



Administrative Approval Action

Case File / Name: ASR-0070-2022

DSLCL - CONCRETE TECHNOLOGY SERVICES (CTS) WESTGATE

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This vacant 4.71 acre site is located north of Westgate Rd, south of I-540 E, and specifically located at 8840 Westgate Park Dr. The parcel is zoned IX-3-PK, is located in the Special Highway Overlay District (SHOD-2) and Airport Overlay District (AOD), and identified as Lot 7 on the Westgate Business Park - Phase Three Plat, recorded in Book of Maps 2005, Page 1280.
- REQUEST:** This project proposes a 10,000 SF one-story building along with associated infrastructure and landscaping for warehouse and office uses. There will be 23 onsite parking spaces with 19 spaces located between the building and Westgate Park Dr and 10 spaces located to the side and rear of the building.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 15, 2023 by Site Collaborative.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan shall be approved (UDO 9.2). No buffer impact is shown, no BMP shown, exempt from detention, TN offset buydown only.
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry



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5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | Right of Way Deed of Easement Required |
| <input checked="" type="checkbox"/> | Slope Easement Deed of Easement Required |

| | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Utility Placement Deed of Easement Required |
|-------------------------------------|--|

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

Engineering

2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .53 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A fee-in-lieu for a 12' multiuse path shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

3. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along Westgate Park Drive.
5. A public infrastructure surety for the 6 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General



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1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 23, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 03/22/2023
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin

CTS WESTGATE

8840 Westgate Park Drive

ADMINISTRATIVE SITE REVIEW

CITY OF RALEIGH TRANSACTION # ASR-0070-2022



VICINITY MAP



SOLID WASTE SERVICES:

1. SOLID WASTE ON SITE TO UTILIZE PRIVATE SERVICE.
2. ALL ON-SITE AMENITIES RELATED TO GARBAGE DISPOSAL INCLUDING - BUT NOT LIMITED TO - DUMPSTER ENCLOSURE, PAVEMENT, AND CURB RADI SHALL COMPLY WITH THE CITY'S SOLID WASTE DESIGN MANUAL.

STORMWATER

1. PROPOSED DEVELOPMENT IS LOCATED ADJACENT TO FEMA FLOODPLAIN. THE SITE AREA IS LESS THAN 1% OF THE OVERALL DRAINAGE AREA AND THEREFORE NO CONTRIBUTION TO THE PEAK FLOW OF THE FEMA-MAPPED STREAM AND SITE EXEMPT FROM ACTIVE STORMWATER CONTROLS IN ACCORDANCE WITH UDO 9.2.2.2.e. NITROGEN EXPORT WILL BE ADDRESSED BY BUFDOWN.

LIGHTING PLAN

1. PARKING LOT LIGHTING PROVIDED BY DUKE LIGHTING.

TREE CONSERVATION

1. PRIMARY TREE CONSERVATION AREA - PARKWAY PER SEC. 9.1.4.A.
2. PER UDO 9.1.4.E.2. PORTIONS OF THE PROTECTIVE YARD CANNOT BE ESTABLISHED AS TREE CONSERVATION AREA ALONG PARKWAY FRONTAGE.
3. PER UDO 9.1.4.C. PORTIONS OF THE TCA EXCLUDED 10' SLOPE EASEMENT ON FRONTAGE OF SITE.
4. PRIMARY TREE CONSERVATION AREAS - ZONE 2 RIPARIAN BUFFER AREA PER SEC. 9.1.4.B.
5. SECONDARY TREE CONSERVATION AREA.

EXEMPTIONS

- PER SEC. 7.1.2, SHORT TERM AND/OR LONG TERM BICYCLE PARKING IS NOT REQUIRED.
- CROSS ACCESS NOT FEASIBLE PER SEC. 9.3.5.B. STEEP SLOPES IN EXCESS OF 30% WITHIN 10 FEET OF THE PROPERTY LINE. EXISTING DRAINAGE EASEMENT ALSO ALONG PROPERTY LINE.
- CROSS ACCESS NOT FEASIBLE PER SEC. 9.3.5.B. PREVIOUSLY ESTABLISHED TREE CONSERVATION AREA (PARKWAY).
- PER THE TABLE IN SEC. 9.3.2.2.B. - THIS SITE IS UNDER 9 ACRES IN SIZE AND IS ZONED IX THEREFORE IT IS EXEMPT FROM BLOCK PERMITTER.

Right-of-Way Obstruction Notes:

- Lane and Sidewalk closures or detours: Prior to any lane or sidewalk obstruction, the contractor or engineer shall submit a traffic control and/or pedestrian plan along with a Right-of-Way Services Application to request the obstruction prior to the start of work. rightofwayservices@raleighnc.gov for approval.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's jurisdiction.
- All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT "Standard Specification for Roadway Structures", NCDOT "Roadway Standard Drawing Manual", and the NCDOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- All permits must be available and visible on site during the operation.



3 January 2023

CTS Westgate
Raleigh, NC 27617

To whom it may concern,

GFL Environmental is a waste collector headquartered in Raleigh, NC. We verify that we have reviewed the site plan for this project provided by Site Collaborative. Based upon these plans, GFL Environmental has the ability to provide municipal solid waste and recycling services to CTS Westgate, located in Raleigh, NC.

Respect,

Jassem McMillan

Jassem McMillan
Account Manager
GFL Environmental

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case TC-14-19 and TC-11-21 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

| | | |
|------------------------------------|---|--|
| Site Plan Tier: | Tier Two Site Plan <input type="checkbox"/> | Tier Three Site Plan <input checked="" type="checkbox"/> |
| Building Type | Site Transaction History | |
| <input type="checkbox"/> Detached | <input checked="" type="checkbox"/> General | Subdivision case #: _____ |
| <input type="checkbox"/> Attached | <input type="checkbox"/> Mixed use | Scoping/sketch plan case #: _____ |
| <input type="checkbox"/> Apartment | <input type="checkbox"/> Open lot | Certificate of Appropriateness #: _____ |
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Civic | Board of Adjustment #: _____ |
| | | Zoning Case #: _____ |
| | | Administrative Alternate #: _____ |

| | |
|---|---|
| GENERAL INFORMATION | |
| Development name: CONCRETE TECHNOLOGY SERVICES (CTS) WESTGATE | |
| Inside City limits? | Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> |
| Property address(es) | 8840 WESTGATE PARK DRIVE |
| Site P.L.N.(s) | 0778543452 |
| Please describe the scope of work. Include any additions, expansions, and change of use. DEMOLITION OF VACANT LOT. CONSTRUCTION OF A 1 STORY WAREHOUSE BUILDING, PARKING LOT & NECESSARY PLANTING. | |

| | |
|---|-------------------------------------|
| Current Property Owner/Developer Contact Name: WESTGATE PARK LLC | |
| NOTE: please attach purchase agreement when submitting this form. | |
| Company: WESTGATE PARK LLC | Title: OWNER + DEVELOPER |
| Address: 3466 GULFMEAD DRIVE SARASOTA, FL 32242 | |
| Phone #: | Email: |
| Applicant Name: GRAHAM SMITH | |
| Company: SITE COLLABORATIVE | Address: 821 WAKE FOREST ROAD |
| Phone # 919.805.3586 | Email: GRAHAM@SITECOLLABORATIVE.COM |

| | |
|--|---|
| DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments) | |
| SITE DATA | BUILDING DATA |
| Zoning district (if more than one, please provide the acreage of each): IX-3-PK | Existing gross floor area (not to be demolished): 0 SF |
| Gross site acreage: 4.71 AC | Existing gross floor area to be demolished: 0 SF |
| Maximum # of parking spaces: 23 | New gross floor area: 10,000 |
| # of parking spaces proposed: 23 | Total # of gross (to remain and new): 10,000 |
| Overlay District (if applicable): N/A | Proposed # of buildings: 1 |
| Existing use (UDO 6.1.4): VACANT | Proposed # of stories for each: 1 |
| Proposed use (UDO 6.1.4): LIGHT INDUSTRIAL | |

| | |
|--|---|
| STORMWATER INFORMATION | |
| Existing Impervious Surface: Acres: 0 | Proposed Impervious Surface: Acres: 0.70 Square Feet: 30,285 |
| Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | |
| If yes, please provide: RIPARIAN BUFFER | |
| Alluvial soils: _____ | |
| Flood study: _____ | |
| FEMA Map Panel #: 37183C0120E | |
| Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | Wetlands Yes <input type="checkbox"/> No <input type="checkbox"/> |

| | |
|---------------------------------|---|
| RESIDENTIAL DEVELOPMENTS | |
| Total # of dwelling units: | Total # of hotel units: |
| # of bedroom units: 1br 2br 3br | 4br or more |
| # of lots: | Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/> |

| | |
|--|----------------|
| SIGNATURE BLOCK | |
| The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance. | |
| I, GRAHAM SMITH, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application. | |
| I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity. | |
| Signature: <i>Terrance A. Gilliam</i> | Date: 08/09/22 |
| Printed Name: Terrance A. Gilliam | |

| SITE DATA SUMMARY | |
|------------------------------|---|
| PROJECT NAME | CTS WESTGATE |
| EXISTING STREET ADDRESS | 8840 WESTGATE PARK DR |
| LOT AREA (CURRENT) | 4,71 AC (205,543 SF) |
| CURRENT ZONING | IX-3-PK |
| OVERLAY DISTRICT(S) | SPECIAL HIGHWAY OVERLAY DISTRICT-2 AIRPORT OVERLAY DISTRICT |
| PARCEL NUMBER | 0778543452 |
| REAL ID NUMBER | 0314500 |
| DEED BOOK / DEED PAGE | BM 016013 / PG 00804 |
| EXISTING IMPERVIOUS | 0 SF |
| EXISTING BUILDING USE | VACANT |
| PRIMARY STREET DESIGNATION | 8840 WESTGATE PARK DR |
| PROPOSED GROSS BUILDING AREA | 10,000 SF |
| PROPOSED BUILDINGS USES | GENERAL BUILDING |
| PROPOSED IMPERVIOUS AREA | 30,285 SF |

| TCA SUMMARY TABLE | | | | |
|--------------------|---------|-------------------|---------------------------------|-----|
| SITE AREAS | | PROPOSED TCA AREA | | |
| AREA (ACRES) | AREA # | TYPE | | AC |
| 4.71 | GROSS | 1 | PRIMARY TCA-PARKWAY | 0.1 |
| 0.47 | 10% TCA | 2 | PRIMARY TCA-PARKWAY | 0.0 |
| | | 3 | PRIMARY TCA-NEUSE BUFFER ZONE 3 | 0.1 |
| | | 4 | SECONDARY TCA | 0.1 |
| | | 5 | TCA-GREENWAY | 0.1 |
| TOTAL PROPOSED TCA | | | | 0.4 |

| SHEET INDEX | |
|-------------|--------------------------|
| COV | COVER SHEET |
| L100 | TCA PLAN |
| L101 | DEMOLITION PLAN |
| L200 | HARDSCAPE PLAN |
| L201 | HARDSCAPE LEGEND & NOTES |
| L202 | SITE DETAILS |
| L203 | SITE DATA LS |
| L204 | SITE DATA LS |
| L205 | SITE DATA LS |
| L300 | GRADING PLAN |
| L400 | PLANTING PLAN |
| L401 | PLANTING DETAILS |
| 22-0408A | LIGHTING PLAN |
| C1 | UTILITY PLAN |
| C2 | STORMWATER PLAN |
| A1 | ELEVATIONS |
| A2 | FLOOR PLAN |

CONTACT INFORMATION

OWNER+ DEVELOPER
WESTGATE PARK LLC
3466 GULFMEAD DRIVE
SARASOTA, FL 32242
CONTACT:
PHONE:
EMAIL:

ARCHITECT
E.G SMITHSON INC & ASSOCIATES, INC.
1661 SOUTH WESLEYAN BLVD.
ROCK MOUNT, NC 27802
CONTACT: JIMMIE CARSON
PHONE: 252.977.3055
EMAIL: JIMMIE@SMITHSONNET.COM

LANDSCAPE ARCHITECT
SITE COLLABORATIVE, INC.
821 WAKE FOREST RD
RALEIGH, NC 27604
CONTACT: GRAHAM H. SMITH
PHONE: 919.805.3586
EMAIL: GRAHAM@SITECOLLABORATIVE.COM

ENGINEER
JOHN A. EDWARDS & COMPANY
333 WADE AVE, RALEIGH N.C.
CONTACT: JON CALLAHAN
PHONE: 919.828.4428
EMAIL: JON_CALLAHAN@JAECO.COM



STATE OF DOCUMENT
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CTS WESTGATE
CTS
8840 Westgate Park Dr., Raleigh, NC

PROJECT NUMBER
22007

ADMINISTRATIVE
SITE REVIEW
DATE: 08.10.2022
10.27.2022
01.12.2023
02.15.2023

SHEET TITLE
COVER SHEET

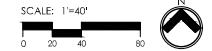
SHEET NUMBER
COV



1. THE CONTRACTOR SHALL NOTIFY THE N.C. ONE CALL CENTER AT 811 OR 1-800-455-4545 PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING PUBLIC UTILITIES DEPARTMENT PRIOR TO STARTING WORK.
3. ALL DEMOLITION AND ANY SUBSEQUENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE LOCAL GOVERNING MUNICIPALITY OR THE STATE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
4. THE CONTRACTOR SHALL NOT MAKE ANY LANE CLOSURES OR CHANGES TO THE EXISTING TRAVEL PATTERNS ON ANY PUBLIC STREET WITHOUT PRIOR APPROVAL FROM THE LOCAL GOVERNING MUNICIPALITY TRANSPORTATION DEPARTMENT AND/OR STATE TRANSPORTATION DEPARTMENT.
5. LANE CLOSURE, TRAFFIC CONTROL PLAN, OR PEDESTRIAN CONTROL PLAN TO BE COORDINATED WITH APPROPRIATE STAFF OF THE LOCAL GOVERNING MUNICIPALITY AND/OR STATE DEPARTMENT OF TRANSPORTATION PRIOR TO ANY CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING REMOVAL AND DISPOSAL OF MATERIALS AND DEBRIS.
7. CONTRACTOR SHALL REFER TO OIL SHEETS FOR SANITARY SEWERS AND WATER REMOVALS AND RELOCATIONS.
8. RELOCATION OF EXISTING UTILITIES TO BE COORDINATED WITH THE LOCAL UTILITY PROVIDERS.
9. WHERE UTILITIES TO BE REMOVED IMPACT THE FOOTPRINT OF THE NEW BUILDING, CONTRACTOR SHALL EXCAVATE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO OTHER SIDE OF PWS AND 1 FOOT BELOW TO REMOVE UNSUITABLE SOILS. IF UNSUITABLE SOILS EXIST.
10. CLEANOUTS LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION THAT ARE TO REMAIN, SHALL BE PROTECTED FROM DAMAGE AND BARRED TO FLUSH WITH NEW GRADE.
11. ELECTRICAL OR GAS UTILITY SERVICES TO BE REMOVED SHALL BE REMOVED AND RELOCATED (AS INDICATED) BY THE UTILITY PROVIDER. CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK WITH THE APPROPRIATE SERVICE PROVIDER. ALL SERVICES SHOULD BE RE-INSTALLED PRIOR TO THE INSTALLATION OF PAVEMENT, SIDEWALKS, CURB AND GUTTER, OR OTHER PERMANENT FEATURES.
12. REMOVE EXISTING CONCRETE (WHERE REQUESTED) TO FIRST COLD JOINT OR SAWCUT JOINT TO OBTAIN A CLEAN EDGE FOR NEW CONSTRUCTION. SAWCUT EXISTING ASPHALT DRIVE AT LIMITS OF NEW CURBING TO OBTAIN A CLEAN EDGE.
13. CONTRACTOR SHALL RETAIN AND STOCKPILE CONCRETE WHEELSTOPS WHICH ARE IN USABLE CONDITION FOR RE-INSTALLATION AT THE END OF THE PROJECT.
14. CONTRACTOR SHALL RESTORE THE LAYDOWN AND STAGING AREA TO ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE OWNER, PRIOR TO DEMOLITION AT THE CONCLUSION OF THE PROJECT.
15. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS PERFORMED IN ACCORDANCE WITH SPECIFICATIONS, GEOTECHNICAL REPORT, AND SITE PLAN.
16. ALL FENCING TO BE REMOVED SHALL BE REMOVED AT NEXT NEAREST POLE.
17. ALL GRAVEL TO BE REMOVED (SURFACE OR SUBSURFACE) SHALL BE STOCKPILED AND REUSED ON SITE WHERE POSSIBLE.
18. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
19. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DEPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
20. ALL TREES TO BE REMOVED SHALL BE GROUND DOWN TO A MINIMUM DEPTH OF 12" BELOW PROPOSED FINISH GRADE.
21. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING DEMOLITION AND CONSTRUCTION.

| DEMOLITION LEGEND | |
|-------------------|---|
| KEY | DESCRIPTION |
| A1 | TREE PROTECTION FENCE - SEE DETAIL |
| A2 | TREES, PLANTS, AND ALL VEGETATION TO BE REMOVED COMPLETELY. CONTRACTOR TO STOCKPILE TOP SOIL OF TOPSOIL ON SITE FOR LATER USE WITH LANDSCAPE PLANTINGS. |
| A3 | LIMITS OF DISTURBANCE AND CONSTRUCTION FENCE |
| B1 | CONCRETE PAVING AND BASE TO BE REMOVED COMPLETELY |
| B2 | CONCRETE CURB AND GUTTER TO BE REMOVED COMPLETELY |

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



REUSE OF DOCUMENT
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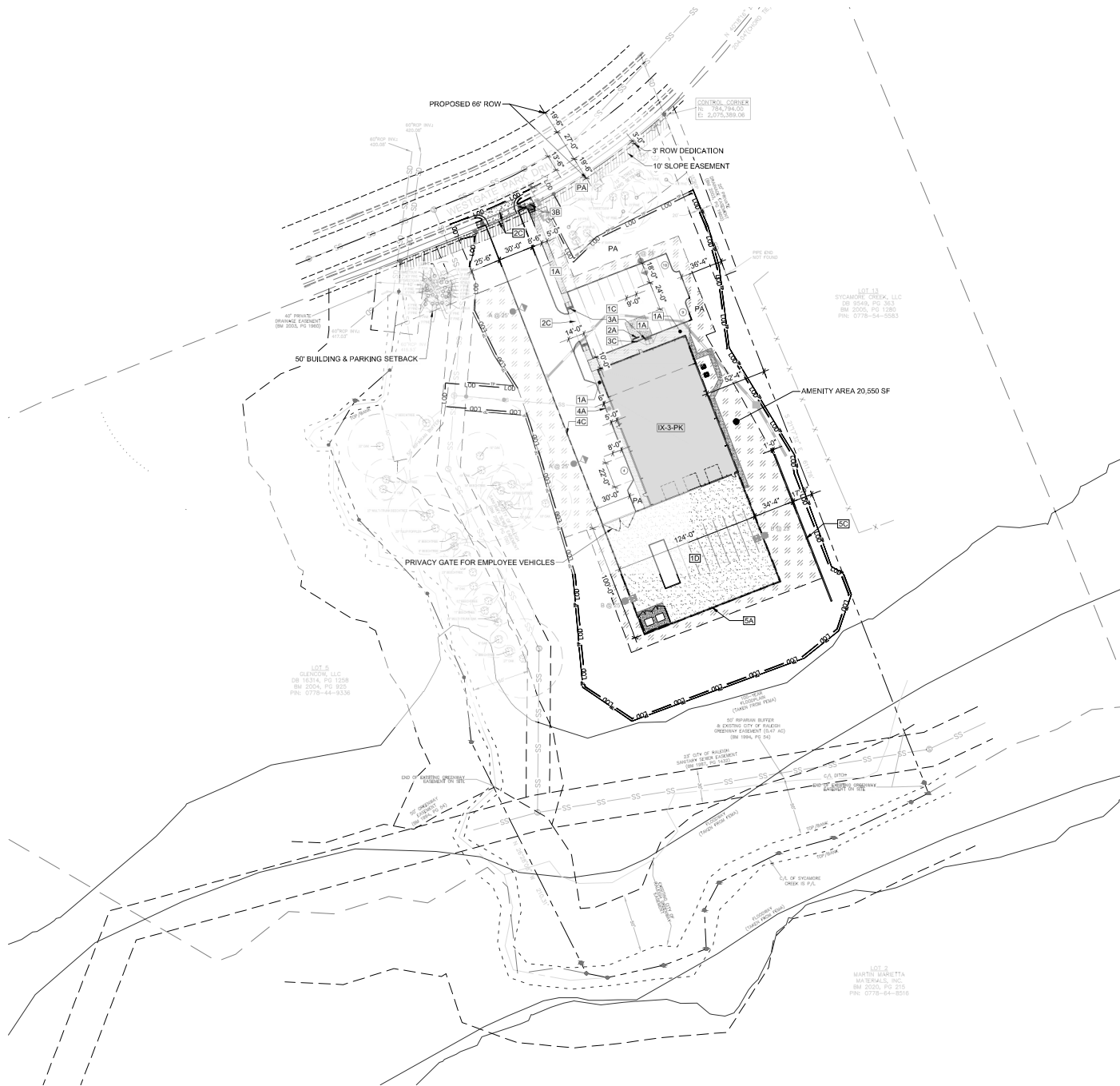
CTS WESTGATE
CTS
8840 Westgate Park Dr., Raleigh, NC

PROJECT NUMBER
22027

ADMINISTRATIVE
SITE REVIEW
DATE: 08.10.2022
10.27.2022
01.12.2023
02.15.2023

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER
L100



HARDSCAPE LEGEND

REFER TO SHEET (INSERT PAGE NUMBER) FOR FULL LEGEND

| SYMBOL | PROPOSED SITE ITEM |
|--------|---|
| | 1A C.I.P. CONCRETE PAVING, TYP. 1 |
| | 1B C.I.P. CONCRETE PAVING, TYP. 3 (CITY STANDARD) |
| | 1C ASPHALT PAVING |
| | 1D REINFORCED AGGREGATE |
| | 2A PRECAST CONCRETE WHEELSTOP |
| | 2B 4' WIDE PARKING STRIPE |
| | 2C 6' WIDE CROSSWALK |
| | 3A ACCESSIBLE CURB RAMP |
| | 3B ACCESSIBLE CURB RAMP (CITY STANDARD) |
| | 3C ACCESSIBLE PARKING SIGN |
| | 4A 8' WIDE CONCRETE CURB (LOT INTERIOR ONLY) |
| | 4B 30' WIDE CONCRETE CURB & GUTTER (R.O.W. ONLY) |
| | 4C SCALLOP CURB (LOT INTERIOR ONLY) |
| | 5A BLACK VINYL COATED CHAINLINK FENCE |
| | 5B DECORATIVE METAL RAILING |
| | 5C C.I.P. CONCRETE RETAINING WALL, TYPE 1 |

| SYMBOL | SITE FURNITURE |
|--------|---------------------|
| | F1 BICYCLE RACK |
| | F2 TRASH RECEPTACLE |
| | F3 BICYCLE RACK |

| SYMBOL | BY OTHER CONSULTANTS |
|--------|-----------------------|
| | K1 DUMPSTER ENCLOSURE |
| | K2 HVAC SCREENING |
| | K3 BUILDING OVERHANG |
| | K4 EXTERIOR STAIRS |

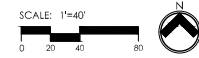
| SYMBOL | EXISTING SITE ITEM TO REMAIN |
|--------|------------------------------|
| | E1 EXISTING LIGHT POLE |
| | E2 EXISTING CONCRETE PAVING |
| | E3 EXISTING TRANSFORMER |

| SYMBOL | OTHER |
|--------|---|
| | PA PLANTING AREA |
| | LIMITS OF DISTURBANCE |
| | ACCESSIBLE ROUTE (5% MAX. SLOPE, 2% MAX. CROSS SLOPE) |

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

| VEHICLE PARKING | |
|-----------------------|-----------|
| DESCRIPTION | PROPOSED |
| STANDARD SPACES | 22 |
| ADA SPACES (STANDARD) | 1 |
| TOTAL | 23 |

| AMENITY AREA REQUIREMENTS | | | | |
|---------------------------|---------------|-------------|---------------|---------------|
| ZONING | LOT AREA (SF) | PERCENT (%) | REQUIRED (SF) | PROVIDED (SF) |
| IX-3-PK | 205,167 | 10 | 20,516 | 20,550 |



CTE SITE COLLABORATIVE
LANDSCAPE ARCHITECTURE

801 Wake Forest Road
Raleigh, NC 27604 | 919.905.5000

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CTS WESTGATE
8840 Westgate Park Dr., Raleigh, NC

PROJECT NUMBER:
22027

ADMINISTRATIVE
SITE REVIEW

DATE: 08.10.2022
10.27.2022
01.12.2023
02.15.2023

SHEET TITLE:
HARDSCAPE PLAN

SHEET NUMBER:
L200

HARDSCAPE LEGEND

| REFER TO SHEET [INSERT PAGE NUMBER] FOR FULL LEGEND | | |
|---|---|-----------|
| SYMBOL | PROPOSED SITE ITEM | DETAIL |
| | 1A C.I.P. CONCRETE PAVING, TYP. 1 | 2/L201 |
| | 1B C.I.P. CONCRETE PAVING, TYP. 3 (CITY STANDARD) | 1/LXXX |
| | 1C ASPHALT PAVING | 4/L201 |
| | 1D REINFORCED AGGREGATE | 1/LXXX |
| | 2A PRECAST CONCRETE WHEELSTOP | 8/L201 |
| | 2B 4' WIDE PARKING STRIPE | 1/LXXX |
| | 2C 6' WIDE CROSSWALK | 12/L201 |
| | 3A ACCESSIBLE CURB RAMP | 3/L201 |
| | 3B ACCESSIBLE CURB RAMP (CITY STANDARD) | 1/LXXX |
| | 3C ACCESSIBLE PARKING SIGN | 7/L201 |
| | 4A 8' WIDE CONCRETE CURB (LOT INTERIOR ONLY) | 1/L201 |
| | 4B 30' WIDE CONCRETE CURB & GUTTER (R.O.W. ONLY) | 1/LXXX |
| | 4C SCALLOPED CURB (LOT INTERIOR ONLY) | 11/L201 |
| | 5A BLACK VINYL COATED CHAINLINK FENCE | 9/L201 |
| | 5B DECORATIVE METAL RAILING | 1/LXXX |
| | 5C C.I.P. CONCRETE RETAINING WALL, TYPE 1 | 10/L201 |
| SYMBOL | SITE FURNITURE | |
| | F1 BICYCLE RACK | 1/LXXX |
| | F2 TRASH RECEPTACLE | 1/LXXX |
| | F3 BICYCLE RACK | 1/LXXX |
| SYMBOL | BY OTHER CONSULTANTS | |
| | K1 DUMPSTER ENCLOSURE | PER ARCH. |
| | K2 HVAC SCREENING | PER ARCH. |
| | K3 BUILDING OVERHANG | PER ARCH. |
| | K4 EXTERIOR STAIRS | PER ARCH. |
| SYMBOL | EXISTING SITE ITEM TO REMAIN | |
| | E1 EXISTING LIGHT POLE | |
| | E2 EXISTING CONCRETE PAVING | |
| | E3 EXISTING TRANSFORMER | |
| SYMBOL | OTHER | |
| | PA PLANTING AREA | |
| | LIMITS OF DISTURBANCE | |
| | ACCESSIBLE ROUTE (5% MAX. SLOPE, 2% MAX. CROSS SLOPE) | |

GENERAL SITE NOTES

- ALL CONSTRUCTION IN RIGHT-OF-WAY PER CITY OF RALEIGH STANDARD.
- SIDEWALKS ALONG RIGHT-OF-WAY ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION ARE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS PONDING OF WATER IS PROHIBITED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS, IF NOT SHOWN ON PLANS, MAX SPACING IS 10'.
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED, NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPS, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- BUILDING AND PUBLIC ROADWAY STAKE OUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- GUARDRAILS MUST BE INSTALLED ON THE OPEN SIDES OF ELEVATED WALKING SURFACES THAT EXCEED 30 INCHES IN HEIGHT. ALL GUARDRAILS MUST BE A MINIMUM HEIGHT OF 42 INCHES ABOVE THE LEADING EDGE OF THE TREAD OR WALKING SURFACE. GUARDRAILS SHALL HAVE BALLUSTERS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES. FROM 34 INCHES TO 42 INCHES ABOVE THE WALKING SURFACE, A 6 INCH DIAMETER SPHERE SHALL NOT PASS.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR. THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR, ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESSED WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD DATA PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON-SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE CITY OF RALEIGH. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- TRAFFIC CONTROLS FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CROSSWALK MARKINGS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH MUTCD SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY / DRIVE/LANE.
- ALL SIGNS AND PAVEMENT MARKINGS ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) AND MUTCD STANDARDS.
- ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.



827 Wesla Foster Road
Raleigh, NC 27604 |
919.807.1096

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CTS WESTGATE
CTS
8840 westgate Park Dr., Raleigh, NC

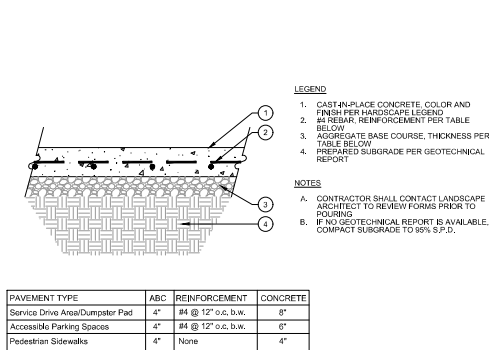
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ADMINISTRATIVE
SITE REVIEW

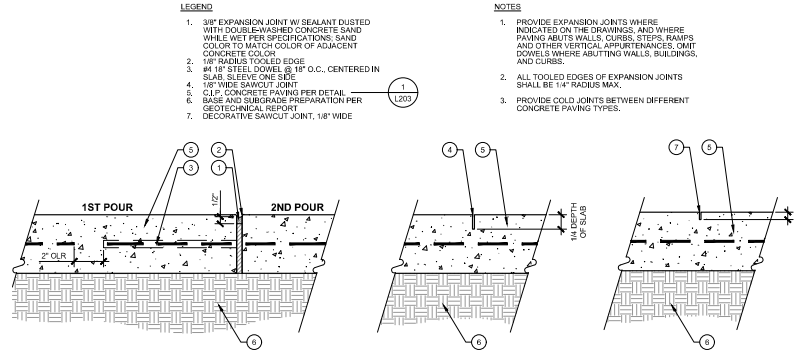
DATE: 08.10.2022
10.27.2022
01.12.2023
02.15.2023

SHEET TITLE
HARDSCAPE
LEGEND & NOTES

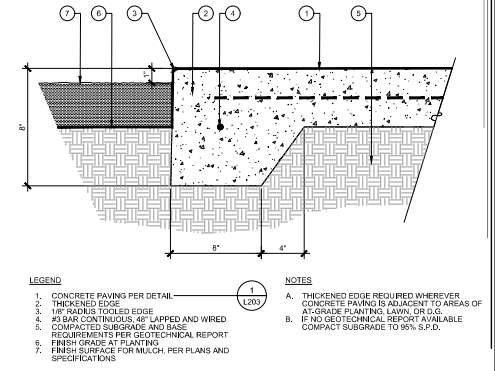
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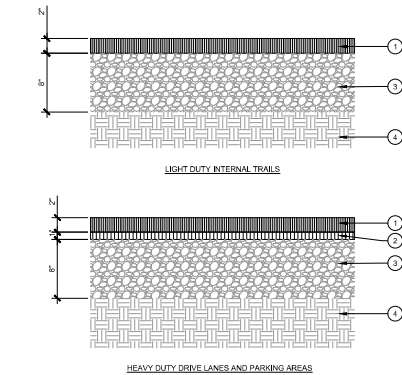
1 CONCRETE PAVING
SCALE: 1" = 1'-0"



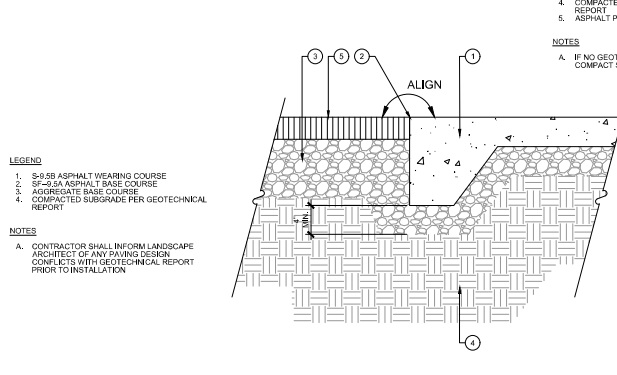
2 CONCRETE PAVING JOINTS
SCALE: 3" = 1'-0"



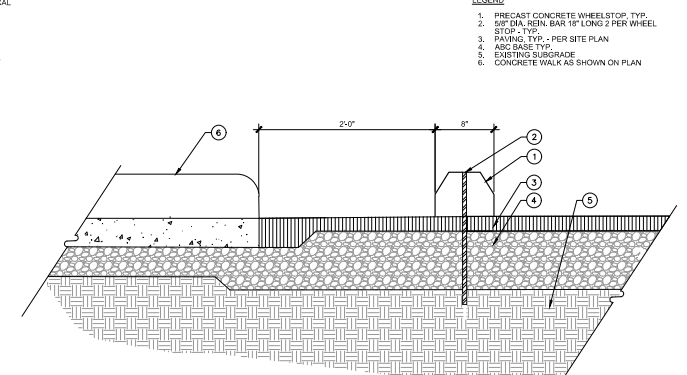
3 CONCRETE THICKENED EDGE
SCALE: 3" = 1'-0"



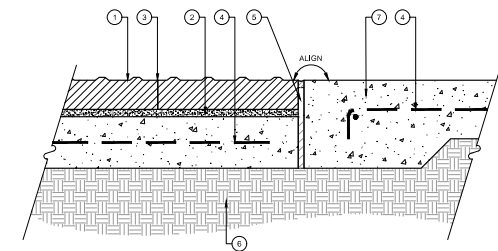
4 ASPHALT PAVING
SCALE: 1-1/2" = 1'-0"



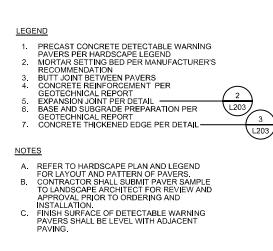
5 ASPHALT TO CONCRETE TRANSITION
SCALE: 1-1/2" = 1'-0"



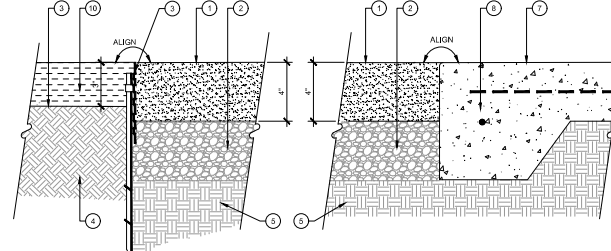
6 CONCRETE WHEELSTOP
SCALE: 1-1/2" = 1'-0"



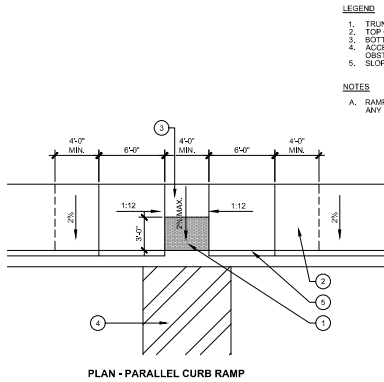
7 TRUNCATED DOME PAVERS
SCALE: 3" = 1'-0"



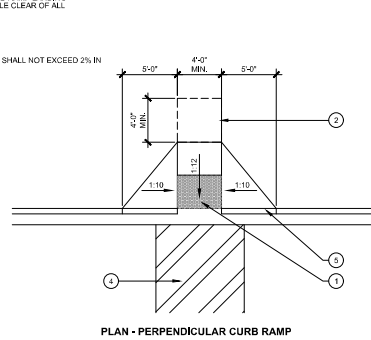
8 DECOMPOSED GRANITE PAVING
SCALE: 3" = 1'-0"



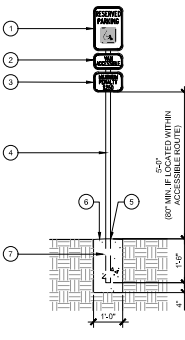
8 DECOMPOSED GRANITE PAVING
SCALE: 3" = 1'-0"



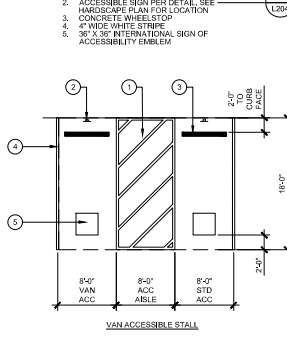
1 CURB RAMP (LOT INTERIOR)
SCALE: 3/16" = 1'-0"



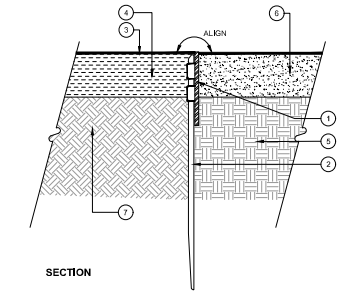
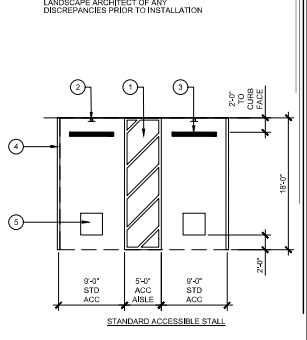
2 ACCESSIBLE PARKING SIGN
SCALE: 1/2" = 1'-0"



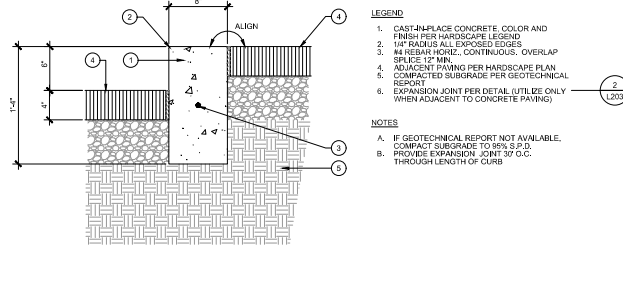
3 ACCESSIBLE PARKING STALL
SCALE: 1/2" = 1'-0"



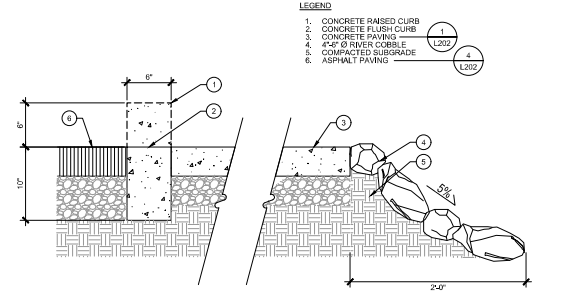
4 ACCESSIBLE PARKING STALL
SCALE: 1/2" = 1'-0"



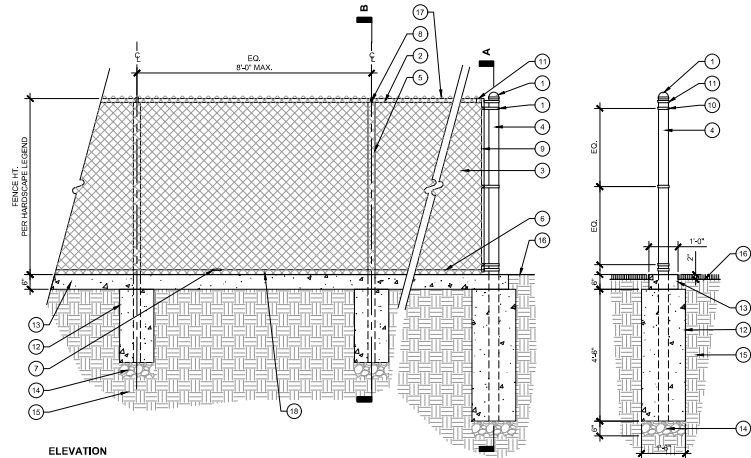
4 METAL EDGING
SCALE: 3" = 1'-0"



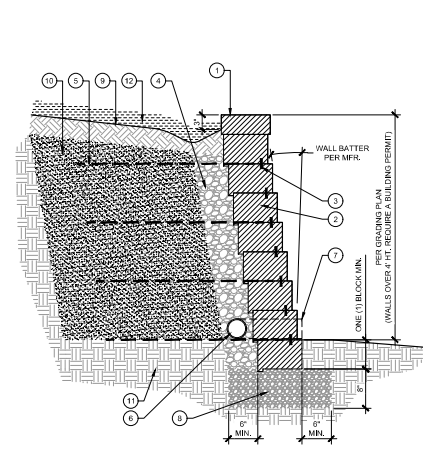
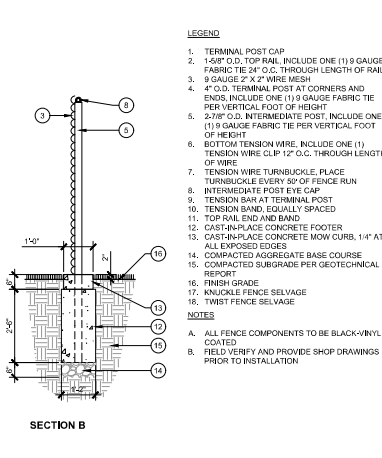
5 CAST-IN-PLACE CONCRETE CURB
SCALE: 1-1/2" = 1'-0"



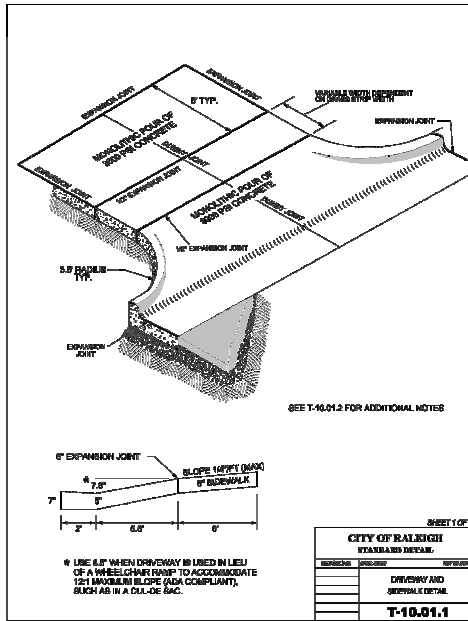
6 SCALLOPED CONCRETE CURB
SCALE: 1-1/2" = 1'-0"



7 BLACK VINYL COATED CHAINLINK FENCE
SCALE: 1/2" = 1'-0"



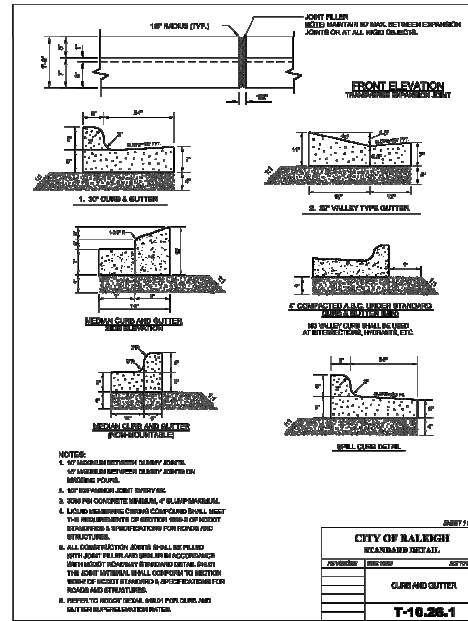
8 MODULAR BLOCK RETAINING WALL
SCALE: 1" = 1'-0"



CITY OF RALEIGH
STANDARD DETAIL

| REVISION | DATE | DESCRIPTION |
|----------|----------|------------------------------|
| 1 | 01/20/20 | DRIVEWAY AND SIDEWALK DETAIL |

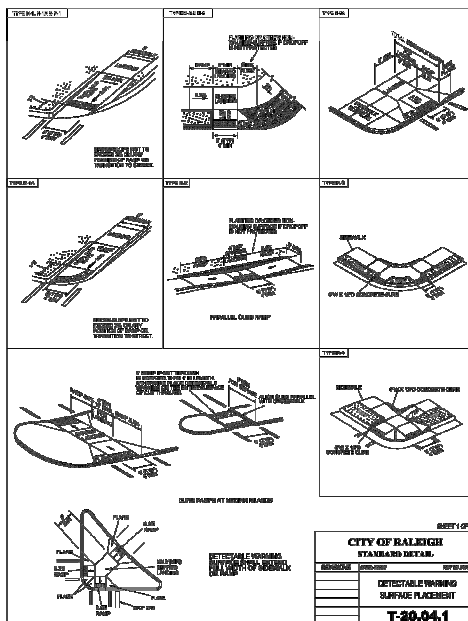
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CITY OF RALEIGH
STANDARD DETAIL

| REVISION | DATE | DESCRIPTION |
|----------|----------|-----------------|
| 1 | 01/20/20 | CURB AND GUTTER |

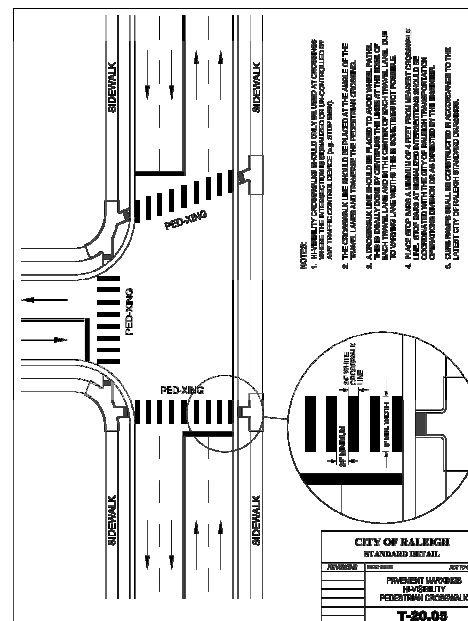
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CITY OF RALEIGH
STANDARD DETAIL

| REVISION | DATE | DESCRIPTION |
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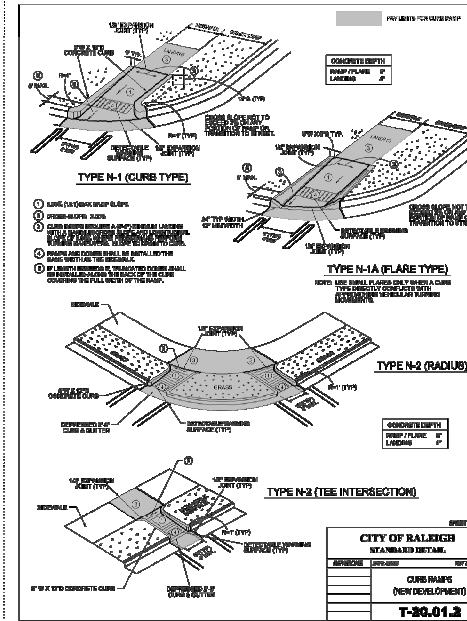
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CITY OF RALEIGH
STANDARD DETAIL

| REVISION | DATE | DESCRIPTION |
|----------|----------|------------------------------|
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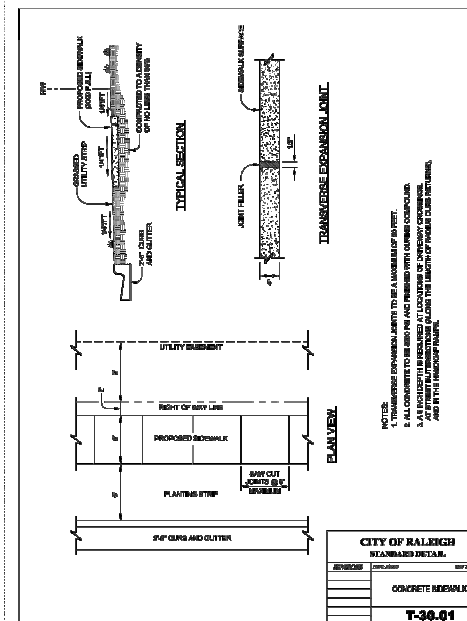
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CITY OF RALEIGH
STANDARD DETAIL

| REVISION | DATE | DESCRIPTION |
|----------|----------|------------------------------|
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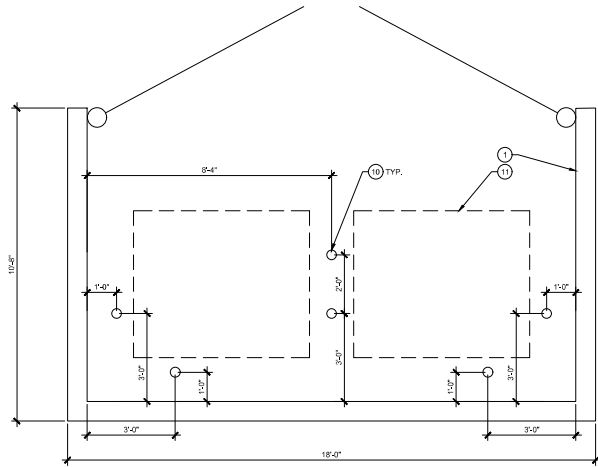
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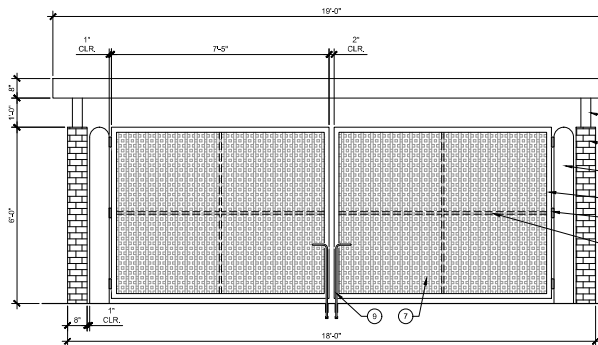
CITY OF RALEIGH
STANDARD DETAIL

| REVISION | DATE | DESCRIPTION |
|----------|----------|------------------------------|
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T-10.01.1



PLAN



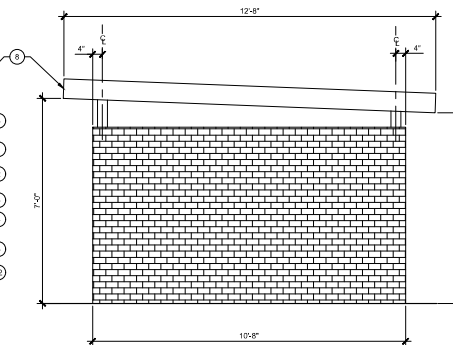
ELEVATION - FRONT

LEGEND

1. ENCLOSURE BRICK WALL COLOR & TYPE TO MATCH ARCHITECTURE
2. 8" DIA. GALVANIZED STEEL GATE POST
3. 2"x4" SQ. GALVANIZED H.S.S. POST EMBEDDED INTO WALL
4. HEAVY DUTY GALVANIZED STEEL GATE HINGES THREE (3) AT EACH GATE EQUALLY SPACED
5. 2"x2" SQ. GALVANIZED H.S.S. EXTERIOR SUPPORT GATE FRAME
6. 1"x1" SQ. GALVANIZED H.S.S. INTERIOR SUPPORT GATE FRAME
7. CORRUGATED METAL PANEL TO MATCH ARCHITECTURE
8. ENCLOSURE ROOF TO MATCH ARCHITECTURE
9. 1/2" DIA. SOLID STOCK STEEL DROP ROD BOLLARDS EMBED INTO PAVEMENT AND FILL SOLID WITH GROUT
10. 4" DIA. HOLLOW CORE GALVANIZED STEEL BOLLARDS EMBED INTO PAVEMENT AND FILL SOLID WITH GROUT
11. DUMPSTER (SHOWN FOR REFERENCE ONLY)
12. FINISH SURFACE

NOTES

- A. ALL MOUNTING HARDWARE TO BE GALVANIZED STEEL



ELEVATION - SIDE

1

DUMPSTER ENCLOSURE
SCALE: 1/2" = 1'-0"



GRADING NOTES

1. ORIGINAL EXISTING CONDITIONS SHOWN AS EXISTING IN THIS PLAN SET HAS BEEN COMPILED FROM SURVEY DATA PROVIDED BY JAMES DITENHAFFER. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE. IF ANY PERMANENT METHODS ARE REQUIRED.
5. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL.
6. INSPECTOR REFERS TO AUTHORIZED REGULATORY AGENCY SEDIMENTATION AND EROSION CONTROL INSPECTOR OR HIGHER REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR, CLIENT, AND/OR CLIENT'S REPRESENTATIVES.
7. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
8. DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER ON SLOPES THAT ARE 4:1 OR STEEPER. MULCH WILL BE ANCHORED.
9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL THE REGULATORY AUTHORITY FOR AN INSPECTION.
10. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES EVERY 7 DAYS AND AFTER EACH SIGNIFICANT RAINFALL (0.5 INCHES OR GREATER) AND DOCUMENT WITH INSPECTION REPORTS.
11. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
12. LOCATE STOCKPILES UP SLOPE FROM EROSION CONTROL MEASURES. ALL SOIL STOCK PILES SHALL HAVE APPROPRIATE EROSION CONTROL PER THE LATEST VERSION OF THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL INCLUDING SEEDING AND A T FENCE AROUND THE BASE OF THE STOCKPILE.

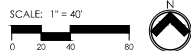
GRADING LEGEND

| KEY | DESCRIPTION |
|-----|-----------------------------------|
| FGL | FINISH GRADE (LANDSCAPE) |
| FGH | FINISH GRADE (HARDSCAPE) |
| MG | MEET EXISTING GRADE |
| HP | HIGH POINT |
| HPS | HIGH POINT OF SWALE |
| LP | LOW POINT |
| BS | BOTTOM OF STAIRS |
| TS | TOP OF STAIRS |
| BR | BOTTOM OF RAMP |
| TR | TOP OF RAMP |
| BC | BOTTOM OF CURB |
| TC | TOP OF CURB |
| BWH | BOTTOM OF WALL (HARDSCAPE) |
| BWL | BOTTOM OF WALL (LANDSCAPE) |
| TW | TOP OF WALL |
| XN | SLOPE DIRECTION - POINTS DOWNWARD |
| --- | GRADE BREAK |
| --- | ACCESSIBLE ROUTE |

| AVERAGE GRADE ANALYSIS PER CITY OF RALEIGH UDO SEC. 15.7.C.1 | | | | | | | |
|---|-----------------|-----------|-----------|----------------|-----------|-----------|--|
| ELEVATION | EXISTING GROUND | | | FINISHED GRADE | | | |
| | HIGH POINT | LOW POINT | AVG GRADE | HIGH POINT | LOW POINT | AVG GRADE | |
| *A | 432.08 | 428.80 | 430.89 | 432.90 | 432.90 | 432.90 | |
| *B | 437.10 | 432.98 | 435.04 | 432.90 | 432.90 | 432.90 | |
| *C | 437.10 | 428.80 | 432.95 | 432.90 | 432.90 | 432.90 | |
| *D | 428.80 | 426.95 | 427.88 | 432.90 | 432.90 | 432.90 | |
| AVERAGE GRADE | 431.69 | | | AVERAGE GRADE | 432.90 | | |

*SEE GRADING PLAN FOR ELEVATION LOCATION

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



871 W. Foster Road
Raleigh, NC 27604 |
919.803.3594

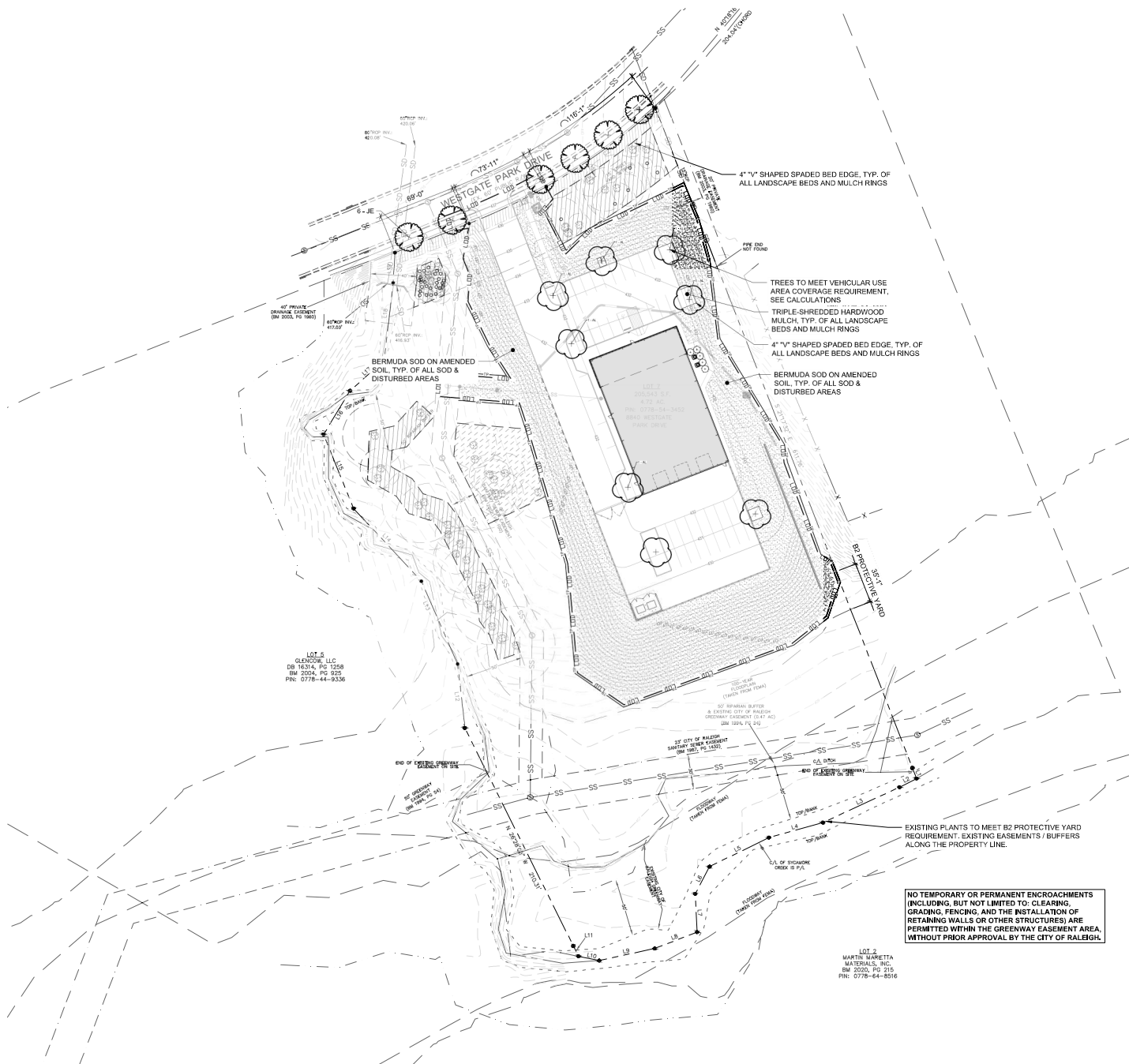
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CTS WESTGATE
CTS
8840 Westgate Park Dr., Raleigh, NC

PROJECT NUMBER
22027
ADMINISTRATIVE
SITE REVIEW
DATE: 08.10.2022
10.27.2022
01.12.2023
02.15.2023

SHEET TITLE
GRADING PLAN

SHEET NUMBER
L300



LANDSCAPE REQUIREMENTS

STREET TREES

FRONTAGE: 250'
REQUIRED: 1 SHADE TREE PER 40'
PROVIDED: 6 SHADE TREES

VEHICULAR USE AREA

REQUIRED: 1 SHADE TREE PER 2,000 SF OF PARKING AREA
PARKING LOT AREA: 11,970 SF / 2,000 = 6 SHADE TREES
PROVIDED: 6 TREES

NEIGHBORHOOD TRANSITION PROTECTIVE YARD

ADJACENT NEIGHBORS PROPERTY'S HAVE SAME USE
EXISTING EASEMENTS & OTHER EXISTING ENVIRONMENTAL CHALLENGES.

| PLANT SCHEDULE | | | | | | |
|----------------|----|----------------------------|----------------------------|-----------|--------|---------------|
| TREES | CT | SCIENTIFIC NAME | COMMON NAME | CALIPER | HEIGHT | DATE OR CONT. |
| AL | 1 | Aster multiflorus 'Lapage' | Lapage Super Mulch | 1" | 1'-2' | BBM |
| JE | 1 | Juniperus horizontalis | Eastern Horizontal | 1" | 1'-2' | BBM |
| SHRUBS | CT | SCIENTIFIC NAME | COMMON NAME | CONTAINER | HEIGHT | SPREAD |
| VC | 1 | Philadelphus 'Vanderhagen' | Philadelphus 'Vanderhagen' | 15 GAL | 4'-5' | 20' DIA. |
| TURF | CT | SCIENTIFIC NAME | COMMON NAME | CONTAINER | HEIGHT | SPREAD |
| SOD | 1 | Cynodon dactylon 'TIF419' | TIF419 Bermuda Grass | FLAT | SOD | SPREAD |

NOTES

- TREE DISTURBING ACTIVITY (UDO ARTICLE 12.2) TO TREES OR THEIR ROOTS IS NOT ALLOWED IN THE TREE PROTECTION AREA. MULCH, TO 3 INCHES MAXIMUM DEPTH, MAY BE PLACED IN THE TREE PROTECTION AREA AND THE ROOT FLARE MUST REMAIN VISIBLE. SOD IS NOT ALLOWED IN THE TREE PROTECTION AREA. OTHER WORK NOT LISTED ON THE PERMIT (PRUNING, CHEMICAL USE, ETC.) REQUIRES AN ADDITIONAL PERMIT.
- EXISTING TREES MARKED TO REMAIN THAT ARE DAMAGED OR REMOVED DUE TO CONSTRUCTION ACTIVITY SHALL BE REPLACED WITH (1) 2" CALIPER TREE, COORDINATE WITH LANDSCAPE ARCHITECT FOR SPECIES AND FINAL LOCATION. LIMITS OF DISTURBANCE TO NOT CROSS PROPERTY LINE ALONG EASTERN EDGE - L.O.D. IS SHOWN OFFSET ON PLAN FOR CLARITY OF TRANSITIONAL PROTECTIVE YARD FENCING ONLY - SEE LAYOUT AND PLANTING PLANS.
- 4" V" SHAPED SPADED BED EDGE, TYPICAL OF ALL LANDSCAPE BEDS AND MULCH RINGS.
- TRIPLE-SHREDDED HARDWOOD MULCH, TYPICAL OF ALL LANDSCAPE BEDS AND MULCH RINGS.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TTP-03.
- ANY REQUIRED PROTECTIVE YARD FOR PARKWAY FRONTAGE THAT DOES NOT CONTAIN A BASAL AREA OF 30SF SHALL BE PLANTED IN ACCORDANCE WITH THE OVERLAY DISTRICT LANDSCAPING STANDARDS AND PORTIONS OF THE PROTECTIVE YARD CANNOT BE ESTABLISHED AS TREE CONSERVATION AREA.



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CTS WESTGATE
CTS
8840 westgate Park Dr., Raleigh, NC

PROJECT NUMBER
22007
ADMINISTRATIVE
SITE REVIEW
DATE: 08.10.2022
10.27.2022
01.12.2023
02.15.2023

SHEET TITLE
PLANTING PLAN

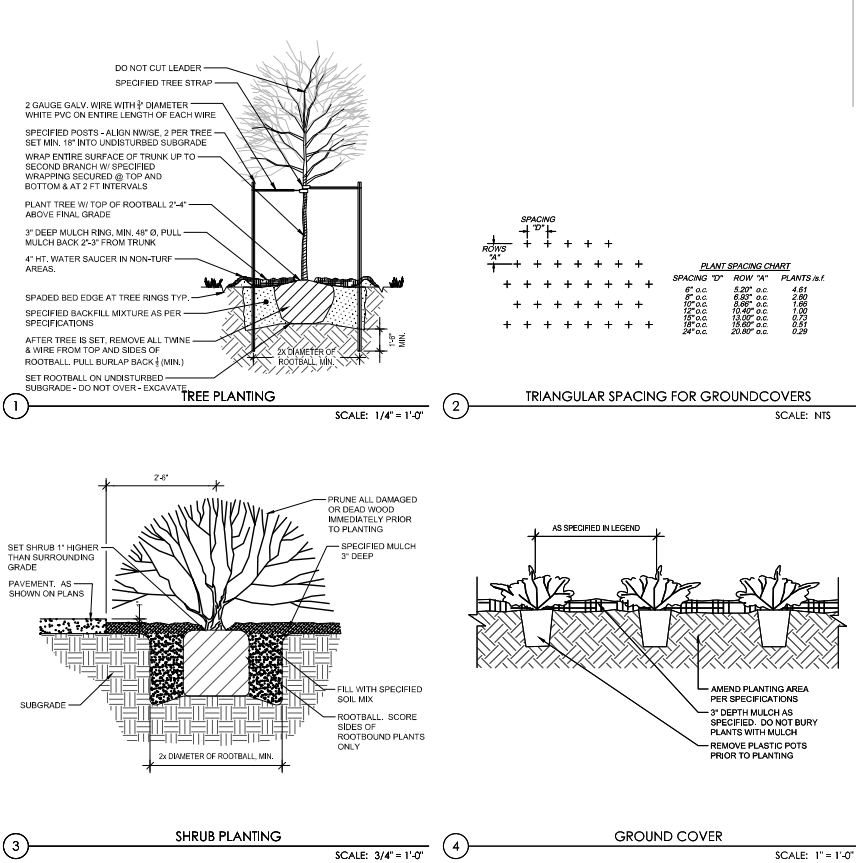
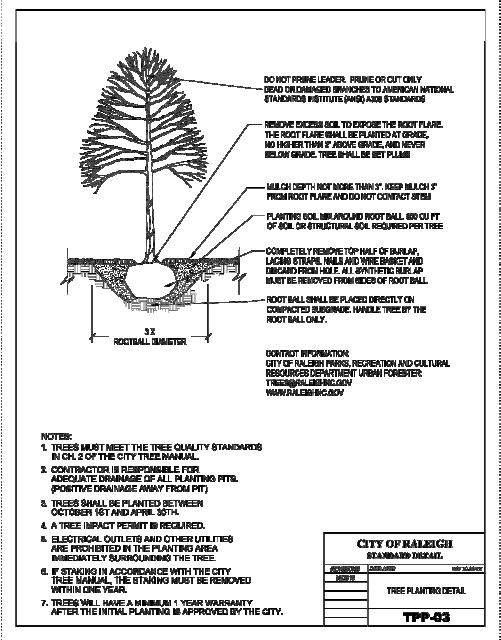
SHEET NUMBER
L400

PLANTING NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELLED FLOWS AROUND THE SITE.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
- ALL WEEDS, NON-NATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION, PLANTING, AND SEEDING/SODDING OPERATIONS.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- IF SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL STABILIZATION CORF FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE ARCHITECT SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE REINSTATED FOR ENGINEERS ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
- PLANTS ARE TO BE PURCHASED BY BOTANICAL NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES, MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING ANSI STANDARD 260.
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN, QUANTITIES GIVEN ON THE PLANT LEGEND, AND FOR CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRIDE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN FUNDAMENTALS. IF CONFLICT ARISES WITH PLAN, CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR DESIGNER PRIOR TO PROCEEDING.
- ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANCERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- IF IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIABLE PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
- IF ANY PLANT/MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR DESIGNER AT MINIMUM 48 HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT THE TIME FOR FULL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
- BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
- BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - TREES DESIGNATED B&B SHALL BE PROPERLY DIGG WITH FIRM, NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK AND ISO 1.
 - ROOT BALLS SHALL BE FINALLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NONSYNTHETIC TWINE.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE ALL BURLAP, LACING, AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
 - DO NOT MANUEVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
- CONTAINERED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK AND ISO 1.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE CONTAINER PRIOR TO PLANTING.
- TREES TO BE STAKED WILL BE DESIGNATED BY THE LANDSCAPE ARCHITECT. TREE STAKING FOR CANOPY AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
- PLANT BED PREPARATION:
 - ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL TILLED IN TO A DEPTH OF 8" TO ENSURE INTEGRATION WITH EXISTING SOIL.
 - APPROVED TOPSOIL IS TO BE RETRAIRED FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE BROOKEN AND SEDIMENT CONTROL PLANS.
 - IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- ALL MULCH TO BE CERTIFIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLES SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.

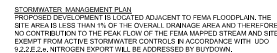
SEEDING/SODDING NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELLED FLOWS AROUND THE SITE.
- ALL SEEDS/SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF THE SOD.
- NO SEEDS/SODDED AREAS SHALL BE SODDED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING HAVE OCCURRED AND LANDSCAPE ARCHITECT HAVE REVIEWED THE FINAL GRADING.
- SOD AREAS WILL BE ACCEPTED WHEN IN COMPLIANCE WITH ALL THE FOLLOWING CONDITIONS:
 - ROOTS ARE THOROUGHLY KNIT TO THE SOIL.
 - ABSENCE OF VISIBLE JOINTS.
 - ALL AREAS SHOW A UNIFORM STAND OF SPECIFIED GRASS IN HEALTHY CONDITION.
 - AT LEAST 30 DAYS HAVE ELAPSED SINCE THE COMPLETION OF WORK UNDER THIS SECTION.
- QUALITY GUARANTEE:
 - SOD SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOT DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VAHDALISM.
 - SEED SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOT DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VAHDALISM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SEED/SOD IS PROPERLY IRRIGATED DURING THE GROWTH PERIOD, AND SHALL BE RESPONSIBLE IF THE SOD SURFERS IRRIGABLE HARM.
- SEED/SOD IS SUBJECT TO INSPECTION AND ACCEPTANCE. LANDSCAPE ARCHITECT AND/OR CLIENT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO ACCEPTANCE, ANY WORK AND SOD WHICH IN THE LANDSCAPE ARCHITECTS OPINION FAILS TO MEET THESE SPECIFICATIONS REQUIREMENTS.
- SOD STANDARDS:
 - GENERAL: HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZATION, MOWING AND WEED CONTROL, FREE OF OBJECTABLE WEEDS, UNIFORM IN GREEN COLOR, LEAF TEXTURE AND DENSITY. HEALTHY: VIGOROUS ROOT SYSTEM; INSPECTED AND FOUND FREE OF DISEASE, NEMATODES, PEST AND PEST LARVAE BY THE ENTOMOLOGIST OF THE STATE DEPARTMENT OF AGRICULTURE.
 - EACH PIECE OF SOD: SANDY-LOAM SOIL BASE THAT WILL NOT BREAK, CRUMBLE OR TEAR DURING SOD INSTALLATION.
 - THICKNESS: MINIMUM 3/4" THICK, EXCLUDING THE TOP GROWTH THAT CH.
 - THATCH: NOT TO EXCEED 1/2" UNCOMPRESSED.
 - SEE CUT IN STRIPS 18" WIDE NO MORE THAN 24 HOURS PRIOR TO DELIVERY.
- SOD DELIVERY, STORAGE AND HANDLING GUIDELINES ARE AS FOLLOWS:

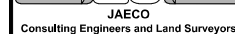


- SOD SHALL BE DELIVERED ON PALLETS PROPERLY LOADED ON VEHICLES AND WITH ROOT SYSTEM PROTECTED FROM EXPOSURE TO SUN, WIND, AND HEAT IN ACCORDANCE WITH STANDARD PRACTICE AND LABELED WITH BOTANICAL AND COMMON NAME OF EACH GRASS SPECIES IN ACCORDANCE WITH FEDERAL SEED ACT. SOD THAT HAS BEEN DAMAGED BY POOR HANDLING OR IMPROPER STORAGE IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER.
- PROTECT FROM DEHYDRATION, CONTAMINATION, FREEZING AND HEATING AT ALL TIMES. KEEP STORED SOD MOIST AND UNDER SHADE OR COVERED WITH MOISTENED BURLAP.
- DO NOT DROP SOD ROLLS FROM CARS, TRUCKS OR PALLETS.
- DO NOT DELIVER MORE SOD THAN CAN BE INSTALLED WITHIN 36 HOURS.
- DO NOT STACK SOD MORE THAN 2 FEET DEEP.
- SEED/SODDED BED PREPARATION:
 - ALL DESIRS, ROCKS, ETC. LARGER THAN 3\"/>
 - ALL AREAS TO BE SEEDS/SODDED ARE TO RECEIVE A MINIMUM OF 2\"/>
 - APPROVED TOPSOIL IS TO BE PREPARED FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE BROOKEN AND SEDIMENT CONTROL PLANS.
 - IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.

| PLANT SCHEDULE | | | | | | |
|----------------|-----------|----------------------------|-----------------------|-----------|----------|--------------|
| TREES | QTY | BOTANICAL NAME | COMMON NAME | CALIPER | HEIGHT | B&B OR CONT. |
| AL | 8 | Acer saccharum 'Legacy' | Legacy Sugar Maple | 3" | 8'-10' | B&B |
| JE | 6 | Juniperus virginiana | Eastern Redcedar | — | | |
| SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | CONTAINER | HEIGHT | SPREAD |
| VC | 5 | Viburnum awabuki 'Chindo' | Chindo Sweet Viburnum | 15 GAL. | 42" MIN. | 30" MIN. |
| TURF | QTY | BOTANICAL NAME | COMMON NAME | CONTAINER | HEIGHT | SPREAD |
| SOD | 39,350 sf | Cynodon dactylon 'Tif 419' | Tif 419 Bermudagrass | FLAT | SOD | |



STORMWATER MANAGEMENT PLAN
PROPOSED DEVELOPMENT IS LOCATED ADJACENT TO FEMA FLOODPLAIN. THE
SITE AREA IS LESS THAN 1% OF THE OVERALL DRAINAGE AREA AND THEREFORE
NO CONTRIBUTION TO THE PEAK FLOW OF THE FEMA MAPPED STREAM AND SITE
EXEMPT FROM ACTIVE STORMWATER CONTROLS IN ACCORDANCE WITH UDO
9.2.2.2.2. NITROGEN EXPORT WILL BE ADDRESSED BY BUDDYDOWN.



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www.iaego.com

FOR REVIEW PURPOSES ONLY

CTS Westgate
8840 Westgate Park Dr,
Raleigh NC 27617

Westgate Park LLC
3466 Gulfmead Drive
Sarasota, FL 34242

Call 811 before you dig

LEGEND

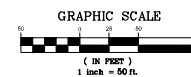
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NOTE

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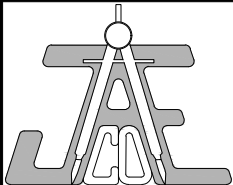
SIGHT TRIANGLE NOTE

WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.



| Revisions | | |
|-----------|-------------|------|
| Number | Description | Date |
| | | |
| | | |
| | | |
| | | |
| | | |

JAECO #: 229-12
DRAWING SCALE: 229-12
DRAWN BY: CC
CHECKED BY: JRC
DATE ISSUED: 7.22.22



JAECO
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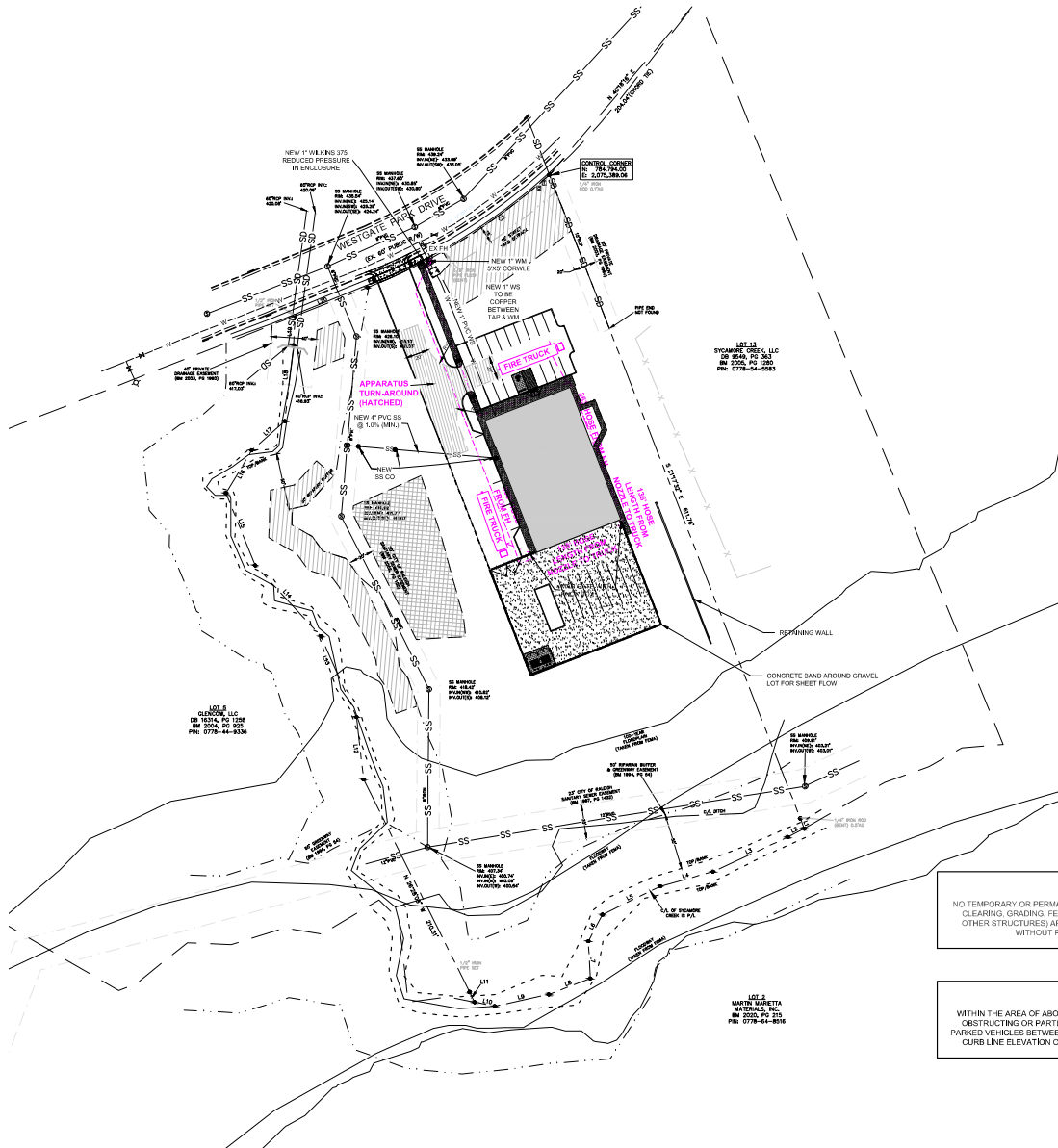
Call before you dig.

| LEGEND | |
|--------|-------------------------|
| AC | ACREAGE |
| BM | BENCH MARK |
| BS | BOOK OF MAPS |
| BY | BY |
| CA | CATCH BASIN |
| CD | CONCRETE DRAIN |
| CE | CONCRETE ELEVATION |
| CH | CHUTE |
| CL | CL |
| CM | CONCRETE MASONRY |
| CO | CONCRETE |
| CS | CONCRETE SURFACE |
| CT | CONCRETE TYPICAL |
| CU | CONCRETE UNDER |
| CV | CONCRETE VERTICAL |
| DA | DRAINAGE AREA |
| DB | DRAINAGE BASIN |
| DC | DRAINAGE CHANNEL |
| DE | DRAINAGE ELEVATION |
| DF | DRAINAGE FLOW |
| DG | DRAINAGE GROUND |
| DH | DRAINAGE HATCH |
| DI | DRAINAGE INTERSECTION |
| DJ | DRAINAGE JUNCTION |
| DK | DRAINAGE KICK |
| DL | DRAINAGE LINE |
| DM | DRAINAGE MANHOLE |
| DN | DRAINAGE NETWORK |
| DO | DRAINAGE OUTLET |
| DP | DRAINAGE PATTERN |
| DQ | DRAINAGE QUANTITY |
| DR | DRAINAGE RATE |
| DS | DRAINAGE SCHEDULE |
| DT | DRAINAGE TIME |
| DU | DRAINAGE TYPE |
| DV | DRAINAGE UNIT |
| DW | DRAINAGE VALUE |
| DX | DRAINAGE VOLUME |
| DY | DRAINAGE WEIGHT |
| DZ | DRAINAGE YIELD |
| EA | ELEVATION |
| EB | ELEVATION BAND |
| EC | ELEVATION CHANGE |
| ED | ELEVATION DATA |
| EE | ELEVATION DIFFERENCE |
| EF | ELEVATION ERROR |
| EG | ELEVATION FACTOR |
| EH | ELEVATION HEIGHT |
| EI | ELEVATION INDEX |
| EJ | ELEVATION INTERVAL |
| EK | ELEVATION INTERVAL |
| EL | ELEVATION LIMIT |
| EM | ELEVATION MAXIMUM |
| EN | ELEVATION MINIMUM |
| EO | ELEVATION RANGE |
| EP | ELEVATION SCALE |
| EQ | ELEVATION SET |
| ER | ELEVATION SURFACE |
| ES | ELEVATION SURVEY |
| ET | ELEVATION TYPICAL |
| EU | ELEVATION UNIT |
| EV | ELEVATION VALUE |
| EW | ELEVATION VOLUME |
| EX | ELEVATION WEIGHT |
| EY | ELEVATION YIELD |
| EZ | ELEVATION YIELD |
| FA | FACILITY |
| FB | FACILITY BAND |
| FC | FACILITY CHANGE |
| FD | FACILITY DATA |
| FE | FACILITY DIFFERENCE |
| FF | FACILITY ERROR |
| FG | FACILITY FACTOR |
| FH | FACILITY HEIGHT |
| FI | FACILITY INDEX |
| FJ | FACILITY INTERVAL |
| FK | FACILITY INTERVAL |
| FL | FACILITY LIMIT |
| FM | FACILITY MAXIMUM |
| FN | FACILITY MINIMUM |
| FO | FACILITY RANGE |
| FP | FACILITY SCALE |
| FQ | FACILITY SET |
| FR | FACILITY SURFACE |
| FS | FACILITY SURVEY |
| FT | FACILITY TYPICAL |
| FU | FACILITY UNIT |
| FV | FACILITY VALUE |
| FW | FACILITY VOLUME |
| FX | FACILITY WEIGHT |
| FY | FACILITY YIELD |
| FZ | FACILITY YIELD |
| GA | GROUND |
| GB | GROUND BAND |
| GC | GROUND CHANGE |
| GD | GROUND DATA |
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| GH | GROUND HEIGHT |
| GI | GROUND INDEX |
| GO | GROUND INTERVAL |
| GP | GROUND INTERVAL |
| GQ | GROUND LIMIT |
| GR | GROUND MAXIMUM |
| GS | GROUND MINIMUM |
| GT | GROUND RANGE |
| GU | GROUND SCALE |
| GV | GROUND SET |
| GR | GROUND SURFACE |
| GS | GROUND SURVEY |
| GT | GROUND TYPICAL |
| GU | GROUND UNIT |
| GV | GROUND VALUE |
| GW | GROUND VOLUME |
| GX | GROUND WEIGHT |
| GY | GROUND YIELD |
| GZ | GROUND YIELD |
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| HB | HATCH BAND |
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| HM | HATCH MAXIMUM |
| HN | HATCH MINIMUM |
| HO | HATCH RANGE |
| HP | HATCH SCALE |
| HQ | HATCH SET |
| HR | HATCH SURFACE |
| HS | HATCH SURVEY |
| HT | HATCH TYPICAL |
| HU | HATCH UNIT |
| HV | HATCH VALUE |
| HW | HATCH VOLUME |
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| HY | HATCH YIELD |
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| IO | INTERSECTION INTERVAL |
| IP | INTERSECTION INTERVAL |
| IQ | INTERSECTION LIMIT |
| IR | INTERSECTION MAXIMUM |
| IS | INTERSECTION MINIMUM |
| IT | INTERSECTION RANGE |
| IU | INTERSECTION SCALE |
| IV | INTERSECTION SET |
| IR | INTERSECTION SURFACE |
| IS | INTERSECTION SURVEY |
| IT | INTERSECTION TYPICAL |
| IU | INTERSECTION UNIT |
| IV | INTERSECTION VALUE |
| IW | INTERSECTION VOLUME |
| IX | INTERSECTION WEIGHT |
| IY | INTERSECTION YIELD |
| IZ | INTERSECTION YIELD |
| JA | JUNCTION |
| JB | JUNCTION BAND |
| JC | JUNCTION CHANGE |
| JD | JUNCTION DATA |
| JE | JUNCTION DIFFERENCE |
| JF | JUNCTION ERROR |
| JG | JUNCTION FACTOR |
| JH | JUNCTION HEIGHT |
| JI | JUNCTION INDEX |
| JO | JUNCTION INTERVAL |
| JP | JUNCTION INTERVAL |
| JQ | JUNCTION LIMIT |
| JR | JUNCTION MAXIMUM |
| JS | JUNCTION MINIMUM |
| JT | JUNCTION RANGE |
| JU | JUNCTION SCALE |
| JV | JUNCTION SET |
| JR | JUNCTION SURFACE |
| JS | JUNCTION SURVEY |
| JT | JUNCTION TYPICAL |
| JU | JUNCTION UNIT |
| JV | JUNCTION VALUE |
| JW | JUNCTION VOLUME |
| JX | JUNCTION WEIGHT |
| JY | JUNCTION YIELD |
| JZ | JUNCTION YIELD |
| KA | KICK |
| KB | KICK BAND |
| KC | KICK CHANGE |
| KD | KICK DATA |
| KE | KICK DIFFERENCE |
| KF | KICK ERROR |
| KG | KICK FACTOR |
| KH | KICK HEIGHT |
| KI | KICK INDEX |
| KO | KICK INTERVAL |
| KP | KICK INTERVAL |
| KQ | KICK LIMIT |
| KR | KICK MAXIMUM |
| KS | KICK MINIMUM |
| KT | KICK RANGE |
| KU | KICK SCALE |
| KV | KICK SET |
| KR | KICK SURFACE |
| KS | KICK SURVEY |
| KT | KICK TYPICAL |
| KU | KICK UNIT |
| KV | KICK VALUE |
| KW | KICK VOLUME |
| KX | KICK WEIGHT |
| KY | KICK YIELD |
| KZ | KICK YIELD |
| LA | LAND |
| LB | LAND BAND |
| LC | LAND CHANGE |
| LD | LAND DATA |
| LE | LAND DIFFERENCE |
| LF | LAND ERROR |
| LG | LAND FACTOR |
| LH | LAND HEIGHT |
| LI | LAND INDEX |
| LO | LAND INTERVAL |
| LP | LAND INTERVAL |
| LQ | LAND LIMIT |
| LR | LAND MAXIMUM |
| LS | LAND MINIMUM |
| LT | LAND RANGE |
| LU | LAND SCALE |
| LV | LAND SET |
| LR | LAND SURFACE |
| LS | LAND SURVEY |
| LT | LAND TYPICAL |
| LU | LAND UNIT |
| LV | LAND VALUE |
| LW | LAND VOLUME |
| LX | LAND WEIGHT |
| LY | LAND YIELD |
| LZ | LAND YIELD |
| MA | MATERIAL |
| MB | MATERIAL BAND |
| MC | MATERIAL CHANGE |
| MD | MATERIAL DATA |
| ME | MATERIAL DIFFERENCE |
| MF | MATERIAL ERROR |
| MG | MATERIAL FACTOR |
| MH | MATERIAL HEIGHT |
| MI | MATERIAL INDEX |
| MO | MATERIAL INTERVAL |
| MP | MATERIAL INTERVAL |
| MQ | MATERIAL LIMIT |
| MR | MATERIAL MAXIMUM |
| MS | MATERIAL MINIMUM |
| MT | MATERIAL RANGE |
| MU | MATERIAL SCALE |
| MV | MATERIAL SET |
| MR | MATERIAL SURFACE |
| MS | MATERIAL SURVEY |
| MT | MATERIAL TYPICAL |
| MU | MATERIAL UNIT |
| MV | MATERIAL VALUE |
| MW | MATERIAL VOLUME |
| MX | MATERIAL WEIGHT |
| MY | MATERIAL YIELD |
| MZ | MATERIAL YIELD |
| NA | NETWORK |
| NB | NETWORK BAND |
| NC | NETWORK CHANGE |
| ND | NETWORK DATA |
| NE | NETWORK DIFFERENCE |
| NF | NETWORK ERROR |
| NG | NETWORK FACTOR |
| NH | NETWORK HEIGHT |
| NI | NETWORK INDEX |
| NO | NETWORK INTERVAL |
| NP | NETWORK INTERVAL |
| NQ | NETWORK LIMIT |
| NR | NETWORK MAXIMUM |
| NS | NETWORK MINIMUM |
| NT | NETWORK RANGE |
| NU | NETWORK SCALE |
| NV | NETWORK SET |
| NR | NETWORK SURFACE |
| NS | NETWORK SURVEY |
| NT | NETWORK TYPICAL |
| NU | NETWORK UNIT |
| NV | NETWORK VALUE |
| NW | NETWORK VOLUME |
| NX | NETWORK WEIGHT |
| NY | NETWORK YIELD |
| NZ | NETWORK YIELD |
| OA | OUTLET |
| OB | OUTLET BAND |
| OC | OUTLET CHANGE |
| OD | OUTLET DATA |
| OE | OUTLET DIFFERENCE |
| OF | OUTLET ERROR |
| OG | OUTLET FACTOR |
| OH | OUTLET HEIGHT |
| OI | OUTLET INDEX |
| OO | OUTLET INTERVAL |
| OP | OUTLET INTERVAL |
| OQ | OUTLET LIMIT |
| OR | OUTLET MAXIMUM |
| OS | OUTLET MINIMUM |
| OT | OUTLET RANGE |
| OU | OUTLET SCALE |
| OV | OUTLET SET |
| OR | OUTLET SURFACE |
| OS | OUTLET SURVEY |
| OT | OUTLET TYPICAL |
| OU | OUTLET UNIT |
| OV | OUTLET VALUE |
| OW | OUTLET VOLUME |
| OX | OUTLET WEIGHT |
| OY | OUTLET YIELD |
| OZ | OUTLET YIELD |
| PA | PARTIAL |
| PB | PARTIAL BAND |
| PC | PARTIAL CHANGE |
| PD | PARTIAL DATA |
| PE | PARTIAL DIFFERENCE |
| PF | PARTIAL ERROR |
| PG | PARTIAL FACTOR |
| PH | PARTIAL HEIGHT |
| PI | PARTIAL INDEX |
| PO | PARTIAL INTERVAL |
| PP | PARTIAL INTERVAL |
| PQ | PARTIAL LIMIT |
| PR | PARTIAL MAXIMUM |
| PS | PARTIAL MINIMUM |
| PT | PARTIAL RANGE |
| PU | PARTIAL SCALE |
| PV | PARTIAL SET |
| PR | PARTIAL SURFACE |
| PS | PARTIAL SURVEY |
| PT | PARTIAL TYPICAL |
| PU | PARTIAL UNIT |
| PV | PARTIAL VALUE |
| PW | PARTIAL VOLUME |
| PX | PARTIAL WEIGHT |
| PY | PARTIAL YIELD |
| PZ | PARTIAL YIELD |
| QA | QUANTITY |
| QB | QUANTITY BAND |
| QC | QUANTITY CHANGE |
| QD | QUANTITY DATA |
| QE | QUANTITY DIFFERENCE |
| QF | QUANTITY ERROR |
| QG | QUANTITY FACTOR |
| QH | QUANTITY HEIGHT |
| QI | QUANTITY INDEX |
| QO | QUANTITY INTERVAL |
| QP | QUANTITY INTERVAL |
| QQ | QUANTITY LIMIT |
| QR | QUANTITY MAXIMUM |
| QS | QUANTITY MINIMUM |
| QT | QUANTITY RANGE |
| QU | QUANTITY SCALE |
| QV | QUANTITY SET |
| QR | QUANTITY SURFACE |
| QS | QUANTITY SURVEY |
| QT | QUANTITY TYPICAL |
| QU | QUANTITY UNIT |
| QV | QUANTITY VALUE |
| QW | QUANTITY VOLUME |
| QX | QUANTITY WEIGHT |
| QY | QUANTITY YIELD |
| QZ | QUANTITY YIELD |
| RA | RANGE |
| RB | RANGE BAND |
| RC | RANGE CHANGE |
| RD | RANGE DATA |
| RE | RANGE DIFFERENCE |
| RF | RANGE ERROR |
| RG | RANGE FACTOR |
| RH | RANGE HEIGHT |
| RI | RANGE INDEX |
| RO | RANGE INTERVAL |
| RP | RANGE INTERVAL |
| RQ | RANGE LIMIT |
| RR | RANGE MAXIMUM |
| RS | RANGE MINIMUM |
| RT | RANGE RANGE |
| RU | RANGE SCALE |
| RV | RANGE SET |
| RR | RANGE SURFACE |
| RS | RANGE SURVEY |
| RT | RANGE TYPICAL |
| RU | RANGE UNIT |
| RV | RANGE VALUE |
| RW | RANGE VOLUME |
| RX | RANGE WEIGHT |
| RY | RANGE YIELD |
| RZ | RANGE YIELD |
| SA | SCHEDULE |
| SB | SCHEDULE BAND |
| SC | SCHEDULE CHANGE |
| SD | SCHEDULE DATA |
| SE | SCHEDULE DIFFERENCE |
| SF | SCHEDULE ERROR |
| SG | SCHEDULE FACTOR |
| SH | SCHEDULE HEIGHT |
| SI | SCHEDULE INDEX |
| SO | SCHEDULE INTERVAL |
| SP | SCHEDULE INTERVAL |
| SQ | SCHEDULE LIMIT |
| SR | SCHEDULE MAXIMUM |
| SS | SCHEDULE MINIMUM |
| ST | SCHEDULE RANGE |
| SU | SCHEDULE SCALE |
| SV | SCHEDULE SET |
| SR | SCHEDULE SURFACE |
| SS | SCHEDULE SURVEY |
| ST | SCHEDULE TYPICAL |
| SU | SCHEDULE UNIT |
| SV | SCHEDULE VALUE |
| SW | SCHEDULE VOLUME |
| SX | SCHEDULE WEIGHT |
| SY | SCHEDULE YIELD |
| SZ | SCHEDULE YIELD |
| TA | TYPICAL |
| TB | TYPICAL BAND |
| TC | TYPICAL CHANGE |
| TD | TYPICAL DATA |
| TE | TYPICAL DIFFERENCE |
| TF | TYPICAL ERROR |
| TG | TYPICAL FACTOR |
| TH | TYPICAL HEIGHT |
| TI | TYPICAL INDEX |
| TO | TYPICAL INTERVAL |
| TP | TYPICAL INTERVAL |
| TQ | TYPICAL LIMIT |
| TR | TYPICAL MAXIMUM |
| TS | TYPICAL MINIMUM |
| TT | TYPICAL RANGE |
| TU | TYPICAL SCALE |
| TV | TYPICAL SET |
| TR | TYPICAL SURFACE |
| TS | TYPICAL SURVEY |
| TT | TYPICAL TYPICAL |
| TU | TYPICAL UNIT |
| TV | TYPICAL VALUE |
| TW | TYPICAL VOLUME |
| TX | TYPICAL WEIGHT |
| TY | TYPICAL YIELD |
| TZ | TYPICAL YIELD |
| UA | UNIT |
| UB | UNIT BAND |
| UC | UNIT CHANGE |
| UD | UNIT DATA |
| UE | UNIT DIFFERENCE |
| UF | UNIT ERROR |
| UG | UNIT FACTOR |
| UH | UNIT HEIGHT |
| UI | UNIT INDEX |
| UO | UNIT INTERVAL |
| UP | UNIT INTERVAL |
| UQ | UNIT LIMIT |
| UR | UNIT MAXIMUM |
| US | UNIT MINIMUM |
| UT | UNIT RANGE |
| UU | UNIT SCALE |
| UV | UNIT SET |
| UR | UNIT SURFACE |
| US | UNIT SURVEY |
| UT | UNIT TYPICAL |
| UU | UNIT UNIT |
| UV | UNIT VALUE |
| UW | UNIT VOLUME |
| UX | UNIT WEIGHT |
| UY | UNIT YIELD |
| UZ | UNIT YIELD |
| VA | VALUE |
| VB | VALUE BAND |
| VC | VALUE CHANGE |
| VD | VALUE DATA |
| VE | VALUE DIFFERENCE |
| VF | VALUE ERROR |
| VG | VALUE FACTOR |
| VH | VALUE HEIGHT |
| VI | VALUE INDEX |
| VO | VALUE INTERVAL |
| VP | VALUE INTERVAL |
| VQ | VALUE LIMIT |
| VR | VALUE MAXIMUM |
| VS | VALUE MINIMUM |
| VT | VALUE RANGE |
| VU | VALUE SCALE |
| VV | VALUE SET |
| VR | VALUE SURFACE |
| VS | VALUE SURVEY |
| VT | VALUE TYPICAL |
| VU | VALUE UNIT |
| VV | VALUE VALUE |
| VW | VALUE VOLUME |
| VX | VALUE WEIGHT |
| VY | VALUE YIELD |
| VZ | VALUE YIELD |
| WA | WATER |
| WB | WATER BAND |
| WC | WATER CHANGE |
| WD | WATER DATA |
| WE | WATER DIFFERENCE |
| WF | WATER ERROR |
| WG | WATER FACTOR |
| WH | WATER HEIGHT |
| WI | WATER INDEX |
| WO | WATER INTERVAL |
| WP | WATER INTERVAL |
| WQ | WATER LIMIT |
| WR | WATER MAXIMUM |
| WS | WATER MINIMUM |
| WT | WATER RANGE |
| WU | WATER SCALE |
| WV | WATER SET |
| WR | WATER SURFACE |
| WS | WATER SURVEY |
| WT | WATER TYPICAL |
| WU | WATER UNIT |
| WV | WATER VALUE |
| WW | WATER VOLUME |
| WX | WATER WEIGHT |
| WY | WATER YIELD |
| WZ | WATER YIELD |
| XA | X-SECTION |
| XB | X-SECTION BAND |
| XC | X-SECTION CHANGE |
| XD | X-SECTION DATA |
| XE | X-SECTION DIFFERENCE |
| XF | X-SECTION ERROR |
| YG | Y-SECTION |
| YH | Y-SECTION BAND |
| YI | Y-SECTION CHANGE |
| YJ | Y-SECTION DATA |
| YK | Y-SECTION DIFFERENCE |
| YL | Y-SECTION ERROR |
| ZA | Z-SECTION |
| ZB | Z-SECTION BAND |
| ZC | Z-SECTION CHANGE |
| ZD | Z-SECTION DATA |
| ZE | Z-SECTION DIFFERENCE |
| ZF | Z-SECTION ERROR |

UTILITY & FIRE DEPARTMENT PLAN

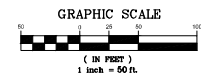
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|----------|--------|-------------|---------|
| | 1 | ISSUED | 7-22-23 |

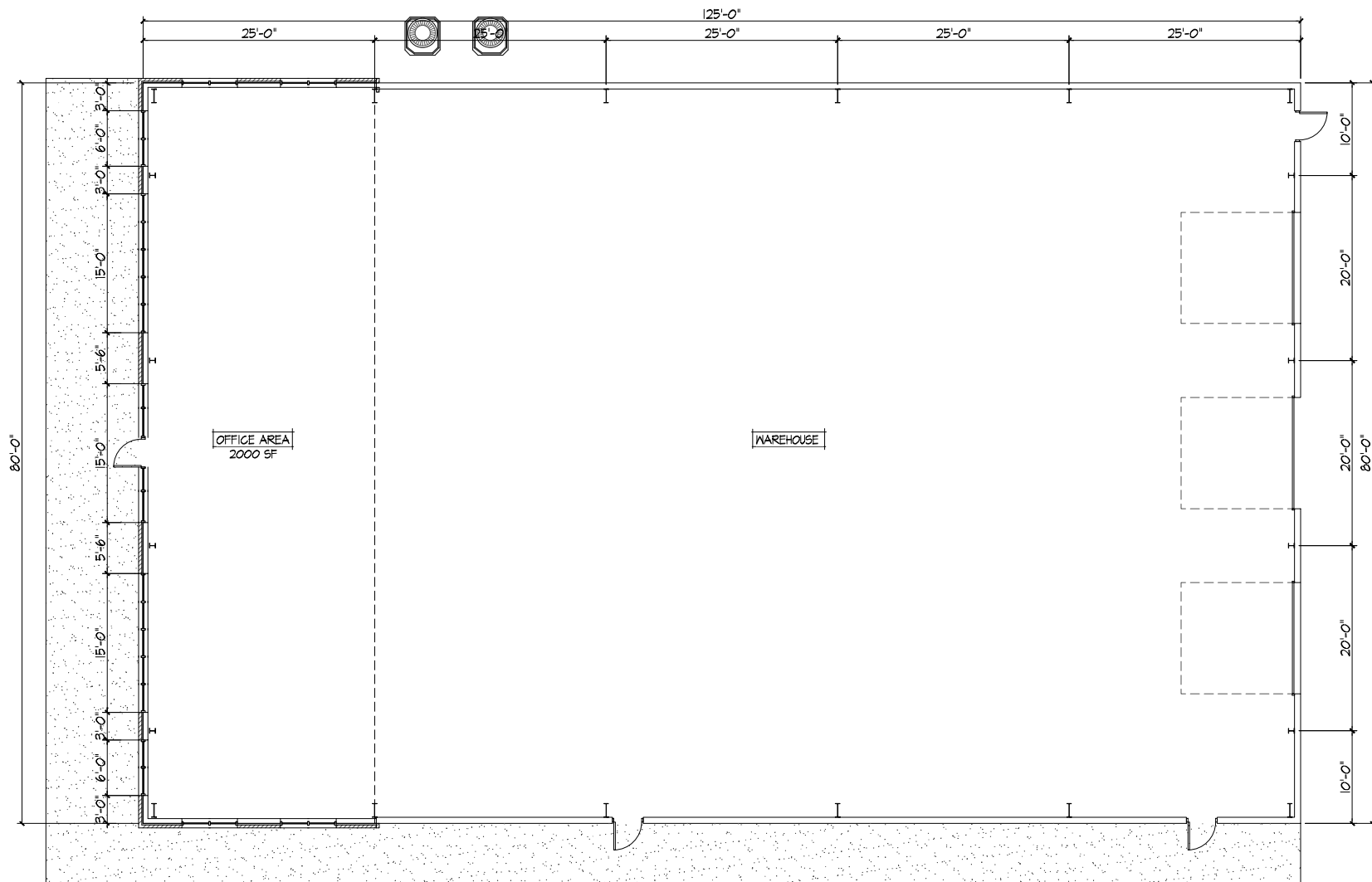
JAECO # 223-12
DRAWING SCALE: 22x-12
DRAWN BY: CC
CHECKED BY: JRC
DATE ISSUED: 7-22-23



NOTE
NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

SIGHT TRIANGLE NOTE
WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.





Floor Plan

SCALE: 3/16" = 1'-0"

Preliminary-Not for construction

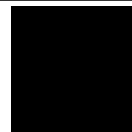
PROJECT TITLE:
New Office & Warehouse for
Concrete Technology
Services

Westgate Park Drive
Raleigh NC

E. O. SMITHSON & ASSOCIATES, INC.
A PROFESSIONAL CORPORATION
1001 South Westgate Park Drive
Raleigh, NC 27603
Phone: (919) 877-3000 Fax: (919) 877-3001
www.smithsoninc.com
PHYSICAL ADDRESS: 1001 South Westgate Park Drive, Raleigh, NC 27603
MAILING ADDRESS: 1001 South Westgate Park Drive, Raleigh, NC 27603

CLIENT:

SMITHSON
General Contractor Design Build
P.O. Box 1721
1001 South Westgate Park Drive
Raleigh, NC 27603
Phone: (919) 877-3000 Fax: (919) 877-3001
www.smithsoninc.com



KEY PLAN:

PROJECT
NORTH

DRAWING SET:

| | DATE |
|---------------------------|------|
| X PRELIMINARY | |
| X PRELIMINARY BID SET | |
| X ISSUED FOR PERMIT | |
| X ISSUED FOR CONSTRUCTION | |

REVISIONS:

| NO. | DATE | DESCRIPTION |
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| 10 | | |

DRAWING TITLE:

Floor Plan

DRAWN BY:

Liska Y.

SCALE:

As Shown

ISSUE DATE:

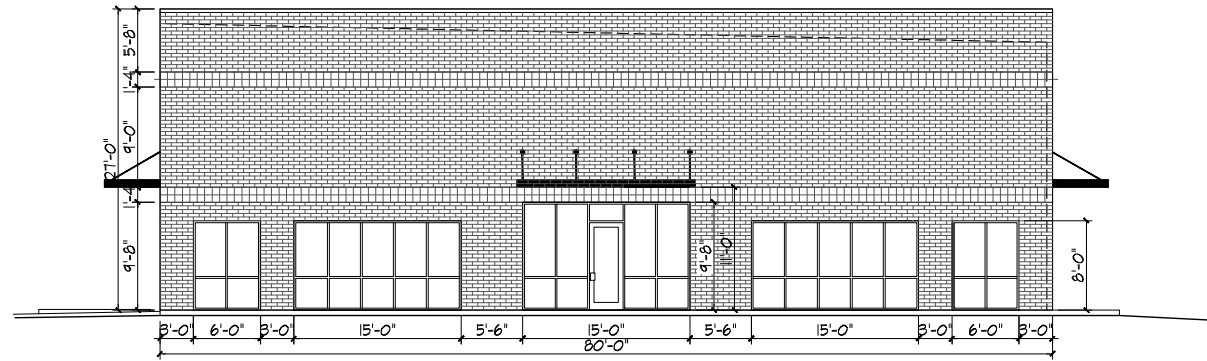
01/03/2022

PROJECT NO.:

Job No: 22-

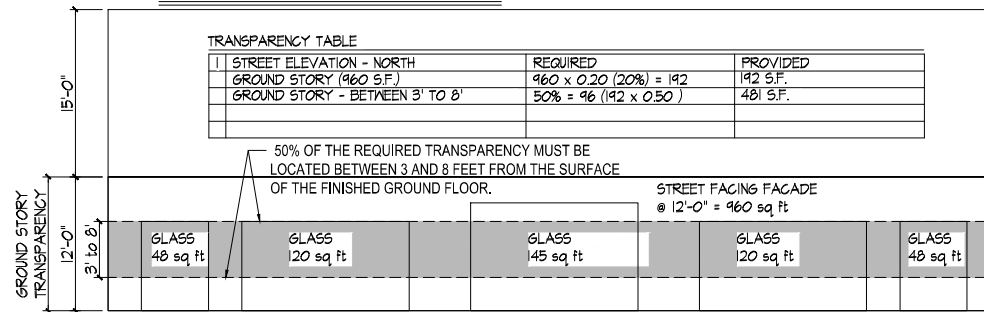
A1

FILE NAME: Y:\BIDDING\PROJECTS\2022\220017\220017-000-ALONG PLT.DWG DATE: 2/3/2022 4:20 PM



Front Elevation

SCALE: 3/16" = 1'-0"

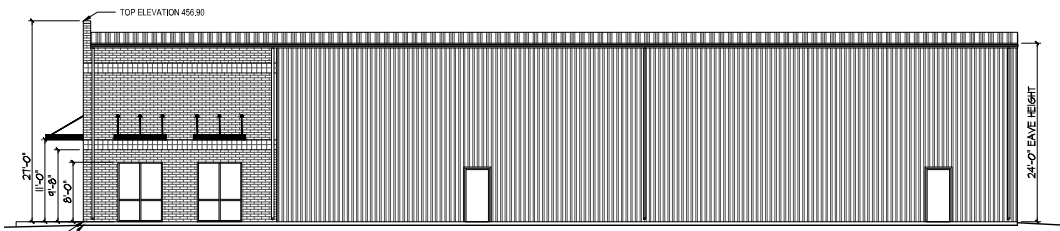


Front Elevation Transparency Calculations

SCALE: 3/16" = 1'-0"

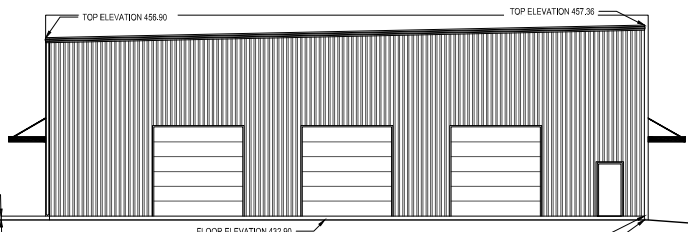
| AVERAGE GRADE ANALYSIS PER CITY OF RALEIGH UDO SEC. 15.7.C.1 | | | | | | |
|---|----------------------|-----------|-----------|----------------------|-----------|-----------|
| ELEVATION | EXISTING GROUND | | | FINISHED GRADE | | |
| | HIGH POINT | LOW POINT | AVG GRADE | HIGH POINT | LOW POINT | AVG GRADE |
| "A" | 432.98 | 428.80 | 430.89 | 432.90 | 432.90 | 432.90 |
| "B" | 437.10 | 432.98 | 435.04 | 432.90 | 432.90 | 432.90 |
| "C" | 437.10 | 428.80 | 432.95 | 432.90 | 432.90 | 432.90 |
| "D" | 428.80 | 426.95 | 427.88 | 432.90 | 432.90 | 432.90 |
| | AVERAGE GRADE 431.69 | | | AVERAGE GRADE 432.90 | | |

*SEE GRADING PLAN FOR ELEVATION LOCATION



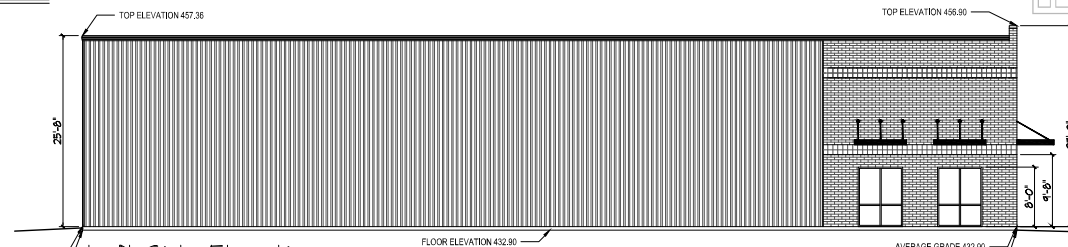
Right Side Elevation

SCALE: 3/16" = 1'-0"



Rear Elevation

SCALE: 3/16" = 1'-0"



Left Side Elevation

SCALE: 3/16" = 1'-0"

Preliminary-Not for construction

PROJECT TITLE:
New Office & Warehouse for
Concrete Technology
Services

Westgate Park Drive
Raleigh NC

**E. G. SMITHSON
& ASSOCIATES, INC.**
A PROFESSIONAL CORPORATION
ARCHITECTS
PHONE: (252) 877-3000
FAX: (252) 885-0864
WWW.ESMITHSON.COM

PHYSICAL ADDRESS: 1601 SOUTH WILSON BLVD., R.D. BOX 1732
NORTH CAROLINA 27602
PHONE: (252) 877-3000 FAX: (252) 885-0864
E.O. 11232

CLIENT:

SMITHSON
General Contractor Design Building
1601 South Wilson Blvd., R.D. Box 1732
North Carolina 27602
Phone: (252) 877-3000 Fax: (252) 885-0864
E.O. 11232

KEY PLAN:

PROJECT NORTH

| DRAWING SET: | DATE |
|---|------|
| <input checked="" type="checkbox"/> PRELIMINARY | |
| <input checked="" type="checkbox"/> PRELIMINARY BID SET | |
| <input checked="" type="checkbox"/> ISSUED FOR PERMIT | |
| <input checked="" type="checkbox"/> ISSUED FOR CONSTRUCTION | |

REVISIONS:

| NO. | DATE | DESCRIPTION |
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| 1 | | |
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| 10 | | |

DRAWING TITLE:

Elevations

DRAWN BY: Liska Y.
SCALE: As Shown
ISSUE DATE: 01/03/2022
PROJECT NO.: 3830 Job No: 22-

A2