



Administrative Approval Action

Case File / Name: ASR-0071-2019
Avent-Trailwoods Apartments

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located at the southeast corner of Avent Ferry Road and Trailwood Drive, with common street addresses of 901 and 921 Trailwood Drive. A portion of this site is outside the city limits.

REQUEST: Development of a 122 unit apartment community and associated site improvements. The apartments are located in two buildings with amenities such as a pool located between the buildings. The property is approximately 12.27 acres and zoned R-10 and SRPOD.

Variance (A-3-19) approved granting a reduction of the primary street minimum build-to width requirement set forth in UDO Section 2.2.4.D from 70% to 30%, complete relief from the side street build-to requirements set forth in UDO Section 2.2.4.D, and complete relief from the corner build-to requirement set forth in UDO Section 1.5.6.C.

Variance (A-115-19) approved granting relief from the 2,500 foot maximum block perimeter requirements set forth in UDO Section 8.3.2.A.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

SPR-0108-2020: DSLC - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 18, 2020 by DON CURRY.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
6. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).

Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Slope Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. Slope easements and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.553 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.
2. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Engineering

3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A fee-in-lieu for 1' in sidewalk width along the Avent Ferry frontage shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

7. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry



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8. A public infrastructure surety for street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 13 street trees along Avent Ferry Road.
10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. All street lights and street signs required as part of the development approval are installed.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: April 23, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 04/23/2020
Development Services Dir/Designee

Staff Coordinator: Ryan Boivin

AVENT-TRAILWOOD APARTMENTS

CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-0071-2019

1st SUBMITTAL TO CITY OF RALEIGH: SEPTEMBER 19, 2019
2nd SUBMITTAL TO CITY OF RALEIGH: NOVEMBER 18, 2019

3rd SUBMITTAL TO THE CITY OF RALEIGH: JANUARY 16, 2020
4th SUBMITTAL TO THE CITY OF RALEIGH: MARCH 18, 2020



VICINITY MAP
SCALE: 1" = 1000'

SITE INFORMATION:

LOCATION:	901 TRAILWOOD DR. 921 TRAILWOOD DR. RALEIGH, NC 27606
COUNTY:	WAKE
PARCEL #:	0793 24 0515, 0793 25 0141
REID #:	0002842, 0002841
DB/PG:	15-E / 207
CURRENT ZONING:	R-10
PROPOSED ZONING:	R-10
ACREAGE (PRIOR TO ROW DEDICATION):	12.27 AC (BASED ON PROPERTY RECOMBINATION)
ACREAGE (AFTER ROW DEDICATION):	12.08 AC (BASED ON PROPERTY RECOMBINATION)
LAND CLASS:	APARTMENT
RIGHT OF WAY & OTHER AREAS:	
RIGHT OF WAY DEDICATION:	0.19 AC
GREENWAY DEDICATION:	N/A
STREAM BUFFER (ON-SITE):	2.63 AC
TREE CONSERVATION AREA:	
NET PROPERTY AREA:	12.08 AC
TCA REQUIRED:	1.21 AC (10% MIN)
TCA PROVIDED:	1.55 AC (12.86%)
OUTDOOR AMENITY AREA:	
NET PROPERTY AREA:	12.08 AC (NET ACREAGE)
OUTDOOR AMENITY AREA REQUIRED:	1.21 AC (10% MIN)
OUTDOOR AMENITY AREA PROVIDED:	1.80 AC (GREENWAY ESMT. + ON-SITE AMENITY)
REQUIRED PARKING:	
NUMBER OF UNITS:	122
STUDIO (11 UNITS):	11 (1 SPACE/UNIT)
1 BEDROOM (66 UNITS):	66 (1 SPACE/UNIT)
2 BEDROOM (22 UNITS):	44 (2 SPACES/UNIT)
2 BEDROOM-ROOMMATE (23 UNITS):	46 (2 SPACES/UNIT)
TOTAL RESIDENT SPACES REQUIRED:	167
VISITOR SPACES:	12 (UNITS x 10%)
REQUIRED PARKING:	179 SPACES
REQUIRED BICYCLE PARKING:	6 MIN (120 UNITS)
REQUIRED H/C PARKING:	7 (ADA REQUIREMENTS 122 x 5%)
PROVIDED PARKING:	
REGULAR SPACES:	177 SPACES
H/C SPACES:	7 SPACES
TOTAL PROVIDED PARKING:	184 SPACES
PROVIDED BICYCLE PARKING:	4 RACKS - 7 BIKE PARKS EACH = 28 TOTAL (INSIDE BUILDING) 2 PUBLIC RACKS OUTSIDE BLDG - 3 BIKE PARKS EACH = 6 TOTAL (SEE PLAN)
IMPERVIOUS AREAS:	
EXISTING:	
PAVEMENT/WALLS:	0.13 AC
SIDEWALKS:	0.00 AC
BUILDING:	0.07 AC
TOTAL EXISTING IMPERVIOUS:	0.20 AC (1.6%)
PROPOSED:	
ROADWAYS/PARKING:	1.54 AC
SIDEWALKS/CONCRETE PADS:	0.32 AC
APARTMENTS/ACCESSORY BLDG:	1.11 AC
OUTDOOR AMENITIES:	0.08 AC
TOTAL IMPERVIOUS:	3.05 AC (25.2%)
UTILITY DEMANDS:	
SEWER/WATER USAGE:	120 GPD/1 BEDROOM UNIT 240 GPD/2 BEDROOM UNIT
BUILDING AREA (GROSS SF):	
BUILDING A:	45,078 SF
BUILDING B (INCLUDING CLUBHOUSE):	82,860 SF
MAINTENANCE BUILDING:	811 SF
POOL HOUSE:	106 SF

DRAWING INDEX

- C-00 COVER SHEET
- C-01 CIVIL NOTES
- C-02 EXISTING CONDITIONS
- C-03 DEMOLITION PLAN
- C-04 PARTIAL SITE PLAN I
- C-05 PARTIAL SITE PLAN II
- C-06 GRADING & DRAINAGE PLAN
- C-07 PARTIAL UTILITY PLAN I
- C-08 PARTIAL UTILITY PLAN II
- C-09 LIGHTING PLAN
- C-10 STORMWATER POA PLAN - EXISTING
- C-11 STORMWATER POA PLAN - PROPOSED
- C-12 DRAINAGE BASIN PLAN
- C-13 TRAILWOOD DRIVE SIGHT DISTANCE
- C-14 FLOODPLAIN FILL EXHIBIT
- S-01 ORIGINAL SEALED SURVEY
- S-02 RECOMBINATION PLAT
- L-01 TREE CONSERVATION PLAN
- L-02 TREE COVER REPORT
- L-03 OVERALL LANDSCAPE PLAN
- L-04 PARTIAL LANDSCAPE PLAN 1
- L-05 PARTIAL LANDSCAPE PLAN 2
- A3.0 ARCHITECTURAL ELEVATIONS - BLDG. A
- A3.1 ARCHITECTURAL ELEVATIONS - BLDG. A
- A3.2 ARCHITECTURAL ELEVATIONS - BLDG. B
- A3.3 ARCHITECTURAL ELEVATIONS - BLDG. B
- A3.4 ARCHITECTURAL ELEVATIONS - ACCESSORY STRUCTURES

GOVERNING AGENCIES:

PLANNING/ZONING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA SUITE 304
RALEIGH, NC 27601
919-996-2437

STORMWATER ENGINEERING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

SEDIMENTATION & EROSION CONTROL:
CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:

WATER & SEWER:
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3484 (o)
CONTACT: KEITH TEW
EMAIL: keith.tew@raleighnc.gov

NATURAL GAS:
PSNC ENERGY - SCANA
3516 SPRING FOREST ROAD
RALEIGH, NC 27616
919-501-7995 (o)
919-501-7985 (f)
CONTACT: CRAIG SCHOLL
EMAIL: cscholl@scana.com

ELECTRIC:
PROGRESS ENERGY BUSINESS
3620 FAYETTEVILLE ROAD
RALEIGH, NC 27803
919-557-2611 (o)

PHONE
AT&T NC
5715 GLENWOOD AVE.
RALEIGH, NC 27612
910-785-7856 (o)
CONTACT: WANDA HARRIS
EMAIL: wh1741@att.com (e)

CABLE
TIME WARNER CABLE
101 INNOVATION AVE.
MORRISVILLE, NC 27560
919-882-4748 (o)
CONTACT: JEFF HUNTER
EMAIL: jeffrey.hunter@twcable.com

Civil Engineer:

The Curry Engineering Group, PLLC
NC License # P-0799
PO Box 2018
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
919.880.9857 (m)
Contact: Don Curry, PE
don@curryeng.com

Landscape Architect:

Southwell Design, PLLC
P.O. Box 37178
Raleigh, NC 27627
919.272.6729 (v)
Contact: Adam Southwell, PLA, ASLA
adam@southwelldesign.com

Surveyor:

Newcomb Land Surveyors, PLLC
7008 Harps Mill Rd., Suite 105
Raleigh, NC 27615
919-847-1800 (o)
Contact: Justin L. Luther, PLS
justin@nls-nc.com

Land Owner:

Thomas J Aurand Trustee
Eleanor N Aurand
2625 Eagle Valley Dr.
Woodbury, MN 55129

Applicant:

Fuller Land & Development Company
8801 East Park Drive, Suite 301
Raleigh, NC 27607
919.417.0057 (v)
janderson@fullerlanddev.com (e)
Contact: Mr. Jim Anderson

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH
CITY OF RALEIGH STANDARDS & SPECIFICATIONS

DEVELOPMENT SERVICES

Administrative Site Review Application
Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2465

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building type and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:
Building Type	Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #:
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: 557633
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: A-3-18, A-115-19
		Zoning Case #:
		Administrative Alternate #:

GENERAL INFORMATION

Development name: Trailwood Apartments - Raleigh
Inside City limits? Yes No 901 Trailwood is inside City limits, 921 Trailwood is not

Property address(es):
901 and 921 Trailwood Drive, Raleigh, NC

Site P.I.N.(s): 0793240515, 0793250141

Please describe the scope of work. Include any additions, expansions, and change of use.
Construction of a 122 unit apartment complex with associated infrastructure as required.

Current Property Owner/Developer Contact Name: Eleanor N. Aurand Revocable Living Trust, Leonard W. Aurand
NOTE: please attach purchase agreement when submitting this form. Irrevocable Trust, Thomas J. Aurand Trustee

Company: Avent Trailwood LLC Title: Thomas R. Huff, Principal
Address: 5400 Trinity Road, Suite 309, Raleigh, NC 27607

Phone #: 919-233-9901 Email: thuff@capitalassociates.com

Applicant Name: Don Curry
Company: Curry Engineering, PLLC Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526

Phone #: 919-552-0849 Email: don@curryeng.com

ASR APPLICATION

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY A PRIVATE GARBAGE COLLECTION SERVICE.

BOA VARIANCE SUMMARY:

- A-3-19 (1/14/2019): BUILD-TO-VARIANCE
- A-115-19 (8/12/2019): BLOCK PERIMETER VARIANCE

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require installation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

PUBLIC SEWER COLLECTION / EXTENSION SYSTEM

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____
AUTHORIZATION TO CONSTRUCT _____
DATE _____

PUBLIC WATER DISTRIBUTION / EXTENSION SYSTEM

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____
AUTHORIZATION TO CONSTRUCT _____
DATE _____

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 1694 sf
Gross site acreage: 12.27 acres	New gross floor area: 128,855 sf
# of parking spaces required: 179	Total # of gross (to remain and new): 128,855 sf
# of parking spaces proposed: 184	Proposed # of buildings: 4 (2 apts., 1 maint., 1 pool)
Overlay District (if applicable): SRPOD	Proposed # of stories for each: 3 apts., 1 maint., 1 pool
Existing use (UDO 6.1.4): Single family	
Proposed use (UDO 6.1.4): Multi-unit living	

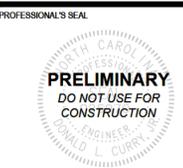
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: .20 Square Feet: 8712	Proposed Impervious Surface: Acres: 3.05 Square Feet: 132,682
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide: Alluvial soils: AgC2 and Wo	

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 122	Total # of hotel units:
# of bedroom units: 1br: 77 2br: 45 3br: _____ 4br or more: _____	
# of lots: 2	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owners, I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate The Curry Engineering Group, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development plan. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <i>Thomas J. Aurand</i>	Date: 1/18/19
Printed Name: Thomas J. Aurand, Trustee of Owners	

Architect:

Finley Design
7806 NC Hwy 751, Suite 110
Durham, NC 27713
919.425.5467 (o)
919.308.3013 (m)
Contact: Kerry Gray Finley, AIA
kerry@finleydesignarch.com

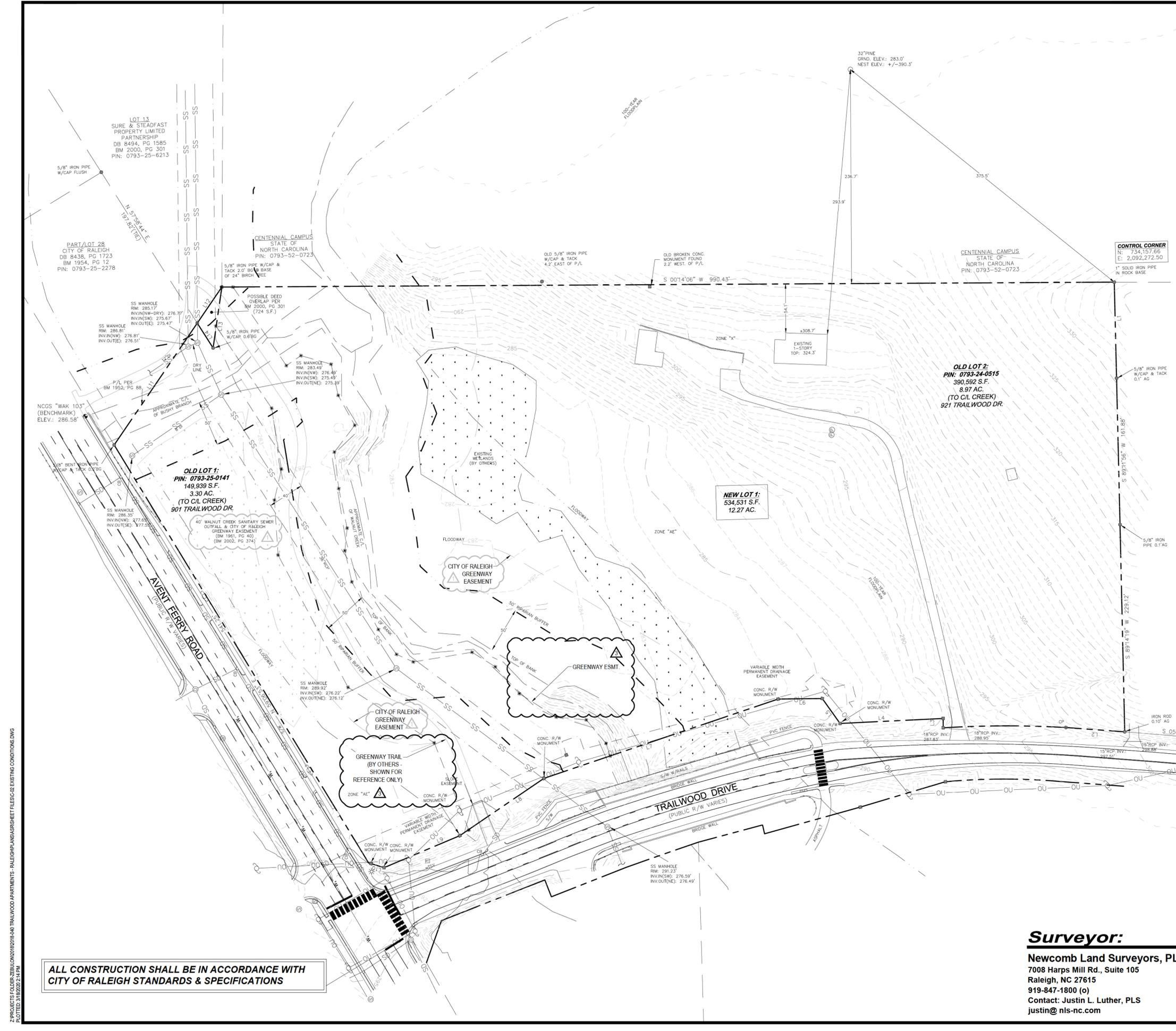


NOT FOR CONSTRUCTION

TRAILWOOD APARTMENTS - RALEIGH, NC
COVER SHEET

205 S. Fuquay Avenue
Fuquay-Varina, NC 27526
T: (919) 552-0849
F: (919) 552-0840

Curry
ENGINEERING
C-00



- GENERAL NOTES:**
1. THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
 2. THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PARENT PROPERTY BOUNDARY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN AUGUST 2019 BY NEWCOMB LAND SURVEYORS.
 3. NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
 4. AREAS COMPUTED BY THE COORDINATE METHOD.
 5. THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
 6. ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
 7. THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE AE & X FLOODPLAN PER FEMA FIRM PANEL 3720079300J DATED 06/02/06.
 8. VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83.
 9. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
 10. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

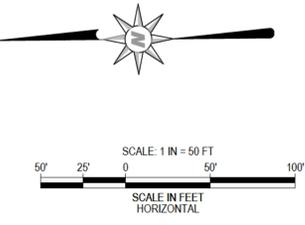
LEGEND

SYMBOLS	LINETYPES
● Ex. iron pipe/rod or nail	— X — Fence
■ Ex. concrete monument	— OU — Overhead utility
● New iron pipe	— W _u — Water
○ Calculated point	— SS — Sanitary sewer
⊙ Cable pedestal	— SD — Storm drain
⊞ Telephone pedestal	
⊞ Electric pedestal	
⊞ F ber-optic marker	
⊞ Traffic signal box	
⊞ Water meter	
⊞ Fire hydrant	
⊞ Valve (water or gas)	
⊞ Sanitary sewer manhole	
⊞ Sanitary sewer cleanout	
⊞ Storm curb inlet	
⊞ Drainage inlet (w/ grate)	
⊞ Storm drain manhole	
⊞ Utility pole	
⊞ Lamp post	
⊞ Signal pole	
⊞ Guy wire	
⊞ Sign post	

ABBREVIATIONS	
DB	Deed Book
PB or BM	Plat Book / Book of Maps
N/F	Now or formerly
Pg.	Page
SF	Square feet
Ac.	Acres
R/W	Right-of-way
NCSR	North Carolina State Route
NC DOT	North Carolina Dept. of Transportation
R/W	Right-of-way
Ex.	Existing
R/C	Reinforced concrete pipe
PVC	Polyvinyl chloride pipe
(M)	Measured
AG	Above ground
BG	Below ground

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

Surveyor:
Newcomb Land Surveyors, PLLC
 7008 Harps Mill Rd., Suite 105
 Raleigh, NC 27615
 919-847-1800 (o)
 Contact: Justin L. Luther, PLS
 justin@nls-nc.com



PROFESSIONAL'S SEAL
 PROFESSIONAL ENGINEER SEAL NOT AFFIXED TO SHEET AS ENGINEER DOES NOT CERTIFY INFORMATION PROVIDED BY OTHERS

P:\PROJECTS\2019\2019-08-01\2019-08-01-040 TRAILWOOD APARTMENTS - RALEIGH\LANDSURVEY\FILES\CAD\EXISTING CONDITIONS.dwg
 PLOTTED: 11/08/2020 2:14 PM

REVISIONS	DATE	BY	DESCRIPTION
1	11/08/2019	JL	ISSUED FOR PERMITS
2	01/16/2020	JL	REVISED
3	08/20/2019	JL	REVISED

DATE: 08/20/19
 FILE NO.: 2019-040
 HORZ SCALE: 1" = 50'
 VERT SCALE: 1" = 10'

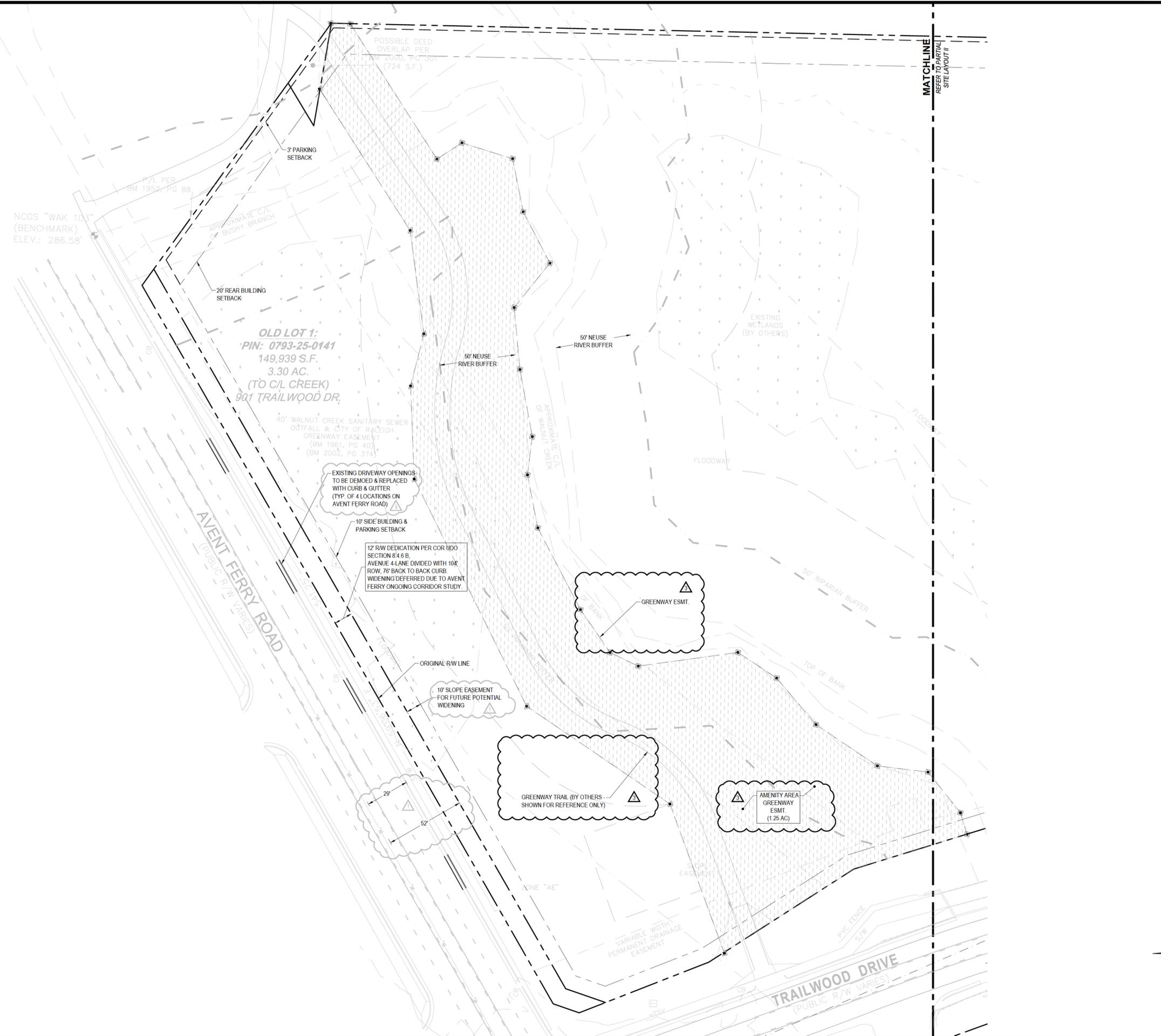
TRAILWOOD APARTMENTS - RALEIGH, NC
EXISTING CONDITIONS

MICHAEL HAL &
 TAMMY STAFFORD KUIPERS
 DB 17255, PG 1
 BM 1954, PG 21
 PIN: 0793-24-0026



NOT FOR CONSTRUCTION

P:\PROJECTS\2018\2018-04-06 TRAILWOOD APARTMENTS - RALEIGH\PLANS\DRSHEET FILES\04 PARTIAL SITE PLAN.DWG
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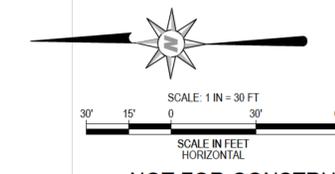


GENERAL NOTES:

1. BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
2. ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
3. ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
4. ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
6. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
10. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
11. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
12. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
13. ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
14. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
15. ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
16. ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
17. TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
18. CLUSTER BOX UNIT SHALL COMPLY WITH ICC A117.1 2009 FOR HEIGHT, REACH AND OPERATION REQUIREMENTS. ADA ACCESSIBILITY SHALL BE PROVIDED.
19. ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS.

SITE LEGEND

	CONC. CURB & GUTTER
	MINIMUM BUILDING SETBACK LINE
	PARKING SETBACK LINE
	CONCRETE SIDEWALK/HEAVY-DUTY CONCRETE PAVEMENT
	WHEELSTOP
	HANDICAP PARK
	WHEELCHAIR RAMP
	SIGNAGE
	SITE LIGHTING
	HEAVY-DUTY ASPHALT PAVEMENT
	BUILDING FOOTPRINT



NOT FOR CONSTRUCTION



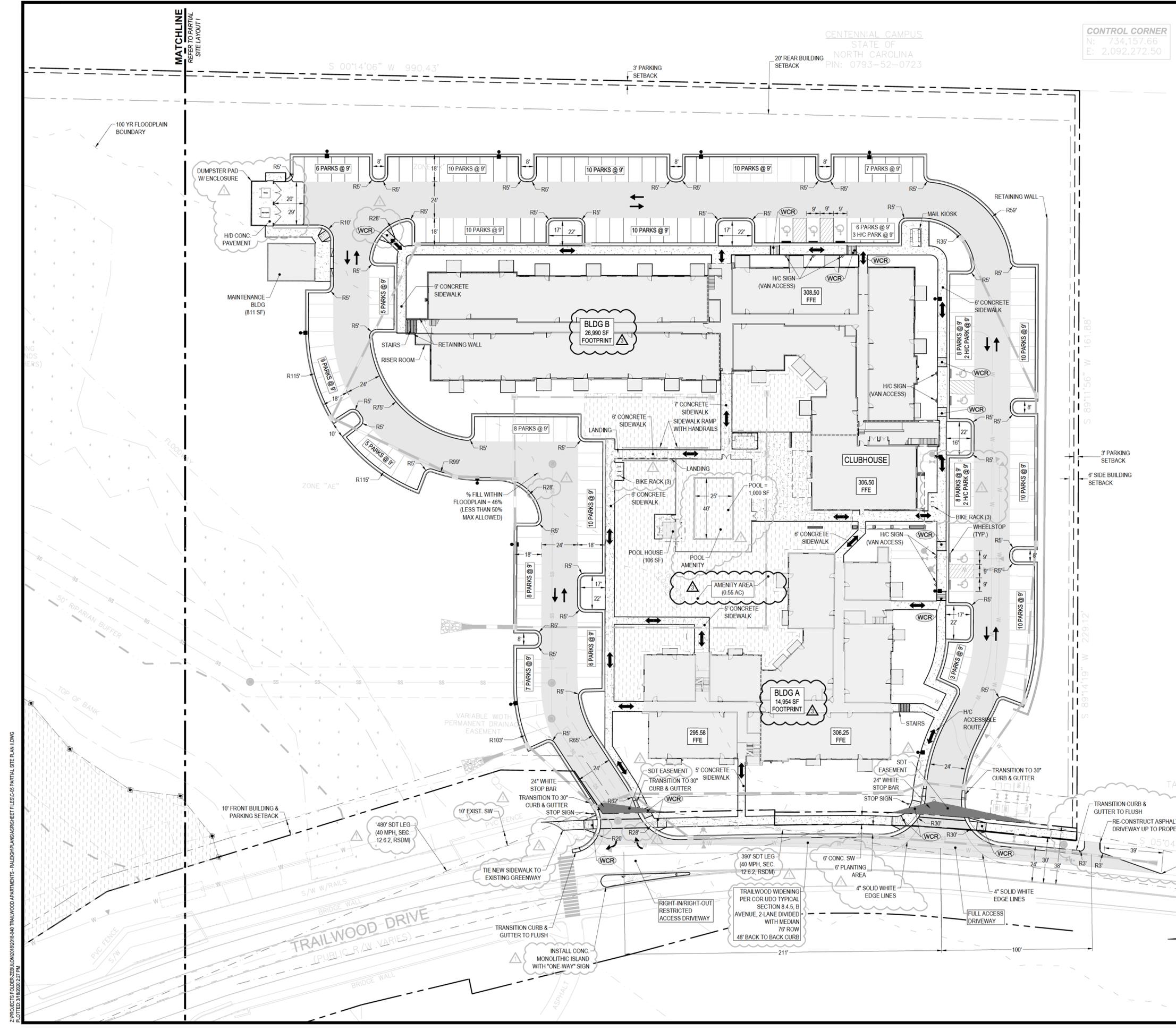
REV.	DATE	DESCRIPTION
1	11/16/2019	CON COMMENTS
2	01/16/2020	CON COMMENTS
3	02/18/2020	CON COMMENTS

DATE: 02/18/20
 FILE NO.: 2018-040
 HORZ SCALE: 1" = 30'
 VERT SCALE: 1" = 4'

TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL SITE PLAN I

T: (919) 552-0849
 F: (919) 552-0843
 206 S. Fought Avenue
 Fayetteville, NC 27808





CENTENNIAL CAMPUS
STATE OF
NORTH CAROLINA
PIN: 0793-52-0723

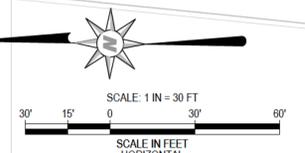
CONTROL CORNER
N: 734,157.66
E: 2,092,272.50

- GENERAL NOTES:
- BEFORE YOU DIG, STOP. CALL THE NO ONE-CALL CENTER AT 1-800-832-4849. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-832-4849) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
 - ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
 - PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
 - IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
 - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
 - ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
 - ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
 - TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
 - CLUSTER BOX UNIT SHALL COMPLY WITH ICC A17.1-2009 FOR HEIGHT, REACH AND OPERATION REQUIREMENTS. ADA ACCESSIBILITY SHALL BE PROVIDED.
 - ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS.
 - WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
 - RESIDENTIAL INFILL REQUIREMENTS (REF. COR UDO 2.2.7) DO NOT APPLY TO THIS SITE SINCE THE ACREAGE IS GREATER THAN THE 5.0 ACRE MINIMUM.
 - RFPE ELEVATION = 292 (290 BASE FLOOD ELEV. + 2). PROVIDED FFE (LOWEST PROPOSED ELEV. = 286.83).

SITE LEGEND

	CONC. CURB & GUTTER
	MINIMUM BUILDING SETBACK LINE
	PARKING SETBACK LINE
	UTILITY EASEMENT
	CONCRETE SIDEWALK / HEAVY-DUTY CONCRETE PAVEMENT
	WHEELSTOP
	HANDICAP PARK
	WHEELCHAIR RAMP
	SIGNAGE
	SITE LIGHTING
	HEAVY-DUTY ASPHALT PAVEMENT
	BUILDING FOOTPRINT
	OUTDOOR AMENITY AREA
	HIC ACCESSIBLE ROUTE

MICHAEL HAL &
TAMMY STAFFORD KUIPERS
DB 17255, PG 1
STN 1954, PG 21
PIN: 0793-24-0026



PROFESSIONAL'S SEAL
NORTH CAROLINA
PRELIMINARY
DO NOT USE FOR
CONSTRUCTION
WALTER L. CURRY
REGISTERED PROFESSIONAL ENGINEER
NO. 10000

TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL SITE PLAN II

206 S. Fingus Avenue
Fayetteville, NC 27808
T: (910) 552-0848
F: (910) 552-0843

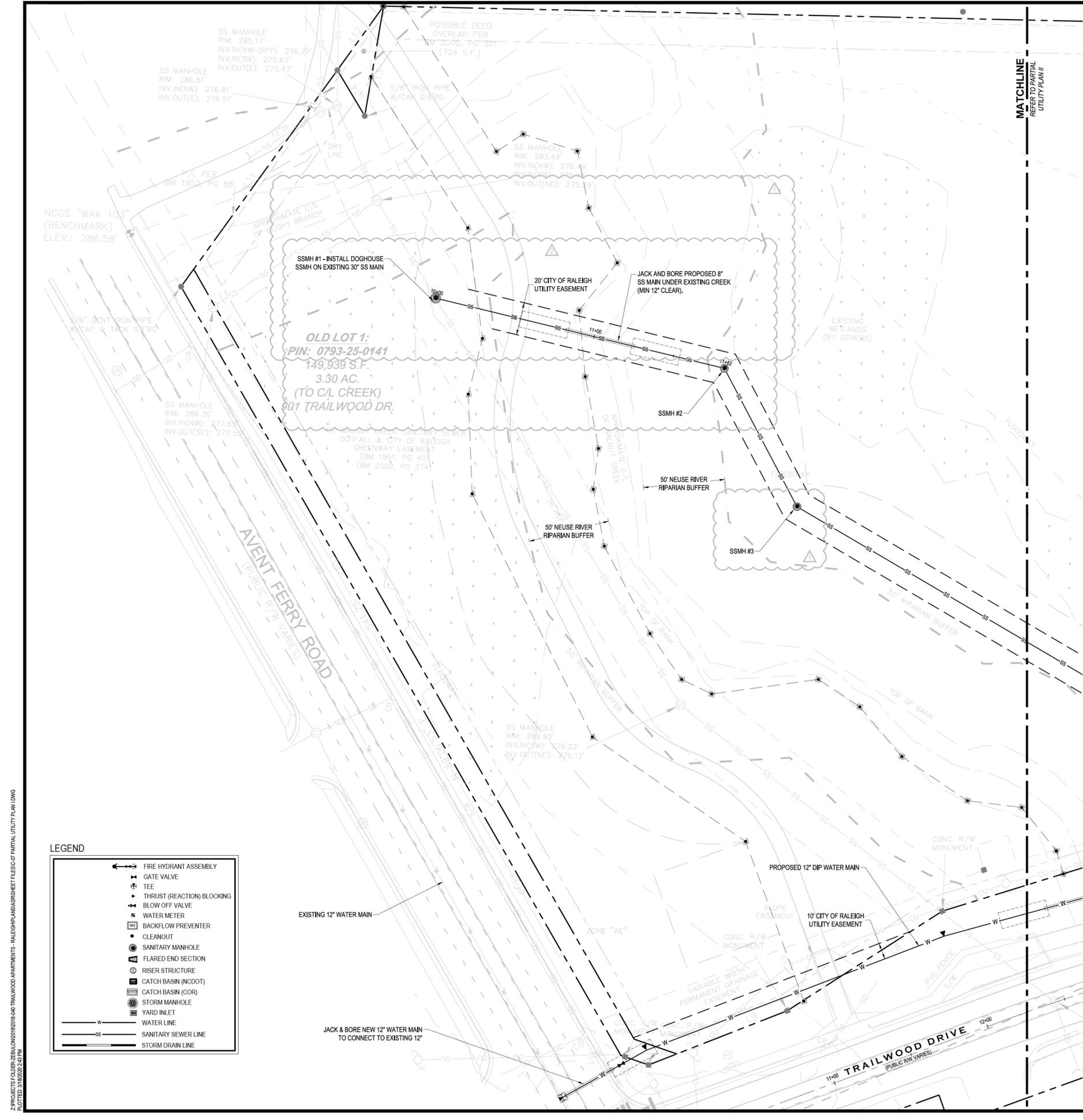
Curry
ENGINEERING
C-05

PLANS REFLECT THE DESIGN OF THE TRAILWOOD APARTMENTS - RALEIGH PLANS SHEET FILES TO BE PARTIAL SITE PLAN II DWG
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REVISIONS

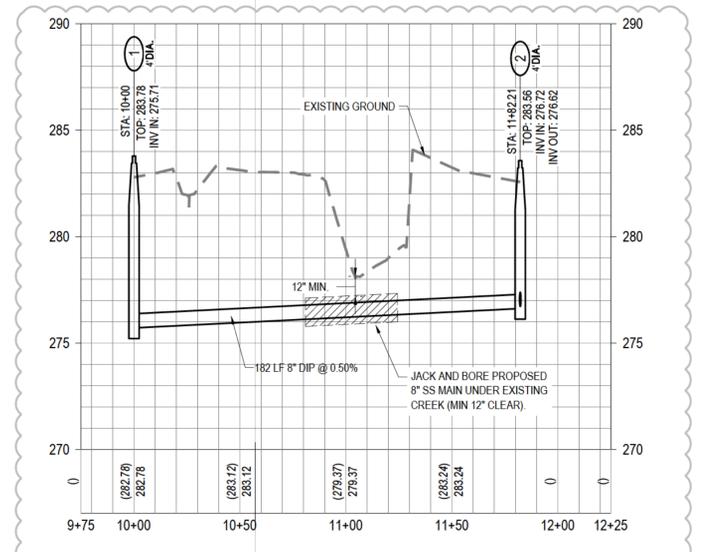
NO. 1	DATE: 08/20/19	BY: [Signature]	DESCRIPTION: [Description]
NO. 2	DATE: 07/16/2020	BY: [Signature]	DESCRIPTION: [Description]
NO. 3	DATE: 07/16/2020	BY: [Signature]	DESCRIPTION: [Description]

HORIZ. SCALE: 1" = 30'
VERT. SCALE: 1" = 4'

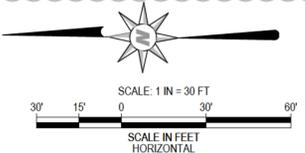


- CITY OF RALEIGH PUBLIC UTILITIES NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - MAINTAIN APPROPRIATE COVER & SEPARATION ON UTILITIES. UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' 0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3' 0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4' 0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' 0" ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT/RAILROAD ENCRoACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

- GENERAL NOTES:**
- PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
 - WATER METERS OUTSIDE OF RIGHT OF WAY SHALL HAVE A 3' CITY OF RALEIGH PUBLIC WATER LINE EASEMENT THAT EXTENDS 1' PAST THE METER.



1 SANITARY SEWER JACK & BORE PROFILE
STATION 9+75-12+25
SCALE: 1" = 40'



PROFESSIONAL'S SEAL
PRELIMINARY
DO NOT USE FOR
CONSTRUCTION
WILLIAM L. CURRY

- LEGEND**
- FIRE HYDRANT ASSEMBLY
 - GATE VALVE
 - TEE
 - THRUST (REACTION) BLOCKING
 - BLOW OFF VALVE
 - WATER METER
 - BACKFLOW PREVENTER
 - CLEANOUT
 - SANITARY MANHOLE
 - FLARED END SECTION
 - RISER STRUCTURE
 - CATCH BASIN (NCDOT)
 - CATCH BASIN (COR)
 - STORM MANHOLE
 - YARD INLET
 - WATER LINE
 - SANITARY SEWER LINE
 - STORM DRAIN LINE

P:\PROJECTS\2018\2018-04-06 TRAILWOOD APARTMENTS - RALEIGH\AS\DWG SHEETS\PARTIAL UTILITY PLAN.DWG
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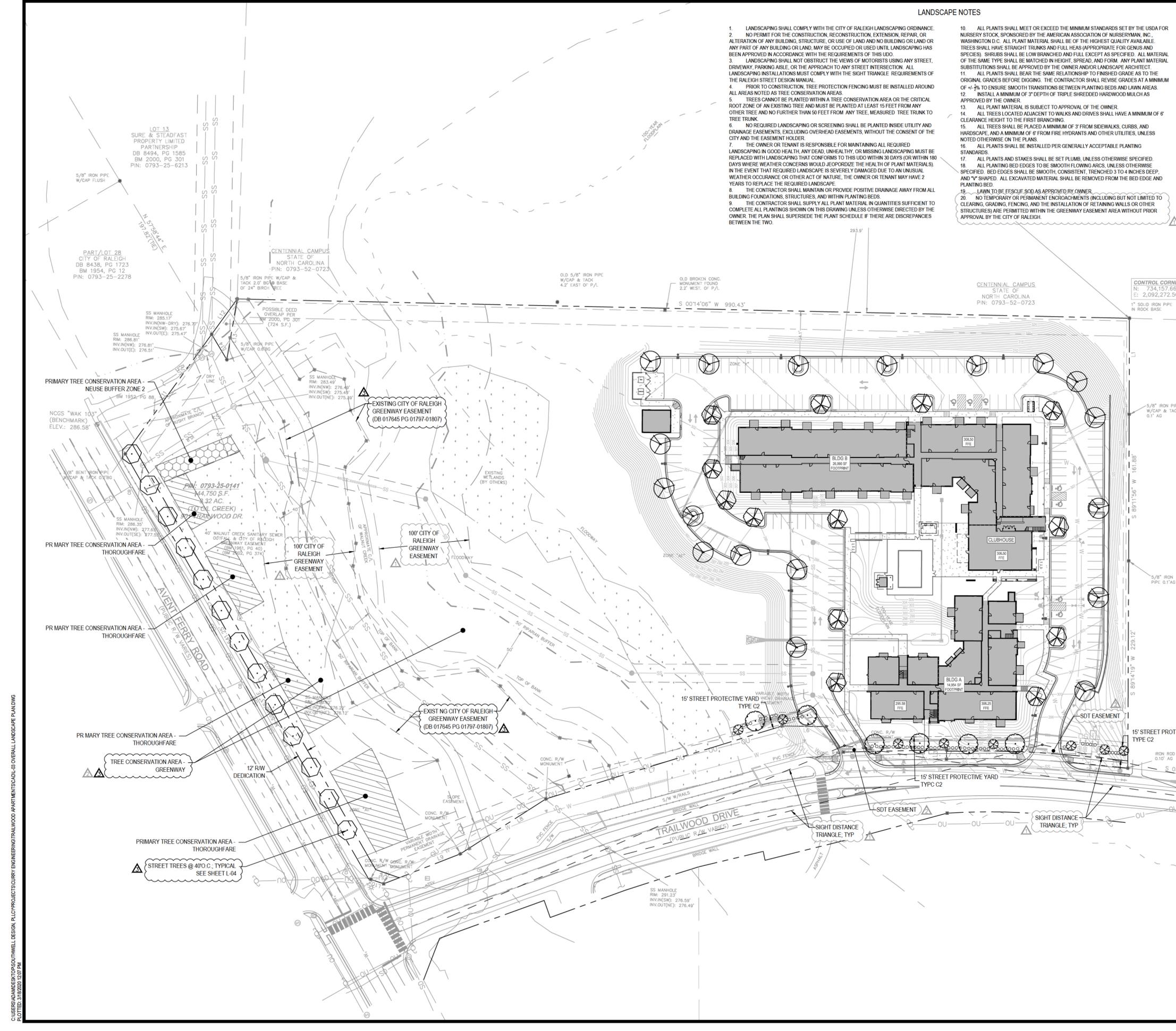
TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL UTILITY PLAN I

206 S. Fingert Avenue
 Fayetteville, NC 27804
 T: (919) 962-8448
 F: (919) 962-8443

Curry
 ENGINEERING
C-07

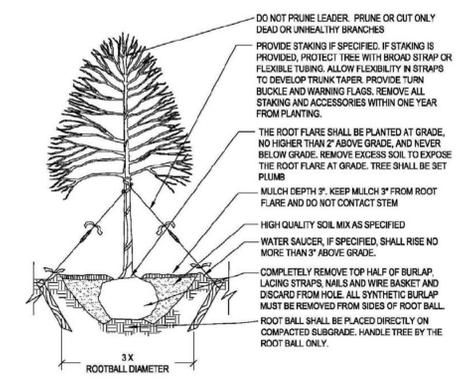
REV	DATE	DESCRIPTION
1	11/16/2019	COR COMMENTS
2	01/11/2020	COR COMMENTS
3	02/28/2020	COR COMMENTS

DATE: 08/01/19
 FILE NO.: 2018-040
 HORZ SCALE: 1" = 30'
 VERT SCALE: 1" = 4'



LANDSCAPE NOTES

- LANDSCAPING SHALL COMPLY WITH THE CITY OF RALEIGH LANDSCAPING ORDINANCE.
- NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR, OR ALTERATION OF ANY BUILDING, STRUCTURE, OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS UDO.
- LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLE, OR THE APPROACH TO ANY STREET INTERSECTION. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
- PRIOR TO CONSTRUCTION, TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL AREAS NOTED AS TREE CONSERVATION AREAS.
- TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15 FEET FROM ANY OTHER TREE AND NO FURTHER THAN 50 FEET FROM ANY TREE. MEASURED TREE TRUNK TO TREE TRUNK.
- NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
- THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY, OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THIS UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPING IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN OR PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND WITHIN PLANTING BEDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING UNLESS OTHERWISE DIRECTED BY THE OWNER. THE PLAN SHALL SUPERSEDE THE PLANT SCHEDULE IF THERE ARE DISCREPANCIES BETWEEN THE TWO.
- ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE USDA FOR NURSERY STOCK, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AVAILABLE. TREES SHALL HAVE STRAIGHT TRUNKS AND FULL HEADS (APPROPRIATE FOR GENUS AND SPECIES). SHRUBS SHALL BE LOW BRANCHED AND FULL EXCEPT AS SPECIFIED. ALL MATERIAL OF THE SAME TYPE SHALL BE MATCHED IN HEIGHT, SPREAD, AND FORM. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADES BEFORE DIGGING. THE CONTRACTOR SHALL REVERSE GRADES AT A MINIMUM OF +/- 2% TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- INSTALL A MINIMUM OF 3" DEPTH OF TRIPLE SHREDED HARDWOOD MULCH AS APPROVED BY THE OWNER.
- ALL PLANT MATERIAL IS SUBJECT TO APPROVAL OF THE OWNER.
- ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM OF 6' CLEARANCE HEIGHT TO THE FIRST BRANCHING.
- ALL TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS, CURBS, AND HARDSCAPE, AND A MINIMUM OF 6' FROM FIRE HYDRANTS AND OTHER UTILITIES, UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL PLANTS SHALL BE INSTALLED PER GENERALLY ACCEPTABLE PLANTING STANDARDS.
- ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE SPECIFIED.
- ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS, UNLESS OTHERWISE SPECIFIED. BED EDGES SHALL BE SMOOTH, CONSISTENT, TRENCHED 3 TO 4 INCHES DEEP, AND "Y" SHAPED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
- LAWN TO BE ESCAPE SOD AS APPROVED BY OWNER.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR UNHEALTHY BRANCHES.
 PROVIDE STAKING IF SPECIFIED. IF STAKING IS PROVIDED, PROTECT TREE WITH BROAD STRAP OR FLEXIBLE TUBING. ALLOW FLEXIBILITY IN STRAPS TO DEVELOP TRUNK TAPER. PROVIDE TURN BUCKLE AND WARNING FLAGS. REMOVE ALL STAKING AND ACCESSORIES WITHIN ONE YEAR FROM PLANTING.
 THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE AT GRADE. TREE SHALL BE SET PLUMB.
 MULCH DEPTH 2". KEEP MULCH 2" FROM ROOT FLARE AND DO NOT CONTACT STEM.
 HIGH QUALITY SOIL MIX AS SPECIFIED.
 WATER SAUCER, IF SPECIFIED, SHALL RISE NO MORE THAN 3" ABOVE GRADE.
 COMPLETELY REMOVE TOP HALF OF BURLAP LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL.
 ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER
 TREES@RALEIGHNC.GOV
 WWW.RALEIGHNC.GOV

NOTES:
 1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
 3. STREET TREES MUST BE 3" CALIBER AT INSTALLATION WITH A 5" MINIMUM FIRST BRANCH HEIGHT.
 4. PLANTING SEASON OCTOBER - APRIL.
 5. A TREE IMPACT PERMIT IS REQUIRED.
 6. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOTED BY

TREE PLANTING DETAIL
TPP-03

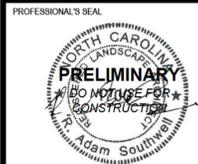
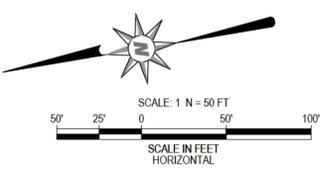
LANDSCAPE CALCULATIONS

UDO 7.1.7 - VEHICLE PARKING LOT LANDSCAPE
 REQUIRED: 1 SHADE TREE PER INTERIOR ISLAND, NO LESS THAN 1 SHADE TREE PER 2,000 SF OF PARKING LOT.
 61,423 SF / 2,000 SF = 31 SHADE TREES
 PROVIDED: 31 SHADE TREES

UDO 7.2.4 - STREET PROTECTIVE YARD
 REQUIREMENT: 15' WIDE TYPE C2, 4 SHADE TREES (60% EVERGREEN) & 15 EVERGREEN SHRUBS PER 100 LF
 TRAILWOOD DR: 772 LF - 422 LF (WETLANDS, RIPARIAN BUFFERS, EASEMENTS) = 350 LF
 REQUIRED: 350 LF / 100 X 4 = 14 SHADE TREES (7 EVERGREEN MIN)
 350 LF / 100 X 15 = 53 EVERGREEN SHRUBS
 PROVIDED: 14 SHADE TREES (8 EVERGREEN) & 53 EVERGREEN SHRUBS

UDO 7.2.5 - SCREENING
 REQUIRED: ANY GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED TO THE HIGHEST POINT OF THE EQUIPMENT
 PROVIDED: N/A - HVAC WILL BE ROOF MOUNTED

UDO 8.4 & 8.5 - STREET TREES
 REQUIREMENT: SHADE TREES @ 40' O.C. LOCATED IN 6' PLANTING STRIP BETWEEN BACK OF CURB & S DEWALK, AS APPROVED BY NCDOT
 TRAILWOOD DR: NCDOT IS NOT ALLOWING STREET TREES WITHIN THE 6' PLANTING STRIP. DUE TO LACK OF PLANTING SPACE BETWEEN THE SIDEWALK & RW, A C2 STREET PROTECTIVE YARD IS PROPOSED
 AVENET FERRY: NCDOT IS NOT ALLOWING NO STREET TREES WITHIN THE 6' PLANTING STRIP. STREET TREES ARE PROPOSED BETWEEN THE S DEWALK & RW
 REQUIRED: 13 SHADE TREES @ 40' O.C.
 NCDOT REQ: MINIMUM LARGE TREE SETBACK (URBAN/SUBURBAN) - POSTED SPEED: 40MPH
 12' CLEAR ZONE FROM EDGE OF TRAVEL LANE
 PROVIDED: 13 SHADE TREES @ 40' O.C. & 20' CLEAR ZONE FROM EDGE OF TRAVEL LANE



NOT FOR CONSTRUCTION

TRAILWOOD APARTMENTS - RALEIGH, NC
 OVERALL LANDSCAPE PLAN

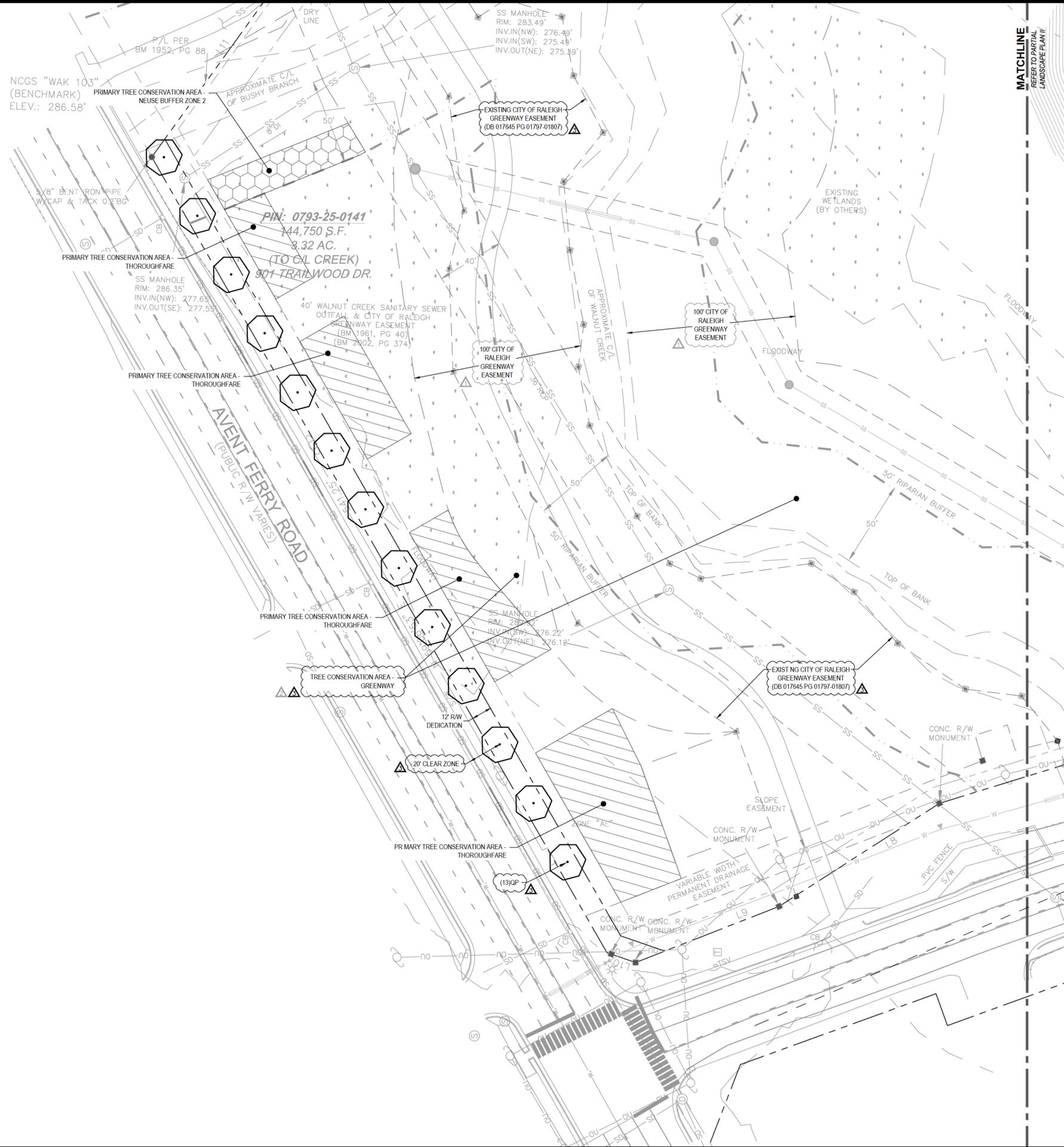
208 S. Eagle Avenue
 Raleigh, NC 27603
 P: 919.822.0040
 F: 919.822.0041



CURRY ENGINEERING/PROJECTS/COURTNEY/ENGINEERING/TRAILWOOD APARTMENTS/03 OVERALL LANDSCAPE PLAN.DWG
 PLOTTED: 08/22/2019 12:27 PM

NO.	DATE	DESCRIPTION
1	2019.11.14	CITY OF RALEIGH COMMENTS
2	2020.01.15	CITY OF RALEIGH COMMENTS
3	2020.05.18	CITY OF RALEIGH COMMENTS

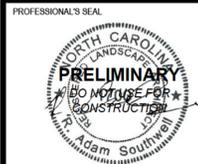
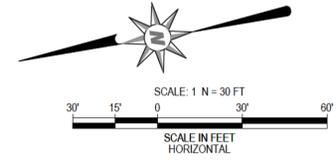
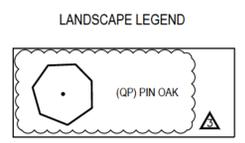
DATE: 08/2019
 FILE NO.: 2018-040
 HORIZ. SCALE: 1"=50'
 ORIG. SHEET SIZE: 24" X 36"



PLANT SCHEDULE									
TYPE	USE	QUANTITY			KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
		L-04	L-5	TOTAL					
TREES									
DCT	SPY	0	6	6	ARF	Acer rubrum 'Franksred'	Red Sunset® Red Maple	3" cal. 10' ht MIN	B&B
ECT	SPY	0	8	8	CJY	Cryptomeria japonica 'Yoshino'	Yoshino Cryptomeria	3" cal. 10' ht MIN	B&B
DCT	PARK	13	13	13	PC	Fistacia chinensis	Chinese Pistache	3" cal. 10' ht MIN	B&B
DCT	PARK	18	18	18	QN	Quercus nuttallii	Nuttall Oak	3" cal. 10' ht MIN	B&B
DCT	ST	13	13	13	QP	Quercus palustris	Pin Oak	3" cal. 10' ht MIN	B&B; 40' o.c.
SHRUBS									
ES	SPY	0	53	53	ICN	Ilex cornuta 'Needlepoint'	Needlepoint Holly	36" ht MIN	Container
ES	SPY	0	0	0	MC	Myrica cerifera	Southern Wax Myrtle	36" ht MIN	Container

TYPE/USE LEGEND
 Plant Type: DCT = Deciduous Canopy Tree; ECT = Evergreen Canopy Tree; ES = Evergreen Shrub
 Plant Use: SPY = Street Protective Yard; PARK = Parking Lot Landscape; ST = Street Tree

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 - LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLE, OR THE APPROACH TO ANY STREET INTERSECTION. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
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 - TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15 FEET FROM ANY OTHER TREE AND NO FURTHER THAN 50 FEET FROM ANY TREE, MEASURED TREE TRUNK TO TREE TRUNK.
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 - ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE USDA FOR NURSERY STOCK, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, INC., WASHINGTON D.C. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AVAILABLE. TREES SHALL HAVE STRAIGHT TRUNKS AND FULL HEAS (APPROPRIATE FOR GENUS AND SPECIES). SHRUBS SHALL BE LOW BRANCHED AND FULL EXCEPT AS SPECIFIED. ALL MATERIAL OF THE SAME TYPE SHALL BE MATCHED IN HEIGHT, SPREAD, AND FORM. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
 - ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADES BEFORE DIGGING. THE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM OF +/- 1% TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
 - INSTALL A MINIMUM OF 3" DEPTH OF TRIPLE SHREDDED HARDWOOD MULCH AS APPROVED BY THE OWNER.
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 - ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM OF 6' CLEARANCE HEIGHT TO THE FIRST BRANCHING.
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NOT FOR CONSTRUCTION

TRAILWOOD APARTMENTS - RALEIGH, NC
PARTIAL LANDSCAPE PLAN I

208 S. Eagle Avenue
 Raleigh, NC 27603
 P: 919.822.0400
 F: 919.822.0404



L-04

REVISIONS:
 1 2019.11.14 CITY OF RALEIGH COMMENTS
 2 2020.01.15 CITY OF RALEIGH COMMENTS
 3 2020.05.18
 DATE: 08/20/19
 FILE NO.: 2018-040
 HORIZ. SCALE: 1"=30'
 ORIG. SHEET SIZE: 24" X 36"

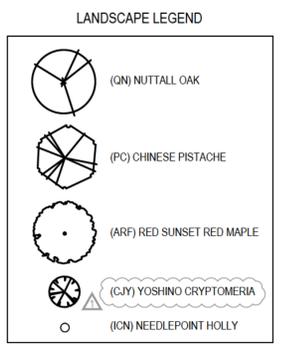
OLD 5/8" IRON W/CAP & TACK 4.2' EAST OF
 OLD BROKEN CONC. MONUMENT FOUND 2.2' WEST OF P/L
 S 00°14'06" W 990.43'

CENTENNIAL CAMPUS
 STATE OF NORTH CAROLINA
 PIN: 0793-52-0723

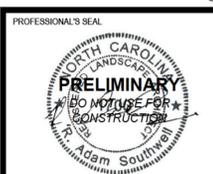
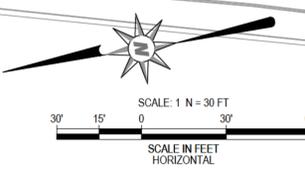
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TYPE	USE	QUANTITY			KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS
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TREES									
△	DCT	SPY	6	6	ARF	<i>Acer rubrum</i> 'Franksred'	Red Sunset® Red Maple	3" cal; 10' ht MIN	B&B
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MICHAEL HAL &
 TAMMY STAFFORD KUIPERS
 DB 17255, PG 1
 BM 1954, PG 21
 PIN: 0793-24-0026



NOT FOR CONSTRUCTION

C:\USERS\ADMINISTRATOR\DESKTOP\PROJECTS\COURTYARD\TRAILWOOD APARTMENTS\LANDSCAPE PLAN L-05.rvt
 PLOTTED: 08/20/19 12:42 PM

TRAILWOOD APARTMENTS - RALEIGH, NC
 PARTIAL LANDSCAPE PLAN II

260 S. Eagle Avenue
 Raleigh, NC 27601
 P: 919.822.0040
 F: 919.822.0040

Curry
 ENGINEERING
 L-05

REVISIONS
 1 2019.11.14 CITY OF RALEIGH COMMENTS
 2 2019.11.15 CITY OF RALEIGH COMMENTS
 3 2019.11.15 CITY OF RALEIGH COMMENTS
 DATE: 08/20/19
 FILE NO.: 2018-040
 HORIZ. SCALE: 1"=50'
 ORIG. SHEET SIZE: 24" X 36"

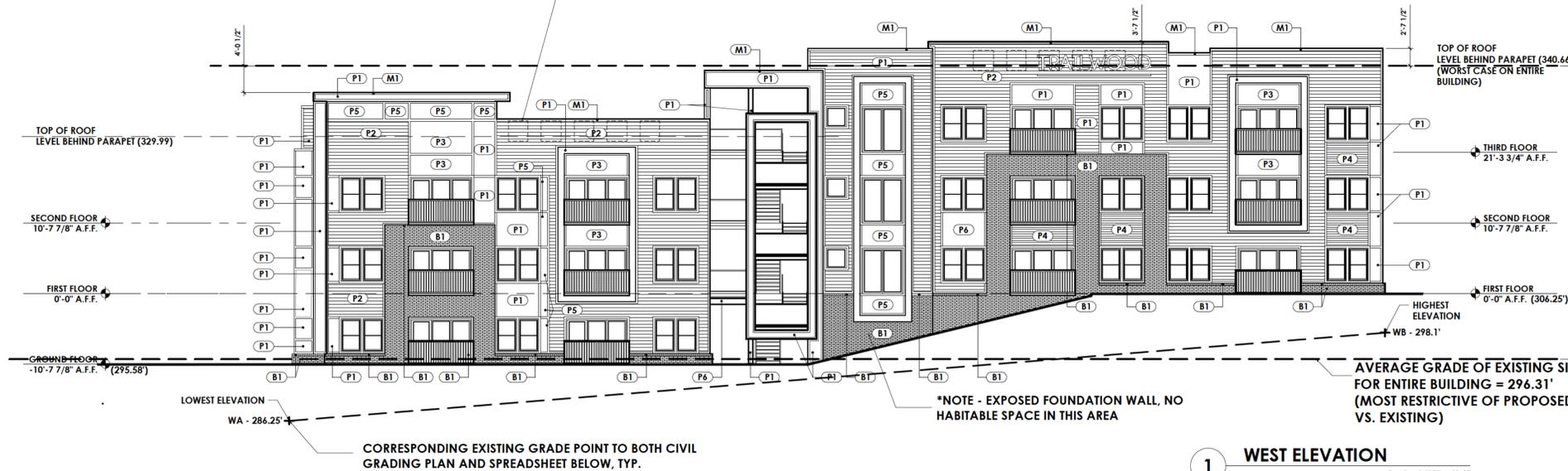
MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

ELEVATION NOTES

1. DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
2. PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).

*NOTE - ALL HVAC EQUIPMENT IS ROOF MOUNTED. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY OR ADJACENT PUBLIC STREET RIGHT-OF-WAY BY PARAPET WALLS- SEE ROOFTOP SCREENING DIAGRAM ON SHEET A3.4



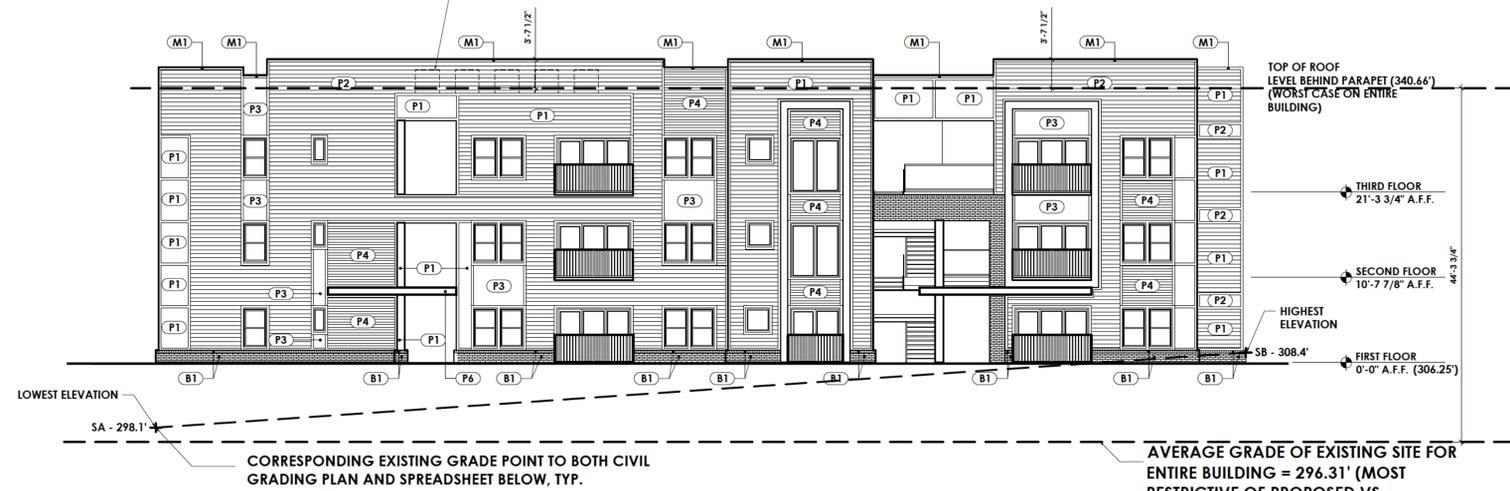
1 WEST ELEVATION
Scale: 3/32" = 1'-0"

Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

Project Data		Revisions	
Project #	2018-040	No	Date
Project Name	Trailwood Apartments	Date	1/10/20
Average Grade Calculation			
Building A	Existing Elevations	Average	Proposed Elevations
South Wall (1)	SA 298.10	302.80	305.75
East Wall (2)	EA 307.50	297.63	305.75
North Wall (3)	NA 299.00	292.63	306.00
West Wall (4)	WA 286.25	282.18	296.38
Average - Building A		296.31	301.89
Use Most Restrictive Elevation (compare exist. vs. proposed)		296.31	
Maximum Allowable Building Height (UDO 2.2.4)		45	MORE RESTRICTIVE
Maximum Allowable Building Elevation		341.31	
Building	FFE	Proposed Bldg. Ht.	Proposed Bldg. Elev. (Top of Roof)
Building A1	306.25	34.41	340.66
Building A2	255.58	34.41	329.99
Are Building A Elevations Under the Max Allowable Elevation?	YES		

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2 SOUTH ELEVATION
Scale: 3/32" = 1'-0"

Trailwood Apartments
Building A
Raleigh, NC

REVISIONS

No.	Date	Description

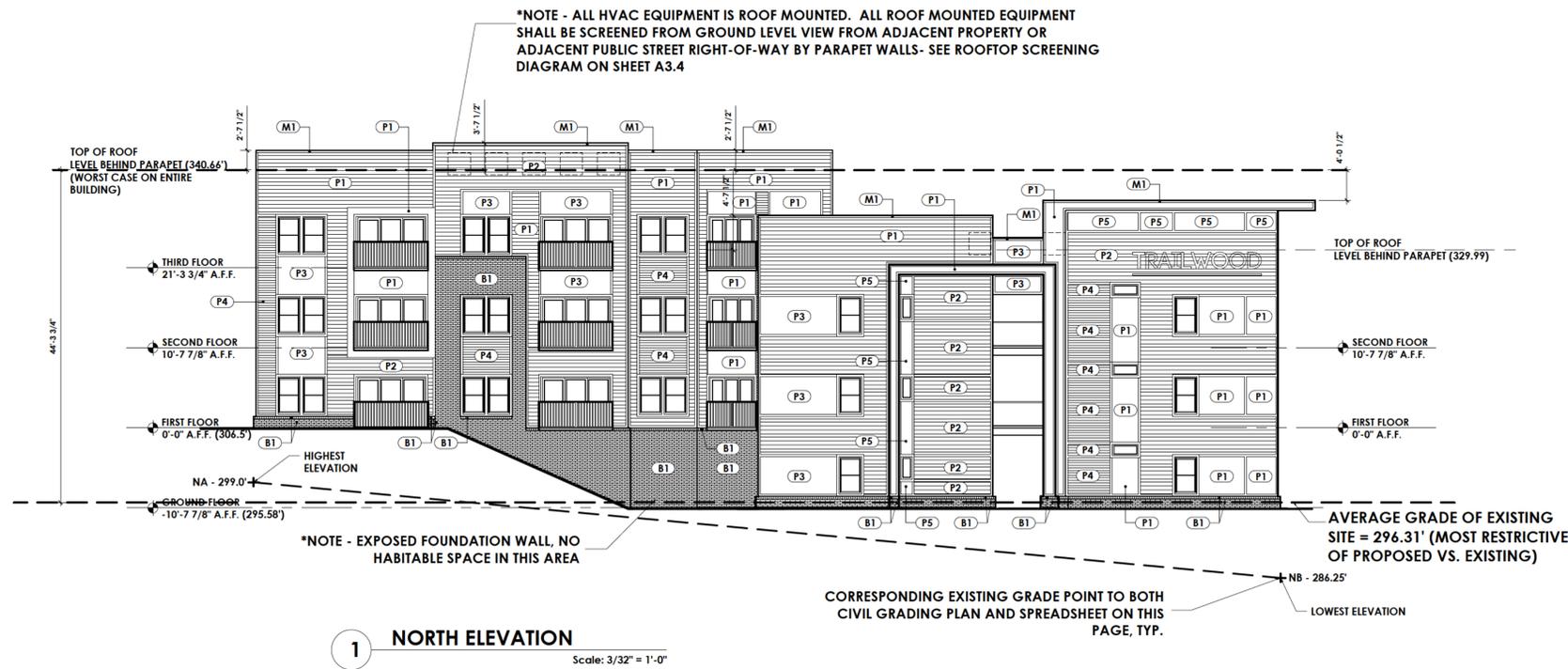
PROJECT: 1811
DATE: 09/23/19
DRAWN BY: KEL
CHECKED BY: JDL

MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
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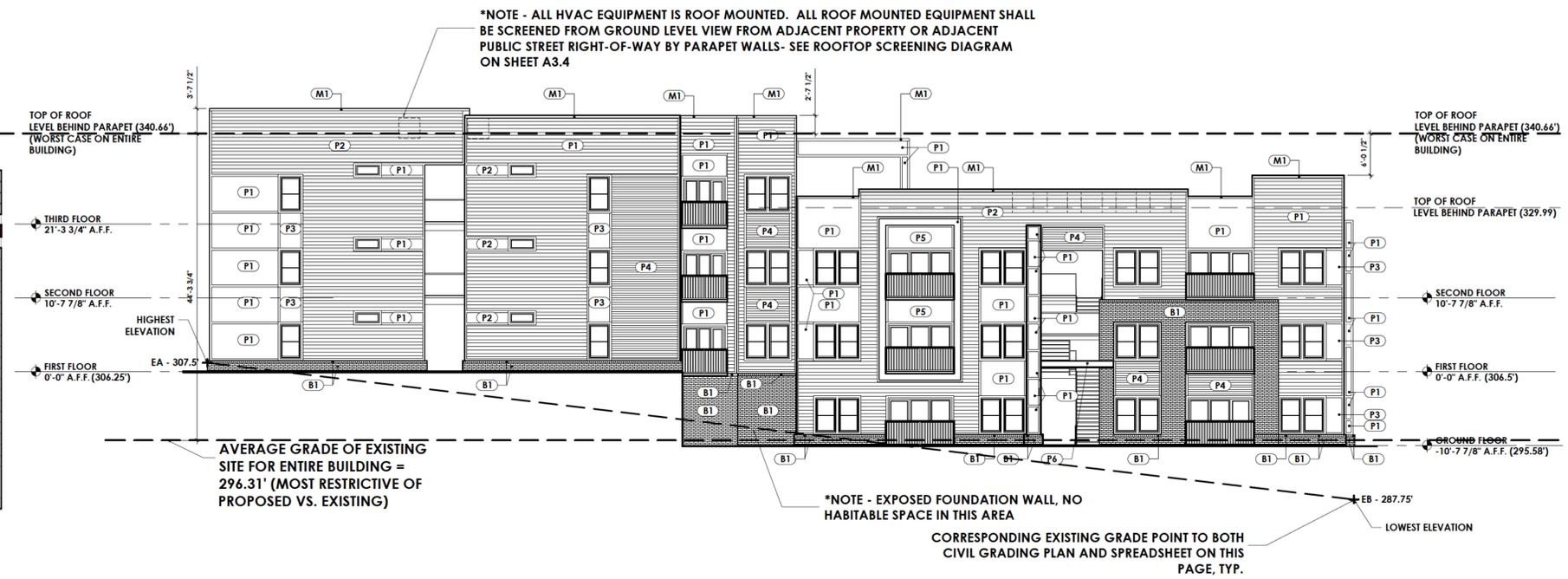


1 NORTH ELEVATION
Scale: 3/32" = 1'-0"

Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

Project Data		Revisions	
Project #	2018-040	No	Date
Project Name	Trailwood Apartments	Date	
Date	1/10/20		
Average Grade Calculation			
Building A	Existing Elevations	Average	Proposed Elevations
	Exist. Elevation "a"	Exist. Elevation "b"	Prop. Elevation "a"
	SA 298.10	SB 307.50	305.75
South Wall (1)	EA 307.50	EB 287.75	297.63
East Wall (2)	NA 299.00	NB 286.25	292.63
North Wall (3)	WA 296.25	WB 298.10	297.18
West Wall (4)			296.31
Average - Building A			301.89
Use Most Restrictive Elevation (compare exist. vs. proposed)		296.31	
Maximum Allowable Building Height (LIDO 2.2.4)	45		
Maximum Allowable Building Elevation		341.31	
Building	FFE	Proposed Bldg. Ht.	Proposed Bldg. Elev. (Top of Roof)
Building A1	316.25	34.41	340.66
Building A2	265.58	34.41	329.99
Are Building A Elevations Under the Max Allowable Elevation?	YES		



2 EAST ELEVATION
Scale: 3/32" = 1'-0"

REVISIONS

No.	Date	Description

PROJECT: 1811
DATE: 09/23/19
DRAWN BY: KEL
CHECKED BY: JDL

EXTERIOR
ELEVATIONS
BLDG A

MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

ELEVATION NOTES

1. DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
2. PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).

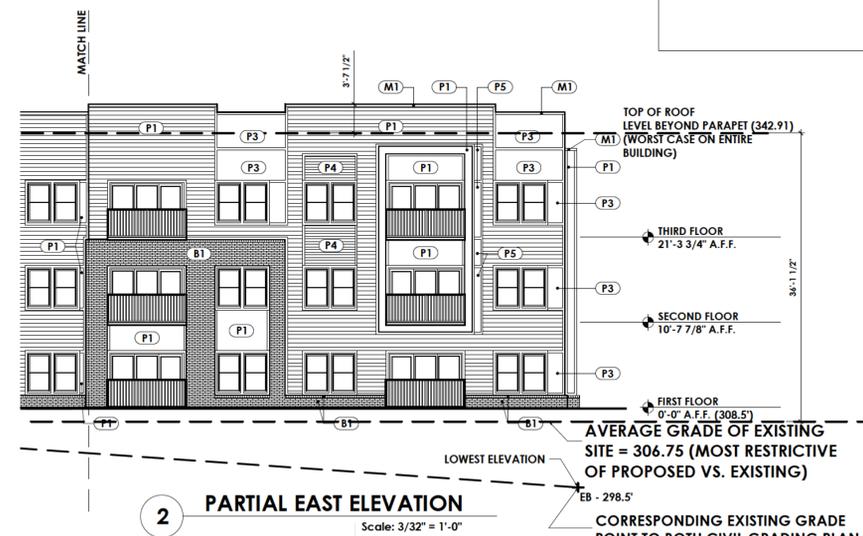


1 SOUTH ELEVATION
Scale: 3/32" = 1'-0"

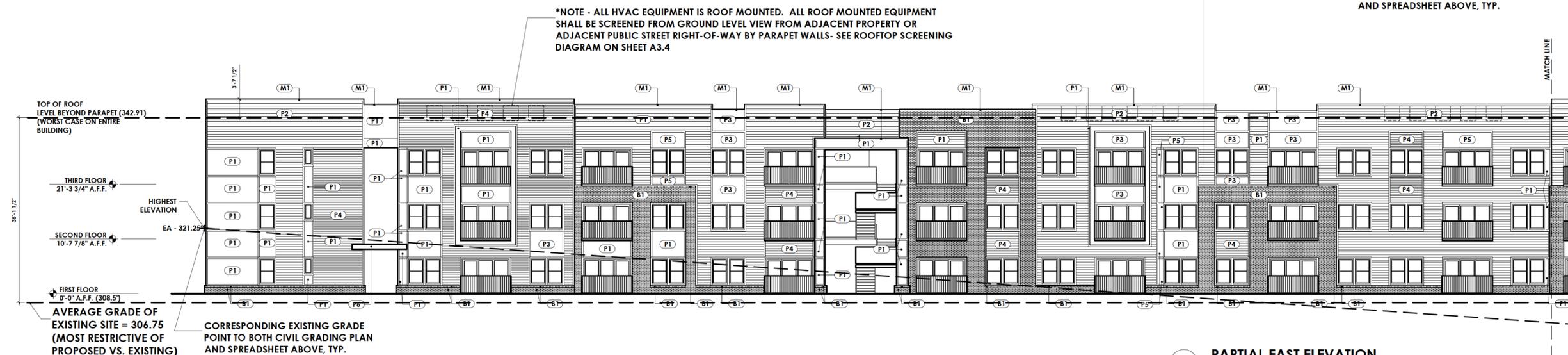
Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

Project Data		Revisions			
Project #	2018-040	No	Date		
Project Name	Trailwood Apartments	Description			
Date	1/10/20				
Average Grade Calculation					
Building B	Existing Elevations		Proposed Elevations		Average
	Exist. Elevation "a"	Exist. Elevation "b"	Prop. Elevation "a"	Prop. Elevation "b"	
West (1)	WA 289	WB 311	300.00	306	307.00
South (2)	SA 311	SB 321.25	316.13	306	307.00
East (3)	EA 321.25	EB 298.5	309.88	308	308.00
North (4)	NA 298.5	NB 303.5	301.00	308	308.00
Average - Building B			306.75	308	307.50
Use Most Restrictive Elevation (compare exist. vs. proposed)			306.75		
Maximum Allowable Building Height (UDO 2.2.4)			45		MORE RESTRICTIVE
Maximum Allowable Building Elevation			351.75		
Building	FFE	Proposed Bldg Ht.	Proposed Bldg. Elev. (Top of Roof)		
Building B1	306.5	34.41	340.91		
Building B2	308.5	34.41	342.91		
Are Building B Elevations Under the Max Allowable Elevation?		YES			



2 PARTIAL EAST ELEVATION
Scale: 3/32" = 1'-0"



3 PARTIAL EAST ELEVATION
Scale: 3/32" = 1'-0"

Trailwood Apartments
Building B
Raleigh, NC

REVISIONS

No.	Description

PROJECT: 1811
DATE: 09/23/19
DRAWN BY: KEL
CHECKED BY: JDL

EXTERIOR ELEVATIONS
BLDG B
A3.2

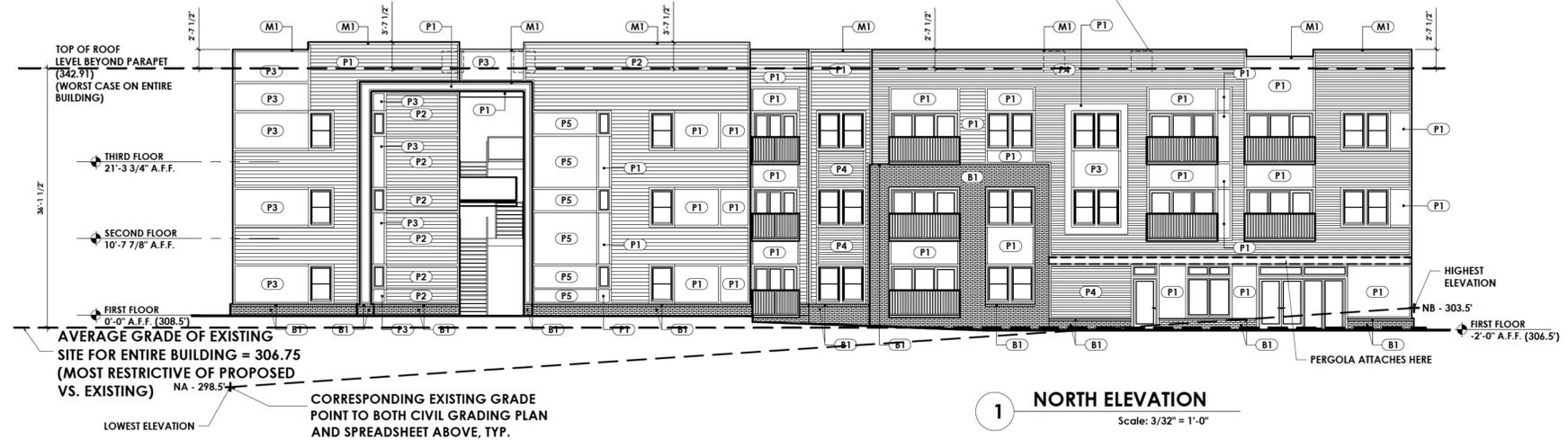
MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

ELEVATION NOTES

1. DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
2. PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).

*NOTE - ALL HVAC EQUIPMENT IS ROOF MOUNTED. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY OR ADJACENT PUBLIC STREET RIGHT-OF-WAY BY PARAPET WALLS - SEE ROOFTOP SCREENING DIAGRAM ON SHEET A3.4

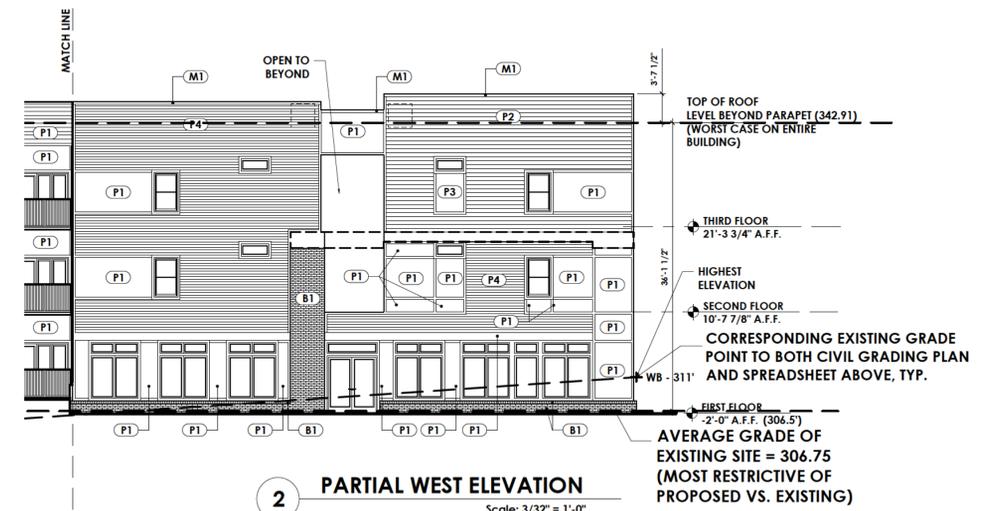


1 NORTH ELEVATION
Scale: 3/32" = 1'-0"

Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

Project #		2018-040		Revisions		
Project Name		Trailwood Apartments		No	Date	
Date		1/10/20				
Average Grade Calculation						
Building B	Existing Elevations			Proposed Elevations		
	Exist. Elevation "a"	Exist. Elevation "b"	Average	Prop. Elevation "a"	Prop. Elevation "b"	Average
West (1)	WA 289	WB 311	300.00	308	306	307.00
South (2)	SA 311	SB 321.25	316.13	306	308	307.00
East (3)	EA 321.25	EB 298.5	309.88	308	308	308.00
North (4)	NA 298.5	NB 303.5	301.00	308	308	308.00
Average - Building B			306.75			307.50
Use Most Restrictive Elevation (compare exist. vs. proposed)			306.75			
Maximum Allowable Building Height (UDO 2.2.4)			45	MORE RESTRICTIVE		
Maximum Allowable Building Elevation			351.75			
Building	FFE	Proposed Bldg Ht.	Proposed Bldg. Elev. (Top of Roof)			
Building B1	306.5	34.41	340.91			
Building B2	308.5	34.41	342.91			
Are Building B. Elevations Under the Max Allowable Elevation?			YES			



2 PARTIAL WEST ELEVATION
Scale: 3/32" = 1'-0"

*NOTE - ALL HVAC EQUIPMENT IS ROOF MOUNTED. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY OR ADJACENT PUBLIC STREET RIGHT-OF-WAY BY PARAPET WALLS - SEE ROOFTOP SCREENING DIAGRAM ON SHEET A3.4



3 PARTIAL WEST ELEVATION
Scale: 3/32" = 1'-0"

REVISIONS

No.	Description

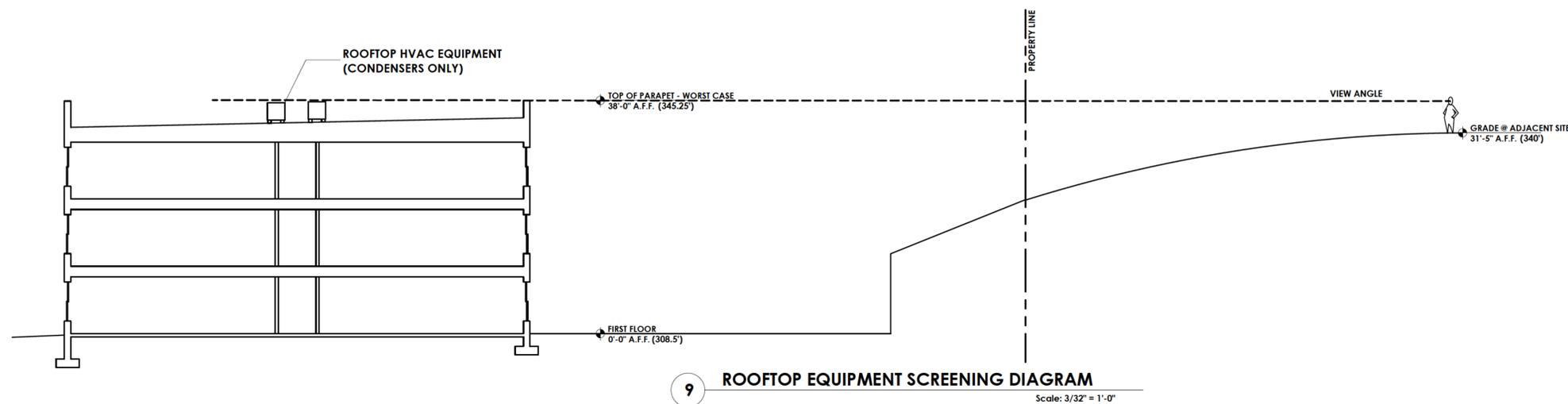
PROJECT: 1811
DATE: 09/23/19
DRAWN BY: KEL
CHECKED BY: JDL

MATERIAL LEGEND

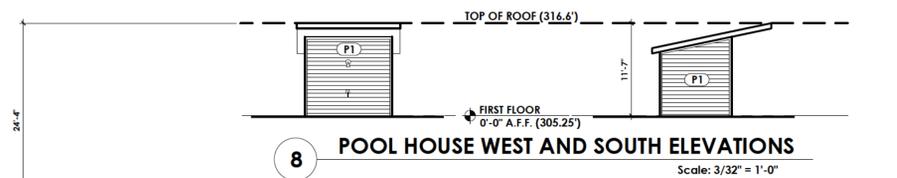
- B1** BRICK - BRICK - BEIGE
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

ELEVATION NOTES

1. DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
2. PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).

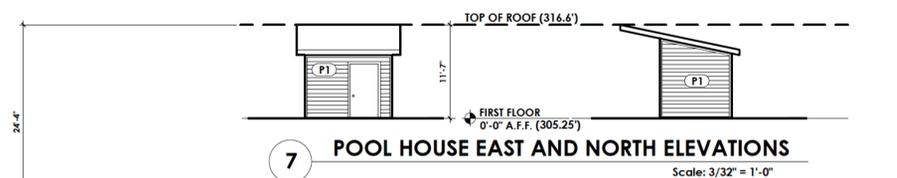


9 ROOFTOP EQUIPMENT SCREENING DIAGRAM
Scale: 3/32" = 1'-0"



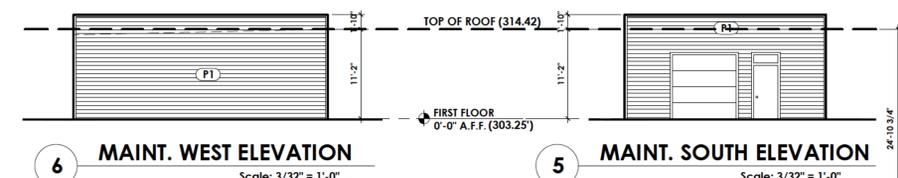
8 POOL HOUSE WEST AND SOUTH ELEVATIONS
Scale: 3/32" = 1'-0"

AVERAGE GRADE OF EXISTING SITE FOR ENTIRE BUILDING = 292.5 (MOST RESTRICTIVE OF PROPOSED VS. EXISTING)
SA - 292.25 SB - 293.5 WA - 291.75 WB - 292.25



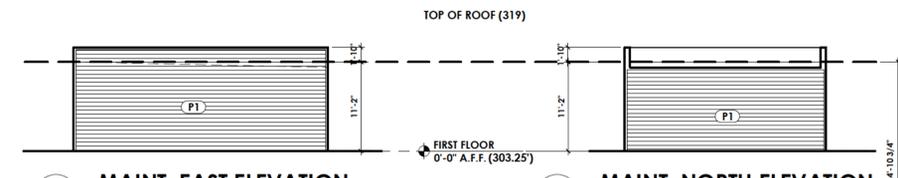
7 POOL HOUSE EAST AND NORTH ELEVATIONS
Scale: 3/32" = 1'-0"

AVERAGE GRADE OF EXISTING SITE FOR ENTIRE BUILDING = 292.5 (MOST RESTRICTIVE OF PROPOSED VS. EXISTING)
NA - 292.51 NB - 291.75 EA - 293.5 EB - 292.5



6 MAINT. WEST ELEVATION and **5 MAINT. SOUTH ELEVATION**
Scale: 3/32" = 1'-0"

AVERAGE GRADE OF EXISTING SITE = 289.53 (MOST RESTRICTIVE OF PROPOSED VS. EXISTING)
WA - 286' WB - 288.8 SA - 288.8 SB - 293.5



4 MAINT. EAST ELEVATION and **3 MAINT. NORTH ELEVATION**
Scale: 3/32" = 1'-0"

AVERAGE GRADE OF EXISTING SITE = 289.53 (MOST RESTRICTIVE OF PROPOSED VS. EXISTING)
EA - 293.5 EB - 289.8 NA - 289.8 NB - 286'

Project Data				Revisions			
Project #	2018-040	No		Date		Description	
Project Name	Trailwood Apartments						
Date	1/10/20						
Average Grade Calculation							
Pool Building	Existing Elevations			Proposed Elevations			
	Exist. Elevation "a"	Exist. Elevation "b"	Average	Prop. Elevation "a"	Prop. Elevation "b"	Average	
West (1)	WA 291.75	WB 292.25	292.00	305.00	305.00	305.00	
South (2)	SA 292.25	SB 293.50	292.88	305.00	305.00	305.00	
East (3)	EA 293.50	EB 292.50	293.00	305.00	305.00	305.00	
North (4)	NA 292.50	NB 291.75	292.13	305.00	305.00	305.00	
Average - Maint. Building			292.50			305.00	
Use Most Restrictive Elevation (compare exist. vs. proposed)							292.50
Maximum Allowable Building Height (UDO 2.2.4)							25
Maximum Allowable Building Elevation							317.50
MORE RESTRICTIVE							
Building	FFE	Proposed Bldg Ht.	Proposed Bldg. Elev. (Top of Roof)				
Maint. Bldg.	305.25	11.58	316.83				
Are Maint. Building Elevations Under the Max Allowable Elevation?							YES

Project Data				Revisions			
Project #	2018-040	No		Date		Description	
Project Name	Trailwood Apartments						
Date	1/10/20						
Average Grade Calculation							
Maint. Building	Existing Elevations			Proposed Elevations			
	Exist. Elevation "a"	Exist. Elevation "b"	Average	Prop. Elevation "a"	Prop. Elevation "b"	Average	
West (1)	WA 286.00	WB 288.80	287.40	303.00	303.00	303.00	
South (2)	SA 288.80	SB 293.50	291.15	303.00	303.00	303.00	
East (3)	EA 293.50	EB 289.80	291.65	303.00	303.00	303.00	
North (4)	NA 289.80	NB 286.00	287.90	303.00	303.00	303.00	
Average - Maint. Building			289.53			303.00	
Use Most Restrictive Elevation (compare exist. vs. proposed)							289.53
Maximum Allowable Building Height (UDO 2.2.4)							25
Maximum Allowable Building Elevation							314.53
MORE RESTRICTIVE							
Building	FFE	Proposed Bldg Ht.	Proposed Bldg. Elev. (Top of Roof)				
Maint. Bldg.	303.25	11.17	314.42				
Are Maint. Building Elevations Under the Max Allowable Elevation?							YES