



Administrative Approval Action

Case File / Name: ASR-0068-2024
DSLC - THE MILL

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This vacant 1.56 acre parcel is located at the corner of Timber Ridge Drive and Spring Forest Road, east of Falls of Neuse Road, west of Atlantic Avenue, north of Forest Oaks Drive and south of Millbrook High School. It is specifically identified as 2210 Spring Forest Road and is zoned RX-3-CU.

REQUEST: The project proposes developing the site for multi-unit living. One three-story, 36,740 square foot apartment building is planned with 30 units and access from Timber Ridge Drive. A surface parking lot with 57 vehicular spaces is proposed along with an outdoor amenity area, short- and long-term bicycle parking facilities, landscaping, and other site improvements. The plan complies with the all zoning conditions (Z-61-23) related to allowed principal uses and maximum residential dwelling units.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 22, 2025 by JOHN A EDWARDS AND CO (JAECO).

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to SPR approval, appropriate permits shall be issued for all proposed retaining walls. Each wall less than 5 feet in height (as shown on plan, walls #1, 2 and 3) will be issued a zoning permit.
2. Prior to SPR approval, a miscellaneous zoning permit will be added for all site elements including landscaping and lighting.
3. If any exterior lighting is proposed, provide a lighting plan demonstrating compliance with UDO Section 7.4. The lighting plan must show the property lines, locations and specifications (including total height) for all exterior light fixtures (site and building), the cut sheets for each fixture type, and the footcandle measurements across the property up to and including along all property lines. Lighting plan shall be approved prior to SPR approval.



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4. Proposed plan shall show compliance with bicycle parking regulations described in UDO Section 7.1.7.K. This includes providing the standard detail, details of the specific facility(ies) which will be installed for short- and long-term parking, and location of the facilities on the site plan prior to SPR approval.

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | Right of Way Deed of Easement Required |
|-------------------------------------|---|

| | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Utility Placement Deed of Easement Required |
|-------------------------------------|--|

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.



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4. A fee-in-lieu for 1' (width) of sidewalk is paid to the City of Raleigh (UDO 8.1.10).

Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 street trees along Timber Ridge Dr.
3. A public infrastructure surety for (7) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant



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construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 14, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Keegan McDonald*  Digitally signed by Keegan.McDonald@raleighnc.gov
Reason: I am approving this document
Date: 2025.05.14 08:20:29-04'00' Date: 05/14/2025
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin



VICINITY MAP
NOT TO SCALE

Administrative Site Review Application

Planning Department, Raleigh, NC 27601-1000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building types and include the plan checked document when submitting.

Office Use Only: Case # _____ Planner (initials) _____

Please review UDO Section 10.2.6 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Portal and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒

| Building and Development Type | Check all that apply | Site Transaction History |
|---|---|--|
| <input type="checkbox"/> Detached | <input type="checkbox"/> General | Subdivision case # _____ |
| <input type="checkbox"/> Attached | <input type="checkbox"/> Mixed use | Scoping/initial plan case # _____ |
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Civic | Certificate of Appropriateness # _____ |
| <input checked="" type="checkbox"/> Apartment | <input type="checkbox"/> Cottage Court | Board of Adjustment # _____ |
| <input type="checkbox"/> Tiny house | <input type="checkbox"/> Frequent Transit | Zoning Case # _____ |
| <input type="checkbox"/> Open lot | <input type="checkbox"/> Development Option | Design Alternate # _____ |

GENERAL INFORMATION

Development name: THE MILL

Inside City limits? Yes ☒ No ☐

Property address(es): 2210 Spring Forest Road, Raleigh, NC 27615

Site P.I.N. (s): 1716796168

Please describe the scope of work. Include any additions, expansions, and uses (UDO § 1.4).

Construction of one (1) proposed building with all associated utilities amenities

Current Property Owner(s): Dana Sambrick

Company: The Mill Apartments, LLC Title: Manager

Address: 4944 Windy Hill Dr., Raleigh NC 27609

Phone #: 9196220678 Email: dsambrick@sambrick.us

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: ☐ Lessee or contract purchaser ☒ Owner's authorized agent ☐ Easement holder

Company: JAECO Address: 333 Wade Ave., Raleigh NC 27605

Phone #: 9196284428 Email: info@jaeco.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Dana Sambrick

Company: Sambrick Commercial Realty, LLC Title: Manager

Address: 4944 Windy Hill Dr., Raleigh, NC 27609

Phone #: 9196220678 Email: dsambrick@sambrick.us

Applicant Name: same Address: same

Company name: same Email: same

Phone #: same Email: same

DEVELOPMENT TYPE - SITE DATA TABLE

(Applicable to all developments)

Site Data Building Data

Zoning/district(s) (please provide the acreage of each):

2210 Spring Forest Road, Raleigh, NC 27615

Cross-site acreage: 1.37 AC

of parking spaces proposed: 57

Max # parking permitted (7.12 C) N/A

Overlay District (if applicable): N/A

Existing use (UDO § 1.4): Vacant lot

Proposed use (UDO § 1.4): Apartment

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ABBREVIATIONS

APPLICABLE TO ENTIRE PLAN SET

AC ACRE

APPROX APPROXIMATE

B-S BACK-TO-BACK

BFP BACKFLOW PREVENTER

BM BOOK OF MAPS

CB CATCH BASIN

CP CAST IRON PIPE

CL CENTERLINE

CO CLEANOUT

CONC CONCRETE

COR CITY OF RALEIGH

CP COMPUTED POINT

DB DEED BOOK

DI DROP INLET

DIP DUCTILE IRON PIPE

DIT DETAIL

ECM EX CONC MONUMENT

EIP EX IRON PIPE

EIR EX IRON ROD

ELEC ELECTRIC

ELEV ELEVATION

EOP EDGE OF PAVEMENT

ESMT EXISTENT

EX EXISTING

FDC FIRE DEPARTMENT CONNECTION

FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY

FI FIRE HYDRANT

FM FORCE MAIN

FP FLOODPLAIN

GIS GEOGRAPHIC INFORMATION SYSTEM

GM GAS METER

GP GALVANIZED PIPE

GV GUY ANCHOR

HB HOT BOX

HDPE HIGH DENSITY POLYETHYLENE

IPS IRON PIPE SET

LF LINEAR FEET

LP LIGHT POLE

LOC LOCATION

MAGS MAG NAIL SET

MH MANHOLE

NF NOW OR FORMERLY

NCDOT NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

PG PAGE

PP POWER POLE

PROP PROPOSED

PVC POLYVINYL CHLORIDE

RCP REINFORCED CONCRETE PIPE

ROW RIGHT-OF-WAY

RW RIGHT-OF-WAY

RSDM RALEIGH STREET DESIGN MANUAL

SF SQUARE FEET

SS SANITARY SEWER

STW SETBACK

STD STANDARD

SWM STORMWATER MANAGEMENT

TBA TO BE ABANDONED

TBD TO BE DETERMINED

TBR TO BE REMOVED

TBRL TO BE RELOCATED

TY ELECTRIC TRANSDUCER

TP TELEPHONE FEEDBACK

TYP TYPICAL

UNK UNKNOWN

WV WATER VALVE

WLE WATER LINE EMBIT

WM WATER METER

YI YARD INLET

THE MILL

ASR-0068-2024

2210 SPRING FOREST ROAD

RALEIGH, NC 27615

09/12/2024

12/12/2024

02/03/2025

03/26/2025

LAST REVISED: 04/22/2025

Ordinance No. 2024-039 ZC 886

Adopted: 6/4/2024

Page 1

Effective: 6/9/2024

3. Z-61-23 – 2210 Spring Forest Road, located 1/2 mile west of the intersection of Spring Forest Road and Atlantic Avenue, being Wake County PIN 1716796168. Approximately 1.56 acres rezoned to Residential Mixed Use, 3 stories, with Conditions (RX-3-CU).

Conditions dated: March 20, 2024

- The following principal uses listed in Allowed Principal Use Table (UDO Sec. 6.1.4) shall be prohibited: **NONE OF THE USE TYPES LISTED IN a-g ARE PROPOSED**
 - Boardinghouse
 - Dormitory, fraternity, sorority
 - Telecommunication tower
 - Bed and breakfast
 - Hospitality house
 - Eating establishment
 - Retail sales
- There shall be no more than thirty (30) residential dwelling units located on the Property. **30 UNITS ARE PROPOSED**

SHEET INDEX

| C-0.00 | COVER SHEET |
|---------|---|
| C-1.00 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| C-2.00 | SITE PLAN |
| C-3.00 | STORMDRAIN, STORMWATER MANAGEMENT, & GRADING PLAN |
| C-4.00 | UTILITY PLAN |
| C-5.01 | FIRE COVERAGE PLAN |
| LA-1 | LANDSCAPE PLAN |
| LA-2 | LANDSCAPE DETAILS AND NOTES |
| A201 | ELEVATIONS |
| 24-036A | SITE LIGHTING ARRANGEMENT |

SITE DATA

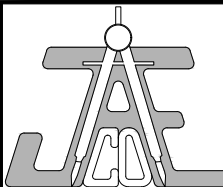
| | |
|---|---------------------------------------|
| SITE ADDRESS: | 2210 SPRING FOREST, RALEIGH, NC 27615 |
| WAKE COUNTY PIN#: | 1716796168 |
| ZONING: | RX-3-CU |
| EXISTING AREA: | 59,894 SF (1.37 AC) |
| AREA TO BE DEDICATED: | 3,294 SF (0.07 AC) |
| NET AREA: | 56,600 SF (1.30 AC) |
| PRIMARY STREET PER TO GA-18 & SEC.1.5.4.C: | SPRING FOREST ROAD |
| MIXED USE APARTMENT (UDO SEC. 3.2.4.A): | REQUIRED PROVIDED |
| MINIMUM LOT SIZE: | 7,500 SF 56,640 SF |
| MINIMUM LOT WIDTH: | N/A |
| OUTDOOR AMENITY AREA: | 5,664 SF (10%) 6,508 SF (11%) |
| MAXIMUM BUILDING HEIGHT: | 50' (3 STORIES) 42'-10" (3 STORIES) |
| EXISTING USE: | VACANT |
| PROPOSED USE: | APARTMENT |
| REQUIRED: | PROVIDED |
| VEHICLE PARKING: | 83 MAXIMUM 57 SPACES |
| SHORT TERM BICYCLE PARKING: | 4 SPACES 4 SPACES |
| LONG TERM BICYCLE PARKING: | 1 SPACE/8" * 54 8" 8 SPACES |
| BUILT UPON AREA: | EXISTING PROPOSED |
| ONSITE: | 8 SF (0.00 AC) 37,944 SF (0.85 AC) |
| OFFSITE: | 3,410 SF (0.08 AC) 5,918 SF (0.13 AC) |
| PRINCIPAL BUILDING SETBACKS (UDO SEC. 3.2.4.B): | REQUIRED PROVIDED |
| PRIMARY STREET: | 5' 7.8' |
| SIDE STREET: | 5' 24' |
| SIDE SITE LINE: | 0' OR 6' 62.3' |
| REAR SITE LINE: | 0' OR 6' N/A |
| ALLEY: | 4' OR 20' N/A |
| PARKING SETBACKS (UDO SEC. 3.2.4.C): | REQUIRED PROVIDED |
| PRIMARY STREET: | 10' 14.8' |
| SIDE STREET: | 10' 17.8' |
| SIDE LOT LINE: | 0' 6' |
| REAR LOT LINE: | 0' N/A |
| ALLEY: | 4' N/A |

ATTENTION CONTRACTORS

The Contractor responsible for the installation of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and scheduling a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible escalation from future work in the City of Raleigh.



JAECO
Consulting Engineers and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

Raleigh, NC 27615

THE MILL APARTMENTS LLC
4944 Windy Hill Dr. Raleigh, LLC
Raleigh, NC 27609

Call before you dig.

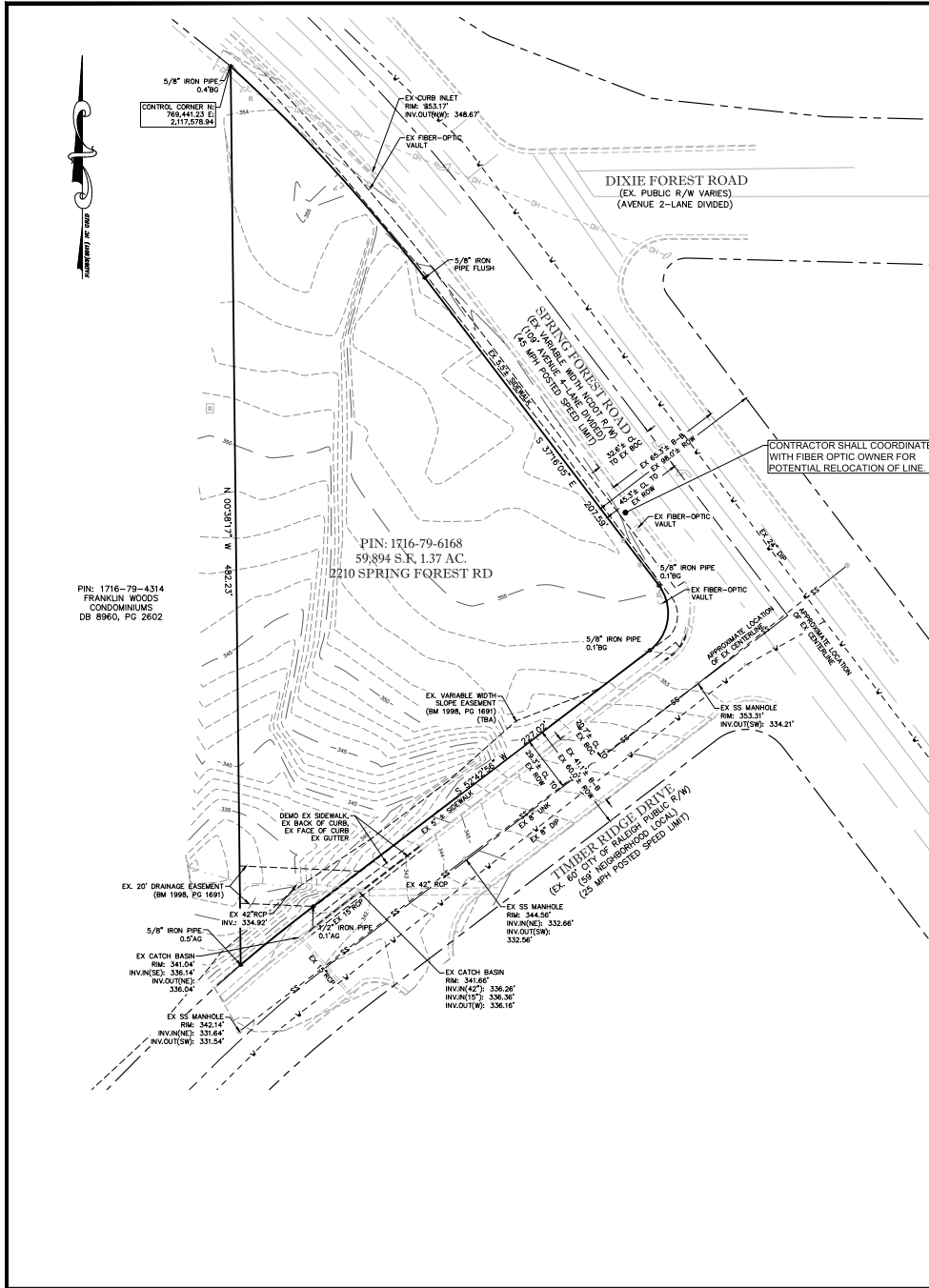
LEGEND

COVER SHEET

| Revision | Number | Description | Date |
|----------|-----------------------|-------------|----------|
| 1 | PER CITY COMMENTS | | 1/13/24 |
| 2 | PER CITY COMMENTS | | 03/05/25 |
| 3 | PER CITY COMMENTS | | 03/05/25 |
| 4 | PER PLANNING COMMENTS | | 04/22/25 |

JAECO # 193-01
DRAWING SCALE: N/A
DRAWN BY: CMC
CHECKED BY: TT
DATE ISSUED: 04/13/2024

C-0.00



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 ("MISS UTILITY") MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
4. UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.



JAECO
Consulting Engineers and Land Surveyors



















NC License F-0289
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Phone: (919) 828-4428

Raleigh, NC 27615

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Raleigh, NC 27609

Call before you dig.

LEGEND

-  DENOTES CONCRETE
 DENOTES ADDRESS
 DENOTES GREENWAY
-  PROPERTY LINE
 RIGHT OF WAY LINE
 PROFILE LINE NOT SURVEYED
 EASEMENT LINE
 OVERHEAD POWERLINE
-  CB  PH  LP  WV  SSMH
-  GW  MW  PP  TP  SM

EXISTING CONDITIONS AND DEMOLITION PLAN

| Revision | Description | Date |
|----------|-----------------------|----------|
| 1 | PER CITY COMMENTS | 10/12/24 |
| 2 | PER CITY COMMENTS | 03/03/25 |
| 3 | PER CITY COMMENTS | 03/26/25 |
| 4 | PER PLANNING COMMENTS | 04/22/25 |

JAECO # 153-01

DRAWING SCALE: 1" = 30'

DRAWN BY: CHC

CHECKED BY: TT

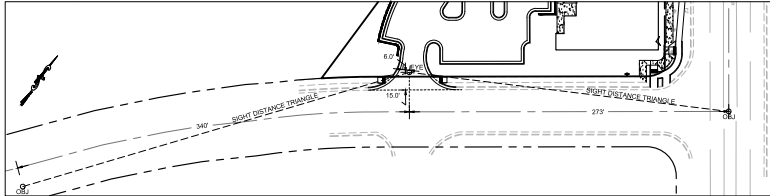
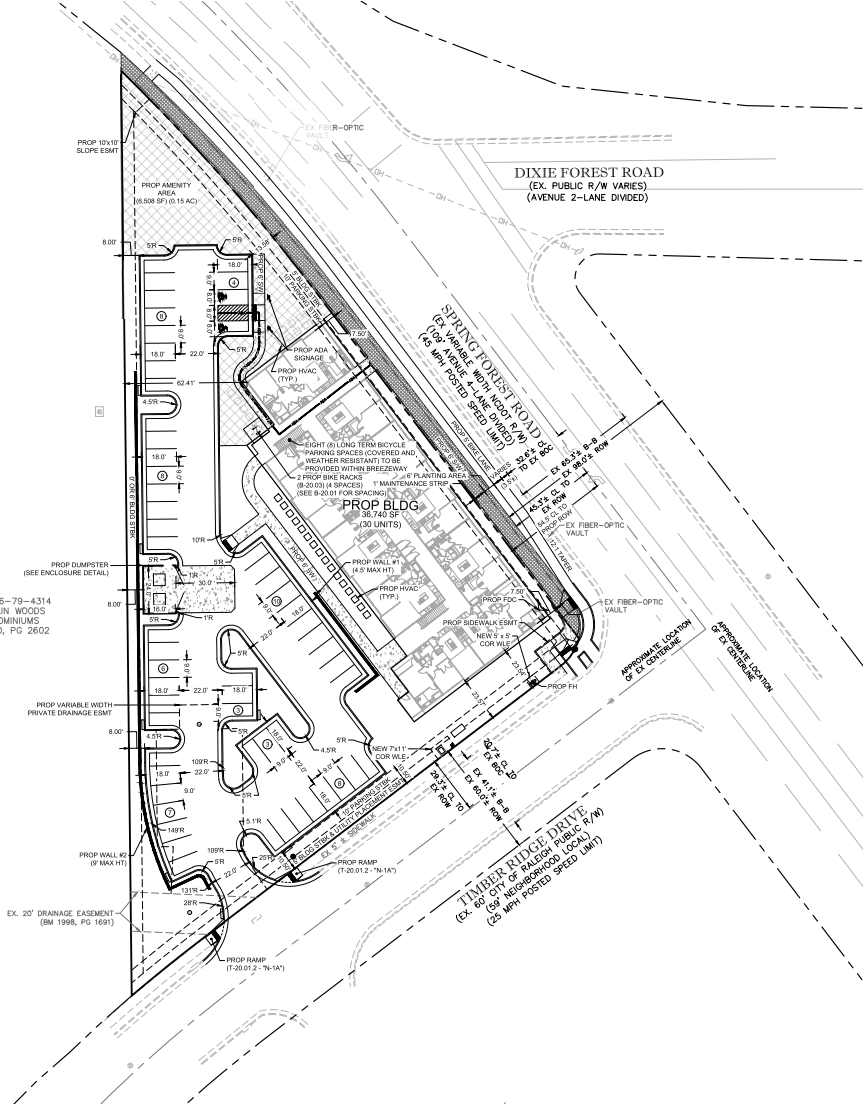
DATE ISSUED: 06/12/2024



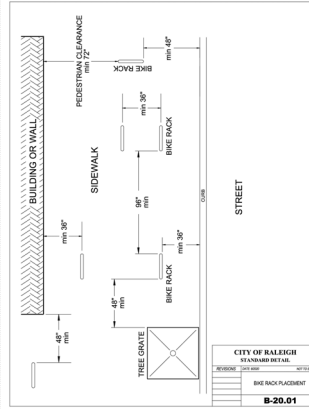
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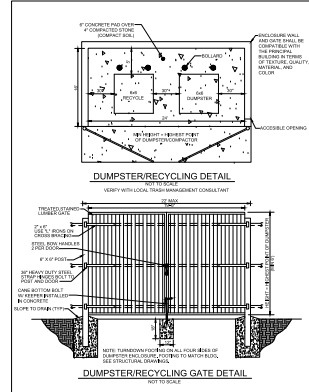
PIN: 1716-79-4314
FRANKLIN WOODS
CONDOMINIUMS
DB 8960, PG 2602



SOUTH DRIVEWAY SIGHT DISTANCE EXHIBIT
SCALE: 1" = 50'



CITY OF RALEIGH
STANDARD DETAIL
B-20.01



ACCESSIBLE PARKING SIGNAGE DETAIL
N.T.S.

GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 "TURNS UTILITY" MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
4. UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD MOST CURRENT EDITION.
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 996-2469 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGH.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO SECTION205@CITYOFRALEIGH.GOV.
6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

TRANSPORTATION NOTES:

1. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
2. HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-20.01.2.
3. SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
4. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BENCH, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 1 FEET ABOVE THE CURB LINE ELEVATION OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
5. ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARDS T-10.01.1, T-10.01.2, AND T-10.01.3 AS NOTED.
6. ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
7. UNLESS OTHERWISE SHOWN, TURNOUT ROPS TO BE MINIMUM OF 30' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNOUTS TO BE A MINIMUM OF 20'.

SIGNAGE, INCLUDING BUILDING SIGNAGE, SHALL BE PERMITTED UNDER SEPARATE COVER.
TRANSPARENCY IS NOT REQUIRED FOR RESIDENTIAL USES PER UDO 1.5.9.A

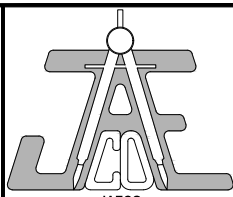
NEIGHBORHOOD TRANSITION YARD IS NOT REQUIRED PER UDO 3.5.1.A.1

DEVELOPMENT IS EXEMPT FROM CROSS ACCESS REQUIREMENTS PER UDO 8.5.0.2.5.1

DEVELOPMENT IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER TABLE FOUND IN UDO 8.5.2.A.2.5 (RX-3 DISTRICT LESS THAN 5 ACRES)

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

CONTRACTORS SHALL COORDINATE WITH FIBER OPTIC OWNER FOR POTENTIAL RELOCATION OF LINE.



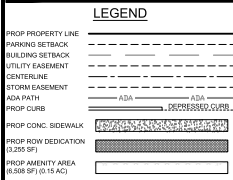
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SITE PLAN

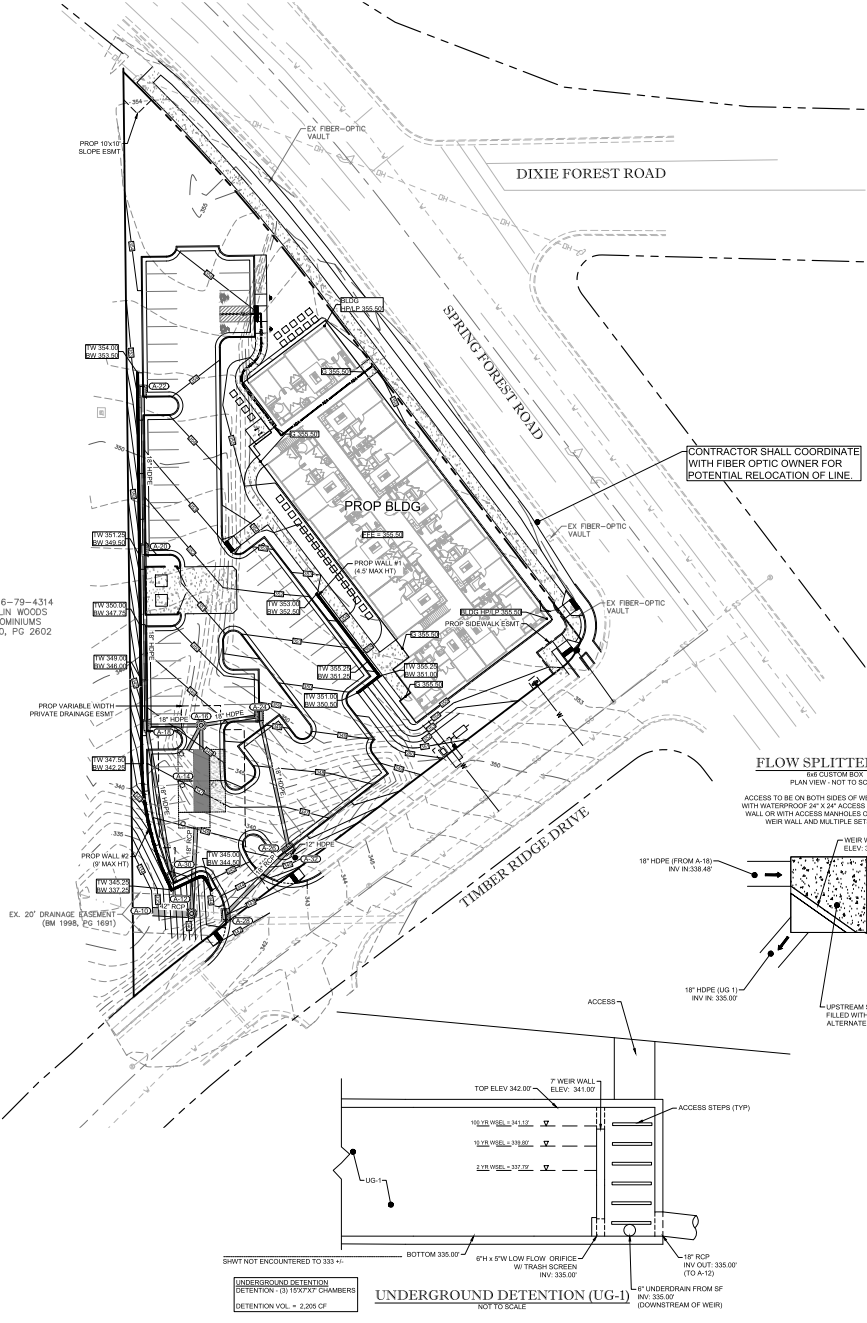
| Revision | Number | Description | Date |
|----------|--------|-----------------------|----------|
| 1 | 1 | PER CITY COMMENTS | 03/12/24 |
| 2 | 2 | PER CITY COMMENTS | 03/26/25 |
| 3 | 3 | PER CITY COMMENTS | 03/26/25 |
| 4 | 4 | PER PLANNING COMMENTS | 04/22/25 |

JAECO # 180-01
DRAWING SCALE: 1" = 30'
DRAWN BY: CMC
CHECKED BY: TT
DATE ISSUED: 06/12/2024

C-2.00



PN: 1716-79-4314
FRANKLIN WOODS
CONDOMINIUMS
DB 8950, PG 2602



| AVERAGE GRADE CALCULATIONS | | | |
|----------------------------|--------|--------|--------|
| PRIMARY STREET FRONTAGE | LOW | HIGH | AVG |
| Building #1 | 895.50 | 895.50 | 895.50 |

When property lines coincide with the road, building heights measured from the average improved grade to the top of the highest point of a building or the roof. Average grade is considered to be the average point development grade along the building elevation most parallel and closest to the primary street setback. Where a site is not determined to have more than one primary street, average grade shall be:

| RETAINING WALL TABLE | | |
|----------------------|------------|--------|
| #1 | MAX HEIGHT | LENGTH |
| #1 | 4.5' | 67' |
| #2 | 9' | 289' |

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 8" MIN. UTILITY "TYPICAL" W/OUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE EQUIPPED WITH NPT THREADS AND WITH A 5 INCH STORZ CONNECTION.
- UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.

UNDERDRAIN NOTES:

- AT LEAST ONE CLEAN OUT SHALL BE PROVIDED AT THE LOW POINT OF EACH UNDERDRAIN.
- UNDERDRAINS SHALL BE 4" SCHEDULE 40 OR SDR35 SMOOTH WALL PVC.
- PIPE SOCKS ARE NOT PERMITTED.
- UNDERDRAINS SHALL BE LAID FLAT.
- PIPES SHALL HAVE GLUED FITTINGS WITH SCREW TYPE CAPS.
- THE ENDS OF THE UNDERDRAIN PIPES SHALL BE CAPPED.

SAND FILTER NOTES:

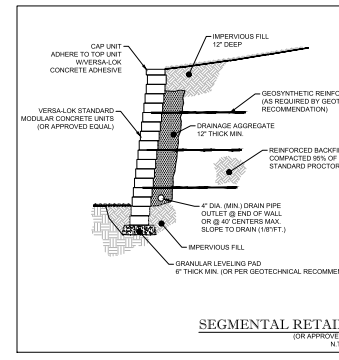
- SEASONAL HIGH WATER TABLE (SHWT) TO BE DETERMINED. IN THE EVENT SEPARATION BETWEEN SHWT & FACILITY BOTTOM, LESS THAN 12" AN IMPERMEABLE LAYER SHALL BE PROVIDED.
- THE SAND MEDIA SHALL BE CLEAN, WASHED, COARSE MASONRY SAND SUCH AS ASTM C33 OR EQUIVALENT. THE SAND PARTICLES SHALL BE LESS THAN 2MM AVERAGE DIAMETER.
- MAINTAIN SAND FILTER MEDIA SUCH THAT INFILTRATION RATE IS GREATER THAN OR EQUAL TO TWO INCHES PER HOUR (CPH).

CONFINED SPACE NOTE:

NOTE THAT MAINTENANCE OF ONE OR MORE STORMWATER MANAGEMENT FACILITIES MAY BE SUBJECT TO "CONFINED SPACE" AND/OR "PERMIT REQUIRED CONFINED SPACE" PROTOCOLS AS DEFINED BY TITLE 20 OF THE CODE OF FEDERAL REGULATIONS (CFR), SUBTITLE "B" CHAPTER XVII SPECIFICALLY, BUT NOT LIMITED TO, PART 1910 AND PART 1926. OWNER SHALL NOTIFY PARTY RESPONSIBLE FOR ENTRY (DIRECT EMPLOYEE, CONTRACTOR AND THEIR EMPLOYEE, ETC.) OF POTENTIAL REQUIREMENTS AND OBTAIN PERMITS AND/OR CERTIFICATIONS FOR THE SAME PRIOR TO COMMENCING WORK.

RETAINING WALL NOTES

- JAECD IS NOT RESPONSIBLE FOR STRUCTURAL DESIGN OF RETAINING WALLS. DETAIL SHOWN IS CONCEPTUAL ONLY AND STRUCTURAL DESIGN SHALL BE PROVIDED BY NORTH CAROLINA LICENSED ENGINEER.
- BLOCK COLOR TO BE SPECIFIED BY OWNER. DO NOT MIX UNITS FROM DIFFERENT VENDORS ON SAME WALL.
- DO NOT USE SEGMENTAL GRAVITY WALLS WHEN BURCHARGE LOADS WILL BE WITHIN 5' OF THE BACK OF THE END CAP UNIT.
- DO NOT USE SEGMENTAL GRAVITY WALLS WHEN VERY LOOSE OR SOFT SOIL OR MUD IS BELOW WALL.
- SEGMENTAL GRAVITY WALL HEIGHT SHALL NOT EXCEED 60'.
- DESIGN OF ALL RETAINING WALLS SHALL BE COMPLIANT WITH NORTH CAROLINA BUILDING CODE SECTION 1910.
- DETAILED WALL DESIGN DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA AND SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.
- A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA SHALL PERFORM CONSTRUCTION OBSERVATIONS, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY THAT THE PROPOSED WALL IS AS CONSTRUCTED PER THE ENGINEERED DRAWINGS, IN COMPLIANCE WITH NORTH CAROLINA BUILDING CODE SECTIONS 1910 AND 1906.
- MANUFACTURER SHALL PROVIDE CALCULATIONS COMPLETED BY A LICENSED STRUCTURAL ENGINEER.
- SAFETY RAILING AND/OR FALL PROTECTION REQUIRED FOR ALL WALLS GREATER THAN OR EQUAL TO 30' MEASURED FROM GRADE BELOW TO ANY POINT WITHIN 30' HORIZONTAL TO THE EDGE.
- SAFETY RAILING, WHERE REQUIRED, SHALL COMPLY WITH NORTH CAROLINA BUILDING CODE SECTION 1910.
- CAST IN PLACE WALL SUBSTITUTION SHALL PROVIDE MASONRY VENEER WITH MATERIAL, TEXTURE, QUALITY, AND COLOR TO BE COMPATIBLE WITH PRINCIPAL BUILDING.
- CONCENTRATED FLOW SHALL BE DIVERTED AWAY FROM AND AROUND WALLS.
- CONTRACTOR SHALL NOTIFY ENGINEER OF CONFLICTS WITH CONCENTRATED FLOW.



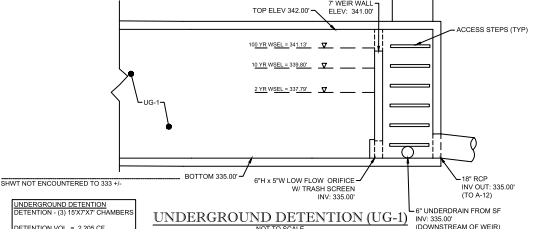
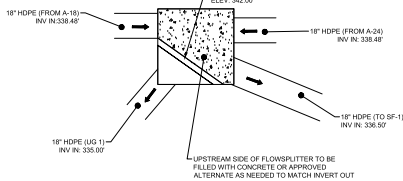
SEGMENTAL RETAINING WALL DETAIL

(OR APPROVED ALTERNATE)
1/2 S

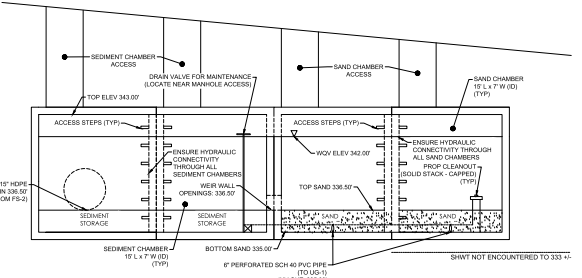
FLOW SPLITTER (A-16)

PLAN VIEW - NOT TO SCALE

ACCESS TO BE ON BOTH SIDES OF WEIR WALL - EITHER WITH WATERPROOF 3/4" X 3/4" ACCESS DOOR SET IN WEIR WALL OR WITH ACCESS MANHOLES ON BOTH SIDES OF WEIR WALL AND MULTIPLE SETS OF STEPS



UNDERGROUND DETENTION (UG-1)
NOT TO SCALE



SAND FILTER (SF-1)

NOT TO SCALE

SAND FILTER
SEGMENT - (2) 15X7'4" CHAMBERS
SAND - (2) 15X7'4" CHAMBERS
W/O PROVIDED 2.310 CF

REFER TO INSTALLATION SPECIFICATIONS FOR INFORMATION ON BEDDING MATERIALS AND OTHER INSTALLATION REQUIREMENTS.

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Raleigh, NC 27615

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Raleigh, NC 27609

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| LEGEND | |
|------------------|------------|
| EX MAJOR CONTOUR | ---XXX--- |
| EX ELEV LABEL | --- |
| EX MINOR CONTOUR | ---XXXX--- |
| EX ELEV LABEL | --- |
| PROP. CONTOUR | ---XXX--- |
| EX ELEV LABEL | --- |
| PROP. ADA PATH | ---ADA--- |

| SPOT KEY | |
|----------|--------------------------|
| BC | BOTTOM OF CURB |
| BR | BOTTOM OF RISER |
| BW | BOTTOM OF WALL |
| PFE | FINISHED FLOOR ELEVATION |
| G | GRADE |
| HP | HIGH POINT |
| LP | LOW POINT |
| TC | TOP OF CURB |
| TR | TOP OF RISER |
| TW | TOP OF WALL |

STORMDRAIN, STORMWATER MANAGEMENT, & GRADING PLAN

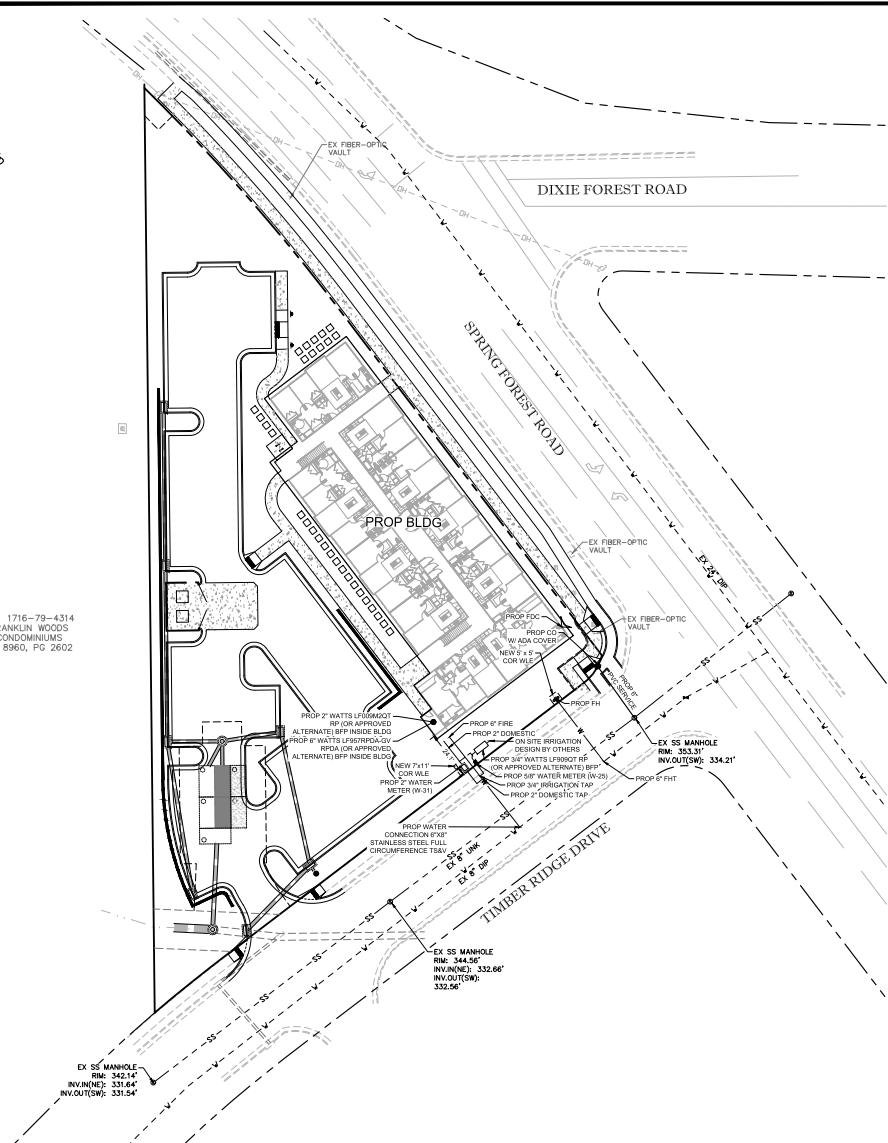
| Revision | Number | Description | Date |
|----------|-----------------------|-------------|------|
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| 2 | PER CITY COMMENTS | 03/03/25 | |
| 3 | PER CITY COMMENTS | 03/06/25 | |
| 4 | PER PLANNING COMMENTS | 04/22/25 | |

JAECD # 189-01
DRAWING SCALE: 1" = 30'
DRAWN BY: CMC
CHECKED BY: TT
DATE ISSUED: 06/12/2024

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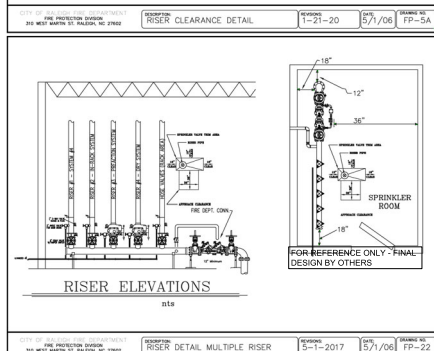
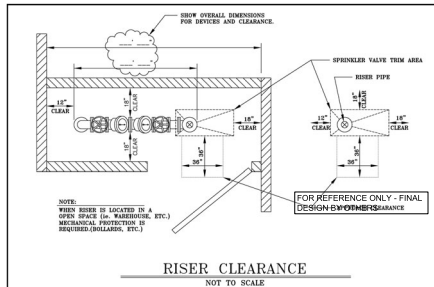


GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 TMS UTILITY MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.

STANDARD UTILITY NOTES

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORP&D Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, forced sanitary sewer pipe shall be specified & installed to wastewater specifications. However, the minimum separation shall not be less than 20' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main in a separate trench with the elevation of the water main at least 10' above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to wastewater specifications.
 - 5:0 minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 7' min. clearance (per CORP&D detail 19-11 & 5-485).
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public U Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement having private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of prior necessary service interruptions that be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- SEWER BYPASS PLUMBING - A bypass plan issued by an NC Professional Engineer shall be provided to Raleigh Water & Sewer for pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
- 1/2 minimum cover is required on all water mains & sewer force mains, & 1/2 minimum cover is required on all water mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of other otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning but at least a removal of all from ROW or easement per CORP&D detail 19-11 & 5-485.
- Install water services with manholes located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the developer's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Inspections of 4" and larger water mains of the private distribution system will be inspected as part of the infrastructure permit.
- Private sewer mains & service lines are permitted under the private infrastructure permit for sewer.
- Any water or sewer services on private property that will be installed under Construction Drawings may require a Plumbing Utility by the City of Raleigh. Consult with the Engineering Inspection Coordinator during the pre-construction meeting or as necessary per the City of Raleigh Public Utilities Department.
- Install sewer services with manholes located at ROW or easement line & spaced per the current NC Plumbing code.
- Private water services installed on all water services installed on all water services where the required on all sanitary & services having building drains lower than 1'0' above the next upstream manhole.
- All underground permits applicable to the project must be obtained from NCDOT, USACE &/or FEMA for any potential water & sewer floodplain impacts (respectively) prior to construction.
- NCDOT Rational Encroachment Agreements are required for any utility work (including main extensions & service lines) within state or railroad ROW prior to construction.
- Create Interceptor & Oil Water Separator along regulations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4318 or fog@raleighnc.gov for more information.
- Cross-connection controls are required based on the degree of health hazard involved as listed in Appendix A of the Rules Governing Public Water Systems in North Carolina.
- The designer shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list.
- The design and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
- The devices shall be installed and tested (both, initial and periodic testing transfer) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Crossconnection@raleighnc.gov for more information.
- NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.
- Private sub-metering - No waste of water shall occur without approval of the North Carolina Utility Commission. Sub-metering shall be in accordance with Section 1405 of the "SAFE DRINKING WATER ACT".





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UTILITY PLAN

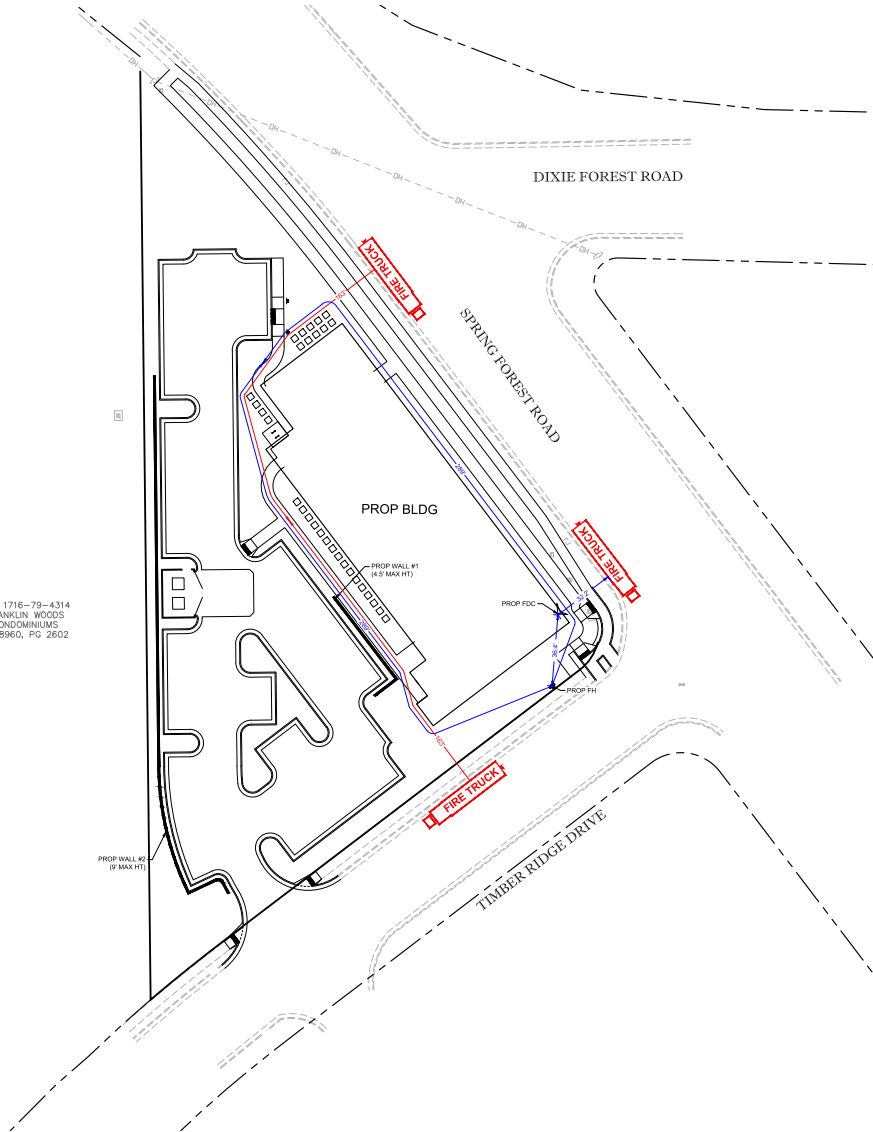
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| 4 | PER PLANNING COMMENTS | 04/22/25 |

JAECO # 153-01
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DRAWN BY: CMC
CHECKED BY: TT
DATE ISSUED: 06/12/2024

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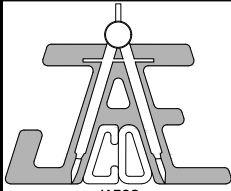
PIN: 1716-79-4314
FRANKLIN WOODS
CONDOMINIUMS
DB 8960, PG 2602



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 ("MISS UTILITY") MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
4. UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.

UNITS TO
INCLUDE 13R
SPRINKLER
SYSTEM



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LEGEND

PROP FIRE TRUCK COVERAGE
PROP FIRE HYDRANT COVERAGE

FIRE COVERAGE PLAN

| Revision | Date |
|--------------------------|----------|
| 1. PER CITY COMMENTS | 10/12/24 |
| 2. PER CITY COMMENTS | 03/03/25 |
| 3. PER CITY COMMENTS | 03/26/25 |
| 4. PER PLANNING COMMENTS | 04/22/25 |

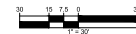
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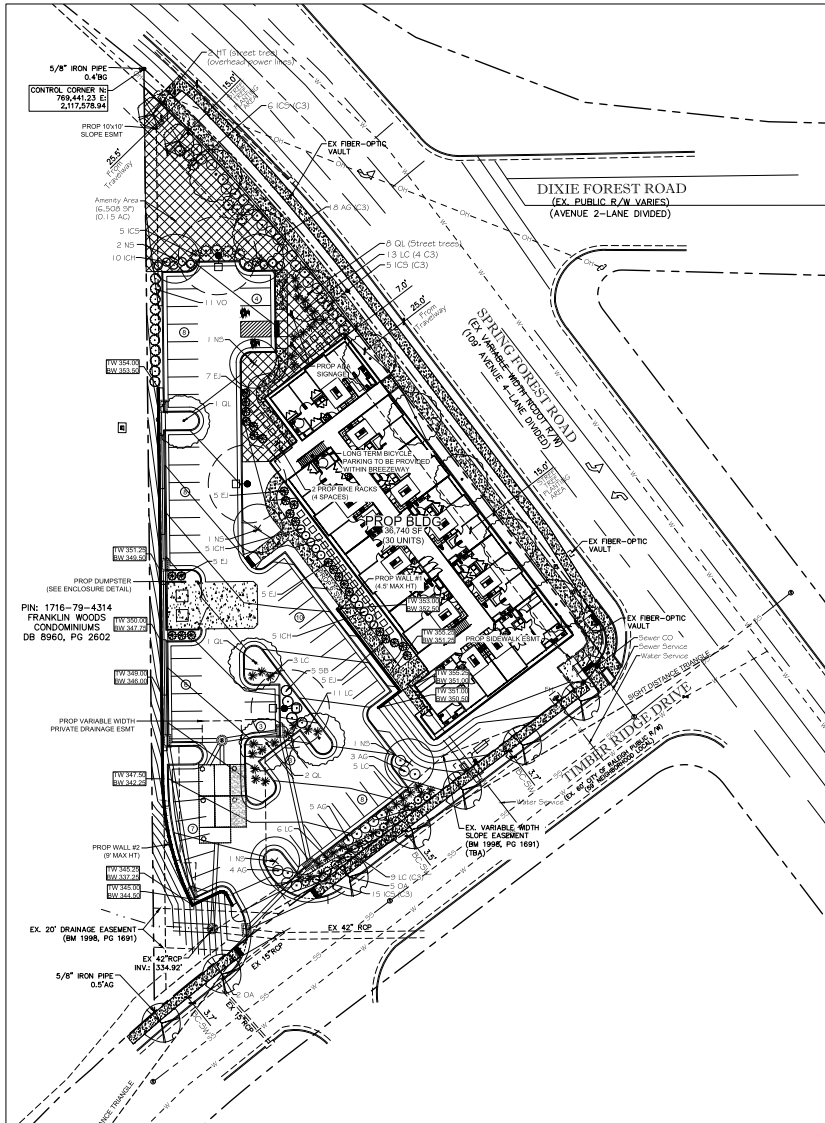
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CHECKED BY: TT

DATE ISSUED: 08/12/2024



C-4.01



City of Raleigh Planting Requirements:

- 1) VEHICLE SURFACE AREA:
Required: Evergreen shrubs screening parking from ROW.
Shade tree at terminus of parking row and in islands.
Provided: 10 trees, 53 evergreen shrubs to screen parking.
- 2) TYPE C3 STREET YARD - Spring Forest Road and Timber Ridge Drive
Required: 10' area with 30 shrubs / 100 LF
Provided: Spring Forest Road - 110 LF = 33 shrubs planted at 3.5' height
Timber Ridge Drive - 80 LF = 24 shrubs planted at 3.5' height
- 2) STREET TREES:
SPRING FOREST ROAD: (DOT ROAD)
Required: UDO Section 8.4.1.D.4
(b) Priority 1 - Distance between existing sidewalk and BOC = 3.6 or 6.5'
Provided to DOT: (2) 3" Caliper medium maturing trees where distance is 3.6' between BOC and sidewalk
A Plan was sent to DOT with (8) large maturing trees per 40' if where distance is 6.5' between BOC and sidewalk
SEE ATTACHED DOT LETTER OF DENIAL FOR THE LOCATION OF THE TREES ALONG SPRING FOREST ROAD WITHIN THE ROW. (DATED AUG '24)
- Revised Plan sent to DOT in January 2025, following the minimum setbacks from travelway requirements:
Provided: UDO Section 8.4.1.D.4 (d)
(b) large maturing trees, and (2) small maturing trees (located under power line) located at least 12' from travelway
See the approval letter for the street tree planting location from DOT on sheet LA-2.
- TIMBER RIDGE DRIVE: (CITY ROAD)
Required: UDO Section 8.4.1.D.5
(b) Priority 1 - Distance between existing sidewalk and BOC = 3.6 or 6.5'
Provided: Existing distance is 3.5'
(7) 3" Caliper medium maturing trees per 40' if between the BOC and sidewalk
- 3) SCREENING:
Required: HVAC and dumpster screened from public view.
Provided: Evergreen trees / shrubs provided to screen the dumpster enclosure.

PLANTING NOTES:

1. All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
2. Plant locations to be approved in field prior to installation.
3. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
4. Establish plant bed configurations. Landscape Architect to approve bed layout in field.
5. Install plants and mulch beds with 4" of pine straw.
6. Areas disturbed by grading to be seeded and strawed.
7. Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications.
8. Areas damaged from plant relocation or other activities of Landscape Contractor to be re-seeded and established at no additional cost to the owner.
9. All plant material shown is minimum required by the City Code.

PLANT SCHEDULE

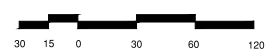
| QTY | KEY | BOTANICAL / COMMON NAME | SIZE INSTALL | ROOT | SPACING | MATURE HEIGHT / SPREAD |
|-----|-----|---|--|-------|----------|------------------------|
| 27 | AG | ABELIA X GRANDIFLORA KALIDOSCOPE / GLOSSY ABELIA | 3' GAL / 24" HT. 42" HT. / 30" WIDE | CONT. | # O.C. | 5' within 3 yrs |
| 11 | ICS | ALEX ORNATA STEEDS / STEEDS JAPANESE HOLLY | 3' GAL / 24" HT. 42" HT. / 30" WIDE | CONT. | # O.C. | 5' within 3 yrs |
| 5 | SB | SPHAEKA X BUNALDA ANTHONY WATERER / SPIREA | 3' GAL / 18" HT. | CONT. | # O.C. | 4' x 4' |
| 50 | LC | LOREPETALUM CHINENSIS TRUBY / CHINESE PRINCE FLORIST | 3' GAL / 24" HT. 42" HT. / 30" WIDE | CONT. | # O.C. | 5' x 5' |
| 20 | ICH | ALEX ORNATA YELLOW / YELLOW JAPANESE HOLLY | 3' GAL / 24" HT. | CONT. | # O.C. | 3' x 4' |
| 11 | VO | VIBURNUM CROBATUM VMS. SHULTZ'S DELIGHT / VIBURNUM | 24" HT. | CONT. | # O.C. | 5' x 5' |
| 12 | QL | QUERCUS LYRATA WIDEMAN / OVERCUP OAK | 3" Cal. / 10" HT. | B&B | AS SHOWN | 30' x 30' |
| 6 | NS | NYSSA SYLVATICA WILDFIRE / BLACK GUM | 3" Cal. / 10" HT. | B&B | AS SHOWN | 30' x 30' |
| 34 | EJ | ELAEAGNUS JAPONICA GREENOPRE / ELAEAGNUS | 24" HT. | CONT. | # O.C. | 6' x 3' |
| 7 | OA | ORYZODORON ARBOREUM / SOURWOOD | 3" Cal. / 10" HT. | B&B | AS SHOWN | 15' x 15' |
| 2 | HT | PALESA TETRAPTERA / CAROLINA SILVERBEECH - Single Stem Only | 1.5" Cal. / 6" HT. | B&B | AS SHOWN | 15' x 15' |

GENERAL NOTES:

1. Street trees shall be installed and maintained in accordance with the requirements of Chapter 2 of the City Tree Manual.
2. All street trees are to be planted in accordance with City of Raleigh Standard Detail, TFP-03.



LANDSCAPE PLAN



ASR-0068-2024

Coaly
DESIGN
LANDSCAPE ARCHITECTURE
SFP E. Main Street
Raleigh, NC 27601
919.339.0812

**THE MILL
APARTMENTS**
2210 SPRING FOREST ROAD
RALEIGH, NC

LANDSCAPE PLAN

Client
SAMBRICK

Date Issued:
8.23.24

Scale
1"=30'

Drawn by:
KJS

Checked by:
KJS

Revisions

No.

Description

Date

By

Scale

1

City Comments

2

City Comments

3

City Comments

4

City Comments

LA-1



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

JOSHI STEIN
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

February 3, 2025

Kimberly Siran
Coaly Design, PC
537 F Martin Street
Raleigh, North Carolina 27601

Subject: Planting Permit for The Mill

To whom it may concern:

Please be advised that the planting plans have been conditionally approved for The Mill located at 2210 Spring Forest Road in Raleigh, North Carolina.

This letter is issuing the Planting Permit per North Carolina Department of Transportation policy.

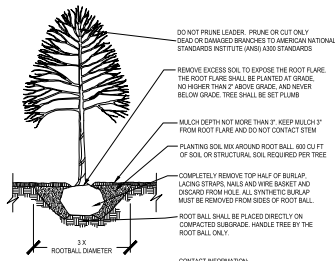
The following standard provisions are made part of this agreement:

- The permittee shall maintain a clear sight distance for vehicles utilizing driveway connections.
- The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
- Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
- Plants to be first class quality of their species.
- A copy of this permit must be on the worksite at all times while the work is being performed.
- All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel way.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION 5-FOREST
2412 NORTH DUKE STREET
DURHAM, NC 27706
Cnr 11-27-01

Telephone: (919) 317-4700
Fax: (919) 317-4710
Customer Service: 1-877-368-6868
Website: www.ncdot.gov

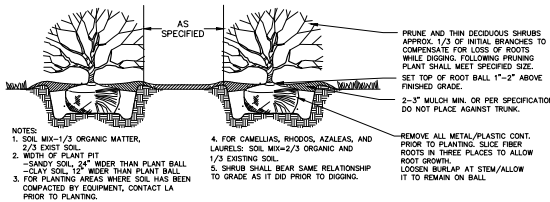
Location:
2412 NORTH DUKE STREET
DURHAM, NC 27706



- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL, OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

| CITY OF RALEIGH STANDARD DETAIL | | |
|------------------------------------|----------|-------------|
| REVISION | DATE | DESCRIPTION |
| 1 | 02/03/25 | ISSUED |
| 2 | 02/03/25 | ISSUED |
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TPP-03



- NOTES:
- SOL MIX-1/3 ORGANIC MATTER, 2/3 EXIST SOL.
 - WIDTH OF PLANT PIT - SANDY SOIL, 24" WIDER THAN PLANT BALL - CLAY SOIL, 12" WIDER THAN PLANT BALL.
 - FOR PLANTING AREAS WHERE SOIL HAS BEEN COMPACTED BY EQUIPMENT, CONTACT LA PRIOR TO PLANTING.
 - FOR CAMELLIAS, RHODOS, AZALEAS, AND LAURELS: SOL MIX-2/3 ORGANIC AND 1/3 EXISTING SOL.
 - SHRUB SHALL BEAR SAME RELATIONSHIP TO GRADE AS IT DID PRIOR TO DIGGING.
 - PRUNE AND THIN DECIDUOUS SHRUBS APPROX. 1/3 OF INITIAL BRANCHES TO COMPENSATE FOR LOSS OF ROOTS WHILE DIGGING. FOLLOWING PRUNING PLANT SHALL MEET SPECIFIED SIZE. SET TOP OF ROOT BALL 1"-2" ABOVE FINISHED GRADE.
 - 2"-3" MULCH MIN. OR PER SPECIFICATION DO NOT PLACE AGAINST TRUNK.
 - REMOVE ALL METAL/PLASTIC CONT. PRIOR TO PLANTING. SLICE FIBER ROOTS IN THREE PLACES TO ALLOW ROOT GROWTH. LOOSEN BURLAP AT STEM/ALLOW IT TO REMAIN ON BALL.

2 SHRUB PLANTING

NTS

- The applicant is responsible for avoiding impacts to federally protected species during project construction. Bald eagle, Michigan's sumac, smooth coneflower, dwarf wedge-mussel, harperella, red-cockaded woodpecker and tar spiny-mussel are federally protected species that have been identified within NCDOT right-of-way in Durham, Person, Granville, Wake, Franklin, Vance, and Warren counties. Additional information can be obtained by contacting the North Carolina Natural Heritage Program or the United States Fish and Wildlife Service.

- In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee (municipality/civic group/individual) upon notification by the Division of Highways, entirely at the expense of the permittee.

If you should need further assistance, please contact Corey Sudderth by phone at 919-317-4700 or by email at csudderth@ncdot.gov.

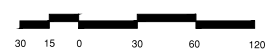
Sincerely,

REBECCA GALLA
Division Engineer

RJG/clb

Cc: Corey Sudderth, Roadside Environmental Engineer
File

LANDSCAPE DETAILS AND NOTES



ASR-0068-2024

Coaly
DESIGN
LANDSCAPE ARCHITECTURE

THE MILL
APARTMENTS
2210 SPRING FOREST ROAD
RALEIGH, NC

Client
SAMBROCK

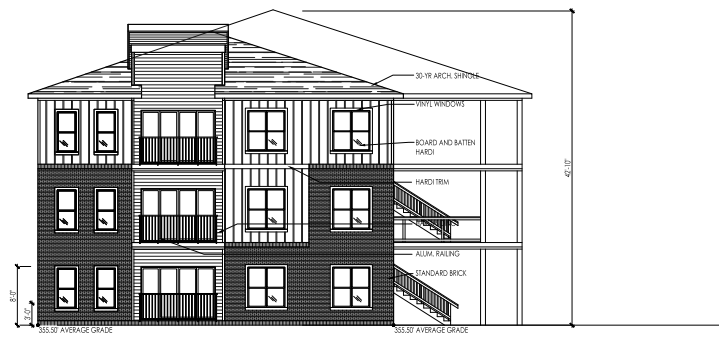
| Revisions | | Date Issued: | | 8.23.24 | |
|-----------|---------------|--------------|--------|------------|--------|
| No. | Description | Revised By | Scale | Revised By | Scale |
| 1 | City Comments | 12/1/24 KJS | 1"=30' | KJS | 1"=30' |
| 2 | City Comments | 3.3.25 KJS | | KJS | |
| 3 | City Comments | 3.26.25 KJS | | KJS | |
| 4 | City Comments | 4.22.25 KJS | | KJS | |
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LA-2

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State, and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State, or Federal Law. Any construction must be in accordance with all local, state, and federal rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval



DesignLine Studios, PLLC
307 Edinburgh S. Dr. | Cary, NC 27513
www.designlinestudios.com | 919.604.2975

CORPORATE SEAL

PROFESSIONAL SEAL

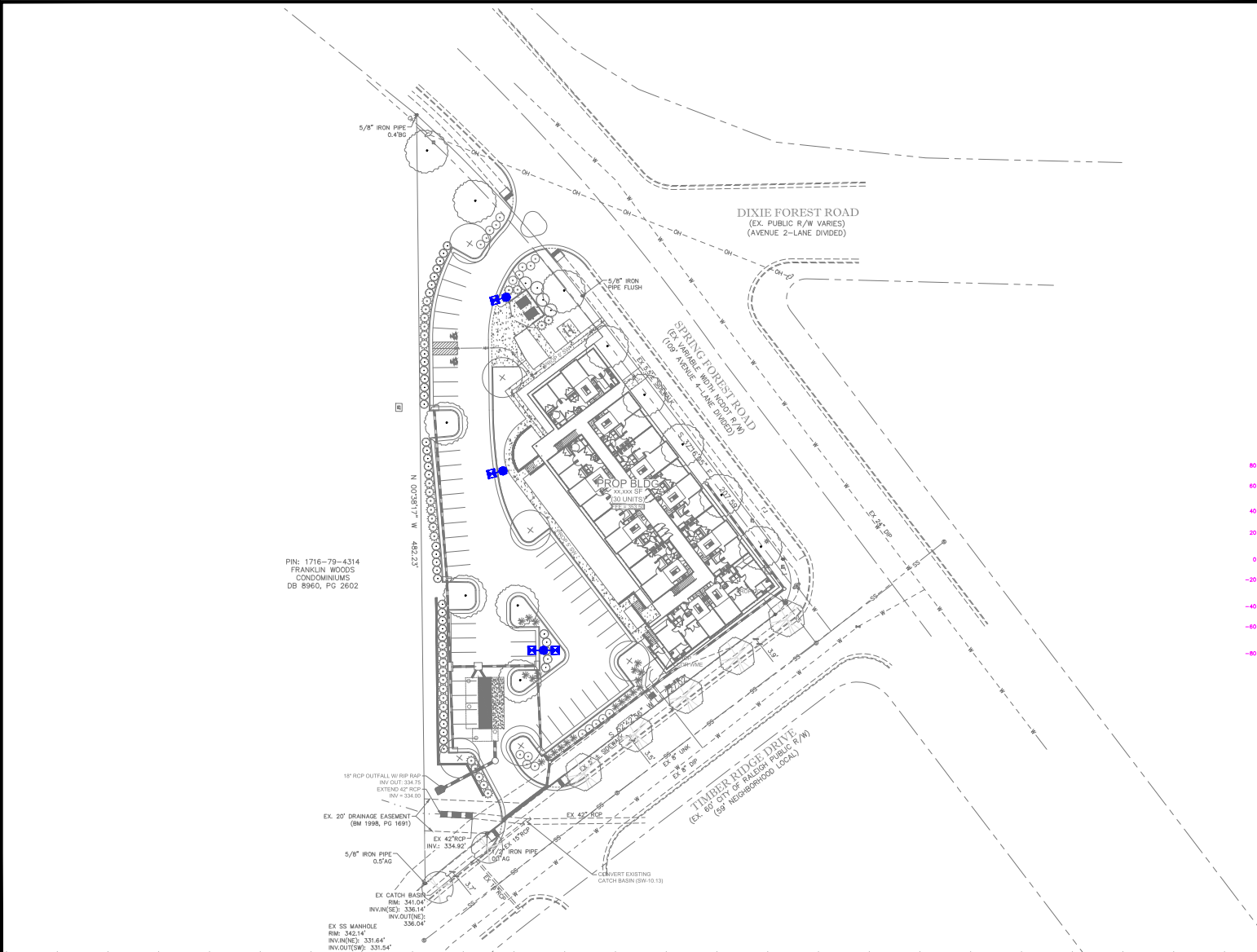
SPRING FOREST APARTMENTS
2210 SPRING FOREST ROAD
RALEIGH, NORTH CAROLINA 27615

DATES:
3 SEPTEMBER 24
REV 12-02-24

DESIGNED BY:
BLJ
DRAWN BY:
BLJ
CHECKED BY:
BLJ
SCALE:
PROJECT NUMBER:
17-014

ELEVATIONS

A201



Outdoor Lighting



PEDESTRIAN SHOEBOX LED
Shoebox, Dark Blue, 4000K

LED
LED lighting shade
Mounting Height
Color
Material
Finish
Applications

30 watts
12' - 13'
Black
Aluminum
Anodized aluminum
High pressure sodium
LED lighting



Light source: LED 4000K
Wattage: 30 watts
Lumens: 3,000 lm
Light pattern: Type IV
CIES and footcandle: 100 footcandle
Ballast: Type IV - 30-100W
Color temperature: 4,000K & 4,800K

| POLE AVAILABLE | MOUNTING HEIGHT | COLOR |
|---------------------|-----------------|-------|
| Aluminum | 12', 15', 17' | Black |
| Platinum | 12' | Black |
| Power Conduit | 12' | Black |
| Decorative Brackets | 12', 15' | Black |

FEATURES

Turnkey operation
Cable or wireless control
Design services for lighting professionals included
Maintenance, electrical & warranty included
Site free meeting and on-site service call

BENEFITS

Provides hands-free installation and service
Easy to upgrade for other projects
Made in the USA with quality components
Extensive high and low-voltage options
Components and wiring are safe

For additional information, contact
Duke Energy Progress Lighting
or a local distributor.



ISOFOOTCANDLE CURVES

FIXTURE: LED 50w Shoebox
MOUNTING HEIGHT: 16 FT
LIGHT SOURCE: LED, 4000K
LUMENS = 6457
PATTERN: TYPE IV, B1-U0-G2(zero light at or above 90 degrees)

POLE LPOLE-DB-FG-25FT-BLK-___-P
FIXTURE LFIX-SBX-LED-50-BLK-IV-___-P
LBKT-TOP-14IN-BLK-2T-SOL-___-P
LBKT-TOP-14IN-BLK-2T-DBL-180DEG-___-P

| Statistics | | | | | | |
|-------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Parking | ✕ | 0.7 fc | 2.6 fc | 0.2 fc | 13.0:1 | 3.5:1 |

| Schedule | | | | | | |
|----------|-------|----------|-----------------------------------|--------------|-----------------|-------------------|
| Symbol | Label | Quantity | Description | Number Lamps | Lumens Per Lamp | Light Loss Factor |
| A | | 2 | LED 50w Shoebox - Type IV - 4000K | 16 | 404 | 0.85 |
| B | | 1 | LED 50w Shoebox - Type IV - 4000K | 16 | 404 | 0.85 |

LIGHTING DESIGN TOLERANCE
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

PROPRIETARY & CONFIDENTIAL
This document together with the concepts and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy, and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy. Duke Energy disclaims any liability or responsibility for any unauthorized use of or reliance on this document.

THE MILL APARTMENTS

Raleigh, NC

SITE LIGHTING ARRANGEMENT

Designed by: DUKE ENERGY PROGRESS LIGHTING SOLUTIONS

Reviewed by: N. Johnson Scale: 1" = 30'

Date: 09/16/2024 Size: Drawing size "D"

Description: LED Pedestrian Shoebox

Drawing No: 24-0364A Sht. 1 OF 1

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
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| | | | |

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DISTANCE CALIBRATION (FEET)