



# Administrative Approval Action

Case File / Name: ASR-0070-2020  
MIDTOWN MARKET APARTMENTS

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** The site is generally located on the north side of Midtown Market Avenue, east of Tolson Street and west of Perry Creek Road, with common street addresses of 7731, 7741, 7751, 7781 and 7791 Midtown Market Avenue, and 6710 Archwood Avenue.
- REQUEST:** Development of the property with 264 dwelling units across eleven apartment buildings with a total gross floor area of approximately 126,180 square feet, plus a clubhouse, pool, associated parking and site improvements. Site 1 is approximately 7.82 acres containing four proposed apartment buildings with 96 dwelling units as well as the clubhouse and pool. Site 2 is approximately 6.8 acres containing seven proposed apartment buildings with 168 dwelling units. The subject property is zoned Planned Development and located within the 5401 North Master Plan (MP-2-16) with CX as the default district.
- DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 16, 2021 by HUDSON CAPITAL ACQUISITIONS.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Stormwater**

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

### **Stormwater**



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1. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## **General**

1. A recombination map shall be recorded, recombining the existing lots into the tracts as shown on the preliminary plan.
2. Perimeter buildings fronting along public streets shall be constructed prior to any interior buildings.

## **Engineering**

3. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
4. A public infrastructure surety for 18 street trees in tree lawn and 33 street tree grates shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. An offer of cross access agreement between this development (current PIN 1736594817) and the adjacent parcel to the west, PIN 1736591822, shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
6. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

## **Public Utilities**

7. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
8. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## **Urban Forestry**



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9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 20 street trees along Midtown Market Ave. west of Archwood Ave.; 13 street trees along Midtown Market Ave. east of Archwood Ave.; 9 street trees along Archwood Ave.; 9 street trees along Perry Creek Rd.

***The following are required prior to issuance of building occupancy permit:***

## **Stormwater**

1. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### **3-Year Expiration Date:** July 12, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysis Bailey Taylor  
Development Services Dir/Designee

Date: 03/15/2021

Staff Coordinator: **Kasey Evans**









# KEY NOTES:

- (A) SEGMENTAL BLOCK RETAINING WALL, TO BE DESIGNED BY OTHERS
- (B) HC RAMPS REQUIRED AT ALL HC PARKING. RAMP TYPE R-2
- (C) BLACK VINYL-COATED CHAINLINK FENCE
- (D) COMPACT CAR PARKING STALL (15' X 7.5')
- (E) HEAVY DUTY PAVEMENT (SEE PAVEMENT SECTION ON C-1.0)
- (F) 2.5" STANDARD CURB AND GUTTER TYP (SEE DETAIL ON C-7.0)
- (G) ENTRANCE SIGN
- (H) CONCRETE FLUME
- (I) COMPACTOR/RECYCLING CENTER SHOWN FOR GENERAL PURPOSES ONLY. OWNER/CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE AND SIZE OF ENCLOSURE WITH ARCHITECT AND COMPACTOR MANUFACTURER
- (L) MAINTENANCE BUILDING
- (M) PROPOSED NEW POWER POLE LOCATION
- (N) BLACK ALUMINUM PICKET FENCE AROUND POOL AREA
- (O) ADA COMPLIANT STAIRS
- (P) FOUNDATION WALL, TO BE DESIGNED BY OTHERS
- (Q) 15' X 20' TRANSPORTATION EASEMENT
- (R) STREET FURNITURE (ONE BENCH, ONE TRASH RECEPTACLE AND ONE BIKE RACK)
- (S) BIKE RACK
- (T) HC RAMP TYPE N-1
- (U) HC RAMP TYPE N-1A
- (V) HC RAMP TYPE N-3
- (W) HC RAMP TYPE N-2/N-3 (SEE DETAIL T-20.04.1)
- (X) EXISTING HC RAMP

## SITE 1 SUMMARY

PN - 1735598708 & 1735598888 & 17355984817  
 SITE ACREAGE - 47.82 ACRES  
 CURRENT ZONING - CK (TS &19)  
 PROPOSED DENSITY - 412.28 DU/AC  
 DEED BOOK, PAGE - 12386/2384  
 CURRENT LANDUSE - VACANT  
 PROPOSED UNITS - 96 UNITS  
 OPEN SPACE (10% MIN = 0.78 AC) - 1.67 AC

### 5401 NORTH - TRACT 1:

MAX DWELLING UNITS (DU): 1300 UNITS  
 EXISTING BUILT OUT DU: 332 UNITS  
 PROPOSED DU: 264 UNITS  
 TOTAL DU: 596 UNITS  
 MAX NON-RES. USE: 1,500,000 SF  
 PROPOSED: 0 SF  
 POCKET PARKS: MIN. 5 PARKS IN TRACT 1  
 PROPOSED: 1  
 URBAN PLAZAS: MIN. 5 PARKS IN TRACT 1  
 PROPOSED: 0  
 BENCH/TRASH/BIKE RACK: 1/100 LF OF STREET  
 PROVIDED: 1/100 LF OF STREET

## SITE 1 PARKING SUMMARY

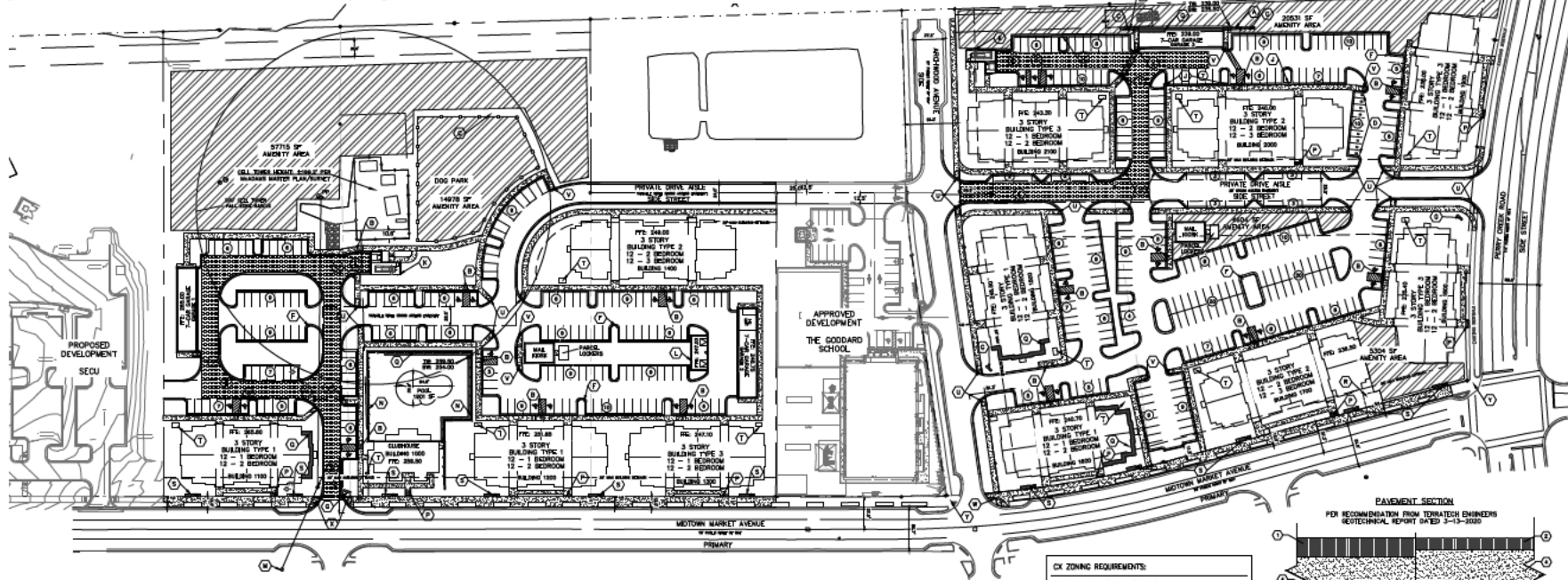
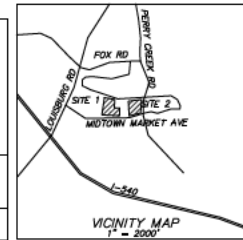
UNIT TYPE	NUMBER OF UNITS	PARKING REQUIRED
1 BEDROOM	36	1 SPACES/UNIT
2 BEDROOM	46	1.5 SPACES/UNIT
3 BEDROOM	12	2 SPACES/UNIT
CLUBHOUSE	3759 SF	1 SPACE/400 SF
TOTAL REQUIRED = 36 + 72 + 24 + 10 =		142 SPACES
MAX PARKING ALLOWED (150%) =		213 SPACES
PARKING PROVIDED GARAGES		181 SPACES
TOTAL PARKING PROVIDED		14 SPACES
TOTAL PARKING PROVIDED		195 SPACES
BICYCLE PARKING REQUIRED: 1 SPACE/20 UNITS =		5 SPACES
BICYCLE PARKING PROVIDED:		10 SPACES

## SITE 2 SUMMARY

PN - 1736893739 & 1737803016 & 1736898914  
 SITE ACREAGE - 46.80 ACRES  
 CURRENT ZONING - CK (TS)  
 PROPOSED DENSITY - 624.71 DU/AC  
 DEED BOOK, PAGE - 12386/2384  
 CURRENT LANDUSE - VACANT  
 PROPOSED UNITS - 168 UNITS  
 OPEN SPACE (10% MIN = 0.68 AC) - 0.70 AC

## SITE 2 PARKING SUMMARY

UNIT TYPE	NUMBER OF UNITS	PARKING REQUIRED
1 BEDROOM	60	1 SPACES/UNIT
2 BEDROOM	84	1.5 SPACES/UNIT
3 BEDROOM	24	2 SPACES/UNIT
TOTAL REQUIRED = 60 + 126 + 48 =		234 SPACES
MAX PARKING ALLOWED (150%) =		351 SPACES
PARKING PROVIDED GARAGES		278 SPACES
TOTAL PARKING PROVIDED		7 SPACES
TOTAL PARKING PROVIDED		285 SPACES
BICYCLE PARKING REQUIRED: 1 SPACE/20 UNITS =		9 SPACES
BICYCLE PARKING PROVIDED:		14 SPACES



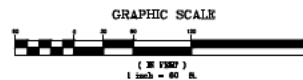
# SITE NOTES:

WITHIN THE AREA OF SHOWN SIGHT TRIANGLES, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, TREES, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS

DUMPER PADS ARE TO BE A MIN. OF 20' FROM ANY CURB/YARD INLET THAT IS USED FOR STORMWATER COLLECTION

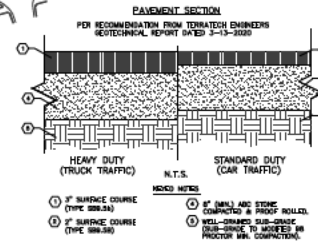
THE SCREENING OF THE TRASH COLLECTION DEVICE MUST BE AT LEAST 6 FEET HIGH AND CONSIST OF THE SAME OR COMPATIBLE MATERIAL AS THE PRINCIPLE STRUCTURE

COMPACTOR PAD SHALL BE 8" REINFORCED CONCRETE



## CK ZONING REQUIREMENTS:

MINIMUM LOT AREA - 5000 SF  
 MINIMUM LOT WIDTH - 20'  
 FRONT SETBACK - 22' (MAX) / 0' (MIN)  
 SIDE SETBACK - 0'  
 REAR SETBACK - 0'  
 WALK TECH SETBACK - 25'  
 MAXIMUM BUILDING HEIGHT - 115'



PRELIMINARY  
 FEBRUARY 16, 2021  
 FOR REVIEW  
 ONLY  
 NOT FOR  
 CONSTRUCTION

HAGEN  
 ENGINEERING, PA  
 3859 BATTLEGROUND AVE, SUITE 300  
 GREENSBORO, NC 27410  
 PHONE (336) 286-1350  
 www.hagen-eng.com

OVERALL SITE PLAN  
 MIDTOWN MARKET  
 APARTMENTS  
 7737 MIDTOWN MARKET AVE  
 RALEIGH, NC 27616

NO.	BY	DATE	REVISIONS
1	DATE	1/15/21	COMMENTS PER CKR

C-1.0

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COMPACTOR PAD SHALL BE 6" REINFORCED CONCRETE.

#### SITE 1 PARKING SUMMARY

UNIT TYPE	NUMBER OF UNITS	PARKING REQUIRED
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2 BEDROOM	48	1.5 SPACES/UNIT
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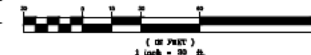
#### KEY NOTES:

- SEGMENTAL BLOCK RETAINING WALL, TO BE DESIGNED BY OTHERS
- HC RAMPS REQUIRED AT ALL HC PARKING. RAMP TYPE R-2
- BLACK VINYL-COATED CHAINLINK FENCE
- COMPACT CAR PARKING STALL (15' X 7.5')
- HEAVY DUTY PAVEMENT (SEE PAVEMENT SECTION ON C-1.0)
- 2.5' STANDARD CURB AND GUTTER TYPE (SEE DETAIL ON C-7.0)
- ENTRANCE SIGN
- CONCRETE FLUME
- COMPACTOR/RECYCLING CENTER SHOWN FOR GENERAL PURPOSES ONLY. OWNER/CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE AND USE OF ENCLOSURE WITH ARCHITECT AND COMPACTOR MANUFACTURER
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#### GRAPHIC SCALE



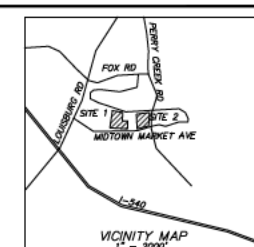
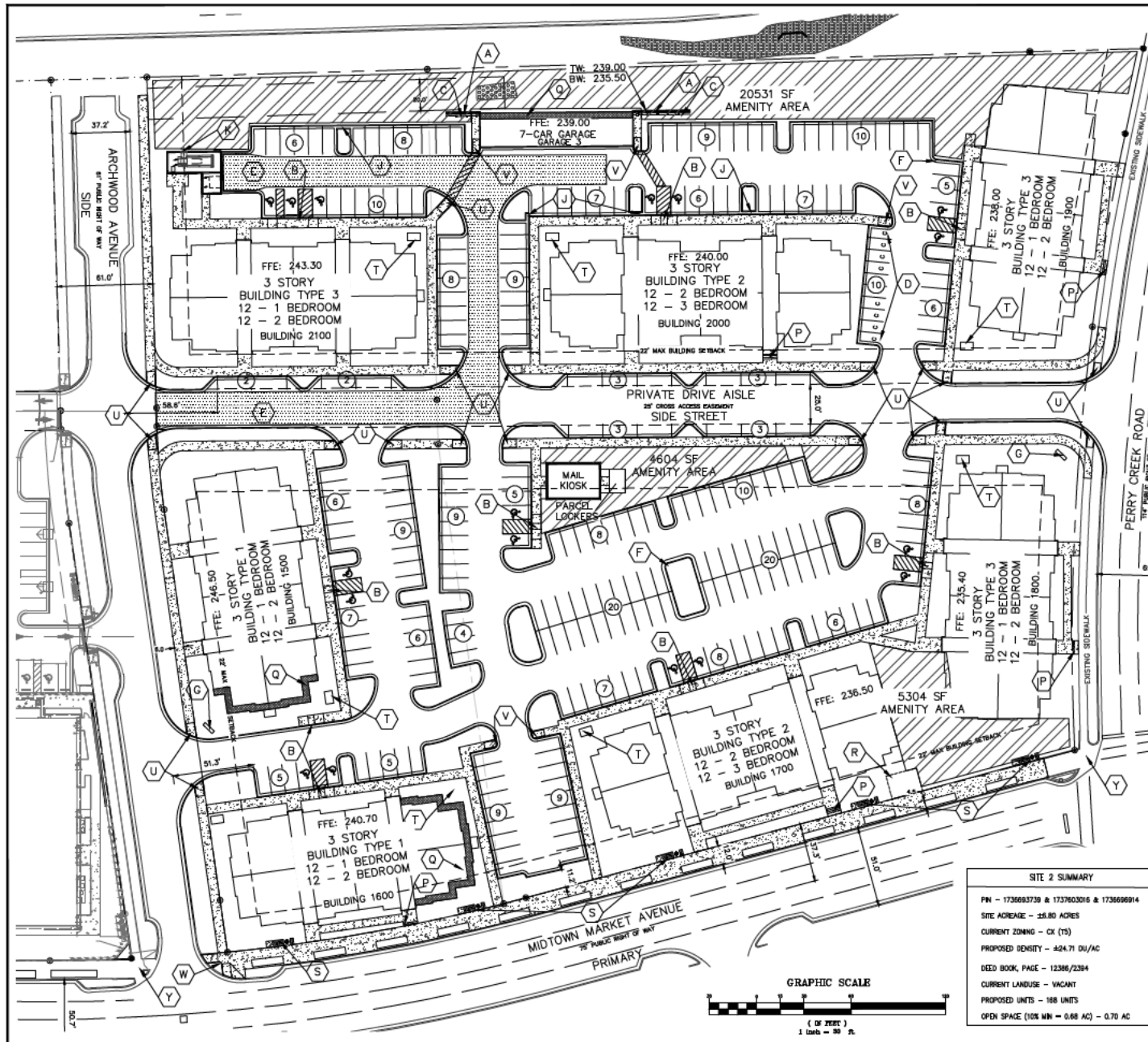
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SITE 1 PLAN  
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 APARTMENTS  
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NO.	BY	DATE	REVISIONS
1	MM	02/16/21	COMMENTS PER CKR

C-1.1



**CR ZONING REQUIREMENTS:**  
 MINIMUM LOT AREA - 5000 SF  
 MINIMUM LOT WIDTH - 20'  
 FRONT SETBACK - 22' (MAX) / 0' (MIN)  
 SIDE SETBACK - 0'  
 REAR SETBACK - 0'  
 WAKE TECH SETBACK - 25'  
 MAXIMUM BUILDING HEIGHT - 115'

**SITE NOTES:**  
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 THE SCREENING OF THE TRASH COLLECTION DEVICE MUST BE AT LEAST 6 FEET HIGH AND CONSIST OF THE SAME OR COMPATIBLE MATERIAL AS THE PRINCIPLE STRUCTURE.  
 COMPACTOR PAD SHALL BE 8" REINFORCED CONCRETE.

**SITE 2 PARKING SUMMARY**

UNIT TYPE	NUMBER OF UNITS	PARKING REQUIRED
1 BEDROOM	80	1 SPACES/UNIT
2 BEDROOM	64	1.5 SPACES/UNIT
3 BEDROOM	24	2 SPACES/UNIT
<b>TOTAL REQUIRED</b>	<b>60 + 126 + 48 =</b>	<b>234 SPACES</b>
<b>MAX PARKING ALLOWED (150%)</b>	<b>=</b>	<b>351 SPACES</b>
<b>PARKING PROVIDED</b>		<b>278 SPACES</b>
<b>GARAGES</b>		<b>7 SPACES</b>
<b>TOTAL PARKING PROVIDED</b>		<b>285 SPACES</b>
<b>BICYCLE PARKING REQUIRED: 1 SPACE/20 UNITS</b>	<b>=</b>	<b>9 SPACES</b>
<b>BICYCLE PARKING PROVIDED:</b>		<b>14 SPACES</b>

- KEY NOTES:**
- SEMENTAL BLOCK RETAINING WALL TO BE DESIGNED BY OTHERS
  - HC RAMPS REQUIRED AT ALL HC PARKING. RAMP TYPE R-2
  - BLACK VINYL-COATED CHAINLINK FENCE
  - COMPACT CAR PARKING STALL (15' X 7.5')
  - HEAVY DUTY PAVEMENT (SEE PAVEMENT SECTION ON C-1.0) 82222
  - 2.5" STANDARD CURB AND GUTTER TYP (SEE DETAIL ON C-7.0)
  - ENTRANCE SIGN
  - CONCRETE PLUME
  - COMPACTOR/RECYCLING CENTER SHOWN FOR GENERAL PURPOSES ONLY. OWNER/CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE AND SITE OF ENCLOSURE WITH ARCHITECT AND COMPACTOR MANUFACTURER
  - MAINTENANCE BUILDING
  - PROPOSED NEW POWER POLE LOCATION
  - BLACK ALUMINUM PICKET FENCE AROUND POOL AREA - X - X -
  - ADA COMPLIANT STAIRS
  - FOUNDATION WALL TO BE DESIGNED BY OTHERS
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  - STREET FURNITURE (ONE BENCH, ONE TRASH RECEPTACLE AND ONE BIKE RACK)
  - BIKE RACK
  - HC RAMP TYPE N-1
  - HC RAMP TYPE R-1A
  - HC RAMP TYPE N-3
  - HC RAMP TYPE N-2A/N-3 (SEE DETAIL T-20.04.1)
  - EXISTING HC RAMP

**SITE 2 SUMMARY**  
 PIN - 1736683739 & 1737603016 & 1736686914  
 SITE ACREAGE - 25.80 ACRES  
 CURRENT ZONING - CX (15)  
 PROPOSED DENSITY - 424.71 DU/AC  
 DEED BOOK, PAGE - 12386/2384  
 CURRENT LANDUSE - VACANT  
 PROPOSED UNITS - 168 UNITS  
 OPEN SPACE (10% MIN = 0.68 AC) - 0.70 AC

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**SITE 2 PLAN**  
**MIDTOWN MARKET**  
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 RALEIGH, NC 27616

**REVISIONS**

NO.	BY	DATE	DESCRIPTION
1	DATE		
2	DATE		
3	DATE		
4	DATE		
5	DATE		
6	DATE		
7	DATE		
8	DATE		
9	DATE		
10	DATE		

# KEY NOTES:

- (A) 8" DIP WATER MAIN (PRIVATE - ALL WATER MAIN PAST METER)
- (B) 8" MASTER WATER METER AND BFP TO THE CITY OF RALEIGH STANDARDS
- (C) 6" AMES MADM 500 R/PZ
- (D) 1-1/2" DOMESTIC SERVICE
- (E) 4" BUILDING FIRE SERVICE WITH BACKFLOW INSIDE THE BUILDING.
- (F) PRIVATE 8" SDR 35 PVC SANITARY SEWER MAIN
- (G) 8" SDR 35 PVC SEWER SERVICE AT MINIMUM OF 1.0% WITH 4" CLEANOUT (TYP). CLEANOUTS IN PAVED AREAS OR SIDEWALK SHALL BE JOSEPH 55000
- (H) 4" SDR 35 PVC SANITARY SERVICE TO MAINTENANCE BUILDINGS
- (I) 2" DOMESTIC WATER SERVICE
- (J) FOG
- (K) TE INTO EXISTING 12" WATER MAIN WITH 12" X 8" TAPPING SLEEVE AND VALVE
- (L) TE INTO EXISTING SANITARY SEWER MANHOLE PER RALEIGH STDS.
- (M) 6" HYDRANT ASSEMBLY PER RALEIGH STANDARDS.
- (N) TE INTO EXISTING 8" WATER MAIN WITH 8" X 6" TAPPING SLEEVE AND VALVE
- (O) 20' COR WATER LINE EASEMENT
- (P) HVAC UNIT (TYP.)
- (Q) PUBLIC 8" DIP SANITARY SEWER MAIN
- (R) 20' COR SEWER MAIN EASEMENT

## GENERAL NOTES:

1. BOUNDARY AND EXISTING TOPOGRAPHICAL INFORMATION WAS PROVIDED BY SORRI LAND SURVEYING, P.L.C. ON JULY 23, 2020.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING FEATURES PRIOR TO CONSTRUCTION.
3. INVERTS FOR EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
4. MATERIALS AND WORKMANSHIP TO CONFORM WITH STANDARDS AND SPECIFICATIONS OF LOCAL JURISDICTIONAL AUTHORITIES.
5. POWER, PHONE, CABLE AND GAS SERVICE INSTALLATIONS SHALL BE COORDINATED WITH LOCAL UTILITY PROVIDERS.
6. ALL WATER INSTALLATIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF RALEIGH PUBLIC WORKS AND INDOOR.
7. FIRE HYDRANTS MUST BE IN PLACE AND FUNCTIONAL BEFORE COMBUSTIBLE CONSTRUCTION BEGINS ON SITE.

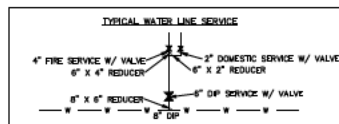
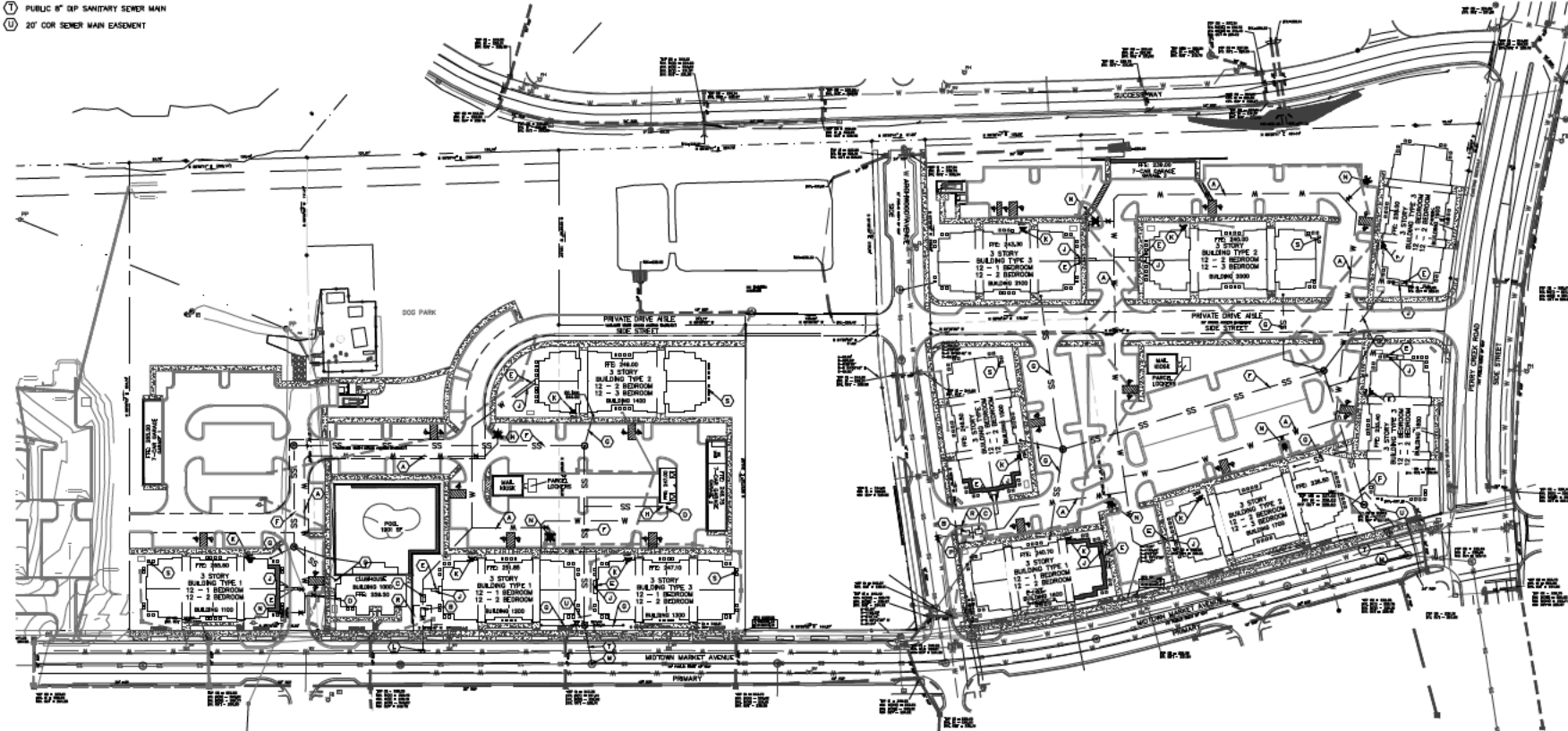
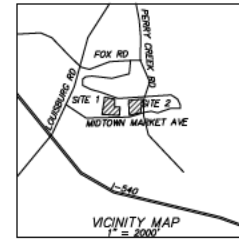
## CONSTRUCTION STAKING:

THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER OF RECORD FOR A DIGITAL STAKING PLAN TO ESTABLISH COMPLETE HORIZONTAL AND VERTICAL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR SURVEY STAKEOUT OF ALL IMPROVEMENTS. DISCREPANCIES BETWEEN THE PLANS, CONSTRUCTION STAKES, AND FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER OF RECORD IMMEDIATELY FOR RESOLUTION PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS.

## SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF WATER AND SEWER SERVICES AT THE BUILDING.

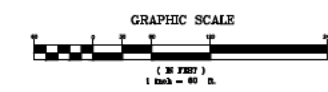
UTILITY CONTRACTOR IS RESPONSIBLE FOR RUNNING FIRE SERVICE INTO THE RISER ROOM. UTILITY CONTRACTOR SHALL COORDINATE THIS WITH THE BUILDING CONTRACTOR.

ALL 8" SEWER SERVICES SHALL HAVE A MINIMUM SLOPE OF 1.0%.



**LEGEND**

PROPERTY LINE	---	---
WATER LINE	— W —	— W —
SANITARY SEWER	— SS —	— SS —
STORM SEWER	— S —	— S —



**PRELIMINARY**  
FEBRUARY 16, 2021  
**FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**

**HAGEN ENGINEERING, PA**  
3859 BATTLEGROUND AVE, SUITE 300  
GREENSBORO, NC 27410  
PHONE (336) 286-3350  
www.hagen-eng.com

**UTILITY PLAN**  
**MIDTOWN MARKET APARTMENTS**  
7737 MIDTOWN MARKET AVE  
RALEIGH, NC 27616

NO.	BY	DATE	REVISIONS
1	DATE		
2	COMMENTS		



# CITY OF RALEIGH PLANTING REQUIREMENTS:

## PARKING LOT PLANTING: UDO Section 7.1.7

### REQUIRED:

INTERIOR ISLANDS: (1) Shade Tree per interior island & terminal interior island  
(TTL: 1 Shade Tree/2,000sf of parking area)  
(Shade Trees: 36"min. mature height, 30"min. mature crown spread, 3' tall & 10"min. ht. when planted)

PERIMETER ISLANDS: (30) Shrubs/100ft  
(Shrubs: 6"min. when planted, reaching 36"min. after 3 years)

SITE 1 PROPOSED PARKING LOT: (78,644sf of Parking Space Area)  
TTL REQUIRED: 38 Shade Trees  
(at a rate of 1 / 2,000sf = 78,644 / 2,000 = 37.8)

PROPOSED: 38 Shade Trees

SITE 2 PROPOSED PARKING LOT: (87,846sf of Parking Space Area)  
TTL REQUIRED: 44 Shade Trees  
(at a rate of 1 / 2,000sf = 87,846 / 2,000 = 43.7)

PROPOSED: 50 Shade Trees

## PARKING LOT LIGHTING: UDO Section 7.1.7.10

Lighting fixtures must be located at least 20' from a tree, measured from the pole of the lighting fixture to the trunk of the tree.

## SCREENING: UDO Section 7.2.5

All HVAC units shall be screened from view using an evergreen planting of Dwarf Burford Holly & Indian Hawthorn shrubs. Quantities to be determined per building needs. See Sheets L1.10 & L1.20.

## 5401 NORTH PD MASTER PLAN:

Street Trees planted per 5401 North per 5401 North PD  
Midtown Market Avenue: Burford Holly per 5-24-2022 rev. 12/2/2024  
Perry Creek Road: Athens Elm per 5-24-2022 rev. 12/2/2024  
Archwood Avenue: (1) 4" Nuttall Oak per 5-24-2022

All surface parking within 50' of a public street shall be screened from view of the street by a continuous 5' evergreen hedge, 3' fence or wall.

# SITE SUMMARY:

## SITE 1 SUMMARY:

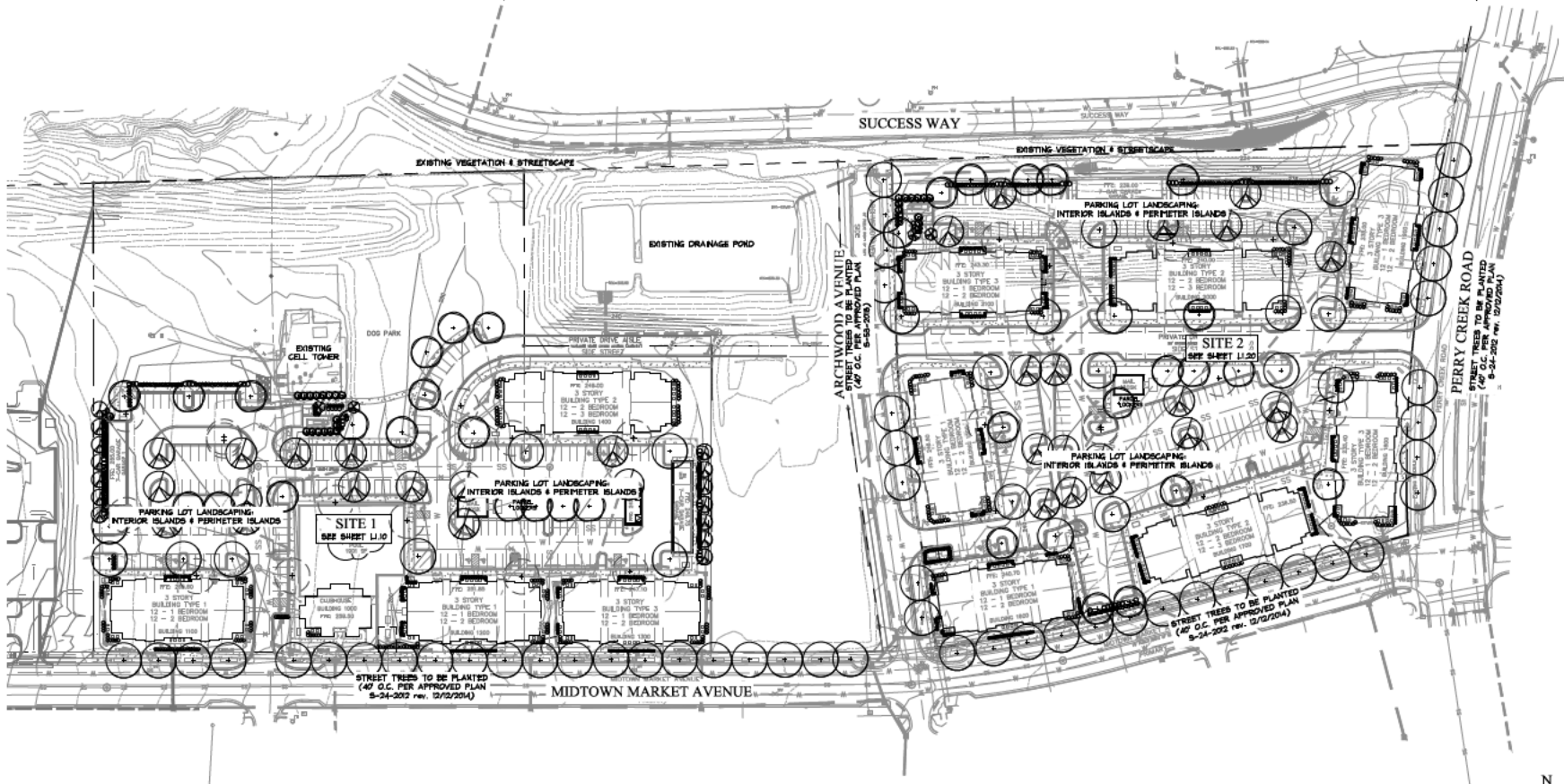
PN- 173649705 & 173649668 & 173649487  
SITE ACREAGE- 27.82 ACRES  
CURRENT ZONING- CK (URBAN CENTER ZONE)  
PROPOSED DENSITY- 122.28 DU/AC  
DEED BOOK, PAGE- 1286 / 2394  
CURRENT LAND USE- VACANT  
PROPOSED UNITS- 16 UNITS

## SITE 2 SUMMARY:

PN- 173760503 & 173649697 & 173760640 & 173649746  
SITE ACREAGE- 16.80 ACRES  
CURRENT ZONING- CK (URBAN CENTER ZONE)  
PROPOSED DENSITY- 124.71 DU/AC  
DEED BOOK, PAGE- 1286 / 2394  
CURRENT LAND USE- VACANT  
PROPOSED UNITS- 168 UNITS



VICINITY MAP: NTS



Know what's below.  
Call before you dig.

# MIDTOWN MARKET APARTMENTS

7713 MIDTOWN MARKET AVENUE  
RALEIGH, NC 27616

REVISION DATE:  
NOVEMBER 6, 2020  
JANUARY 18, 2021  
FEBRUARY 15, 2021

DATE:  
AUGUST 20, 2020

SCALE:  
1" = 60'-0"

SHEET TITLE:  
LANDSCAPE  
PLAN:  
OVERALL SITE

SHEET NUMBER:

L 1.00





# MIDTOWN MARKET APARTMENTS

7713 MIDTOWN MARKET AVENUE  
RALEIGH, NC 27616

REVISION DATE:  
NOVEMBER 6, 2020  
JANUARY 18, 2021  
FEBRUARY 15, 2021

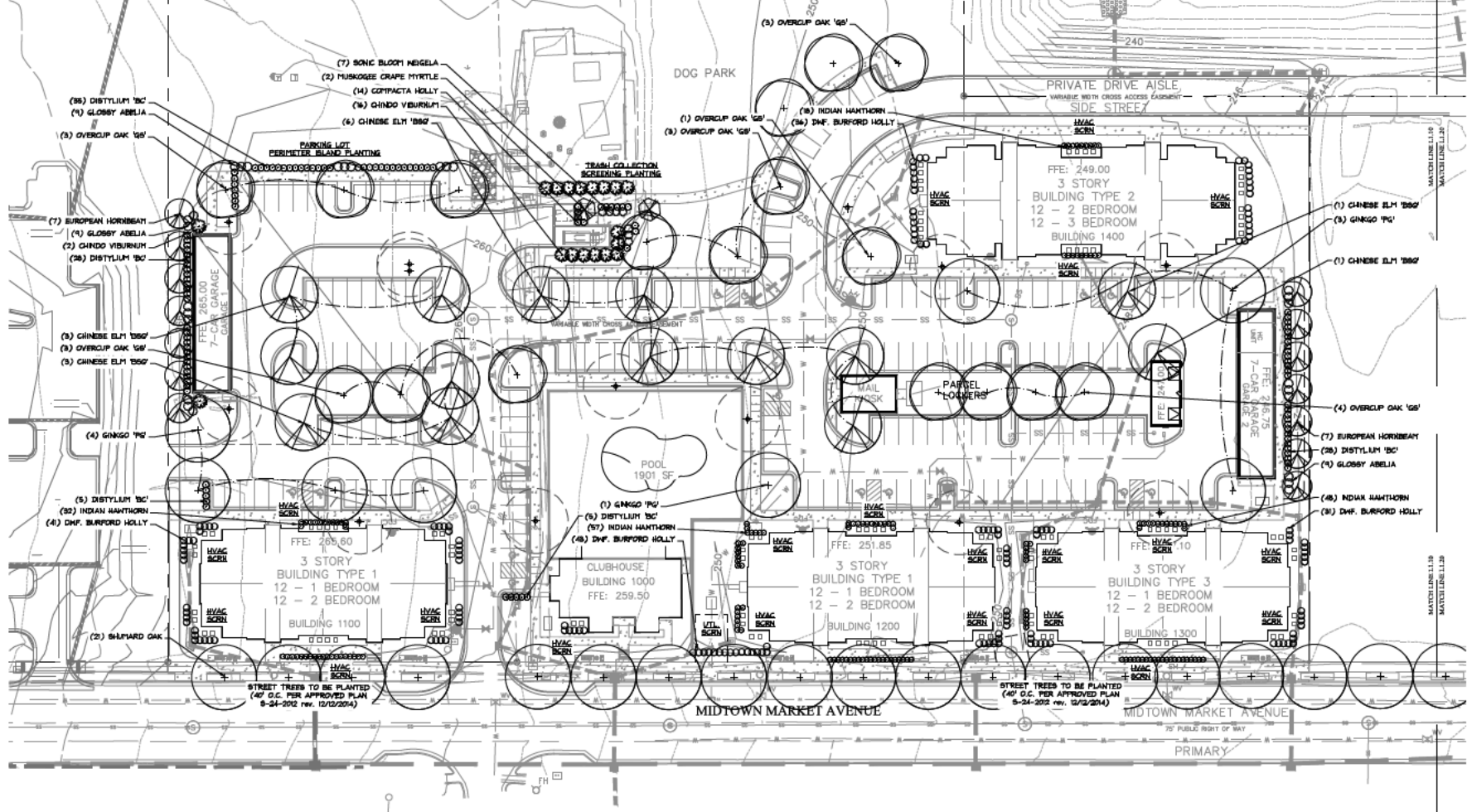
DATE:  
AUGUST 20, 2020

SCALE:  
1" = 30'-0"

SHEET TITLE:  
LANDSCAPE  
PLAN:  
SITE 1

SHEET NUMBER:

**L 1.10**



**PLANT LIST:**

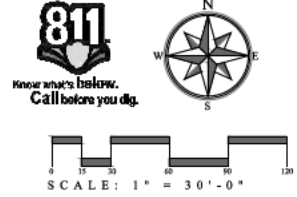
Key	Quantity	Botanical Name	Common Name	Plant Size	Notes
<b>STREET TREES</b>					
Shard Oak	21	Quercus shumardii	Shard Oak	2.5" Cal.	Specs, well-branched, specimen
<b>PARKING LOT SHADE TREES</b>					
Garage PG	8	Salix integra 'Presidential Gold'	Presidential Gold Weeping Willow	7' Cal. 12' H.	SINGLE TRUNK, specimen, male
Overcup Oak 16"	17	Quercus laevis 'Stem Spring'	Stem Spring Overcup Oak	7' Cal. 12' H.	Specs, well-branched, specimen
Chinese Elm 16"	14	Ulmus parviflorus 'Nirx'	Nirx Chinese Elm	7' Cal. 12' H.	SHALL stems, well-branched, specimen
<b>UNDERSTORY TREES</b>					
European Hornbeam	14	Carpinus betulus	European Hornbeam	1.5" Cal. 12' H.	SINGLE TRUNK, full, dense, LIMITED UP 4' MIN.
Cape Myrtle	2	Lagerstroemia indica 'Majesty'	Majesty Lagerstroemia	6'	Specs, well-branched, matched
<b>EVERGREEN SHRUBS</b>					
Shard Oak	27	Quercus laevis	Shard Oak	18' min.	Well-branched, dense, matched
Distylium 16"	101	Distylium myrsinoides 'Blue Cascade'	Blue Cascade Distylium	18' min.	Specs, full, matched
Dwarf Burford Holly	151	Ilex cornuta 'Burford Holly'	Burford Holly	18' min.	Specs, well-branched, matched
Compacta Holly	94	Ilex cornuta 'Compacta'	Compacta Holly	18' min.	Specs, well-branched, matched
Indian Hawthorn	152	Chamaecyparis indica	Indian Hawthorn	18' min.	Specs, well-branched, matched
Chinese Viburnum	18	Viburnum chinensis 'Cherry'	Cherry Viburnum	6' H.	Well-branched, dense, matched
<b>DECIDUOUS SHRUBS</b>					
Angels	7	Wisteria floribunda 'Sonic Bloom'	Sonic Bloom Wisteria	18' min.	Well-branched, dense, matched

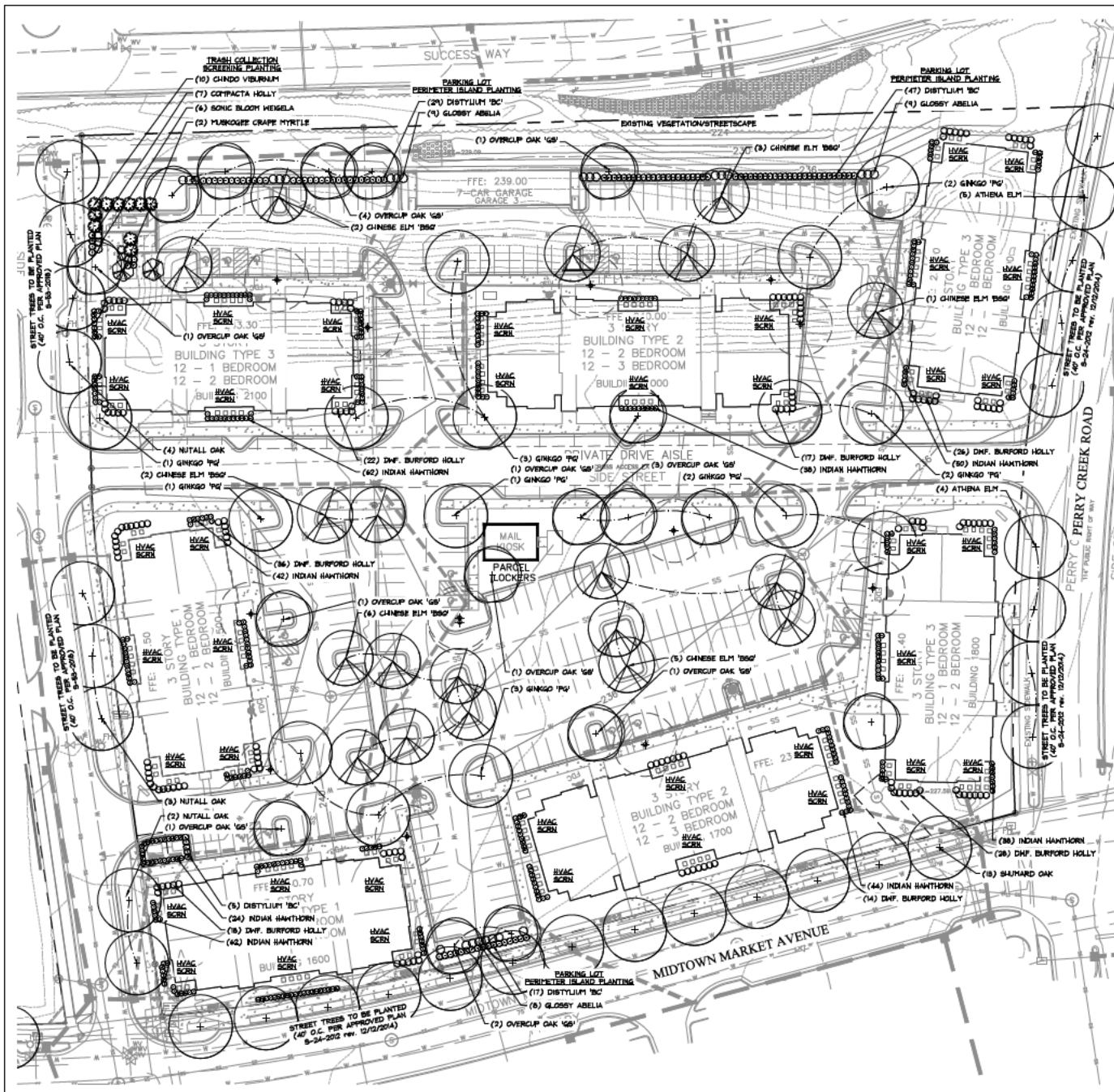
NOTES:  
1. All plant quantities are confirmed by contractor, please contact L.A. with any discrepancies between plan and what is shown.  
2. Plant quantities are subject to change and are to be confirmed on site.

**CITY OF RALEIGH PLANTING REQUIREMENTS:**

**PARKING LOT PLANTING:** UDO Section 7.1.7  
REQUIRED:  
INTERIOR ISLANDS: (1) Shade Tree per Interior Island 4' terminal Interior Island (Min. 1' Shade Tree/2,000sq ft of parking area)  
(Shade Tree: 18" min. mature height; 30" min. mature crown spread; 5' cal. 10" min. H. when planted)  
PERIMETER ISLANDS: (30) Shrubs/1000' (Shrubs: 18" min. when planted; matching 36" min. after 3 years)  
SITE 1: PROPOSED PARKING LOT - (78,694sq ft of Parking Space Area)  
MIN. REQUIRED: 36 Shade Trees  
(at a rate of 1 / 2,000sq ft = 18,664 / 2,000 = 9.33)  
PROPOSED: 91 Shade Trees  
**SCREENING:** UDO Section 7.2.5  
All HVAC units & Utility Services shall be screened from view using an evergreen planting of Dwarf Burford Holly & Indian Hawthorn shrubs. Quantities to be determined per building needs. See L1.10 for layout.

**8401 NORTH PD MASTER PLAN:**  
Street Trees planted per 8401 North PD  
Midtown Market Avenue Shards Oak per 8-24-2022 rev. 12/2/2024  
All surface parking within 50' of a public street shall be screened from view of the street by a continuous 3' evergreen hedge, 3' fence or wall.  
**PARKING LOT LIGHTING:** UDO Section 7.1.7.1  
Lighting fixtures must be located at least 20' from a tree, measured from the pole of the lighting fixture to the trunk of the tree.





**CITY OF RALEIGH PLANTING REQUIREMENTS:**

**PARKING LOT PLANTING:** UDO Section 7.1.7  
**REQUIRED:**  
**INTERIOR ISLANDS:** (1) Shade Tree per interior island & terminal interior island (Min. 1 Shade Tree/2,000sf of parking area)  
 (Shade Tree: 35' min. mature height; 30' min. mature crown spread; 3" cal. & 10' min. ht. when planted)  
**PERIMETER ISLANDS:** (3) Shade Trees (Shade Tree: 35' min. mature height; 30' min. mature crown spread; 3" cal. & 10' min. ht. when planted)  
**SITE 2 PROPOSED PARKING LOT:** (57,540sf of Parking Space Area)  
**MIN. REQUIRED:** 44 Shade Trees  
 (at a rate of 1 / 2,000sf = 87,946 / 2,000 = 43.7)  
**PROPOSED:** 50 Shade Trees

**SCREENING:** UDO Section 7.2.5  
 All HVAC units & Utility Services shall be screened from view using an evergreen planting of Dwarf Burford Holly & Indian Hawthorn shrubs. Quantities to be determined per building needs. See L1.20 for layout.

**MAIL NORTH PG. MASTER PLAN:**  
 Street Trees planted per 540' North per 140' North PG  
 Midtown Market Avenue: Burford Oak per: 8-24-2012 rev. 12/12/2014  
 Perry Creek Road: Ashland Elm per: 5-24-2012 rev. 12/12/2014  
 Archwood Avenue: (N) & Nuttall Oak per: 5-24-2012

All surface parking within 50' of a public street shall be screened from view of the street by a continuous 3' evergreen hedge, 3' fence or wall.

**PARKING LOT LIGHTING:** UDO Section 7.1.7.10  
 Lighting fixtures must be located at least 20' from a tree, measured from the pole of the lighting fixture to the trunk of the tree.



**PLANT LIST:**

Plant	Quantity	Botanical Name	Common Name	Plant Size	Notes
STREET TREES					
Nuttall Oak	1	Quercus nuttallii	Nuttall Oak	12' Cal.	Shrub, well-maintained, upright
Burford Oak	1	Quercus macrocarpa	Burford Oak	12' Cal.	Shrub, well-maintained, upright
Ashland Elm	1	Ulmus americana	Ashland Elm	12' Cal.	Shrub, well-maintained, upright
INDIAN HAWTHORN					
Indian Hawthorn	1	Euonymus alatus	Indian Hawthorn	12' Cal.	Shrub, well-maintained, upright
SHRUBS					
Dwarf Burford Holly	1	Euonymus alatus	Dwarf Burford Holly	12' Cal.	Shrub, well-maintained, upright
Indian Hawthorn	1	Euonymus alatus	Indian Hawthorn	12' Cal.	Shrub, well-maintained, upright
SHRUBS					
Dwarf Burford Holly	1	Euonymus alatus	Dwarf Burford Holly	12' Cal.	Shrub, well-maintained, upright
Indian Hawthorn	1	Euonymus alatus	Indian Hawthorn	12' Cal.	Shrub, well-maintained, upright
SHRUBS					
Dwarf Burford Holly	1	Euonymus alatus	Dwarf Burford Holly	12' Cal.	Shrub, well-maintained, upright
Indian Hawthorn	1	Euonymus alatus	Indian Hawthorn	12' Cal.	Shrub, well-maintained, upright

Notes: 1. All plants are to be installed in accordance with the City of Raleigh Planting Specifications. 2. All plants are to be installed in accordance with the City of Raleigh Planting Specifications. 3. All plants are to be installed in accordance with the City of Raleigh Planting Specifications.

**BRENT SKELTON**  
LANDSCAPE ARCHITECT

1100 S. RICHMOND AVE.  
SUITE 100  
RALEIGH, NC 27601

# MIDTOWN MARKET APARTMENTS

7713 MIDTOWN MARKET AVENUE  
RALEIGH, NC 27616

REVISION DATE:  
NOVEMBER 6, 2020  
JANUARY 18, 2021  
FEBRUARY 15, 2021

DATE:  
AUGUST 20, 2020

SCALE:  
1" = 30'-0"

SHEET TITLE:  
LANDSCAPE PLAN:  
SITE 2

SHEET NUMBER:  
L 1.20





ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLES ROOF
	STANDING SEAM METAL ROOF
	FIBER CEMENT PANEL
	FIBER CEMENT TRIM
	FIBER CEMENT HORIZONTAL SIDING
	CULTURED STONE VENEER
	STONE HEADER

**ELEVATION GENERAL NOTES**

**ROOFS**  
USE ICE AND WATER SHIELD AT ALL ROOF PLANES  
SLUPOED BELOW 4:12.

**PAINT**  
PAINT ALL ROOF PENETRATIONS TO MATCH  
SHINGLE COLOR.

**ROOF VENTILATION**  
SEE ROOF PLAN FOR ATTIC VENTILATION  
CALCULATION REQUIREMENTS.

**1 BUILDING 1100 (TYPE 1) - SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



**2 BUILDING 1100 (TYPE 1) - EAST ELEVATION**  
Scale: 1/8" = 1'-0"



**3 BUILDING 1100 (TYPE 1) - WEST ELEVATION**  
Scale: 1/8" = 1'-0"



**4 BUILDING 1100 (TYPE 1) - NORTH ELEVATION**  
Scale: 1/8" = 1'-0"

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8711 SIX FORKS ROAD, SUITE 100  
RALEIGH, NC 27609  
website: www.planwork.com

Hudson 5401 Phase II  
Hudson Capital Acquisitions, LLC  
Raleigh, NC

PROJECT NO:	002420
DRAWN BY:	T. HIGGINS
CHECKED BY:	J. K.
SHEET TITLE:	Building Type 1 - Exterior Elevations
SHEET NUMBER:	A1.15



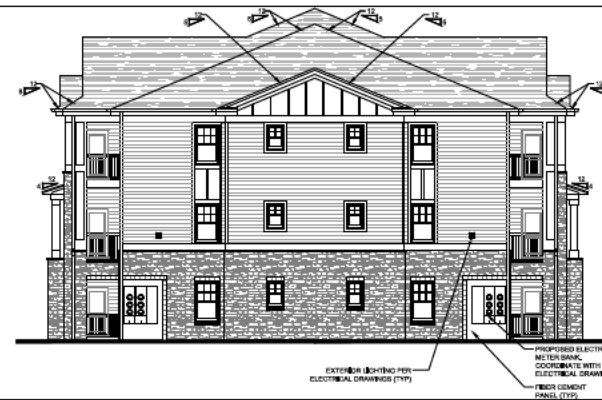
1 BUILDING 1200 (TYPE 1) - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



2 BUILDING 1200 (TYPE 1) - WEST ELEVATION

Scale: 1/8" = 1'-0"



3 BUILDING 1200 (TYPE 1) - EAST ELEVATION

Scale: 1/8" = 1'-0"



4 BUILDING 1200 (TYPE 1) - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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PLANWORK  
ARCHITECTURE

8711 18<sup>TH</sup> FORKS ROAD, SUITE 100  
RALEIGH NC 27609

website: www.planwork.com



ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLE ROOF
	STANDING SEAM METAL ROOF
	FIBER CEMENT SIDING
	FIBER CEMENT VERTICAL SIDING PANELS w/ FIBER CEMENT BATTENS
	CULTURED STONE VENEER
	STONE HEADER

ELEVATION GENERAL NOTES	
<b>ROOFS</b>	
	FLASHING AND WATER SHIELD AT ALL ROOF PLUMBERS SLOPED BELOW 4:12.
	FLASHING ALL ROOF PENETRATIONS TO MATCH SHINGLE COLOR.
	<b>ROOF VENTILATION</b>
	SEE ROOF PLANS FOR ATTIC VENTILATION ON CLIMATIC REQUIREMENTS.

#### 1 BUILDING 1500 (TYPE 1) - WEST ELEVATION

Scale: 1/8" = 1'-0"



#### 2 BUILDING 1500 (TYPE 1) - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



#### 3 BUILDING 1500 (TYPE 1) - NORTH ELEVATION

Scale: 1/8" = 1'-0"



#### 4 BUILDING 1500 (TYPE 1) - EAST ELEVATION

Scale: 1/8" = 1'-0"

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**PLANWORK  
ARCHITECTURE**

8715 S.E. FORK ROAD, SUITE 100  
RALEIGH, NC 27609

website: www.planwork.com



Hudson 5401 Phase II  
Hudson Capital Acquisitions, LLC  
Raleigh, NC

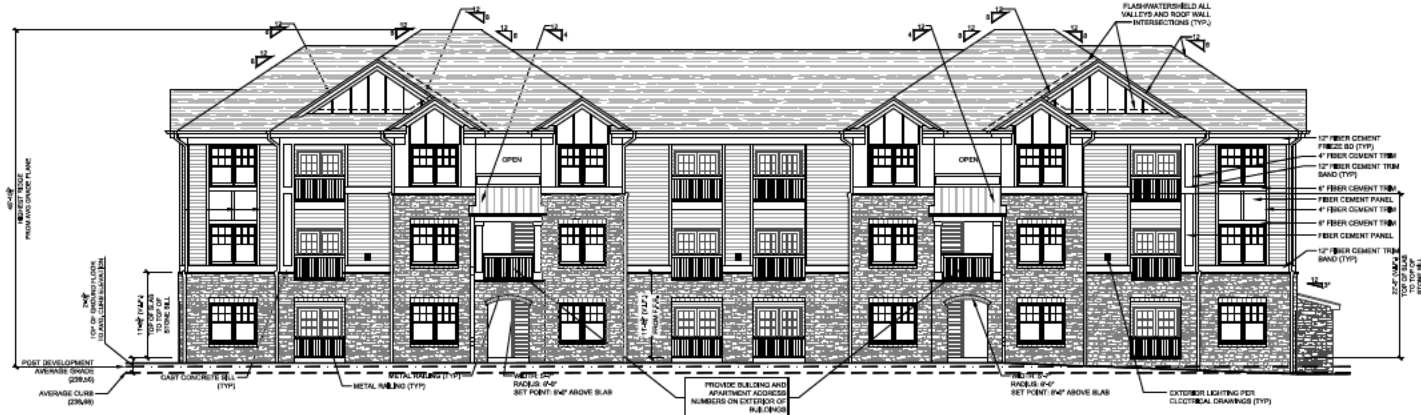
PROJECT NO: 002420

DRAWN BY: T. HUBBARD

CHECKED BY: JK

SHEET TITLE: Building Type 1 - Exterior Elevations

SHEET NUMBER: A1.15.2



# 1 BUILDING 1600 (TYPE 1) - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



# 2 BUILDING 1600 (TYPE 1) - EAST ELEVATION

Scale: 1/8" = 1'-0"



# 3 BUILDING 1600 (TYPE 1) - WEST ELEVATION

Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLE ROOF
	STANDING SEAM METAL ROOF
	FIBER CEMENT SIDING
	FIBER CEMENT VERTICAL SIDING
	CULTURED STONE VENEER
	STONE HEADER

ELEVATION GENERAL NOTES	
<b>ROOFS</b>	
USE ICE AND WATER SHIELD AT ALL ROOF PLACES SLOPED BELOW 4:12.	
PAINT ALL ROOF PENETRATIONS TO MATCH SHINGLE COLOR	
<b>ROOF VENTILATION</b>	
SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATION REQUIREMENTS.	



# 4 BUILDING 1600 (TYPE 1) - NORTH ELEVATION

Scale: 1/8" = 1'-0"

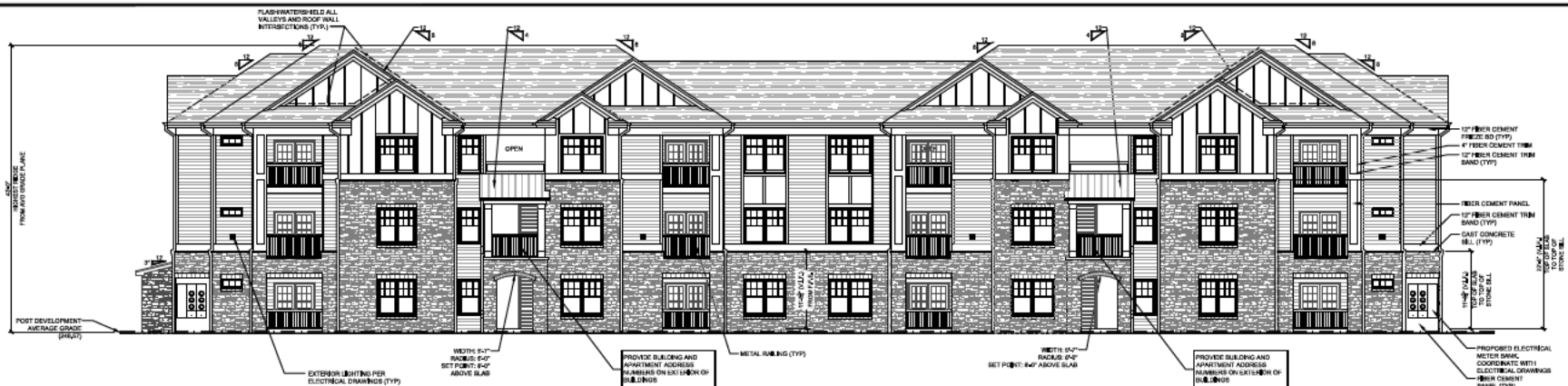


**PLANWORX**  
ARCHITECTURE  
8711 SIX FORKS ROAD, SUITE 100  
RALEIGH, NC 27609  
website: www.planworx.com

Hudson 5401 Phase II  
Hudson Capital Acquisitions, LLC  
Raleigh, NC

PROJECT NO:	002420
DRAWN BY:	T. HIGGINS
CHECKED BY:	J. K.
SHEET TITLE:	Building Type 1 - Exterior Elevations
SHEET NUMBER:	A1.15.3

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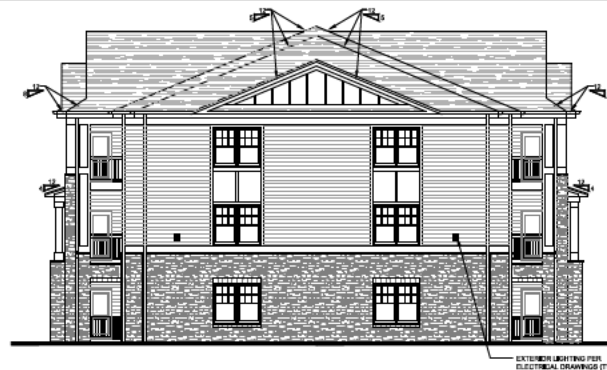
1 BUILDING 1400 (TYPE 2) - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



2 BUILDING 1400 (TYPE 2) - WEST ELEVATION

Scale: 1/8" = 1'-0"



3 BUILDING 1400 (TYPE 2) - EAST ELEVATION

Scale: 1/8" = 1'-0"



4 BUILDING 1400 (TYPE 2) - NORTH ELEVATION

Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLE ROOF
	STANDING SEAM METAL ROOF
	FIBER CEMENT SIDING
	FIBER CEMENT VERTICAL SIDING
	CULTURED STONE VENEER
	STONE HEADER

ELEVATION GENERAL NOTES	
ROOFS	FLASHING AND WATER-SHIELD AT ALL ROOF PLANS SLOPED BELOW 4:12.
PAINT	PAINT ALL ROOF PENETRATIONS TO MATCH EXISTING COLOR.
ROOF VENTILATION	SEE ROOF PLANS FOR ATTIC VENTILATION OR GLASS IN REQUIREMENTS.



**PLANWORX**  
ARCHITECTURE  
8711 SIX FORKS ROAD, SUITE 100  
RALEIGH, NC 27609  
website: www.planworx.com

Hudson 5401 Phase II  
Hudson Capital Acquisitions, LLC  
Raleigh, NC

PROJECT NO:	002420
DRAWN BY:	T. HUBB
CHECKED BY:	JK
SHEET TITLE:	Building Type 2 - Exterior Elevations
SHEET NUMBER:	A1.25

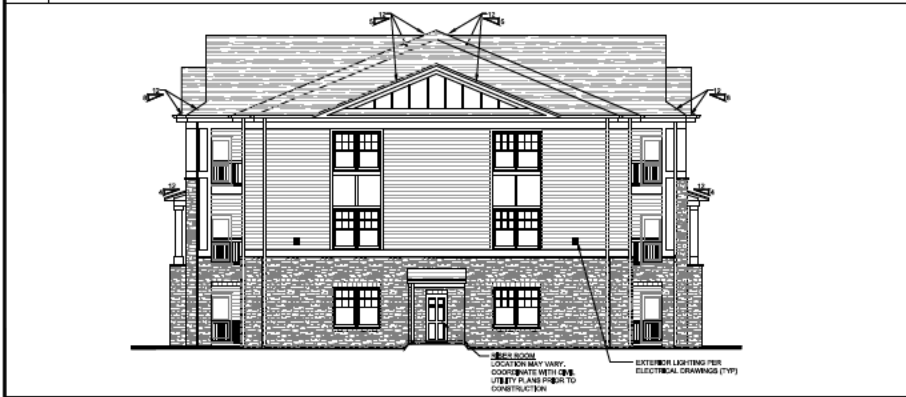
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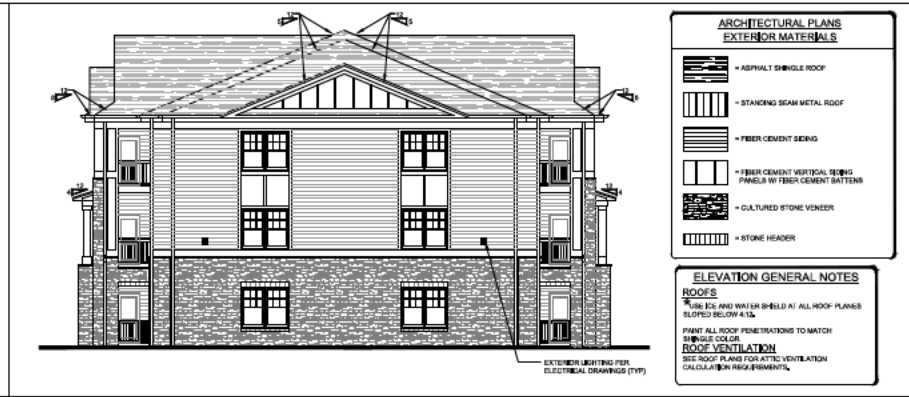
#### 1 BUILDING 1700 (TYPE 2) - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



#### 2 BUILDING 1700 (TYPE 2) - WEST ELEVATION

Scale: 1/8" = 1'-0"



#### 3 BUILDING 1700 (TYPE 2) - EAST ELEVATION

Scale: 1/8" = 1'-0"



#### 4 BUILDING 1700 (TYPE 2) - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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Hudson 5401 Phase II

Hudson Capital Acquisitions, LLC

Raleigh, NC

PROJECT NO:	002420
DRAWN BY:	T. HUB
CHECKED BY:	J.K.
SHEET TITLE:	Building Type 2 - Exterior Elevations
SHEET NUMBER:	A1.25.1

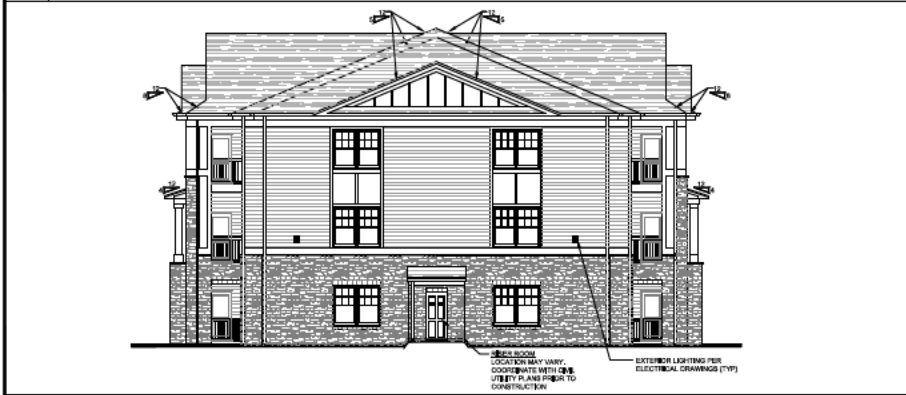
PROGRESS DATE: 01/13/2021  
ISSUE DATE: 01/13/2021  
REVISIONS: 1. 01/13/2021 T. HUB  
2. 01/13/2021 J.K.

PROJECT NO: 002420  
DRAWN BY: T. HUB  
CHECKED BY: J.K.  
SHEET TITLE: Building Type 2 - Exterior Elevations  
SHEET NUMBER: A1.25.1



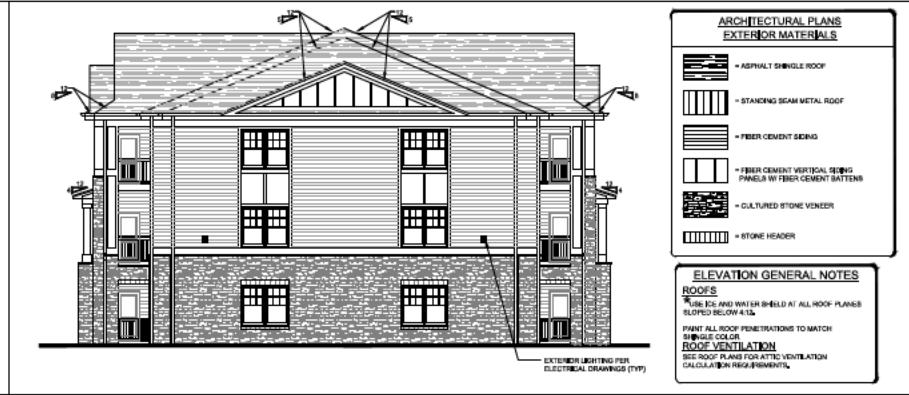
#### 1 BUILDING 2000 (TYPE 2) - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



#### 2 BUILDING 2000 (TYPE 2) - WEST ELEVATION

Scale: 1/8" = 1'-0"



#### 3 BUILDING 2000 (TYPE 2) - EAST ELEVATION

Scale: 1/8" = 1'-0"



#### 4 BUILDING 2000 (TYPE 2) - NORTH ELEVATION

Scale: 1/8" = 1'-0"

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PROJECT NO:	002420
DRAWN BY:	T. H.
CHECKED BY:	J.K.
SHEET TITLE:	Building Type 2 - Exterior Elevations
SHEET NUMBER:	A1.25.2

PROGRESS DATE: 01/13/2021  
ISSUE DATE: 01/13/2021  
REVISIONS: 1.00

PROJECT NO: 002420  
DRAWN BY: T. H.  
CHECKED BY: J.K.  
SHEET TITLE: Building Type 2 - Exterior Elevations  
SHEET NUMBER: A1.25.2





# 1 BUILDING 1800 (TYPE 3) - WEST ELEVATION

Scale: 1/8" = 1'-0"



# 2 BUILDING 1800 (TYPE 3) - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



# 3 BUILDING 1800 (TYPE 3) - NORTH ELEVATION

Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLE ROOF
	STANDING SEAM METAL ROOF
	FIBER CEMENT SIDING
	FIBER CEMENT VERTICAL SIDING PANELS BY FIBER CEMENT BATTENS
	CULTURED STONE VENEER
	STONE HEADER

ELEVATION GENERAL NOTES	
ROOFS	USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.
PAINT	PAINT ALL ROOF PENETRATIONS TO MATCH SHINGLE COLOR.
ROOF VENTILATION	SEE ROOF PLAN FOR ATTIC VENTILATION CALCULATION REQUIREMENTS.



# 4 BUILDING 1800 (TYPE 3) - EAST ELEVATION

Scale: 1/8" = 1'-0"



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Raleigh, NC

PROJECT NO:	002420
DRAWN BY:	T. H.
CHECKED BY:	J.K.
SHEET TITLE:	Building Type 3 - Exterior Elevations
SHEET NUMBER:	

PROJECT NO: 002420  
DRAWN BY: T. H.  
CHECKED BY: J.K.  
SHEET TITLE: Building Type 3 - Exterior Elevations  
SHEET NUMBER:

A1.35.1

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#### 1 BUILDING 1900 (TYPE 3) - WEST ELEVATION

Scale: 1/8" = 1'-0"



#### 2 BUILDING 1900 (TYPE 3) - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



#### 3 BUILDING 1900 (TYPE 3) - NORTH ELEVATION

Scale: 1/8" = 1'-0"



#### 4 BUILDING 1900 (TYPE 3) - EAST ELEVATION

Scale: 1/8" = 1'-0"

#### ARCHITECTURAL PLANS

##### EXTERIOR MATERIALS

- ASPHALT SHINGLE ROOF
- STANDING SEAM METAL ROOF
- FIBER CEMENT SIDING
- FIBER CEMENT VERTICAL SIDING PANELS BY FIBER CEMENT BATTENS
- CULTURED STONE VENEER
- STONE HEADER

##### ELEVATION GENERAL NOTES

- ROOFS**  
USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.
- PAINT**  
PAINT ALL ROOF PENETRATIONS TO MATCH SHINGLE COLOR.
- ROOF VENTILATION**  
SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATION REQUIREMENTS.



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Raleigh, NC

PROJECT NO:	002420
DRAWN BY:	T. HUBB
CHECKED BY:	JK
SHEET TITLE:	Building Type 3 - Exterior Elevations
SHEET NUMBER:	A1.35.2

PROJECT NO: 002420

DRAWN BY: T. HUBB

CHECKED BY: JK

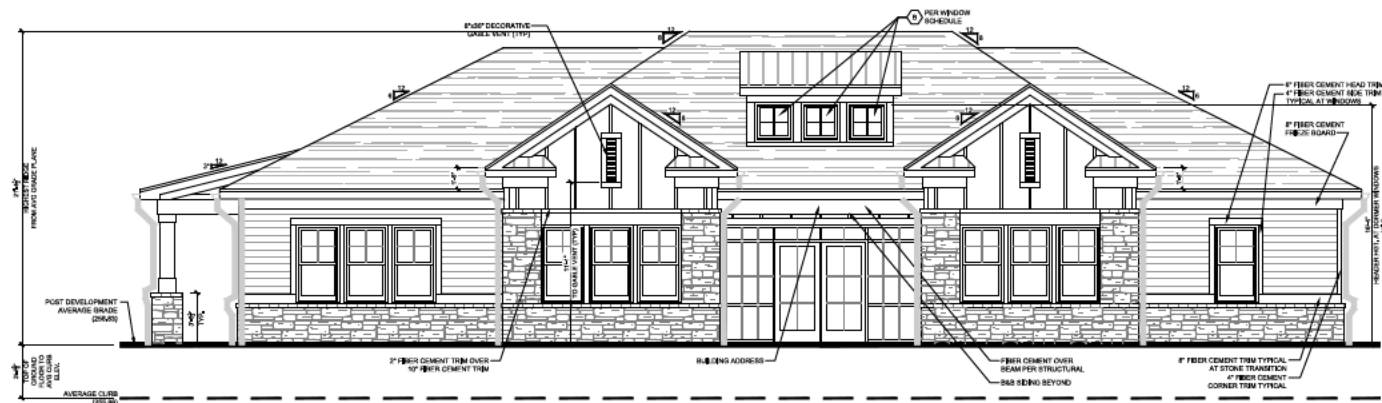
SHEET TITLE: Building Type 3 - Exterior Elevations

SHEET NUMBER: A1.35.2

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ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	• ASPHALT SHINGLE ROOF
	• STANDING SEAM METAL ROOF
	• FIBER CEMENT SIDING
	• FIBER CEMENT VERTICAL SIDING PANELS W/ FIBER CEMENT BATTENS
	• CULTURED STONE VENEER
	• STONE HEADER

ELEVATION GENERAL NOTES	
<b>ROOFS</b>	
• USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.	
• PAINT ALL ROOF PENETRATIONS TO MATCH SHINGLE COLOR.	
<b>ROOF VENTILATION</b>	
• SEE ROOF PLAN FOR ATTIC VENTILATION CALCULATION REQUIREMENTS.	

1 SOUTH ELEVATION - CLUBHOUSE  
Scale: 1/4" = 1'-0"



2 WEST SIDE ELEVATION - CLUBHOUSE  
Scale: 1/4" = 1'-0"



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PROJECT NO:	002420
DRAWN BY:	T. H.
CHECKED BY:	J.K.
SHEET TITLE:	Clubhouse Elevations
SHEET NUMBER:	A2.14

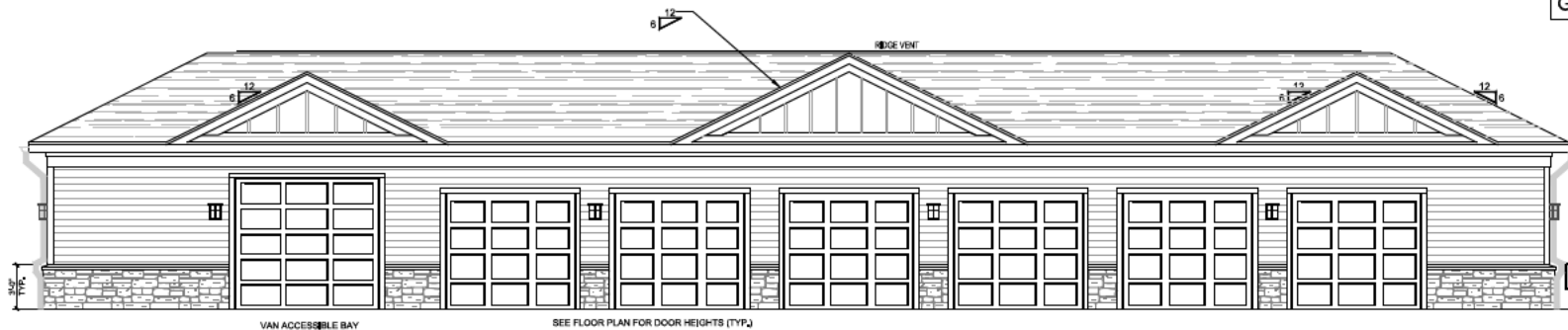
PROJECT NO: 002420  
DRAWN BY: T. H.  
CHECKED BY: J.K.  
SHEET TITLE: Clubhouse Elevations  
SHEET NUMBER: A2.14

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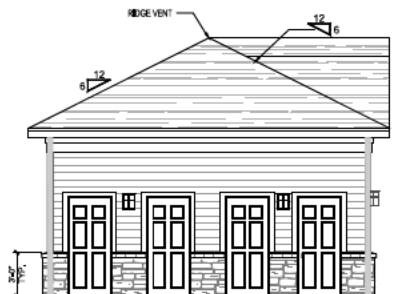




GARAGE 2

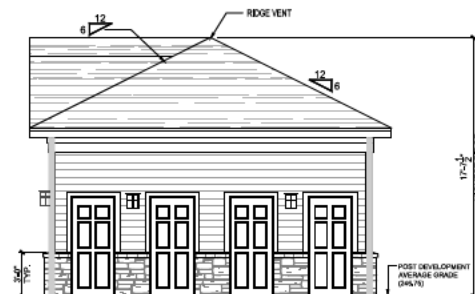
1 WEST ELEVATION - GARAGE TYPE 2 (VAN ACCESSIBLE)

Scale: 1/4" = 1'-0"



2 NORTH ELEVATION - GARAGE TYPE 2 (VAN ACCESSIBLE)

Scale: 1/4" = 1'-0"



3 SOUTH ELEVATION - GARAGE TYPE 2 (VAN ACCESSIBLE)

Scale: 1/4" = 1'-0"

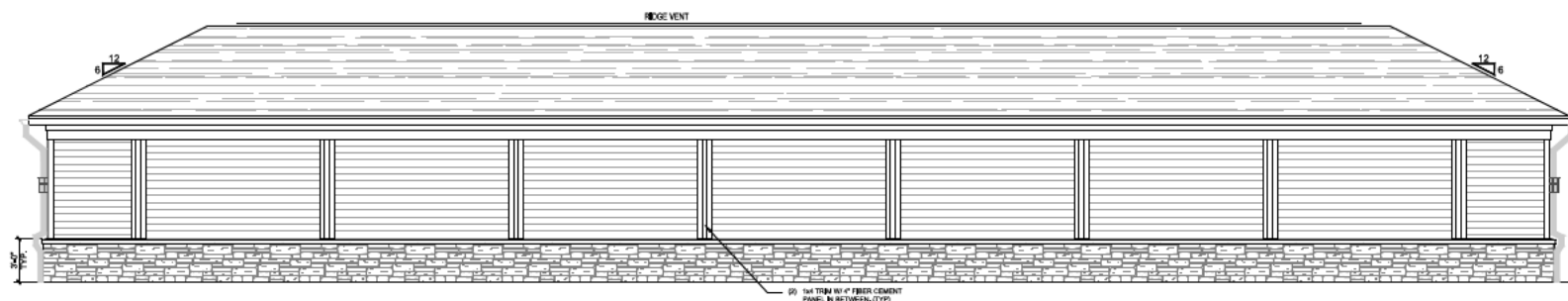
ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	~ ASPHALT SHINGLE ROOF
	~ STANDING SEAM METAL ROOF
	~ FIBER CEMENT SIDING
	~ FIBER CEMENT VERTICAL SIDING PANELS W/ FIBER CEMENT BATTENS
	~ CULTURED STONE VENEER
	~ STONE HEADER

**ELEVATION GENERAL NOTES**

ROOFS  
SHEDS AND WATER SHEDS AT ALL ROOF PLANES  
SHOULD BE DOWNTOWN.

PAINT ALL ROOF PENETRATIONS TO MATCH  
SHINGLE COLOR.

ROOF VENTILATION  
SEE ROOF PLANS FOR ATTIC VENTILATION  
CALCULATION REQUIREMENTS.



4 EAST ELEVATION - GARAGE TYPE 2 (VAN ACCESSIBLE)

Scale: 1/4" = 1'-0"

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01/12/2021

PROGRESS DATE:

ISSUE DATE:

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

PROJECT NO: 002420

DRAWN BY: T. H.

CHECKED BY: JK

SHEET TITLE:

Garage Type 2  
Elevations

SHEET NUMBER:

A4.22



**ARCHITECTURAL PLANS  
EXTERIOR MATERIALS**

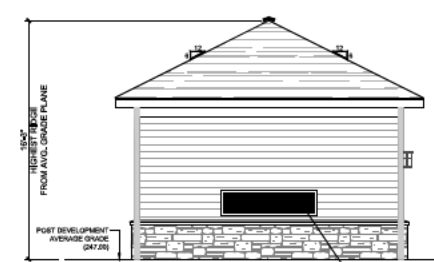
- ASPHALT SHINGLE ROOF
- STANDING SEAM METAL ROOF
- FIBER CEMENT SIDING
- FIBER CEMENT VERTICAL SIDING
- CULTURED STONE VENEER
- STONE HEADER

**ELEVATION GENERAL NOTES**

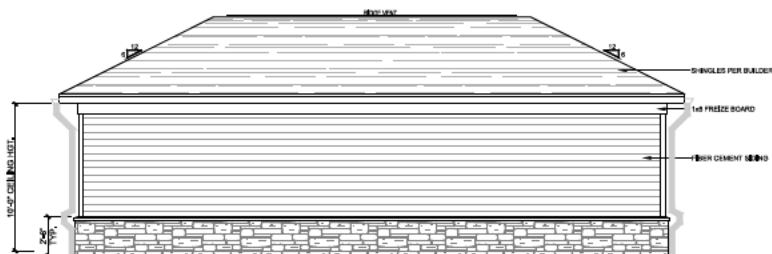
**ROOFS**  
 FLASHING AND WATER SHIELD AT ALL ROOF PLANES  
 SLOPED BELOW 1/2"  
 PAINT ALL ROOF PENETRATIONS TO MATCH  
 SHINGLE COLOR  
**ROOF VENTILATION**  
 SEE ROOF PLANS FOR ATTENTION  
 CALCULATION REQUIREMENTS



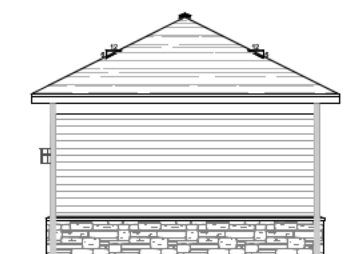
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**1 ELEVATIONS - MAINTENANCE BUILDING**  
Scale: 1/4" = 1'-0"

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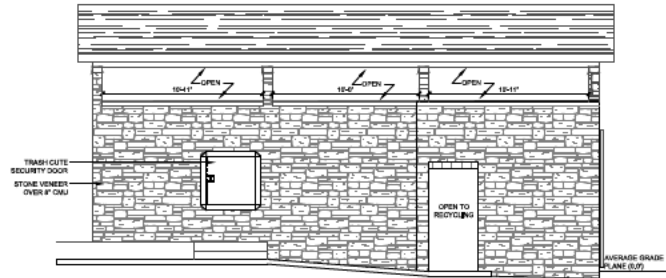
Hudson 5401 Phase II  
 Hudson Capital Acquisitions, LLC  
 Raleigh, NC

PROJECT NO:	002420
DRAWN BY:	T. Holt
CHECKED BY:	JK
SHEET TITLE:	Maintenance Building Elevations
SHEET NUMBER:	A3.11

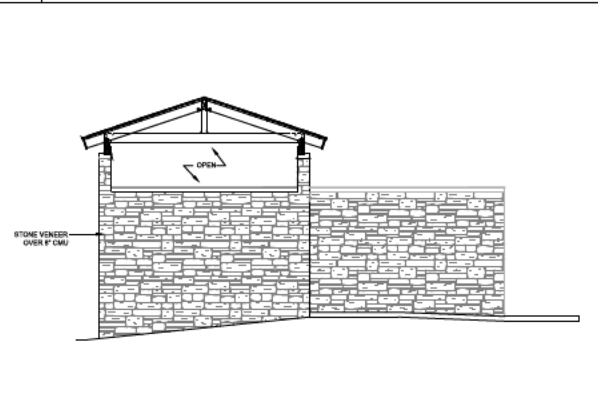




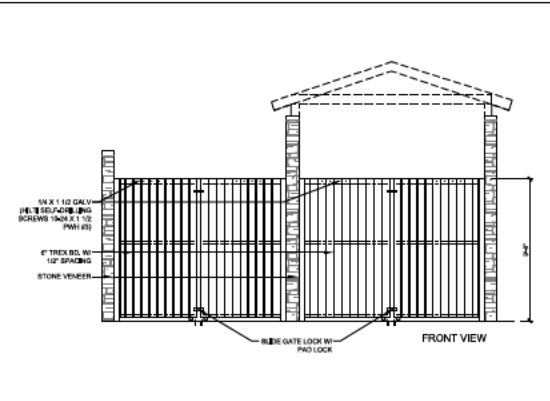




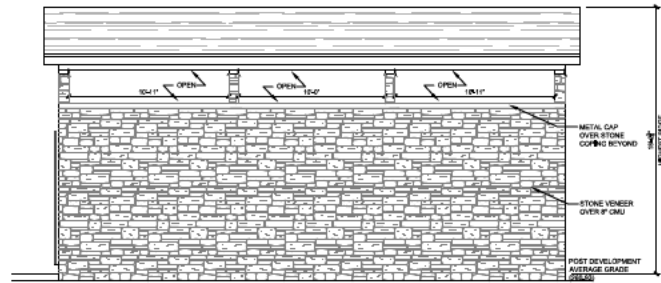
**1 NORTH ELEVATION - COMPACTOR ENCLOSURE - SITE 1**  
Scale: 1/4" = 1'-0"



**2 EAST ELEVATION - COMPACTOR ENCLOSURE - SITE 1**  
Scale: 1/4" = 1'-0"



**3 WEST ELEVATION - COMPACTOR ENCLOSURE - SITE 1**  
Scale: 1/4" = 1'-0"



**4 SOUTH ELEVATION - COMPACTOR ENCLOSURE - SITE 1**  
Scale: 1/4" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	= ASPHALT SHINGLE ROOF
	= STANDING SEAM METAL ROOF
	= FIBER CEMENT SIDING
	= FIBER CEMENT VERTICAL SIDING
	= CULTURED STONE VENEER
	= STONE HEADER

ELEVATION GENERAL NOTES	
<b>ROOFS</b>	
*USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.	
PAINT ALL ROOF PENETRATIONS TO MATCH SHINGLE COLOR	
<b>ROOF VENTILATION</b>	
SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATION REQUIREMENTS.	

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Hudson Capital Acquisitions, LLC  
Raleigh, NC

PROJECT NO:	002420
DRAWN BY:	T. H.
CHECKED BY:	J.K.
SHEET TITLE:	Trash Enclosure Plan & Elevations
SHEET NUMBER:	A6.10

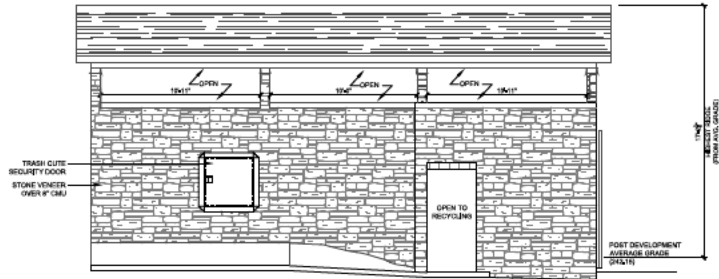


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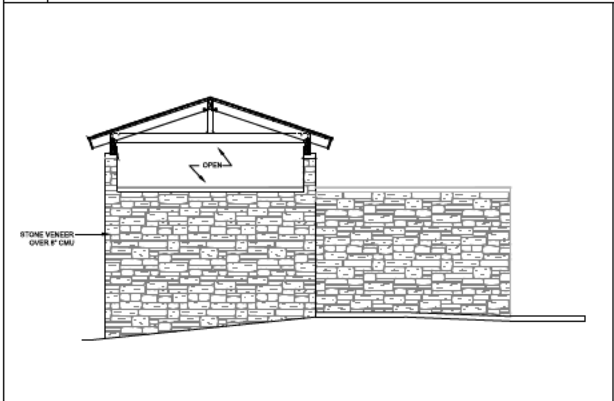
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RALEIGH NC 27609  
web site: www.planworx.com



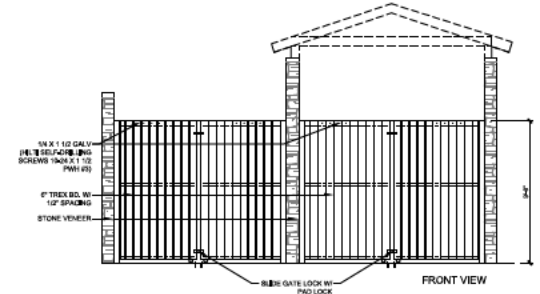
Hudson 5401 Phase II  
Hudson Capital Acquisitions, LLC  
Raleigh, NC



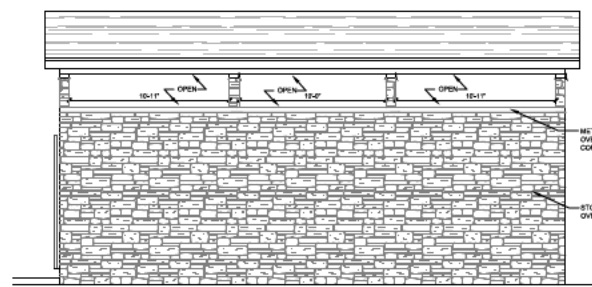
1 SOUTH ELEVATION - COMPACTOR ENCLOSURE - SITE 2  
Scale: 1/4" = 1'-0"



2 WEST ELEVATION - COMPACTOR ENCLOSURE - SITE 2  
Scale: 1/4" = 1'-0"



3 EAST ELEVATION - COMPACTOR ENCLOSURE - SITE 2  
Scale: 1/4" = 1'-0"



4 NORTH ELEVATION - COMPACTOR ENCLOSURE - SITE 2  
Scale: 1/4" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLE ROOF
	STANDING SEAM METAL ROOF
	FIBER CEMENT SIDING
	FIBER CEMENT VERTICAL SIDING PANELS W/ FIBER CEMENT BATTENS
	CULTURED STONE VENEER
	STONE HEADER

ELEVATION GENERAL NOTES	
<b>ROOFS</b>	
FLASH AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12.	
PAINT ALL ROOF PENETRATIONS TO MATCH SHINGLE COLOR.	
<b>ROOF VENTILATION</b>	
SEE ROOF PLANS FOR ATTENTION CALCULATION REQUIREMENTS.	

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PROJECT NO:	002420
DRAWN BY:	T. FINE
CHECKED BY:	JK
SHEET TITLE:	Trash Enclosure Plan & Elevations
SHEET NUMBER:	A6.10.1