

SPR - 0071-2019
ASL

DEVELOPMENT SERVICES



Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____		Planning Coordinator: <u>Ryan Boivin</u>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: <u>557633</u>	
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: <u>A-3-19, A-115-19</u>	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>Avent- Trailwood Apartments - Raleigh</u>			
Inside City limits? <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No 901 Trailwood is inside City limits, 921 Trailwood is not.			
Property address(es): <u>901 and 921 Trailwood Drive, Raleigh, NC</u>			
Site P.I.N.(s): <u>0793240515, 0793250141</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. <u>Construction of a 122 unit apartment complex with associated infrastructure as required.</u>			
Current Property Owner/Developer Contact Name: <u>Eleanor N. Aurand Revocable Living Trust, Leonard W. Aurand</u> NOTE: please attach purchase agreement when submitting this form. Irrevocable Trust, Thomas J. Aurand Trustee			
Company: <u>Avent Trailwood LLC</u>		Title: <u>Thomas R. Huff, Principal</u>	
Address: <u>5400 Trinity Road, Suite 309, Raleigh, NC 27607</u>			
Phone #: <u>919-233-9901</u>		Email: <u>thuff@capitalassociates.com</u>	
Applicant Name: <u>Don Curry</u>			
Company: <u>Curry Engineering, PLLC</u>		Address: <u>205 S. Fuquay Ave., Fuquay-Varina, NC 27526</u>	
Phone #: <u>919-552-0849</u>		Email: <u>don@curryeng.com</u>	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 1564 sf
Gross site acreage: 12.29 acres	New gross floor area: 99,109 sf
# of parking spaces required: 184	Total sf gross (to remain and new): 99,109 sf
# of parking spaces proposed: 185	Proposed # of buildings: 2
Overlay District (if applicable): SRPOD	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): Single family	
Proposed use (UDO 6.1.4): Multi-unit living	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: .20 Square Feet: 8712	Proposed Impervious Surface: Acres: 3.08 Square Feet: 134165
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide: Alluvial soils: AgC2 and Wo	
Flood stu: n/a	
FEMA Map Panel #: 0793	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 122	Total # of hotel units:
# of bedroom units: 1br: 77 2br: 45 3br: 4br or more:	
# of lots: 2	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>The Curry Engineering Group, PLLC</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Thomas J. Aurand, TRFEE</u>	Date: <u>9-18-19</u>
Printed Name: Thomas J. Aurand, Trustee of Owners	

AVENT-TRAILWOOD APARTMENTS

CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-0071-2019

1st SUBMITTAL TO CITY OF RALEIGH: SEPTEMBER 19, 2019

2nd SUBMITTAL TO CITY OF RALEIGH: NOVEMBER 18, 2019



VICINITY MAP

SCALE: 1" = 1000'

SITE INFORMATION:

LOCATION: 901 TRAILWOOD DR.
921 TRAILWOOD DR.
RALEIGH, NC 27606
COUNTY: WAKE
PARCEL #: 0793 24 0515, 0793 25 0141
REID #: 0002842, 0002641
DB/PG: 15-E / 207
CURRENT ZONING: R-10
PROPOSED ZONING: R-10
ACREAGE: 12.19 AC (ACREAGE BASED ON COMBINATION OF PROPERTIES)
LAND CLASS: APARTMENT

RIGHT OF WAY & OTHER AREAS:
RIGHT OF WAY DEDICATION: 0.04 AC
GREENWAY DEDICATION: N/A
STREAM BUFFER (ON-SITE): 2.63 AC

TREE CONSERVATION AREA:
NET PROPERTY AREA: 9.55 AC
TCA REQUIRED: 0.955 AC (10% MIN.)
TCA PROVIDED: 2.43 AC (25.5%)

OUTDOOR AMENITY AREA:
NET PROPERTY AREA: 5.26 AC (BASED ON PROJECT/FILL LIMITS)
OUTDOOR AMENITY AREA REQUIRED: 0.526 AC (10 % MIN.)
OUTDOOR AMENITY AREA PROVIDED: 0.53 AC

REQUIRED PARKING:
NUMBER OF UNITS: 122
STUDIO (11 UNITS): 11 (1 SPACE/UNIT)
1 BEDROOM (66 UNITS): 66 (1 SPACE/UNIT)
2 BEDROOM (22 UNITS): 44 (2 SPACES/UNIT)
2 BEDROOM-ROOMMATE (23 UNITS): 46 (2 SPACES/UNIT)
TOTAL RESIDENT SPACES REQUIRED: 167
VISITOR SPACES: 12 (UNITS x 10%)
REQUIRED PARKING: 179 SPACES
REQUIRED BICYCLE PARKING: 6 MIN. (1/20 UNITS)
REQUIRED H/C PARKING: 7 (ADA REQUIREMENTS 122 x 5%)
PROVIDED PARKING:
REGULAR SPACES: 172 SPACES
H/C SPACES: 7 SPACES
TOTAL PROVIDED PARKING: 179 SPACES
PROVIDED BICYCLE PARKING: 4 RACKS - 7 BIKE PARKS EACH = 28 TOTAL (INSIDE BUILDING)
6 PUBLIC RACKS OUTSIDE BLDG. (SEE PLAN)

IMPERVIOUS AREAS:
EXISTING:
PAVEMENT/WALLS: 0.13 AC
SIDEWALKS: 0.00 AC
BUILDING: 0.07 AC
TOTAL EXISTING IMPERVIOUS: 0.20 AC (1.6%)
PROPOSED:
ROADWAYS/PARKING: 1.67 AC
SIDEWALKS/CONCRETE PADS: 0.32 AC
APARTMENTS/ACCESSORY BLDG.: 1.11 AC
OUTDOOR AMENITIES: 0.08 AC
TOTAL IMPERVIOUS: 3.18 AC (26.0%)

UTILITY DEMANDS:
SEWER/WATER USAGE: 120 GPD/1 BEDROOM UNIT
240 GPD/2 BEDROOM UNIT
BUILDING AREA (GROSS SF):
BUILDING A: 45,078 SF
BUILDING B (INCLUDING CLUBHOUSE): 82,660 SF
MAINTENANCE BUILDING: 811 SF
POOL HOUSE: 106 SF

DRAWING INDEX

- C-00 COVER SHEET
- C-01 CIVIL NOTES
- C-02 EXISTING CONDITIONS
- C-03 DEMOLITION PLAN
- C-04 PARTIAL SITE PLAN I
- C-05 PARTIAL SITE PLAN II
- C-06 GRADING & DRAINAGE PLAN
- C-07 PARTIAL UTILITY PLAN I
- C-08 PARTIAL UTILITY PLAN II
- C-09 LIGHTING PLAN
- C-10 STORMWATER POA PLAN - EXISTING
- C-11 STORMWATER POA PLAN - PROPOSED
- C-12 DRAINAGE BASIN PLAN
- C-13 TRAILWOOD DRIVE SIGHT DISTANCE
- C-14 FLOODPLAIN FILL EXHIBIT
- L-01 TREE CONSERVATION PLAN
- L-02 TREE COVER REPORT
- L-03 OVERALL LANDSCAPE PLAN
- L-04 PARTIAL LANDSCAPE PLAN 1
- L-05 PARTIAL LANDSCAPE PLAN 2
- A3.0 ARCHITECTURAL ELEVATIONS - BLDG. A
- A3.1 ARCHITECTURAL ELEVATIONS - BLDG. A
- A3.2 ARCHITECTURAL ELEVATIONS - BLDG. B
- A3.3 ARCHITECTURAL ELEVATIONS - BLDG. B
- A3.4 ARCHITECTURAL ELEVATIONS - ACCESSORY STRUCTURES

GOVERNING AGENCIES:

PLANNING/ZONING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA SUITE 304
RALEIGH, NC 27601
919-996-2437

STORMWATER ENGINEERING
CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

SEDIMENTATION & EROSION CONTROL
CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:

WATER & SEWER
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3484 (o)
CONTACT: KEITH TEW
EMAIL: keith.tew@raleighnc.gov

NATURAL GAS
PSNC ENERGY - SCANA
3516 SPRING FOREST ROAD
RALEIGH, NC 27616
919-501-7665 (t)
919-501-7685 (f)
CONTACT: CRAIG SCHOLL
EMAIL: cscholl@scana.com

ELECTRIC
PROGRESS ENERGY BUSINESS
9920 FAYETTEVILLE ROAD
RALEIGH, NC 27603
919-557-2611 (o)
919-805-1751 (m)
CONTACT: BEN BETTS

Civil Engineer:

The Curry Engineering Group, PLLC
NC License # P-0799
PO Box 2018
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
919.880.9857 (m)
Contact: Don Curry, PE
don@curryeng.com

Landscape Architect:

Southwell Design, PLLC
P.O. Box 37178
Raleigh, NC 27627
919.272.6729 (v)
Contact: Adam Southwell, PLA, ASLA
adam@southwelldesign.com

Surveyor:

Newcomb Land Surveyors, PLLC
7008 Harps Mill Rd., Suite 105
Raleigh, NC 27615
919-847-1800 (o)
Contact: Justin L. Luther, PLS
justin@nls-nc.com

Land Owner:

Thomas J Auran Trustee
Eleanor N Auran
2625 Eagle Valley Dr.
Woodbury, MN 55129

Applicant:

Fuller Land & Development Company
8801 Fast Park Drive, Suite 301
Raleigh, NC 27607
919.417.0057 (v)
janderson@fullerlanddev.com (e)
Contact: Mr. Jim Anderson

DEVELOPMENT SERVICES

Administrative Site Review Application

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Office Use Only: Transaction #: _____ Planning Coordinator: _____

Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General Subdivision transaction #: _____ Sketch transaction #: 557633
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use Certificate of Appropriateness #: _____ Board of Adjustment #: A-3-19, A-115-19
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot Zoning Case #: _____ Administrative Alternate #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic

GENERAL INFORMATION

Development name: Trailwood Apartments - Raleigh
Inside City limits? Yes No 901 Trailwood is inside City limits, 921 Trailwood is not.
Property address(es): 901 and 921 Trailwood Drive, Raleigh, NC
Site P.I.N.(s): 0793240515, 0793250141
Please describe the scope of work. Include any additions, expansions, and change of use.
Construction of a 122 unit apartment complex with associated infrastructure as required.

Current Property Owner/Developer Contact Name: Eleanor N. Auran Revocable Living Trust, Leonard W. Auran
NOTE: please attach purchase agreement when submitting this form. Irrevocable Trust, Thomas J. Auran Trustee
Company: Avent Trailwood LLC Title: Thomas R. Huff, Principal
Address: 5400 Trinity Road, Suite 309, Raleigh, NC 27607
Phone #: 919-233-9901 Email: thuff@capitalassociates.com
Applicant Name: Don Curry
Company: Curry Engineering, PLLC Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526
Phone #: 919-552-0849 Email: don@curryeng.com

ASR APPLICATION

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY A PRIVATE GARBAGE COLLECTION SERVICE.

BOA VARIANCE SUMMARY:

- A-3-19 (1/14/2019): BUILD-TO VARIANCE
- A-115-19 (8/12/2019): BLOCK PERIMETER VARIANCE

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require installation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

PUBLIC SEWER COLLECTION / EXTENSION SYSTEM

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

CITY OF RALEIGH
PUBLIC UTILITIES DEPARTMENT PERMIT # _____
AUTHORIZATION TO CONSTRUCT _____
DATE _____

PUBLIC WATER DISTRIBUTION / EXTENSION SYSTEM

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

CITY OF RALEIGH
PUBLIC UTILITIES DEPARTMENT PERMIT # _____
AUTHORIZATION TO CONSTRUCT _____
DATE _____

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 1564 sf
Gross site acreage: 12.29 acres	New gross floor area: 128,655 sf
# of parking spaces required: 179	Total sf gross (to remain and new): 128,655 sf
# of parking spaces proposed: 179	Proposed # of buildings: 4 (2 apts., 1 maint., 1 pool)
Overlay District (if applicable): SRPOD	Proposed # of stories for each: 3 apts., 1 maint., 1 pool
Existing use (UDO 6.1.4): Single family	
Proposed use (UDO 6.1.4): Multi-unit living	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: .20 Square Feet: 8712	Proposed Impervious Surface: Acres: 3.18 Square Feet: 138,521
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide: Alluvial soils: AgC2 and Wo	
Flood stu: n/a	
FEMA Map Panel #: 0793	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 122	Total # of hotel units: _____
# of bedroom units: 1br: 77 2br: 45 3br: _____ 4br or more: _____	
# of lots: 2	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.
I hereby designate The Curry Engineering Group, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submitral policy, which states applications will expire after 180 days of inactivity.
Signature: Thomas J. Auran Date: 11/18/19
Printed Name: Thomas J. Auran, Trustee of Owners

Architect:

Finley Design
7806 NC Hwy 751, Suite 110
Durham, NC 27713
919.425.5467 (o)
919.308.3013 (m)
Contact: Kerry Gray Finley, AIA
kerry@finleydesignarch.com

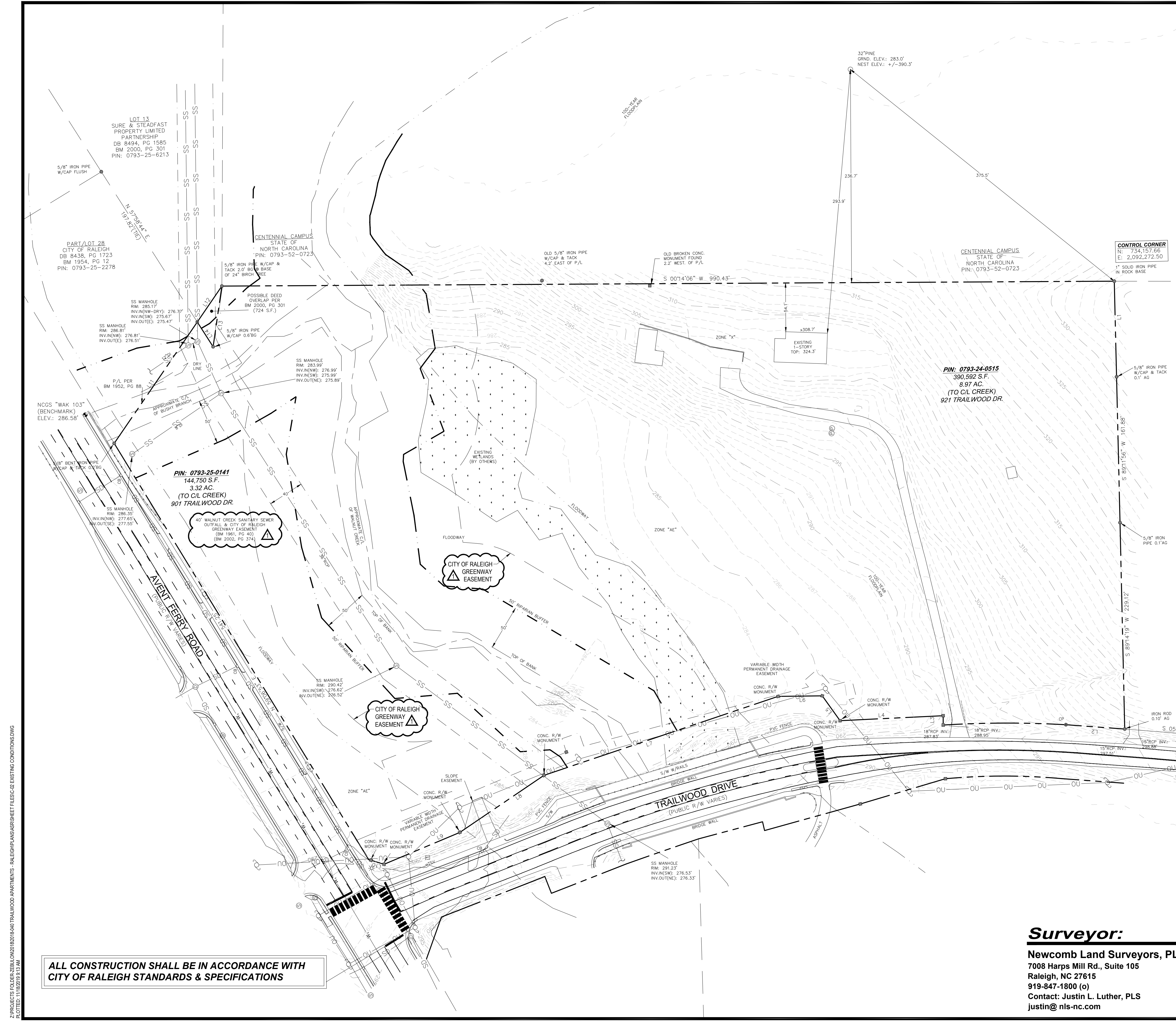
TRAILWOOD APARTMENTS - RALEIGH, NC
COVER SHEET

205 S. Fuquay Avenue
Fuquay-Varina, NC 27526
T: (919) 552-0849
F: (919) 552-0840



C-00

NOT FOR CONSTRUCTION

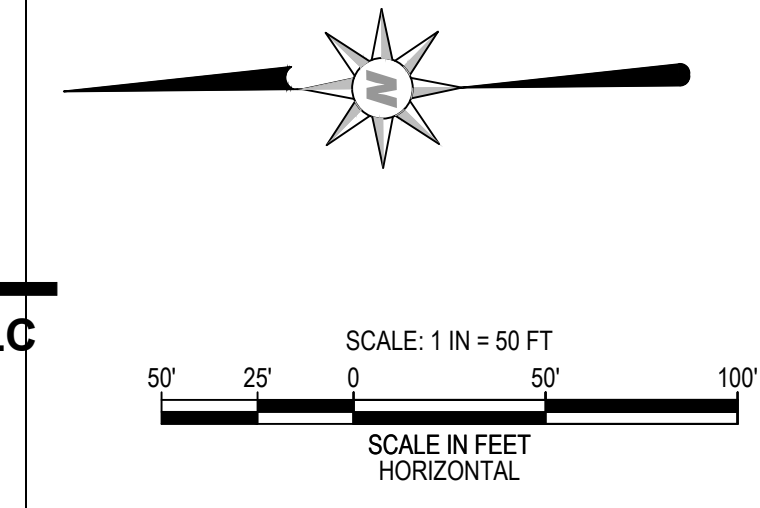


- GENERAL NOTES:**
- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
 - THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PARENT PROPERTY BOUNDARY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN AUGUST 2019 BY NEWCOMB LAND SURVEYORS.
 - NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
 - AREAS COMPUTED BY THE COORDINATE METHOD.
 - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
 - ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
 - THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE AE & X FLOODPLAIN PER FEMA FIRM PANEL 3720079300J DATED 05/02/06
 - VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
 - NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

LEGEND

SYMBOLS		LINETYPES	
●	Ex. iron pipe/rod or nail	-X-	Fence
■	Ex. concrete monument	-OU-	Overhead utility
●	New iron pipe	-W-	Water
●	Calculated point	-SS-	Sanitary sewer
⊙	Cable pedestal	-SD-	Storm drain
⊞	Telephone pedestal		
⊞	Electric pedestal		
⊞	Fiber-optic marker		
⊞	Traffic signal box		
⊞	Water meter		
⊞	Fire hydrant		
⊞	Valve (water or gas)		
⊞	Sanitary sewer manhole		
⊞	Sanitary sewer cleanout		
⊞	Storm curb inlet		
⊞	Drainage inlet (w/ grate)		
⊞	Storm drain manhole		
⊞	Utility pole		
⊞	Lamp post		
⊞	Signal pole		
⊞	Guy wire		
⊞	Sign post		

ABBREVIATIONS	
DB	Deed Book
PB or BM	Plat Book / Book of Maps
Pg.	Page
N/F	Now or formerly
SF	Square feet
Ac.	Acres
R/W	Right-of-way
NCSR	North Carolina State Route
NCDOT	North Carolina Dept. of Transportation
R/W	Right-of-way
Ex.	Existing
RCP	Reinforced concrete pipe
PVC	Polyvinyl chloride pipe
(M)	Measured
AG	Above ground
BG	Below ground



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

Surveyor:
Newcomb Land Surveyors, PLLC
 7008 Harps Mill Rd., Suite 105
 Raleigh, NC 27615
 919-847-1800 (o)
 Contact: Justin L. Luther, PLS
 justin@nls-nc.com

PROFESSIONAL'S SEAL
 PROFESSIONAL ENGINEER SEAL NOT AFFIXED TO SHEET AS ENGINEER DOES NOT CERTIFY INFORMATION PROVIDED BY OTHERS

NOT FOR CONSTRUCTION

TRAILWOOD APARTMENTS - RALEIGH, NC

EXISTING CONDITIONS

2019 S. Fidelity Avenue
Fayetteville, NC 27808
T: (919) 862-0848
F: (919) 862-0843

REVISIONS

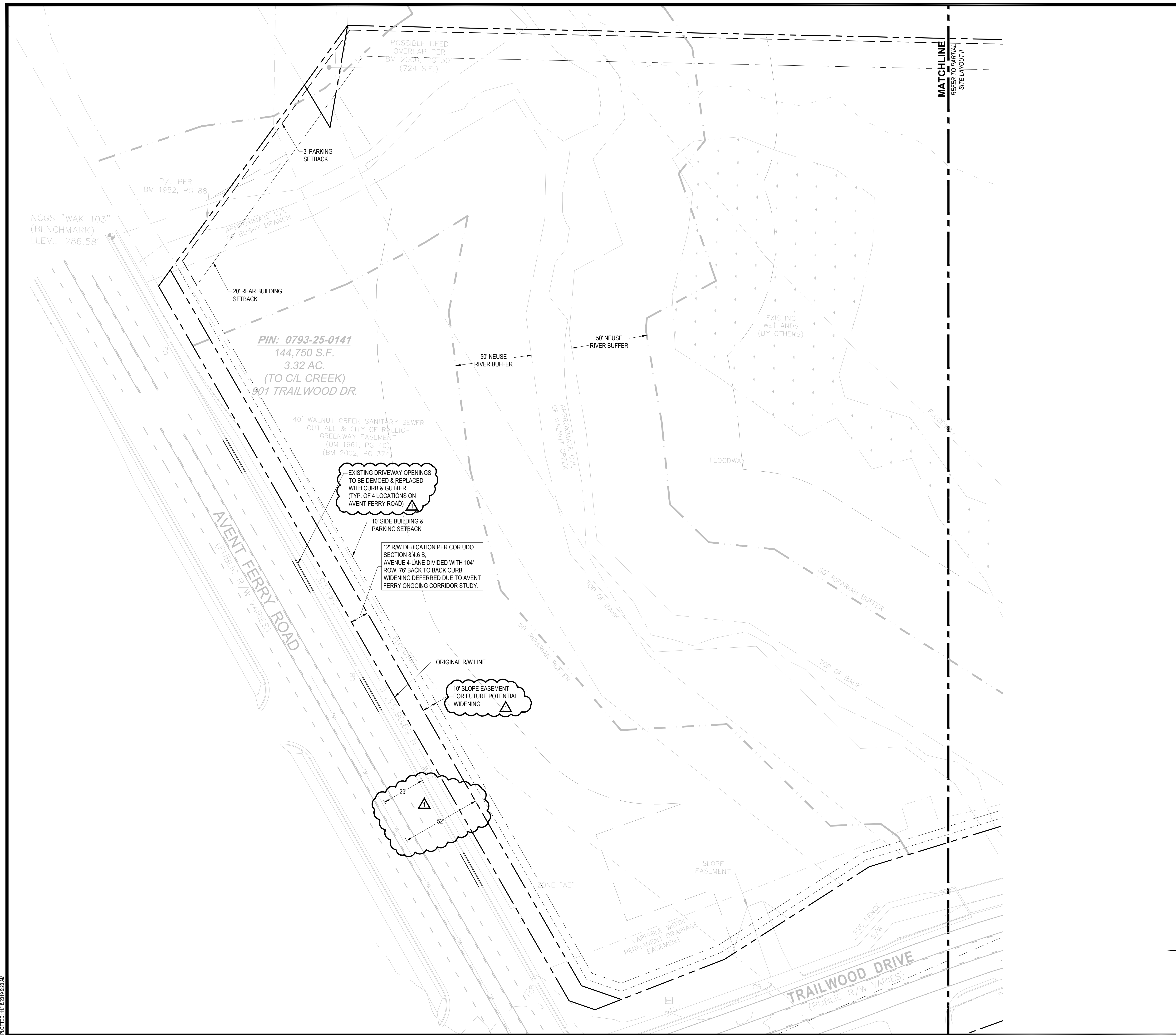
DATE:	08/2019	HORIZ SCALE:	1" = 50'
FILE NO.:	2018040	CONS. SHEET SIZE:	24 X 36

Curry
ENGINEERING

C-02

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 PLOTTED: 11/13/2018 9:22 AM

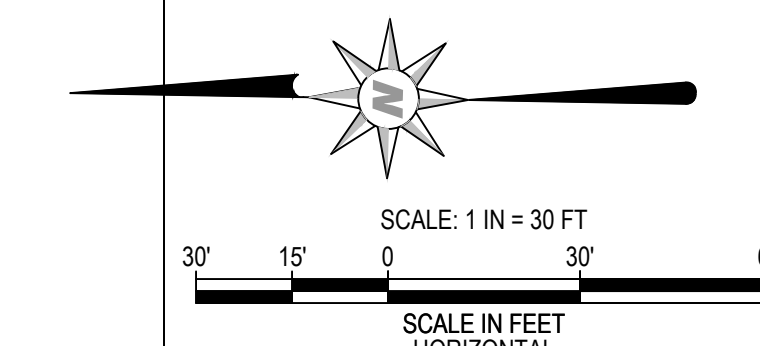


GENERAL NOTES:

- BEFORE YOU DIG, STOP, CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
- ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
- ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
- TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
- CLUSTER BOX UNIT SHALL COMPLY WITH ICC A117.1-2009 FOR HEIGHT, REACH AND OPERATION REQUIREMENTS. ADA ACCESSIBILITY SHALL BE PROVIDED.
- ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS

SITE LEGEND

	CONC. CURB & GUTTER
	MINIMUM BUILDING SETBACK LINE
	PARKING SETBACK LINE
	CONCRETE SIDEWALK / HEAVY-DUTY CONCRETE PAVEMENT
	WHEELSTOP
	HANDICAP PARK
	WHEELCHAIR RAMP
	SIGNAGE
	SITE LIGHTING
	HEAVY-DUTY ASPHALT PAVEMENT
	BUILDING FOOTPRINT



NOT FOR CONSTRUCTION

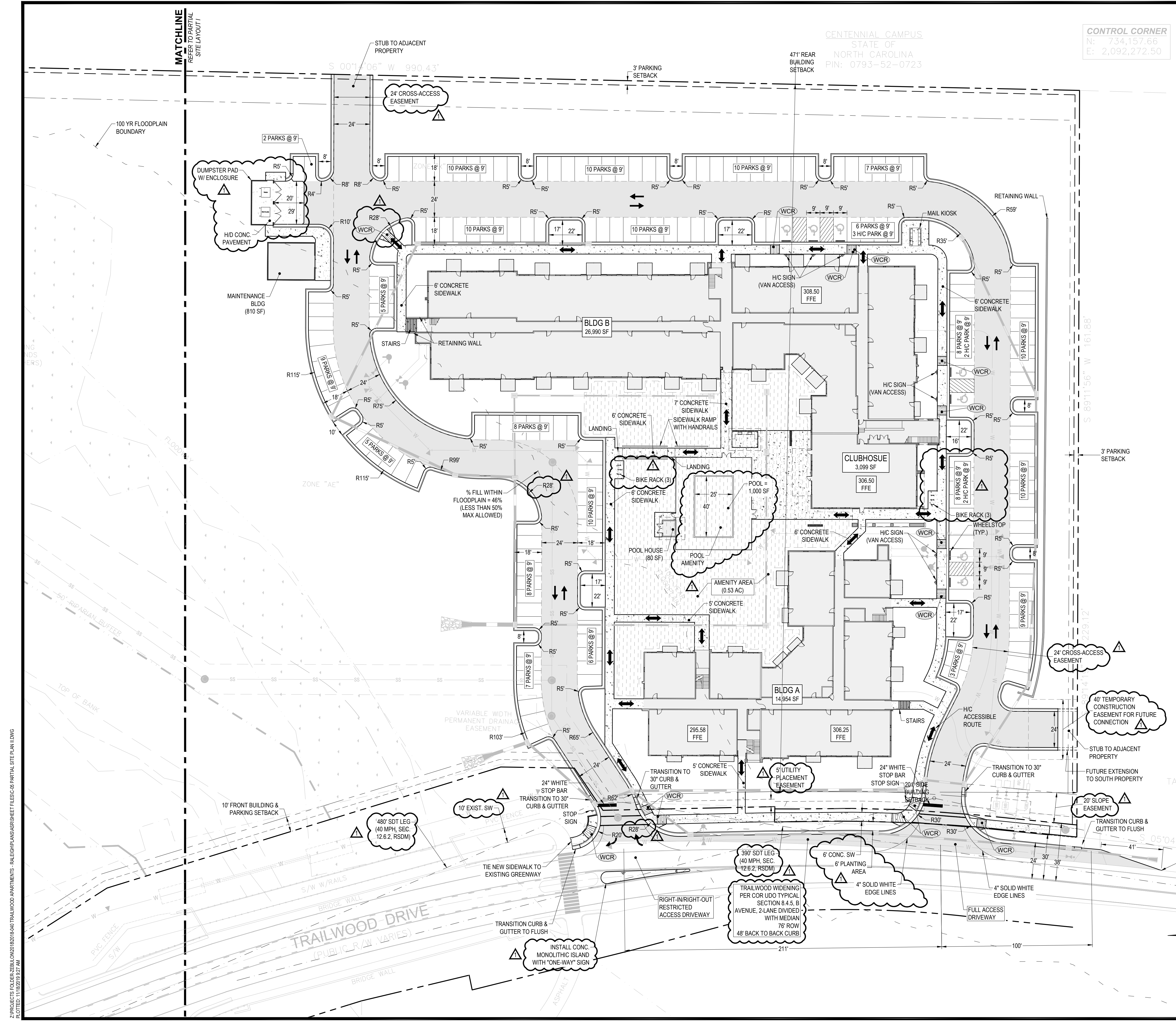
PROFESSIONAL'S SEAL

REVISIONS	DATE	FILE NO.
1	11/13/2018	2018-040
DATE	08/2019	
FILE NO.	2018-040	
SCALE	1" = 30'	
SHEET SIZE	24" x 36"	

TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL SITE PLAN I

2018 S. Fidelity Avenue
 Raleigh, NC 27608
 T: (919) 852-0840
 F: (919) 852-0843



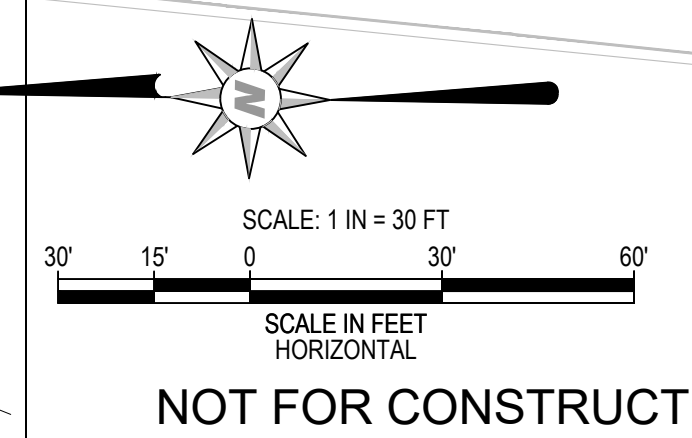


- GENERAL NOTES:**
- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
 - ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
 - PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
 - IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
 - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
 - ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
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 - CLUSTER BOX UNIT SHALL COMPLY WITH ICC A117.1-2009 FOR HEIGHT, REACH AND OPERATION REQUIREMENTS. ADA ACCESSIBILITY SHALL BE PROVIDED.
 - ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS.
 - WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
 - RESIDENTIAL INFILL REQUIREMENTS (REF. COR UDO 2.2.7) DO NOT APPLY TO THIS SITE SINCE THE ACREAGE IS GREATER THAN THE 5 AC MINIMUM.
 - RFPE ELEVATION = 292 (290 BASE FLOOD ELEV. + 2). PROVIDED FFE (LOWEST PROPOSED ELEV. = 295.83).

SITE LEGEND

	CONC. CURB & GUTTER
	MINIMUM BUILDING SETBACK LINE
	PARKING SETBACK LINE
	UTILITY EASEMENT
	CONCRETE SIDEWALK / HEAVY-DUTY CONCRETE PAVEMENT
	WHEELSTOP
	HANDICAP PARK
	WHEELCHAIR RAMP
	SIGNAGE
	SITE LIGHTING
	HEAVY-DUTY ASPHALT PAVEMENT
	BUILDING FOOTPRINT
	OUTDOOR AMENITY AREA
	HIC ACCESSIBLE ROUTE

MICHAEL HAL &
TAMMY STAFFORD KUIPERS
DB 17255, PG 1
BM 1954, PG 21
PIN: 0793-24-0026



NOT FOR CONSTRUCTION

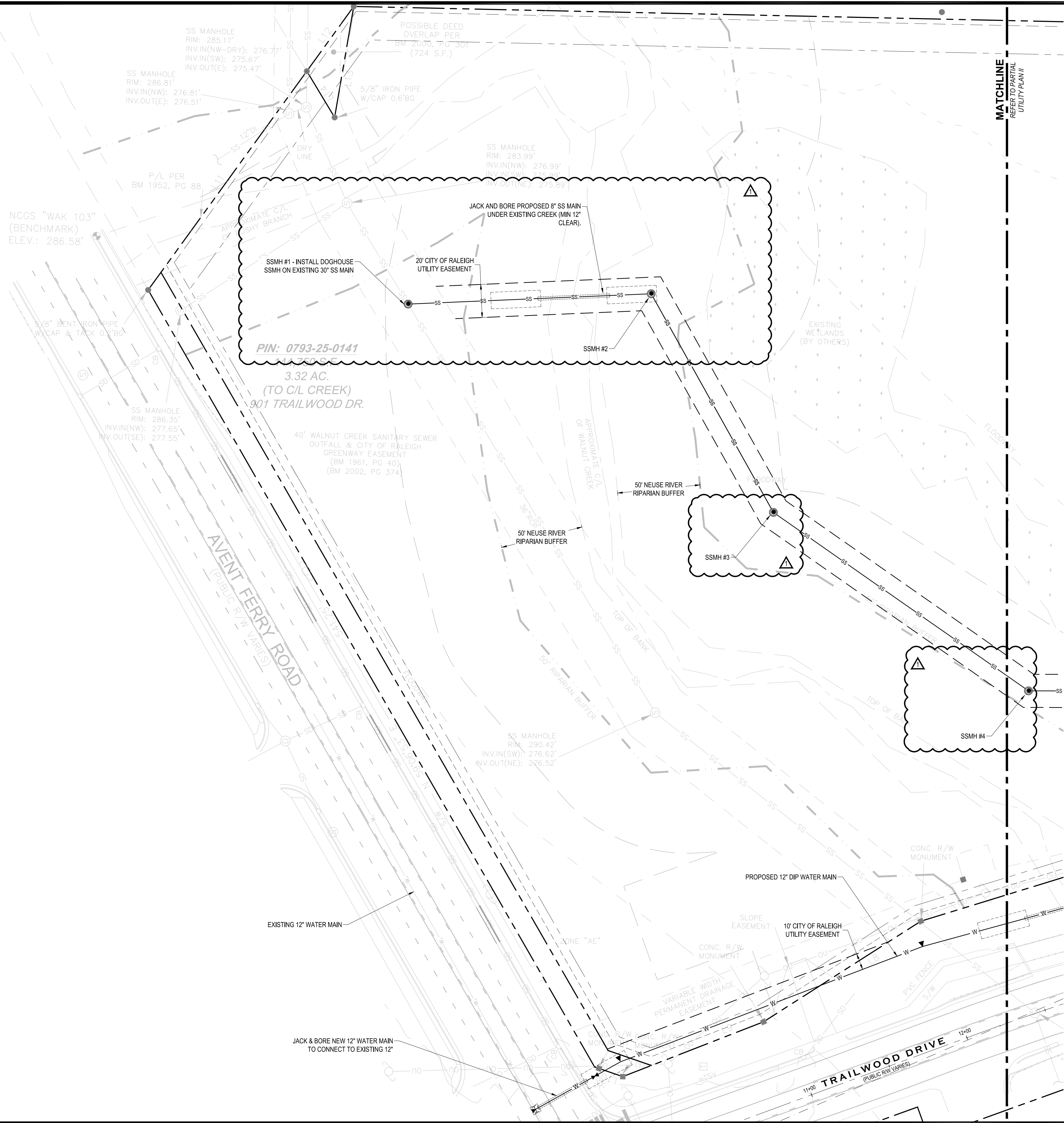
TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL SITE PLAN II

2015, Fayette Avenue
Fayetteville, NC 27308
T: (910) 862-8848
F: (910) 862-8843



P:\PROJECTS\2015\150816-00 TRAILWOOD APARTMENTS - RALEIGH\PLANS\DRWG SHEET FILES\06 PARTIAL SITE PLAN II.DWG
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 PLOTTED: 11/23/2018 9:20 AM



MATCHLINE
 REFER TO PARTIAL
 UTILITY PLAN II

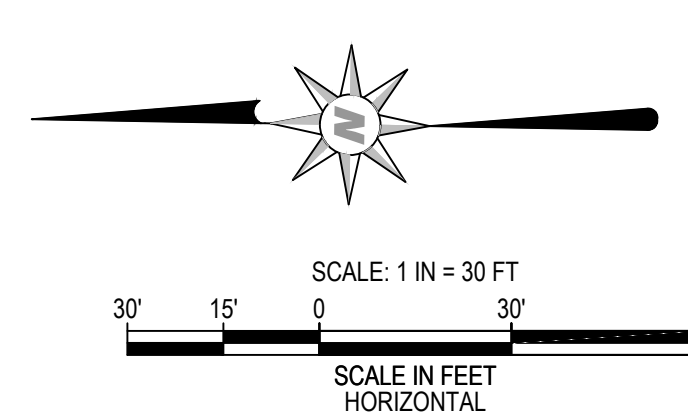
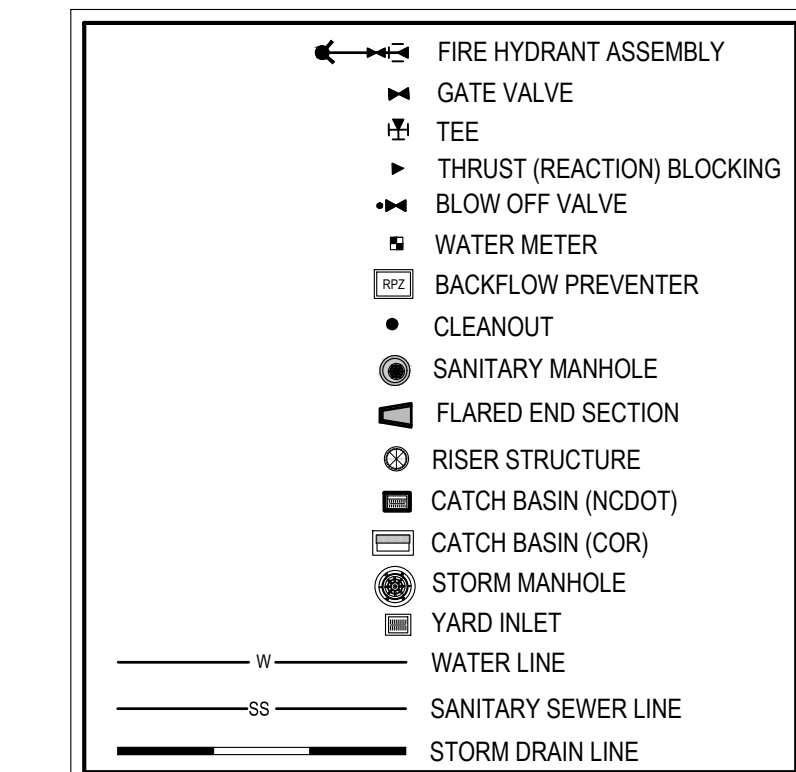
CITY OF RALEIGH PUBLIC UTILITIES NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- MAINTAIN APPROPRIATE COVER & SEPARATION ON UTILITIES. UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - 5' 0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
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- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3' 0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4' 0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
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- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
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- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION
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GENERAL NOTES:

- PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
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LEGEND



NOT FOR CONSTRUCTION

TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL UTILITY PLAN I

208 S. Fayette Avenue
 Fayetteville, NC 27808
 T: (919) 962-0448
 F: (919) 962-0440



REVISIONS	DATE	DESCRIPTION
1	11/23/2018	ISSUE FOR PERMITS

DATE: 08/2019
 FILE NO.: 2018040
 WORK SCALE: 1" = 30'
 CROSS SHEET SIZE: 24 X 36

OLD 5/8" IRON PIPE W/CAP & TACK 4.2' EAST OF P/L
 OLD BROKEN CONC. MONUMENT FOUND 2.2' WEST OF P/L
 S 00°14'06" W 990.43'

CENTENNIAL CAMPUS
 STATE OF NORTH CAROLINA
 PIN: 0793-52-0723

CONTROL CORNER
 N: 734,157.66
 E: 2,092,272.50
 1" SOLID IRON PIPE IN ROCK BASE

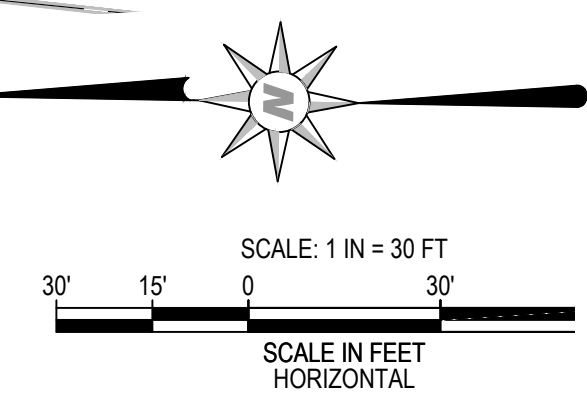
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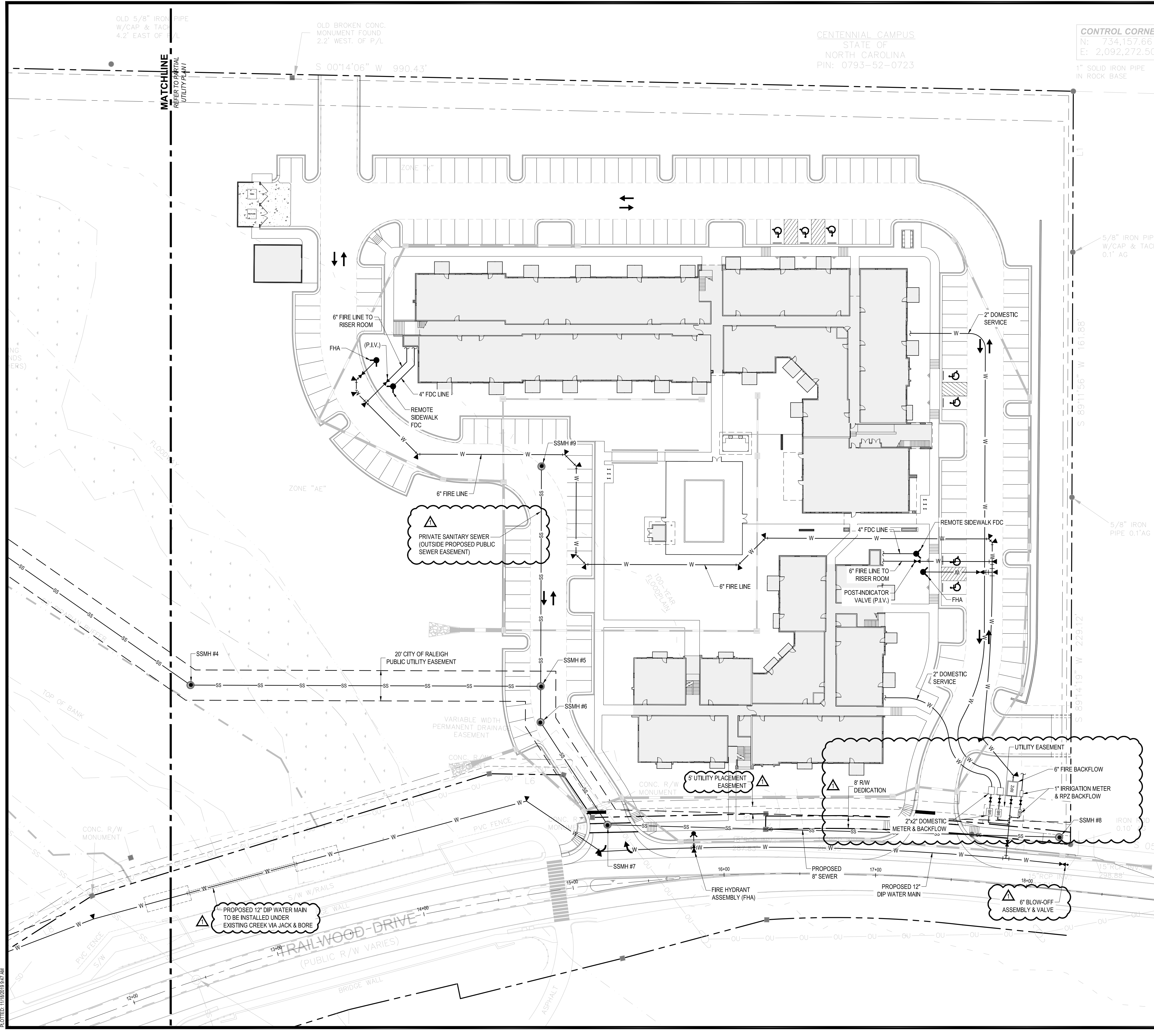
LEGEND

- FIRE HYDRANT ASSEMBLY
- GATE VALVE
- TEE
- THRUST (REACTION) BLOCKING
- BLOW OFF VALVE
- WATER METER
- BACKFLOW PREVENTER
- CLEANOUT
- SANITARY MANHOLE
- FLARED END SECTION
- RISER STRUCTURE
- CATCH BASIN (NCDOT)
- CATCH BASIN (COR)
- STORM MANHOLE
- YARD INLET
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE

MICHAEL HAL &
 TAMMY STAFFORD KUIPERS
 DB 17255, PG 1
 BM 1954, PG 21
 PIN: 0793-24-0026



NOT FOR CONSTRUCT

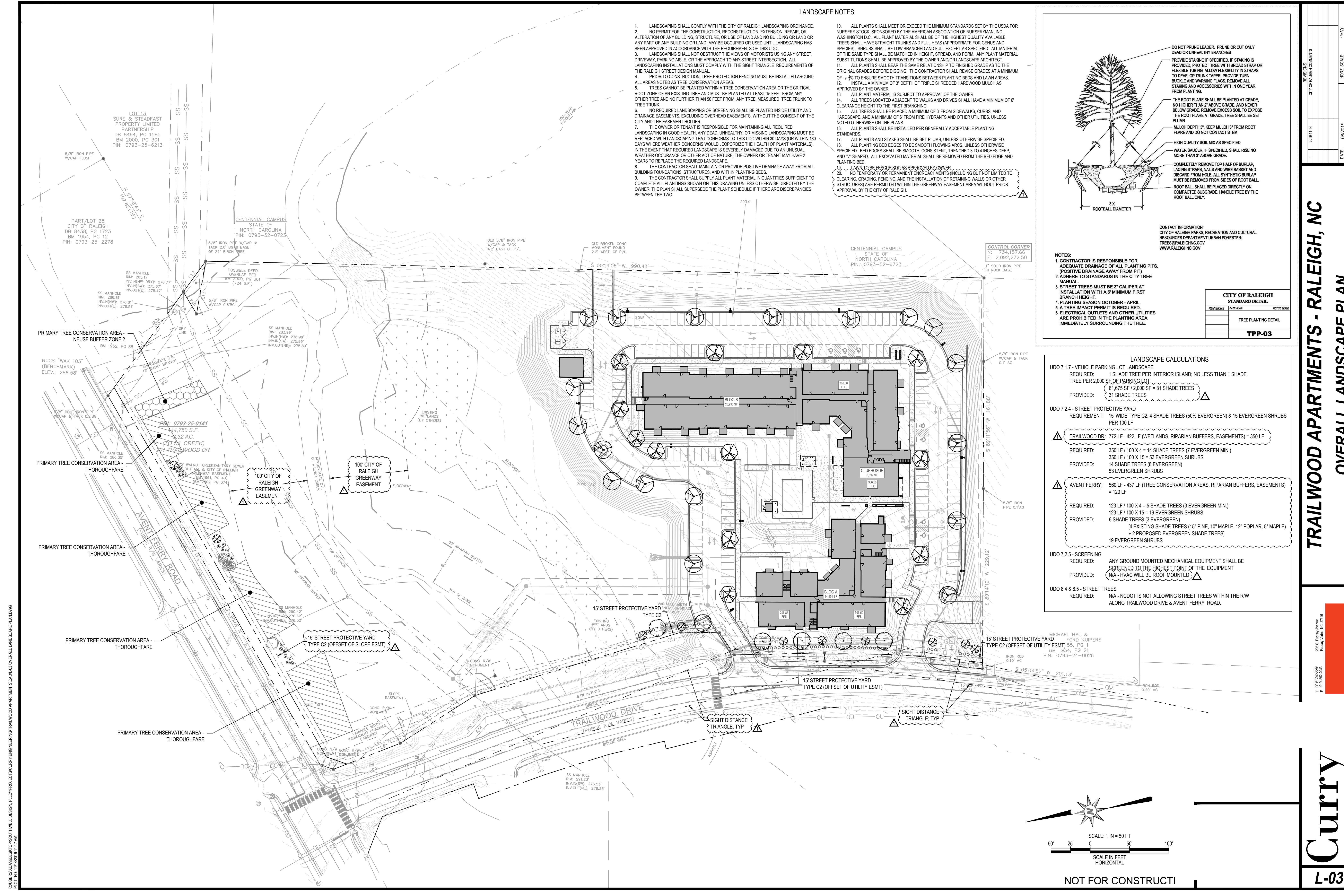


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TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL UTILITY PLAN II

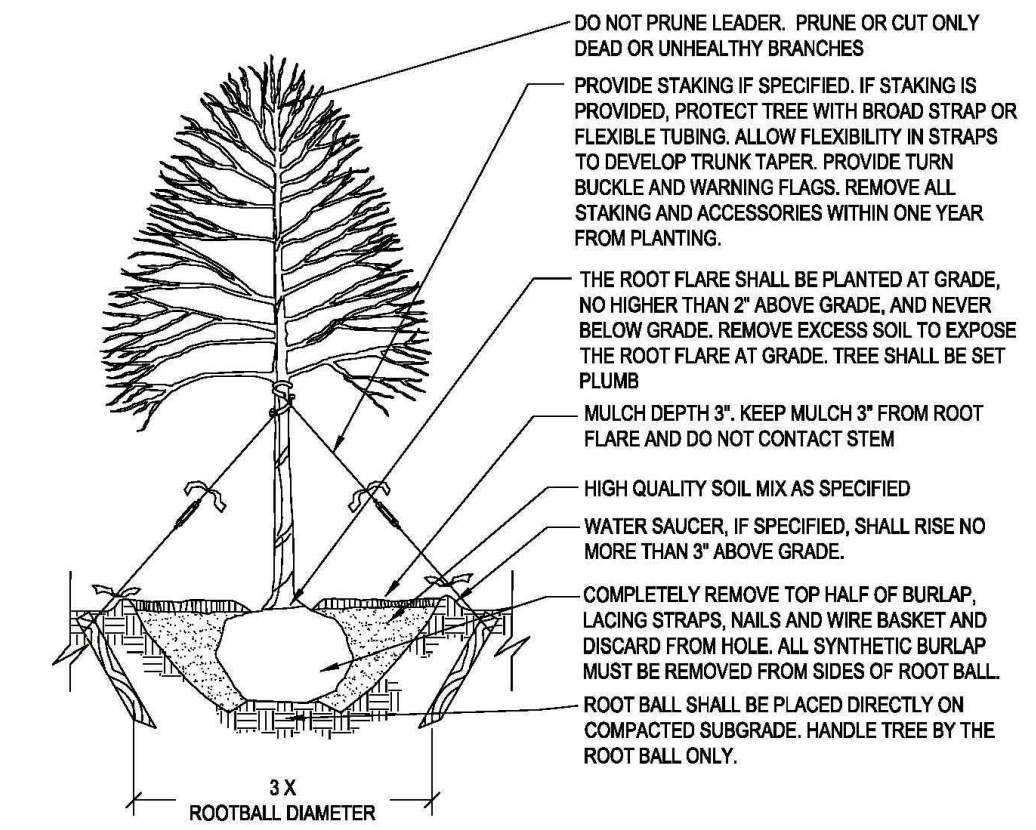
208 S. Fayette Avenue
 Fayetteville, NC 27808
 T: (919) 862-0848
 F: (919) 862-0840





LANDSCAPE NOTES

- LANDSCAPING SHALL COMPLY WITH THE CITY OF RALEIGH LANDSCAPING ORDINANCE.
- NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR, OR ALTERATION OF ANY BUILDING, STRUCTURE, OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS UDO.
- LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLE, OR THE APPROACH TO ANY STREET INTERSECTION. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
- PRIOR TO CONSTRUCTION, TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL AREAS NOTED AS TREE CONSERVATION AREAS.
- TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15 FEET FROM ANY OTHER TREE AND NO FURTHER THAN 50 FEET FROM ANY TREE, MEASURED TREE TRUNK TO TREE TRUNK.
- NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
- THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH, ANY DEAD, UNHEALTHY, OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THIS UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPING IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN OR PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND WITHIN PLANTING BEDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING UNLESS OTHERWISE DIRECTED BY THE OWNER. THE PLAN SHALL SUPERSEDE THE PLANT SCHEDULE IF THERE ARE DISCREPANCIES BETWEEN THE TWO.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE USDA FOR NURSERY STOCK, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, INC., WASHINGTON D.C. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AVAILABLE. TREES SHALL HAVE STRAIGHT TRUNKS AND FULL HEAVY (APPROPRIATE FOR GENUS AND SPECIES), SHRUBS SHALL BE LOW BRANCHED AND FULL EXCEPT AS SPECIFIED. ALL MATERIAL OF THE SAME TYPE SHALL BE MATCHED IN HEIGHT, SPREAD, AND FORM. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADES BEFORE DIGGING. THE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM OF +/- 1% TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- INSTALL A MINIMUM OF 3" DEPTH OF TRIPLE SHREDDED HARDWOOD MULCH AS APPROVED BY THE OWNER.
- ALL PLANT MATERIAL IS SUBJECT TO APPROVAL OF THE OWNER.
- ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM OF 6' CLEARANCE HEIGHT TO THE FIRST BRANCHING.
- ALL TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS, CURBS, AND HARDSCAPE, AND A MINIMUM OF 6' FROM FIRE HYDRANTS AND OTHER UTILITIES, UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL PLANTS SHALL BE INSTALLED PER GENERALLY ACCEPTABLE PLANTING STANDARDS.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE SPECIFIED.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS, UNLESS OTHERWISE SPECIFIED. BED EDGES SHALL BE SMOOTH, CONSISTENT, TRENCHED 3 TO 4 INCHES DEEP, AND "V" SHAPED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
- LAWN TO BE FESCUE SOG AS APPROVED BY OWNER.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

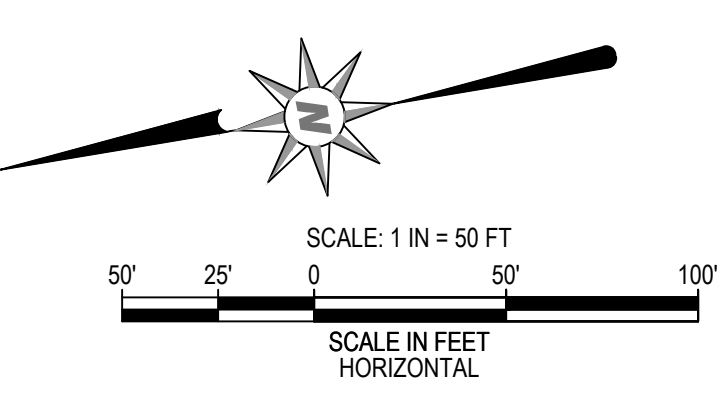


CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL
RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

- NOTES:
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
 - STREET TREES MUST BE 3" CALIBER AT INSTALLATION WITH A 5" MINIMUM FIRST BRANCH HEIGHT.
 - PLANTING SEASON OCTOBER - APRIL.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

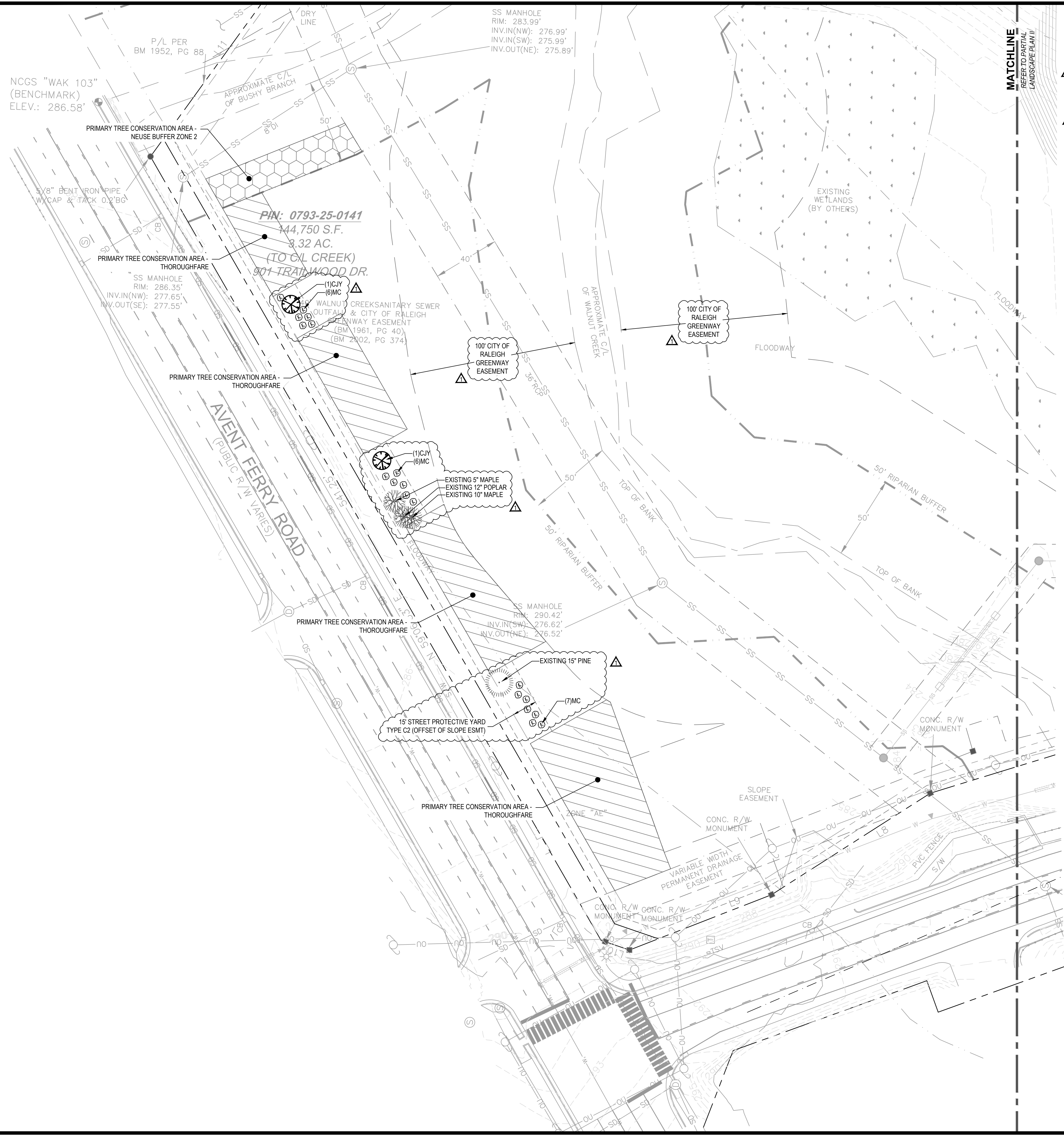
CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	NOT FOR SCALE
TREE PLANTING DETAIL		
TPP-03		

LANDSCAPE CALCULATIONS	
UDO 7.1.7 - VEHICLE PARKING LOT LANDSCAPE	
REQUIRED:	1 SHADE TREE PER INTERIOR ISLAND; NO LESS THAN 1 SHADE TREE PER 2,000 SF OF PARKING LOT
PROVIDED:	61,675 SF / 2,000 SF = 31 SHADE TREES
UDO 7.2.4 - STREET PROTECTIVE YARD	
REQUIREMENT:	15' WIDE TYPE C2; 4 SHADE TREES (50% EVERGREEN) & 15 EVERGREEN SHRUBS PER 100 LF
TRAILWOOD DR:	772 LF - 422 LF (WETLANDS, RIPARIAN BUFFERS, EASEMENTS) = 350 LF
REQUIRED:	350 LF / 100 X 4 = 14 SHADE TREES (7 EVERGREEN MIN.)
PROVIDED:	350 LF / 100 X 15 = 53 EVERGREEN SHRUBS
AVENT FERRY:	580 LF - 437 LF (TREE CONSERVATION AREAS, RIPARIAN BUFFERS, EASEMENTS) = 123 LF
REQUIRED:	123 LF / 100 X 4 = 5 SHADE TREES (3 EVERGREEN MIN.)
PROVIDED:	123 LF / 100 X 15 = 19 EVERGREEN SHRUBS
	[4 EXISTING SHADE TREES (15' PINE, 10' MAPLE, 12' POPLAR, 5' MAPLE) + 2 PROPOSED EVERGREEN SHADE TREES]
	19 EVERGREEN SHRUBS
UDO 7.2.5 - SCREENING	
REQUIRED:	ANY GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED TO THE HIGHEST POINT OF THE EQUIPMENT
PROVIDED:	N/A - HVAC WILL BE ROOF MOUNTED
UDO 8.4 & 8.5 - STREET TREES	
REQUIRED:	N/A - NCDOT IS NOT ALLOWING STREET TREES WITHIN THE RW ALONG TRAILWOOD DRIVE & AVENT FERRY ROAD.



NOT FOR CONSTRUCTION

CURRY ENGINEERING ARCHITECTURAL DESIGN, PLLC PROJECTS/CURRY ENGINEERING/TRAILWOOD APARTMENTS/CAD/LA PARTIAL LANDSCAPE PLAN 11.DWG
PLOT DATE: 11/14/2018 11:14 AM



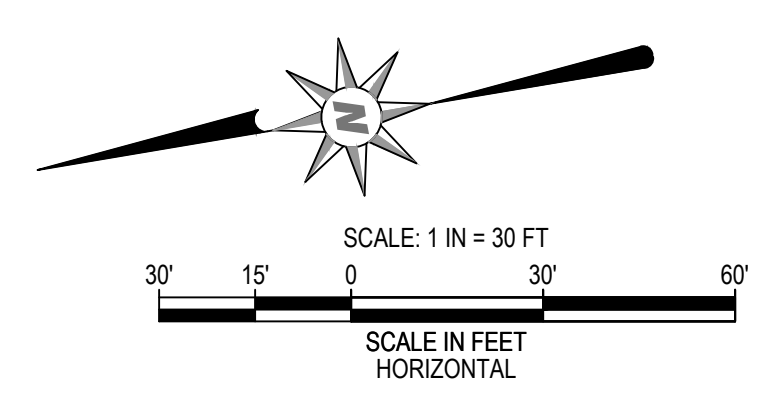
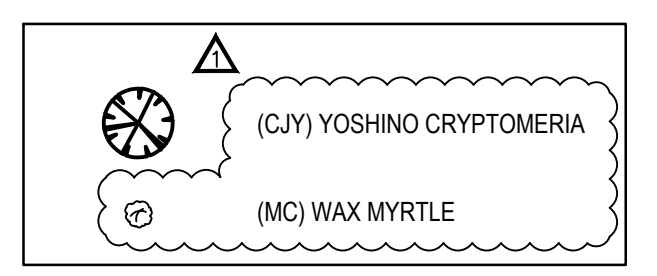
PLANT SCHEDULE									
TYPE	USE	QUANTITY			KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
		L-04	L-5	TOTAL					
TREES									
DCT	SPY	6	6	12	ARF	<i>Acer rubrum 'Franksred'</i>	Red Sunset® Red Maple	3" cal; 10' ht MIN	B&B
ECT	SPY	8	8	16	CJY	<i>Cryptomeria japonica 'Yoshino'</i>	Yoshino Cryptomeria	3" cal; 10' ht MIN	B&B
DCT	PARK	13	13	26	PC	<i>Pistacia chinensis</i>	Chinese Pistache	3" cal; 10' ht MIN	B&B
DCT	PARK	18	18	36	QN	<i>Quercus nuttallii</i>	Nuttall Oak	3" cal; 10' ht MIN	B&B
SHRUBS									
ES	SPY	53	53	106	ICN	<i>Ilex cornuta 'Needlepoint'</i>	Needlepoint Holly	36" ht MIN	Container
ES	SPY	19	19	38	MC	<i>Myrica cerifera</i>	Southern Wax Myrtle	36" ht MIN	Container

TYPE/USE LEGEND
 Plant Type: DCT = Deciduous Canopy Tree; ECT = Evergreen Canopy Tree; ES = Evergreen Shrub
 Plant Use: SPY = Street Protective Yard; PARK = Parking Lot Landscape

LANDSCAPE NOTES

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- NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR, OR ALTERATION OF ANY BUILDING, STRUCTURE, OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS UDC.
- LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLE, OR THE APPROACH TO ANY STREET INTERSECTION. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
- PRIOR TO CONSTRUCTION, TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL AREAS NOTED AS TREE CONSERVATION AREAS.
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LANDSCAPE LEGEND



NOT FOR CONSTRUCTION

TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL LANDSCAPE PLAN I

208 S. FAYETTE AVENUE
FAYETTEVILLE, NC 27803
T: (919) 562-0848
F: (919) 562-0843



DATE:	08/20/18
FILE NO.:	2018-040
DATE:	08/20/18
FILE NO.:	2018-040
DATE:	08/20/18
FILE NO.:	2018-040

OLD 5/8" IRON PIPE W/CAP & TACK 4.2' EAST OF

OLD BROKEN CONC. MONUMENT FOUND 2.2' WEST. OF P/L

CENTENNIAL CAMPUS
STATE OF NORTH CAROLINA
PIN: 0793-52-0723

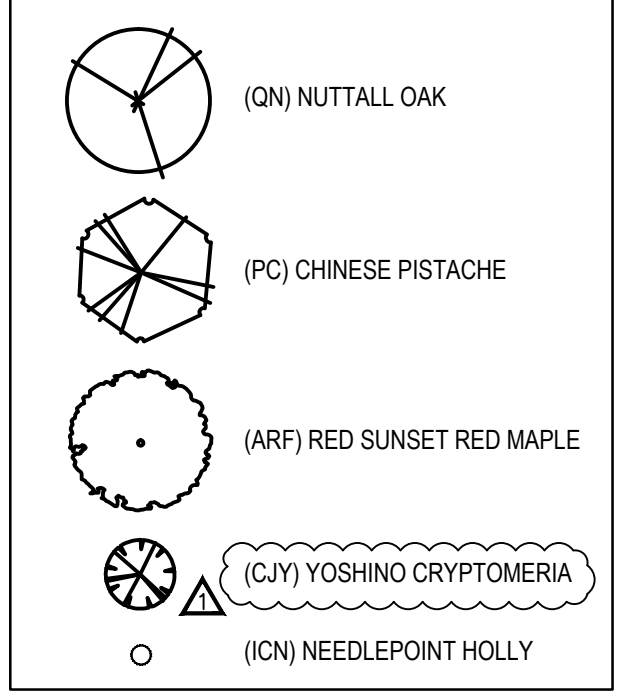
PLANT SCHEDULE									
TYPE	USE	QUANTITY			KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
		L-04	L-5	TOTAL					
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ECT	SPY	2	8	10	CJY	Cryptomeria japonica 'Yoshino'	Yoshino Cryptomeria	3" cal, 10' ht MIN	B&B
DCT	PARK	13	13	26	PC	Pistacia chinensis	Chinese Pistache	3" cal, 10' ht MIN	B&B
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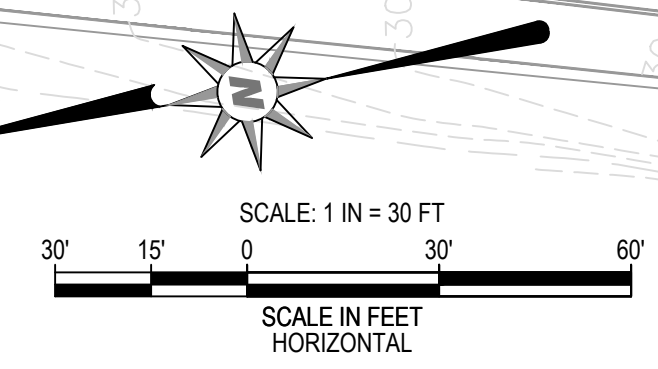
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LANDSCAPE LEGEND



MICHAEL HAL &
TAMMY STAFFORD KUIPERS
DB 17255, PG 1
BM 1954, PG 21
PIN: 0793-24-0026



NOT FOR CONSTRUCTION

CLIENTS: RANDECK/STAFFORD KUIPERS ENGINEERING/ TRAILWOOD APARTMENTS/ CURRY PARTIAL LANDSCAPE PLANTING
DESIGNER: MICHAEL HAL & TAMMY STAFFORD KUIPERS
DATE: 08/2019
FILE NO.: 2018-040

**TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL LANDSCAPE PLAN II**

208 S. Hargett Avenue
Furnitureville, NC 27626
T: (919) 552-0848
F: (919) 552-0243

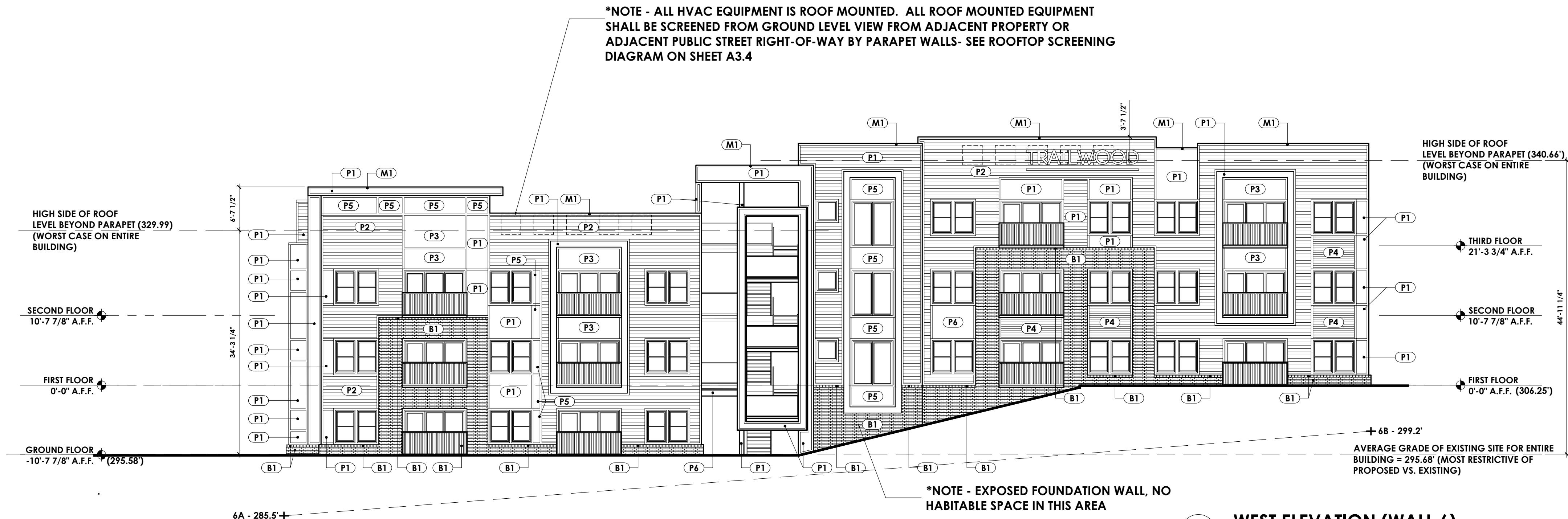
Curry
ENGINEERING
L-05

MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZED

ELEVATION NOTES

1. DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
2. PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).



1 WEST ELEVATION (WALL 6)
Scale: 3/32" = 1'-0"

Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

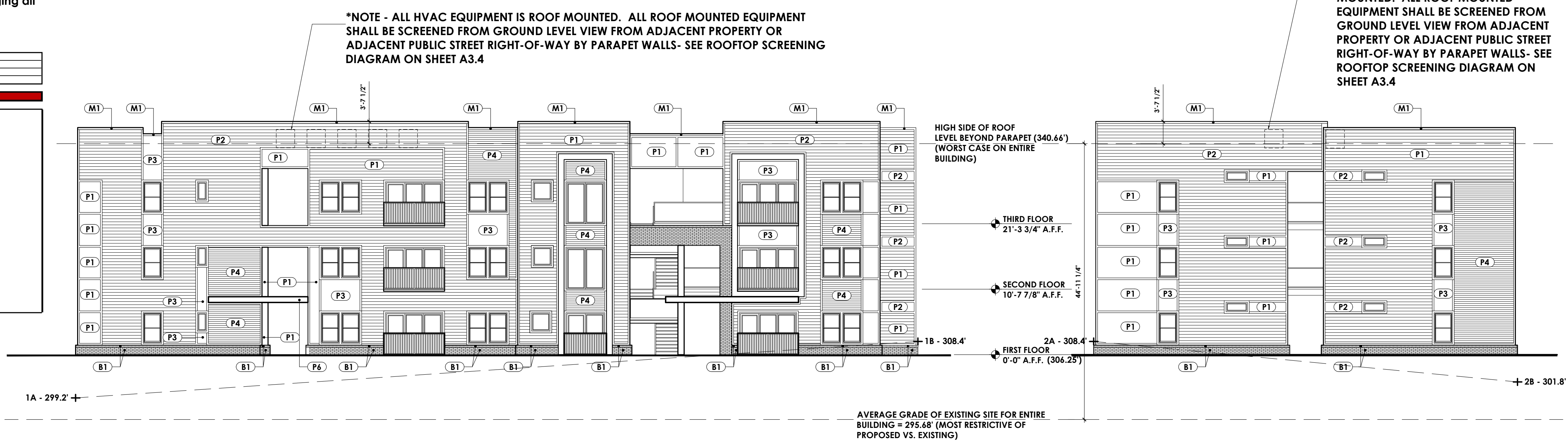
Project Data		No.	Date	Revisions	Description
Project #	2018-040				
Project Name	Trailwood Apartments				
Date	01/17/2019				

Average Grade Calculation					
Building A	Existing Elevations		Proposed Elevations		Average
	Exist. Elevation "0"	Exist. Elevation "1"	Prop. Elevation "0"	Prop. Elevation "1"	
Wall 1	298.10	307.50	302.80	305.75	305.75
Wall 2	307.50	299.50	303.25	305.75	305.75
Wall 3	299.00	297.00	298.00	306.00	300.75
Wall 4	294.10	287.70	290.90	295.33	295.33
Wall 5	297.70	286.25	286.98	295.33	295.33
Wall 6	286.25	298.10	292.18	295.33	300.54
Average - Building A					295.68

Use Most Restrictive Elevation (compare exist. vs. proposed) 295.68
 Maximum Allowable Building Height (UDO 2.2.4) 45
 Maximum Allowable Building Elevation 340.68

Building	FFE	Proposed Bldg Ht	Proposed Bldg Elev. (Top of Roof)
Building A1	308.25	34.41	340.66
Building A2	295.58	34.41	329.99

Are Building A Elevations Under the Max Allowable Elevation? YES



2 SOUTH ELEVATION (WALL 1)
Scale: 3/32" = 1'-0"

3 EAST END ELEVATION (WALL 2)
Scale: 3/32" = 1'-0"

Trailwood Apartments
Building A
Raleigh, NC

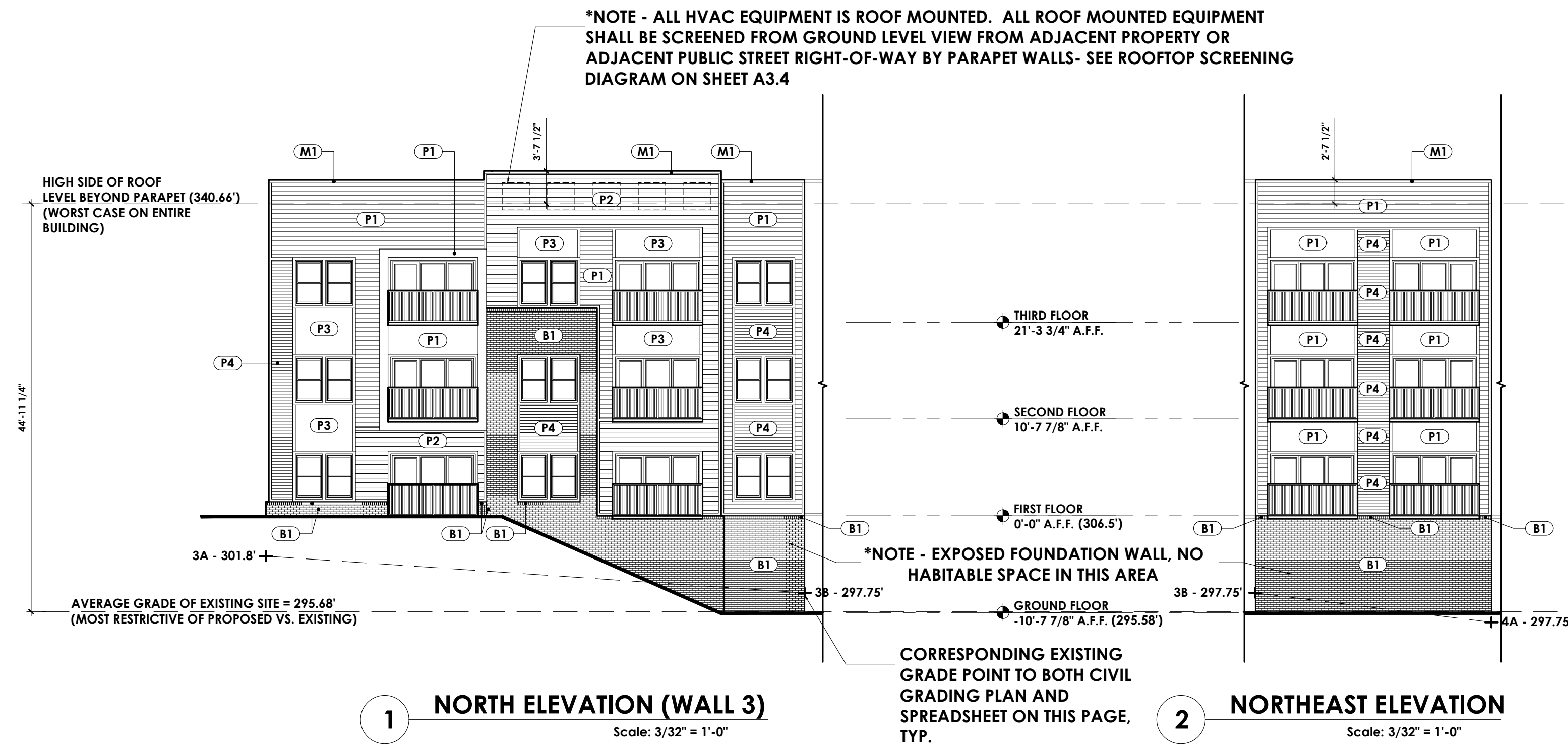
REVISIONS

No.	Date	Description

PROJECT: 1811
DATE: 09/23/19
DRAWN BY: KEL
CHECKED BY: JDL

Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING					
Project Data		Revisions			
Project #	2018-040	No.	Date	Description	
Project Name	Trailwood Apartments				
Date	9/17/2019				
Average Grade Calculation					
Building A	Existing Elevations		Proposed Elevations		
	Exist. Elevation "a"	Exist. Elevation "b"	Average	Prop. Elevation "a"	Prop. Elevation "b"
Wall 1	298.10	307.50	302.80	305.75	305.75
Wall 2	307.50	299.00	303.25	305.75	305.75
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Average - Building A			295.68		300.58
Use Most Restrictive Elevation (compare exist. vs. proposed) 295.68					
Maximum Allowable Building Height (UDO 2.2.4) 45					
Maximum Allowable Building Elevation 340.68					
	Building	FFE	Proposed Bldg Ht. Proposed Bldg. Elev. (Top of Roof)		
	Building A1	308.25	34.41	340.66	
	Building A2	295.56	34.41	329.99	
Are Building A Elevations Under the Max Allowable Elevation? YES					

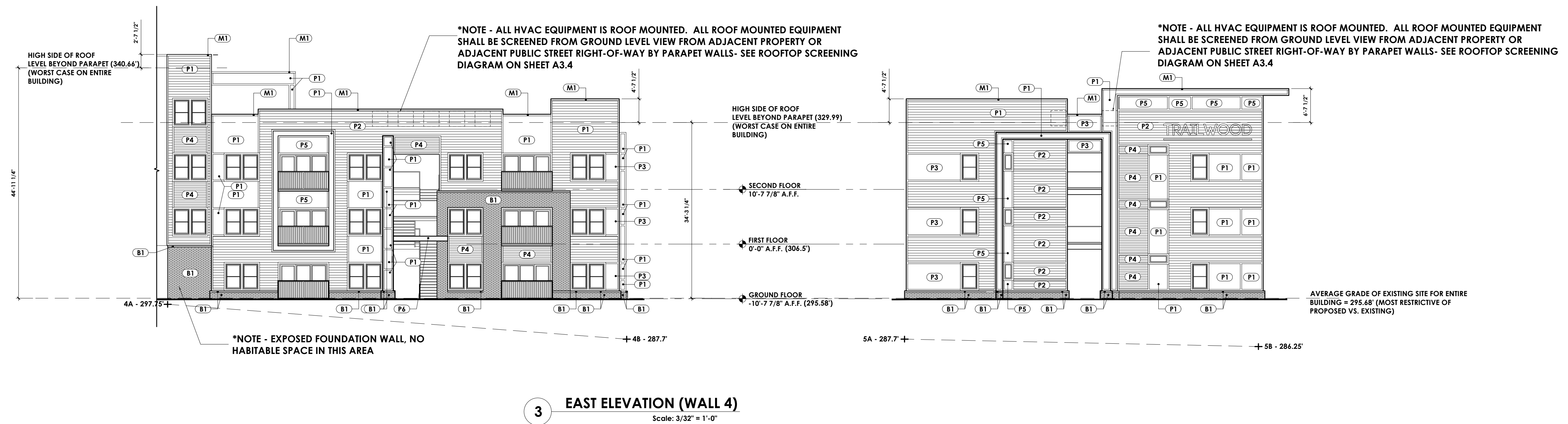


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ELEVATION NOTES

1. DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
2. PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL CEMENTITIOUS TRIM TO BE PAINTED P1 [WHITE].



Trailwood Apartments
Building A
Raleigh, NC

REVISIONS

No.	Date	Description

PROJECT: 1811
DATE: 09/23/19
DRAWN BY: KEL
CHECKED BY: JDL

EXTERIOR
ELEVATIONS
BLDG A

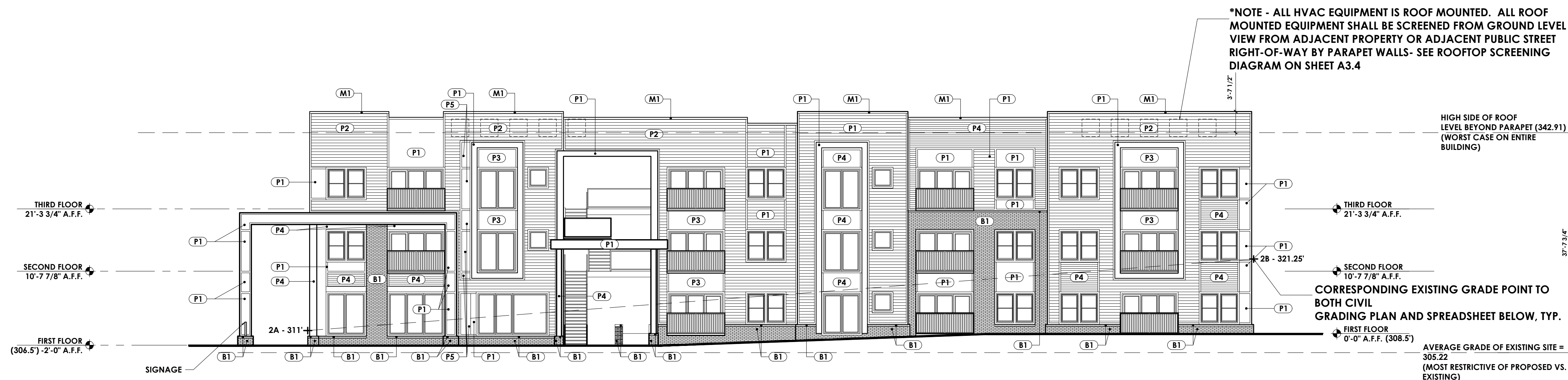
A3.1

MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

ELEVATION NOTES

1. DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
2. PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).



1 SOUTH ELEVATION (WALL 2)
Scale: 3/32" = 1'-0"

Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

Project #	Project Date	No	Date	Revisions	Description
2018-040	Trailwood Apartments				
9/17/2019					

Average Grade Calculation						
Building B	Existing Elevations			Proposed Elevations		
	Exist. Elevation "a"	Exist. Elevation "b"	Average	Prop. Elevation "a"	Prop. Elevation "b"	Average
Wall 1	303.5	311	307.25	308	308	308.00
Wall 2	311	321.25	316.13	308	308	307.00
Wall 3	321.25	298.5	309.88	308	308	308.00
Wall 4	298.5	289.0	293.75	308	308	308.00
Wall 5	289.0	307.9	298.45	308	308	308.00
Wall 6	308.2	303.5	305.85	308	308	308.00
Average - Building B			305.22			307.50

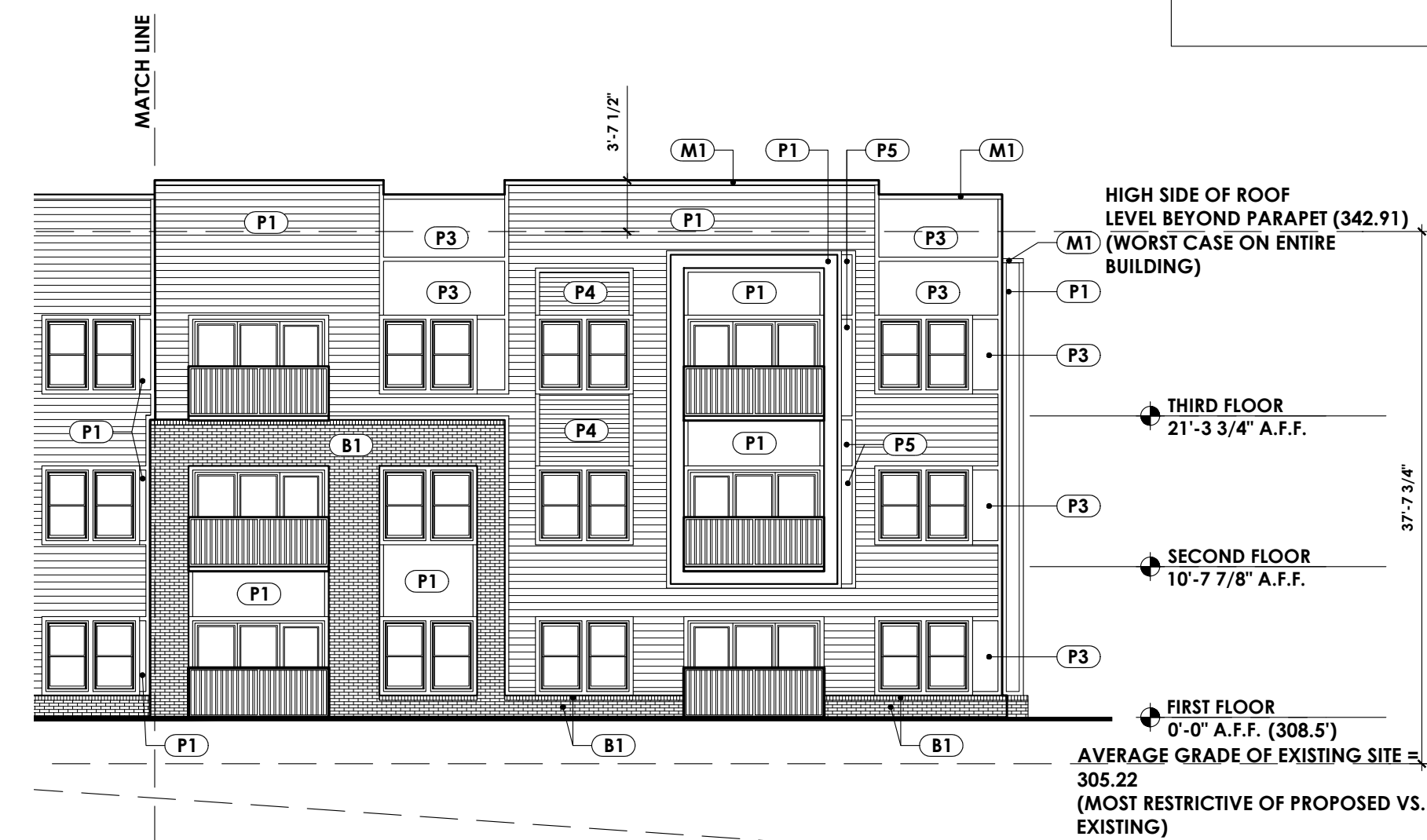
Use Most Restrictive Elevation (compare exist. vs. proposed) **305.22 MORE RESTRICTIVE**

Maximum Allowable Building Height (UDO 2.2.4) 45

Maximum Allowable Building Elevation 350.22

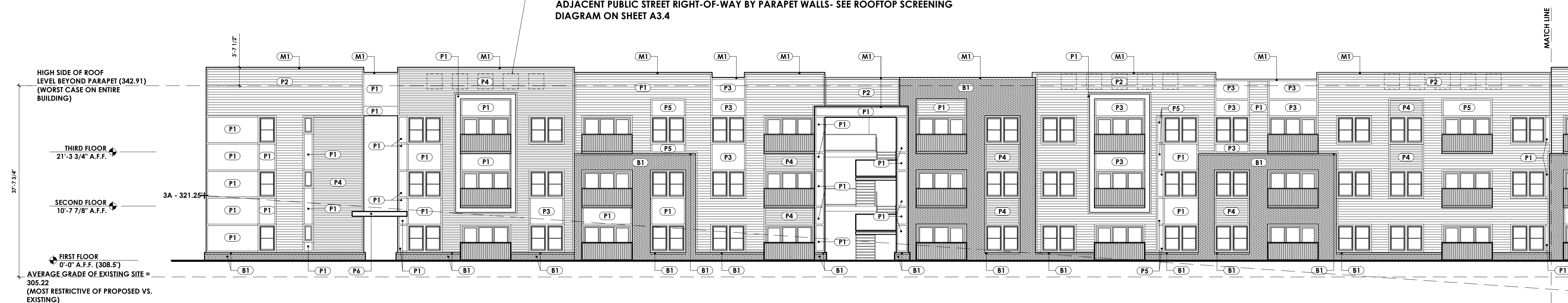
Building	FFE	Proposed Bldg Ht. Proposed Bldg. Elev. (Top of Roof)
Building B1	308.5	342.91
Building B2	308.5	342.91

Are Building B Elevations Under the Max Allowable Elevation? **YES**



2 PARTIAL EAST ELEVATION (WALL 3)
Scale: 3/32" = 1'-0"

*NOTE - ALL HVAC EQUIPMENT IS ROOF MOUNTED. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY OR ADJACENT PUBLIC STREET RIGHT-OF-WAY BY PARAPET WALLS- SEE ROOFTOP SCREENING DIAGRAM ON SHEET A3.4



3 PARTIAL EAST ELEVATION (WALL 3)
Scale: 3/32" = 1'-0"

Trailwood Apartments
Building B
Raleigh, NC

REVISIONS

No.	Description

PROJECT: 1811
DATE: 09/23/19
DRAWN BY: KEL
CHECKED BY: JDL

EXTERIOR
ELEVATIONS
BLDG B
A3.2

Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

Project Data		Revisions	
Project #	Date	No	Description
2018-040	Trailwood Apartments		
9/17/2019			

Average Grade Calculation						
Building	Existing Elevations		Proposed Elevations			
	Exist. Elevation "a"	Exist. Elevation "b"	Average	Prop. Elevation "a"	Prop. Elevation "b"	Average
Wall 1	303.5	311	307.25	306	306	306.00
Wall 2	311	321.25	316.13	306	308	307.00
Wall 3	321.25	298.5	309.88	308	308	308.00
Wall 4	298.5	289.0	293.75	308	308	308.00
Wall 5	289.0	307.9	298.45	308	308	308.00
Wall 6	308.2	303.5	305.85	308	308	308.00
Average - Building B			305.22			307.50

Use Most Restrictive Elevation (compare exist. vs. proposed) **305.22 MORE RESTRICTIVE**

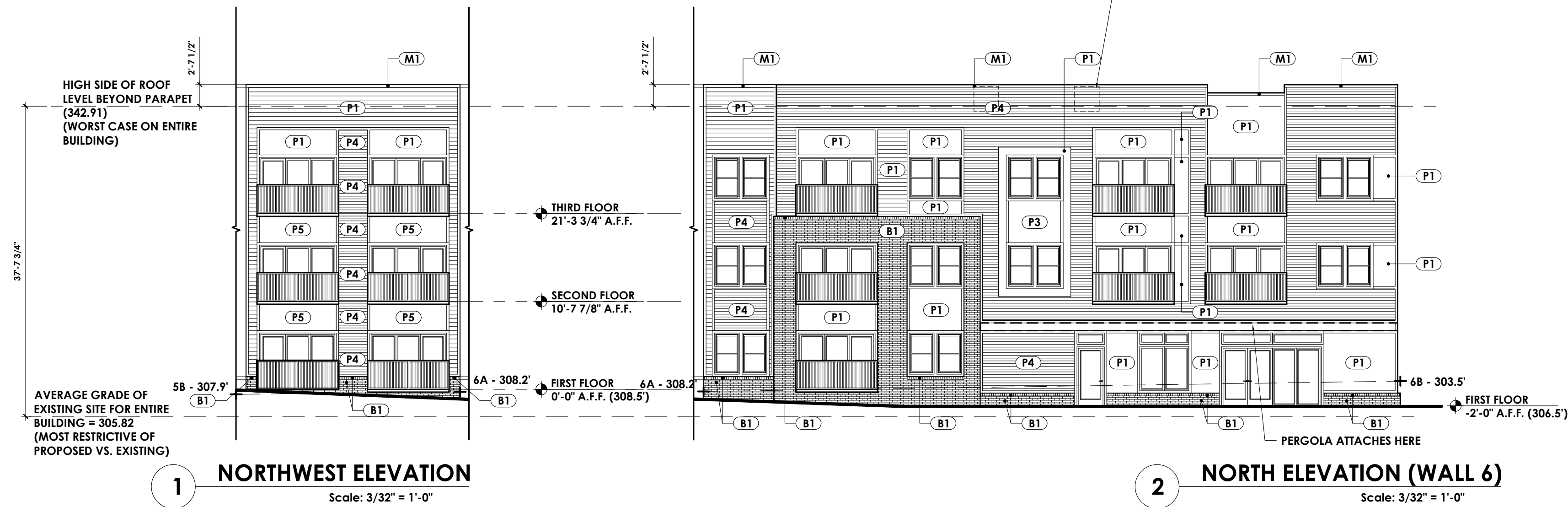
Maximum Allowable Building Height (UDO 2.2.4) 45

Maximum Allowable Building Elevation 350.22

Building	FFE	Proposed Bldg Ht. Proposed Bldg. Elev. (Top of Roof)
Building B1	306.5	36.41 342.91
Building B2	306.5	34.41 342.91

Are Building B Elevations Under the Max Allowable Elevation? YES

*NOTE - ALL HVAC EQUIPMENT IS ROOF MOUNTED. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY OR ADJACENT PUBLIC STREET RIGHT-OF-WAY BY PARAPET WALLS - SEE ROOFTOP SCREENING DIAGRAM ON SHEET A3.4

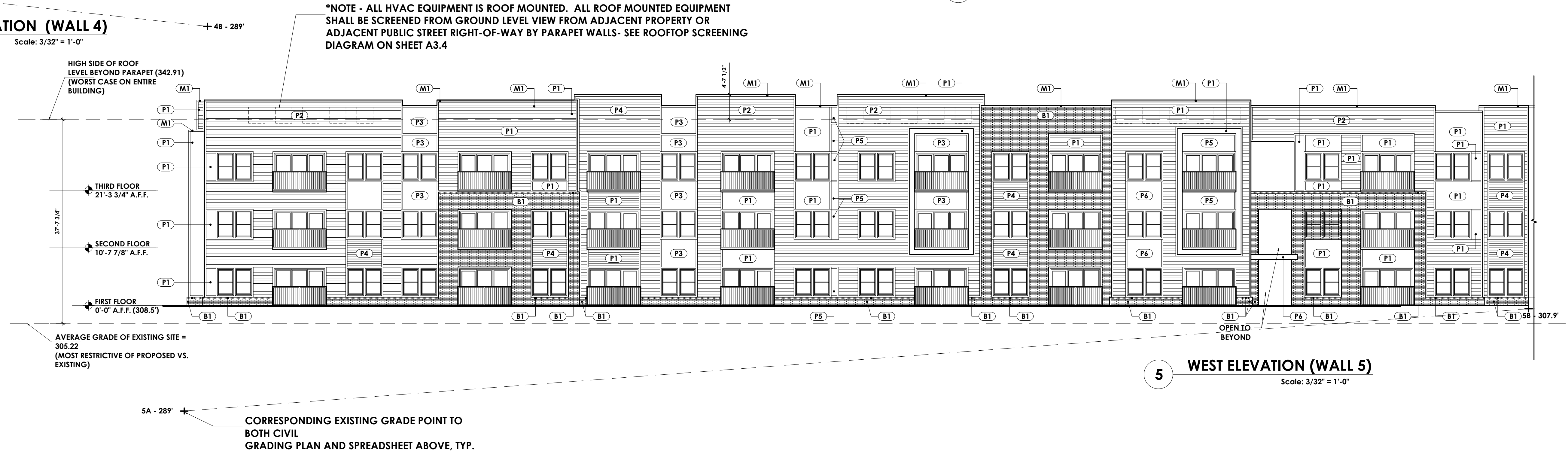
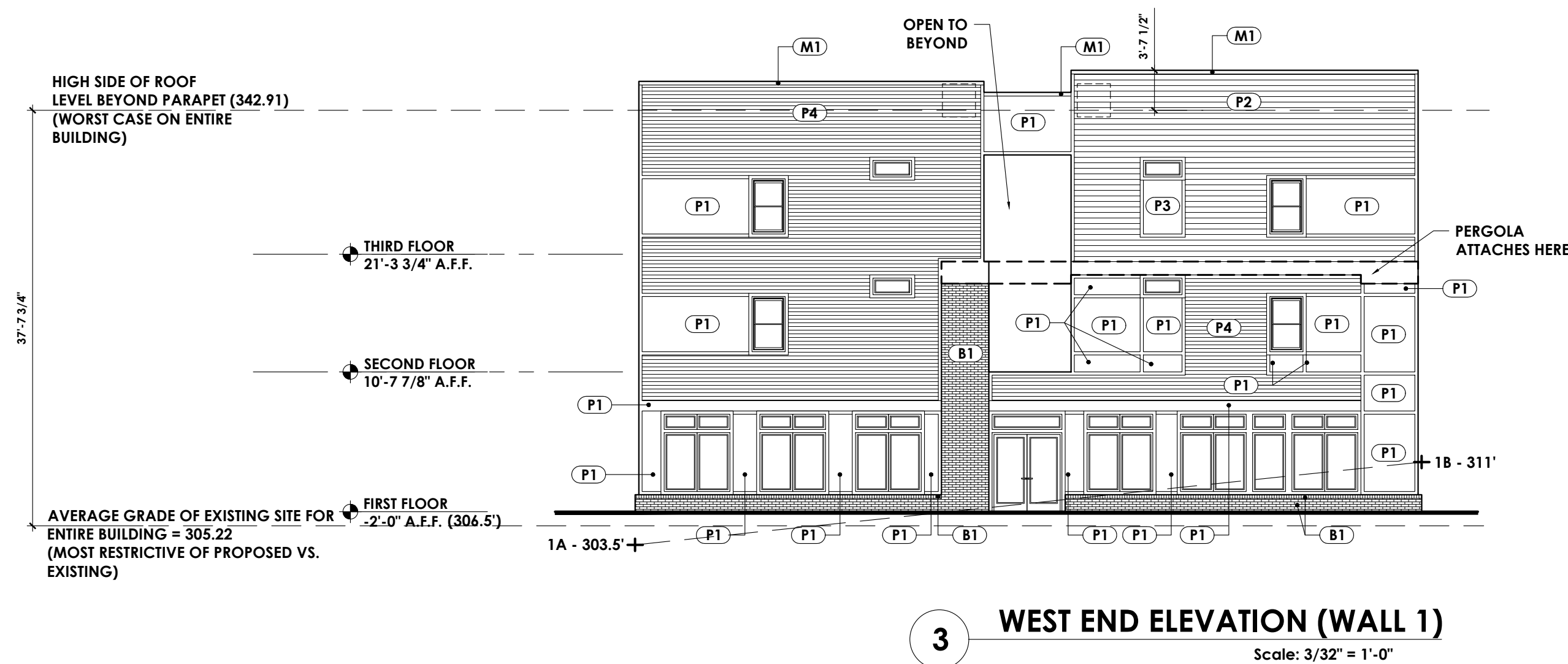
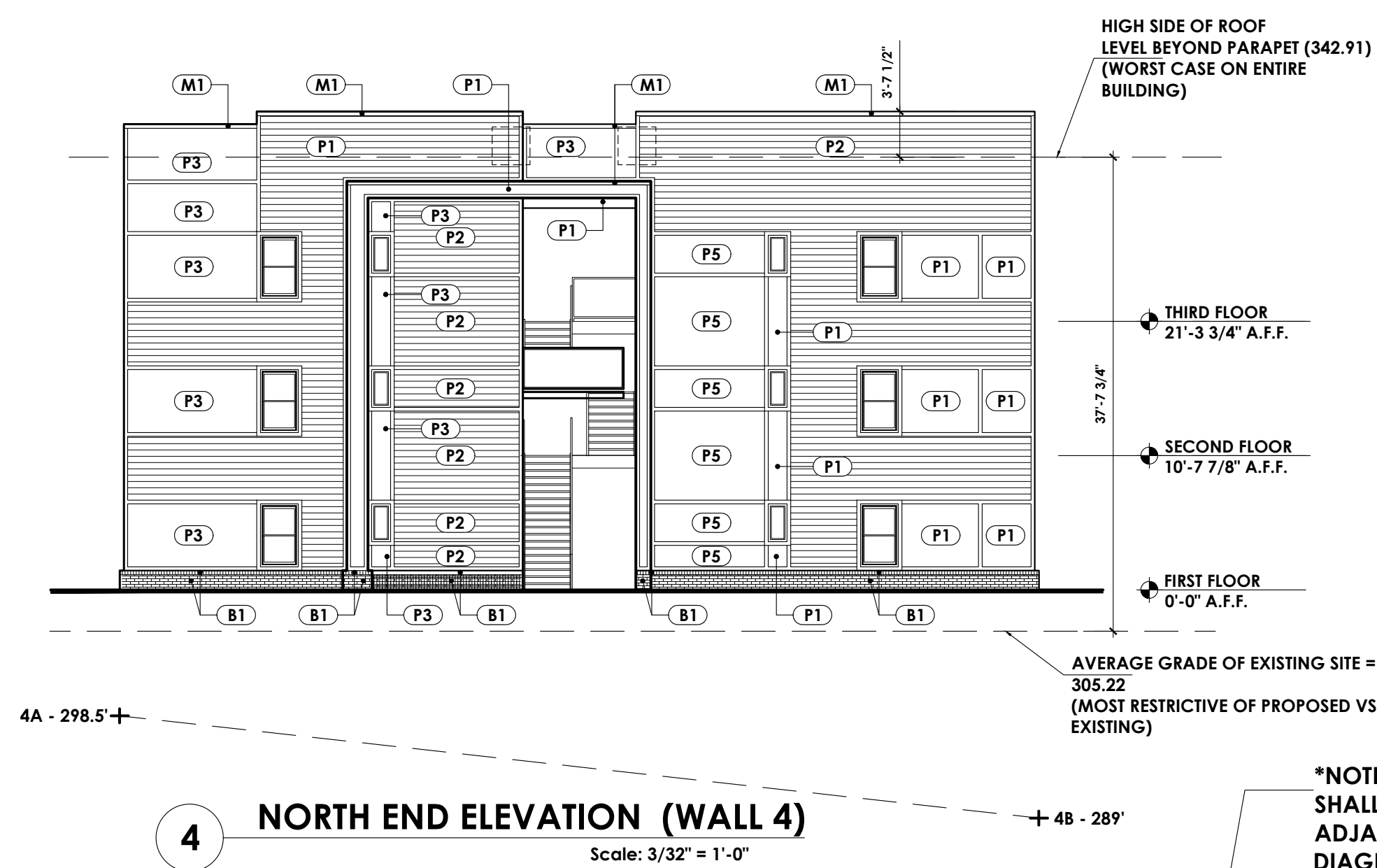


MATERIAL LEGEND

- B1 BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1 PAINT - WHITE
- P2 PAINT - GRAY
- P3 PAINT - BEIGE
- P4 PAINT - BROWN
- P5 PAINT - RUST
- P6 PAINT - BLACK
- M1 METAL COPING - WHITE
- M2 METAL COPING - BLACK
- A1 FABRIC AWNING - BURGUNDY
- AS1 ALUMINUM STOREFRONT - WHITE ANODIZED

ELEVATION NOTES

1. DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
2. PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).



Finley Design PA
7806 nc hwy 751
Suite 110
Durham, NC 27713
919-493-8200
FINLEYDESIGNARCH.COM

Trailwood Apartments
Building B
Raleigh, NC

REVISIONS

No.	Description

PROJECT: 1811
DATE: 09/23/19
DRAWN BY: KEL
CHECKED BY: JDL

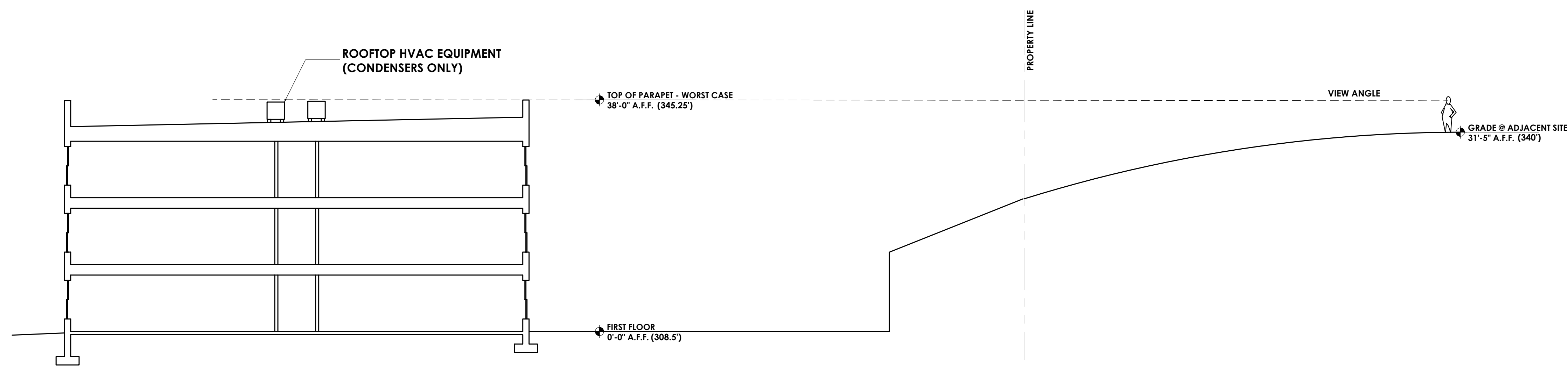
EXTERIOR ELEVATIONS
BLDG B
A3.3

MATERIAL LEGEND

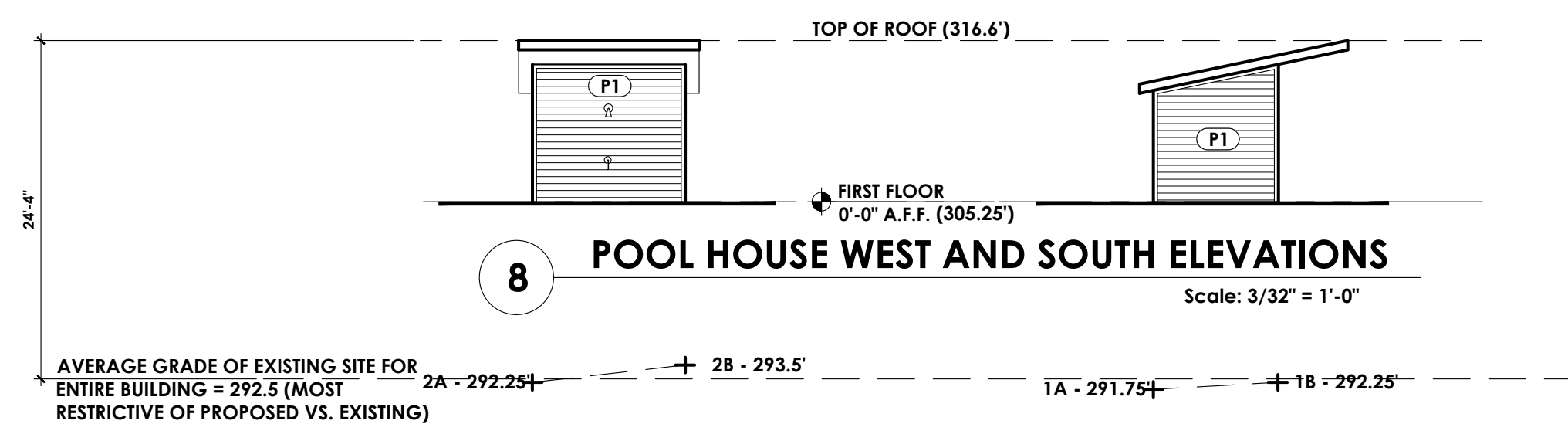
- B1** BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
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- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

ELEVATION NOTES

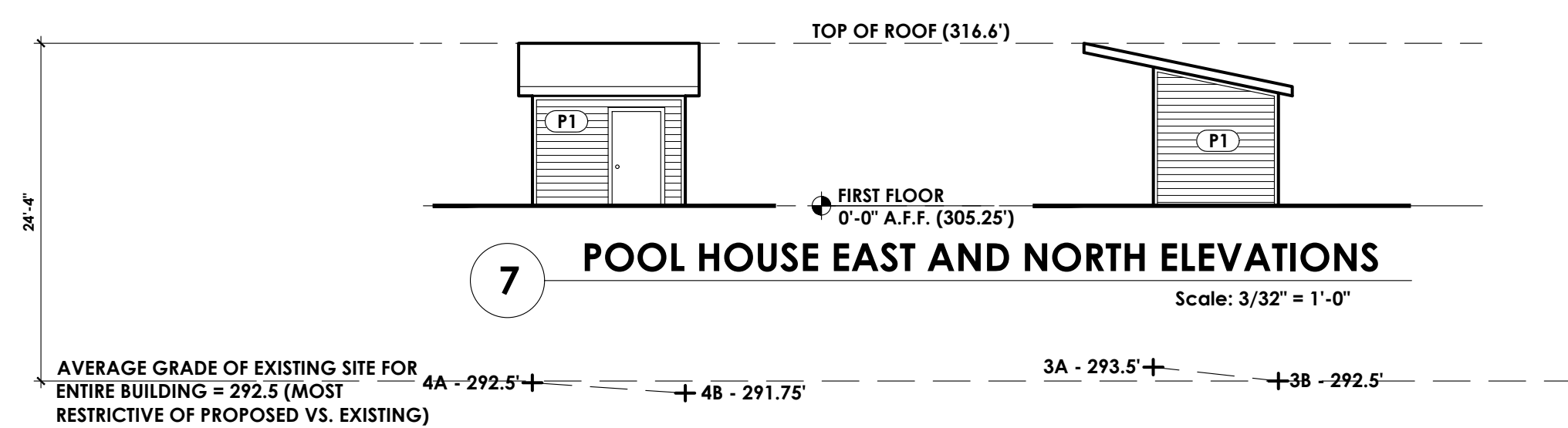
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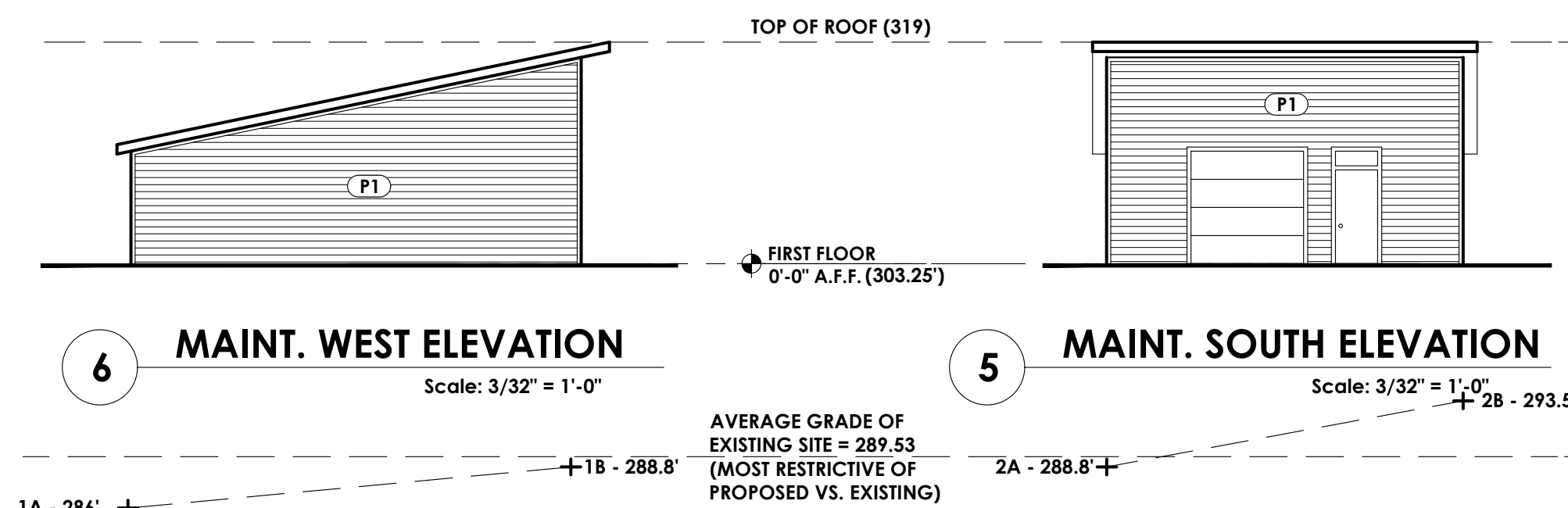
9 ROOFTOP EQUIPMENT SCREENING DIAGRAM
Scale: 3/32" = 1'-0"



8 POOL HOUSE WEST AND SOUTH ELEVATIONS
Scale: 3/32" = 1'-0"

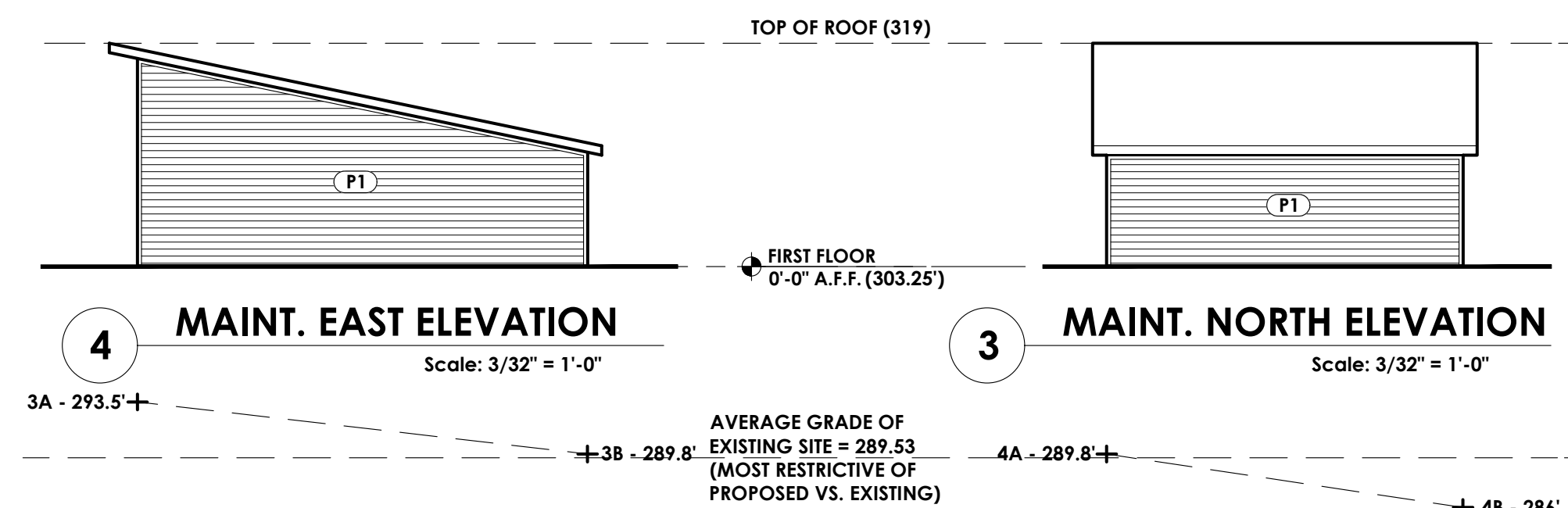


7 POOL HOUSE EAST AND NORTH ELEVATIONS
Scale: 3/32" = 1'-0"



6 MAINT. WEST ELEVATION
Scale: 3/32" = 1'-0"

5 MAINT. SOUTH ELEVATION
Scale: 3/32" = 1'-0"



4 MAINT. EAST ELEVATION
Scale: 3/32" = 1'-0"

3 MAINT. NORTH ELEVATION
Scale: 3/32" = 1'-0"

Project Data		Revisions	
Project #	2019-040	No	Date
Project Name	Trailwood Apartments	Description	
Date	9/17/2019		

Average Grade Calculation

Pool Bldg.	Existing Elevations			Proposed Elevations		
	Exist. Elevation "a"	Exist. Elevation "b"	Average	Prop. Elevation "a"	Prop. Elevation "b"	Average
Wall 1	291.75	292.25	292.00	305	305	305.00
Wall 2	292.25	293.50	292.88	305	305	305.00
Wall 3	293.5	292.50	293.00	305	305	305.00
Wall 4	292.50	291.75	292.13	305	305	305.00
Average - Pool Bldg.			292.50			305.00
Use Most Restrictive Elevation (compare exist. vs. proposed)			289.53			MORE RESTRICTIVE
Maximum Allowable Building Height (UDO 2.2.4)			45			
Maximum Allowable Building Elevation			337.50			
Building	FFE	Proposed Bldg Ht.	Proposed Bldg. Elev. (Top of Roof)			
Pool Bldg	305.25	15	320.25			
Are Pool Bldg. Elevations Under the Max Allowable Elevation? YES						

Project Data		Revisions	
Project #	2019-040	No	Date
Project Name	Trailwood Apartments	Description	
Date	9/17/2019		

Average Grade Calculation

Maint. Bldg.	Existing Elevations			Proposed Elevations		
	Exist. Elevation "a"	Exist. Elevation "b"	Average	Prop. Elevation "a"	Prop. Elevation "b"	Average
Wall 1	286.00	288.80	287.40	303	303	303.00
Wall 2	288.00	293.50	291.15	303	303	303.00
Wall 3	293.5	289.80	291.65	303	303	303.00
Wall 4	288.8	286.00	287.90	303	303	303.00
Average - Maint. Bldg.			289.53			303.00
Use Most Restrictive Elevation (compare exist. vs. proposed)			289.53			MORE RESTRICTIVE
Maximum Allowable Building Height (UDO 2.2.4)			45			
Maximum Allowable Building Elevation			334.53			
Building	FFE	Proposed Bldg Ht.	Proposed Bldg. Elev. (Top of Roof)			
Maint. Bldg	303.25	15	318.25			
Are Maint. Bldg. Elevations Under the Max Allowable Elevation? YES						