

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: YES Youth Center- Special Care Facility

Inside City limits? Yes No

Property address(es): 3405 Rock Quarry Road

Site P.I.N.(s): 1722-17-3631

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
Remove existing single family house and detached garage and construct a ~9,000 SF two story exercise and indoor basketball facility, 250 SF restroom building, athletic field, and associated parking and infrastructure.

Current Property Owner(s): AV Ventures NC, LLC

Company: _____ Title: _____

Address: 4805 Green Road, Suite 103, Raleigh, NC 27616

Phone #: _____ Email: _____

Applicant Name (If different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: _____ Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name: Antwane Yelverton	
Company: YES Contracting LLC	Address: 4805 Green Road, Suite 103, Raleigh, NC 27616
Phone #: (919) 892-3250	Email: ayelverton@yescllc.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-6	Existing gross floor area (not to be demolished):
Gross site acreage: 2.42 AC.	Existing gross floor area to be demolished: 1,008 SF
# of parking spaces proposed: 38	New gross floor area: 9,350 SF
Max # parking permitted (7.1.2.C): No Maximum	Total sf gross (to remain and new): 9,350 SF
Overlay District (if applicable): SHOD-1	Proposed # of buildings: 2
Existing use (UDO 6.1.4): Single Family Residential	Proposed # of stories for each: 2, 1
Proposed use (UDO 6.1.4): Civic	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>5,868</u> Proposed total (sf) <u>34,922</u>	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK


Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

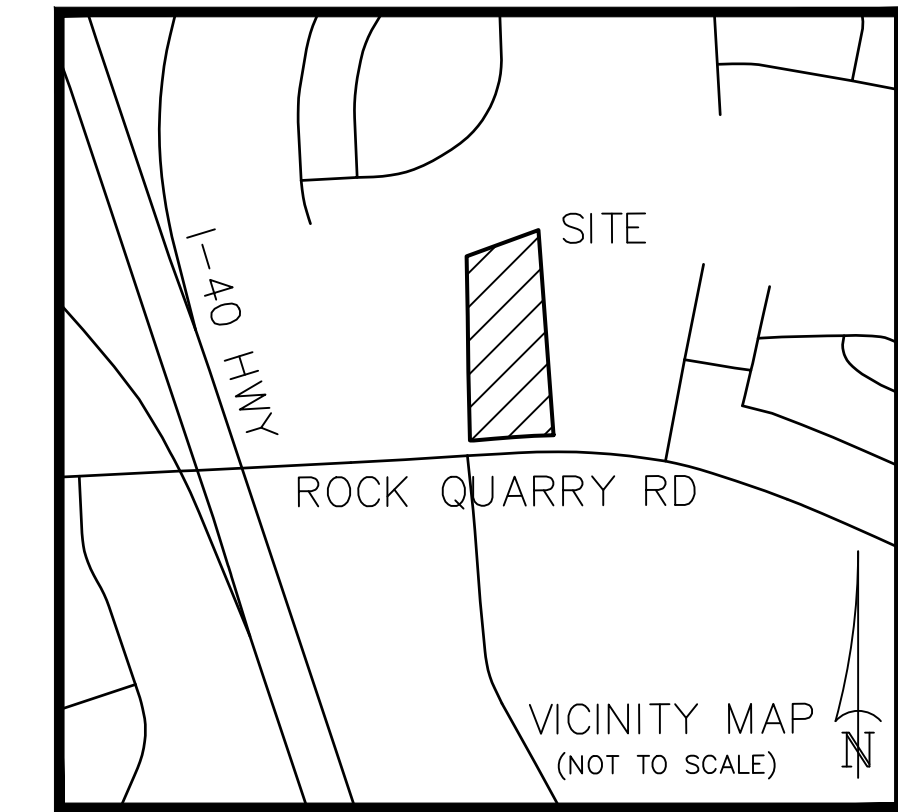
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 9-4-24
Printed Name: Antwane Yelverton	
Signature:	Date:
Printed Name:	

YES YOUTH CENTER-SPECIAL CARE FACILITY

3405 ROCK QUARRY ROAD
Raleigh, North Carolina

ADMINISTRATIVE SITE REVIEW
ASR-XXXX-2024



Administrative Site Review Application
Planning and Development Customer Service Center • One Eastwood Plaza, Suite 402 | Raleigh, NC 27601 | 919-995-6800

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building type and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.6, to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> Substitution case #: <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Scoping/sketch plan case #: <input type="checkbox"/> Certificate of Appropriateness #: <input type="checkbox"/> Board of Adjustment #: <input type="checkbox"/> Zoning Case #: <input type="checkbox"/> Frequent Transit Development Ordinance #: <input type="checkbox"/> Design Alternative #:

GENERAL INFORMATION

Development name: YES Youth Center-Special Care Facility
 Inside City limits? Yes No
 Property address(es): 3405 Rock Quarry Road
 Site P.I.N.(s): 1722-17-3631
 Please describe the scope of work, include any additions, expansions, and uses (UDO 6.1.4).
 Current Property Owner(s): AV Yelverton NC, LLC
 Company: _____ Title: _____
 Address: 4805 Green Road, Suite 103, Raleigh, NC 27616
 Phone #: _____ Email: _____
 Applicant Name (if different from owner, see "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
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Phone #: _____ Email: _____
 Developer Contact:
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 Applicant Name: Antwane Yelverton
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DEVELOPMENT TYPE & SITE DATA TABLE	
(Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-6	Existing gross floor area (not to be demolished): 1,008 SF
Gross site acreage: 2.42 AC	New gross floor area: 9,350 SF
# of parking spaces proposed: 38	Total of gross (to remain and new): 9,350 SF
Max # parking permitted (7.1.2.C) No Maximum	Proposed # of buildings: 2
Overlay District (if applicable): SHOD-1	Proposed # of stories for each: 2; 1
Existing use (UDO 6.1.4): Single Family Residential	Proposed use (UDO 6.1.4): Civic
Proposed use (UDO 6.1.4): Civic	Proposed # of basement levels (UDO 1.3.7.A.6) 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s):	Impervious Area for Compliance:
Existing (sf): 5,888 Proposed total (sf): 24,922	Includes ROW? Existing (sf): Proposed total (sf):

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 100 200 300 400 or more	400 or more
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Is frequent transit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

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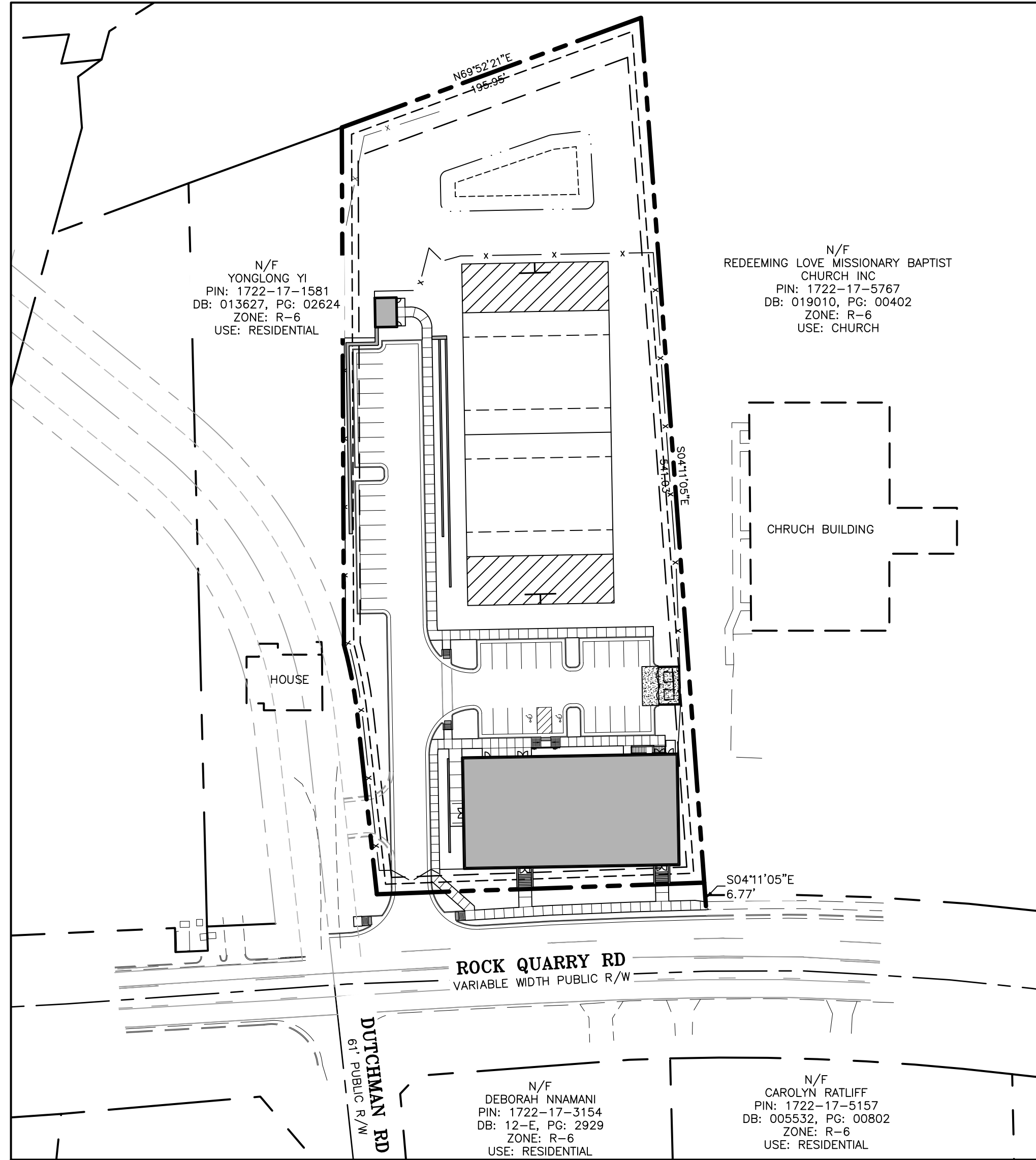
As an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160C-403(a)) to make the application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in supporting the development approval, pursuant to N.C. Gen. Stat. § 160C-403(d).

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The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 160-786.1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: _____ Date: _____
 Printed Name: Antwane Yelverton
 Signature: _____ Date: _____
 Printed Name: _____



DRAWINGS INDEX:

PA 0.1	COVER SHEET
PA 1.0	EXISTING CONDITIONS & DEMO PLAN
PA 2.0	SITE LAYOUT
PA 3.0	GRADING AND DRAINAGE PLAN
PA 4.0	UTILITY PLAN
PA 4.1	LIGHTING PLAN
PA 5.0	LANDSCAPE PLAN
PA 5.1	TREE CONSERVATION AREA PLAN
PA 6.0	SITE DETAILS
B-1.0	ARCHITECTURAL ELEVATIONS
B-2.0	FLOOR PLANS
B-2.1	LIFE SAFETY PLAN
B-5.0	ARCHITECTURAL ELEVATIONS

SITE DATA SUMMARY

PROJECT NAME:	YES YOUTH CENTER-SPECIAL CARE FACILITY
SITE ADDRESS:	3405 ROCK QUARRY ROAD
PARCEL ID:	1722-17-3631
JURISDICTION:	RALEIGH
EXISTING ZONING:	R-6
OVERLAY DISTRICT:	SHOD-1
RIVER BASIN:	NEUSE
WATERSHED:	NONE
GROSS SITE AREA:	2.42 AC
PROPOSED R/W DEDICATION:	0.11 AC
NET SITE AREA:	2.31 AC
DISTURBED AREA:	2.22 AC
CURRENT USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	CIVIC
SETBACKS & DIMENSIONS:	
FRONT SETBACK:	10'
SIDE SETBACK:	20'
REAR SETBACK:	20'
MAX BLDG. HEIGHT:	40'
MAX STORIES:	3 STORIES
EXISTING BUILDING AREA:	1,008 SF
PROPOSED BUILDING AREA:	9,350 SF
EXISTING IMPERVIOUS AREA:	5,888 SF
PARKING SUMMARY:	
MAXIMUM PARKING ALLOWED:	NO MAXIMUM
PROVIDED PARKING:	38 SPACES (2 ADA)

- GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - TOPOGRAPHY AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY JDS CONSULTING, DATED JUNE 09, 2021. BOUNDARY AND ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
 - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

FLOODPLAIN NOTE:

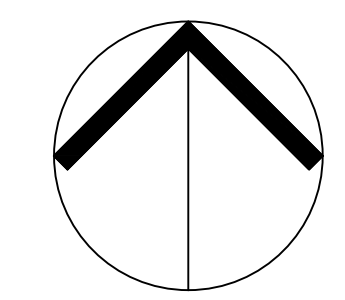
- THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN*).

FEMA REFERENCE DATA:
 FEMA FIRM PANEL No.: 3720172200K
 EFFECTIVE DATE: JULY 19, 2022

THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720172200K DATED JULY 19, 2022.

CONTACT:
 BRANDON MOORE, PLA
 THE SITE GROUP, PLLC
 1111 OBERLIN ROAD
 RALEIGH, NC 27605
 PHONE: (919) 835-4787
 FAX: (919) 839-2255
 EMAIL: bdm@thesitegroup.net

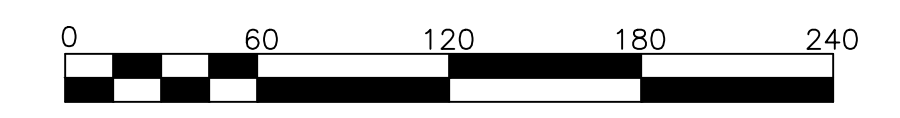
CLIENT:
 ANTWANE YELVERTON
 4805 GREEN ROAD, SUITE 103
 RALEIGH, NC 27616
 PHONE: (919) 892-3250
 E-MAIL: ayelverton@yesrecg.com



NORTH

COVER SHEET

SCALE: 1" = 60' (DRAWING SCALED FOR 24x36 INCH PLOTS)



THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 1111 OBERLIN ROAD
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024) FOR:
YES YOUTH CENTER-SPECIAL CARE FACILITY
 3405 ROCK QUARRY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: CJB
 Checked By: BDM

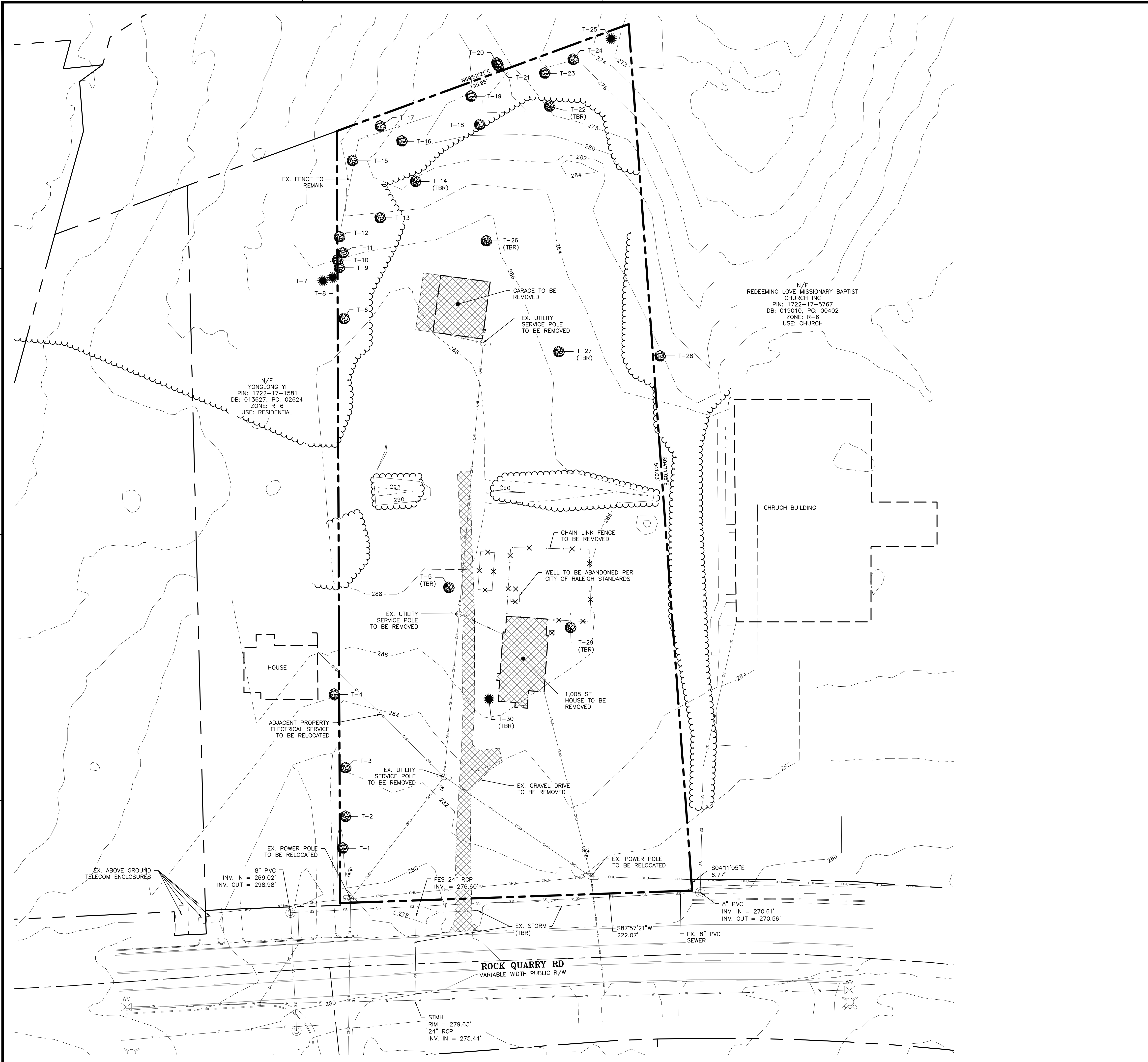
DATE:
 05 SEP 2024

ADMINISTRATIVE SITE PLAN

COVER SHEET

Job Code: ISYARQ

Dwg No.
 PA
 0.1



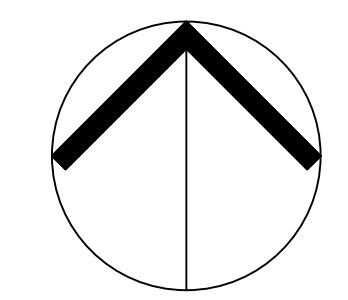
- ### GENERAL NOTES
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 - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

LEGEND

● IPF	1" IRON PIPE (FOUND)	⊠	FIBER BOX/PEDESTAL
○	PROPERTY CORNER (CALCULATED)	⊠	GAS METER
---	PROPERTY LINE	⊠	WATER MANHOLE
---	ADJOINERS PROPERTY LINE (NOT SURVEYED)	⊠	WATER VALVE
---	EDGE OF PAVEMENT	⊠	FIRE HYDRANT
---	OVERHEAD WIRE	⊠	SANITARY SEWER MANHOLE
---	WATER LINE	⊠	CLEANOUT
---	SANITARY SEWER LINE	⊠	CURB INLET
---	STORM DRAIN LINE	⊠	DROP INLET
---	METAL FENCE	⊠	MAILBOX
---	CHAIN LINK FENCE	⊠	HVAC UNIT
---	TREE LINE	⊠	SIGN
○	UTILITY POLE	⊠	SATELLITE
○	GUY (ANCHOR)		
⊠	ELECTRICAL BOX/PEDESTAL		
⊠	ELECTRICAL METER		
⊠	FIBER MARKER		
⊠	FIBER VAULT		

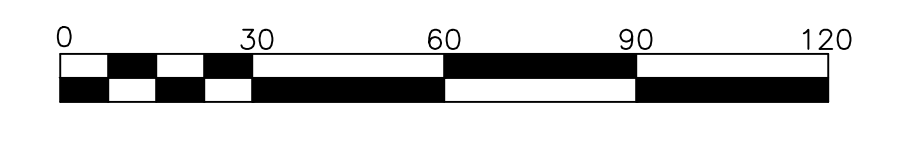
TREE TABLE

SYMBOL	TREE #	TREE TYPE	SYMBOL	TREE #	TREE TYPE	SYMBOL	TREE #	TREE TYPE
⊠	T-1	12" PECAN	⊠	T-11	13" OAK	⊠	T-21	12" OAK
⊠	T-2	16" PECAN	⊠	T-12	13" OAK	⊠	T-22	14" TRHW
⊠	T-3	28" OAK	⊠	T-13	18" TWIN OAK	⊠	T-23	28" TWIN OAK
⊠	T-4	12" CEDAR	⊠	T-14	24" GUM	⊠	T-24	36" OAK
⊠	T-5	12" TWIN OAK	⊠	T-15	17" OAK	⊠	T-25	26" PINE
⊠	T-6	13" CEDAR	⊠	T-16	22" OAK	⊠	T-26	48" PECAN
⊠	T-7	20" PINE	⊠	T-17	12" OAK	⊠	T-27	36" HOLLY
⊠	T-8	16" PINE	⊠	T-18	12" TRHW	⊠	T-28	18" OAK
⊠	T-9	17" OAK	⊠	T-19	22" OAK	⊠	T-29	28" PECAN
⊠	T-10	13" OAK	⊠	T-20	12" MAPLE	⊠	T-30	31" PINE
⊠	- EXISTING TREES TO BE REMOVED							



NORTH
EXISTING CONDITIONS
& DEMOLITION PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC.
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 Raleigh, NC 27605-1136 USA
 Office: 919.835.4787
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ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024) FOR:
**YES YOUTH CENTER-
 SPECIAL CARE FACILITY**
 3405 ROCK QUARRY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: **CJB**
 Checked By: **BDM**

DATE:
05 SEP 2024

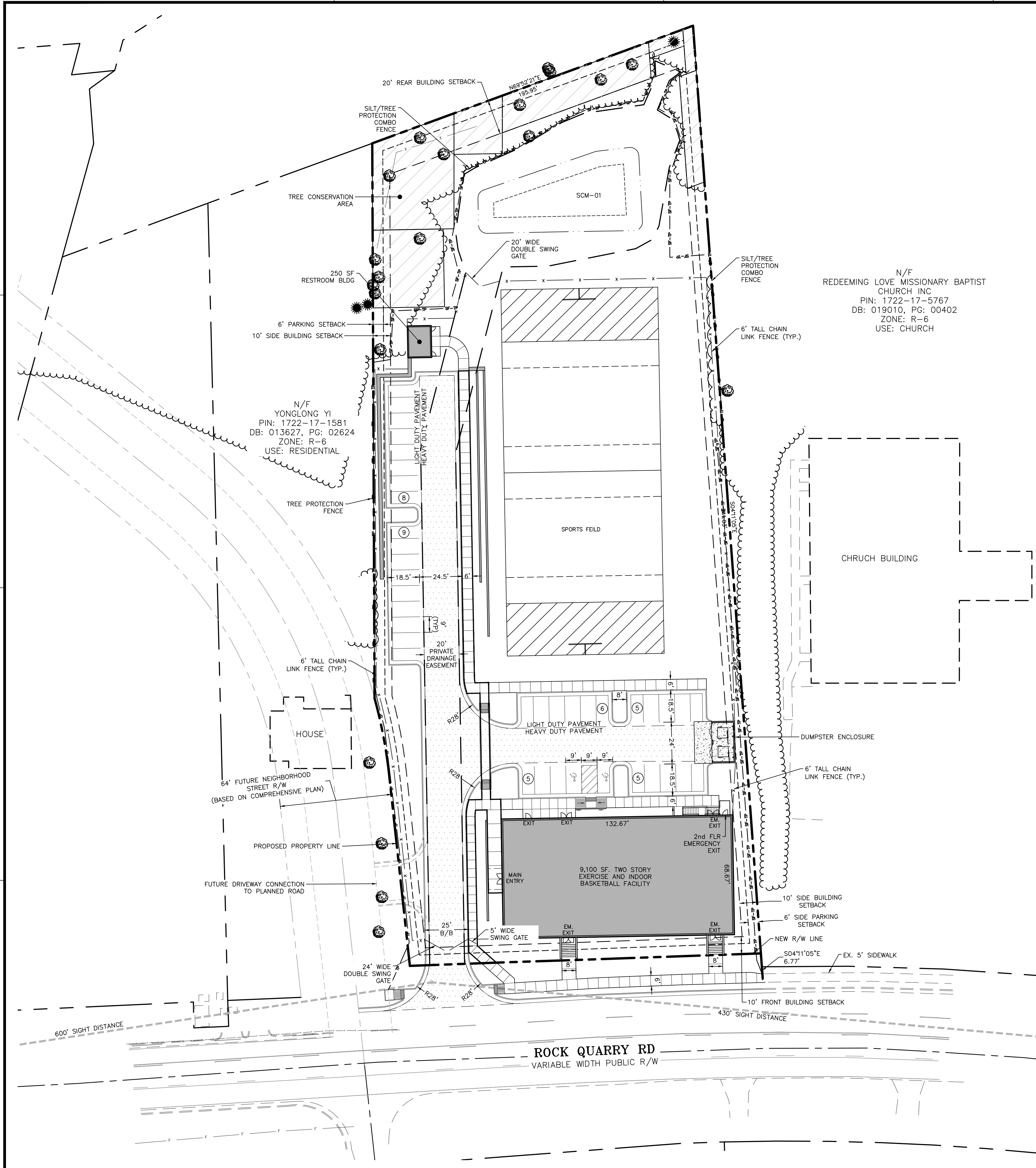
ADMINISTRATIVE
SITE PLAN

EXISTING
CONDITIONS
& DEMO
PLAN

Job Code: **ISYARQ**

Dwg No.
**PA
1.0**

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LINE LEGEND

---	PROPERTY BOUNDARY LINE
- - - -	ADJACENT LOT LINE
---	STREET CENTERLINE
---	BUILDING SETBACK
---	PARKING SETBACK
---	PRIVATE DRAINAGE EASEMENT
---	ADA ROUTE TO R/W
- - - -	TREE PROTECTION/SILT FENCE
- - - -	TREE PROTECTION FENCE
x x x x	CHAIN LINK FENCE
~~~~~	TREE LINE

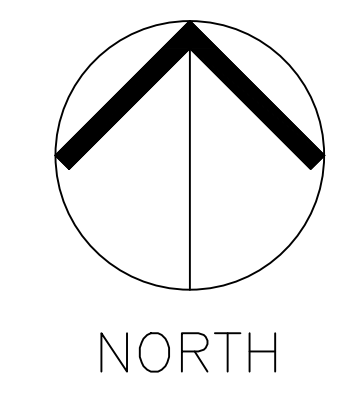
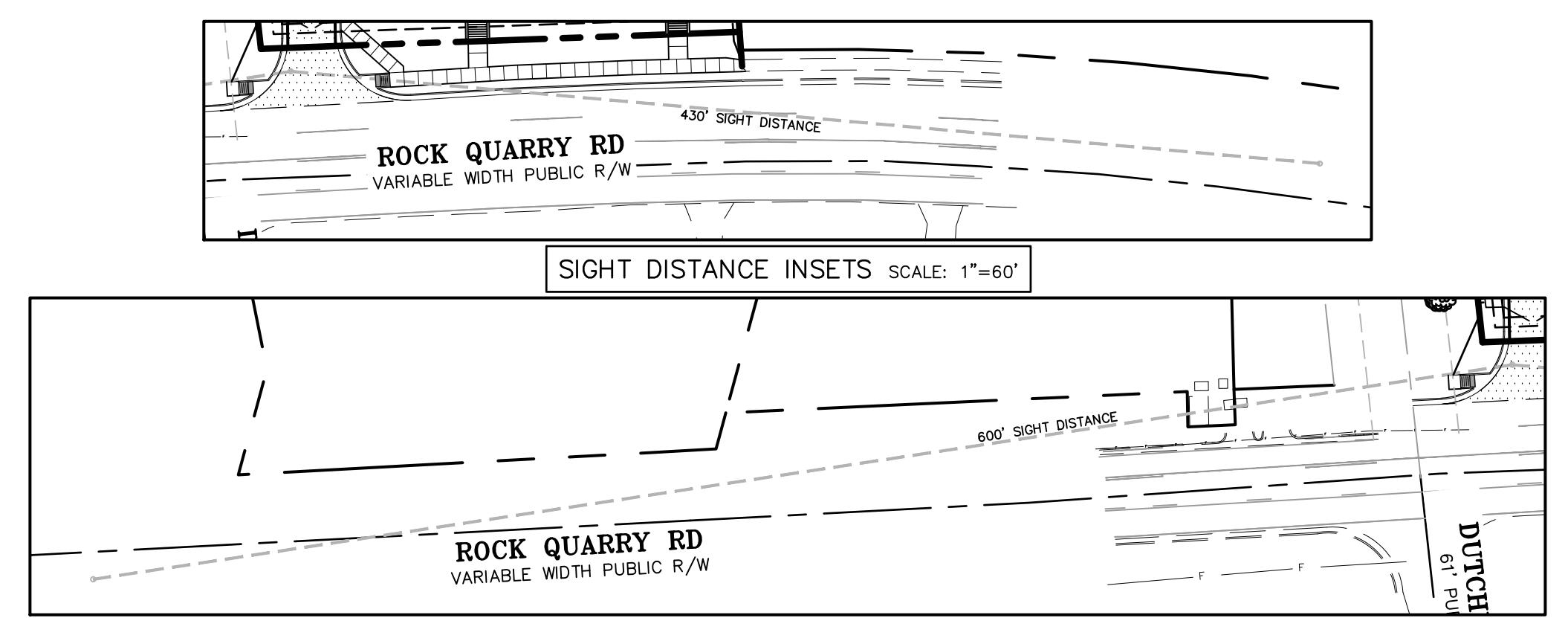
**HATCH LEGEND**

[Hatched Box]	TREE CONSERVATION AREA
[Solid Grey Box]	PROPOSED BUILDING
[Dotted Box]	HEAVY DUTY PAVEMENT SECTION

**SITE DATA SUMMARY**

PROJECT NAME:	YES YOUTH CENTER-SPECIAL CARE FACILITY
SITE ADDRESS:	3405 ROCK QUARRY ROAD
PARCEL ID:	1722-17-3631
JURISDICTION:	RALEIGH
EXISTING ZONING:	R-6
OVERLAY DISTRICT:	SHOD-1
RIVER BASIN:	NEUSE
WATERSHED:	NONE
GROSS SITE AREA:	2.42 AC.
PROPOSED R/W DEDICATION:	0.11 AC.
NET SITE AREA:	2.31 AC.
DISTURBED AREA:	2.22 AC.
CURRENT USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	CIVIC
SETBACKS & DIMENSIONS:	
FRONT SETBACK:	10'
SIDE SETBACK:	10'
REAR SETBACK:	20'
MAX BLDG. HEIGHT:	40'
MAX STORIES:	3 STORIES
EXISTING BUILDING AREA:	1,008 SF.
PROPOSED BUILDING AREA:	9,350 SF.
EXISTING IMPERVIOUS AREA:	5,868 SF.
PARKING SUMMARY:	
MAXIMUM PARKING ALLOWED:	NO MAXIMUM
PROVIDED PARKING:	38 SPACES (2 ADA)

- GENERAL NOTES**
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  - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.



**SITE LAYOUT**  
 SCALE: 1" = 30'  
 (DRAWING SCALED FOR 24x36 INCH PLOTS)

N/F  
 REDEEMING LOVE MISSIONARY BAPTIST  
 CHURCH INC  
 PIN: 1722-17-5767  
 DB: 019010, PG: 00402  
 ZONE: R-6  
 USE: CHURCH

N/F  
 YONGLONG YI  
 PIN: 1722-17-1581  
 DB: 013627, PG: 02624  
 ZONE: R-6  
 USE: RESIDENTIAL

**THE SITE GROUP**  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
 THE SITE GROUP, PLLC.  
 10000 Old Forest Dr., Suite 200  
 Raleigh, NC 27605-1136 USA  
 Office: 919.835.4787  
 Fax: 919.839.2255  
 E Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024) FOR:  
**YES YOUTH CENTER-SPECIAL CARE FACILITY**  
 3405 ROCK QUARRY ROAD  
 RALEIGH, NORTH CAROLINA

Drawn By: **CJB**  
 Checked By: **BDM**

DATE:  
 05 SEP 2024

ADMINISTRATIVE  
 SITE PLAN

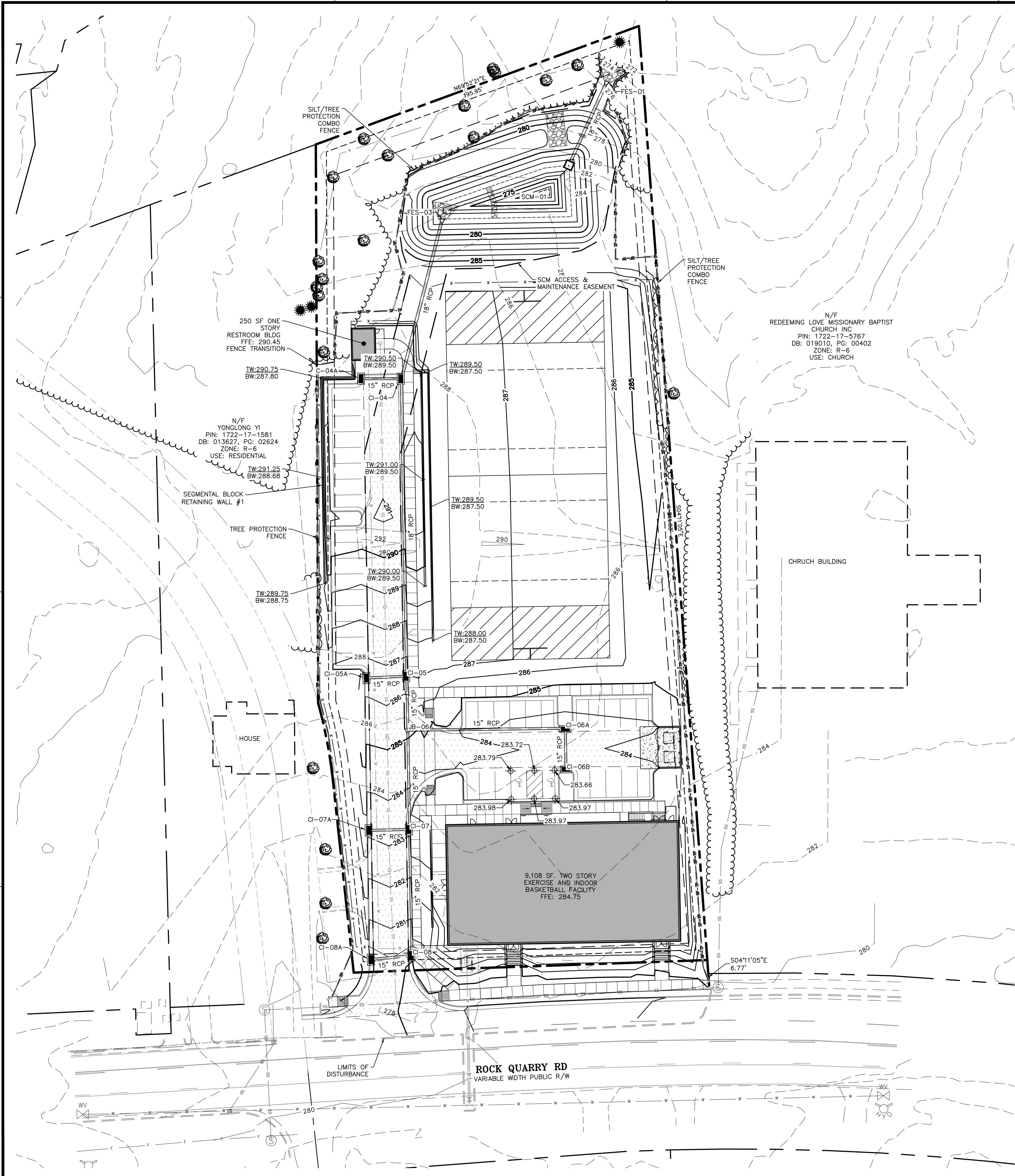
SITE  
 LAYOUT

Job Code: **ISYARQ**

Dwg No.  
**PA  
 2.0**

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**LINE LEGEND**

---	PROPERTY BOUNDARY LINE
---	ADJACENT LOT LINE
---	STREET CENTERLINE
---	BUILDING SETBACK
---	PARKING SETBACK
---	PRIVATE DRAINAGE EASEMENT
---	ADA ROUTE TO R/W
SF-TP	TREE PROTECTION/SILT FENCE
TP	TREE PROTECTION FENCE
X-X-X	CHAIN LINK FENCE
~	TREE LINE
---	EX. TOPO MAJOR
---	EX. TOPO MINOR
---	NEW TOPO MAJOR
---	NEW TOPO MINOR
---	LIMITS OF DISTURBANCE
SS	EXISTING SAN. SEWER
W	EXISTING WATER LINE
SD	EXISTING STORM DRAINAGE

- GENERAL NOTES**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
  2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  3. TOPOGRAPHY AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY JDS CONSULTING, DATED JUNE 09, 2021. BOUNDARY AND ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
  4. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

- GRADING NOTES**
1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OR ANY DISCREPANCIES OR CONFLICTS.
  3. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
  5. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
  6. THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
  7. THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

**THE SITE GROUP**  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
 THE SITE GROUP, PLLC  
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 Raleigh, NC 27605-1136 USA  
 Office: 919.835.4787  
 Fax: 919.839.2255  
 E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024) FOR:  
**YES YOUTH CENTER-  
 SPECIAL CARE FACILITY**  
 3405 ROCK QUARRY ROAD  
 RALEIGH, NORTH CAROLINA

Drawn By: **WRR**  
 Checked By: **BDM**

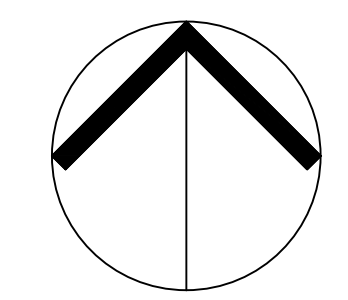
DATE:  
 05 SEP 2024

ADMINISTRATIVE  
 SITE PLAN

GRADING  
 AND  
 DRAINAGE  
 PLAN

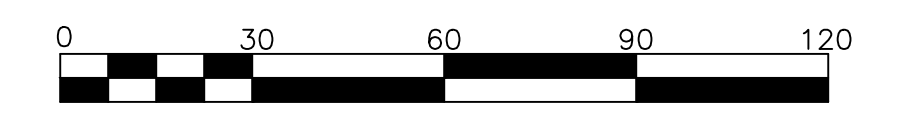
Job Code: **ISYARQ**

Dwg No.  
**PA  
 3.0**



NORTH  
 GRADING AND  
 DRAINAGE PLAN

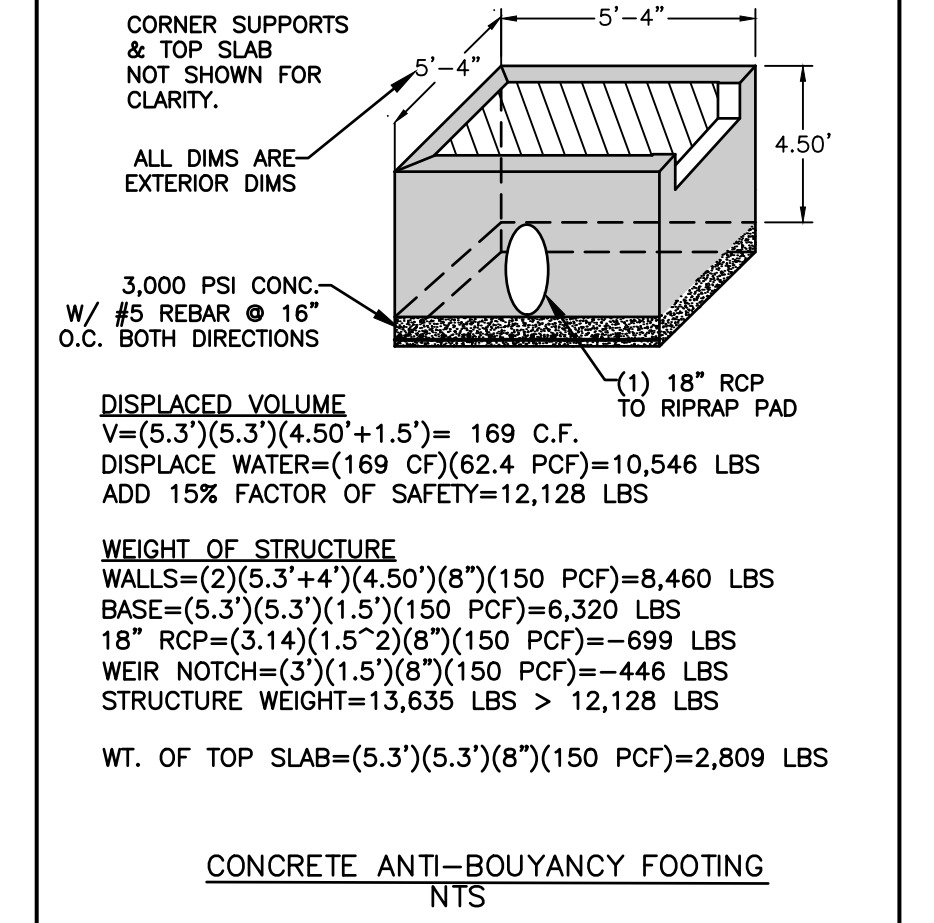
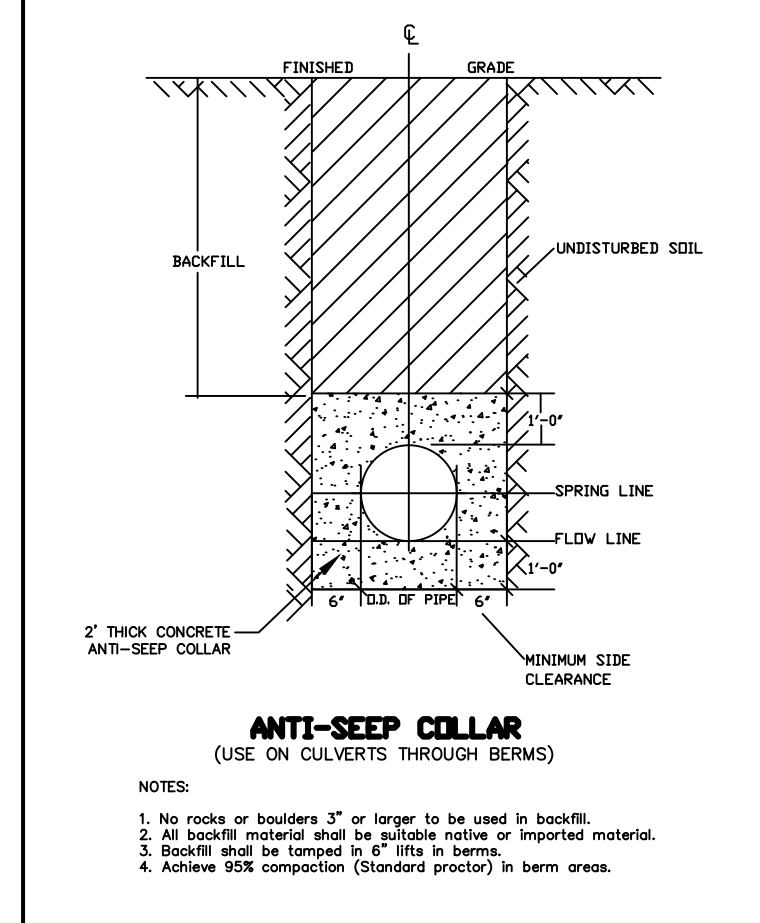
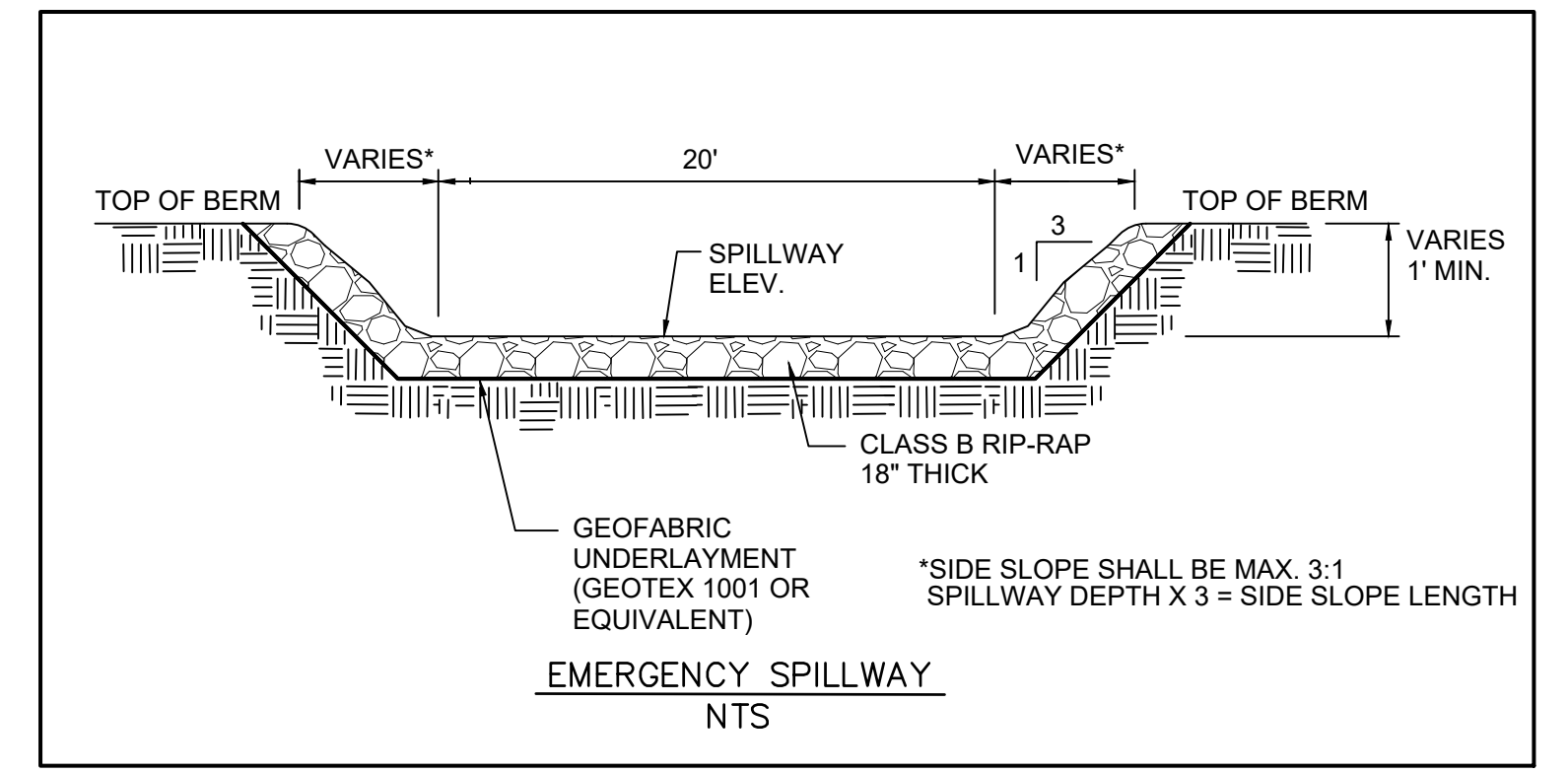
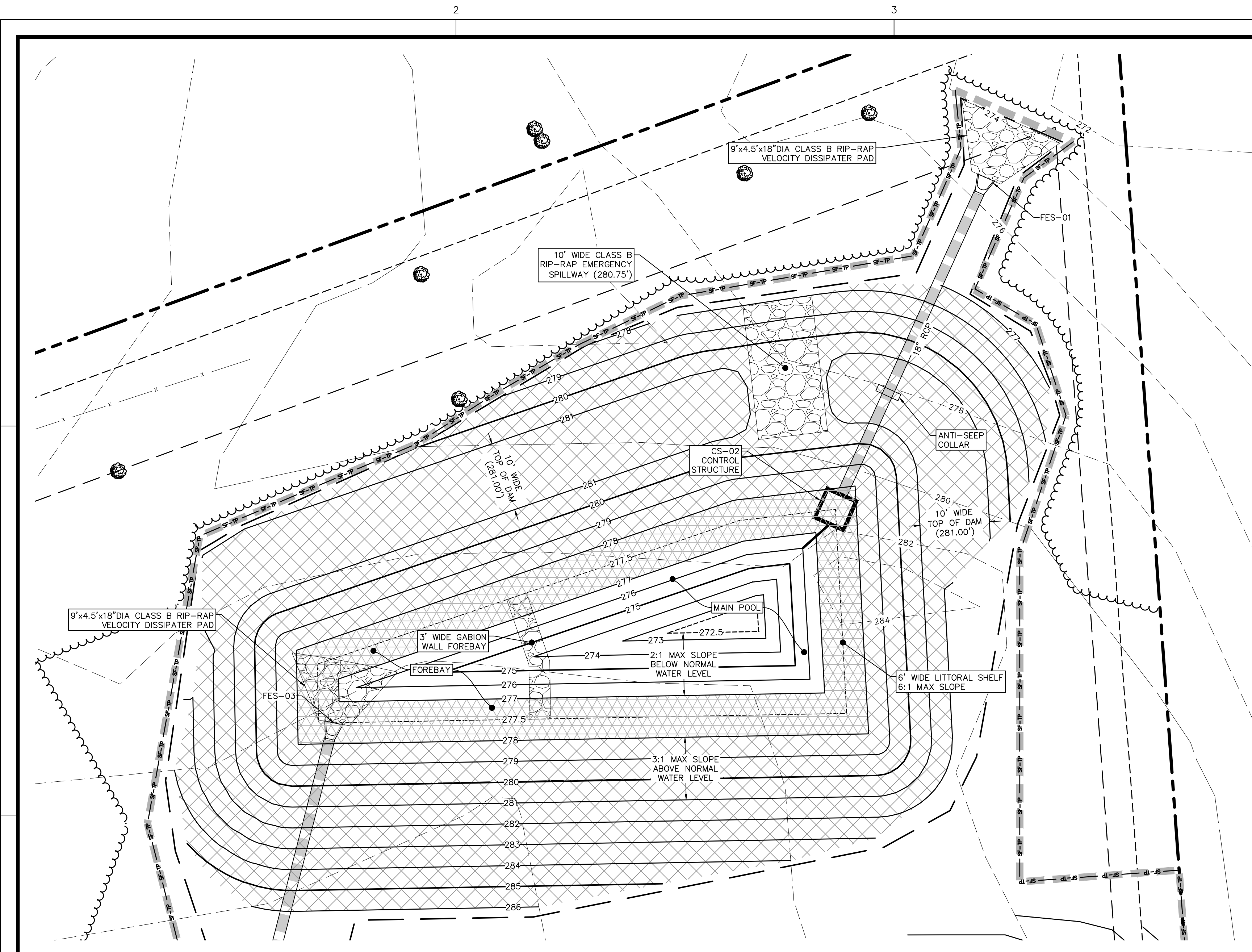
SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



**DISTURBED AREA = 2.22 AC (96,792 SF.)**

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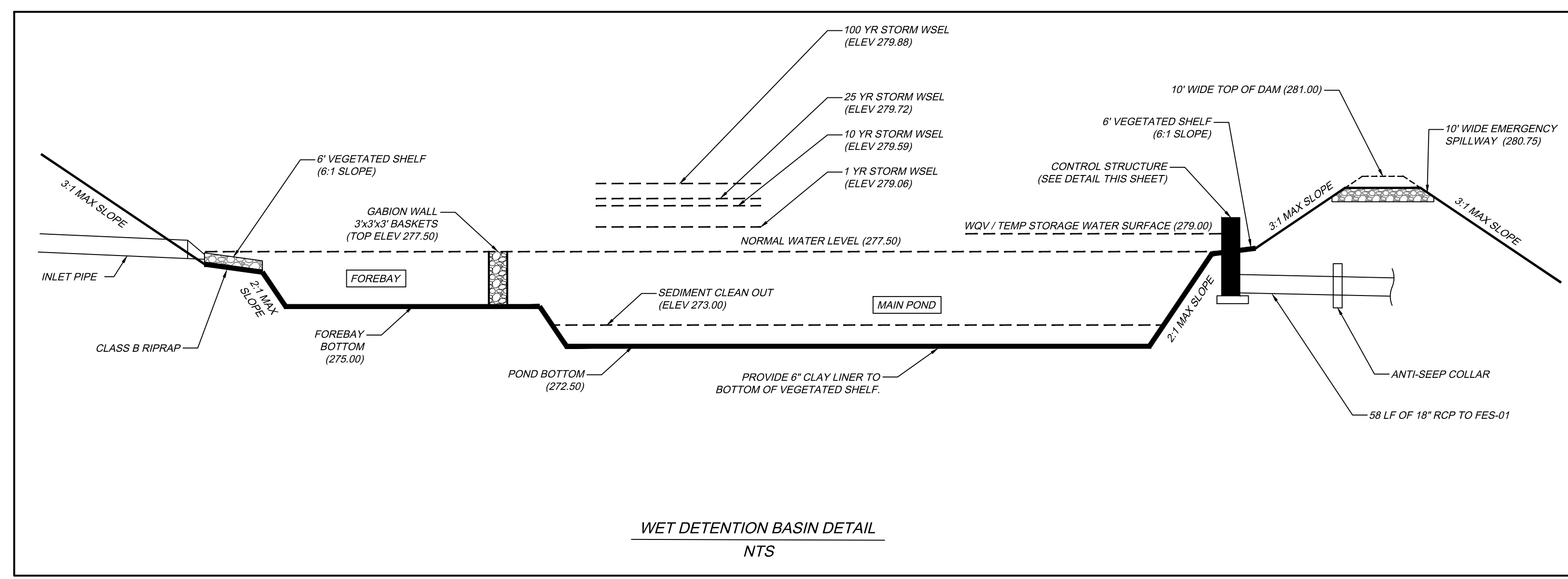


**WET POND PLANTING LEGEND**

CENTPEDE GRASS (5,885 SF.)	
LITTORAL SHELF PLANTINGS (1,146 SF.)	

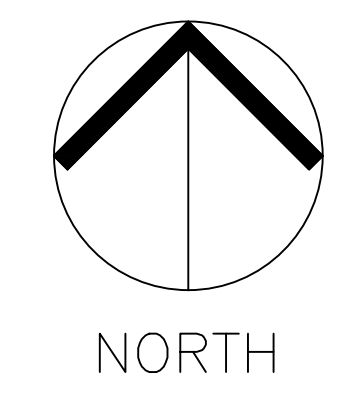
**WET POND PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	REMARKS
<b>WET POND LITTORAL SHELF - 1,146 SF / 200 x 50 = 287 PLUGS REQUIRED</b>				
CT	72	Carex tenera*	Quill Sedge	3" x 2.5" SQUARE PLUGS (MIN)
EM	72	Eupatoriadelphus maculatus	Spotted trumpetweed	3" x 2.5" SQUARE PLUGS (MIN)
PV	72	Peltandra virginica	Arrow arum	3" x 2.5" SQUARE PLUGS (MIN)
SA	71	Schoenoplectus americanus	Three-square bulrush	3" x 2.5" SQUARE PLUGS (MIN)
<b>SLOPE STABILIZATION GRASSES</b>				
CENTPEDE GRASS	5,885 SF	Eremochloa ophiuroides		SEED AT 50 LBS. PER ACRE



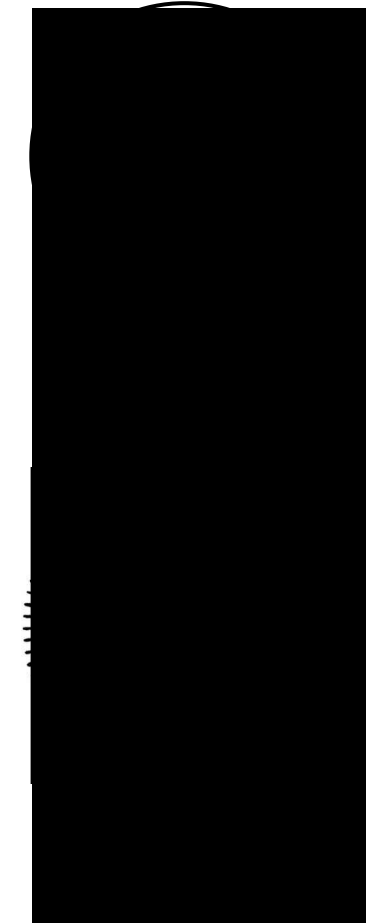
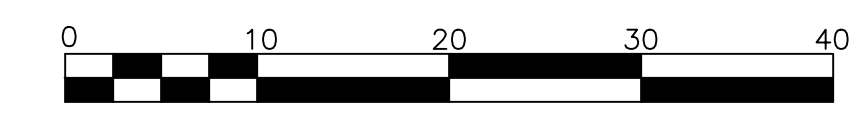
**Table 1: Clay Liner Specifications (Source: VADCR, 1999).**

Property	Test Method	Unit	Specification
Permeability	ASTM D-2434	Cm/sec	1 x 10 ⁻⁶
Plasticity Index of Clay	ASTM D-423/424	%	Not less than 15
Liquid Limit of Clay	ASTM D-2216	%	Not less than 30
Clay Particles Passing	ASTM D-422	%	Not less than 30
Clay Compaction	ASTM D-2216	%	95% of standard proctor density



SCM PLAN

SCALE: 1" = 10' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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ADMINISTRATIVE  
 SITE PLAN

SCM  
 PLAN

Job Code: **ISYARQ**

Dwg No.  
**PA  
 3.1**

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GRADING CONTRACTOR MUST DOCUMENT CLAY LINER AND VERIFY MATERIAL WITH GEOTECHNICAL ENGINEER DURING CONSTRUCTION TO ENSURE POND HOLDS WATER.

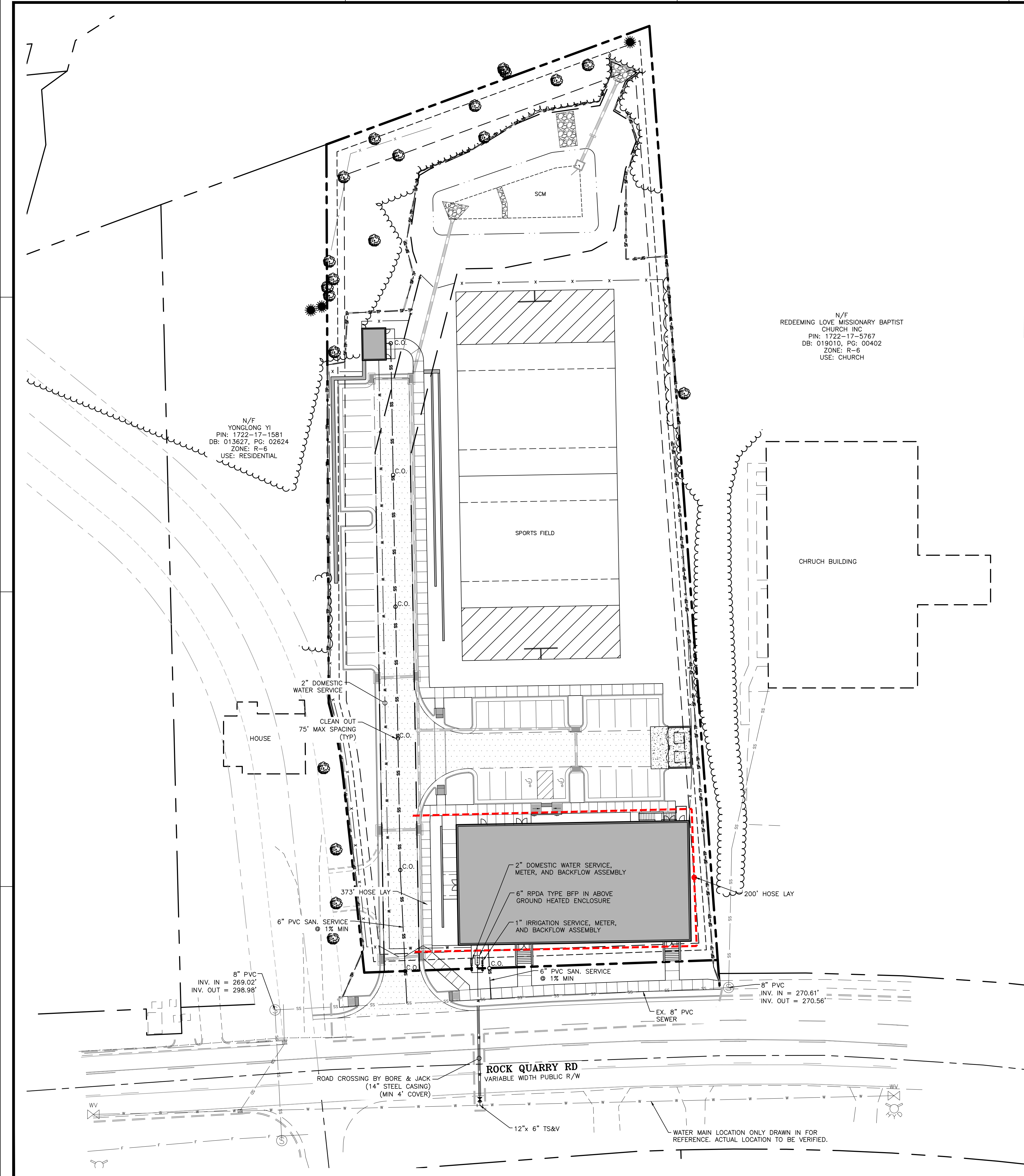


**LINE LEGEND**

---	PROPERTY BOUNDARY LINE
- - -	ADJACENT LOT LINE
---	STREET CENTERLINE
---	BUILDING SETBACK
---	PARKING SETBACK
---	PRIVATE DRAINAGE EASEMENT
---	ADA ROUTE TO R/W
SF-TP	TREE PROTECTION/SILT FENCE
TP	TREE PROTECTION FENCE
X X X X	CHAIN LINK FENCE
---	TREE LINE
---	LIMITS OF DISTURBANCE
W	PROPOSED WATER LINE
SS	PROPOSED SEWER LINE
---	HOSE LAY
SS	EXISTING SAN. SEWER
W	EXISTING WATER LINE
SD	EXISTING STORM DRAINAGE

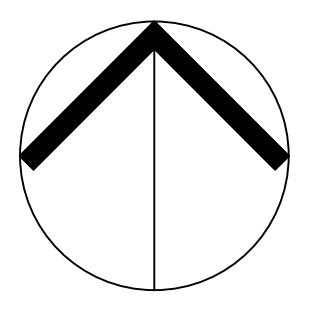
- STANDARD UTILITY NOTES (AS APPLICABLE):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 100 SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25 FROM A PRIVATE WELL OR 50 FROM A PUBLIC WELL.
    - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADE HAVING 8" MIN. CLEARANCE (PER CORPUD DETAILS W41 & S-49)
    - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
  - 3.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
  - INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'22" WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
  - INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDDT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGH.GOV FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
  - THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
  - THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
  - THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
  - NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

- GENERAL NOTES**
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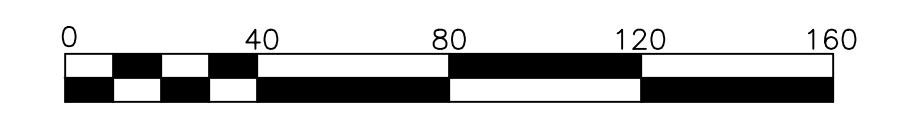
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YONGLONG YI  
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ZONE: R-6  
USE: RESIDENTIAL



NORTH  
UTILITY  
PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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**YES YOUTH CENTER-  
SPECIAL CARE FACILITY**  
3405 ROCK QUARRY ROAD  
RALEIGH, NORTH CAROLINA

Drawn By: **CJB**  
Checked By: **BDM**

DATE:  
05 SEP 2024

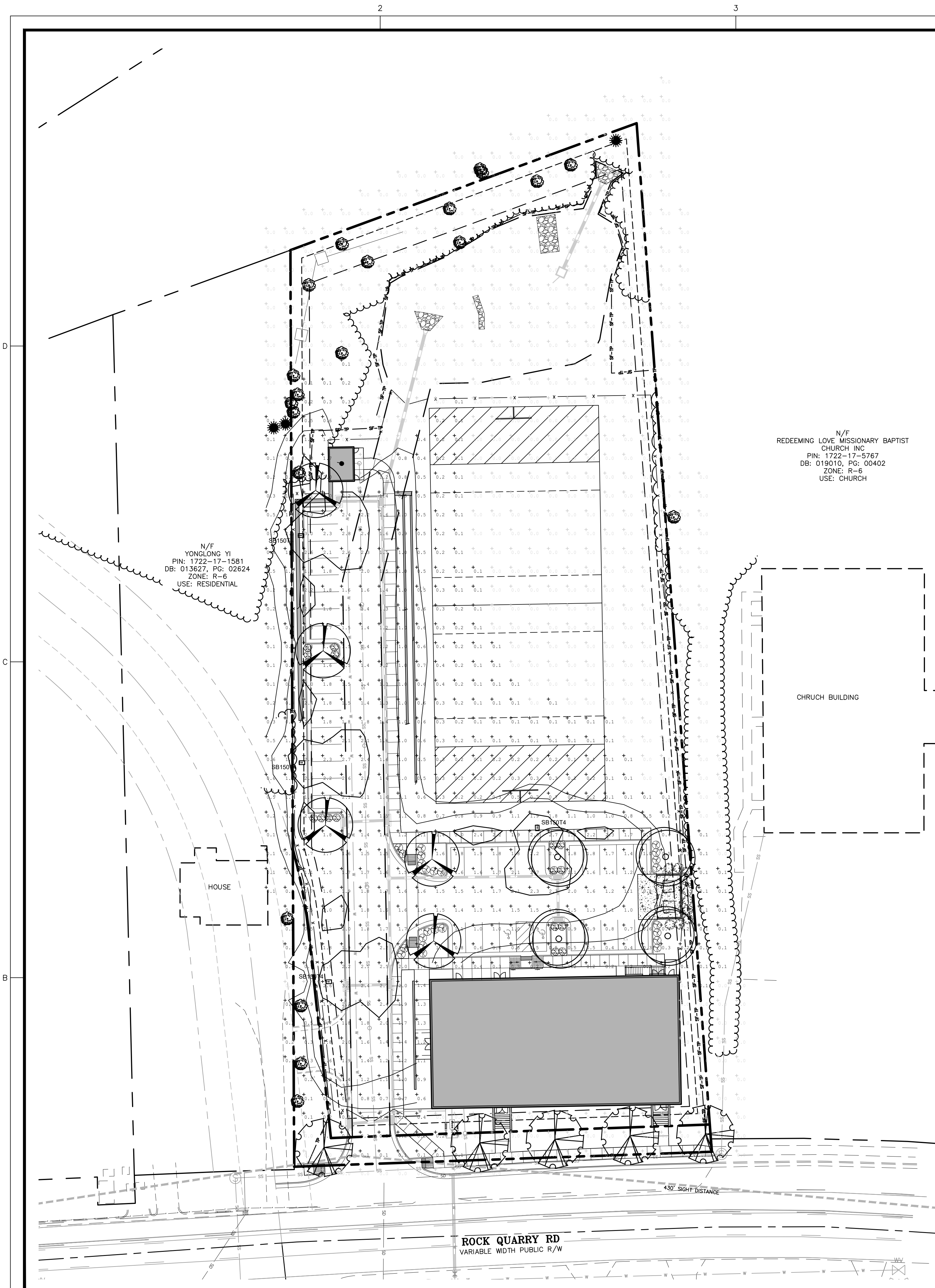
ADMINISTRATIVE  
SITE PLAN

UTILITY  
PLAN

Job Code: **ISYARQ**

Dwg No.  
**PA  
4.0**





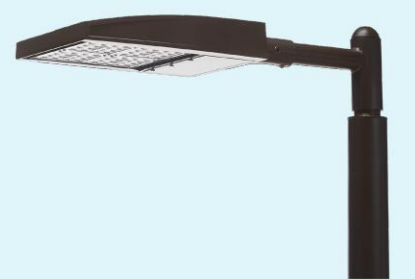
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4. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

**LIGHTING NOTES**

1. LIGHT POLES ARE TO BE LOCATED 10' (MIN) AWAY FROM CANOPY TREES.
2. LIGHT LEVELS AT RESIDENTIAL PROPERTY LINES SHALL NOT EXCEED 0.5 FC
3. LIGHT LEVELS AT PUBLIC RIGHT OF WAYS SHALL NOT EXCEED 2.0 FC
4. ANY WALL PACKS INSTALLED ON THE BUILDING MUST BE FULL CUT OFF FIXTURES.
5. FIXTURE SYMBOLS ARE ILLUSTRATIVE AND HAVE BEEN INCREASED IN SIZE.
6. DUKE ENERGY PROGRESS SERVICE IS AVAILABLE FOR THIS SITE. FINAL PHOTOMETRICS TO BE PER DUKE ENERGY LAYOUT.

### Outdoor Lighting



**SHOBOX LED**  
(Meets Dark Sky Criteria)

LED (Light-emitting diode)	150   220   420   530 watts
Mounting height	25' 30', 35'
Color	Black   Bronze   Gray   White
Pole	Fiberglass (1 or 2 fixtures per pole) Decorative tapered metal Decorative square metal
Applications	Neighborhoods Roadways Shopping centers

Light source: LED (white)  
Wattage: 150 | 220 | 420 | 530 watts  
Light pattern: IES Type V | Type IV (forward throw) | Type III  
IESNA cutoff classification: Full cutoff  
BUG rating: 150W Type III = B2U0G3 | Type IV = B3U0G4 | Type V = B5U0G3  
220W Type III = B2U0G4 | Type IV = B3U0G4 | Type V = B4U0G3  
420W Type IV = B3U0G5 | Type V = B5U0G5  
530W Type IV = B3U0G5 | Type V = B5U0G5  
Color temperature: 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

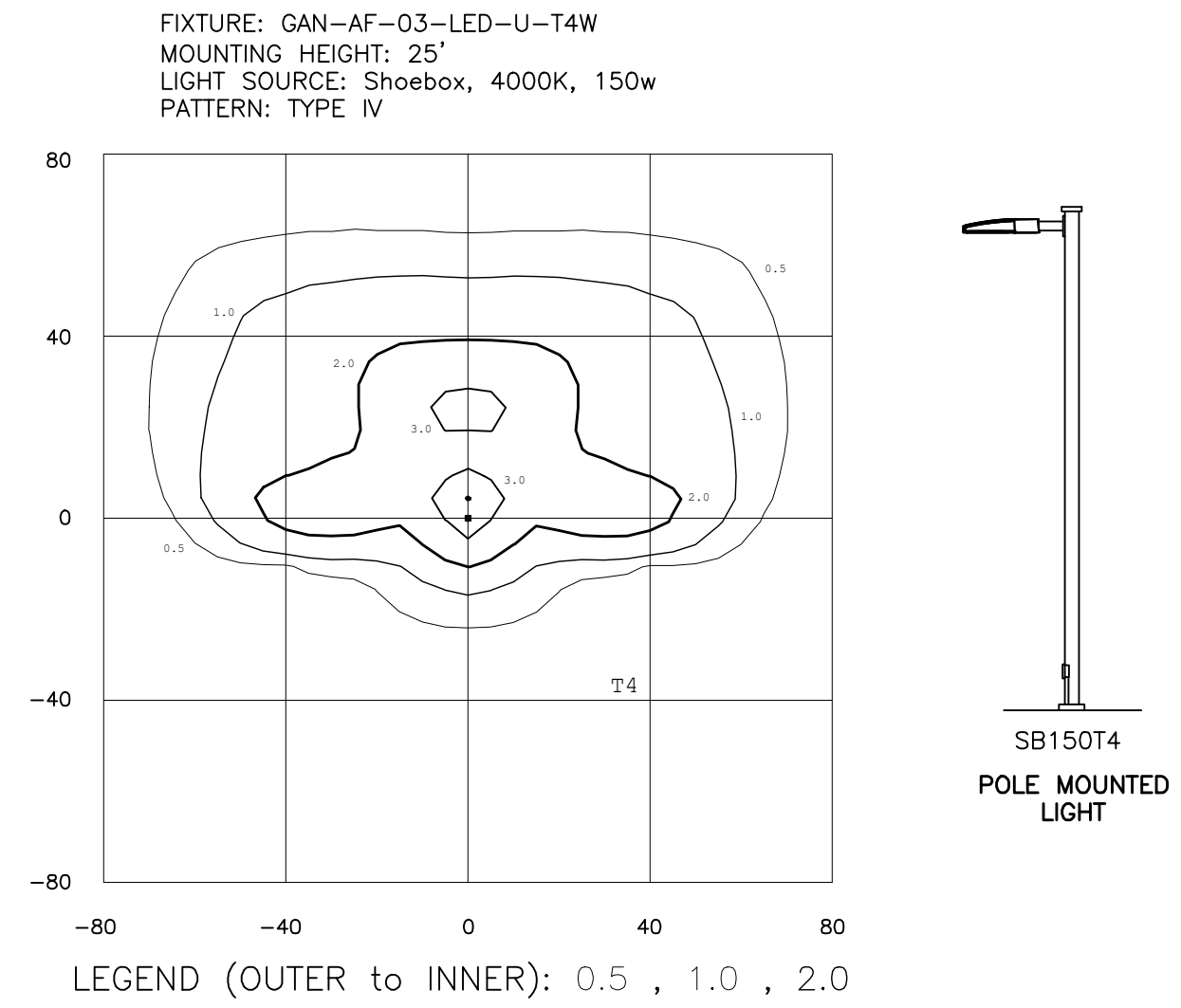
**FEATURES**

Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, email us at [COLCardwell@duke-energy.com](mailto:COLCardwell@duke-energy.com)

**DUKE ENERGY**  
PROGRESS

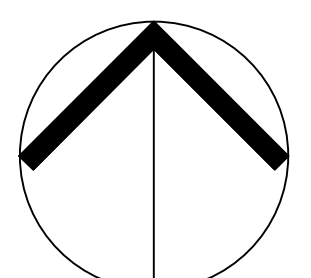
**ISOFOOTCANDLE CURVE**



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED AREA	illuminance	Fc	0.47	3.3	0.0	N.A.	N.A.
Parcel Boundary	illuminance	Fc	0.58	3.3	0.0	N.A.	N.A.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	BUG Rating
☐	4	Shoobox 150W Type IV 4000K GA	SINGLE	0.850	GAN-AF-03-LED-U-T4W	B3-U0-G4



NORTH

**LIGHTING PLAN**

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)

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Drawn By: **CJB**  
Checked By: **BDM**

DATE: 05 SEPT 2024

ADMINISTRATIVE SITE PLAN

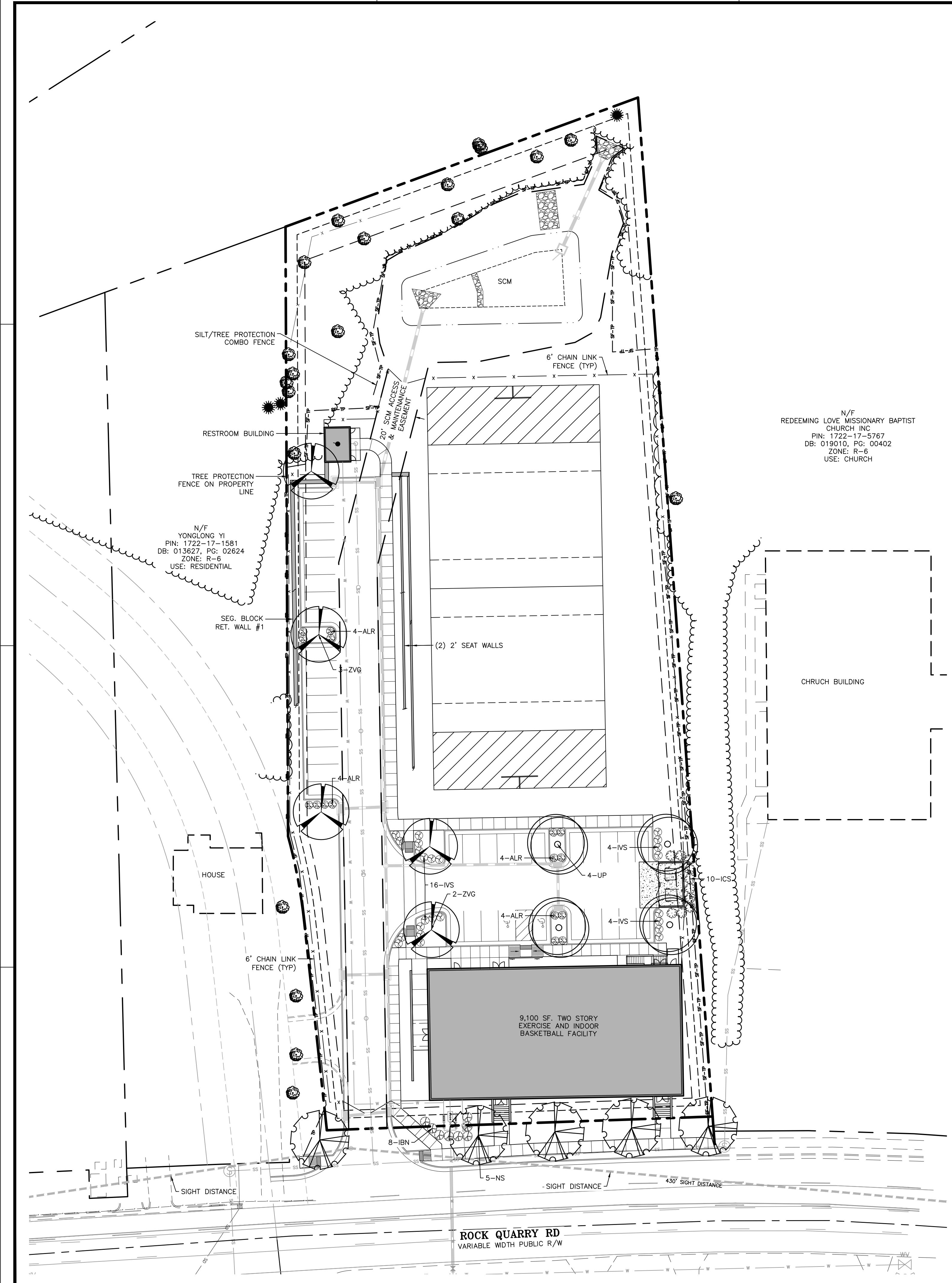
LIGHTING PLAN

Job Code: **ISYARQ**

Dwg No. **PA 4.1**

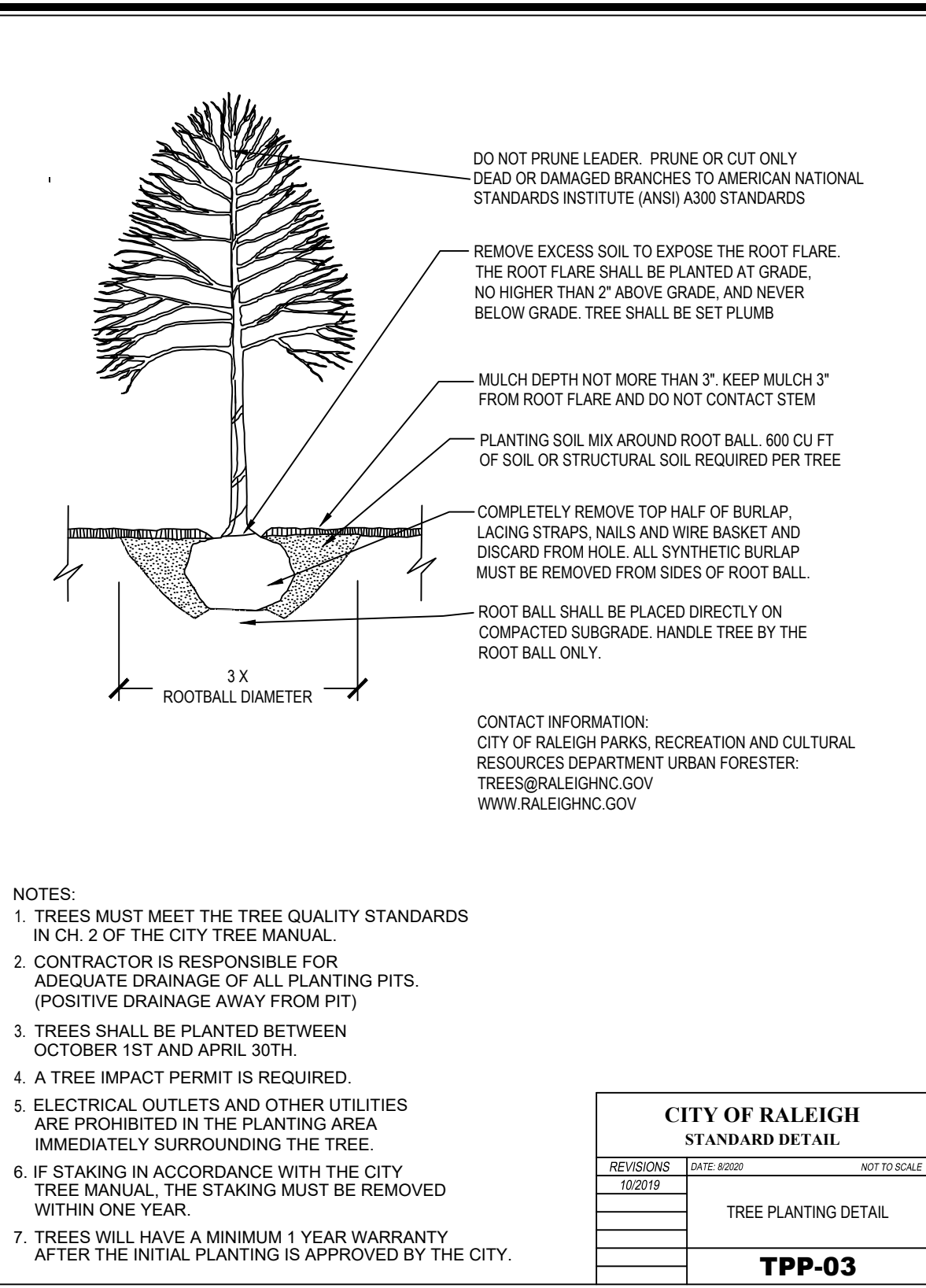
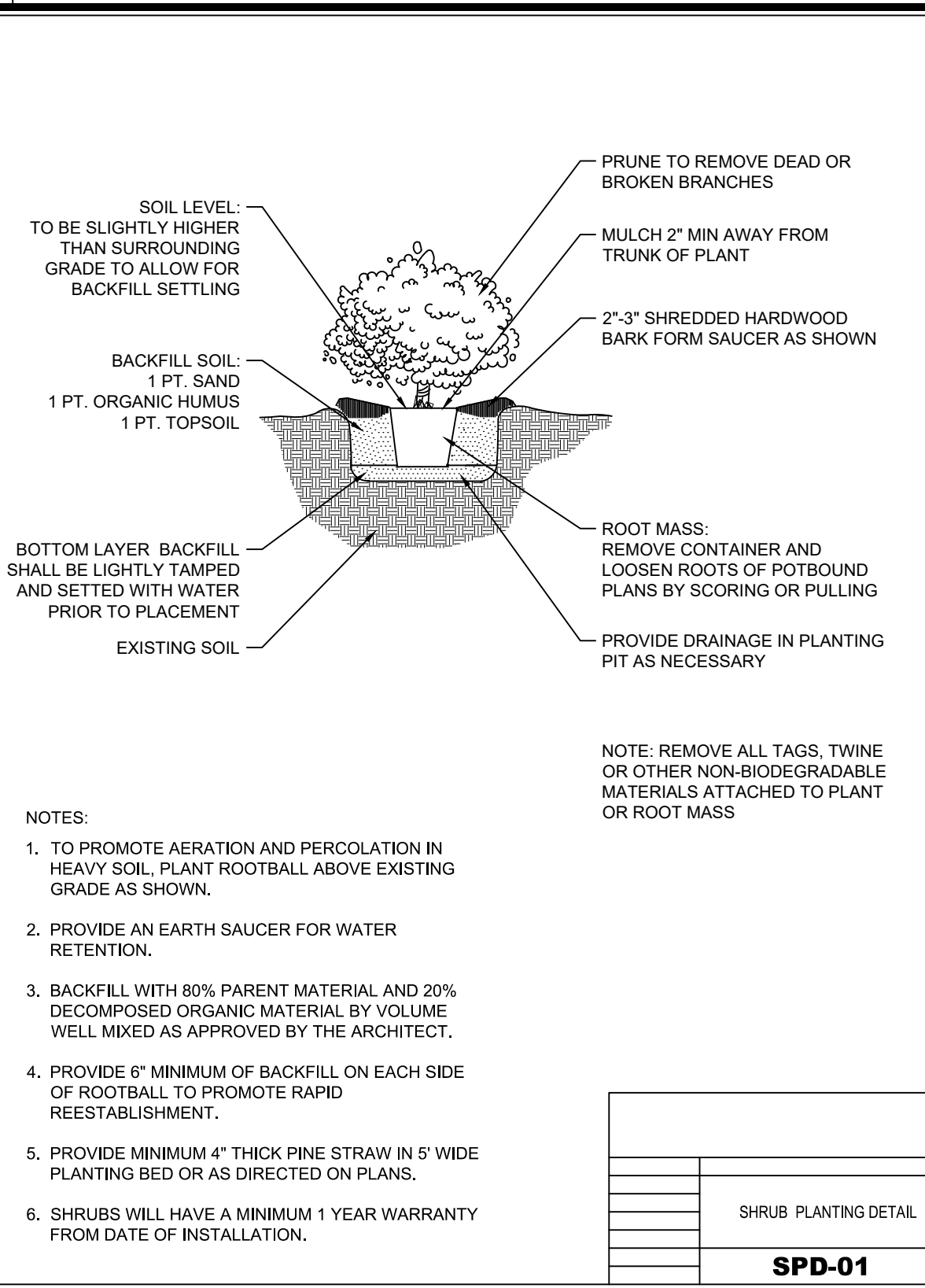
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N/F  
REDEEMING LOVE MISSIONARY BAPTIST  
CHURCH INC  
PIN: 1722-17-5767  
DB: 019010, PG: 00402  
ZONE: R-6  
USE: CHURCH

N/F  
YONGLONG YI  
PIN: 1722-17-1581  
DB: 013627, PG: 02624  
ZONE: R-6  
USE: RESIDENTIAL



**OVERALL PLANT LIST**

KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE	MATURE HEIGHT/CROWN	ROOT	REMARKS	LOCATION
<b>SHADE TREES</b>									
NS	5	NYSSA SYLVATICA 'GREEN GABLE'	GREEN GABLE BLACK GUM	10'	3" CAL.	50'/30'	B&B	DECIDUOUS	STREET TREE
UP	4	ULMUS PARVIFLORUM	LACEBARK ELM	10'	3" CAL.	40'/30'	B&B	DECIDUOUS	VUA
ZVG	5	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	10'	3" CAL.	50'/40'	B&B	DECIDUOUS	VUA
<b>SHRUBS</b>									
ALR	16	ABELIA GRANDIFLORA 'LITTLE RICHARD'	LITTLE RICHARD ABELIA	24" HT. MIN.	3 GAL.	4'/4'	CONT.	EVERGREEN	VUA, 4' O.C.
IBN	8	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	24" HT. MIN.	3 GAL.	5'/5'	CONT.	EVERGREEN	VUA, 4' O.C.
ICS	10	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	36" HT. MIN.	10 GAL.	10'/6'	CONT.	EVERGREEN	SCREEN, 5' O.C.
IVS	24	ILEX VOMITORIA 'SCHILLINGS'	SCHILLINGS DWARF YAUPON HOLLY	24" HT. MIN.	3 GAL.	4'/4'	CONT.	EVERGREEN	VUA, 4' O.C.

**PLANTING NOTES:**

LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.

**SYMBOLS:** B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER; O.C. = ON-CENTER; (R) = TO REMAIN

**MULCH:** MULCH ALL BED AREAS WITH SHREDDED PINE MULCH TO A DEPTH OF 3".

**NOTE:**

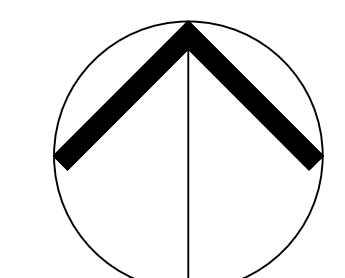
- ANY TREES IN SIGHT TRIANGLES WILL BE LIMBED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SIGHT TRIANGLES WILL BE MAINTAINED BELOW 2'.
- ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.

**TREE COVERAGE REQUIREMENT:**

1 SHADE TREE FOR EVERY 2,000 SF. OF PARKING AREA.	
PARKING AREA	18,163 SF.
SHADE TREES REQUIRED:	9
SHADE TREES PROVIDED:	9

**STREET TREE REQUIREMENT CALCULATIONS:**

ROCK QUARRY RD. FRONTAGE:	192 LF.
SHADE TREES REQUIRED(1/40):	5 REQ'D
SHADE TREES PROVIDED:	5 PROV.

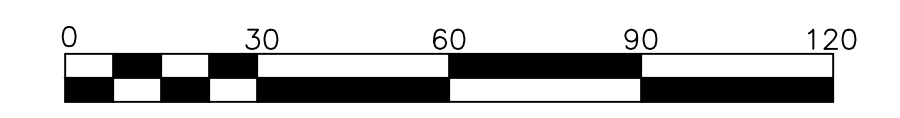


NORTH

**LANDSCAPE PLAN**

SCALE: 1" = 30'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



**THE SITE GROUP**  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
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E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024) FOR:  
**YES YOUTH CENTER-  
SPECIAL CARE FACILITY**  
3405 ROCK QUARRY ROAD  
RALEIGH, NORTH CAROLINA

Drawn By: **CJB**  
Checked By: **BDM**

DATE:  
05 SEP 2024

ADMINISTRATIVE  
SITE PLAN

LANDSCAPE  
PLAN

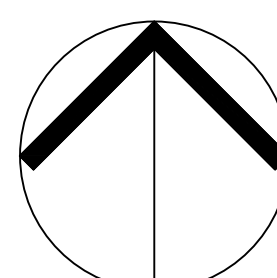
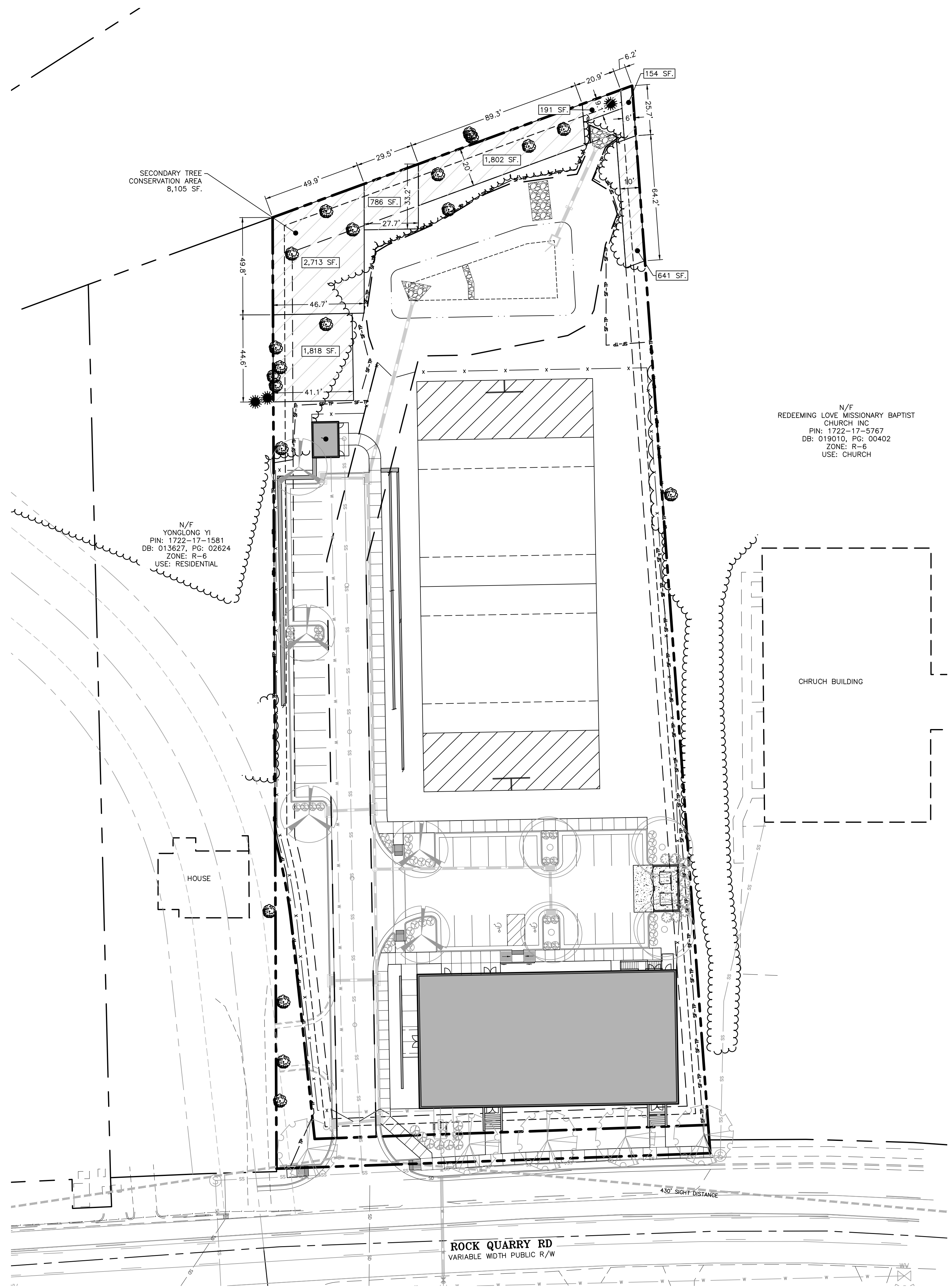
Job Code: **ISYARQ**

Dwg No.  
**PA  
5.0**

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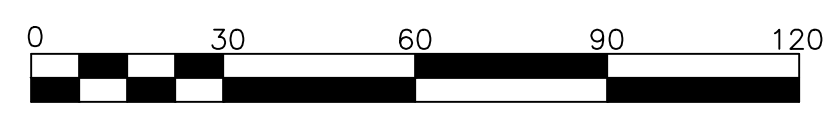


TREE CONSERVATION AREA SUMMARY	
EXISTING SITE AREA:	2.42 AC.
RIGHT OF WAY DEDICATED:	0.11 AC.
NET SITE AREA:	2.31 AC.
REQUIRED TREE CONSERVATION AREA:	0.23 AC.
SECONDARY TCA PROVIDED:	0.18 AC.



NORTH  
TREE CONSERVATION  
AREA PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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ADMINISTRATIVE  
SITE PLAN

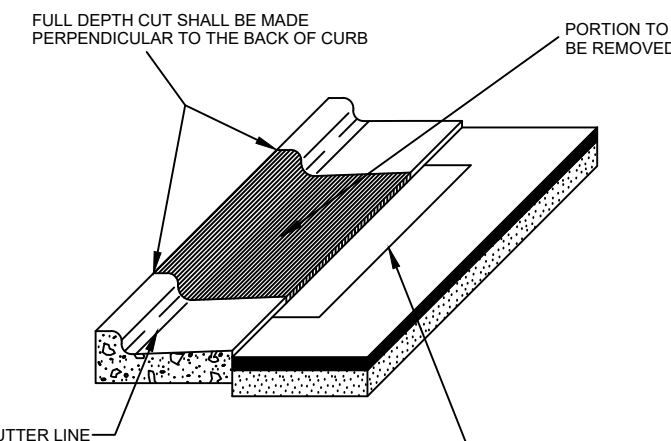
TREE  
CONSERVATION  
AREA  
PLAN

Job Code: **ISYARQ**

Dwg No.  
**PA  
5.1**

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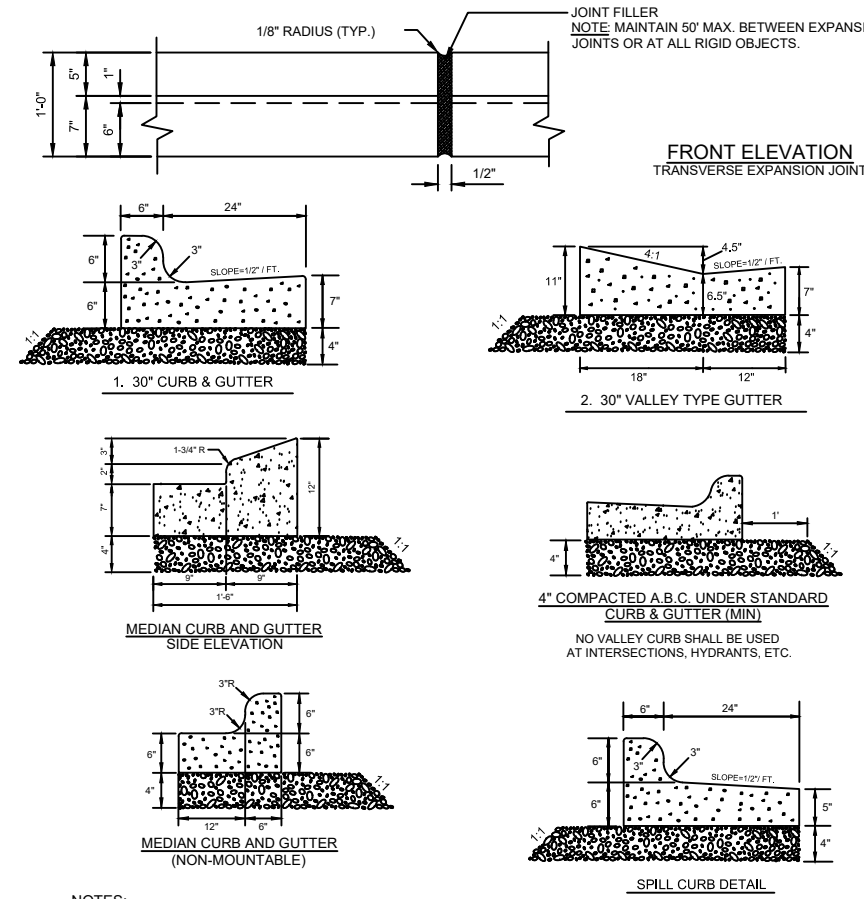


IF THE FINAL LIFT OF ASPHALT HAS BEEN INSTALLED AND IS DAMAGED DURING CURB REMOVAL, A ONE FOOT WIDE SECTION OF ASPHALT SHOULD BE SAWCUT AND REMOVED FOR FORMS TO BE USED TO KEEP A STRAIGHT EDGE ON THE DRIVEWAY APRON. REINSTALL HOT MIX SURFACE ASPHALT PATCH 59.5B.

IF THE FINAL LIFT OF ASPHALT HAS NOT BEEN INSTALLED, THE ASPHALT IN FRONT OF THE APRON CAN REMAIN IN PLACE.

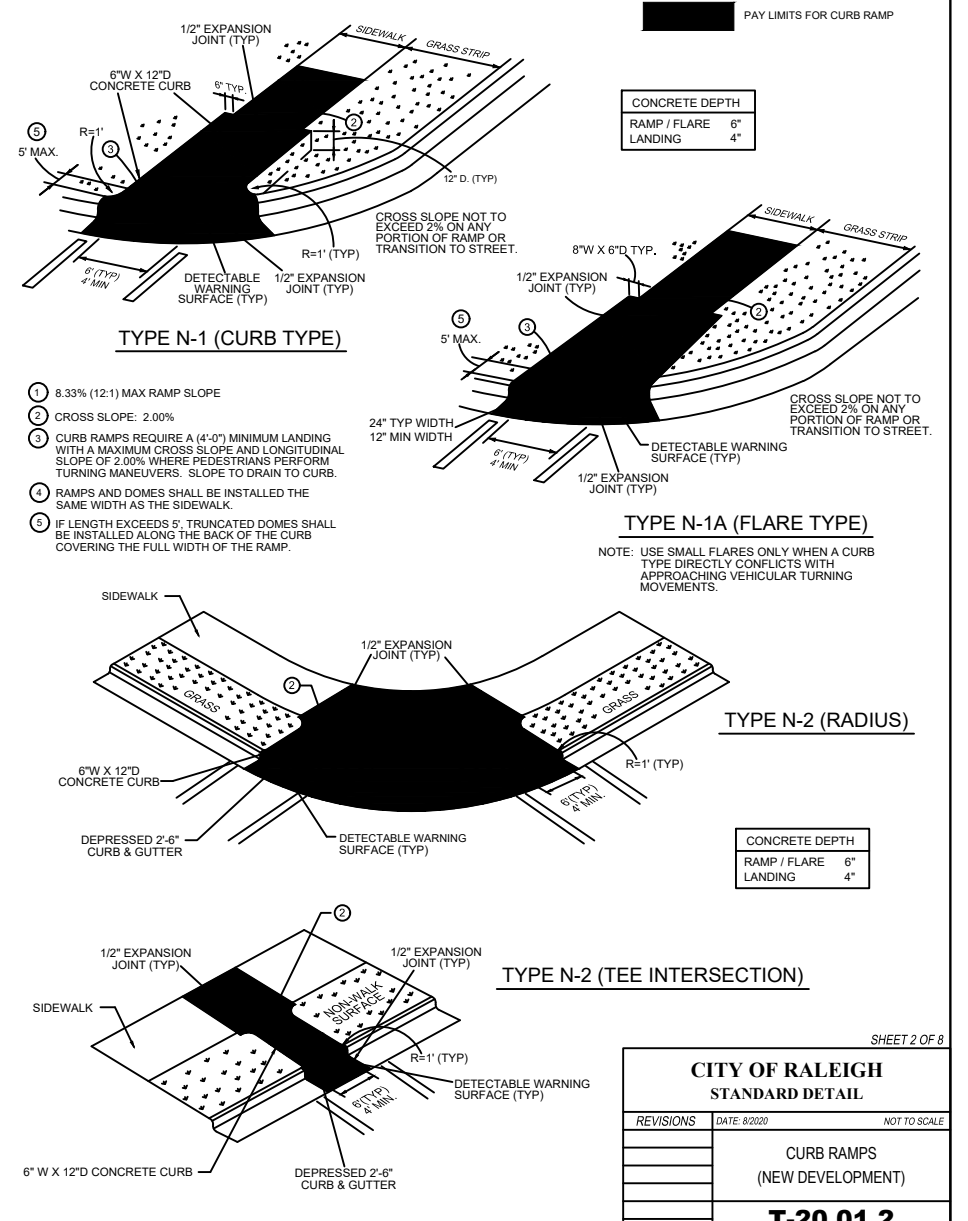
- NOTES:
1. CURB AND GUTTER SECTION SHALL BE REMOVED IN ACCORDANCE WITH DRIVEWAY WIDTH APPROVED BY THE CITY.
  2. IF PERPENDICULAR CUT IS LESS THAN 8" FROM NEXT JOINT, THEN THE PARALLEL CUT SHALL BE MADE TO THIS JOINT.
  3. THIS METHOD IS NOT ALLOWED IN NEW ROADWAY CONSTRUCTION.

CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
STANDARD METHOD OF REMOVING EXISTING CURB FOR DRIVEWAY APRON INSTALLATION		
T-10.24		



- NOTES:
1. 1/2" MAXIMUM BETWEEN CURB JOINTS IS MAXIMUM BETWEEN CURB JOINTS ON MACHINE PAVES.
  2. 1/2" EXPANSION JOINT EVERY 50'
  3. 3000 PSI CONCRETE FINISH: 4" SLURRY MAXIMUM.
  4. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1004.2 OF NCOTD STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
  5. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCOTD ROADWAY STANDARD DETAIL 448.11 THE JOINT MATERIAL SHALL CONFORM TO SECTION 1004.2 OF NCOTD STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
  6. REFER TO NCOTD DETAIL 448.11 FOR CURB AND GUTTER SUPERELEVATION NOTES.

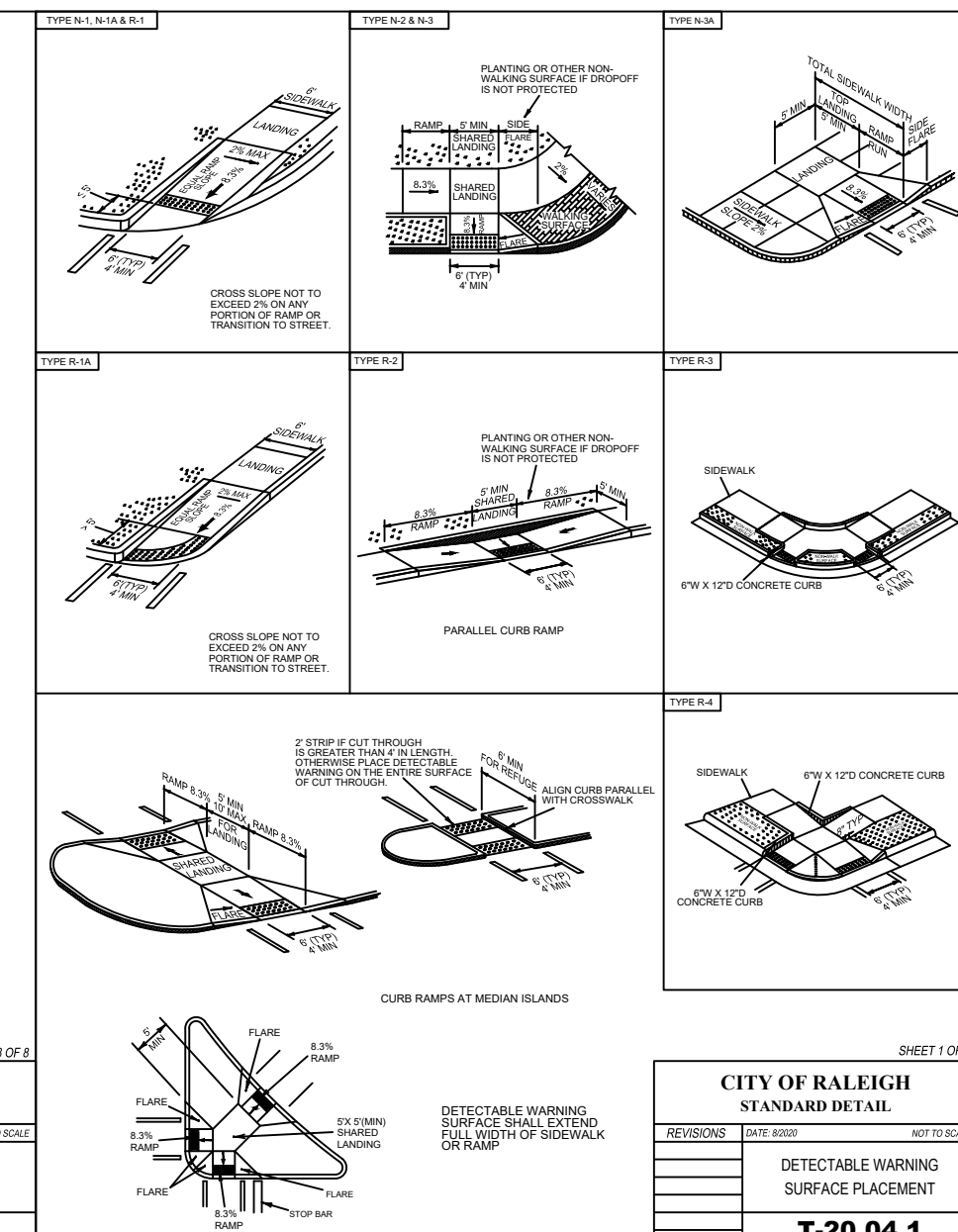
CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
CURB AND GUTTER		
T-10.26.1		



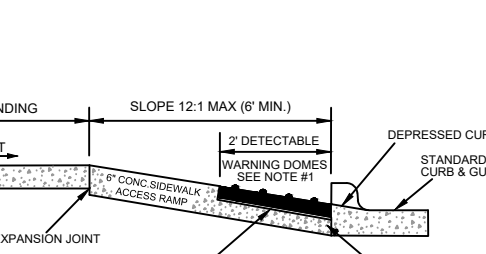
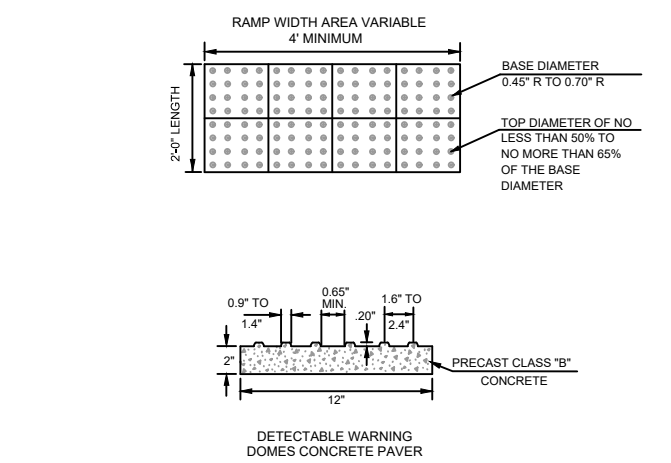
CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
CURB RAMPS (NEW DEVELOPMENT)		
T-20.01.2		

CITY OF RALEIGH CURB RAMPS GENERAL NOTES

1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEEL CHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
8. A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

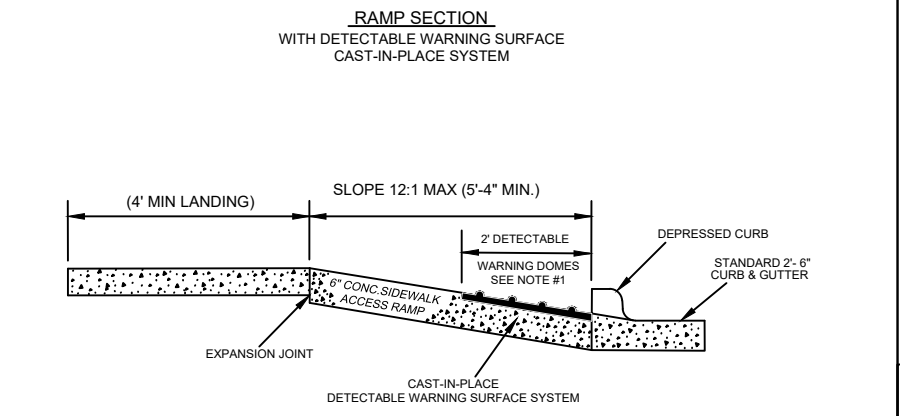


CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
CURB RAMP NOTES		
T-20.01.8		



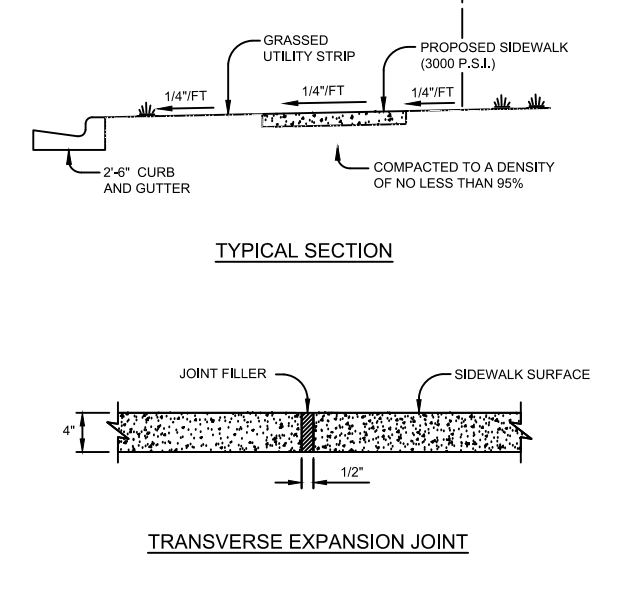
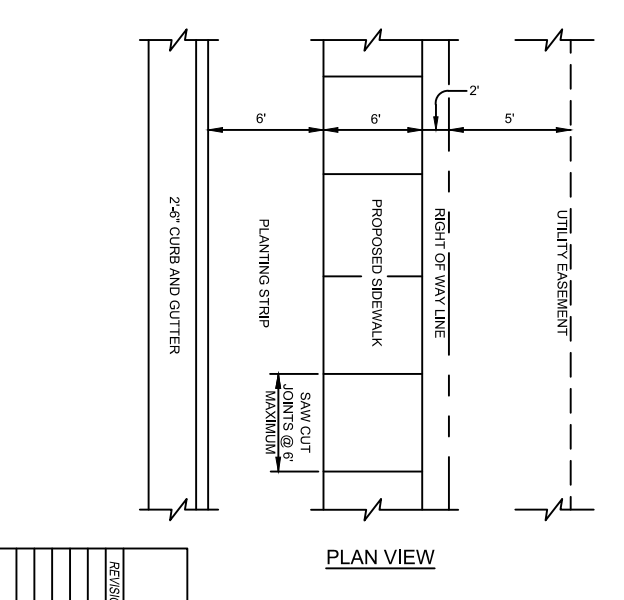
- NOTES:
1. DETECTABLE WARNING DOMES SHALL COVER 2' LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL. SIZE OF PAVES SHALL BE 1'x1'.
  2. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.

CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
DETECTABLE WARNING SURFACE PAVERS		
T-20.04.2		



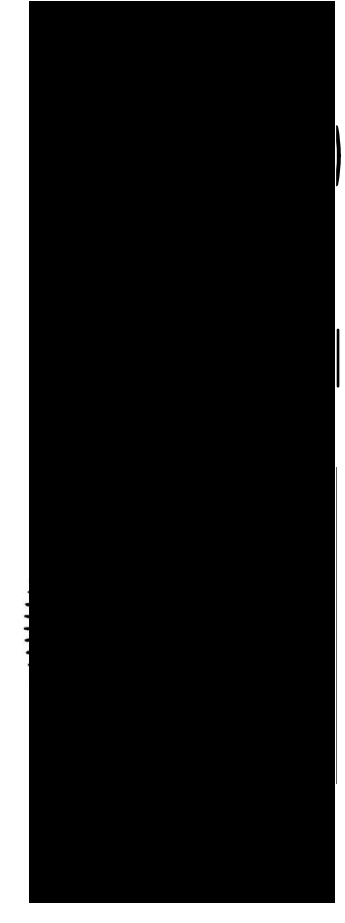
- NOTES:
1. DETECTABLE WARNING DOMES SHALL COVER 2' LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL.
  2. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.

CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
DETECTABLE WARNING CAST-IN-PLACE		
T-20.04.4		



CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
TRANSVERSE EXPANSION JOINT		
T-20.01		

- NOTES:
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
  2. ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
  3. A 3/8" DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS ALONG THE LENGTH OF PARKING CURB RETURNS, AND IN THE HANDICAP RAMPS.



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ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024) FOR:  
**YES YOUTH CENTER-SPECIAL CARE FACILITY**  
 3405 ROCK QUARRY ROAD  
 RALEIGH, NORTH CAROLINA

Drawn By: **CJB**  
 Checked By: **BDM**

DATE:  
 05 SEP 2024

ADMINISTRATIVE SITE PLAN

SITE DETAILS

Job Code: **ISYARQ**

Dwg No.  
**PA 6.0**



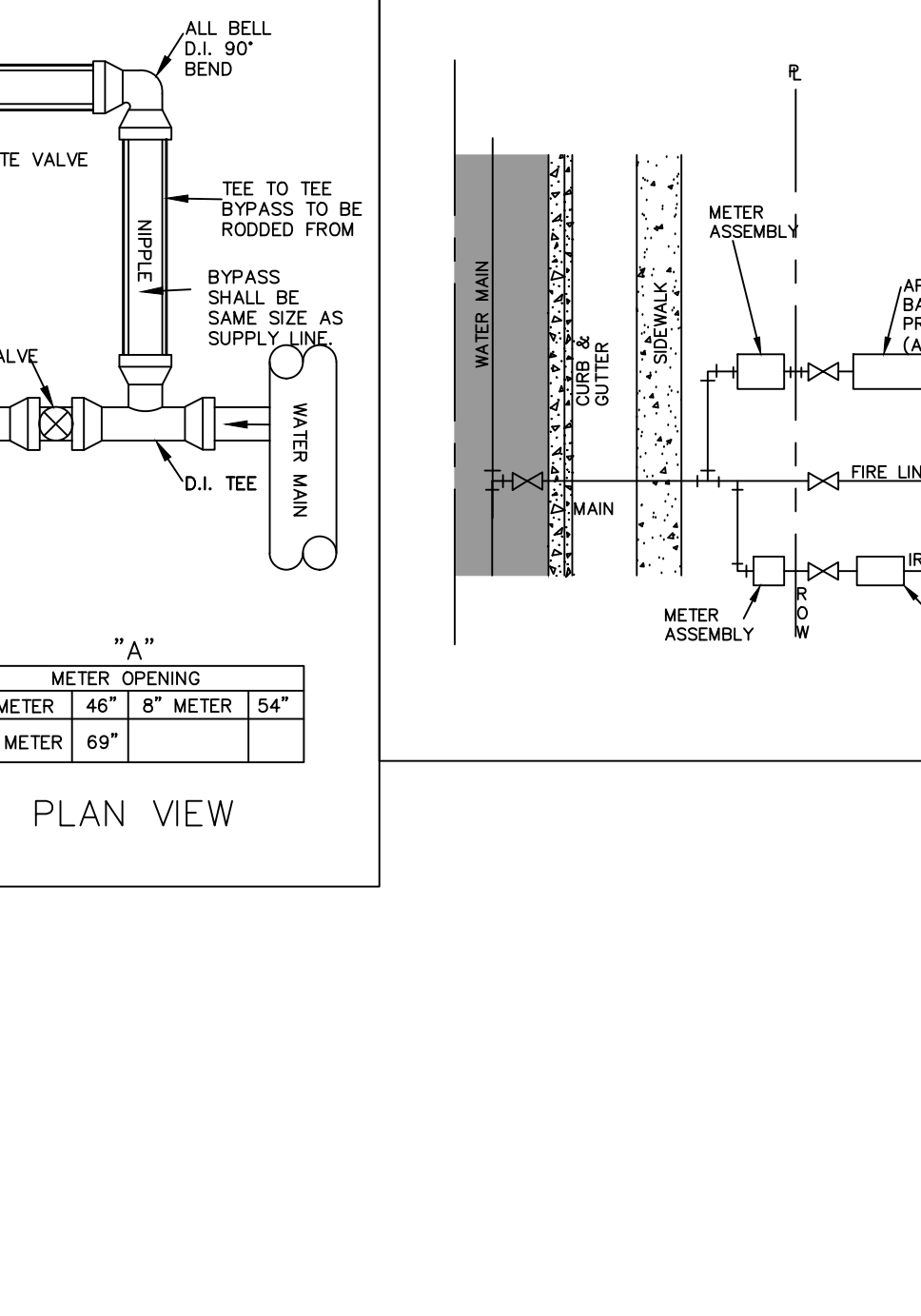
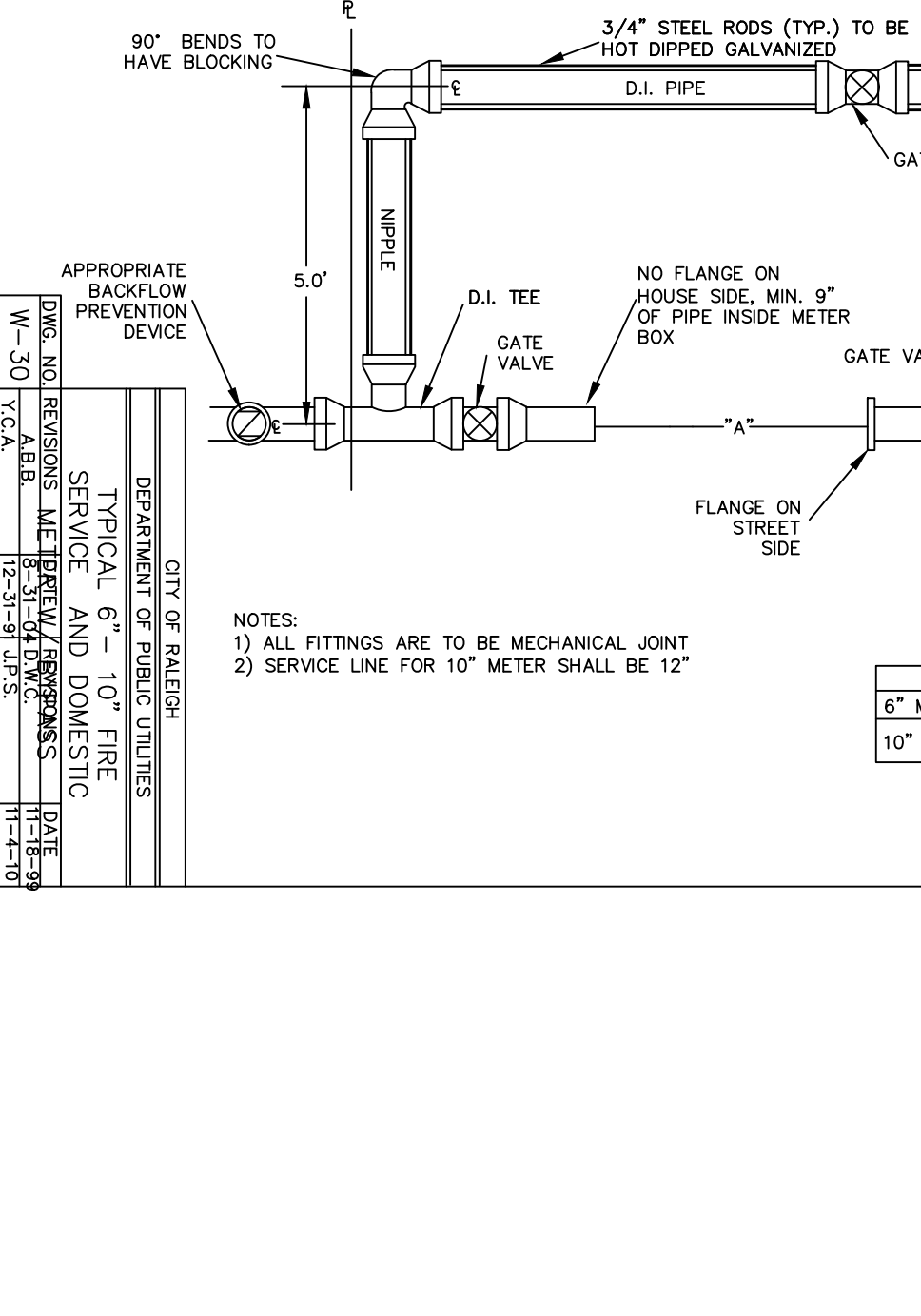
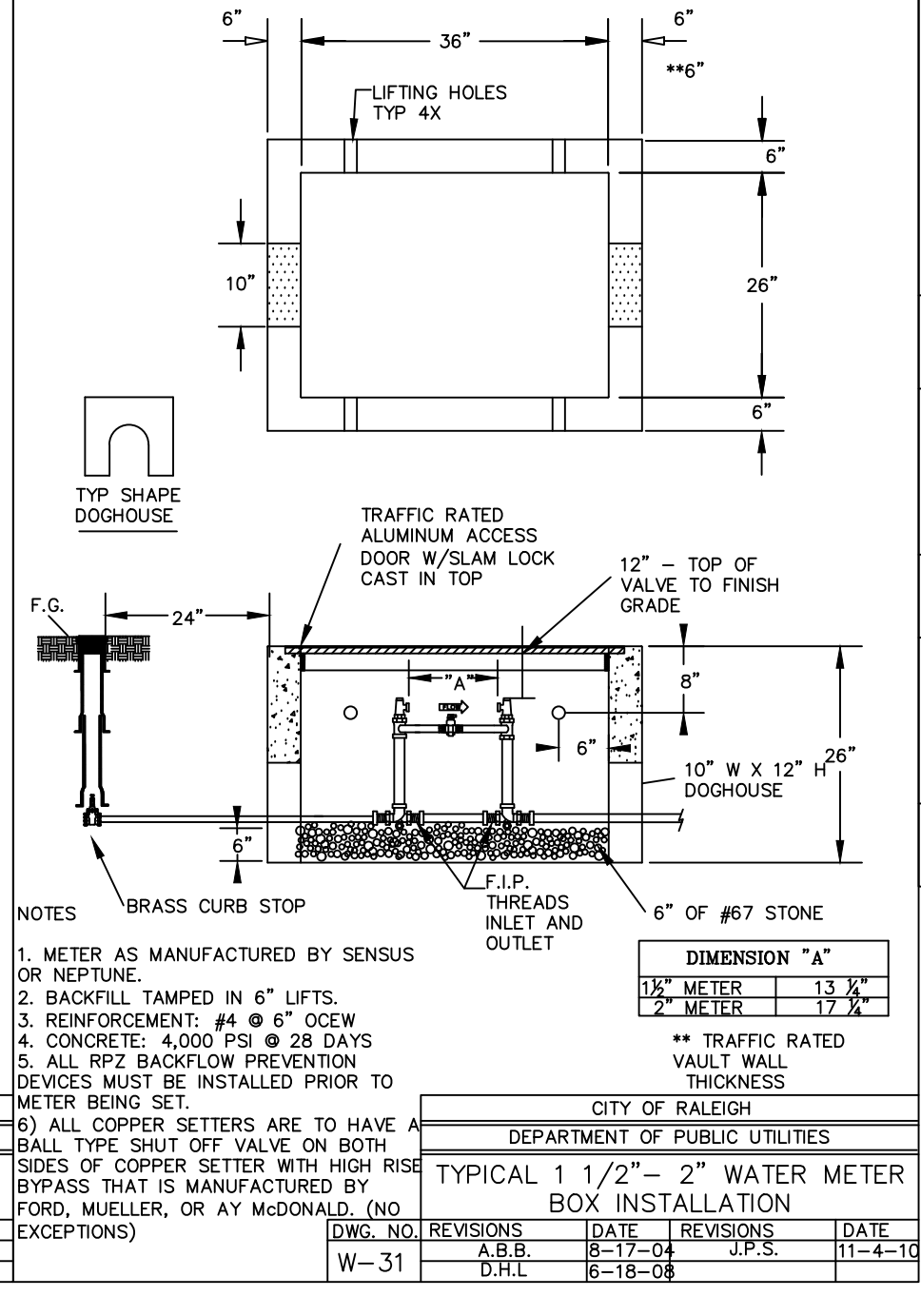
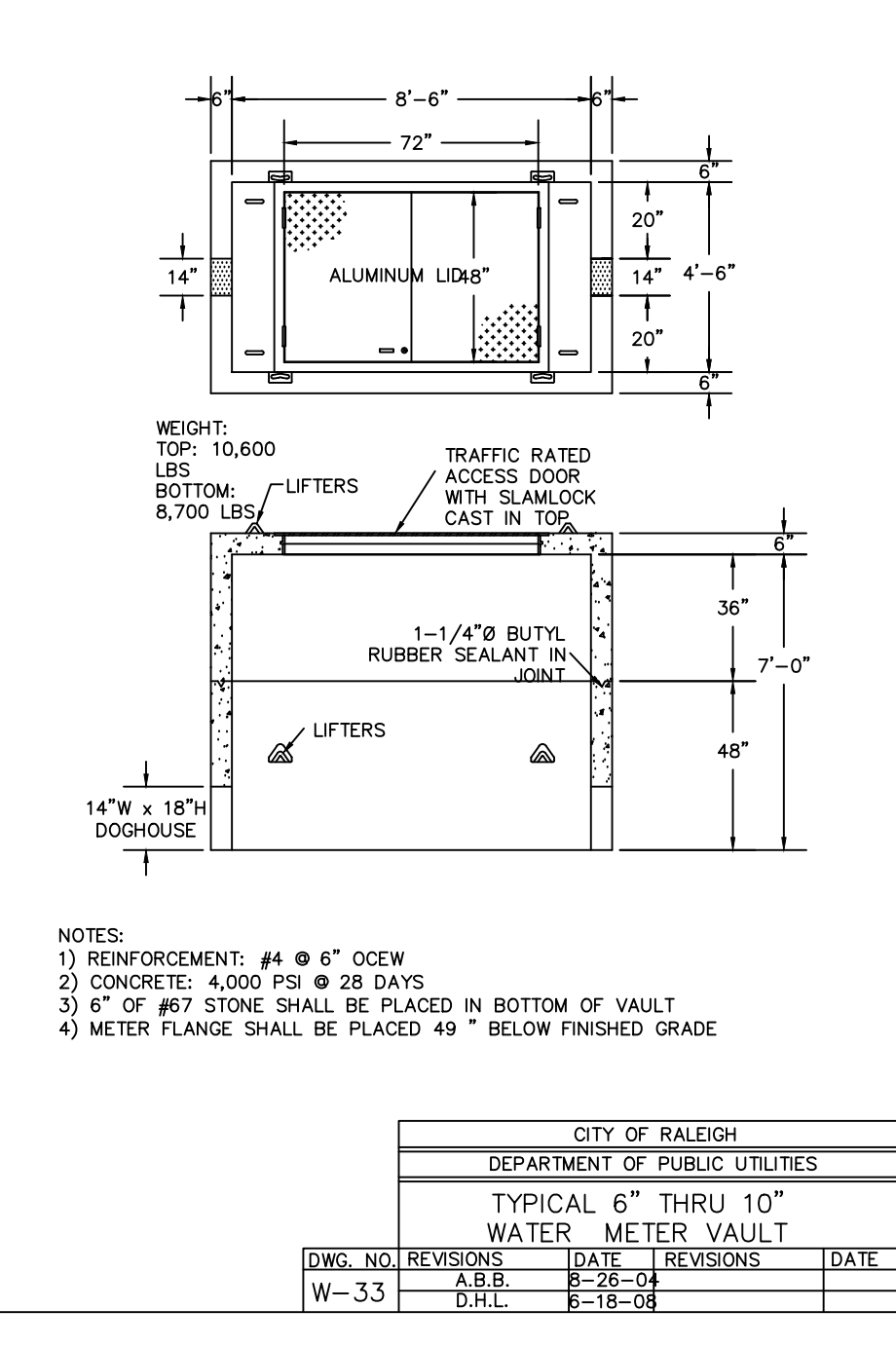
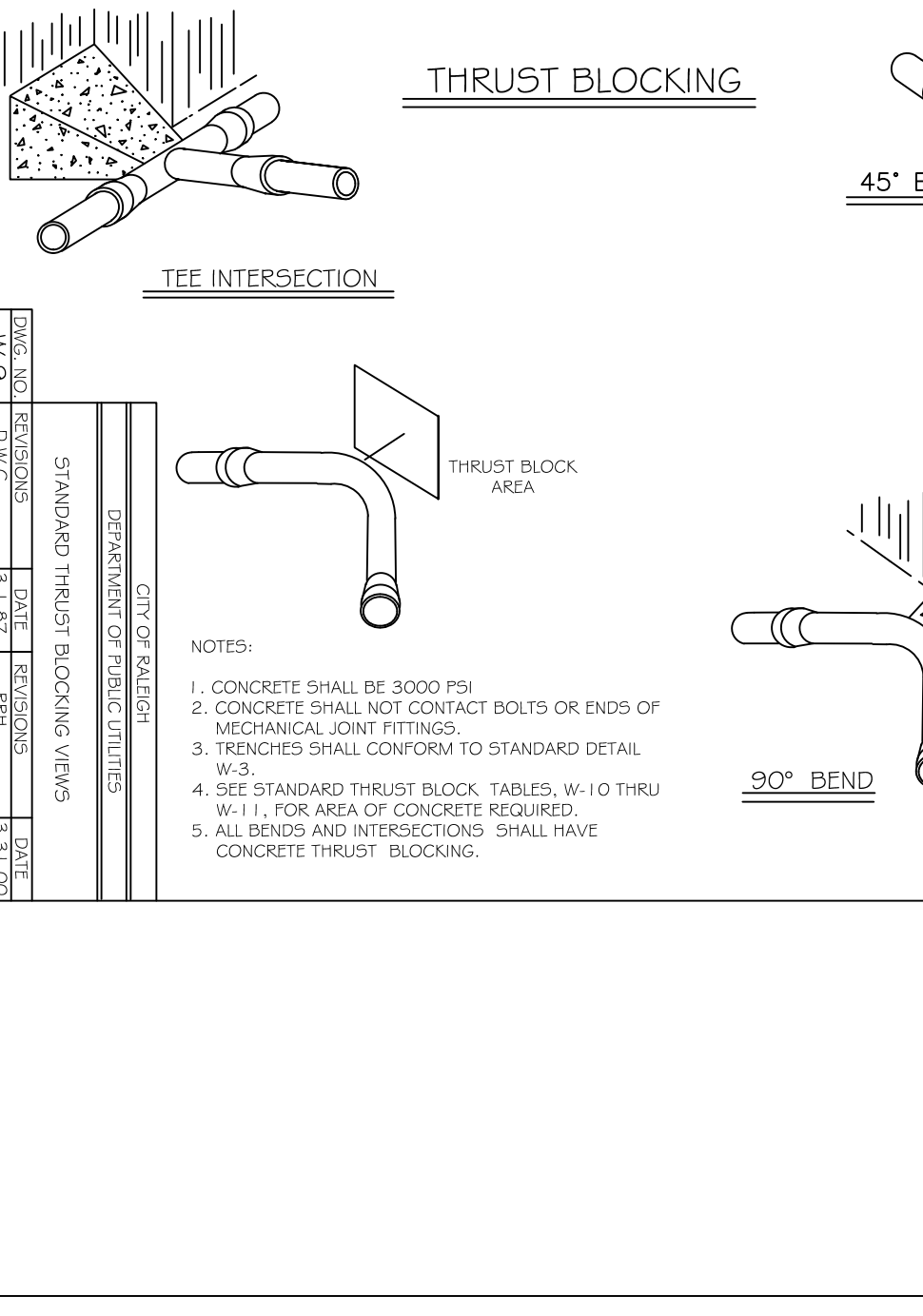
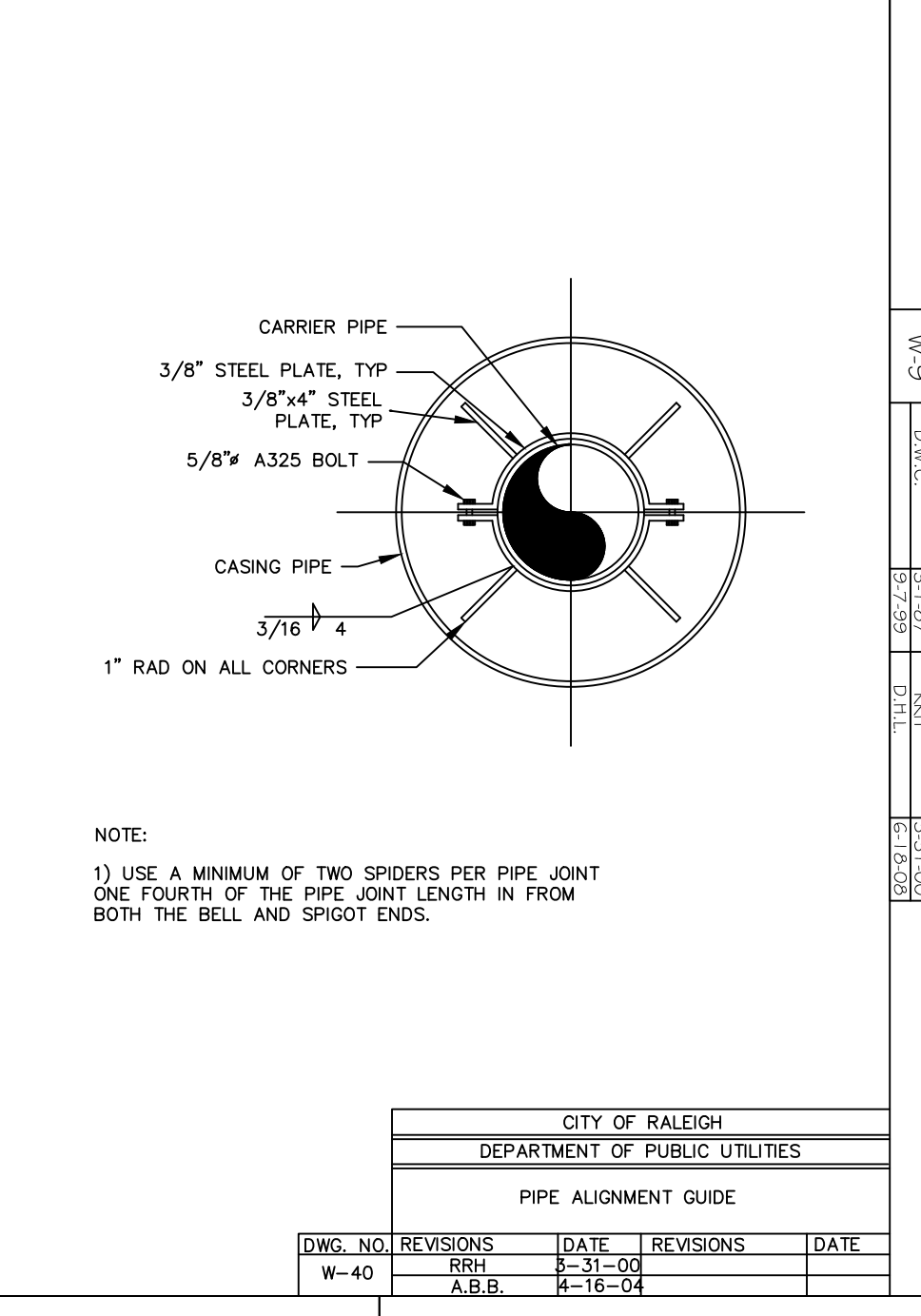
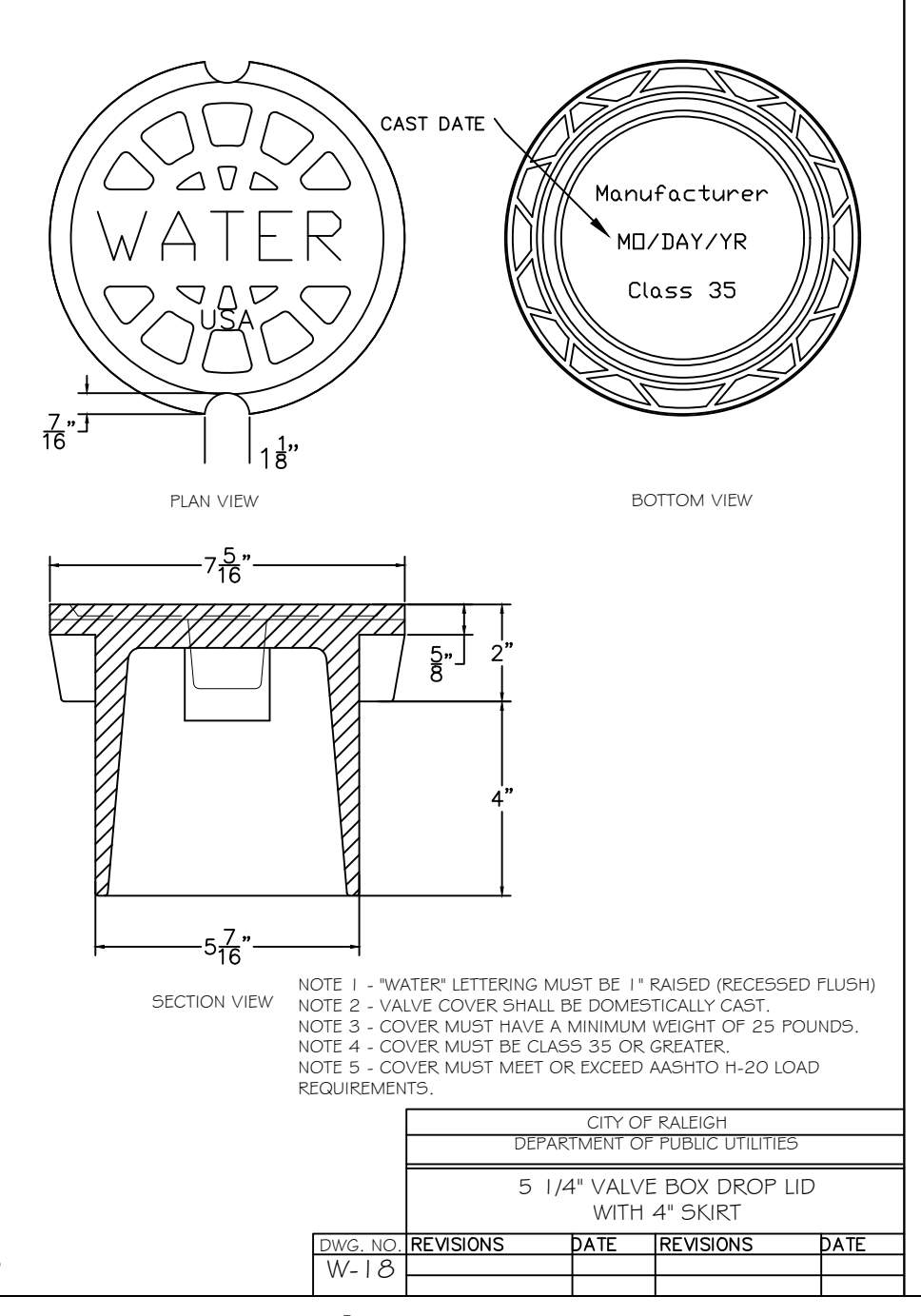
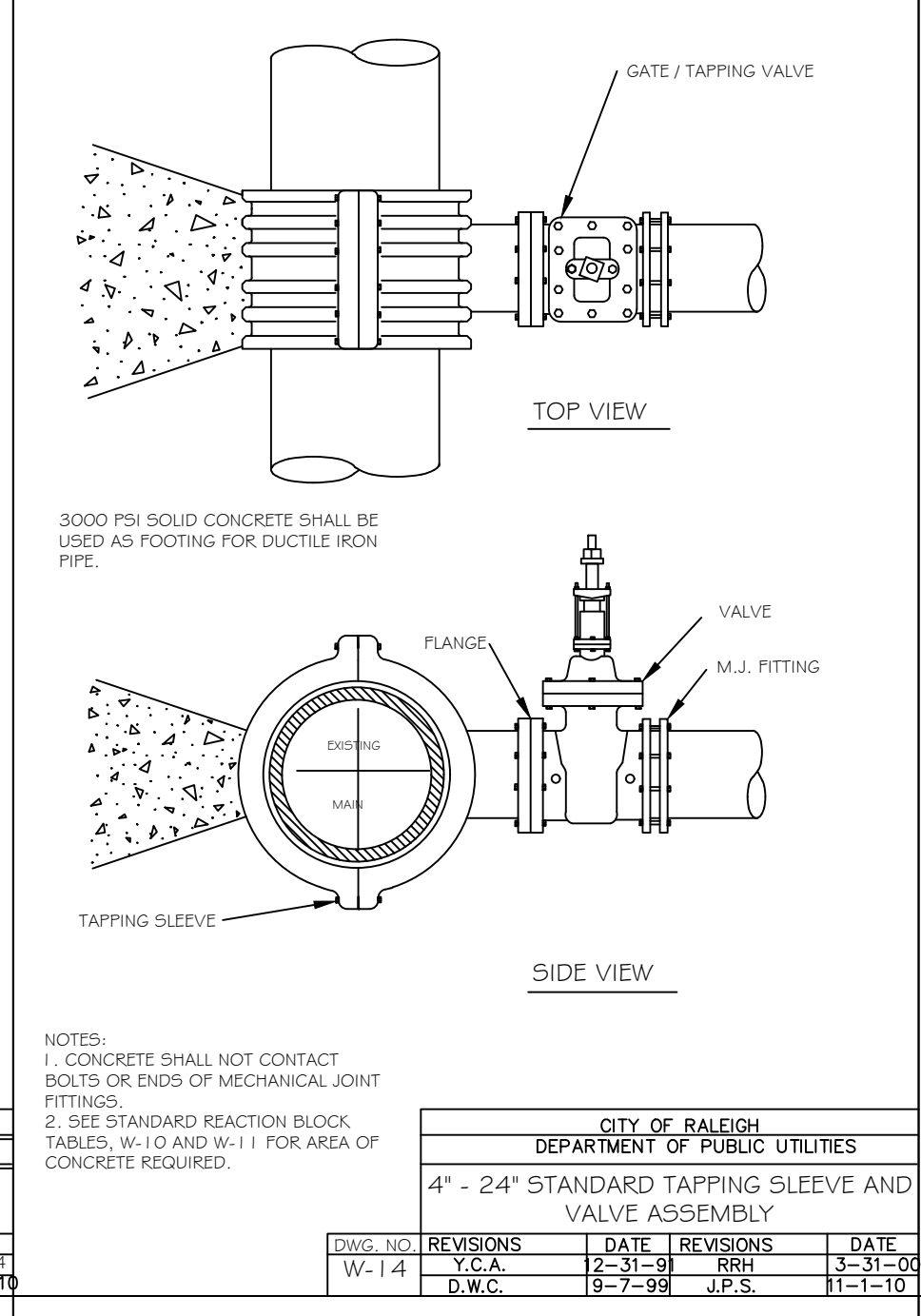
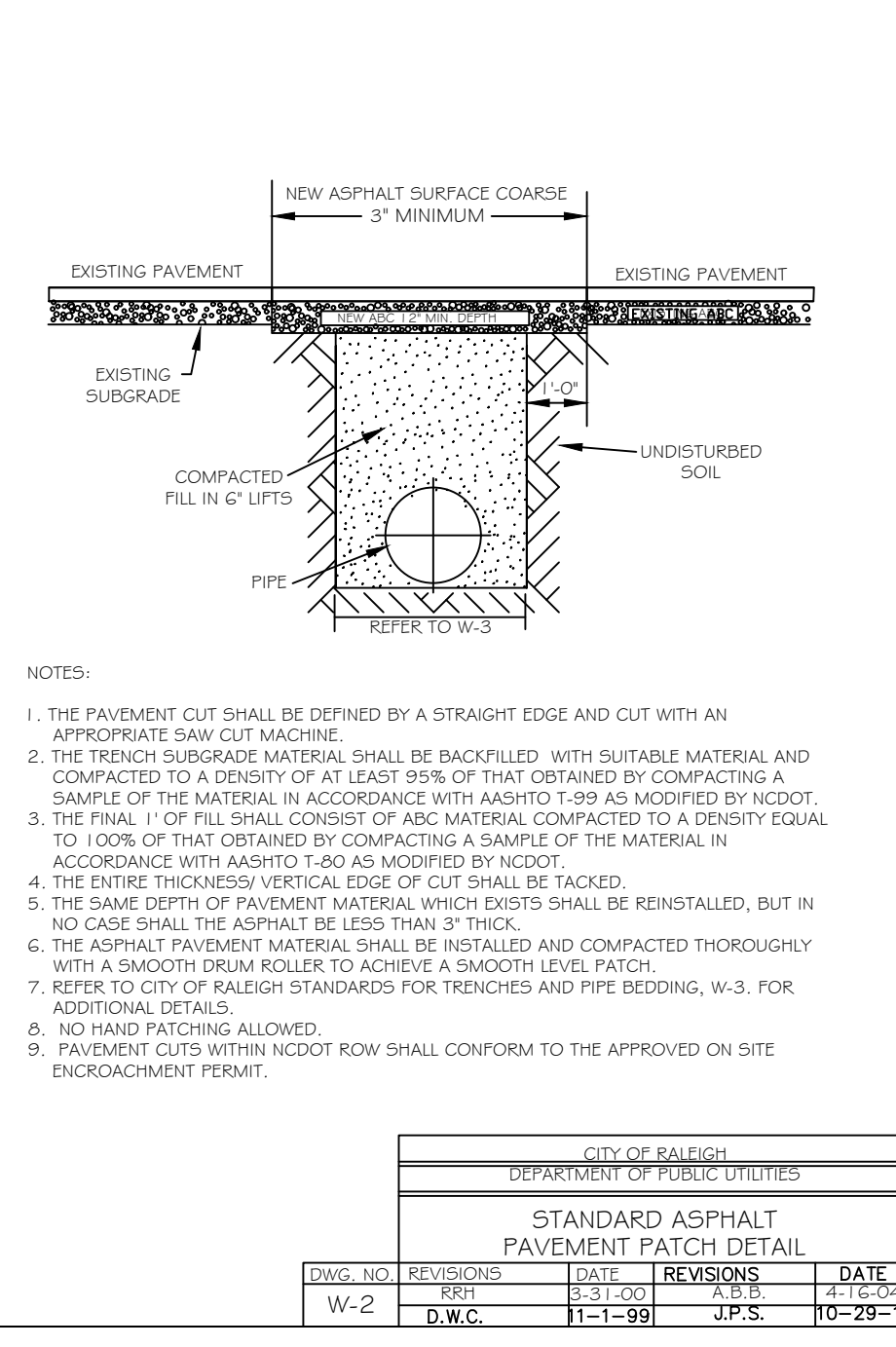
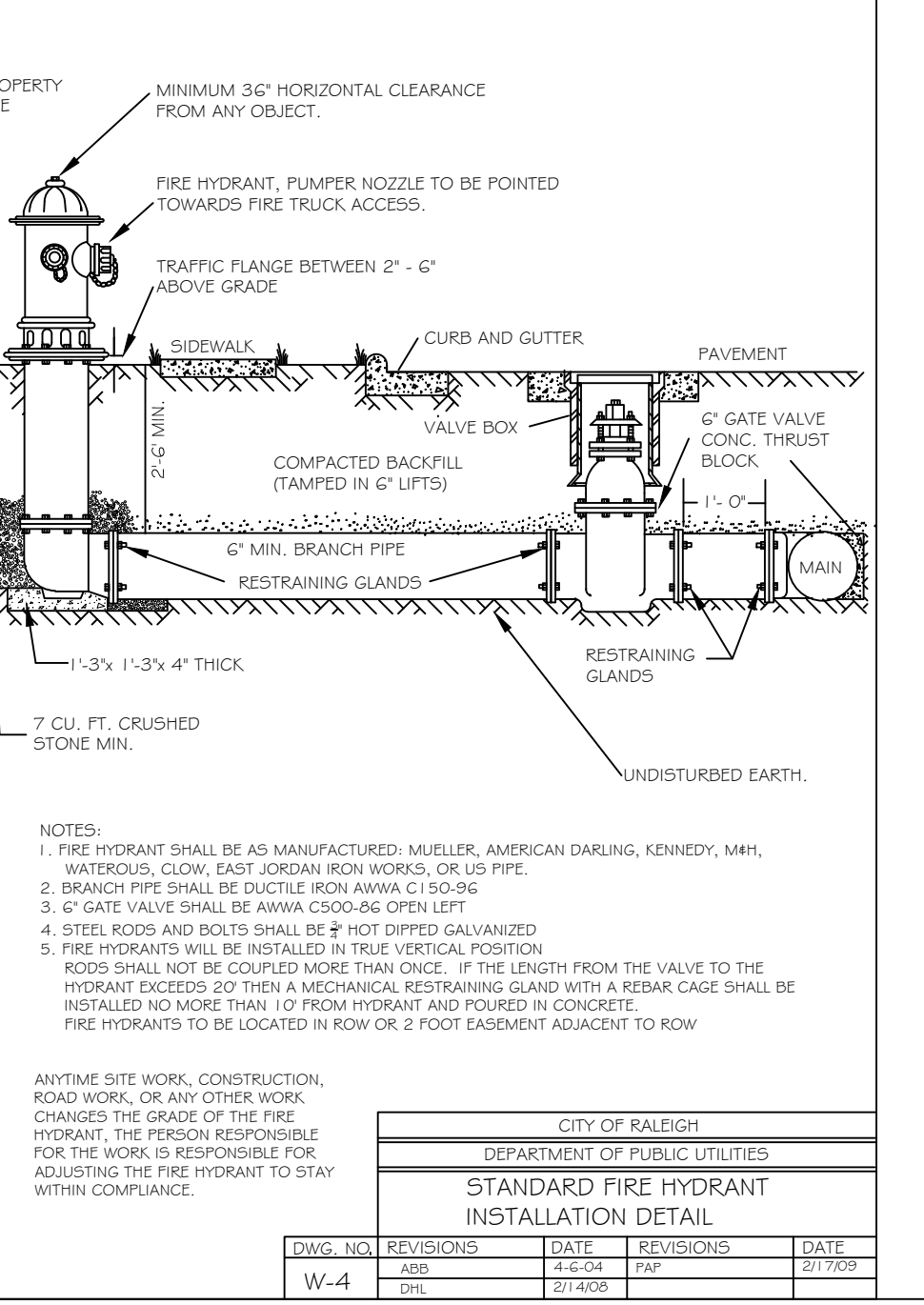
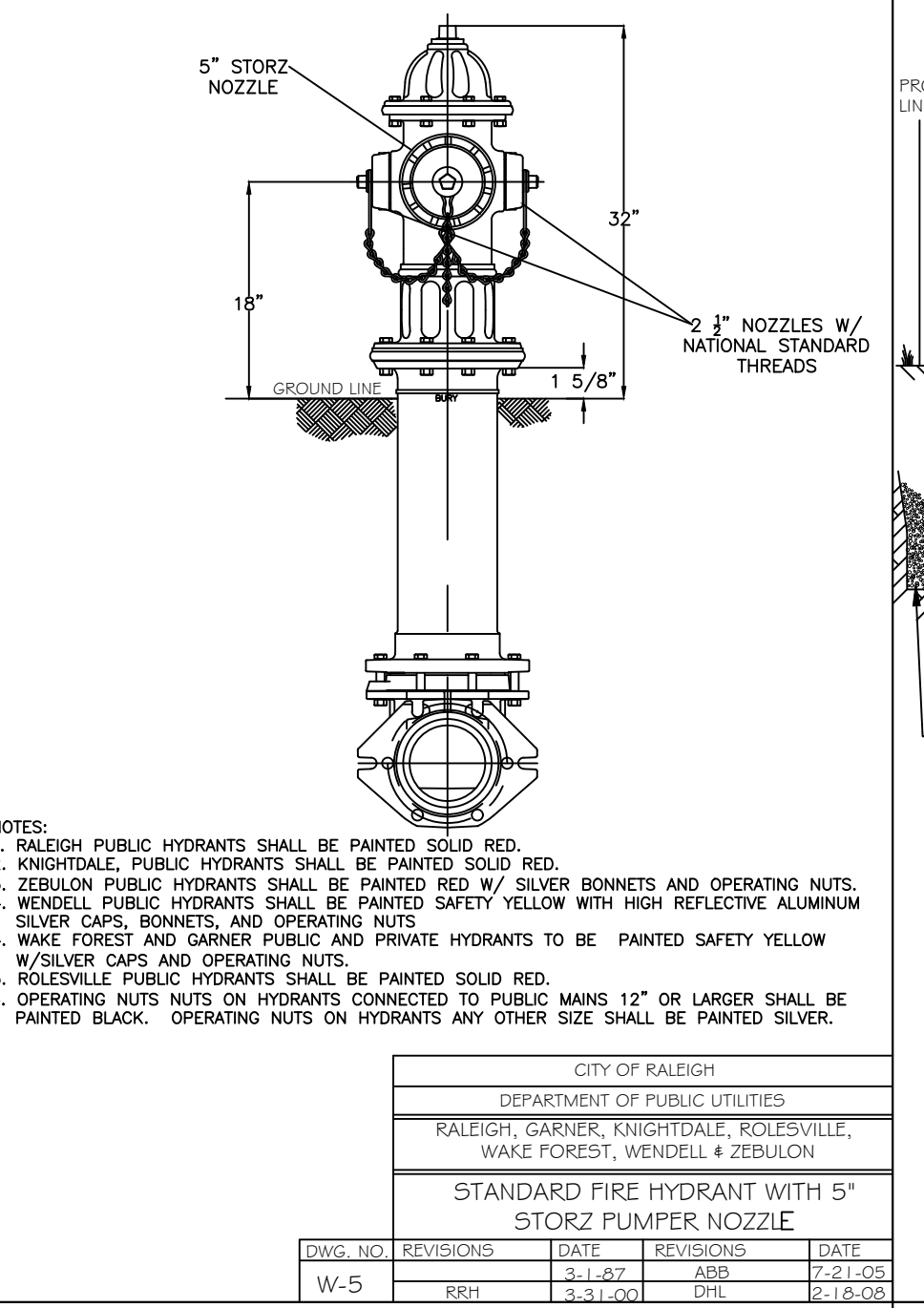
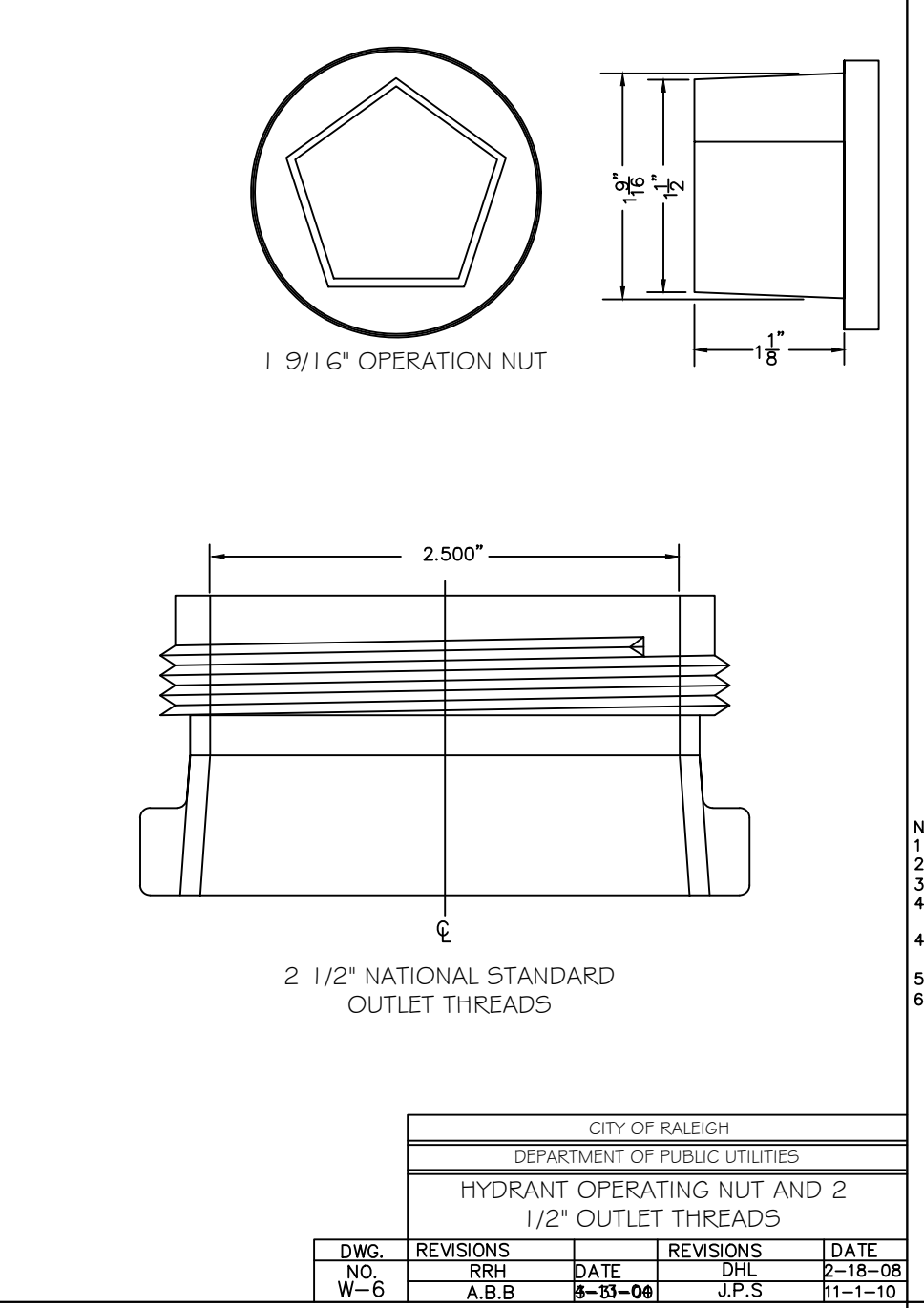
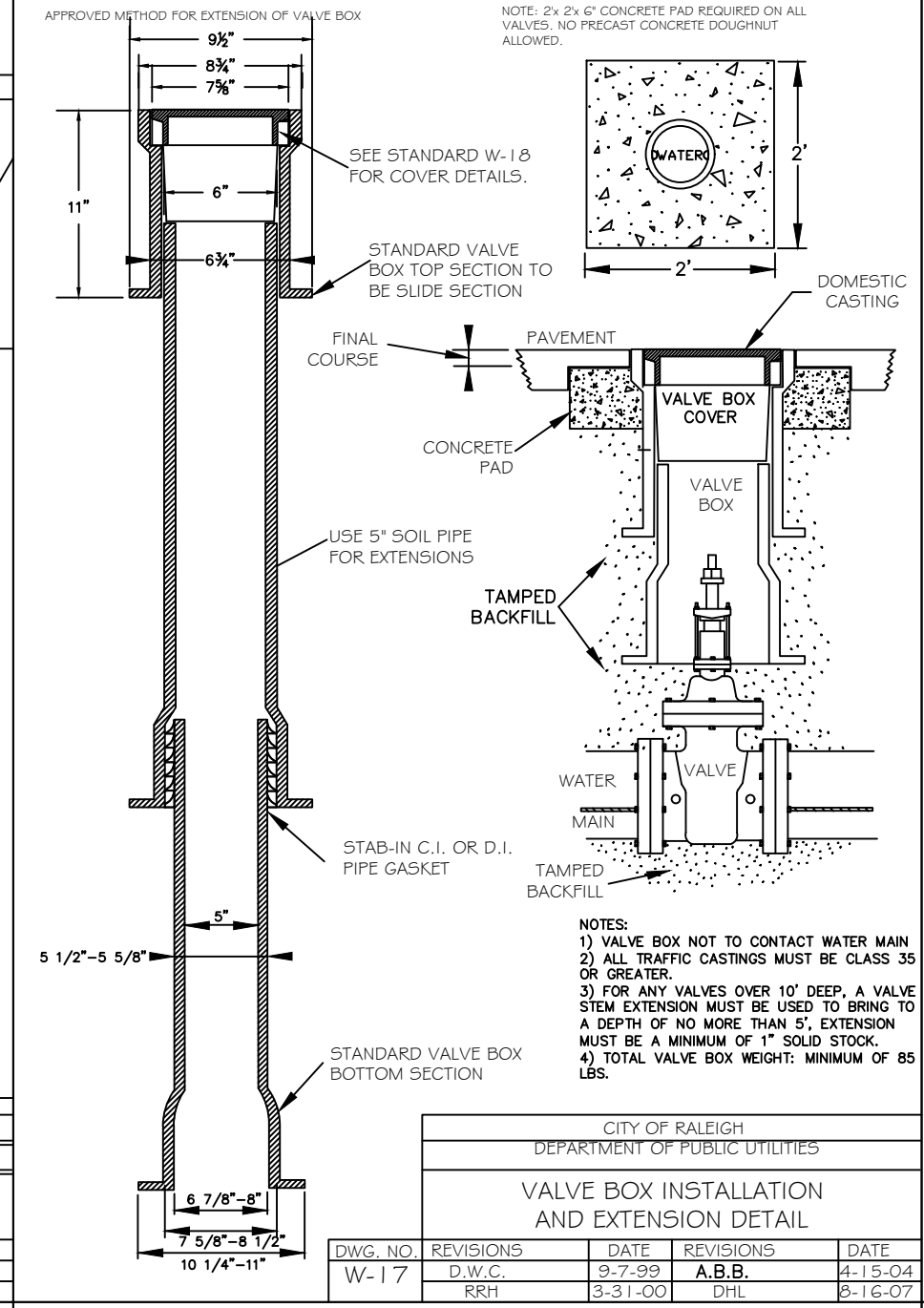
REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS  
BASED ON TEST PRESSURE OF 200 P.S.I.

ALL AREAS GIVEN IN SQUARE FEET

SIZE AND DEGREE OF BEND	STAIN THROST IN POLYESTER	WATER	SOFT SAND	CONCRETE	GRAVEL	GRAVEL	GRAVEL	GRAVEL	GRAVEL	GRAVEL
6"										
11 1/4"	1,108	1	1	1	1	1	1	1	2	1
22 1/2"	2,207	1	2	2	1	1	1	3	1	
45°	4,328	2	3	3	1	1	1	2	5	1
90°	7,996	2	4	5	1	1	1	2	8	1
FLUG	5,655	2	3	4	1	1	2	6	1	
8"										
11 1/4"	1,970	1	1	2	1	1	1	2	1	
22 1/2"	3,922	1	2	3	1	1	1	4	1	
45°	7,694	2	4	5	1	1	1	2	8	1
90°	14,215	4	8	9	2	2	4	15	2	
FLUG	10,053	3	5	6	2	2	3	10	1	
12"										
11 1/4"	4,433	2	3	3	1	1	1	2	5	1
22 1/2"	8,826	3	5	6	2	2	3	9	1	
45°	17,312	5	9	11	3	3	5	18	2	
90°	31,983	8	16	19	4	4	8	32	4	
FLUG	22,619	6	12	14	3	3	6	23	3	
16"										
11 1/4"	7,881	2	4	5	1	1	2	8	1	
22 1/2"	15,691	4	8	10	2	2	4	16	2	
45°	30,779	8	16	19	4	4	8	31	4	
90°	56,861	15	29	35	8	8	15	57	6	
FLUG	40,213	10	21	25	5	5	10	41	5	

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THROST VECTOR.

USE 6" - 90 DEGREE VALVE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.



CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
FIRE, DOMESTIC & IRRIGATION OPTIONS SCHEMATIC

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-34	D.H.L.	11-19-99	P.B.R.	12-15-04
	R.R.H.	3-31-00	D.H.L.	6/19/08

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ADMINISTRATIVE SITE PLAN

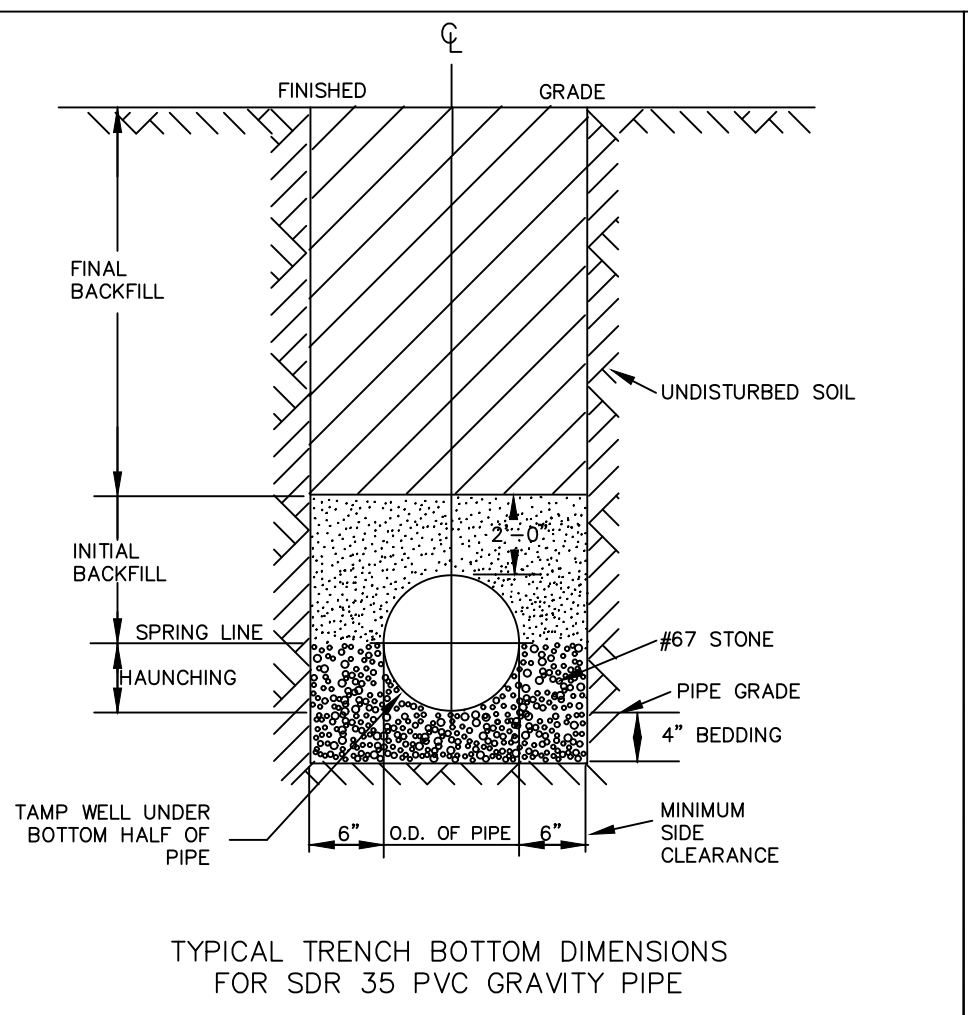
SITE DETAILS

Job Code: ISYARQ

Dwg No. PA 6.1

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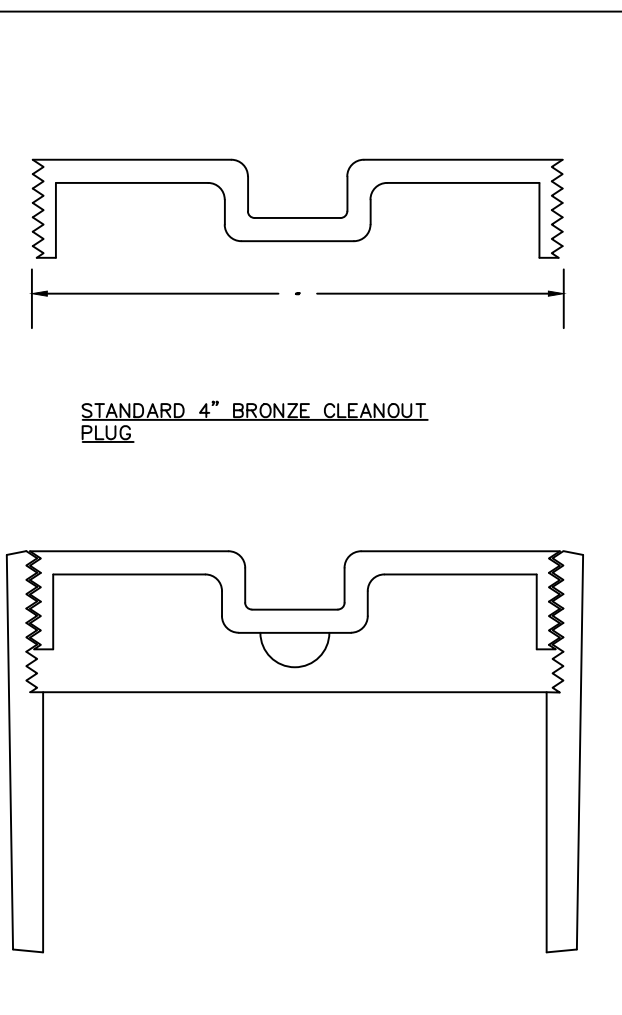




TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE

NOTES:  
 1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.  
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.  
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.  
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-5	10 NOTES	3-1-87	D.W.C.
		7-2-89	RRH
		7-30-00	

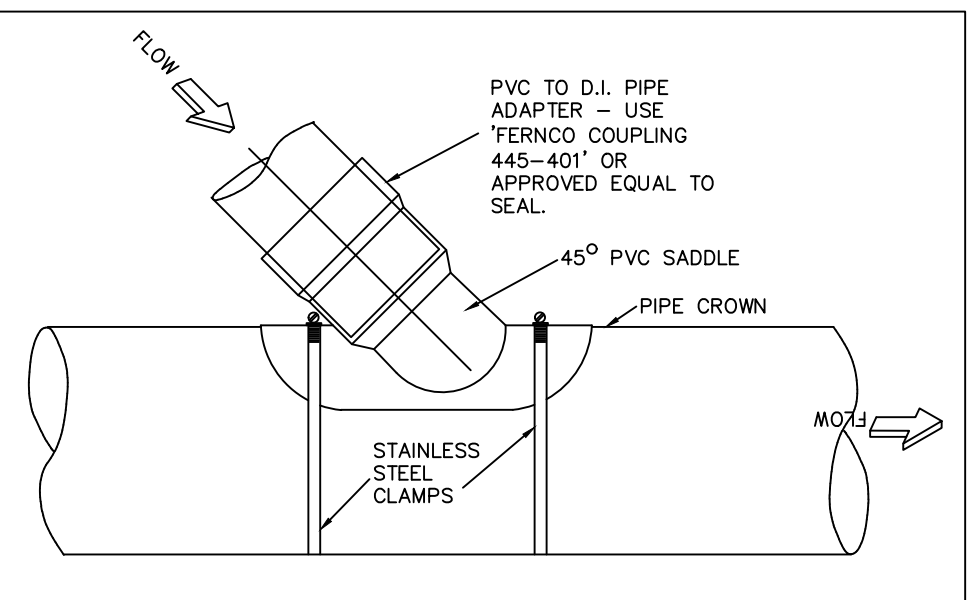


STANDARD 4" BRONZE CLEANOUT PLUG

CLEANOUT FERRULE WITH PLUG

STYLES ACCEPTED:  
 INVERTED NUT  
 RAISED NUT

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
4" CLEANOUT PLUG			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-34	D.W.C.	3-1-87	RRH
		7-27-98	
		3-30-00	



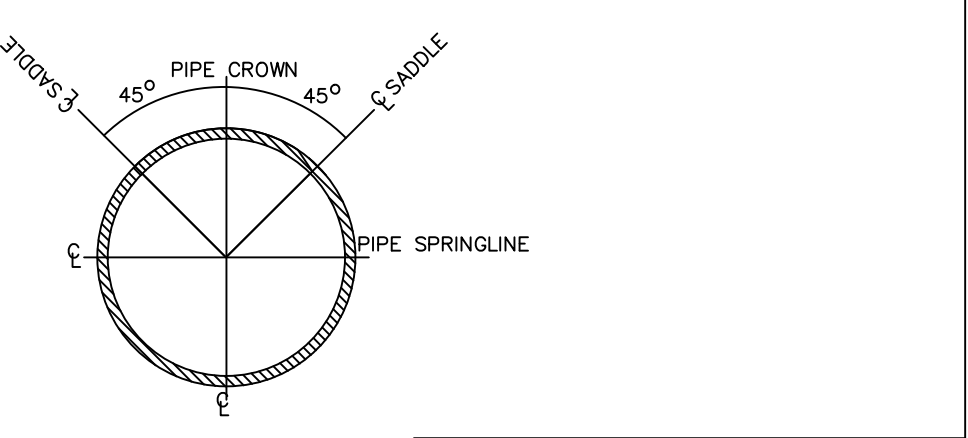
PVC TO D.I. PIPE ADAPTOR - USE FERNCO COUPLING 445-401" OR APPROVED EQUAL TO SEAL.

45° PVC SADDLE

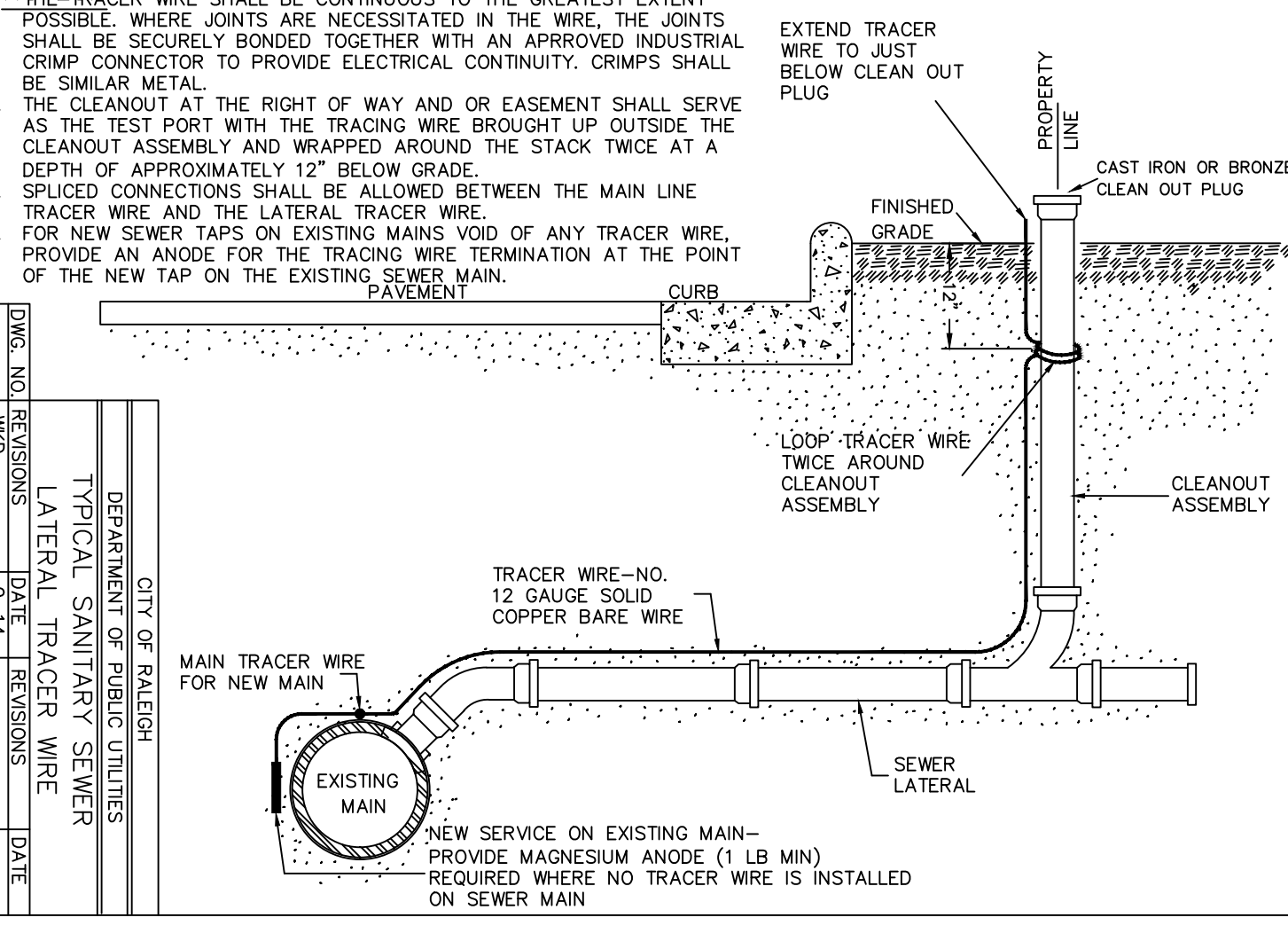
PIPE CROWN

STAINLESS STEEL CLAMPS

BACKFILL UNDER PVC SADDLE, ADAPTOR, AND CAST IRON BEND WITH #67 STONE AS SHOWN ON S-4.

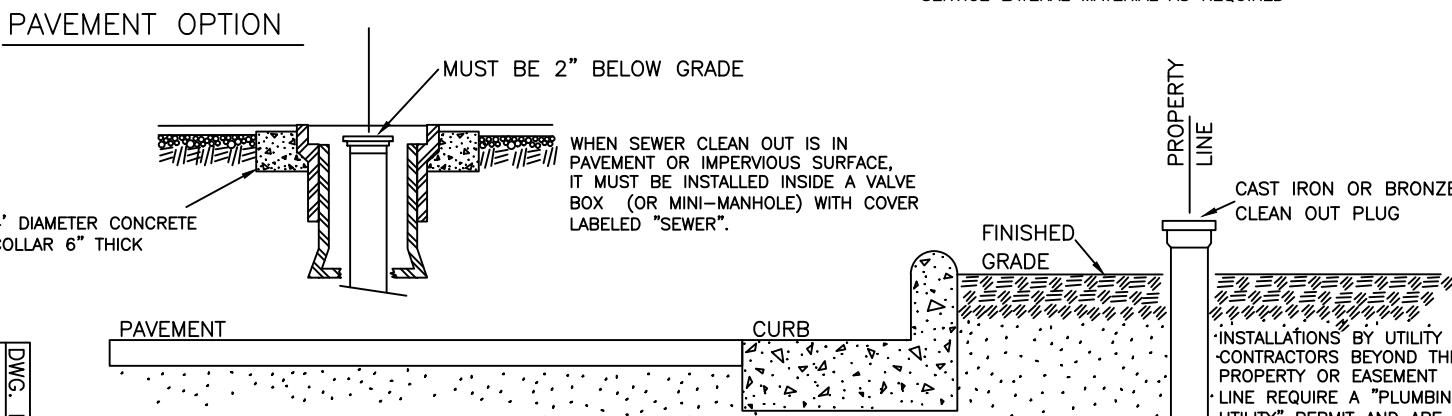


CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-31	RRH	3-1-87	
		3-30-00	



NOTES:  
 1. TRACER WIRE SHALL BE CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. WHERE JOINTS ARE NECESSITATED IN THE WIRE, THE JOINTS SHALL BE SECURELY BONDED TOGETHER WITH AN APPROVED INDUSTRIAL CRIMP CONNECTOR TO PROVIDE ELECTRICAL CONTINUITY. CRIMPS SHALL BE SIMILAR METAL.  
 2. THE CLEANOUT AT THE RIGHT OF WAY AND OR EASEMENT SHALL SERVE AS THE TEST PORT WITH THE TRACER WIRE BROUGHT UP OUTSIDE THE CLEANOUT ASSEMBLY AND WRAPPED AROUND THE STACK TWICE AT A DEPTH OF APPROXIMATELY 12" BELOW GRADE.  
 3. SPLICED CONNECTIONS SHALL BE ALLOWED BETWEEN THE MAIN LINE TRACER WIRE AND THE LATERAL TRACER WIRE.  
 4. FOR NEW SEWER TAPS ON EXISTING MAINS VOID OF ANY TRACER WIRE, PROVIDE AN ANODE FOR THE TRACER WIRE TERMINATION AT THE POINT OF THE NEW TAP ON THE EXISTING SEWER MAIN.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TYPICAL SANITARY SEWER LATERAL CONNECTION			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-30	RRH	3-1-87	
		3-30-00	



PAVEMENT OPTION

MUST BE 2" BELOW GRADE

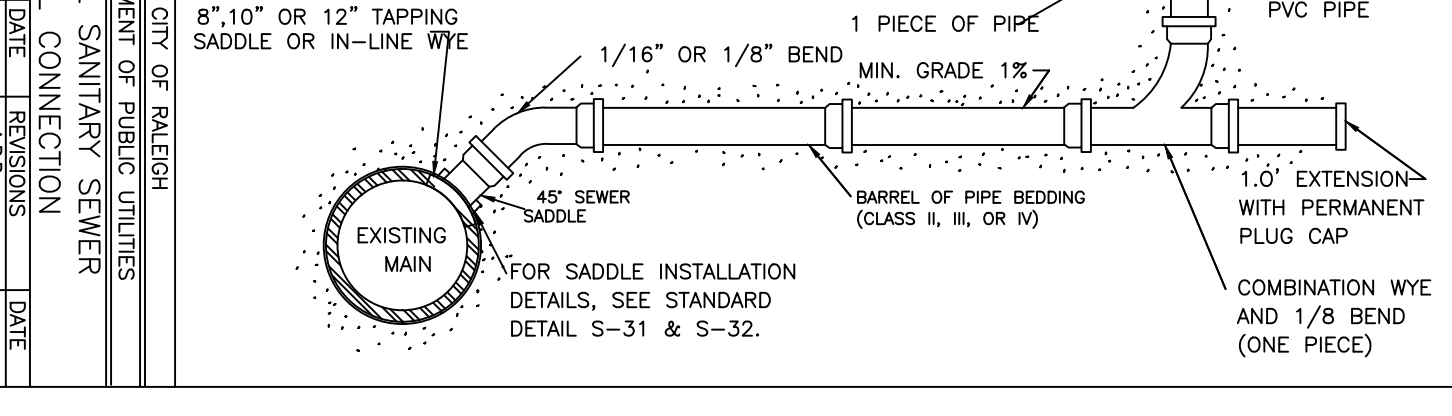
WHEN SEWER CLEAN OUT IS IN PAVEMENT OR IMPERVIOUS SURFACE, IT MUST BE INSTALLED INSIDE A VALVE BOX (OR MINI-MANHOLE) WITH COVER LABELED "SEWER".

4" DIAMETER CONCRETE COLLAR 6" THICK

FINISHED GRADE

PROPERTY LINE

CAST IRON OR BRONZE CLEAN OUT PLUG



NOTE:  
 THE FULL LENGTH OF THE SERVICE DITCH SHALL BE COMPACTED IN 6" LIFTS WITH MECHANICAL TAMP. ALL TAPS WILL BE MADE USING MECHANICAL TAPPING MACHINE. FOR PVC INSTALLATIONS, SADDLE AND BEND MUST BE BEDDED IN #67 STONE. BEDDING AND HAUNCHING OF PIPE BARREL MUST COMPLY WITH REQUIREMENTS OF DETAILS S-4 OR S-5 ACCORDING TO PIPE MATERIAL.

8", 10" OR 12" TAPPING SADDLE OR IN-LINE WYE

1/16" OR 1/8" BEND

1 PIECE OF PIPE MIN. GRADE 1%

BARREL OF PIPE BEDDING (GLASS II, III, OR IV)

FOR SADDLE INSTALLATION DETAILS, SEE STANDARD DETAIL S-31 & S-32.

1.0' EXTENSION WITH PERMANENT PLUG CAP

COMBINATION WYE AND 1/8 BEND (ONE PIECE)

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TYPICAL SANITARY SEWER LATERAL CONNECTION			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-30	RRH	3-1-87	
		3-30-00	

**THE SITE GROUP**  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC.  
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 RALEIGH, NC 27605-1136 USA  
 Office: 919.835.4787  
 Fax: 919.839.2255  
 E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024) FOR:  
**YES YOUTH CENTER-  
 SPECIAL CARE FACILITY**  
 3405 ROCK QUARRY ROAD  
 RALEIGH, NORTH CAROLINA

Drawn By: **CJB**  
 Checked By: **BDM**

DATE:  
 05 SEP 2024

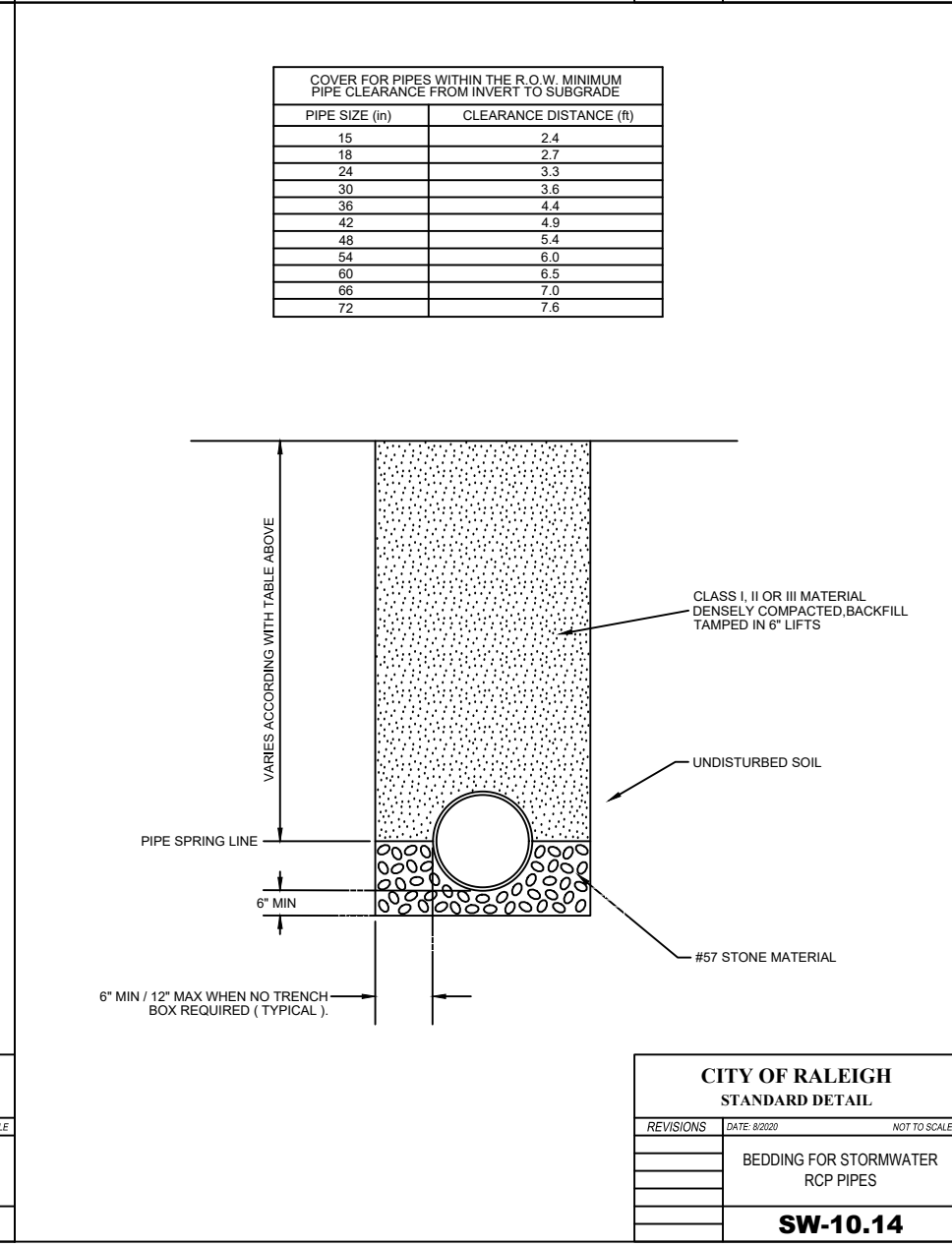
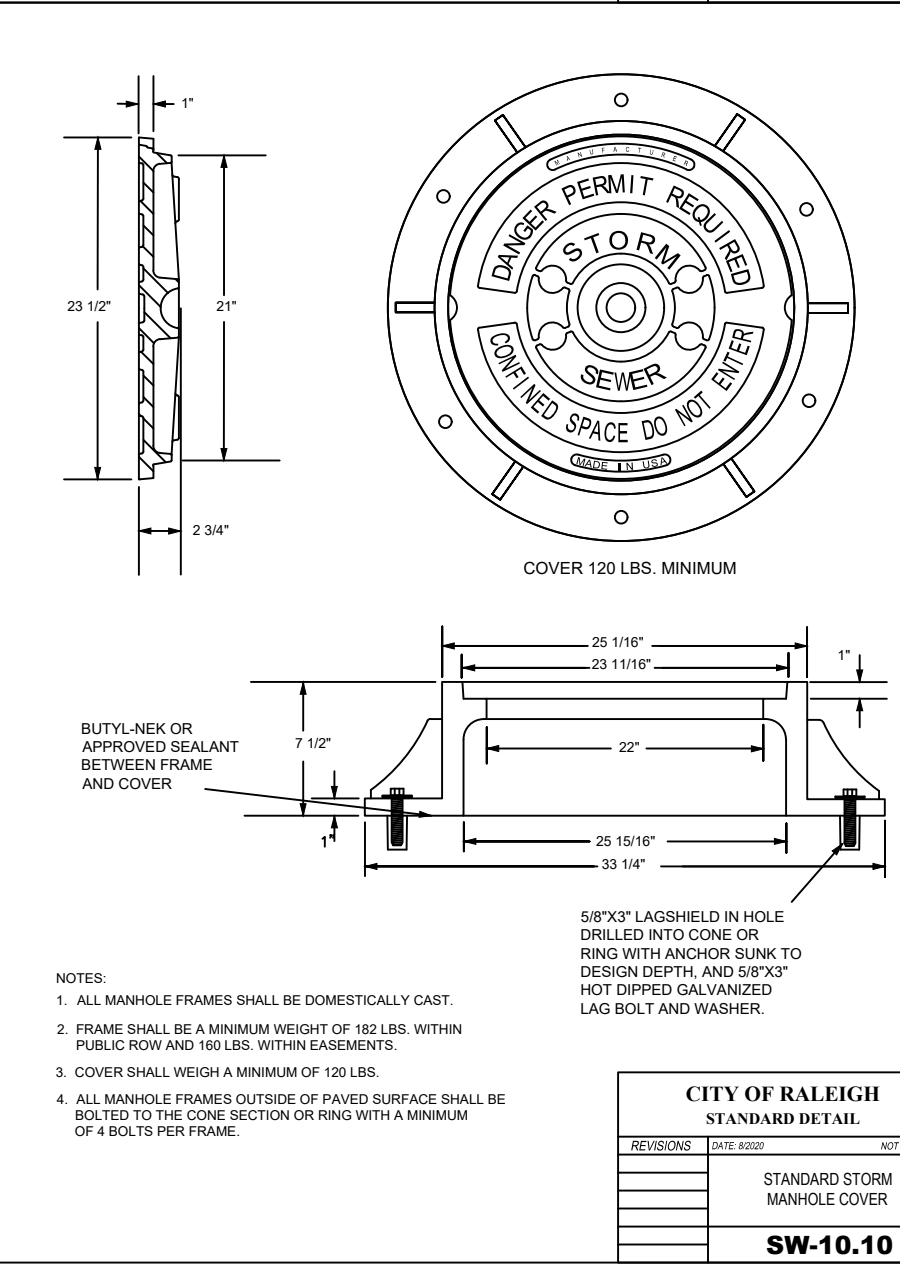
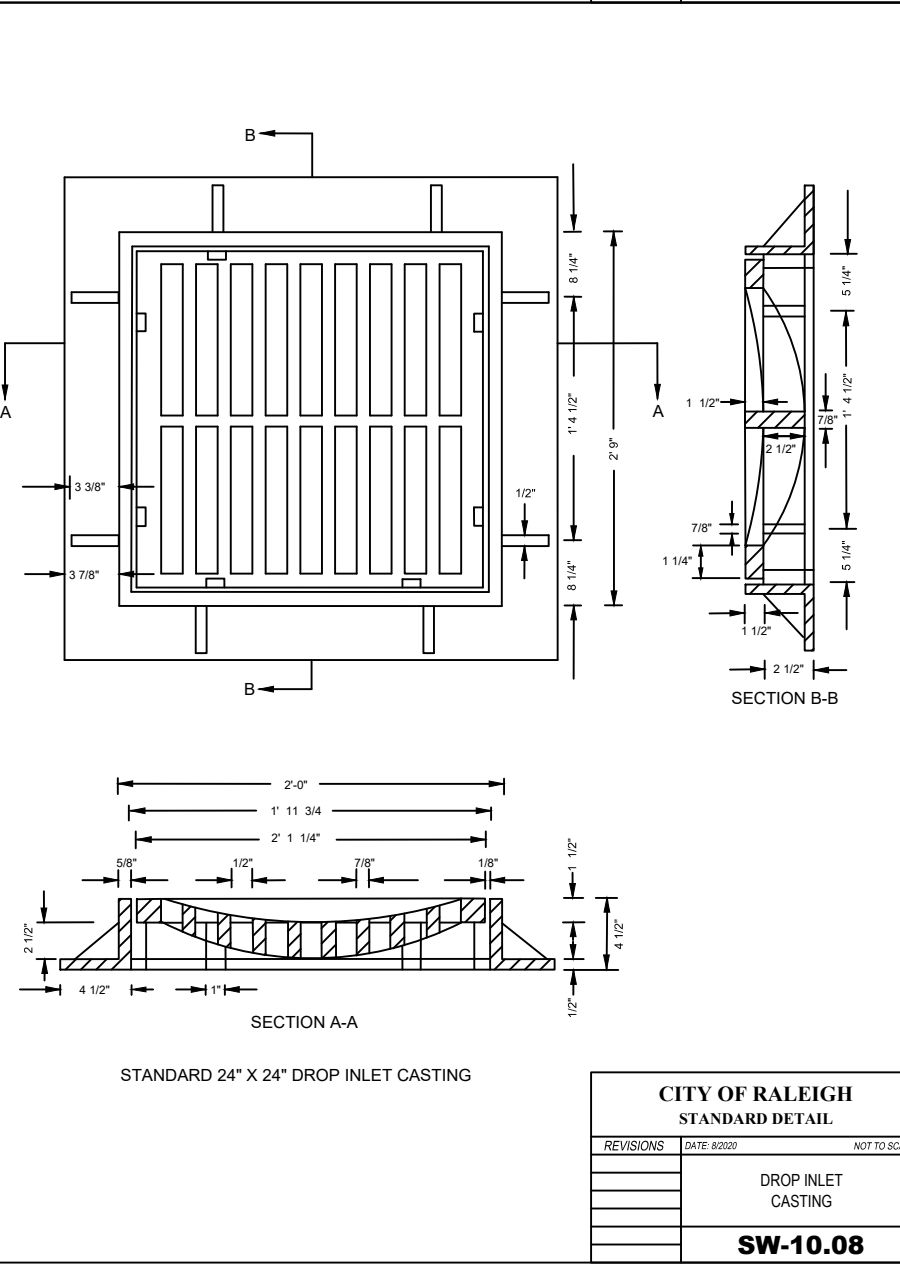
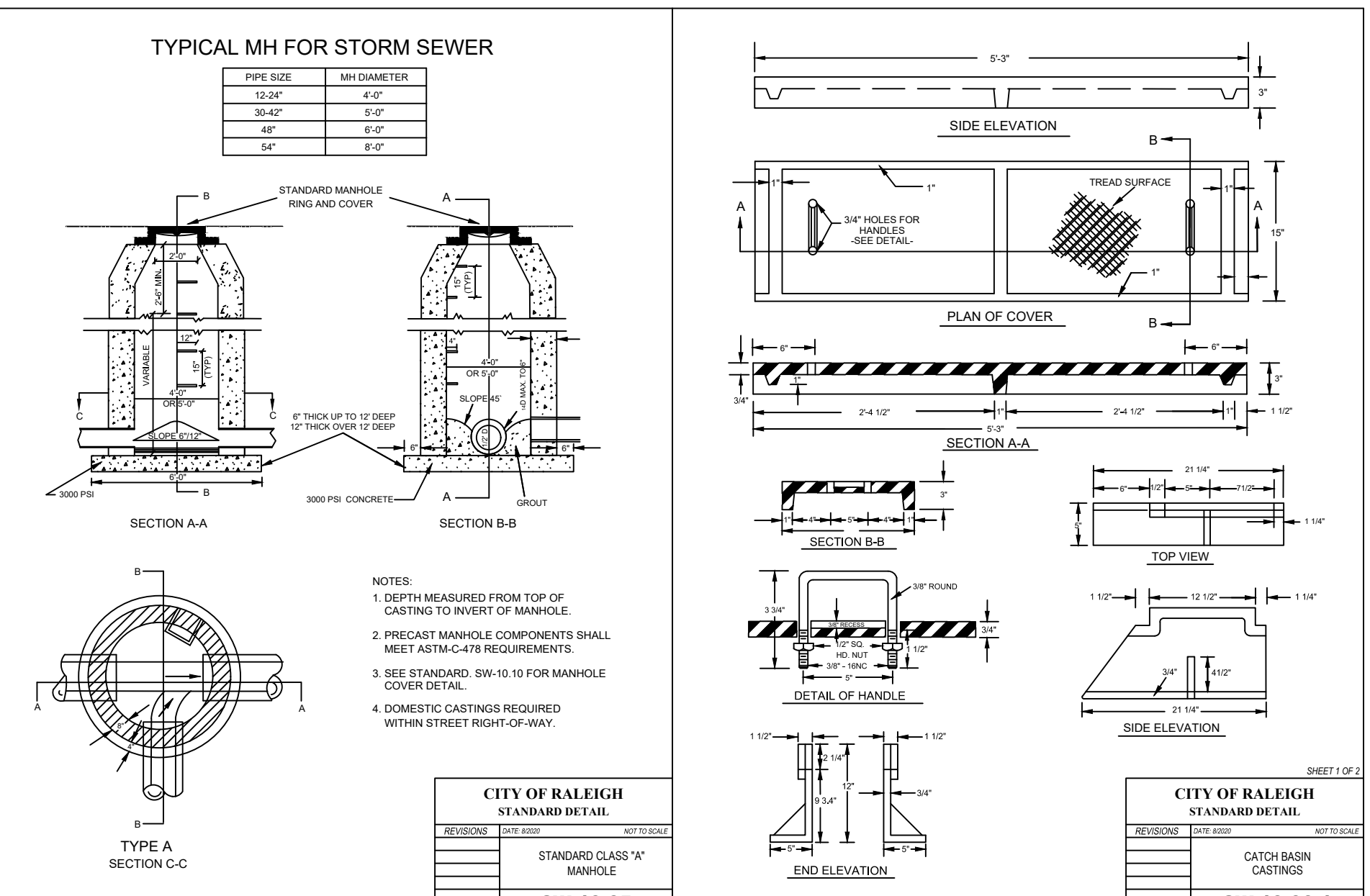
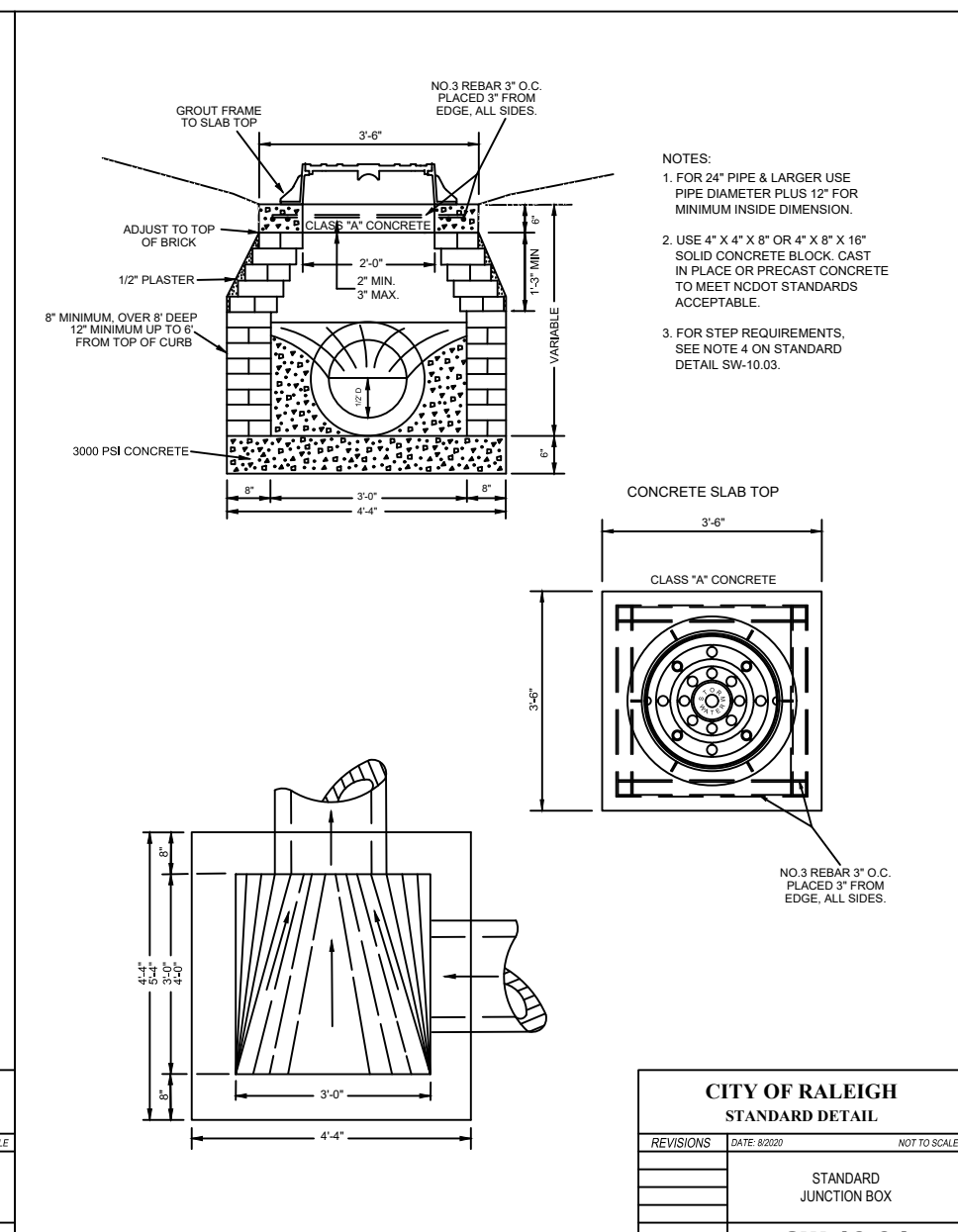
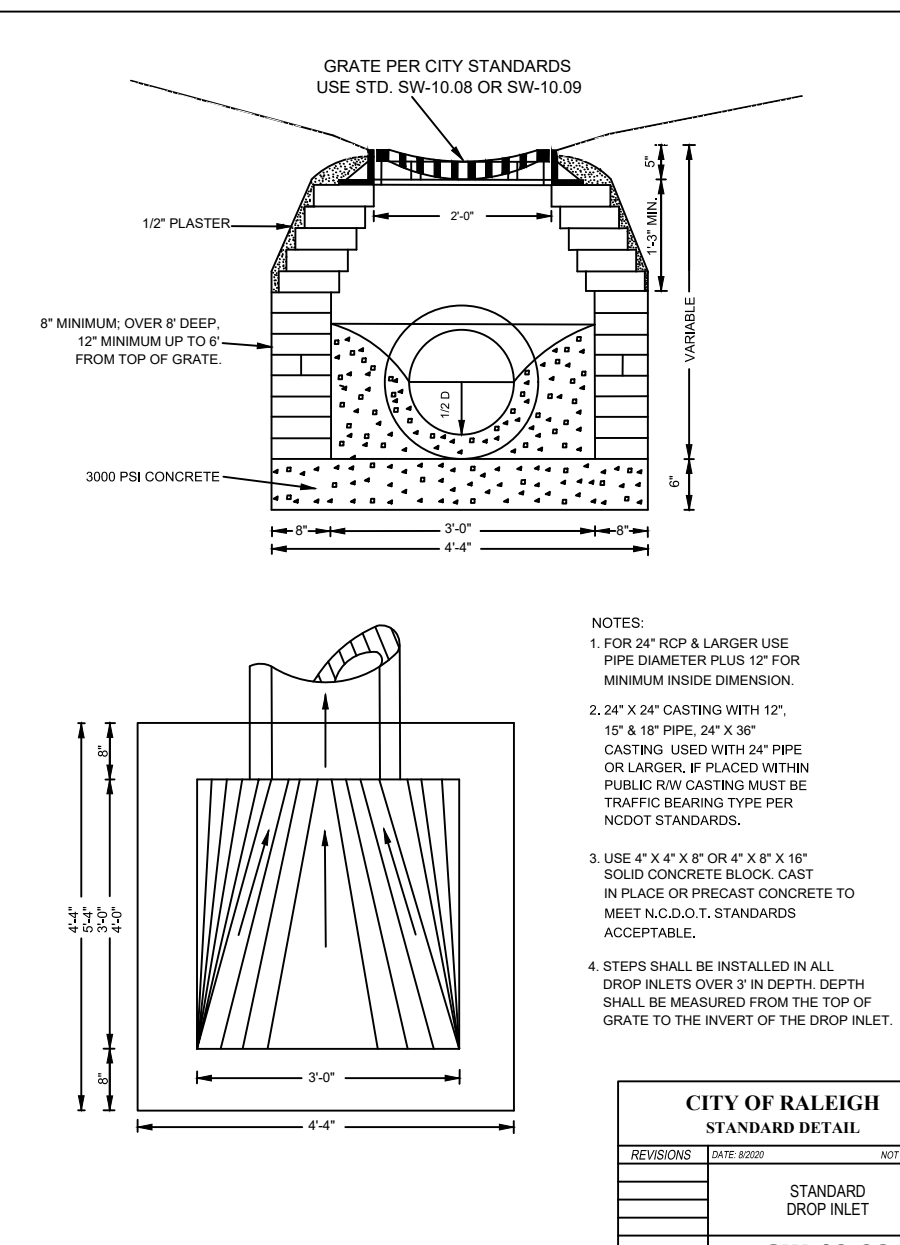
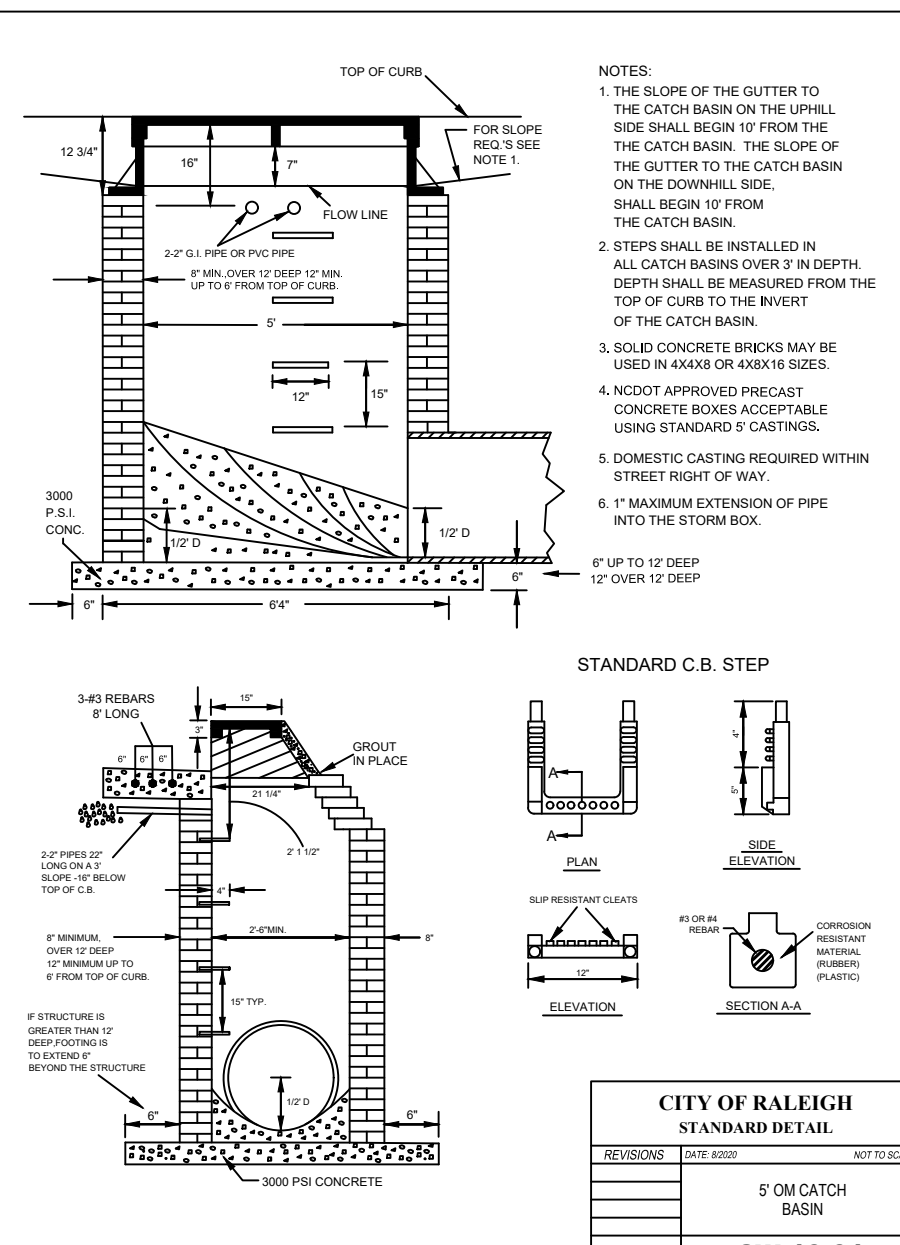
ADMINISTRATIVE SITE PLAN

SITE DETAILS

Job Code: **ISYARQ**

Dwg No.  
**PA  
 6.2**





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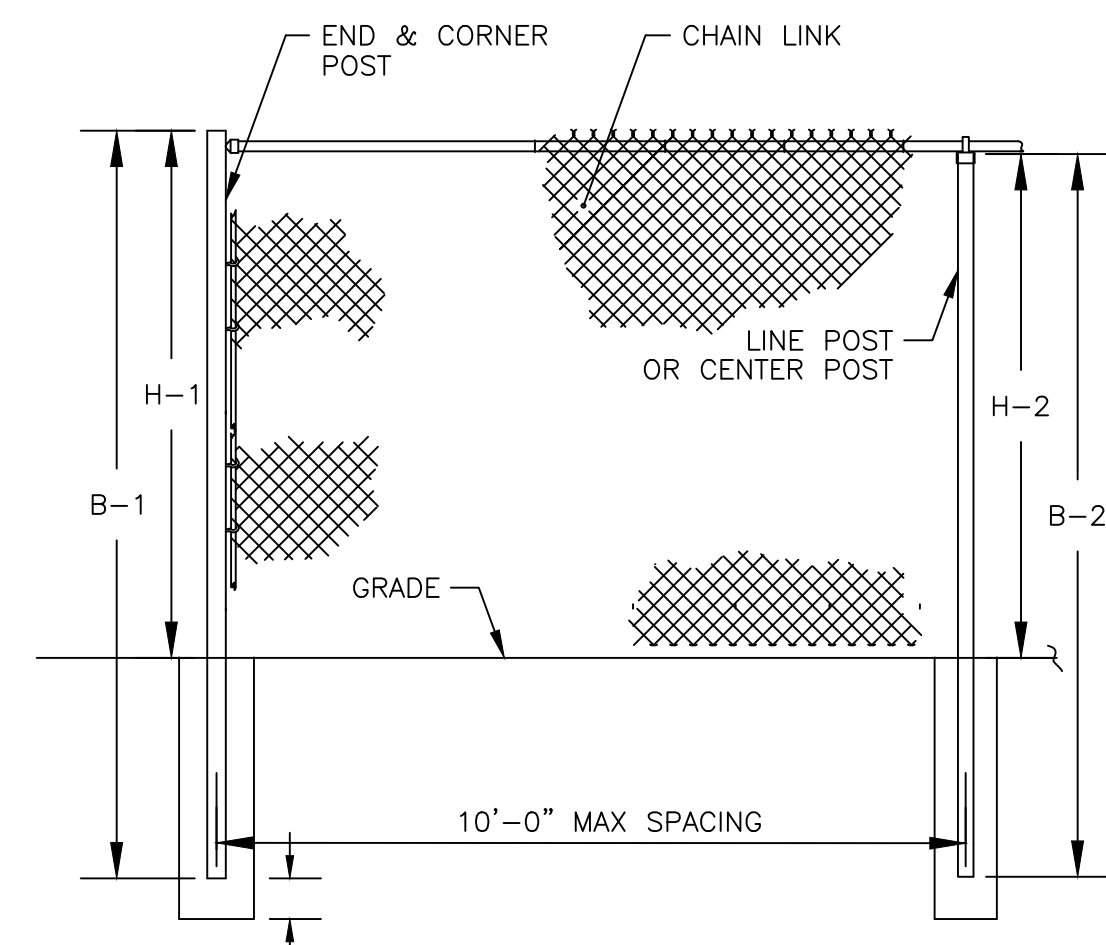
ADMINISTRATIVE SITE PLAN

SITE DETAILS

Job Code: **ISYARQ**

Dwg No.  
**PA  
 6.3**

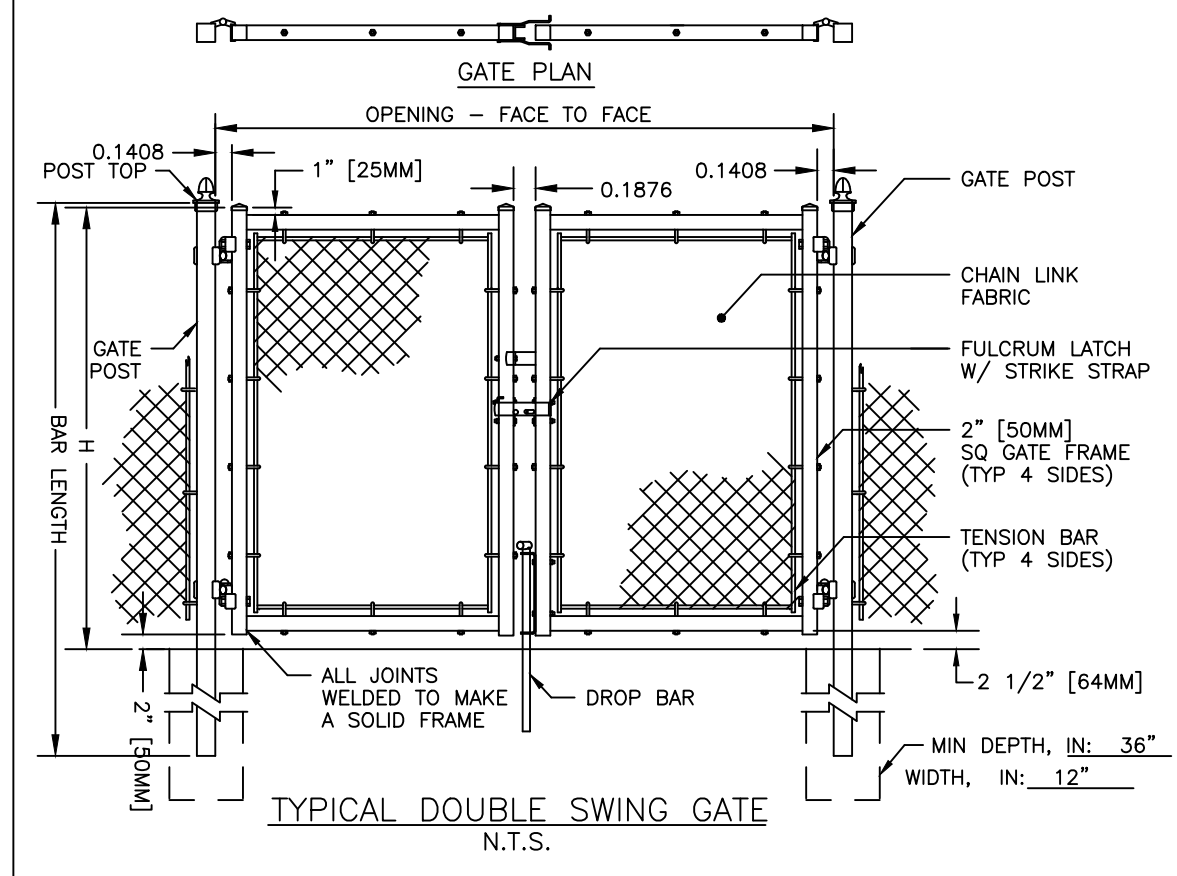




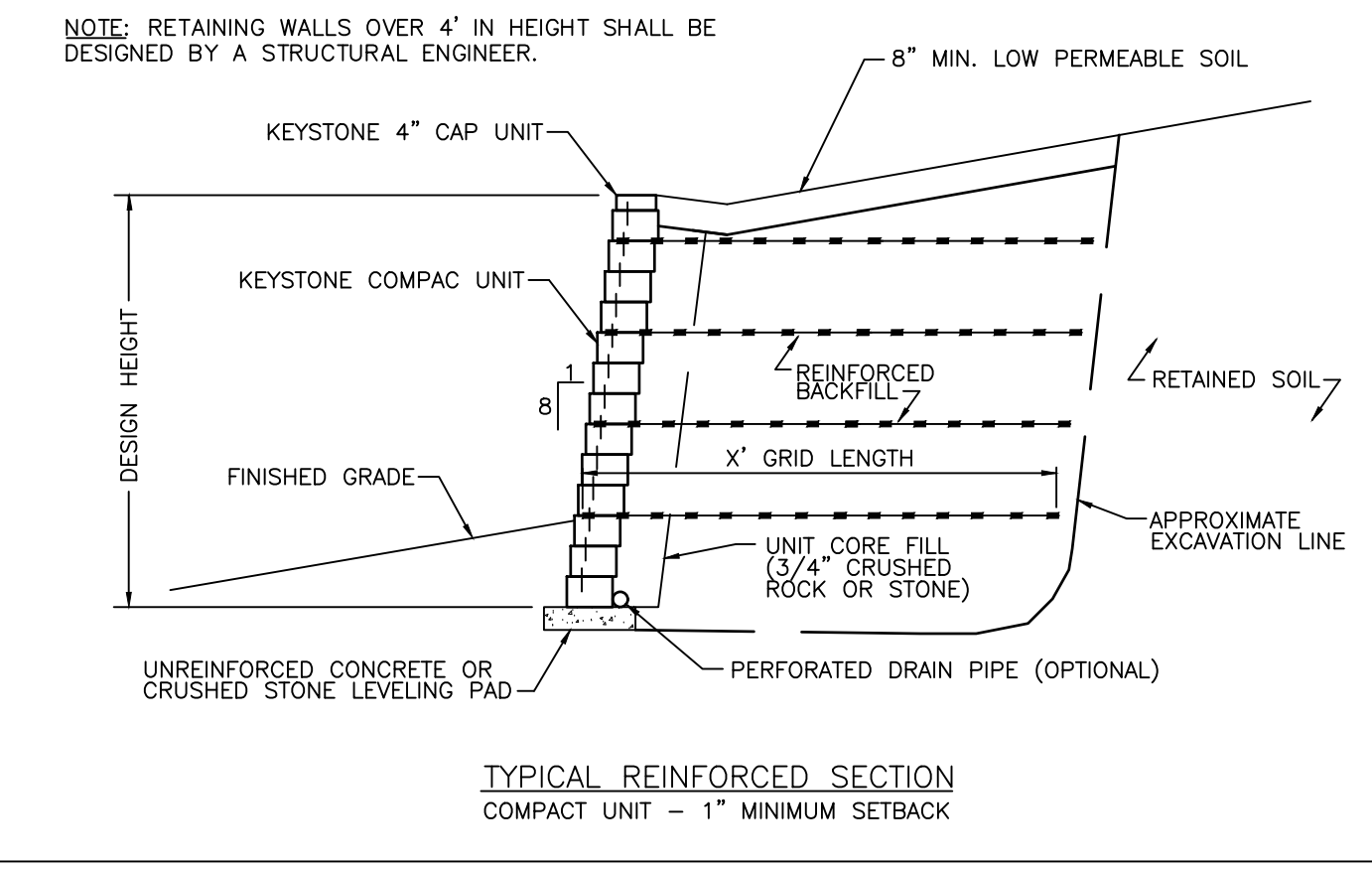
FENCE SECTION ELEVATION WITH TOP RAIL

FENCE HEIGHT	END & CORNER POSTS		LINE POSTS		
	NOMINAL HEIGHT	B-1 BAR LENGTH	H-1 HEIGHT ABOVE GRADE	B-2 BAR LENGTH	H-2 HEIGHT ABOVE GRADE
6'-0"	6'	4'	6'	4'	

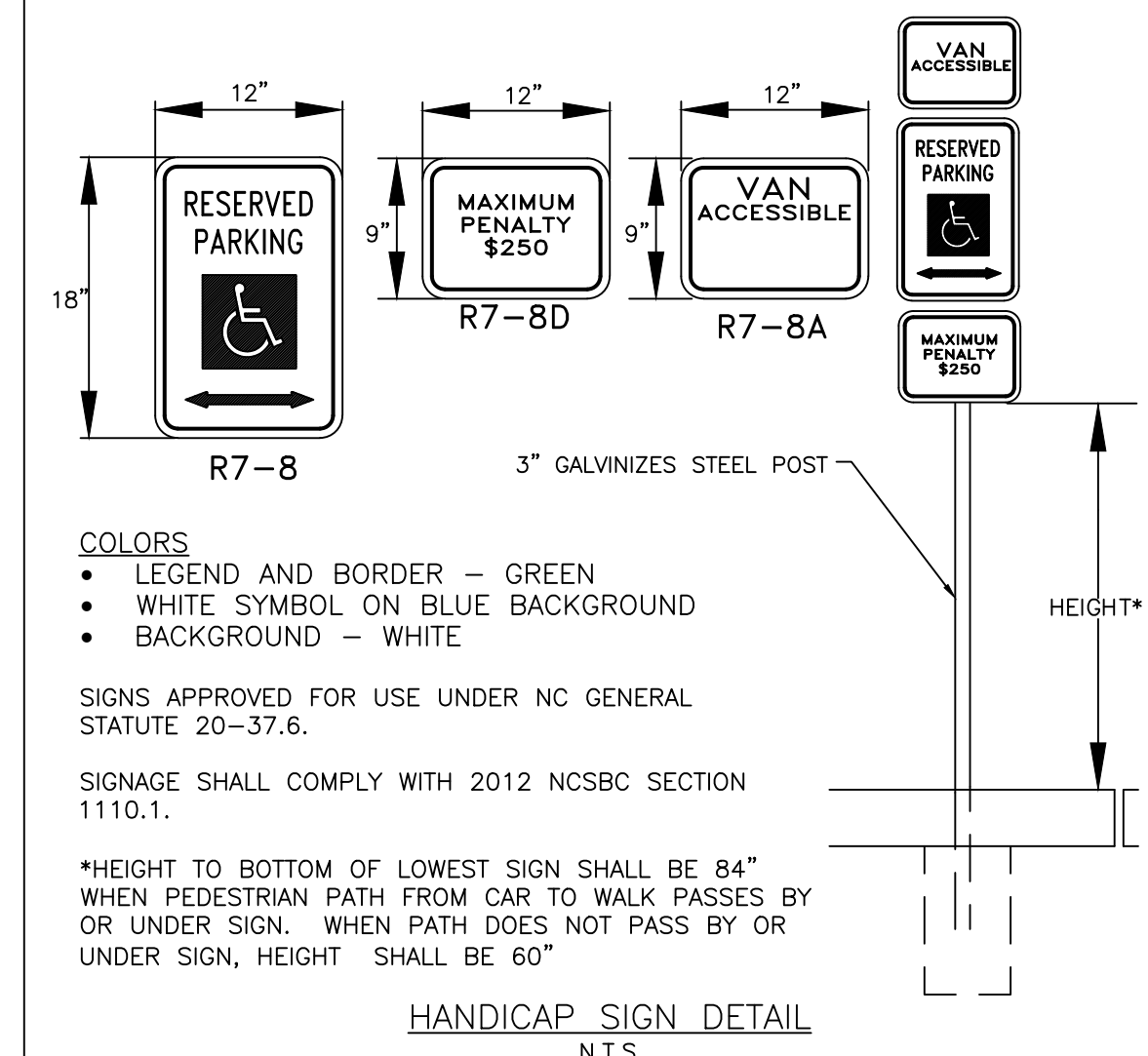
TYPICAL CHAIN LINK FENCE N.T.S.



TYPICAL DOUBLE SWING GATE N.T.S.



TYPICAL REINFORCED SECTION COMPACT UNIT - 1" MINIMUM SETBACK



- COLORS
- LEGEND AND BORDER - GREEN
  - WHITE SYMBOL ON BLUE BACKGROUND
  - BACKGROUND - WHITE

SIGNS APPROVED FOR USE UNDER NC GENERAL STATUTE 20-37.6.

SIGNAGE SHALL COMPLY WITH 2012 NCSBC SECTION 1110.1.

*HEIGHT TO BOTTOM OF LOWEST SIGN SHALL BE 84" WHEN PEDESTRIAN PATH FROM CAR TO WALK PASSES BY OR UNDER SIGN. WHEN PATH DOES NOT PASS BY OR UNDER SIGN, HEIGHT SHALL BE 60"

HANDICAP SIGN DETAIL N.T.S.

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Drawn By: **CJB**  
 Checked By: **BDM**

DATE:  
 05 SEP 2024

ADMINISTRATIVE  
 SITE PLAN

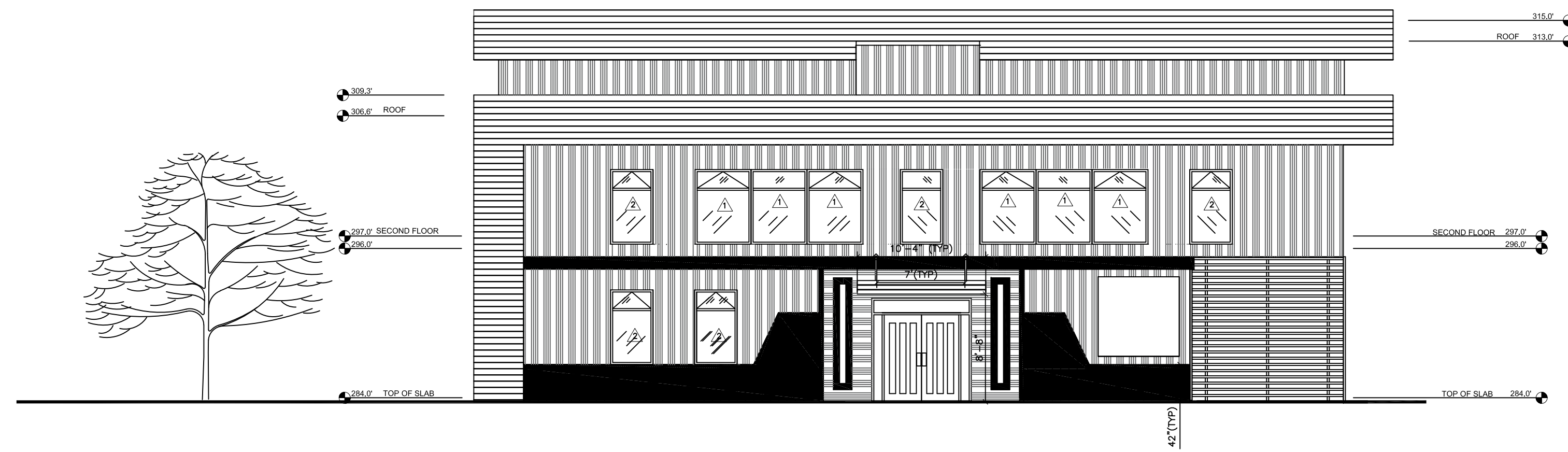
SITE  
 DETAILS

Job Code: **ISYARQ**

Dwg No.  
**PA  
 6.4**

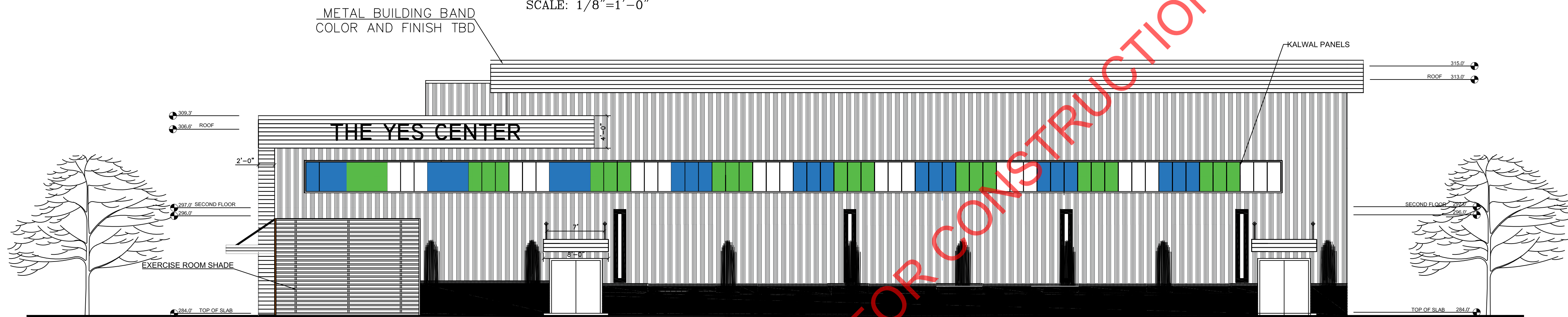
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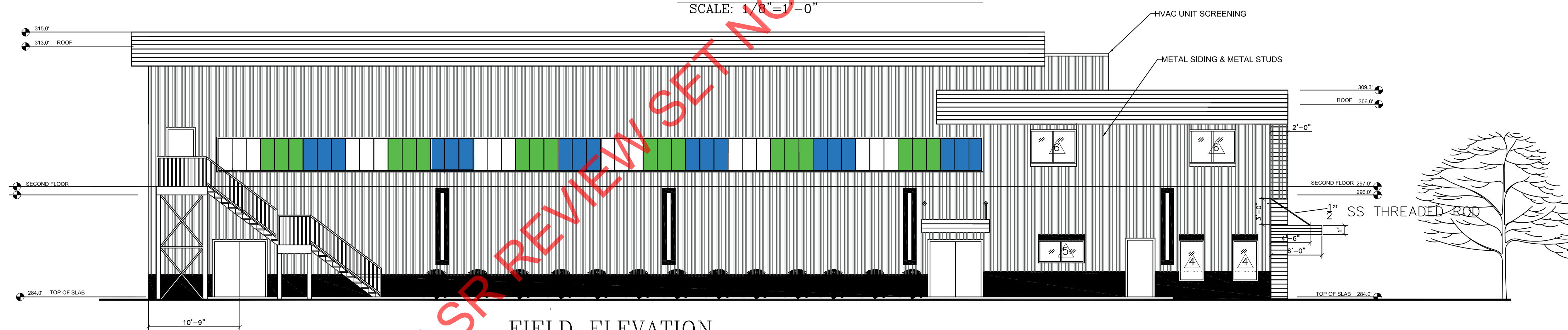
FRONT ELEVATION

SCALE: 1/8"=1'-0"



STREET SIDE ELEVATION

SCALE: 1/8"=1'-0"



FIELD ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"

ASR REVIEW SET NOT FOR CONSTRUCTION

**JEROME RUFARO REDMOND, PE**  
 CONSULTING STRUCTURAL ENGINEER  
 8209A MARKET STREET STE. 222  
 WILMINGTON, NC 28411  
 910.915.6529  
 JREDNC5@YAHOO.COM

**YES ATHLETIC CENTER**  
**3405 ROCK QUARRY RD**  
**RALEIGH, NC**

DRAWING TITLE  
 ELEVATIONS

DRAWN BY: JRR  
 CHECKED BY: JRR

SCALE: AS SHOWN

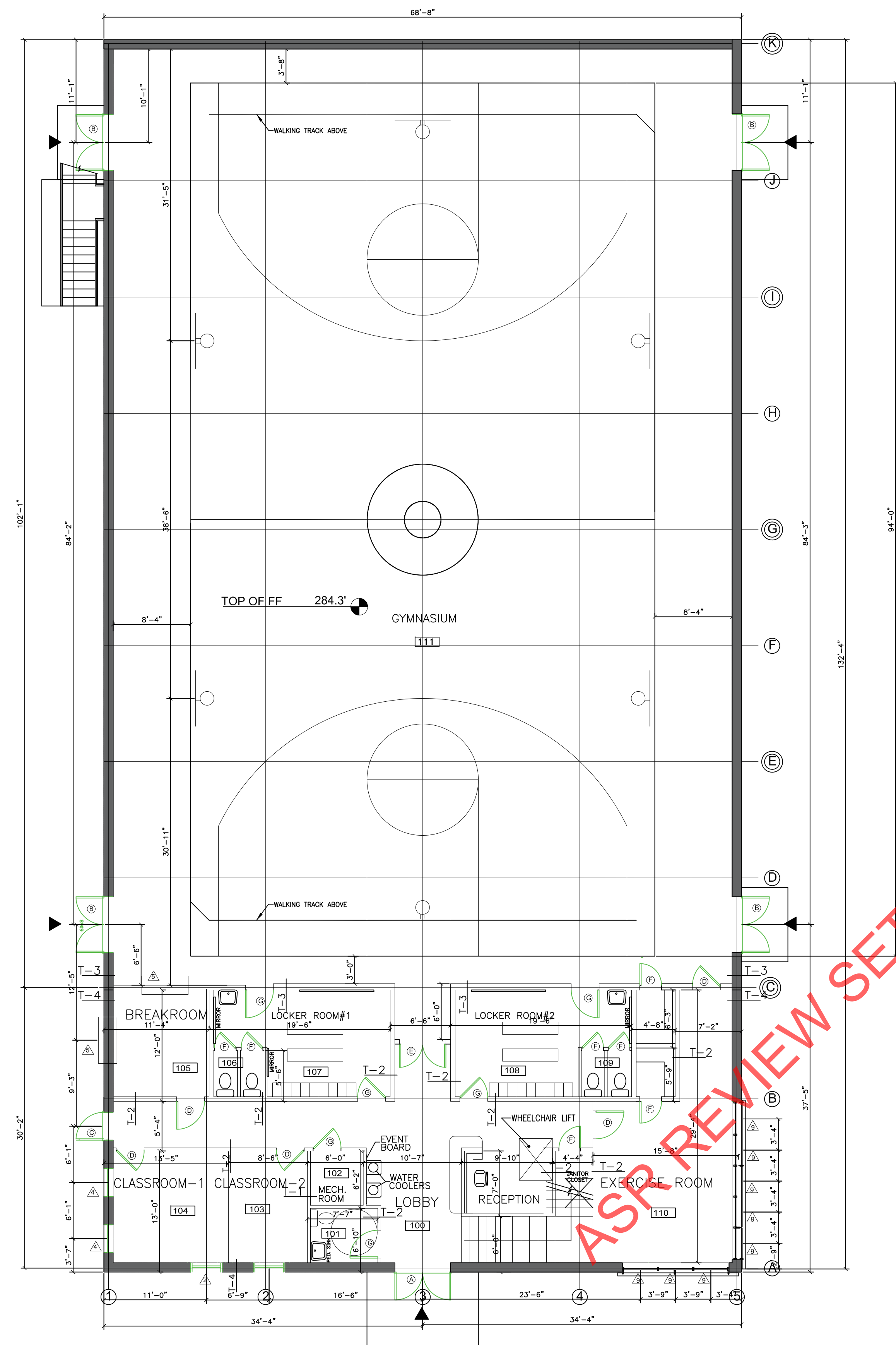
DATE: 07.15.24

PROJECT SHEET  
 IN024192 **B1.0**

MARK	DATE	REVISION

BID SET





**FIRST FLOOR PLAN**

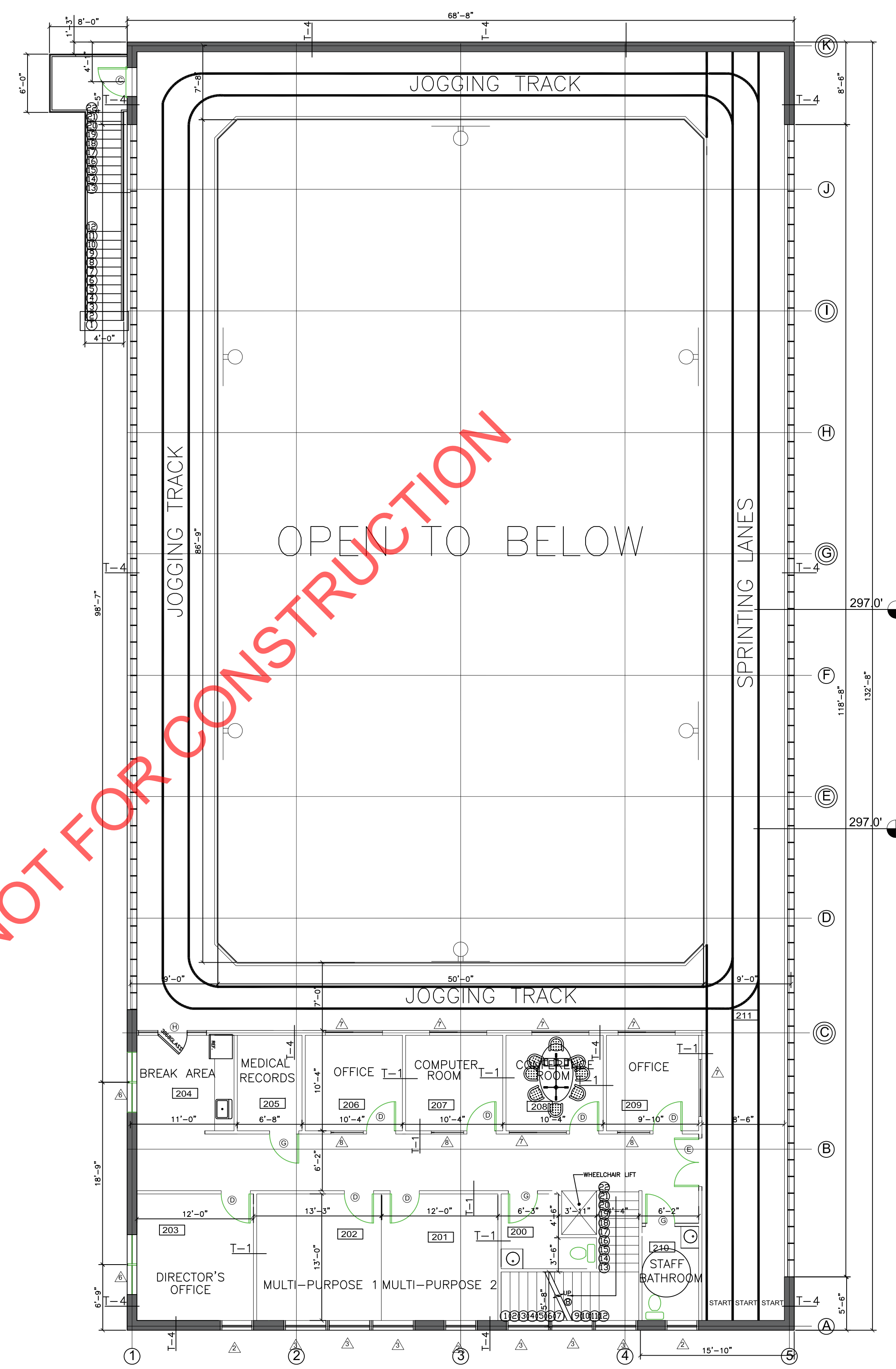
SCALE: 1/8"=1'-0"

**ROOM FINISHES**

- Hallways**
- Ceiling - None (Painted)
- Walls - Avila Authracite Waincote to 6 ft, Painted GWB above
- Floor - Acid Etched Concrete (Color and Finish- TBD)
- Breakroom**
- Ceiling -None (Painted)
- Walls - Vinyl Wall Covering
- Floor - Acid Etched Concrete (Color and Finish- TBD)

- Offices and Classrooms**
- Ceiling - None (Painted)
- Walls - Painted GWB
- Floor - Medium Traffic Commercial Carpet by Mohawk
- Bathrooms**
- Ceiling - None (Painted)
- Walls - Painted Green Board w/ Vinyl Wall Finish
- Option - Ilovelwallpaper - Moonlit Gray or Manhattan Gray Textured
- Floor - Ceramic Tile

- Locker Rooms**
- Ceiling - None (Painted)
- Walls - Glossy Ceramic Tile Waincote to 6 ft, Painted GWB above
- Floor - Ceramic Tile (Color and Finish- TBD)
- Common Areas**
- Ceiling -None (Painted)
- Walls - Vinyl Wall Covering
- Floor - Avila Authracite - 24x24 perforred



**SECOND FLOOR PLAN**

SCALE: 1/8"=1'-0"

- Gymnasium**
- Ceiling - None (Painted)
- Walls - Wall Padding, 4 x 8 ft (Color and graphics TBD)
- Floor - Ceramic Tile (Color and Finish- TBD)
- Exercise Room**
- Ceiling -None (Painted)
- Walls - Vinyl Wall Covering
- Floor - Synthetic Rubber
- Track**
- Ceiling -None (Painted)
- Walls - Vinyl Wall Covering
- Floor - Synthetic Rubber

ASAP REVIEW SET NOT FOR CONSTRUCTION

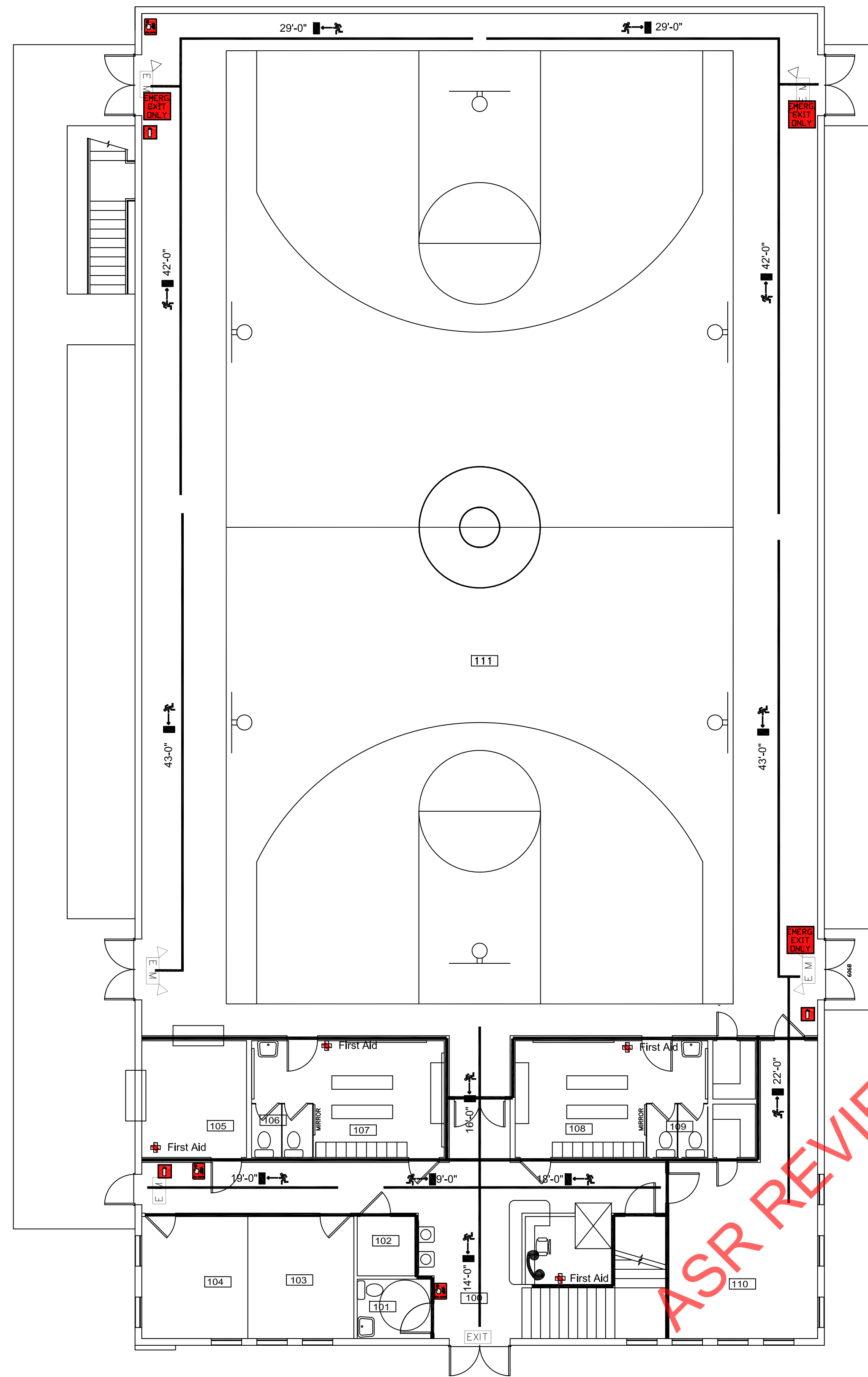
MARK	DATE	REVISION

**JEROME RUFARO REDMOND, PE**  
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8209A MARKET STREET STE. 222  
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910.915.6529  
JREDNC5@YAHOO.COM

**YES ATHLETIC CENTER**  
**3405 ROCK QUARRY RD**  
**RALEIGH, NC**

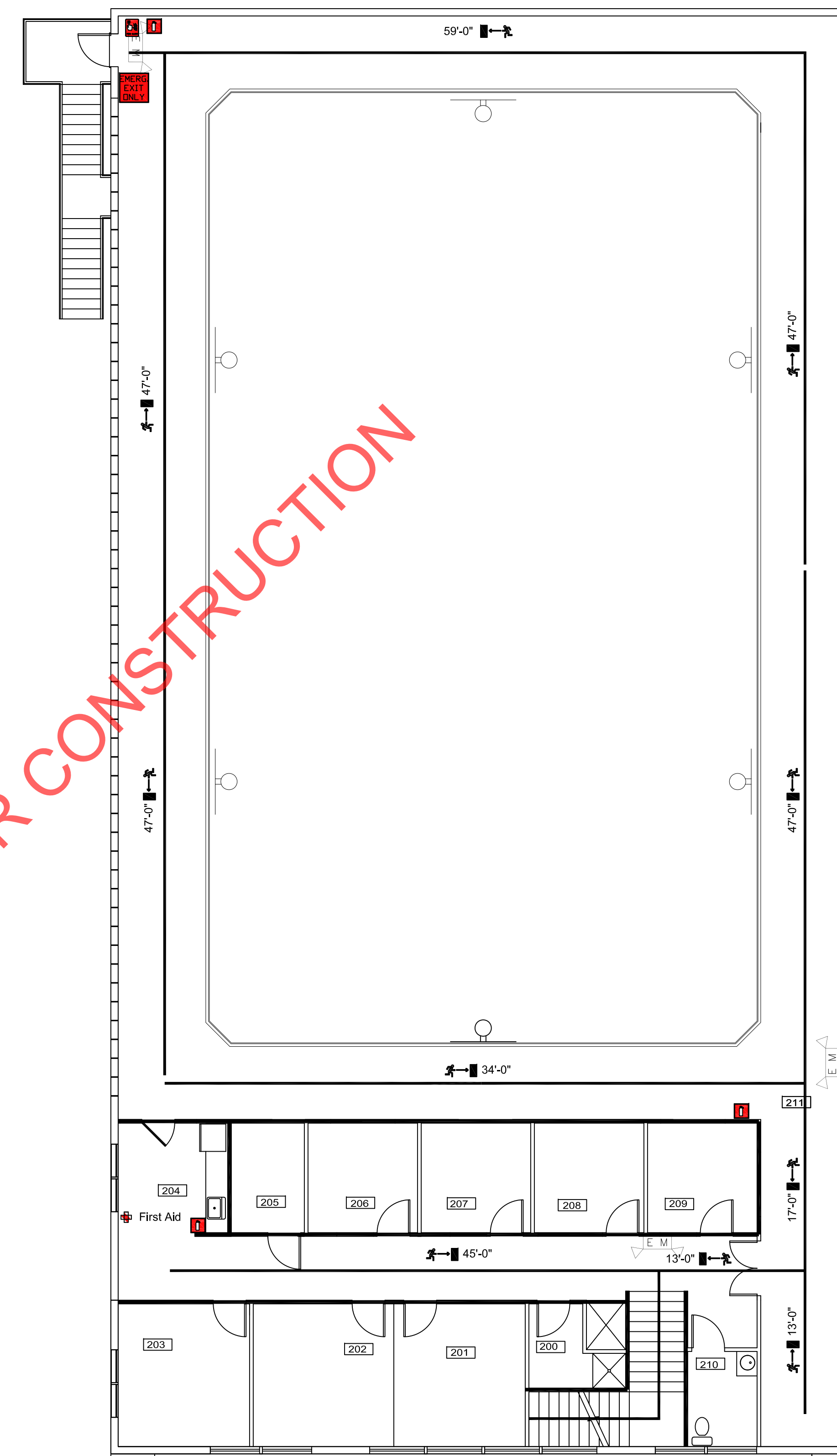
DRAWING TITLE	
SLAB PLAN AND FOUNDATION DETAILS	
DRAWN BY:	JRR
CHECKED BY:	JRR
SCALE:	AS SHOWN
DATE:	06.01.24
PROJECT	SHEET
IN024192	<b>B2.0</b>





FIRST FLOOR LIFE SAFETY PLAN

SCALE: 3/16"=1'-0"











SECOND FLOOR LIFE SAFETY PLAN

SCALE: 3/16"=1'-0"

ASR REVIEW SET NOT FOR CONSTRUCTION

LEGEND

-  Extinguisher
-  Emergency Phone
-  Fire alarm
-  First Aid
-  Exit Sign
-  Emergency Exit Only
-  Route
-  1 HR FIRE RATED WALLS

MARK	DATE	REVISION

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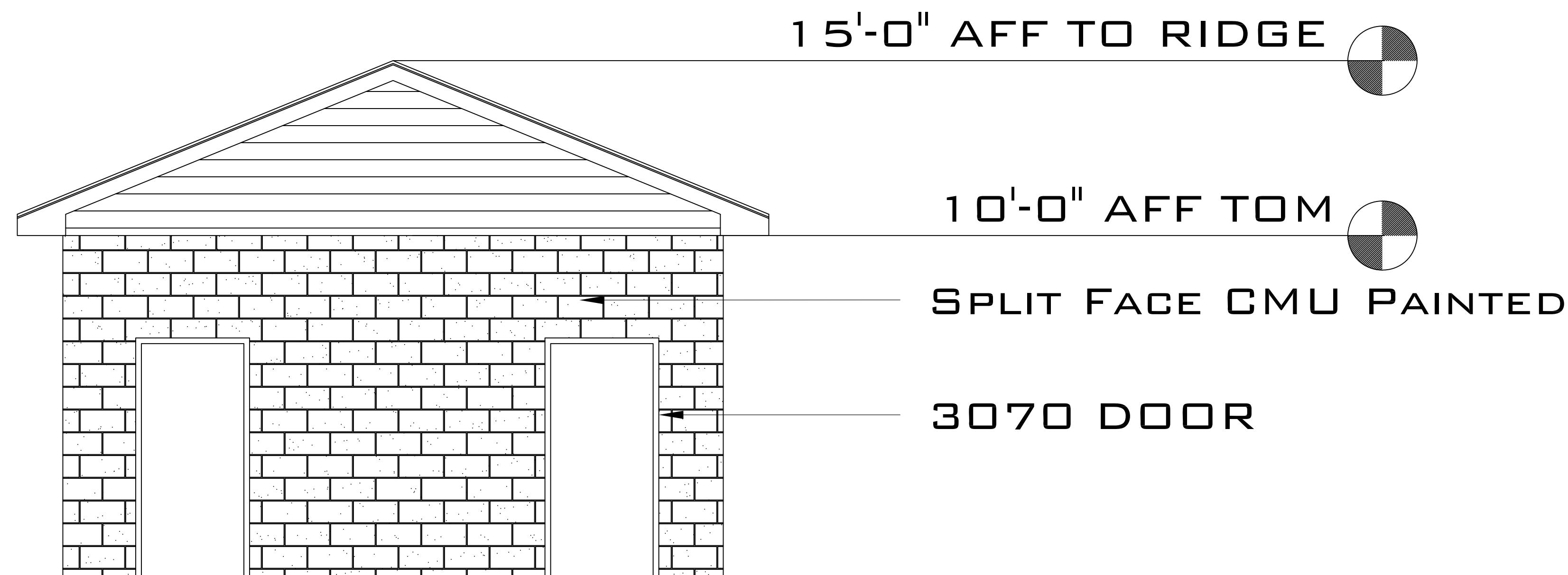
DRAWING TITLE  
 LIFE SAFETY  
 PLAN & DETAILS

DRAWN BY: JRR  
 CHECKED BY: JRR

SCALE: AS SHOWN  
 DATE: 07.15.24

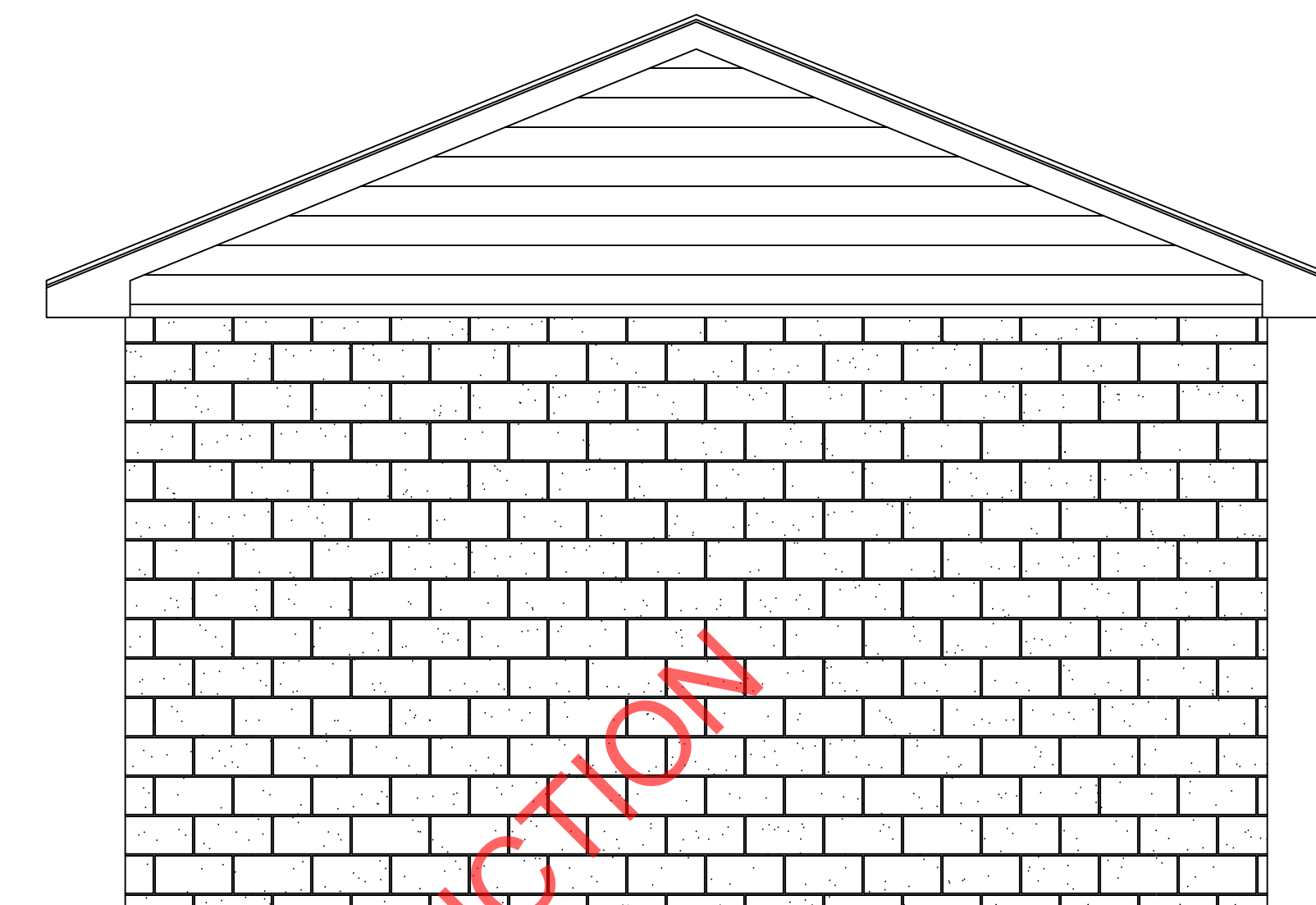
PROJECT SHEET  
 IN024192 **B2.1**





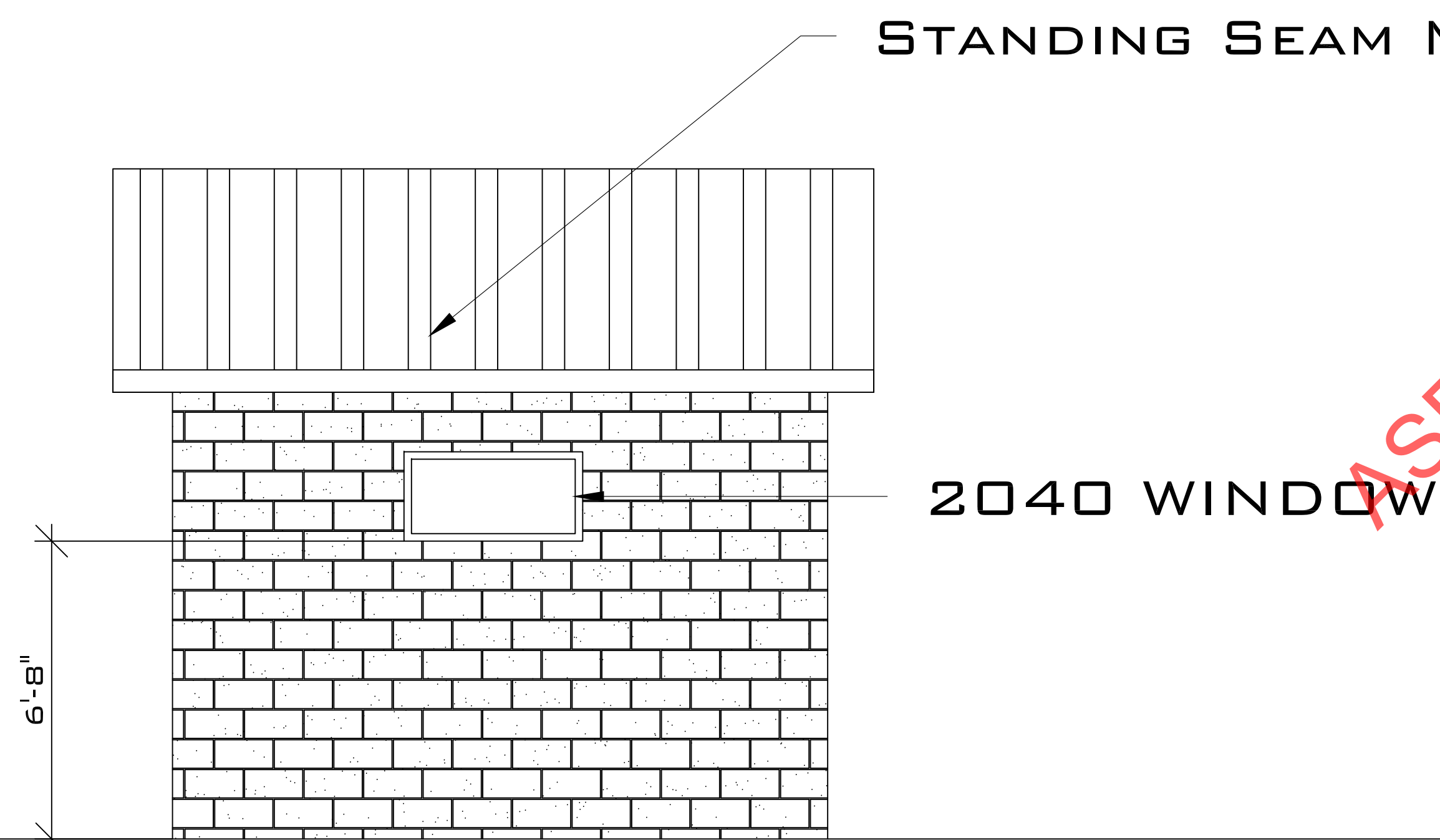
**FRONT ELEVATION**

SCALE:  $\frac{3}{8}$ " = 1'-0"



**REAR ELEVATION**

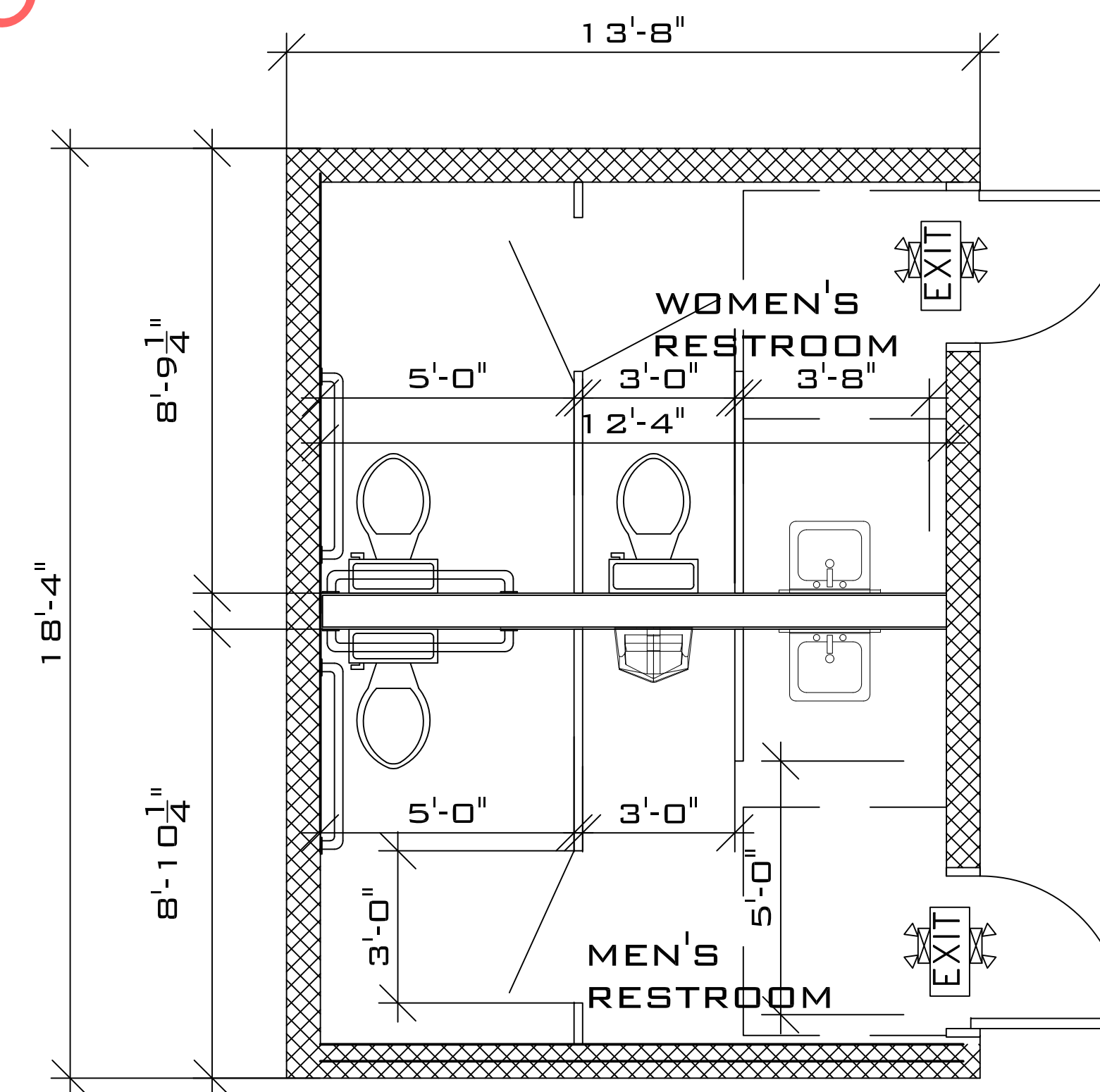
SCALE:  $\frac{3}{8}$ " = 1'-0"



**SIDE ELEVATION (TYPICAL)**

SCALE:  $\frac{3}{8}$ " = 1'-0"

ASR REVIEW SET NOT FOR CONSTRUCTION



**FLOOR/LIFE SAFETY PLAN**

SCALE:  $\frac{3}{8}$ " = 1'-0"

NOTE:  
 WALL FINISH: EPOXY PAINT  
 CEILING: GYPSUM BOARD AND EPOXY PAINT  
 FLOOR: POLISHED CONCRETE

JEROME RUFARO REDMOND, PE  
 CONSULTING ENGINEER  
 1019 HWY 17 SOUTH STE. 224  
 NORTH MYRTLE BEACH, SC 29582  
 910.915.6529  
 JREDNCS@YAHOO.COM

**YES ATHLETIC CENTER  
 3405 ROCK QUARRY RD  
 RALEIGH, NC**

DRAWING TITLE  
 RESTROOMS  
 FLOOR PLAN  
 AND ELEVATIONS

DRAWN BY: JRR  
 CHECKED BY: JRR

SCALE: AS SHOWN  
 DATE: 08.07.24

PROJECT SHEET  
 IN024192 **B5.0**

MARK	DATE	REVISION