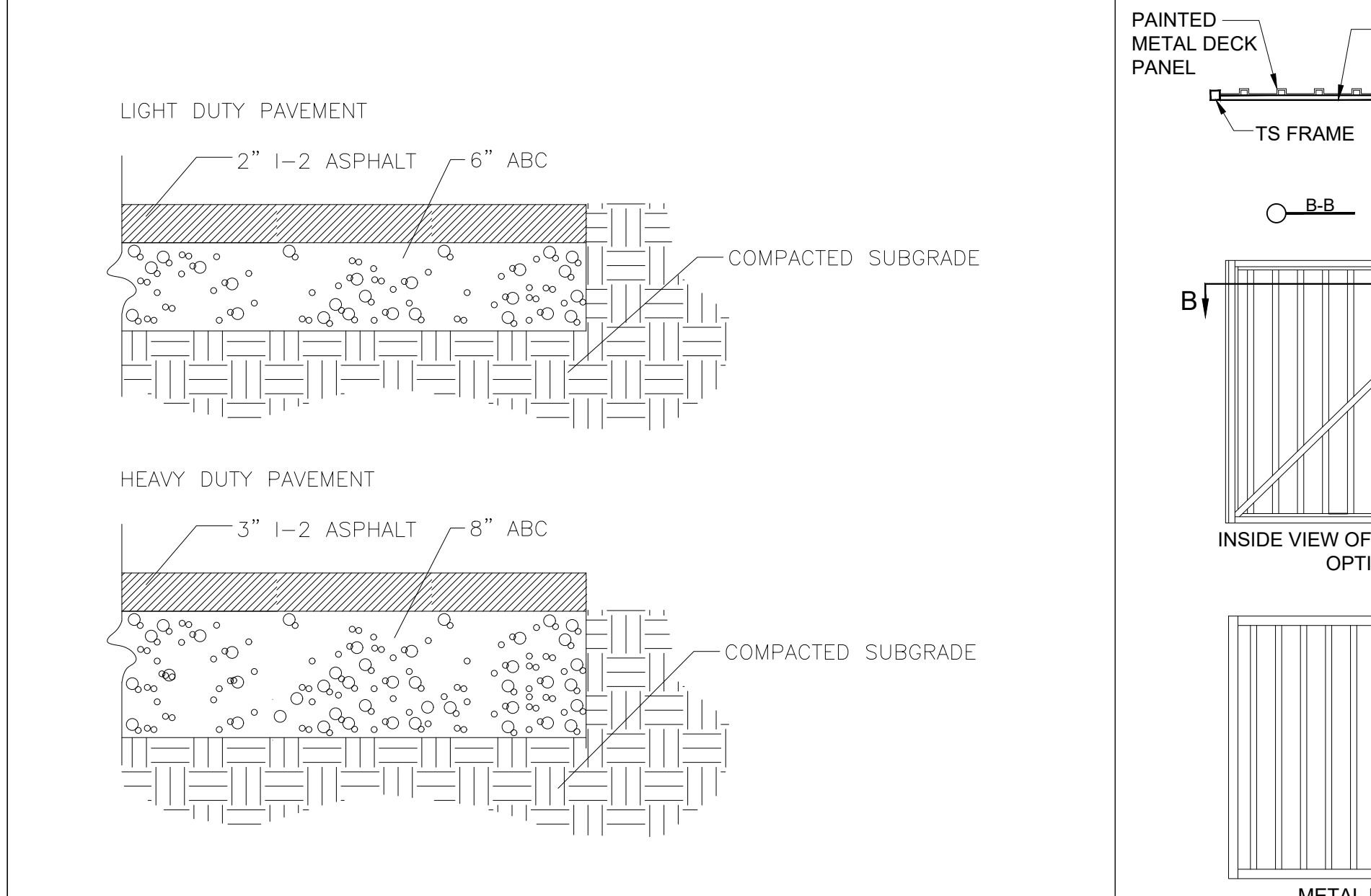
HANDICAP RAMP WITH CURB & SIDEWALK (STANDARD) N.T.S.



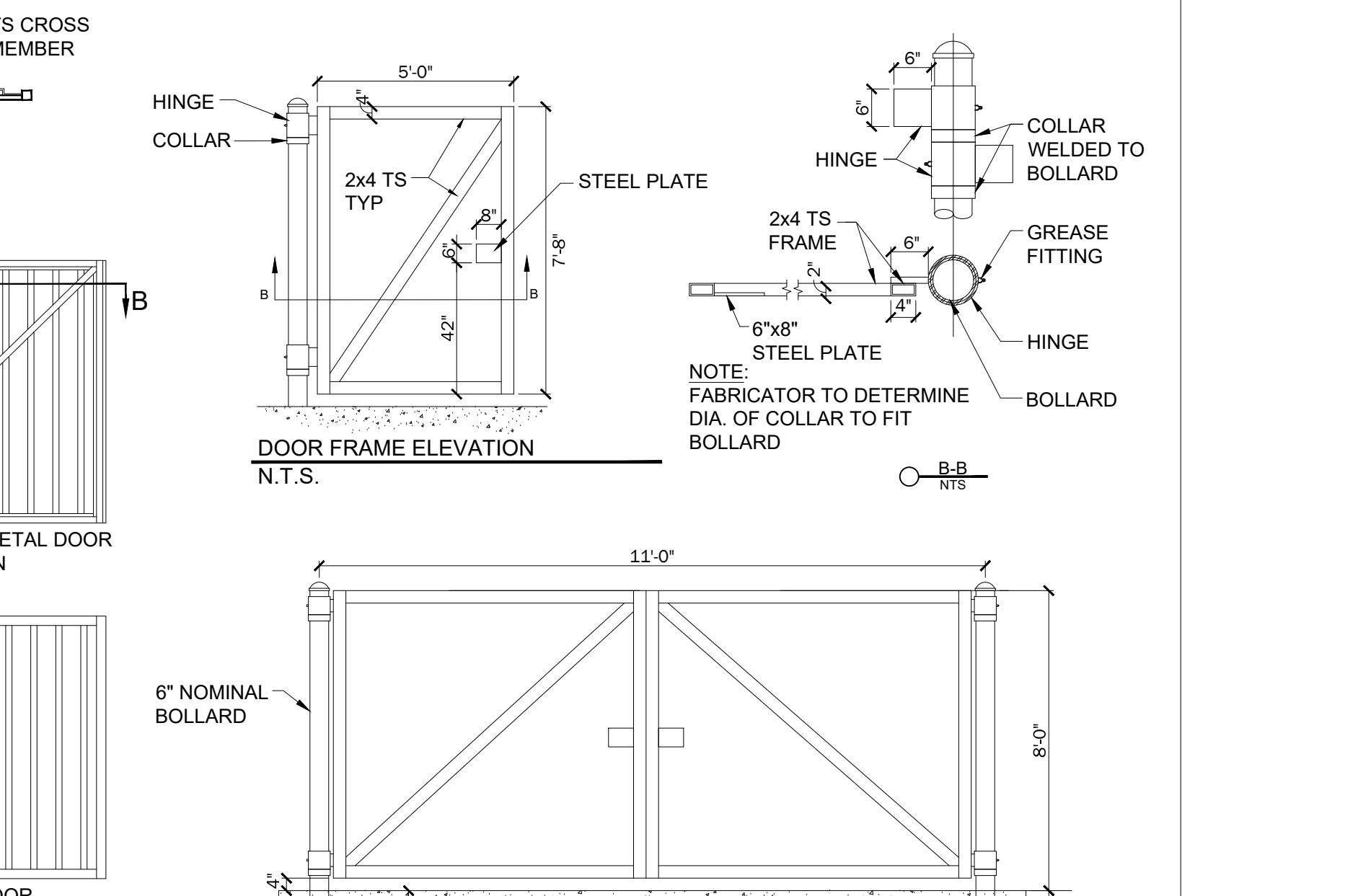
METAL CLAD DUMPSTER ENCLOSURE N.T.S.



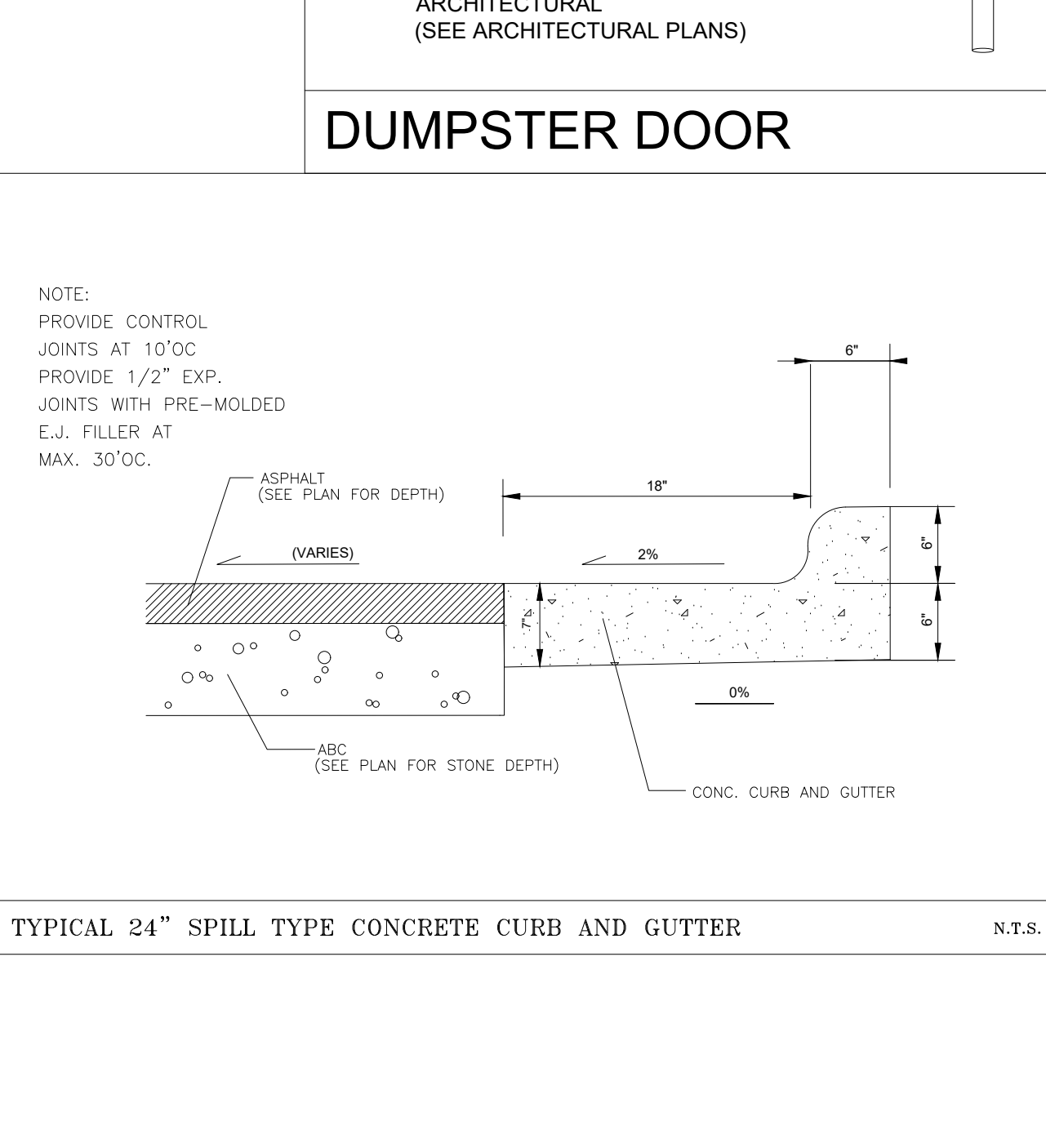
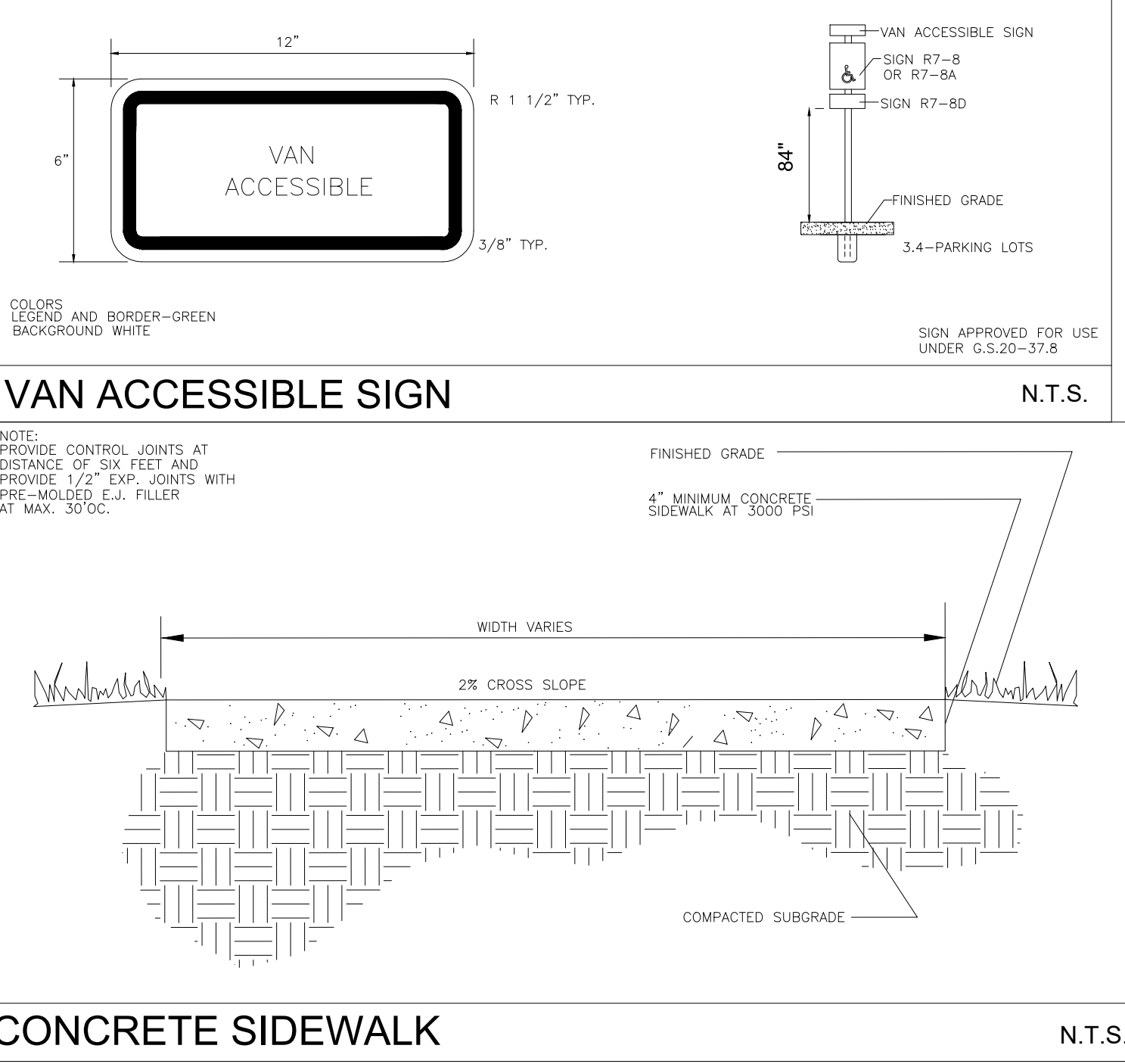
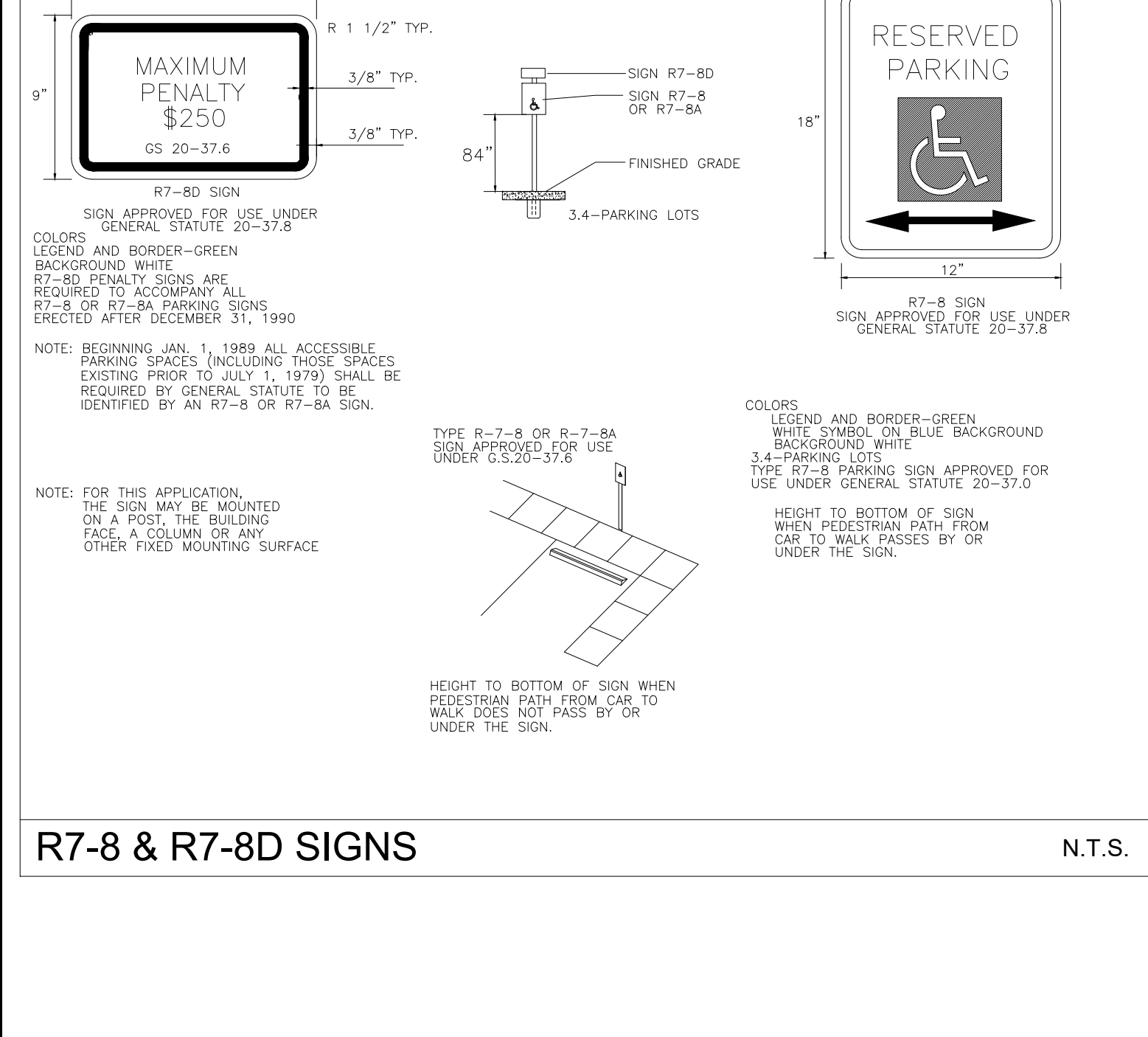
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SECTIONS FOR PARKING PAVEMENTS N.T.S.



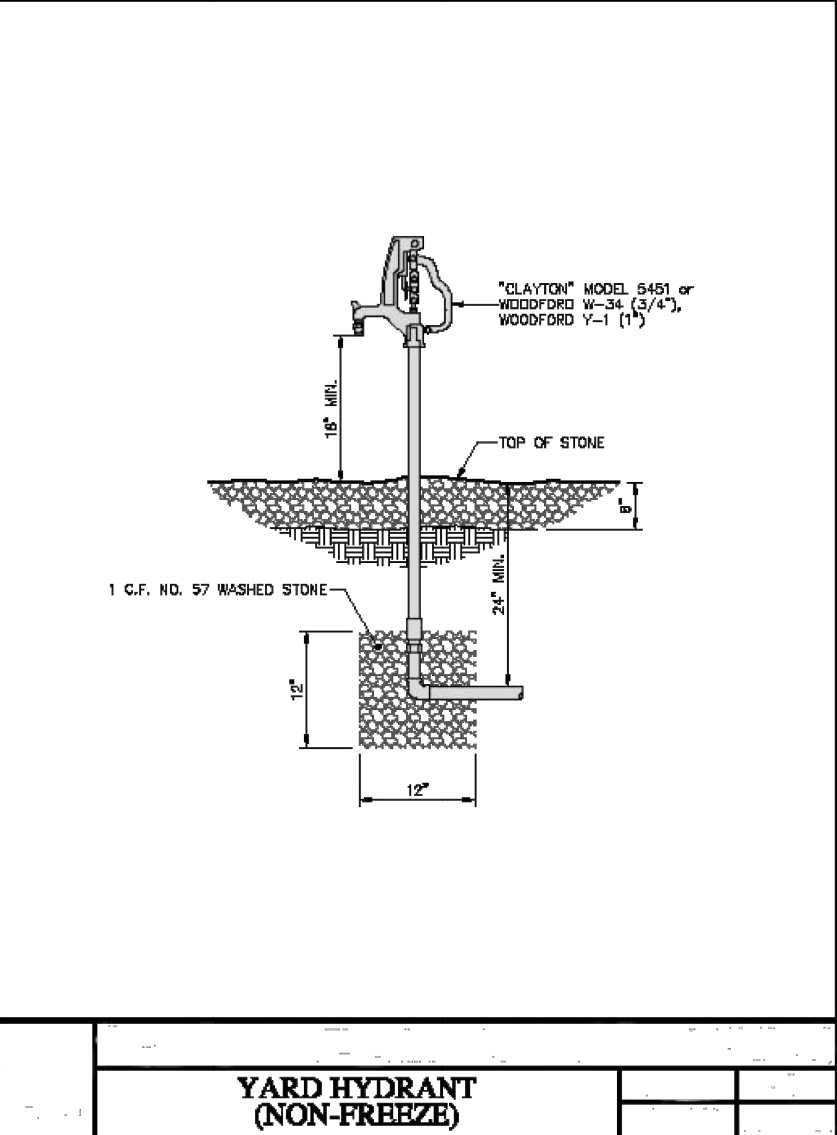
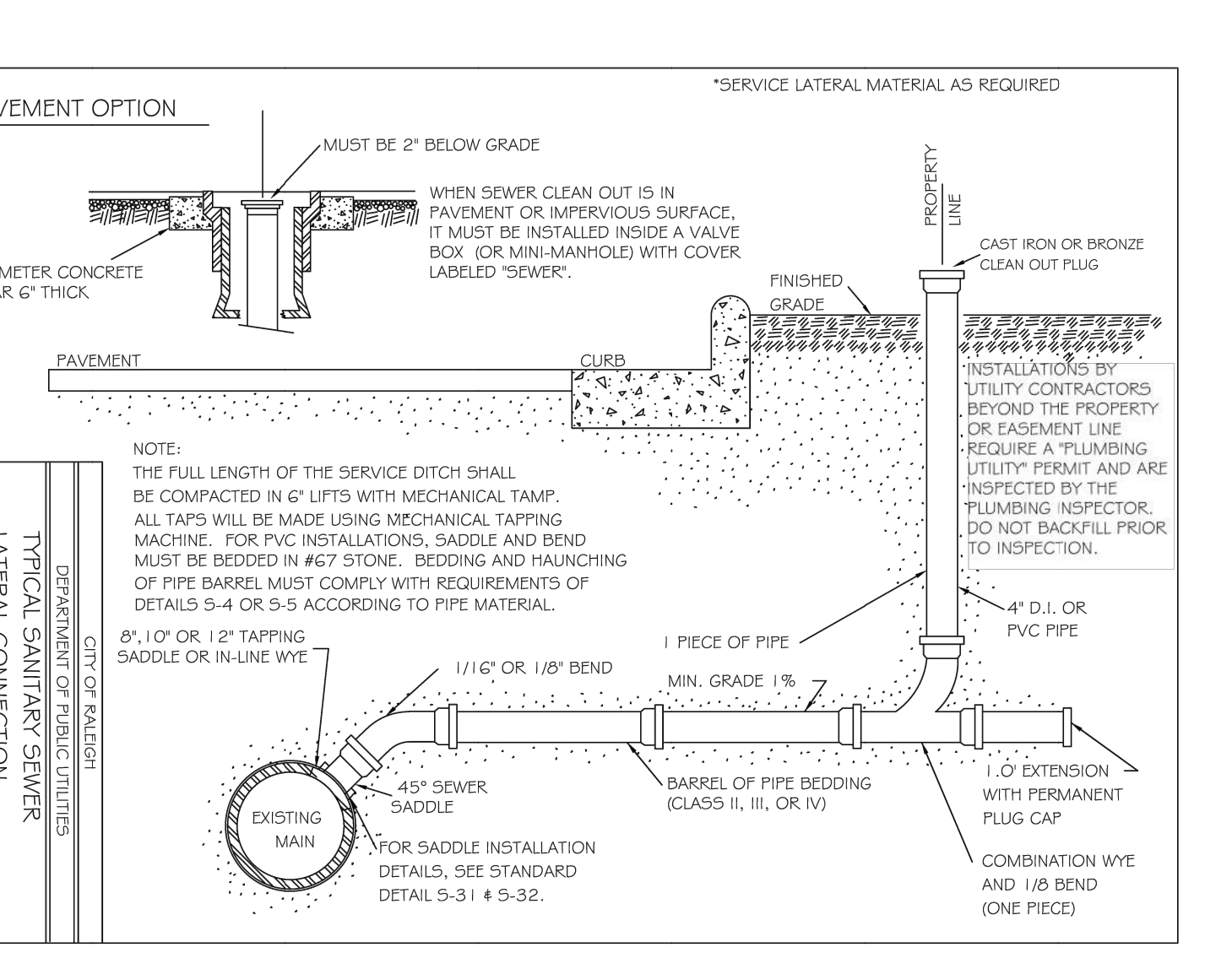
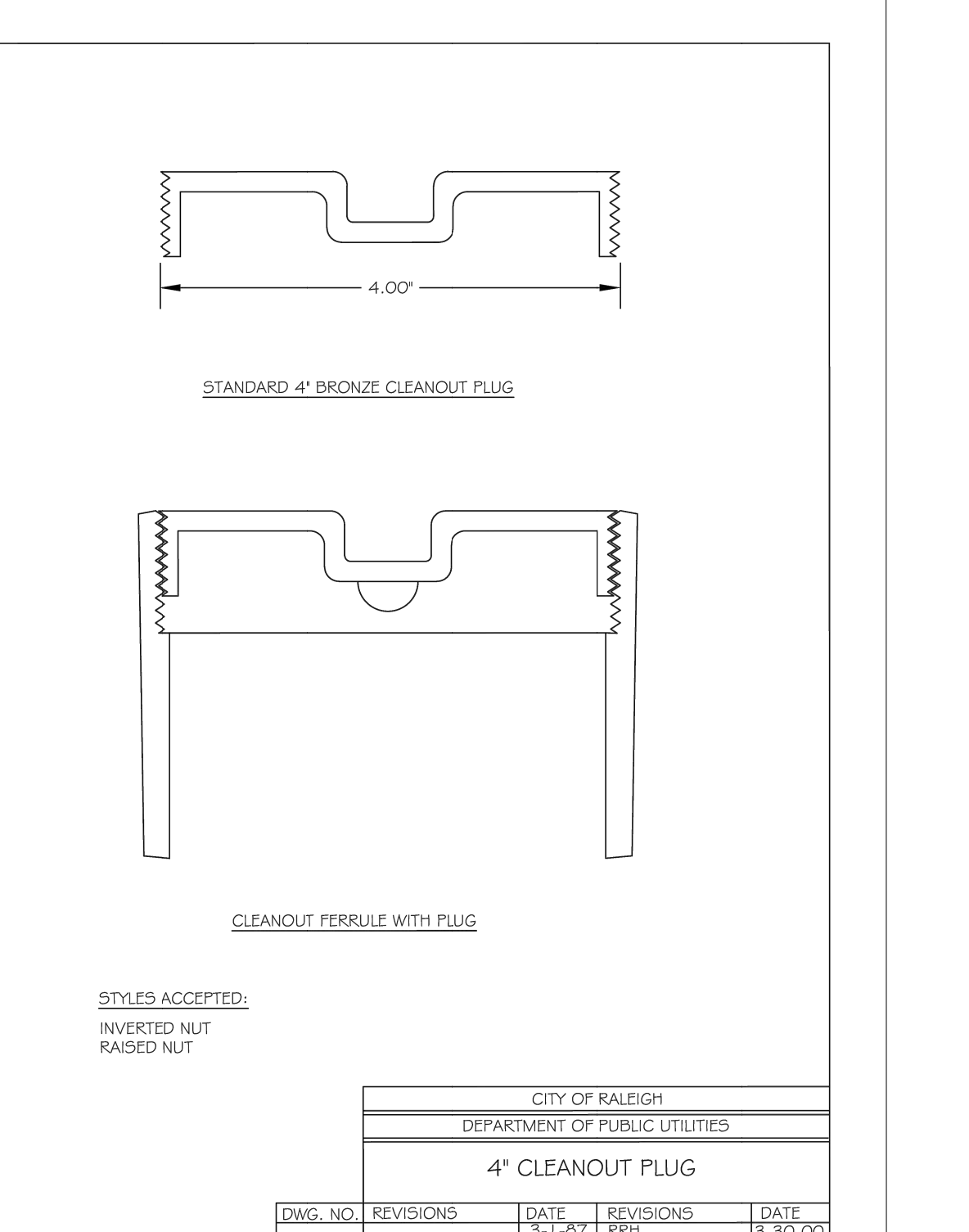
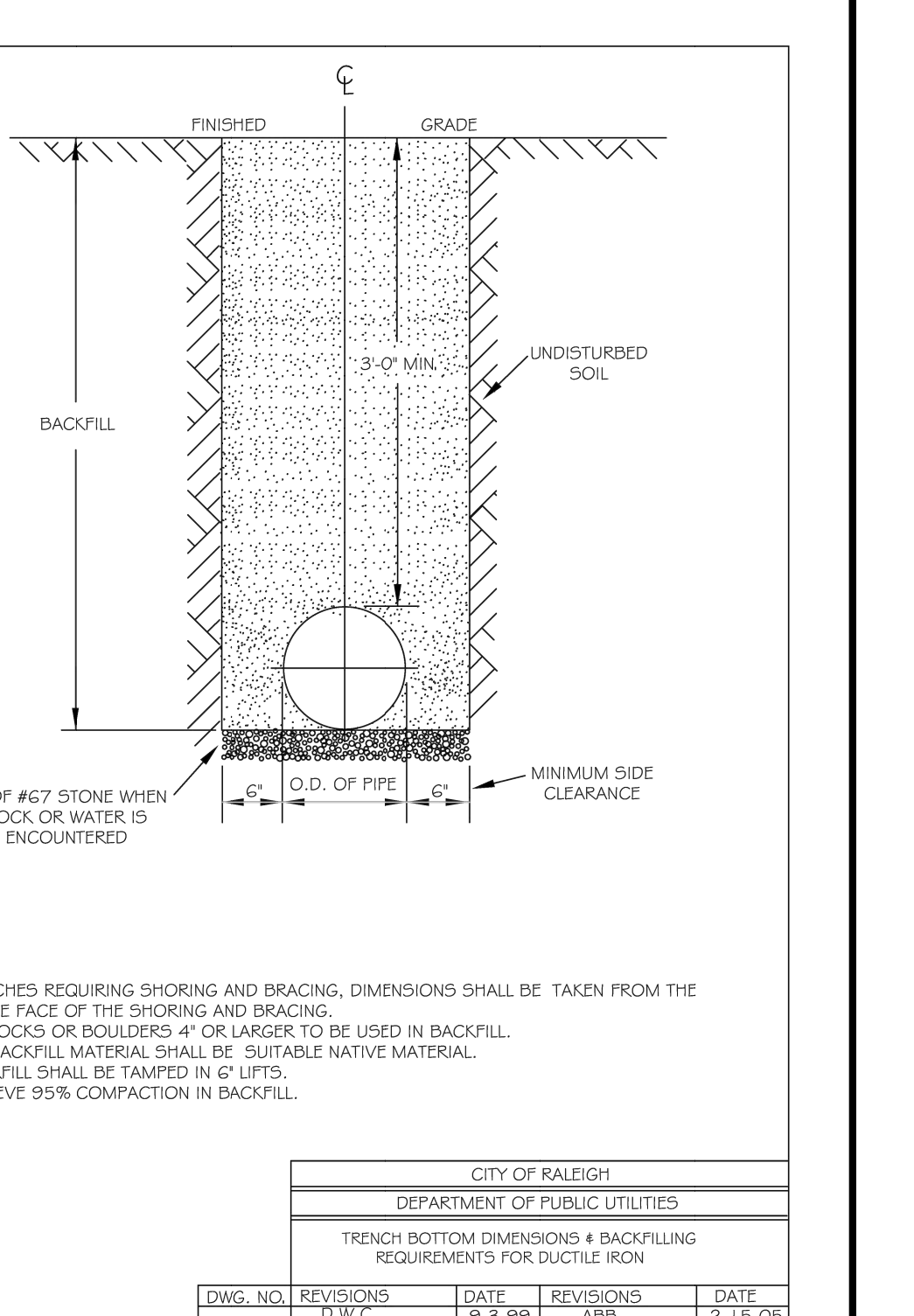
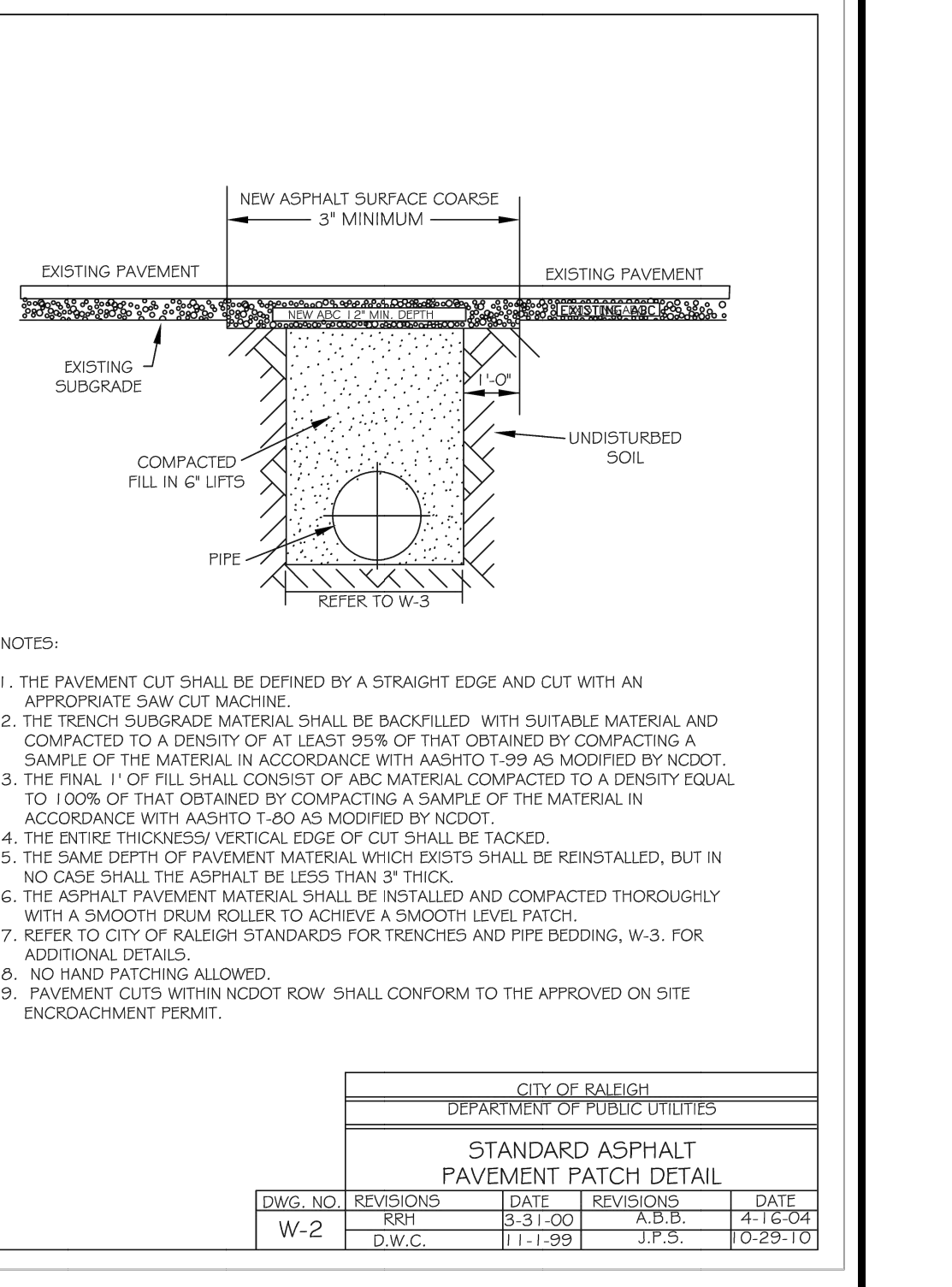
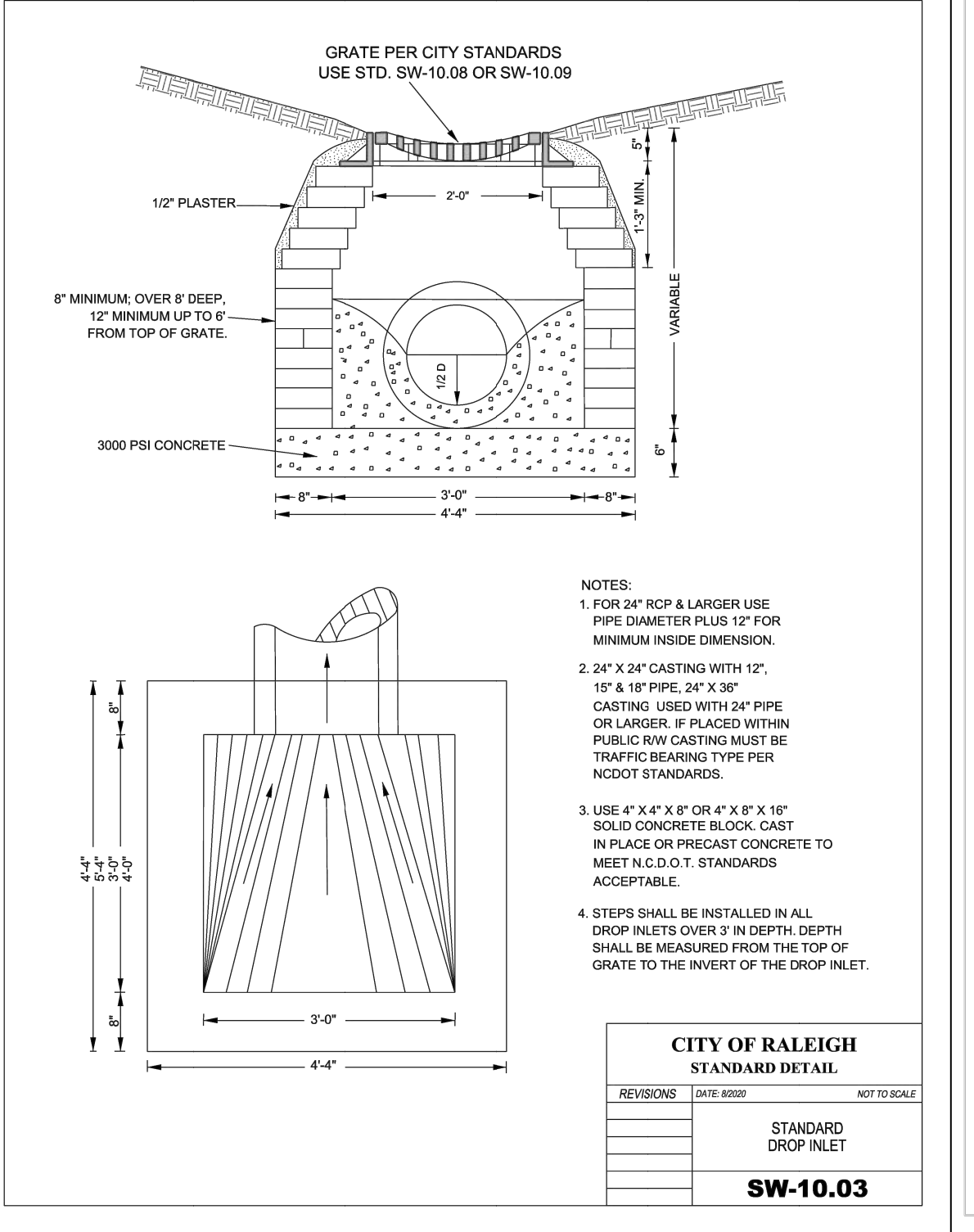
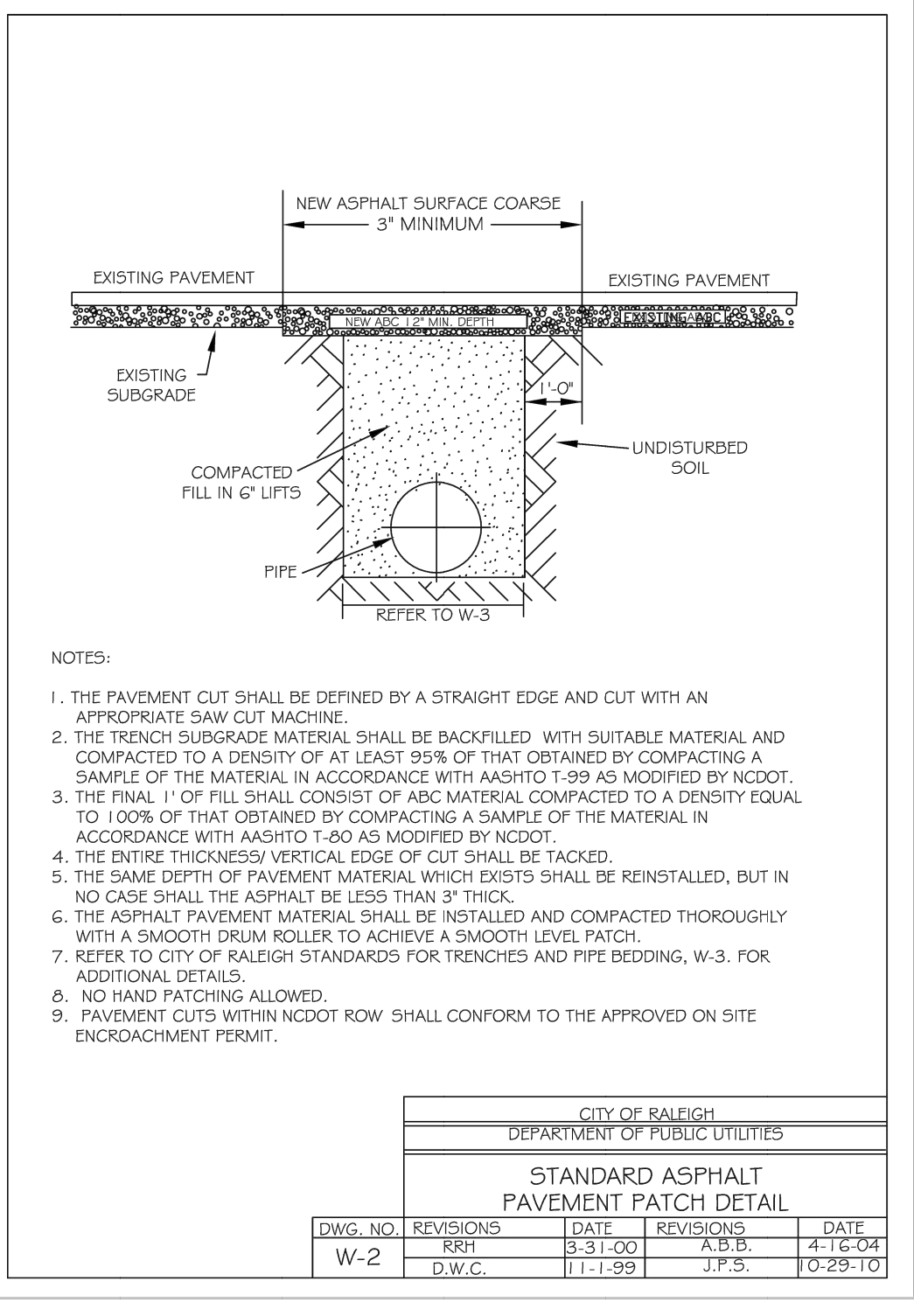
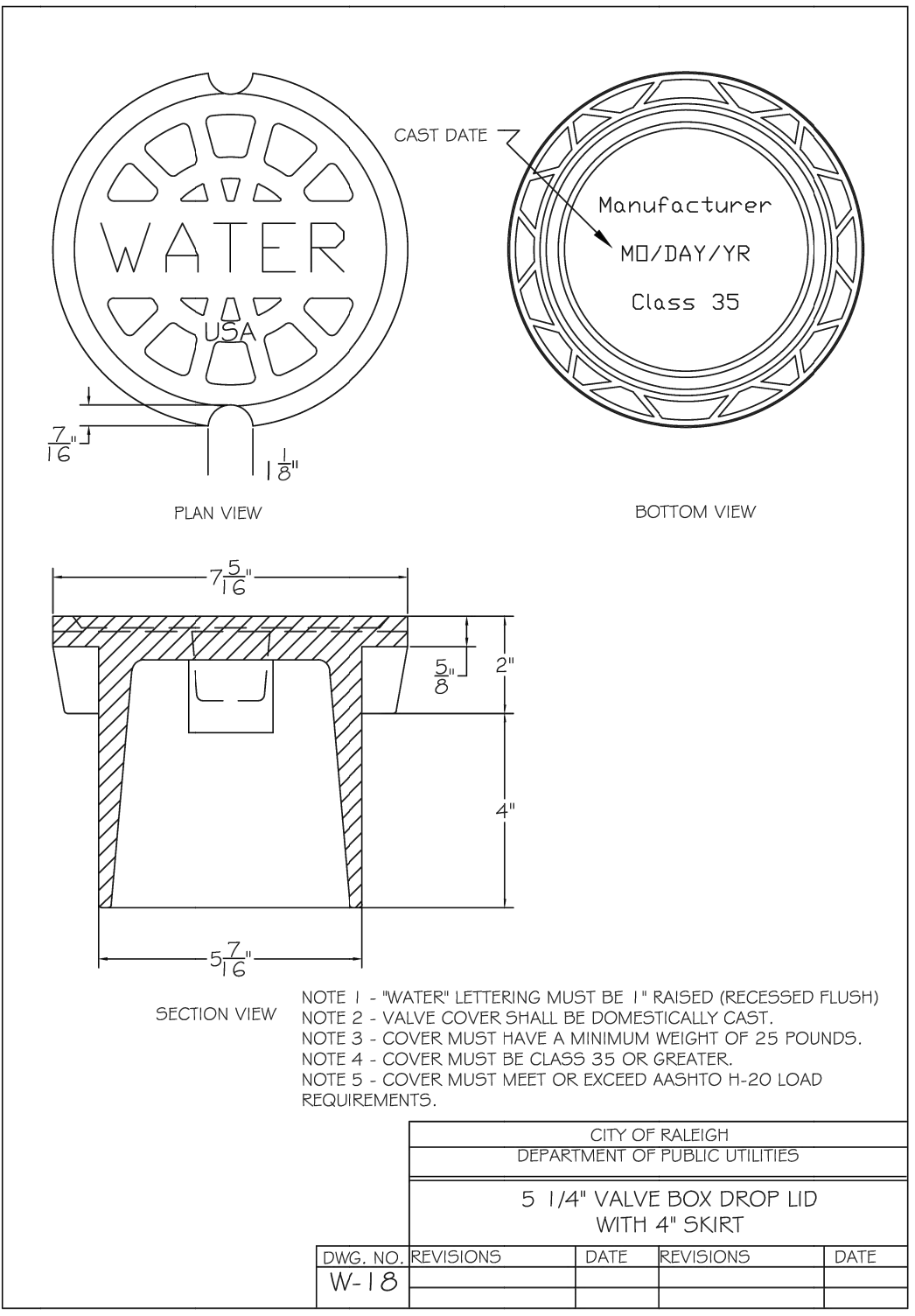
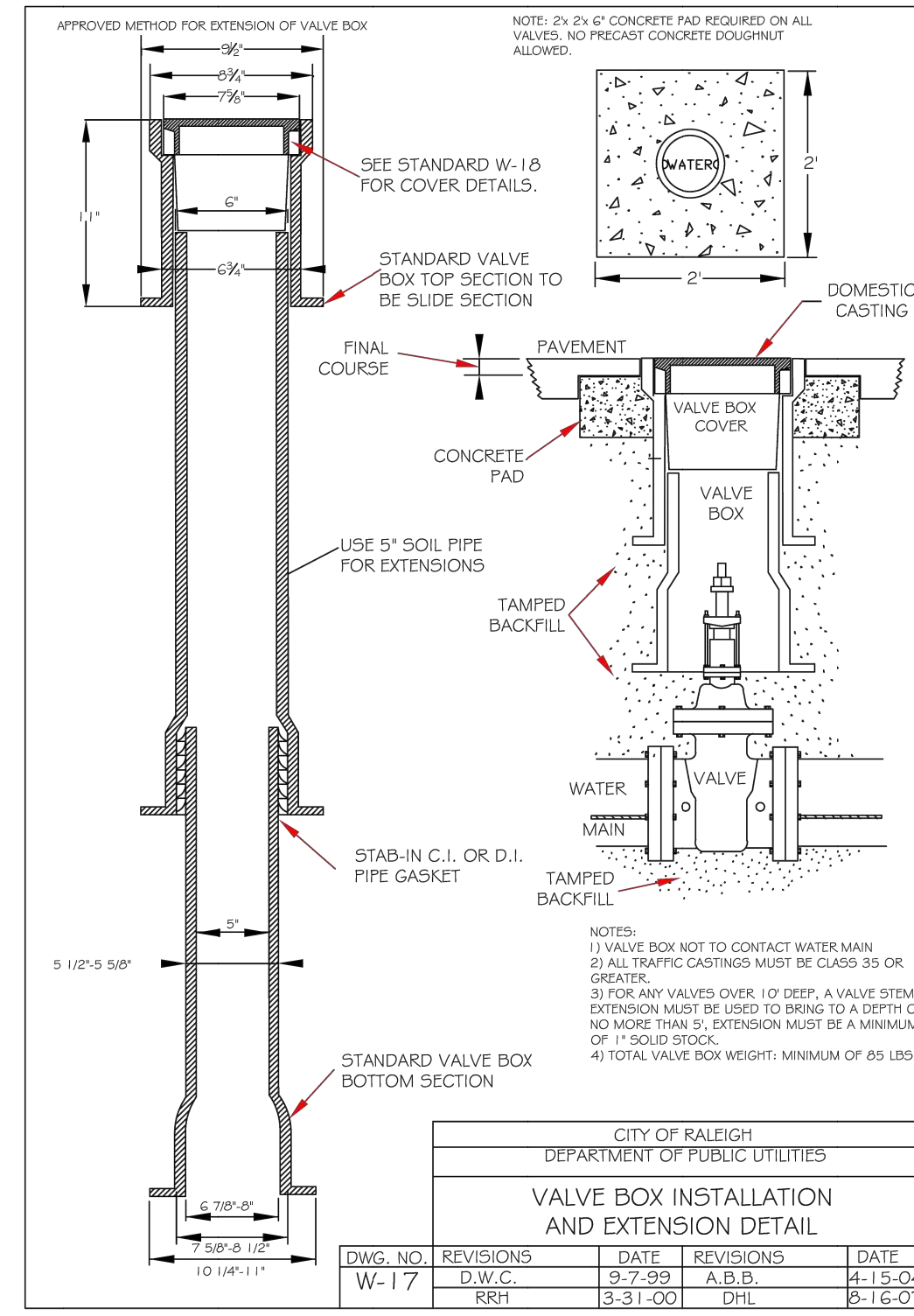
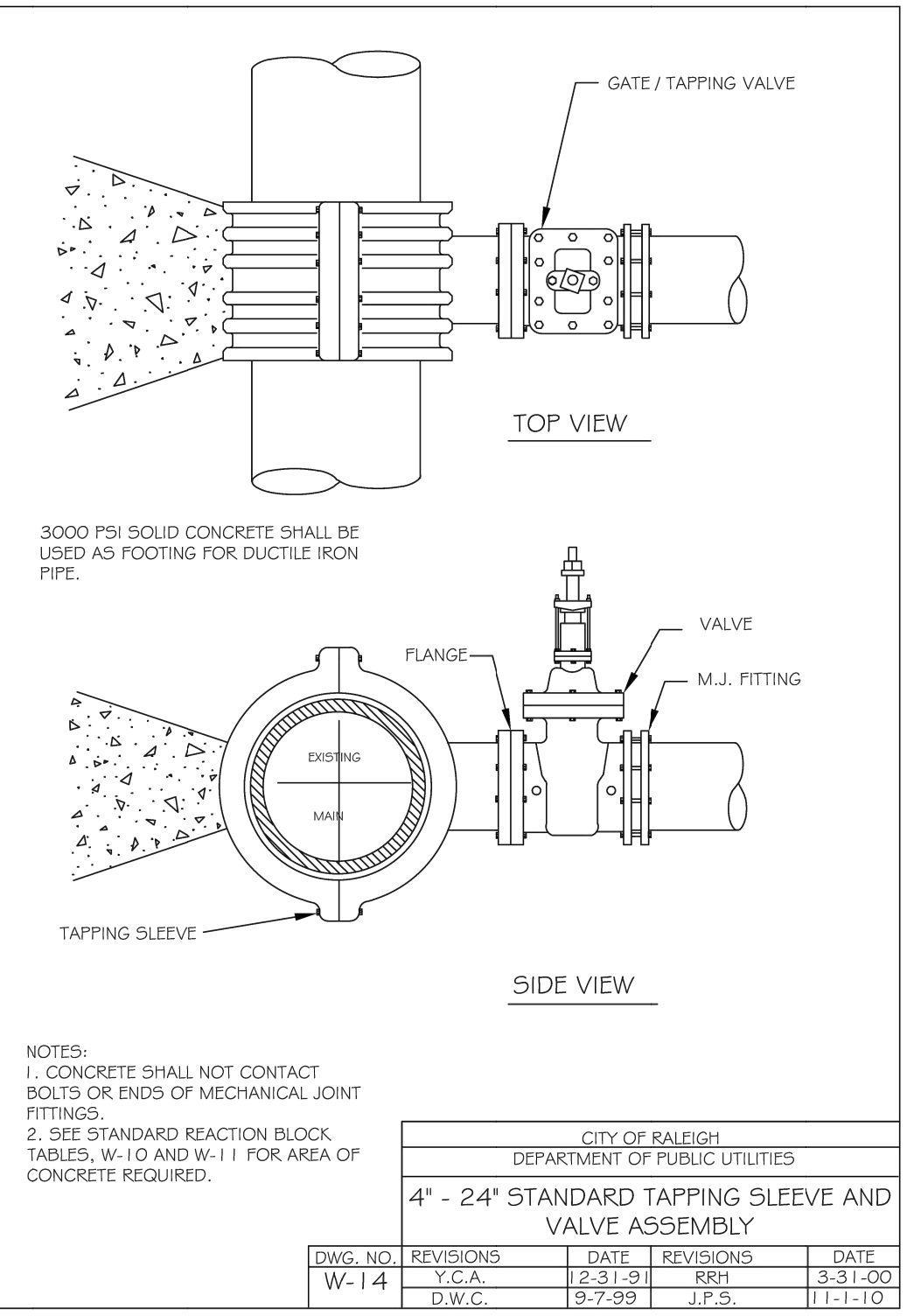
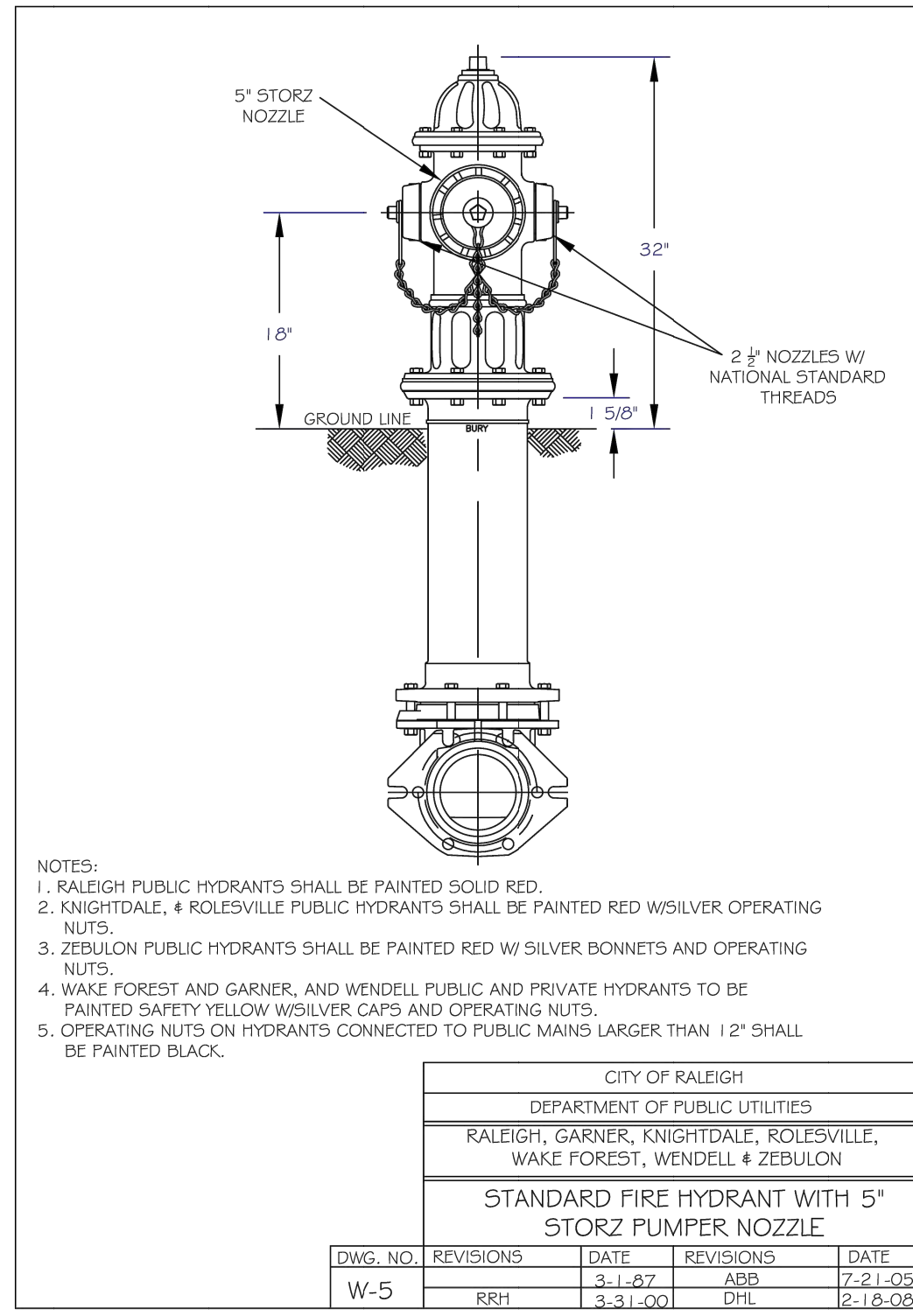
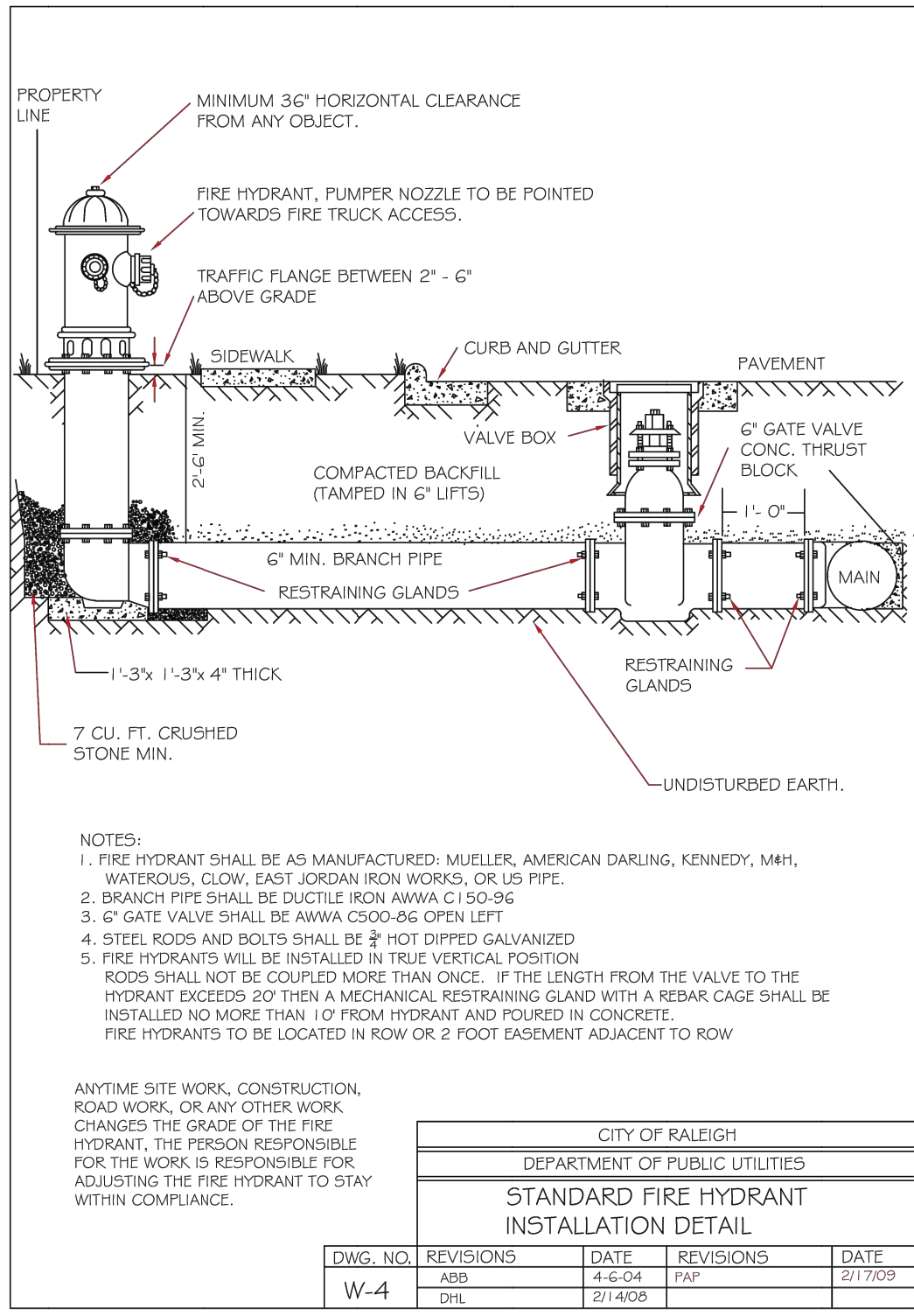
DUMPSTER DOOR N.T.S.



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COORDINATOR:
Blair Pittman

DRAWN BY:
N. Nyaupane

CHK BY: BPP

GREGORY POOLE RENTAL STORE
4210 GOBAL ST
RALEIGH, NC 27610

24 X 36

13 OCTOBER 2023

23-0189

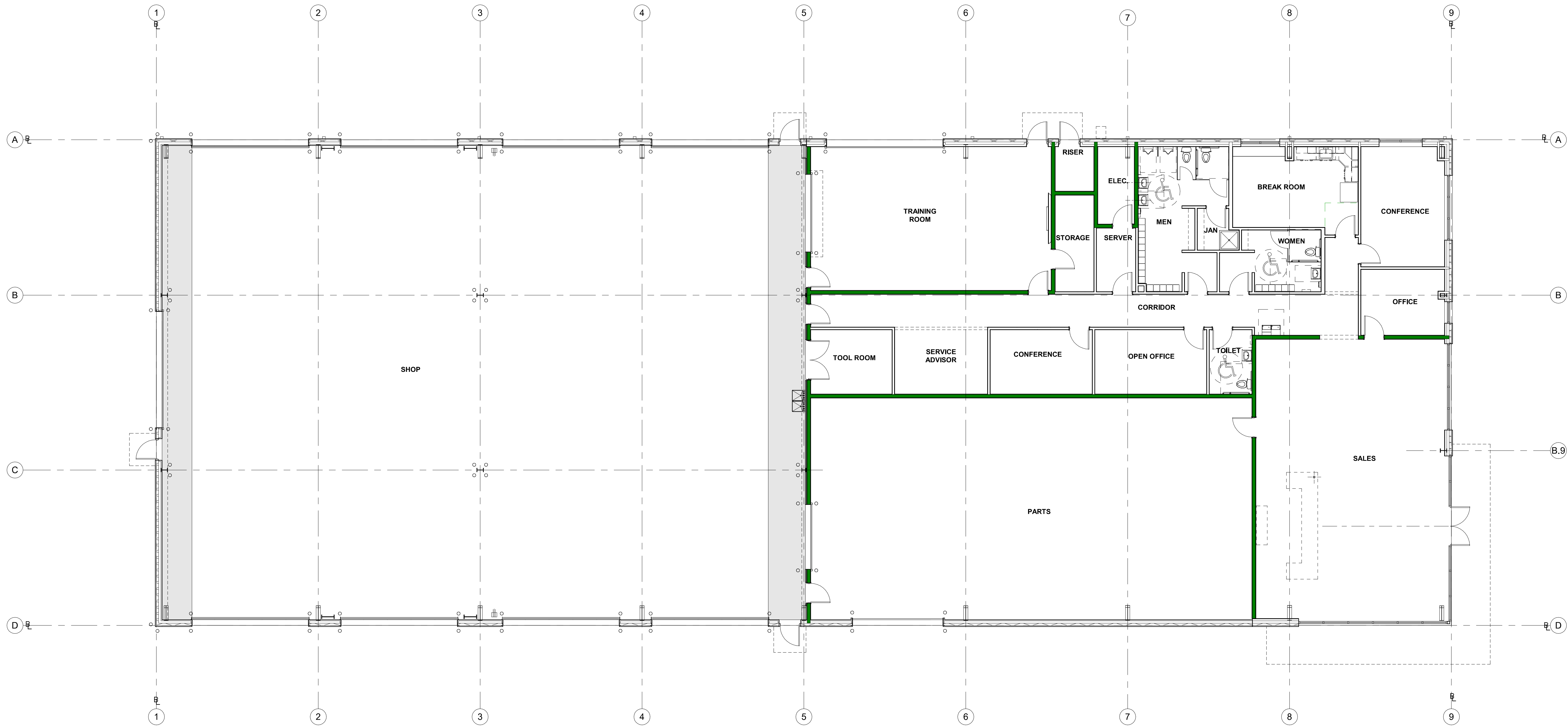
DETAILS

C7.2

BOBBITT
DESIGN-BUILD
600 Germantown Road | Raleigh, North Carolina 27607
Ph: (919) 851-1960 | Fax: (919) 851-1901

Z:\Shared\Design\2023\Gregory Poole Rental Store - New Hope - 23-0189\01 - Revit\15 - GP New Hope.rvt

10/11/2023 4:47:21 PM



1 FLOOR PLAN FOR UDO SITE SUBMITTAL
 1/8" = 1'-0"

**UDO COMPLIANCE FLOOR PLAN
 SEE A1.1 FOR CONSTRUCTION**

APPROVAL:
 DATE:

BOBBITT A&E, PLLC
 600 Germantown Road
 Raleigh, North Carolina 27607



COORDINATOR:
 JDF

DRAWN BY:
 Author

CHK BY: Checker

GREGORY POOLE RENTAL STORE
 GLOBAL STREET
 RALEIGH, NORTH CAROLINA

24 X 36
 1/8" = 1'-0"

10/11/2023

23-0189

FLOOR PLAN FOR
 RALEIGH UDO

SA1.1

APPROVAL:
DATE:

BOBBITT A&E, PLLC
600 Germantown Road
Raleigh, North Carolina 27607
Phone (919) 851-1862
design@bobbitt.com



COORDINATOR:
JDF

DRAWN BY:
LA

CHK BY:

GREGORY POOLE RENTAL STORE
GLOBAL STREET
RALEIGH, NORTH CAROLINA

24 X 36
1/8" = 1'-0"

10/11/2023

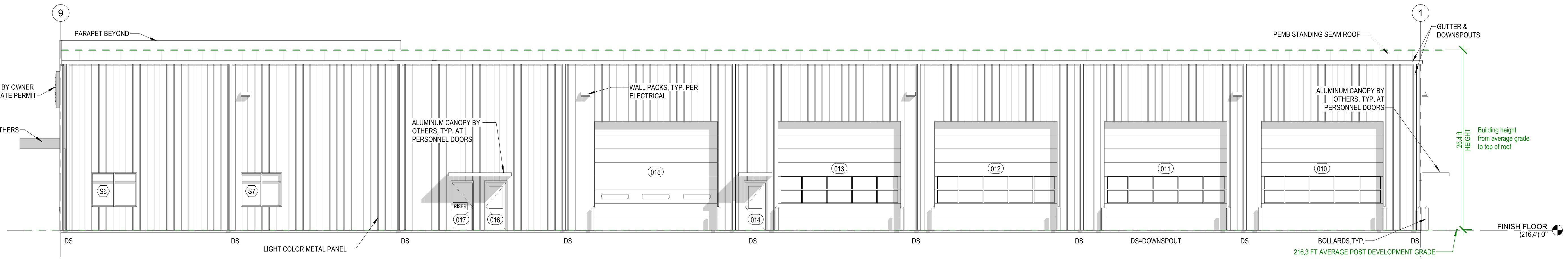
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ELEVATIONS FOR
RALEIGH UDO

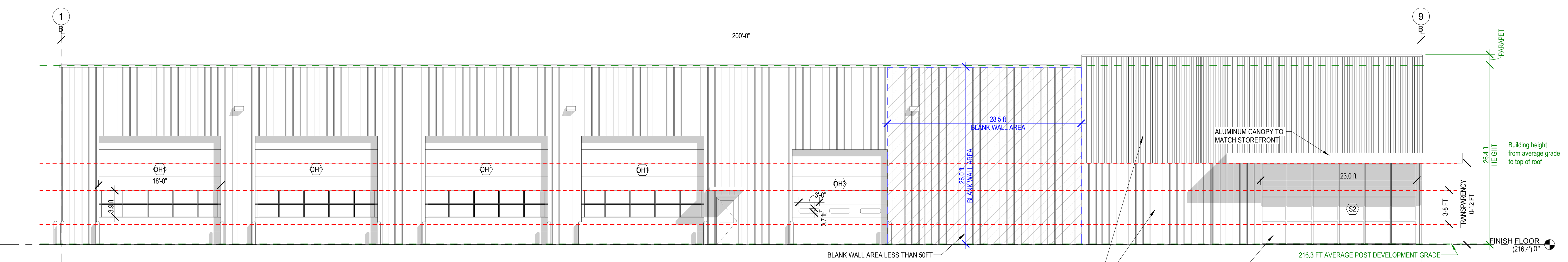
SA4.1

UDO COMPLIANCE ELEVATIONS
SEE A4.1 FOR CONSTRUCTION

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4 WEST ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION Facing S. New Hope Rd. (PRIMARY FACADE)
1/8" = 1'-0"

CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO)

BUILDING HEIGHT - SINGLE STORY

AVERAGE GRADE CALCULATIONS PER UDO SECTION 1.5.7
("building elevation most parallel and closest to the primary street setback")

NORTH ELEVATION (GLOBAL ST.) POST DEVELOPMENT GRADES

MIN. GRADE ELEV.:	216.2 FT
MAX. GRADE ELEV.:	218.4 FT
AVERAGE GRADE ELEV.:	216.3 FT
IMAX. ALLOWED BUILDING HEIGHT:	50 FT
BUILDING HEIGHT	26.4 FT

TRANSPARENCY UDO 1.5.9 AND 3.2.5 (F)
SINGLE STORY BUILDING
STREET-FACING BUILDING FACADES: NORTH, EAST

TRANSPARENCY NORTH (GLOBAL ST.)

Calculations:
TRANSPARENCY (0-12 FT)

W(FT)	H(FT)	AREA(SF)	QUANTITY	SUBTOTAL (SF)
S1	25.5	12	1	120
S3	13.3	8.5	1	113.1
S4	3.3	5	1	16.2
S5	10	5	1	50
TOTAL TRANSPARENCY NORTH (0-12 FT):				329 SF

TRANSPARENCY EAST (S. NEW HOPE RD)

Calculations:
TRANSPARENCY (0-12 FT)

W(FT)	H(FT)	AREA(SF)	QUANTITY	SUBTOTAL (SF)
S2	23	12	1	276.0
OH1	18	3.9	4	280.8
OH3	3	0.7	2.1	6.3
TOTAL TRANSPARENCY EAST (0-12 FT):				563.1 SF

TRANSPARENCY (3-8 FT)

W(FT)	H(FT)	AREA(SF)	QUANTITY	SUBTOTAL (SF)
S1	25	5	1	125
S3	13.3	5	1	66.5
S4	3.3	4.5	1	14.85
S5	10	4.5	1	45
TOTAL TRANSPARENCY NORTH (3-8 FT):				251.4 SF

TRANSPARENCY (3-8 FT)

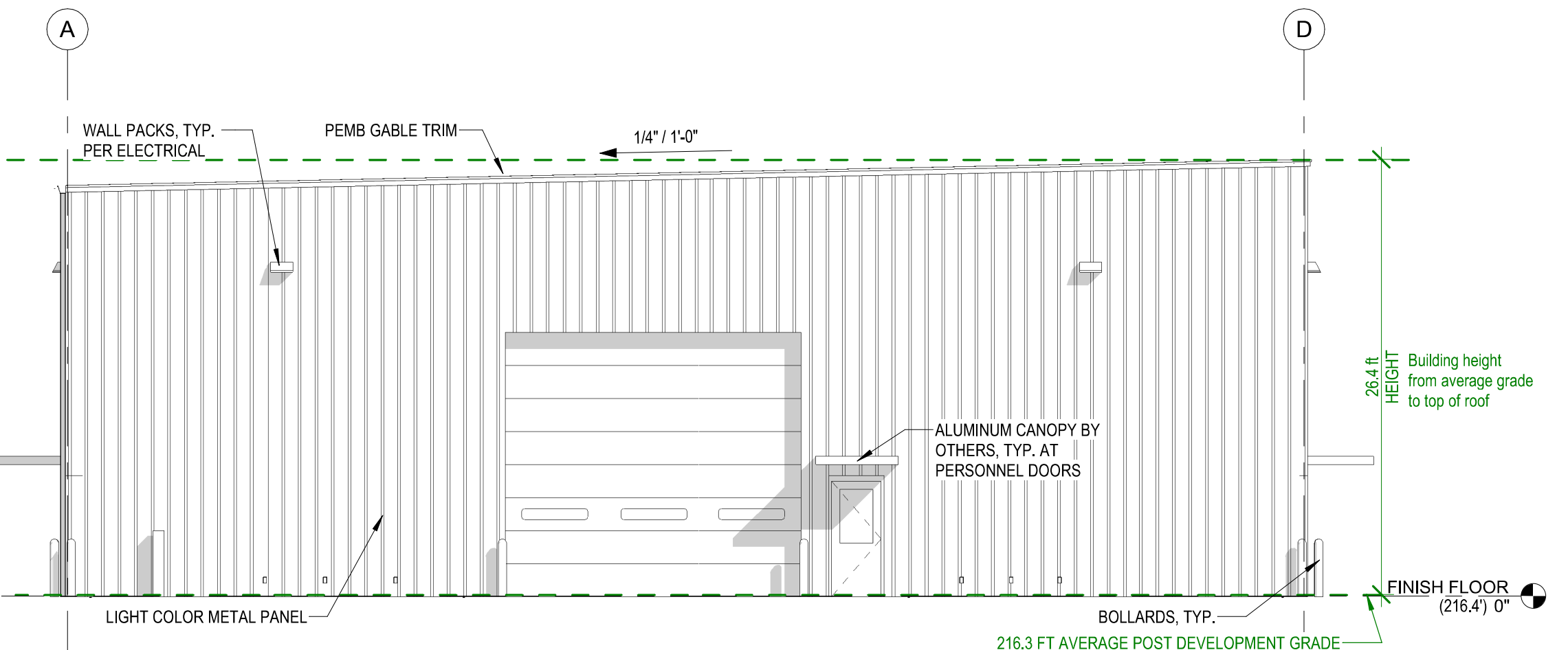
W(FT)	H(FT)	AREA(SF)	QUANTITY	SUBTOTAL (SF)
S2	23	5	1	115
OH1	18	3.9	4	280.8
OH3	3	0.7	2.1	6.3
TOTAL TRANSPARENCY EAST (3-8 FT):				402.1 SF

TRANSPARENCY - NORTH ELEVATION

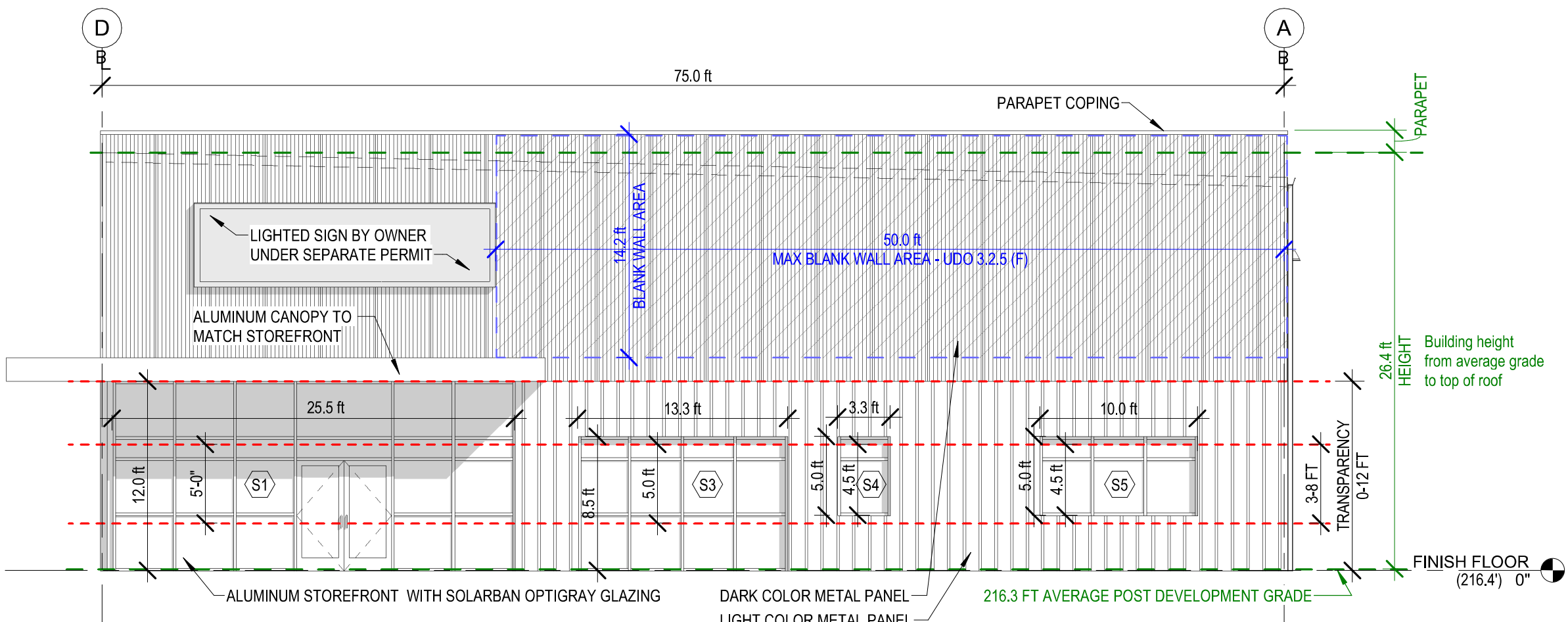
WALL AREA 0 TO 12 FT (W X H= 75FT X 12 FT)	900SF
IX REQUIRED TRANSPARENCY 20% OF 900 SF	180 SF
ACTUAL TRANSPARENCY NORTH 0-12 FT:	329 SF
IX REQUIRED TRANSPARENCY AT 3 TO 8 FT= 50% OF 180 SF:	90 SF
ACTUAL TRANSPARENCY NORTH 3-8 FT:	251.4 SF

TRANSPARENCY - EAST ELEVATION

WALL AREA 0 TO 12 FT (W X H= 200FT X 12FT)	2,400SF
IX REQUIRED TRANSPARENCY 20% OF 2400:	480 SF
ACTUAL TRANSPARENCY EAST 0-12 FT:	563.1 SF
IX REQUIRED TRANSPARENCY AT 3 TO 8 FT= 50% OF 480 SF:	96 SF
ACTUAL TRANSPARENCY EAST 3-8 FT:	402.1 SF



2 SOUTH (REAR) ELEVATION
1/8" = 1'-0"



1 NORTH (FRONT) ELEVATION Facing Global St. (PRIMARY FACADE)
1/8" = 1'-0"

Z:\Shared\Design\2023\UDO\Gregory Poole Rental Store - New Hope (24x36) (10/11/23) - Rev 01 (1/8" = 1'-0") New Hope.rvt

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