



# Administrative Approval Action

Case File / Name: ASR-0071-2019  
Avent-Trailwoods Apartments

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site is generally located at the southeast corner of Avent Ferry Road and Trailwood Drive, with common street addresses of 901 and 921 Trailwood Drive. A portion of this site is outside the city limits.

**REQUEST:** Development of a 122 unit apartment community and associated site improvements. The apartments are located in two buildings with amenities such as a pool located between the buildings. The property is approximately 12.27 acres and zoned R-10 and SRPOD.

Variance (A-3-19) approved granting a reduction of the primary street minimum build-to width requirement set forth in UDO Section 2.2.4.D from 70% to 30%, complete relief from the side street build-to requirements set forth in UDO Section 2.2.4.D, and complete relief from the corner build-to requirement set forth in UDO Section 1.5.6.C.

Variance (A-115-19) approved granting relief from the 2,500 foot maximum block perimeter requirements set forth in UDO Section 8.3.2.A.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:**

SPR-0108-2020: DSLC - Site Permitting Review/Major [Signature Set]

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 18, 2020 by DON CURRY.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Engineering**

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

### **Stormwater**

3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).





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4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
6. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).

## Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

|                                     |                         |
|-------------------------------------|-------------------------|
| <input checked="" type="checkbox"/> | Slope Easement Required |
|-------------------------------------|-------------------------|

|                                     |                                     |
|-------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> | Utility Placement Easement Required |
|-------------------------------------|-------------------------------------|

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. Slope easements and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.





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4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.553 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. A demolition permit shall be obtained.
2. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## Engineering

3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A fee-in-lieu for 1' in sidewalk width along the Avent Ferry frontage shall be paid to the City of Raleigh (UDO 8.1.10).

## Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

7. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

## Urban Forestry





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8. A public infrastructure surety for street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 13 street trees along Avent Ferry Road.
10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. All street lights and street signs required as part of the development approval are installed.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

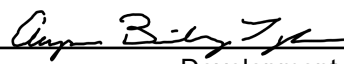
### **3-Year Expiration Date:** April 23, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 04/23/2020  
Development Services Dir/Designee

Staff Coordinator: Ryan Boivin



# AVENT-TRAILWOOD APARTMENTS

CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA

## ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-0071-2019

1st SUBMITTAL TO CITY OF RALEIGH: SEPTEMBER 19, 2019  
2nd SUBMITTAL TO CITY OF RALEIGH: NOVEMBER 18, 2019

3rd SUBMITTAL TO THE CITY OF RALEIGH: JANUARY 16, 2020  
4th SUBMITTAL TO THE CITY OF RALEIGH: MARCH 18, 2020



VICINITY MAP  
SCALE: 1" = 1000'

### SITE INFORMATION:

LOCATION: 901 TRAILWOOD DR.  
921 TRAILWOOD DR.  
RALEIGH, NC 27606  
COUNTY: WAKE  
PARCEL #: 0793 24 05 15, 0793 25 01 41  
REID #: 0002642, 0002641  
DB/P: 15-E / 207  
CURRENT ZONING: R-10  
PROPOSED ZONING: R-10  
ACREAGE (PRIOR TO ROW DEDICATION): 12.27 AC (BASED ON PROPERTY RECOMBINATION)  
ACREAGE (AFTER ROW DEDICATION): 12.08 AC (BASED ON PROPERTY RECOMBINATION)  
LAND CLASS: APARTMENT  
RIGHT OF WAY & OTHER AREAS:  
RIGHT OF WAY DEDICATION: 0.19 AC  
GREENWAY DEDICATION: N/A  
STREAM BUFFER (ON-SITE): 2.63 AC  
TREE CONSERVATION AREA:  
NET PROPERTY AREA: 12.08 AC  
TCA REQUIRED: 1.21 AC (10% MIN)  
TCA PROVIDED: 1.55 AC (12.86%)  
OUTDOOR AMENITY AREA:  
NET PROPERTY AREA: 12.08 AC (NET ACREAGE)  
OUTDOOR AMENITY AREA REQUIRED: 1.21 AC (10% MIN)  
OUTDOOR AMENITY AREA PROVIDED: 1.80 AC (GREENWAY ESMT. + ON-SITE AMENITY)

REQUIRED PARKING:  
NUMBER OF UNITS: 122  
STUDIO (11 UNITS): 11 (1 SPACE/UNIT)  
1 BEDROOM (66 UNITS): 66 (1 SPACE/UNIT)  
2 BEDROOM (22 UNITS): 44 (2 SPACES/UNIT)  
2 BEDROOM-ROOMMATE (23 UNITS): 46 (2 SPACES/UNIT)  
TOTAL RESIDENT SPACES REQUIRED: 167  
VISITOR SPACES: 12 (UNITS x 10%)  
REQUIRED PARKING: 179 SPACES  
REQUIRED BICYCLE PARKING: 6 MIN (120 UNITS)  
REQUIRED H/C PARKING: 7 (ADA REQUIREMENTS 122 x 5%)  
PROVIDED PARKING:  
REGULAR SPACES: 177 SPACES  
H/C SPACES: 7 SPACES  
TOTAL PROVIDED PARKING: 184 SPACES  
PROVIDED BICYCLE PARKING: 4 RACKS - 7 BIKE PARKS EACH = 28 TOTAL (INSIDE BUILDING)  
2 PUBLIC RACKS OUTSIDE BLDG - 3 BIKE PARKS EACH = 6 TOTAL (SEE PLAN)

IMPERVIOUS AREAS:  
EXISTING:  
PAVEMENT/WALLS: 0.13 AC  
SIDEWALKS: 0.00 AC  
BUILDING: 0.07 AC  
TOTAL EXISTING IMPERVIOUS: 0.20 AC (1.6%)  
PROPOSED:  
ROADWAYS/PARKING: 1.54 AC  
SIDEWALKS/CONCRETE PADS: 0.32 AC  
APARTMENTS/ACCESSORY BLDG: 1.11 AC  
OUTDOOR AMENITIES: 0.08 AC  
TOTAL IMPERVIOUS: 3.05 AC (25.2%)

UTILITY DEMANDS:  
SEWER/WATER USAGE: 120 GPD/1 BEDROOM UNIT  
240 GPD/2 BEDROOM UNIT  
BUILDING AREA (GROSS SF):  
BUILDING A: 45,078 SF  
BUILDING B (INCLUDING CLUBHOUSE): 82,860 SF  
MAINTENANCE BUILDING: 811 SF  
POOL HOUSE: 106 SF

### DRAWING INDEX

- C-00 COVER SHEET
- C-01 CIVIL NOTES
- C-02 EXISTING CONDITIONS
- C-03 DEMOLITION PLAN
- C-04 PARTIAL SITE PLAN I
- C-05 PARTIAL SITE PLAN II
- C-06 GRADING & DRAINAGE PLAN
- C-07 PARTIAL UTILITY PLAN I
- C-08 PARTIAL UTILITY PLAN II
- C-09 LIGHTING PLAN
- C-10 STORMWATER POA PLAN - EXISTING
- C-11 STORMWATER POA PLAN - PROPOSED
- C-12 DRAINAGE BASIN PLAN
- C-13 TRAILWOOD DRIVE SIGHT DISTANCE
- C-14 FLOODPLAIN FILL EXHIBIT

- S-01 ORIGINAL SEALED SURVEY
- S-02 RECOMBINATION PLAT
- L-01 TREE CONSERVATION PLAN
- L-02 TREE COVER REPORT
- L-03 OVERALL LANDSCAPE PLAN
- L-04 PARTIAL LANDSCAPE PLAN 1
- L-05 PARTIAL LANDSCAPE PLAN 2
- A3.0 ARCHITECTURAL ELEVATIONS - BLDG. A
- A3.1 ARCHITECTURAL ELEVATIONS - BLDG. A
- A3.2 ARCHITECTURAL ELEVATIONS - BLDG. B
- A3.3 ARCHITECTURAL ELEVATIONS - BLDG. B
- A3.4 ARCHITECTURAL ELEVATIONS - ACCESSORY STRUCTURES

#### GOVERNING AGENCIES:

PLANNING/ZONING:  
CITY OF RALEIGH  
ONE EXCHANGE PLAZA SUITE 304  
RALEIGH, NC 27601  
919-996-2437

#### STORMWATER ENGINEERING

CITY OF RALEIGH  
ONE EXCHANGE PLAZA  
RALEIGH, NC 27601  
919-996-3515 (o)  
CONTACT: BEN BROWN  
EMAIL: ben.brown@raleighnc.gov

#### SEDIMENTATION & EROSION CONTROL

CITY OF RALEIGH  
ONE EXCHANGE PLAZA  
RALEIGH, NC 27601  
919-996-3515 (o)  
CONTACT: BEN BROWN  
EMAIL: ben.brown@raleighnc.gov

#### UTILITY AGENCIES:

WATER & SEWER:  
CITY OF RALEIGH PUBLIC UTILITIES  
ONE EXCHANGE PLAZA  
RALEIGH, NC 27601  
919-996-3484 (o)  
CONTACT: KEITH TEW  
EMAIL: keith.tew@raleighnc.gov

NATURAL GAS:  
PSNC ENERGY - SCANA  
3515 SPRING FOREST ROAD  
RALEIGH, NC 27616  
919-501-7895 (o)  
CONTACT: CRAIG SCHOLL  
EMAIL: cscholl@scana.com

ELECTRIC:  
PROGRESS ENERGY BUSINESS  
9620 FAYETTEVILLE ROAD  
RALEIGH, NC 27603  
919-557-2611 (o)

PHONE:  
AT&T NC  
5715 GLENWOOD AVE.  
RALEIGH, NC 27612  
910-785-7856 (o)  
CONTACT: WANDA HARRIS  
EMAIL: wh1741@att.com (e)

CABLE:  
TIME WARNER CABLE  
101 INNOVATION AVE.  
MORRISVILLE, NC 27560  
919-882-4748 (o)  
CONTACT: JEFF HUNTER  
EMAIL: jeffrey.hunter@twcable.com

### Civil Engineer:

The Curry Engineering Group, PLLC  
NC License # P-0799  
PO Box 2018  
205 S. Fuquay Ave  
Fuquay-Varina, NC 27526  
919.552.0849 (o)  
919.880.9857 (m)  
Contact: Don Curry, PE  
don@curryeng.com

### Landscape Architect:

Southwell Design, PLLC  
P.O. Box 37178  
Raleigh, NC 27627  
919.272.6729 (v)  
Contact: Adam Southwell, PLA, ASLA  
adam@southwelldesign.com

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH  
CITY OF RALEIGH STANDARDS & SPECIFICATIONS

#### DEVELOPMENT SERVICES

Administrative Site Review Application  
Development Services Customer Service Center - One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2465

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building type and include the plan checklist document when submitting.

|   |                                    |   |  |
|---|------------------------------------|---|--|
| Office Use Only: Transaction #:               |                                    | Planning Coordinator:                   |  |
| Building Type                                 |                                    | Site Transaction History                |  |
| <input type="checkbox"/> Detached             | <input type="checkbox"/> General   | Subdivision transaction #:              |  |
| <input type="checkbox"/> Attached             | <input type="checkbox"/> Mixed use | Sketch transaction #: 557633            |  |
| <input checked="" type="checkbox"/> Apartment | <input type="checkbox"/> Open lot  | Certificate of Appropriateness #:       |  |
| <input type="checkbox"/> Townhouse            | <input type="checkbox"/> Civic     | Board of Adjustment #: A-3-18, A-115-19 |  |
|   |                                    | Zoning Case #:                          |  |
|   |                                    | Administrative Alternate #:             |  |

#### GENERAL INFORMATION

Development name: Trailwood Apartments - Raleigh  
Inside City limits? ☒ Yes ☒ No 901 Trailwood is inside City limits, 921 Trailwood is not.

Property address(es):  
901 and 921 Trailwood Drive, Raleigh, NC

Site P.I.N.(s): 0793240515, 0793250141  
Please describe the scope of work. Include any additions, expansions, and change of use.  
Construction of a 122 unit apartment complex with associated infrastructure as required.

Current Property Owner/Developer Contact Name: Eleanor N. Aurand Revocable Living Trust, Leonard W. Aurand  
NOTE: please attach purchase agreement when submitting this form. Irrevocable Trust, Thomas J. Aurand Trustee  
Company: Aventura Trailwood LLC Title: Thomas R. Huff, Principal  
Address: 5400 Trinity Road, Suite 309, Raleigh, NC 27607  
Phone #: 919-233-9901 Email: thuff@capitalassociates.com  
Applicant Name: Don Curry  
Company: Curry Engineering, PLLC Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526  
Phone #: 919-552-0849 Email: don@curryeng.com

#### SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY A PRIVATE GARBAGE COLLECTION SERVICE.

#### ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.  
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.  
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

#### PUBLIC

SEWER COLLECTION / EXTENSION SYSTEM  
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

CITY OF RALEIGH  
PUBLIC UTILITIES DEPARTMENT PERMIT #

AUTHORIZATION TO CONSTRUCT

DATE

#### BOA VARIANCE SUMMARY:

- A-3-19 (1/14/2019):  
BUILD-TO VARIANCE
- A-115-19 (8/12/2019):  
BLOCK PERIMETER VARIANCE

#### DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)

| EXISTING DATA   | BUILDING DATA  |
|---|--|
| Zoning district (if more than one, please provide the acreage of each):<br>R-10 | Existing gross floor area (not to be demolished):<br>0<br>Existing gross floor area to be demolished:<br>1594 sf |
| Gross site acreage: 12.27 acres   | New gross floor area: 128,865 sf   |
| # of parking spaces required: 179   | Total # of gross (to remain and new): 128,865 sf   |
| # of parking spaces proposed: 184   | Proposed # of buildings: 4 (2 apts., 1 maint., 1 pool)   |
| Overlay District (if applicable): SRPOD   | Proposed # of stories for each: 3 apts., 1 maint., 1 pool  |
| Existing use (UDO 6.1.4): Single family   |  |
| Proposed use (UDO 6.1.4): Multi-unit living                                     |  |

#### STORMWATER INFORMATION

Existing Impervious Surface:  
Acres: .20 Square Feet: 8712  
Proposed Impervious Surface:  
Acres: 3.05 Square Feet: 132,682  
Is this a flood hazard area? ☒ Yes ☐ No  
If yes, please provide:  
Alluvial soils: AgC2 and Wo

Flood study:  
FEMA Map Panel #: 9793  
Neuse River Buffer: ☒ Yes ☐ No Wetlands: ☒ Yes ☐ No

#### RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 122 Total # of hotel units:  
# of bedroom units: 1br: 77 2br: 45 3br: 4br or more:  
# of lots: 2 Is your project a cottage court? ☐ Yes ☒ No

#### SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate The Curry Engineering Group, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable to the proposed development and I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: *Thomas J. Aurand* Date: 4/18/19  
Printed Name: Thomas J. Aurand, Trustee of Owners

### ASR APPLICATION

### Architect:

Finley Design  
7806 NC Hwy 771, Suite 110  
Durham, NC 27713  
919.425.5467 (o)  
919.308.3013 (m)  
Contact: Kerry Gray Finley, AIA  
kerry@finleydesignarch.com

### Applicant:

Fuller Land & Development Company  
8801 East Park Drive, Suite 301  
Raleigh, NC 27607  
919.417.0057 (v)  
janderson@fullerlanddev.com (e)  
Contact: Mr. Jim Anderson

PROFESSIONAL'S SEAL

PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION

NOT FOR CONSTRUCTION

TRAILWOOD APARTMENTS - RALEIGH, NC  
COVER SHEET

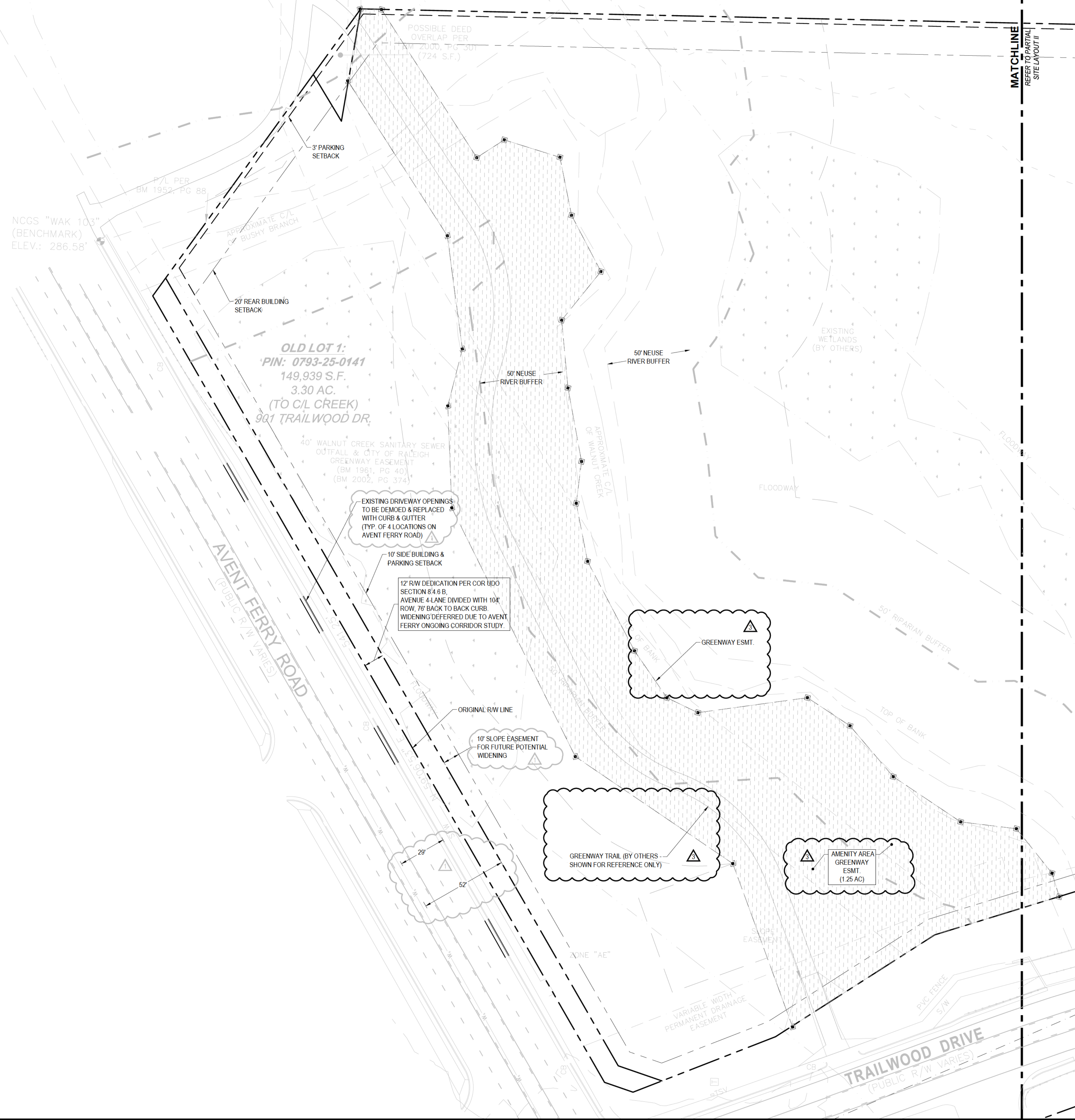
205 S. Fuquay Avenue  
Fuquay-Varina, NC 27526  
T: (919) 552-0849  
F: (919) 552-0843

Curry  
ENGINEERING  
C-00








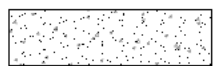









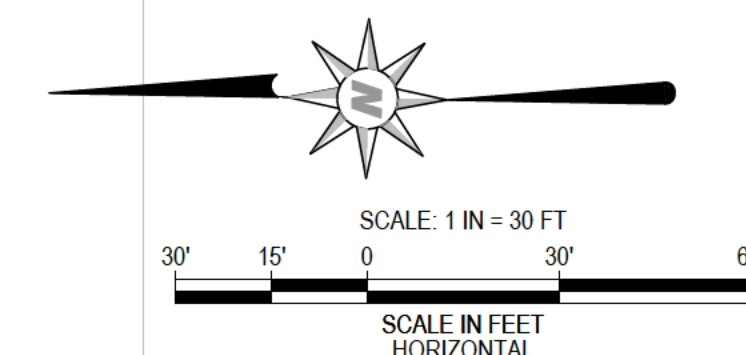


GENERAL NOTES:

1. BEFORE YOU DIG, STOP. CALL THE NO-CALL-NO-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
2. ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
3. ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
4. ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
6. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
10. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
11. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
12. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
13. ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
14. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1 1/2 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL PLAIN JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
15. ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
16. ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
17. TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
18. CLUSTER BOX UNIT SHALL COMPLY WITH IFC A117.1-2009 FOR HEIGHT, REACH AND OPERATION REQUIREMENTS. ADA ACCESSIBILITY SHALL BE PROVIDED.
19. ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS.

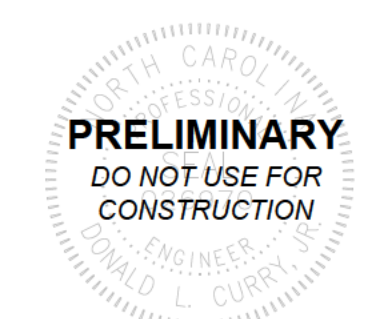
### SITE LEGEND

|   |   |
|---|---|
|   | CONC. CURB & GUTTER                                 |
|  | MINIMUM BUILDING SETBACK LINE                       |
|  | PARKING SETBACK LINE                                |
|  | CONCRETE SIDEWALK / HEAVY-DUTY<br>CONCRETE PAVEMENT |
|  | WHEELSTOP   |
|  | HANDICAP PARK                                       |
|  | WHEELCHAIR RAMP                                     |
|  | SIGNAGE   |
|  | SITE LIGHTING                                       |
|  | HEAVY-DUTY ASPHALT PAVEMENT                         |
|  | BUILDING FOOTPRINT                                  |



NOT FOR CONSTRUCTION

PROFESSIONAL'S SEAL

[illegible]**TRAILWOOD APARTMENTS - RALEIGH, NC**

# PARTIAL SITE PLAN I

**T** (919) 552-0849  
**F** (919) 552-2043  
205 S. Fuquay Avenue  
Fayetteville, NC 27526

**Curry**  
ENGINEERING

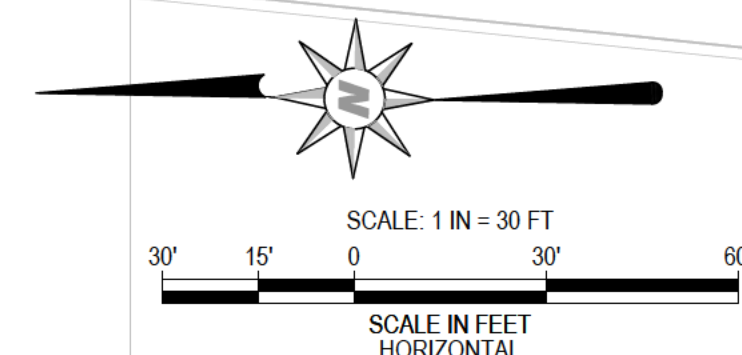
**C-04**



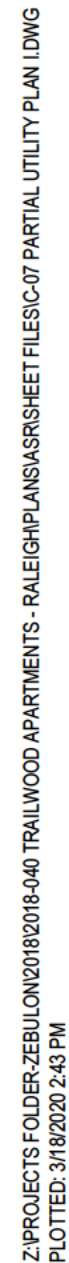
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| E:             | 2,092,272.50 |



















1. BEFORE YOU DIG, STOP. CALL THE NO-CALL-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
2. ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
3. ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
4. ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
6. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
10. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
11. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
12. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
13. ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
14. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAY. NO MILLING WILL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
15. ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
16. ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
17. TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
18. CLUSTER BOX UNIT SHALL COMPLY WITH ICC A117.1-2009 FOR HEIGHT, REACH AND OPERATION REQUIREMENTS. ADA ACCESSIBILITY SHALL BE PROVIDED.
19. ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS.
20. WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE. ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
21. RESIDENTIAL INFILL REQUIREMENTS (REF. CCU 020 2.2.7) DO NOT APPLY TO THIS SITE SINCE THE ACREAGE IS GREATER THAN THE 5 AC. MINIMUM.
22. RPFE ELEVATION = 292 (290 BASE FLOOD ELEV. + 2).  
PROVIDED FFE (LOWEST PROPOSED ELEV. = 295.83).

|  |  |
|--|--|
|  | CURB & GUTTER                                    |
|  | MINIMUM BUILDING SETBACK LINE                    |
|  | PARKING SETBACK LINE                             |
|  | UTILITY EASEMENT                                 |
|  | CONCRETE SIDEWALK / HEAVY-DUTY CONCRETE PAVEMENT |
|  | WHEELSTOP  |
|  | HANDICAP PARK                                    |
|  | WHEELCHAIR RAMP                                  |
|  | SIGNAGE  |
|  | SITE LIGHTING                                    |
|  | HEAVY-DUTY ASPHALT PAVEMENT                      |
|  | BUILDING FOOTPRINT                               |
|  | OUTDOOR AMENITY AREA                             |
|  | H/C ACCESSIBLE ROUTE                             |



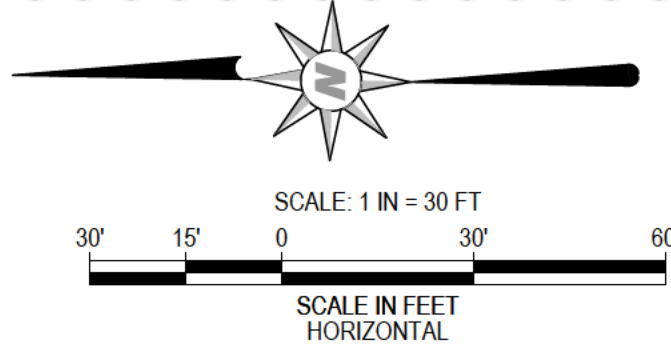




|   |                            |
|---|----------------------------|
|  | FIRE HYDRANT ASSEMBLY      |
|  | GATE VALVE                 |
|  | TEE                        |
|  | THRUST (REACTION) BLOCKING |
|  | BLOW OFF VALVE             |
|  | WATER METER                |
|  | BACKFLOW PREVENTER         |
|  | CLEANOUT                   |
|  | SANITARY MANHOLE           |
|  | FLARED END SECTION         |
|  | RISER STRUCTURE            |
|  | CATCH BASIN (NCDOT)        |
|  | CATCH BASIN (COR)          |
|  | STORM MANHOLE              |
|  | YARD INLET                 |
|  | WATER LINE                 |
|  | SANITARY SEWER LINE        |
|  | STORM DRAIN LINE           |

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. MAINTAIN APPROPRIATE COVER & SEPARATION ON UTILITIES. UTILITY SEPARATION REQUIREMENTS:
  - A. A D STANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
  - B. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
  - C. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
  - D. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - E. MAINTAIN 18" MIN VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
  - F. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
7. INSTALL 4" PVC SEWER SERVICES AT 1% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LEANER FEET MAXIMUM
8. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE
9. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
10. NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
11. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 986-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
12. CROSS-CONNECTION PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 986-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION
13. PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

1. PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
2. WATER METERS OUTSIDE OF RIGHT OF WAY SHALL HAVE A 3' CITY OF RALEIGH PUBLIC WATER LINE EASEMENT THAT EXTENDS 1' PAST THE METER.



**PRELIMINARY**  
DO NOT USE FOR  
CONSTRUCTION

**Curry**  
ENGINEERING

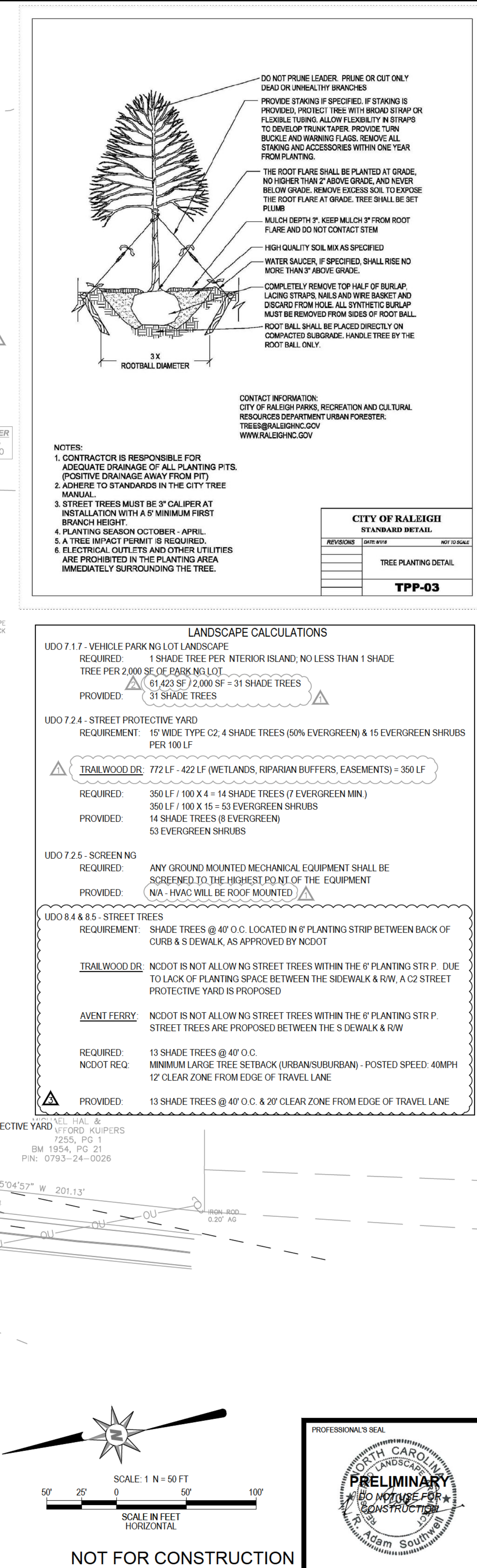
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**C-07**



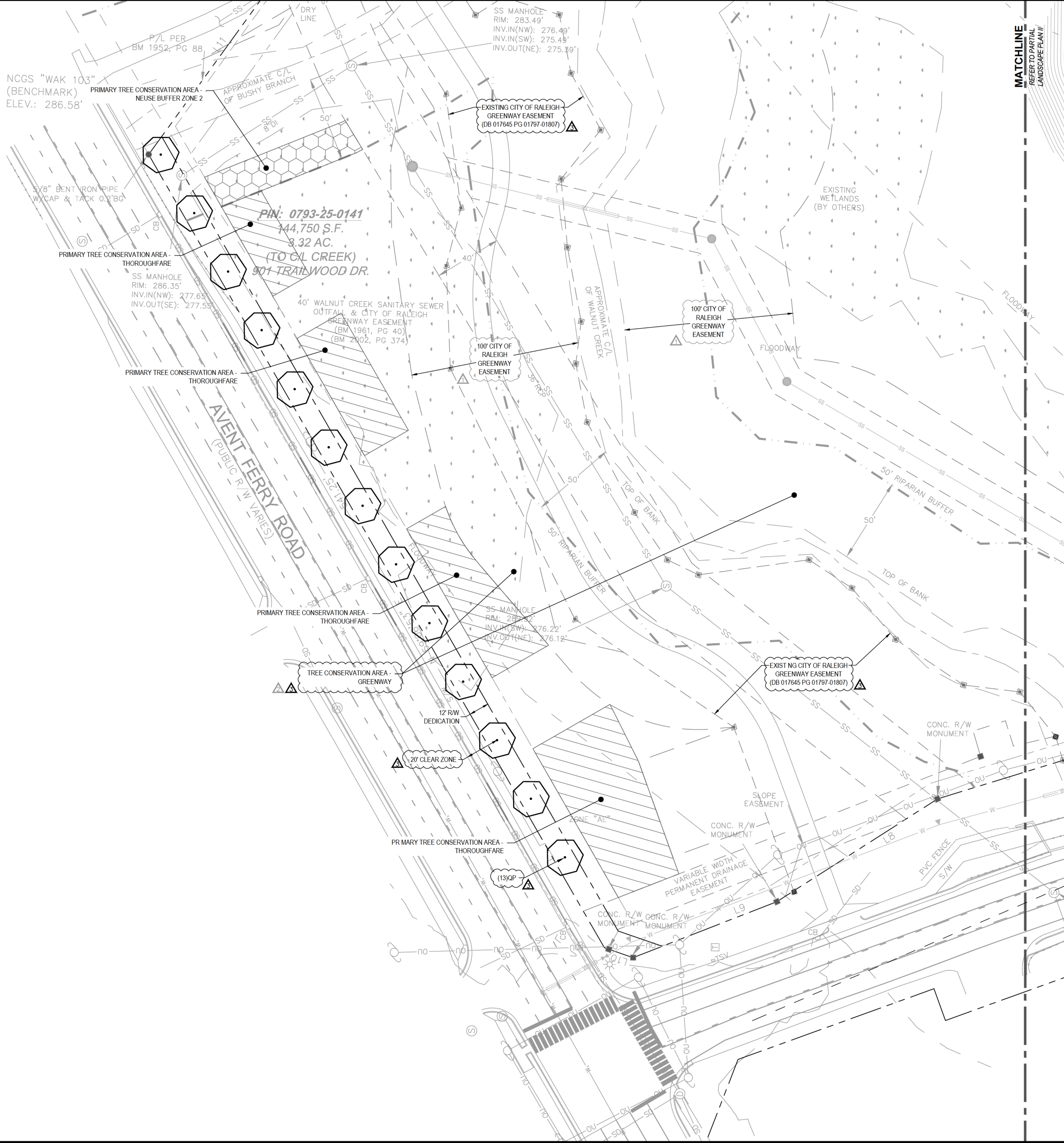






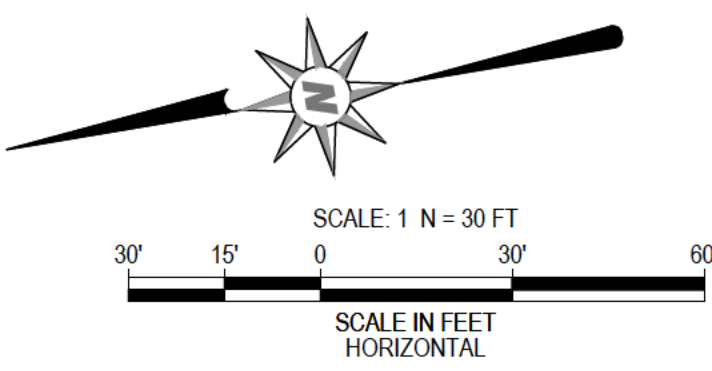
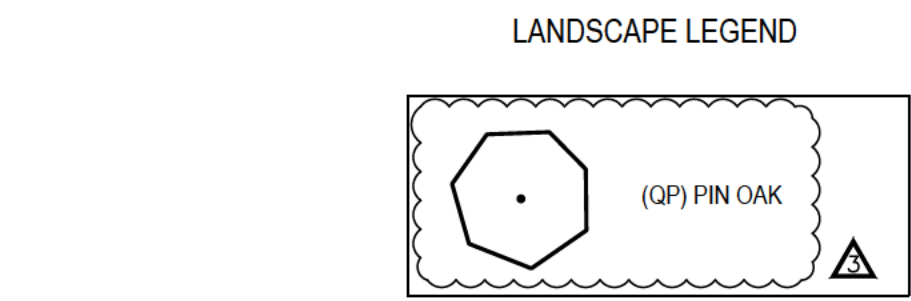


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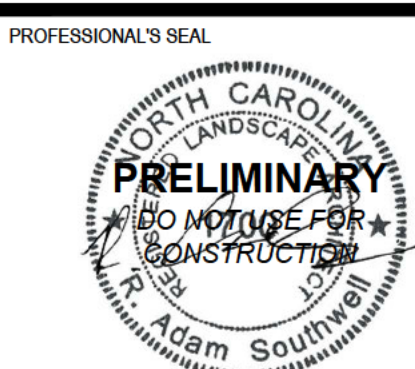


| PLANT SCHEDULE   |      |          |     |       |     |                                |                       |                    |               |
|--|------|----------|-----|-------|-----|--------------------------------|-----------------------|--------------------|---------------|
| TYPE   | USE  | QUANTITY |     |       | KEY | BOTANICAL NAME                 | COMMON NAME           | PLANTING SIZE      | COMMENTS      |
|  |      | L-04     | L-5 | TOTAL |     |                                |                       |                    |               |
| TREES  |      |          |     |       |     |                                |                       |                    |               |
| DCT  | SPY  |          | 6   | 6     | ARF | Acer rubrum 'Franksred'        | Red Sunset® Red Maple | 3" cal, 10' ht MIN | B&B           |
| ECT  | SPY  | 0        | 8   | 8     | CJY | Cryptomeria japonica 'Yoshino' | Yoshino Cryptomeria   | 3" cal, 10' ht MIN | B&B           |
| DCT  | PARK |          | 13  | 13    | PC  | Pistacia chinensis             | Chinese Pistache      | 3" cal, 10' ht MIN | B&B           |
| DCT  | PARK |          | 18  | 18    | QV  | Quercus nuttallii              | Nuttall Oak           | 3" cal, 10' ht MIN | B&B           |
| DCT  | ST   | 13       |     | 13    | QP  | Quercus palustris              | Pin Oak               | 3" cal, 10' ht MIN | B&B; 40' o.c. |
| SHRUBS   |      |          |     |       |     |                                |                       |                    |               |
| ES   | SPY  |          | 53  | 53    | ICN | Ilex cornuta 'Needlepoint'     | Needlepoint Holly     | 36" ht MIN         | Container     |
| ES   | SPY  | 0        |     | 0     | MC  | Myrica cerifera                | Southern Wax Myrtle   | 36" ht MIN         | Container     |
| TYPE/USE LEGEND  |      |          |     |       |     |                                |                       |                    |               |
| Plant Type: DCT = Deciduous Canopy Tree; ECT = Evergreen Canopy Tree; ES = Evergreen Shrub |      |          |     |       |     |                                |                       |                    |               |
| Plant Use: SPY = Street Protective Yard; PARK = Parking Lot Landscape; ST = Street Tree    |      |          |     |       |     |                                |                       |                    |               |

- LANDSCAPE NOTES
- LANDSCAPING SHALL COMPLY WITH THE CITY OF RALEIGH LANDSCAPING ORDINANCE.
  - NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR, OR ALTERATION OF ANY BUILDING, STRUCTURE, OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS UDO.
  - LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLE, OR THE APPROACH TO ANY STREET INTERSECTION. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
  - PRIOR TO CONSTRUCTION, TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL AREAS NOTED AS TREE CONSERVATION AREAS.
  - TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15 FEET FROM ANY OTHER TREE AND NO FURTHER THAN 50 FEET FROM ANY TREE, MEASURED TREE TRUNK TO TREE TRUNK.
  - NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
  - THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH, ANY DEAD, UNHEALTHY, OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THIS UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPE.
  - THE CONTRACTOR SHALL MAINTAIN OR PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND WITHIN PLANTING BEDS.
  - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING UNLESS OTHERWISE DIRECTED BY THE OWNER. THE PLAN SHALL SUPERSEDE THE PLANT SCHEDULE IF THERE ARE DISCREPANCIES BETWEEN THE TWO.
  - ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE USDA FOR NURSERY STOCK, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERMAN, INC., WASHINGTON D.C. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AVAILABLE. TREES SHALL HAVE STRAIGHT TRUNKS AND FULL HEAS (APPROPRIATE FOR GENUS AND SPECIES). SHRUBS SHALL BE LOW BRANCHED AND FULL EXCEPT AS SPECIFIED. ALL MATERIAL OF THE SAME TYPE SHALL BE MATCHED IN HEIGHT, SPREAD, AND FORM. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
  - ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADES BEFORE DIGGING. THE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM OF +/- 1/4" TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
  - INSTALL A MINIMUM OF 3" DEPTH OF TRIPLE SHREDDED HARDWOOD MULCH AS APPROVED BY THE OWNER.
  - ALL PLANT MATERIAL IS SUBJECT TO APPROVAL OF THE OWNER.
  - ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM OF 6' CLEARANCE HEIGHT TO THE FIRST BRANCHING.
  - ALL TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS, CURBS, AND HARDSCAPE, AND A MINIMUM OF 8' FROM FIRE HYDRANTS AND OTHER UTILITIES, UNLESS NOTED OTHERWISE ON THE PLANS.
  - ALL PLANTS SHALL BE INSTALLED PER GENERALLY ACCEPTABLE PLANTING STANDARDS.
  - ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE SPECIFIED.
  - ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS, UNLESS OTHERWISE SPECIFIED. BED EDGES SHALL BE SMOOTH, CONSISTENT, TRENCHED 3 TO 4 INCHES DEEP, AND "V" SHAPED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
  - LAWN TO BE FESCUE SOD AS APPROVED BY OWNER.
  - NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



NOT FOR CONSTRUCTION



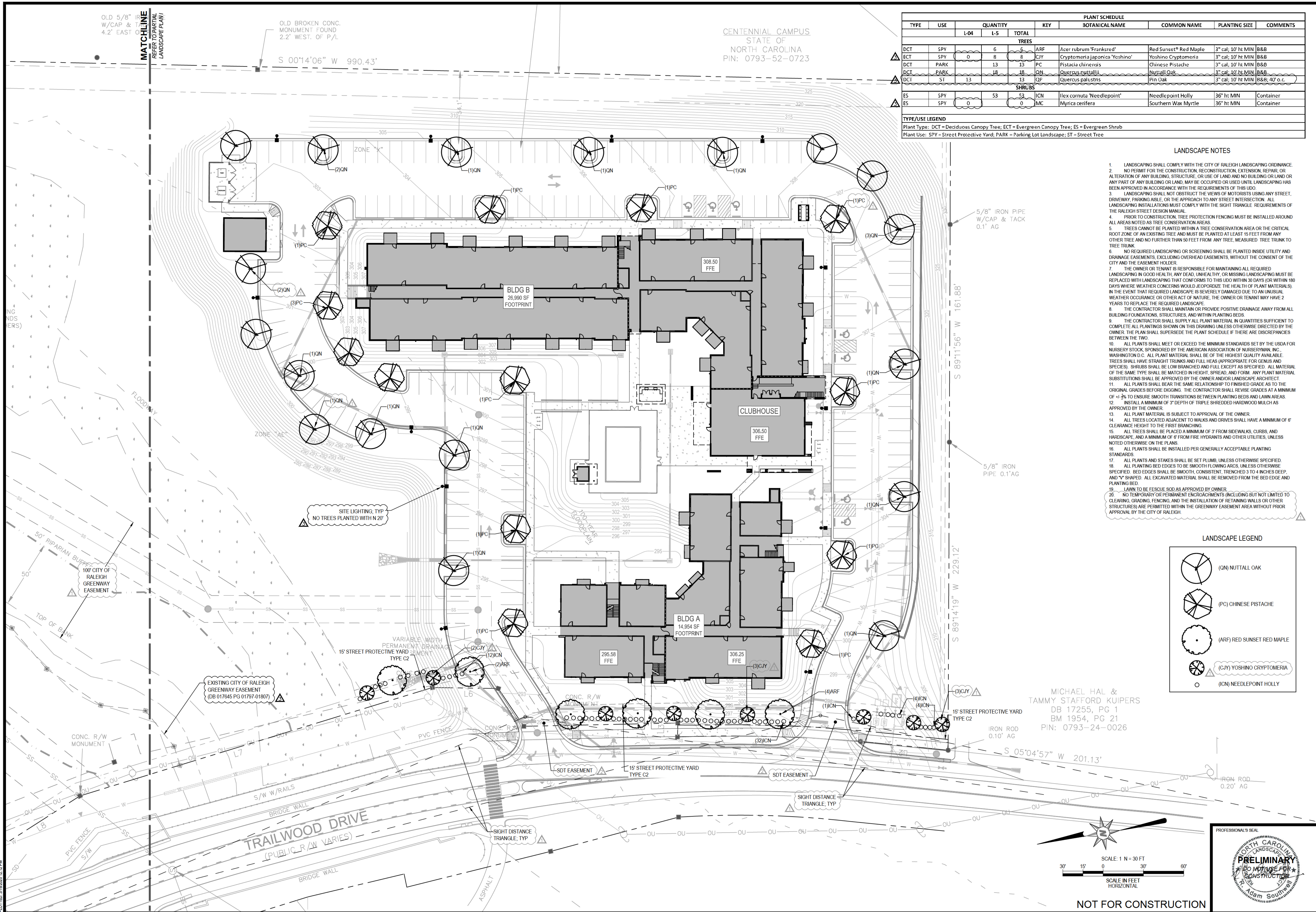
TRAILWOOD APARTMENTS - RALEIGH, NC  
PARTIAL LANDSCAPE PLAN I

208 S. Eagle Avenue  
Fayetteville, NC 27803  
T: (919) 522-0949  
F: (919) 522-2943

Curry  
ENGINEERING  
L-04

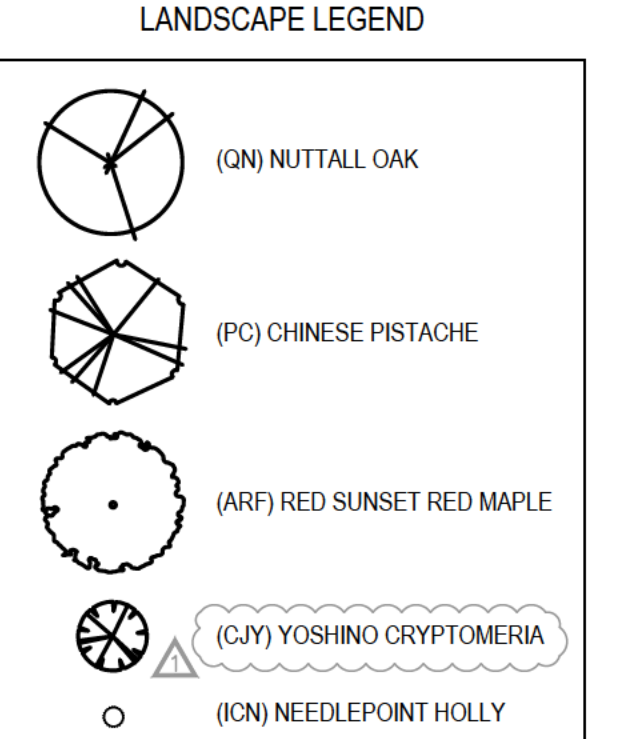
| REVISIONS |           |      | DATE    | FILE NO. | DESCRIPTION              |
|-----------|-----------|------|---------|----------|--------------------------|
| 1         | 2/10/2020 | 1-20 | 08/2019 | 2018-040 | CITY OF RALEIGH COMMENTS |
| 2         | 2/10/2020 | 1-20 | 08/2019 | 2018-040 | CITY OF RALEIGH COMMENTS |
| 3         | 2/10/2020 | 1-20 | 08/2019 | 2018-040 | CITY OF RALEIGH COMMENTS |



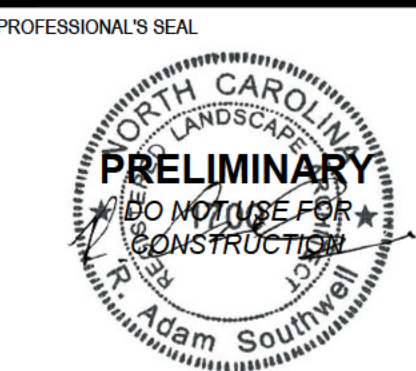
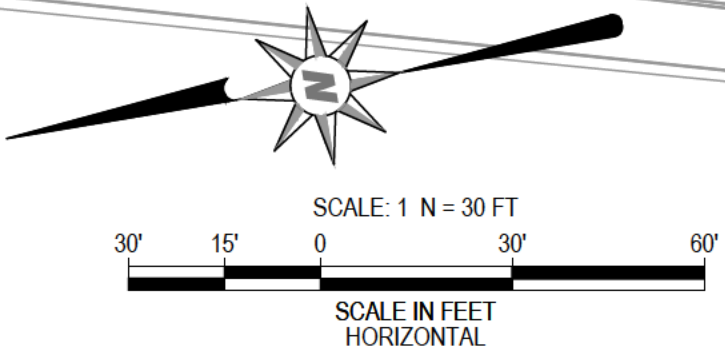


| PLANT SCHEDULE   |      |          |     |       |                                |                       |                    |               |          |
|--|------|----------|-----|-------|--------------------------------|-----------------------|--------------------|---------------|----------|
| TYPE   | USE  | QUANTITY |     |       | KEY                            | BOTANICAL NAME        | COMMON NAME        | PLANTING SIZE | COMMENTS |
|  |      | L-04     | L-5 | TOTAL |                                |                       |                    |               |          |
| TREES  |      |          |     |       |                                |                       |                    |               |          |
| DCT  | SPY  | 6        | 6   | ARF   | Acer rubrum 'Franksred'        | Red Sunset® Red Maple | 3" cal; 10' ht MIN | B&B           |          |
| ECT  | SPY  | 0        | 8   | CJY   | Cryptomeria japonica 'Yoshino' | Yoshino Cryptomeria   | 3" cal; 10' ht MIN | B&B           |          |
| DCT  | PARK | 13       | 13  | PC    | Pistacia chinensis             | Chinese Pistache      | 3" cal; 10' ht MIN | B&B           |          |
| DCT  | PARK | 18       | 18  | QN    | Quercus nuttallii              | Nuttall Oak           | 3" cal; 10' ht MIN | B&B           |          |
| DCT  | ST   | 13       | 13  | QP    | Quercus palustris              | Pin Oak               | 3" cal; 10' ht MIN | B&B; 40' o.c. |          |
| SHRUBS   |      |          |     |       |                                |                       |                    |               |          |
| ES   | SPY  | 53       | 53  | ICN   | Ilex cornuta 'Needlepoint'     | Needlepoint Holly     | 36" ht MIN         | Container     |          |
| ES   | SPY  | 0        | 0   | MC    | Myrica cerifera                | Southern Wax Myrtle   | 36" ht MIN         | Container     |          |
| TYPE/USE LEGEND  |      |          |     |       |                                |                       |                    |               |          |
| Plant Type: DCT = Deciduous Canopy Tree; ECT = Evergreen Canopy Tree; ES = Evergreen Shrub |      |          |     |       |                                |                       |                    |               |          |
| Plant Use: SPY = Street Protective Yard; PARK = Parking Lot Landscape; ST = Street Tree    |      |          |     |       |                                |                       |                    |               |          |

- LANDSCAPE NOTES**
- LANDSCAPING SHALL COMPLY WITH THE CITY OF RALEIGH LANDSCAPING ORDINANCE.
  - NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR, OR ALTERATION OF ANY BUILDING, STRUCTURE, OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS UDO.
  - LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLE, OR THE APPROACH TO ANY STREET INTERSECTION. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
  - PRIOR TO CONSTRUCTION, TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL AREAS NOTED AS TREE CONSERVATION AREAS.
  - TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15 FEET FROM ANY OTHER TREE AND NO FURTHER THAN 50 FEET FROM ANY TREE, MEASURED TREE TRUNK TO TREE TRUNK.
  - NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
  - THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH, ANY DEAD, UNHEALTHY, OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THIS UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPING IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
  - THE CONTRACTOR SHALL MAINTAIN OR PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND WITHIN PLANTING BEDS.
  - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING UNLESS OTHERWISE DIRECTED BY THE OWNER. THE PLAN SHALL SUPERSEDE THE PLANT SCHEDULE IF THERE ARE DISCREPANCIES BETWEEN THE TWO.
  - ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE USDA FOR NURSERY STOCK, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON D.C. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AVAILABLE. TREES SHALL HAVE STRAIGHT TRUNKS AND FULL HEAS (APPROPRIATE FOR GENUS AND SPECIES). SHRUBS SHALL BE LOW BRANCHED AND FULL EXCEPT AS SPECIFIED. ALL MATERIAL OF THE SAME TYPE SHALL BE MATCHED IN HEIGHT, SPREAD, AND FORM. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
  - ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADES BEFORE DIGGING. THE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM OF 1/4" TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
  - INSTALL A MINIMUM OF 3" DEPTH OF TRIPLE SHREDDED HARDWOOD MULCH AS APPROVED BY THE OWNER.
  - ALL PLANT MATERIAL IS SUBJECT TO APPROVAL OF THE OWNER.
  - ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM OF 6' CLEARANCE HEIGHT TO THE FIRST BRANCHING.
  - ALL TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS, CURBS, AND HARDSCAPE, AND A MINIMUM OF 6' FROM FIRE HYDRANTS AND OTHER UTILITIES, UNLESS NOTED OTHERWISE ON THE PLANS.
  - ALL PLANTS SHALL BE INSTALLED PER GENERALLY ACCEPTABLE PLANTING STANDARDS.
  - ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE SPECIFIED.
  - ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS, UNLESS OTHERWISE SPECIFIED. BED EDGES SHALL BE SMOOTH, CONSISTENT, TRENCHED 3 TO 4 INCHES DEEP, AND "Y" SHAPED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
  - LAWN TO BE FESCUE SOD AS APPROVED BY OWNER.
  - NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



MICHAEL HAL &  
TAMMY STAFFORD KUIPERS  
DB 17255, PG 21  
BM 1954, PG 21  
PIN: 0793-24-0026



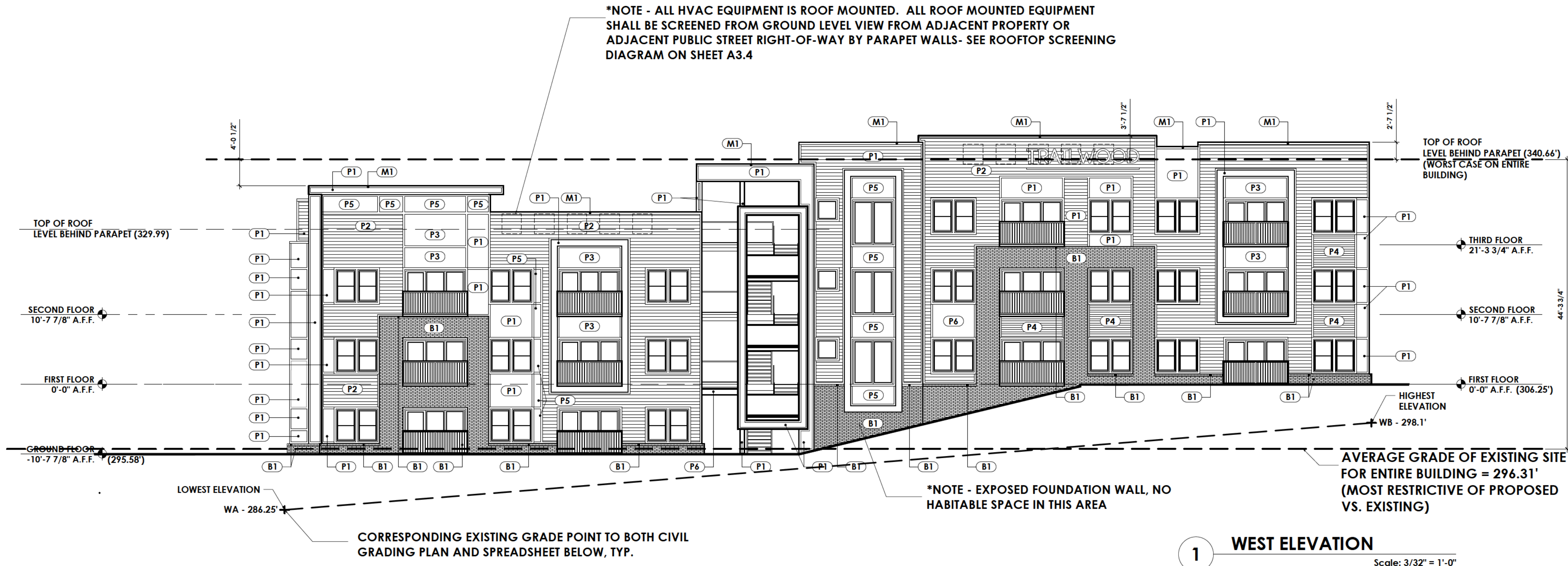


## MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE  
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

## ELEVATION NOTES

- DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
- PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).



1 WEST ELEVATION

Scale: 3/32" = 1'-0"

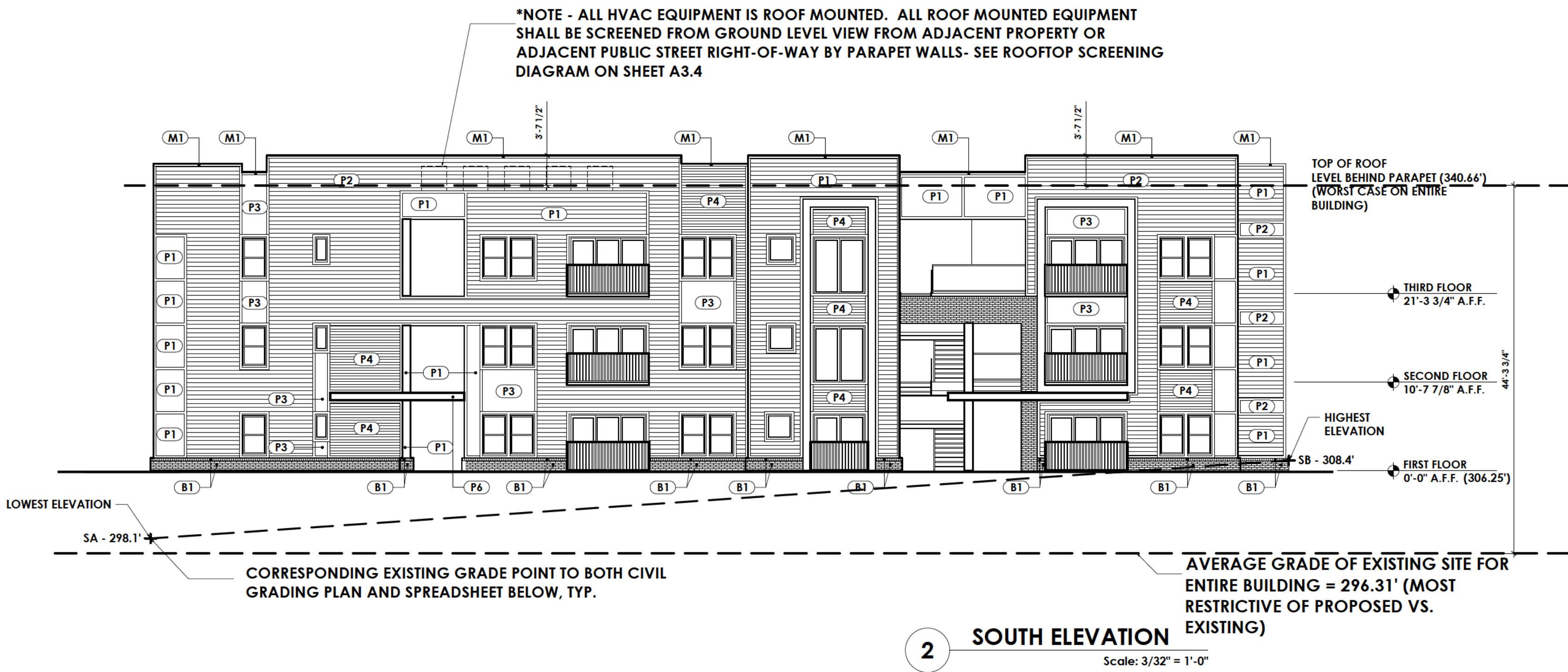
Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

### AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

| Project Data |                      | Revisions |             |
|--------------|----------------------|-----------|-------------|
| Project #    | 2018-040             | No        | Date        |
| Project Name | Trailwood Apartments |           | Description |
| Date         | 1/10/20              |           |             |

| Average Grade Calculation                                    |                      |                      |                                    |                     |                     |
|--|----------------------|----------------------|------------------------------------|---------------------|---------------------|
| Building A   |                      | Existing Elevations  |                                    | Proposed Elevations |                     |
|  | Exist. Elevation "a" | Exist. Elevation "b" | Average                            | Prop. Elevation "a" | Prop. Elevation "b" |
| South Wall (1)   | SA 298.10            | SB 307.50            | 302.80                             | 305.75              | 305.75              |
| East Wall (2)  | EA 307.50            | EB 287.75            | 297.63                             | 305.75              | 295.38              |
| North Wall (3)   | NA 299.00            | NB 286.25            | 292.63                             | 306.00              | 295.38              |
| West Wall (4)  | WA 286.25            | WB 298.10            | 292.18                             | 295.38              | 305.75              |
| Average - Building A   |                      |                      | 296.31                             |                     | 301.89              |
| Use Most Restrictive Elevation (compare exist. vs. proposed) |                      |                      | 296.31                             |                     |                     |
| Maximum Allowable Building Height (UDO 2.2.4)                |                      |                      | 45                                 |                     |                     |
| Maximum Allowable Building Elevation                         |                      |                      | 341.31                             |                     |                     |
| Building   | FFE                  | Proposed Bldg Ht.    | Proposed Bldg. Elev. (Top of Roof) |                     |                     |
| Building A1  | 306.25               | 34.41                | 340.66                             |                     |                     |
| Building A2  | 255.58               | 34.41                | 329.99                             |                     |                     |
| Are Building A Elevations Under the Max Allowable Elevation? | YES                  |                      |                                    |                     |                     |

MORE RESTRICTIVE



2 SOUTH ELEVATION

Scale: 3/32" = 1'-0"

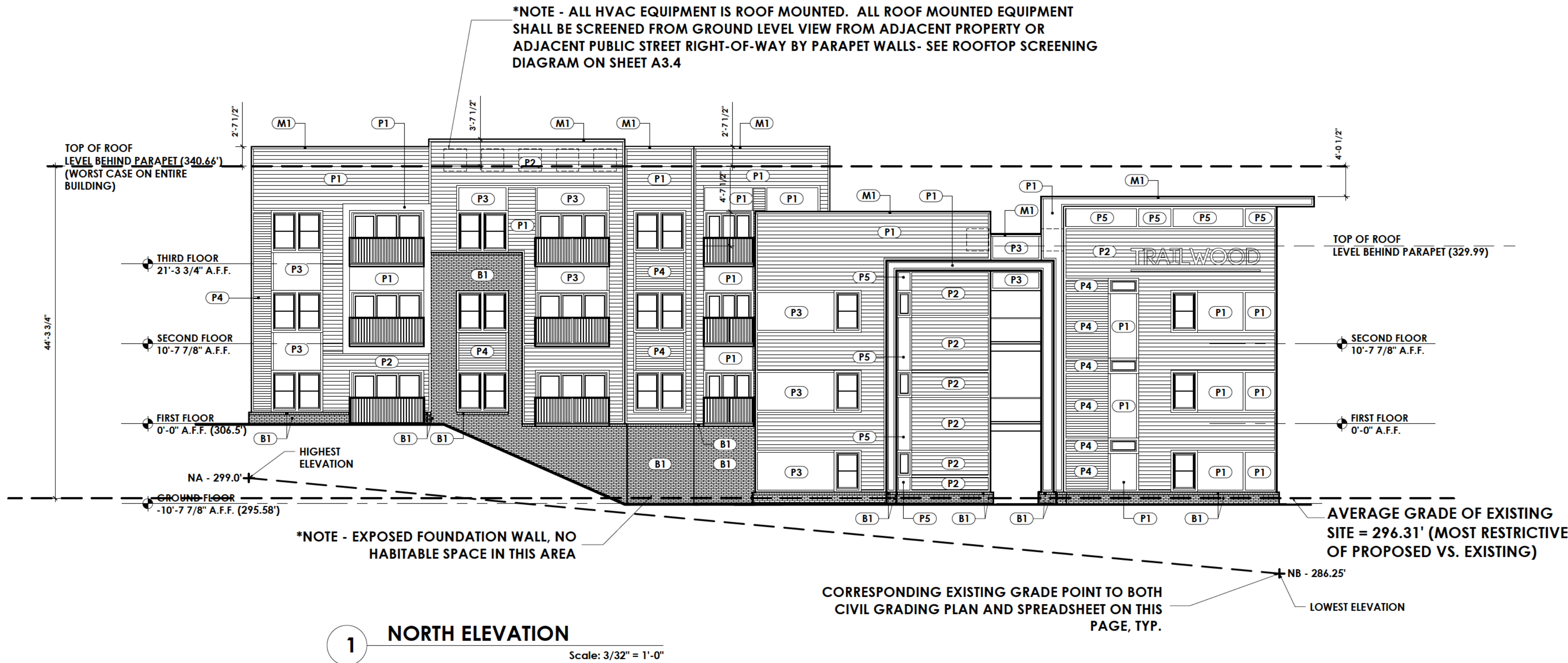


## MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE  
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

## ELEVATION NOTES

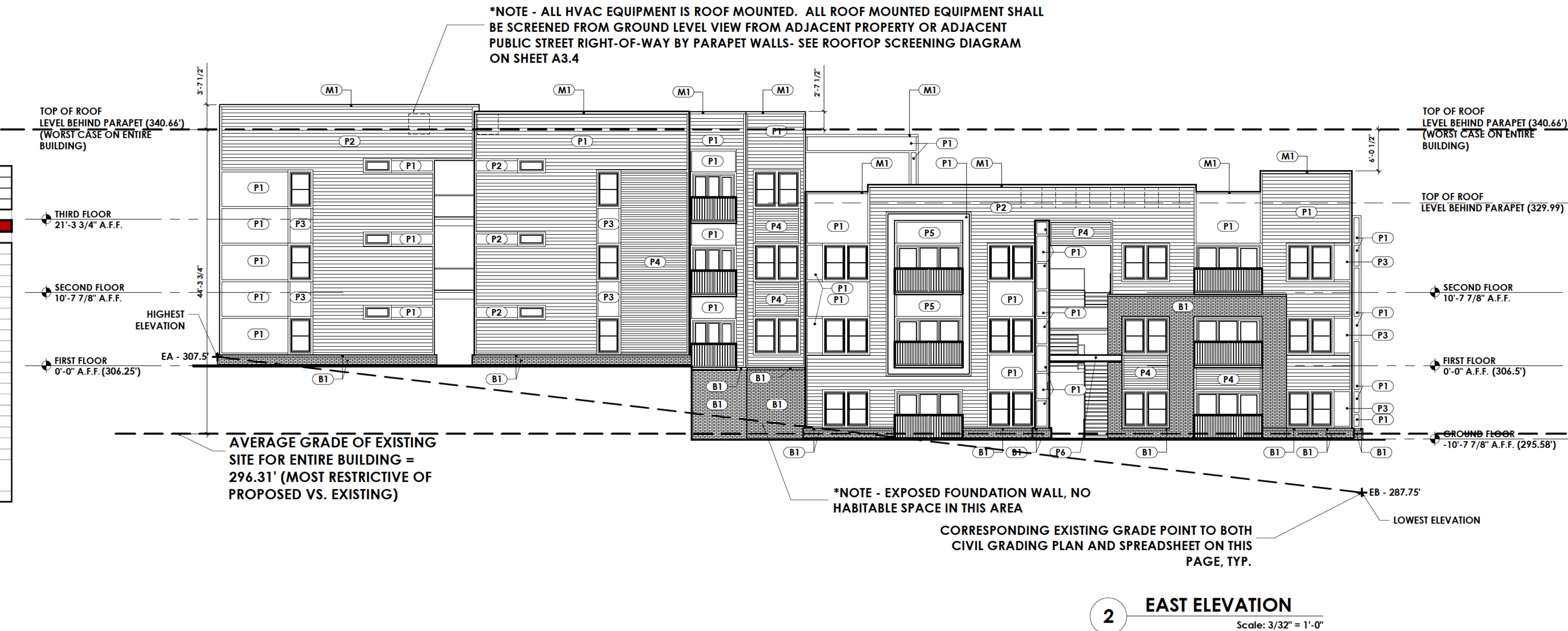
- DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
- PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).



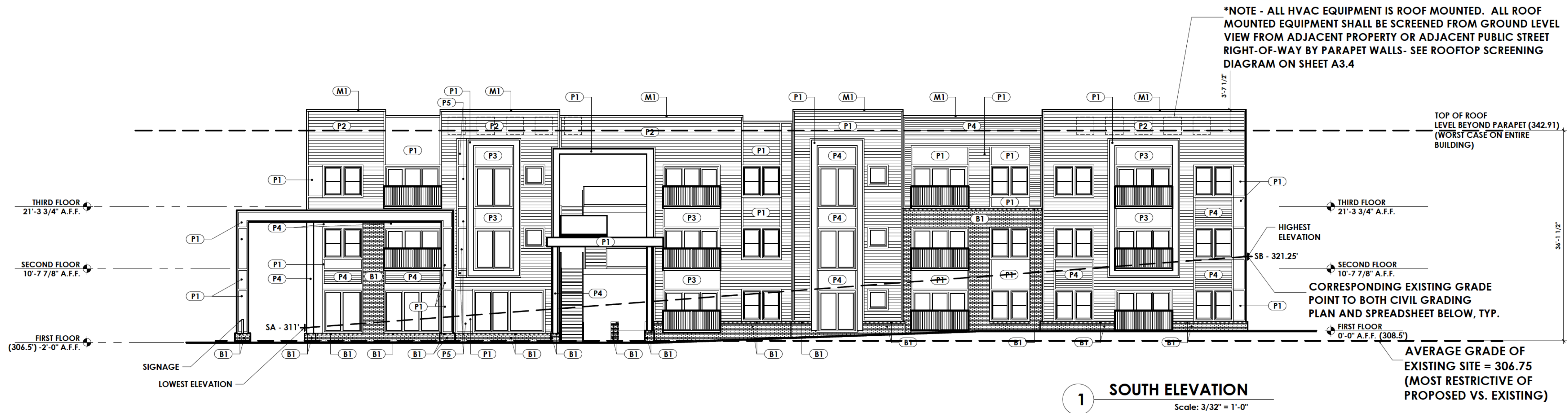
Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

### AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

| Project Data   |                      |                      |                                    | Revisions           |                     |  |        |
|--|----------------------|----------------------|------------------------------------|---------------------|---------------------|--|--------|
| Project #  | 2018-040             | No                   | Date                               | Description         |                     |  |        |
| Project Name   | Trailwood Apartments |                      |                                    |                     |                     |  |        |
| Date   | 1/10/20              |                      |                                    |                     |                     |  |        |
| Average Grade Calculation                                    |                      |                      |                                    |                     |                     |  |        |
| Building A   |                      | Existing Elevations  | Average                            | Proposed Elevations | Average             |  |        |
|  | Exist. Elevation "a" | Exist. Elevation "b" |                                    | Prop. Elevation "a" | Prop. Elevation "b" |  |        |
| South Wall (1)   | SA 298.10            | SB 307.50            | 302.80                             | 305.75              | 305.75              |  | 305.75 |
| East Wall (2)  | EA 307.50            | EB 287.75            | 297.63                             | 305.75              | 295.38              |  | 300.57 |
| North Wall (3)   | NA 299.00            | NB 286.25            | 292.63                             | 306.00              | 295.38              |  | 300.69 |
| West Wall (4)  | WA 296.25            | WB 296.10            | 292.18                             | 295.38              | 305.75              |  | 300.57 |
| Average - Building A   |                      |                      | 296.31                             |                     |                     |  | 301.89 |
| Use Most Restrictive Elevation (compare exist. vs. proposed) |                      |                      | 296.31                             |                     |                     |  |        |
| Maximum Allowable Building Height (UDO 2.2.4)                |                      |                      | 45                                 | MORE RESTRICTIVE    |                     |  |        |
| Maximum Allowable Building Elevation                         |                      |                      | 341.31                             |                     |                     |  |        |
| Building   | FFE                  | Proposed Bldg Ht.    | Proposed Bldg. Elev. (Top of Roof) |                     |                     |  |        |
| Building A1  | 306.25               | 34.41                | 340.66                             |                     |                     |  |        |
| Building A2  | 265.58               | 34.41                | 329.99                             |                     |                     |  |        |
| Are Building A Elevations Under the Max Allowable Elevation? |                      |                      | YES                                |                     |                     |  |        |



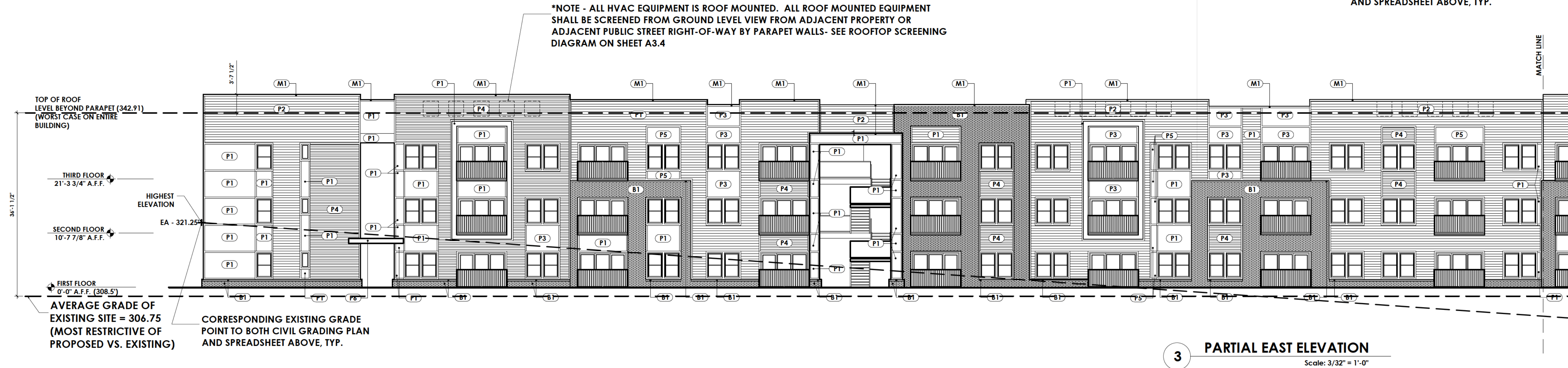
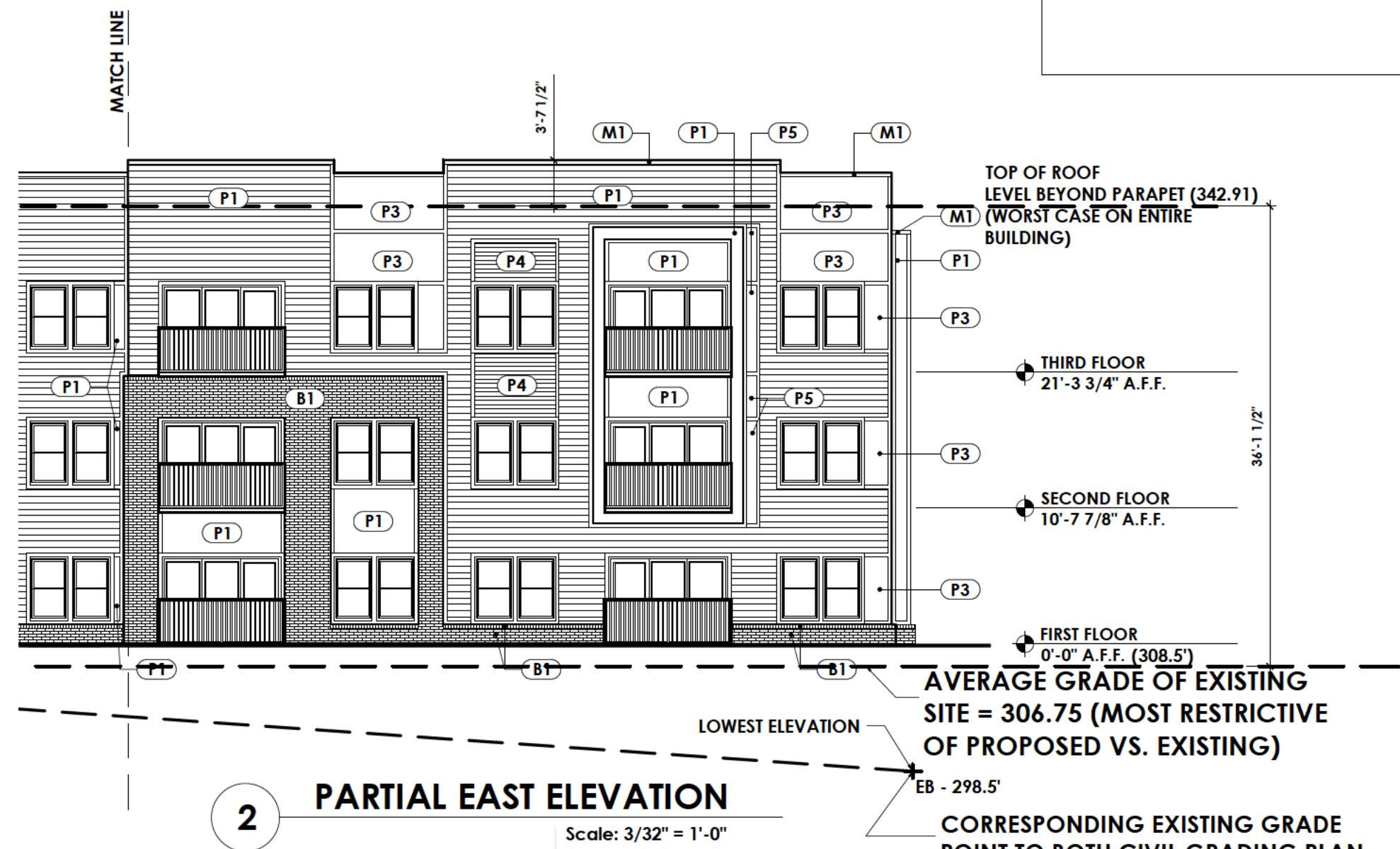




Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

| Project Data   |                      |                      | Revisions                          |                     |                     |
|--|----------------------|----------------------|------------------------------------|---------------------|---------------------|
| Project #  | 2018-040             |                      | No                                 | Date                | Description         |
| Project Name   | Trailwood Apartments |                      |                                    |                     |                     |
| Date   | 1/10/20              |                      |                                    |                     |                     |
| Average Grade Calculation                                    |                      |                      |                                    |                     |                     |
| Building B   | Existing Elevations  |                      | Proposed Elevations                |                     |                     |
|  | Exist. Elevation "a" | Exist. Elevation "b" | Average                            | Prop. Elevation "a" | Prop. Elevation "b" |
| West (1)   | WA 289               | WB 311               | 300.00                             | 308                 | 306                 |
| South (2)  | SA 311               | SB 321.25            | 316.13                             | 306                 | 308                 |
| East (3)   | EA 321.25            | EB 298.5             | 309.88                             | 308                 | 308                 |
| North (4)  | NA 298.5             | NB 303.5             | 301.00                             | 308                 | 308.00              |
| Average - Building B   |                      |                      | 306.75                             |                     | 307.50              |
| Use Most Restrictive Elevation (compare exist. vs. proposed) |                      |                      | 306.75                             | MORE RESTRICTIVE    |                     |
| Maximum Allowable Building Height (UDO 2.2.4)                |                      |                      | 45                                 |                     |                     |
| Maximum Allowable Building Elevation                         |                      |                      | 351.75                             |                     |                     |
| Building   | FFE                  | Proposed Bldg Ht.    | Proposed Bldg. Elev. (Top of Roof) |                     |                     |
| Building B1  | 306.5                | 34.41                | 340.91                             |                     |                     |
| Building B2  | 308.5                | 34.41                | 342.91                             |                     |                     |
| Are Building B Elevations Under the Max Allowable Elevation? |                      |                      | YES                                |                     |                     |



MATERIAL LEGEND

- B1 BRICK - BRICK - BEIGE  
MORTAR - XXXX - YYYY
- P1 PAINT - WHITE
- P2 PAINT - GRAY
- P3 PAINT - BEIGE
- P4 PAINT - BROWN
- P5 PAINT - RUST
- P6 PAINT - BLACK
- M1 METAL COPING - WHITE
- M2 METAL COPING - BLACK
- A1 FABRIC AWNING - BURGUNDY
- AS1 ALUMINUM STOREFRONT - WHITE ANODIZE

ELEVATION NOTES

- DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
- PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).

REVISIONS

PROJECT: 1811  
DATE: 09/23/19  
DRAWN BY: KEL  
CHECKED BY: JDL



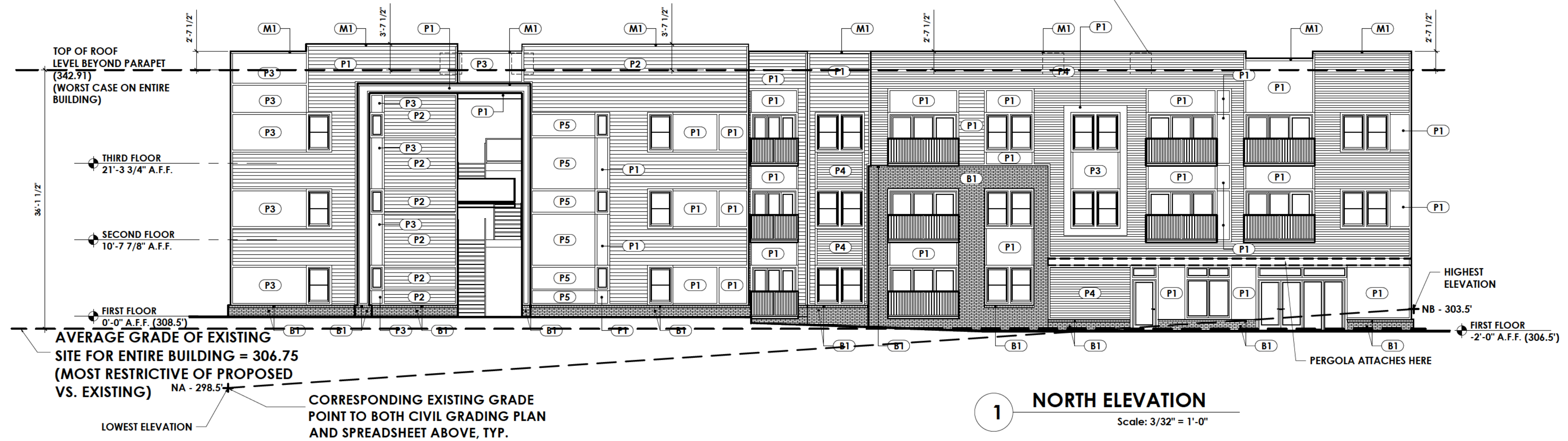
## MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE  
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
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## ELEVATION NOTES

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- PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).

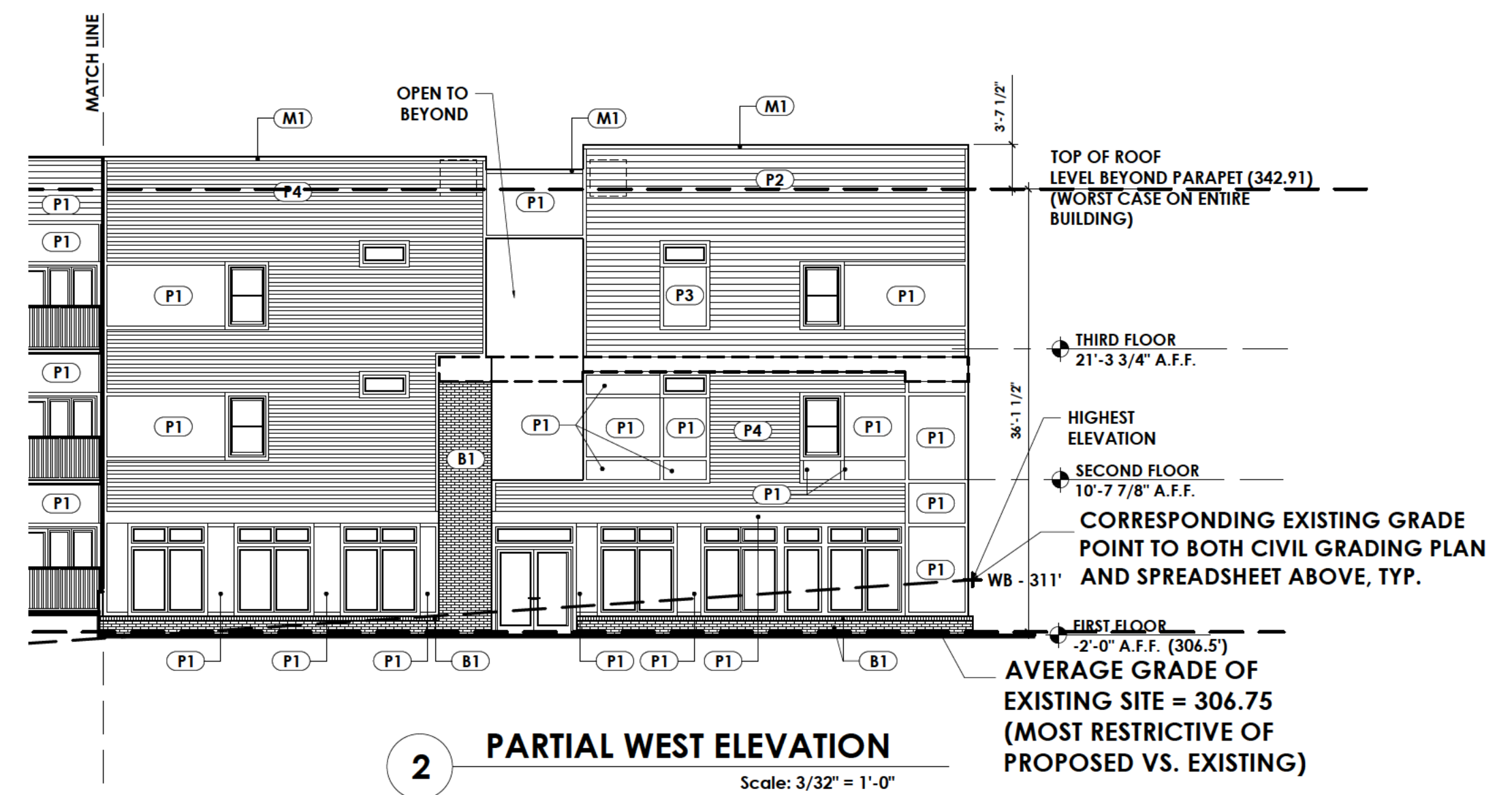
\*NOTE - ALL HVAC EQUIPMENT IS ROOF MOUNTED. ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY OR ADJACENT PUBLIC STREET RIGHT-OF-WAY BY PARAPET WALLS - SEE ROOFTOP SCREENING DIAGRAM ON SHEET A3.4



Average grade was determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is more restrictive) along each building elevation and averaging all elevations.

### AVERAGE GRADE INFORMATION PROVIDED BY CURRY ENGINEERING

| Project Data   |                      |                      | Revisions                          |                     |
|--|----------------------|----------------------|------------------------------------|---------------------|
| Project #  | 2018-040             | No                   | Date                               | Description         |
| Project Name   | Trailwood Apartments |                      |                                    |                     |
| Date   | 1/10/20              |                      |                                    |                     |
| Average Grade Calculation                                    |                      |                      |                                    |                     |
| Building B   |                      |                      |                                    |                     |
|  |                      | Existing Elevations  |                                    | Proposed Elevations |
|  | Exist. Elevation "a" | Exist. Elevation "b" | Average                            | Prop. Elevation "a" |
| West (1)   | WA 289               | WB 311               | 300.00                             | 306                 |
| South (2)  | SA 311               | SB 321.25            | 316.13                             | 306                 |
| East (3)   | EA 321.25            | EB 298.5             | 309.88                             | 308                 |
| North (4)  | NA 298.5             | NB 303.5             | 301.00                             | 308                 |
| Average - Building B   |                      |                      | 306.75                             | 307.50              |
| Use Most Restrictive Elevation (compare exist. vs. proposed) |                      |                      | 306.75                             |                     |
| Maximum Allowable Building Height (UDO 2.2.4)                |                      |                      | 45                                 |                     |
| Maximum Allowable Building Elevation                         |                      |                      | 351.75                             |                     |
|  |                      |                      |                                    | MORE RESTRICTIVE    |
| Building   | FFE                  | Proposed Bldg. Ht.   | Proposed Bldg. Elev. (Top of Roof) |                     |
| Building B1  | 306.5                | 34.41                | 340.91                             |                     |
| Building B2  | 308.5                | 34.41                | 342.91                             |                     |
| Are Building B Elevations Under the Max Allowable Elevation? |                      | YES                  |                                    |                     |



## REVISIONS

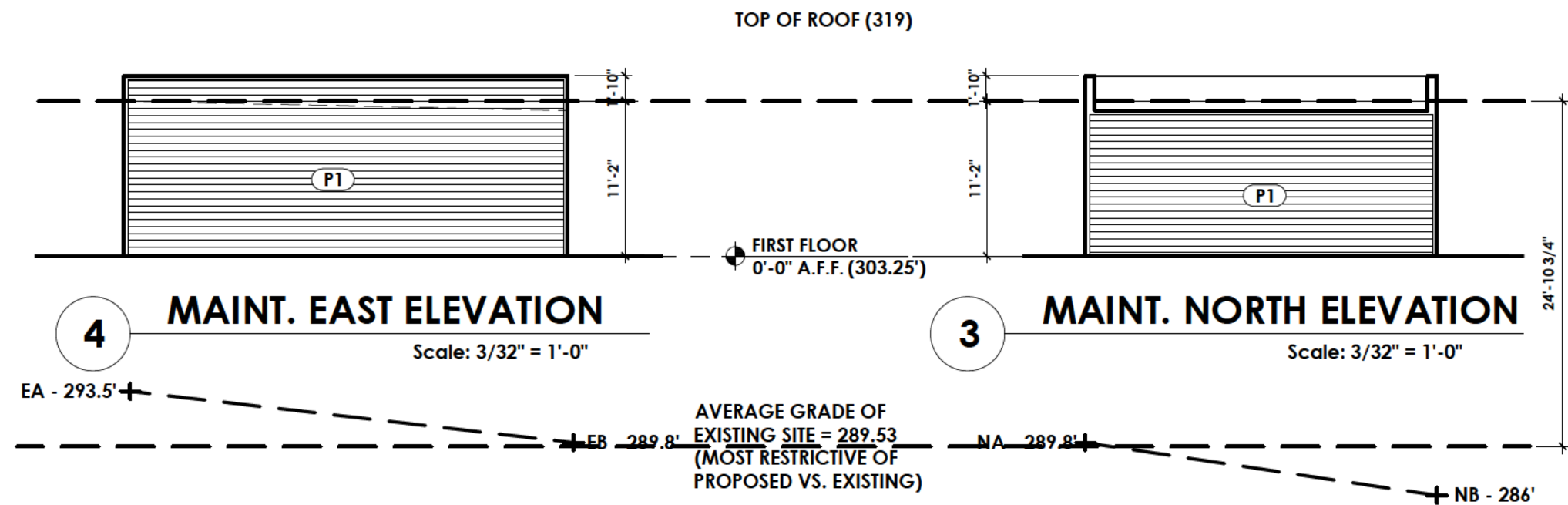
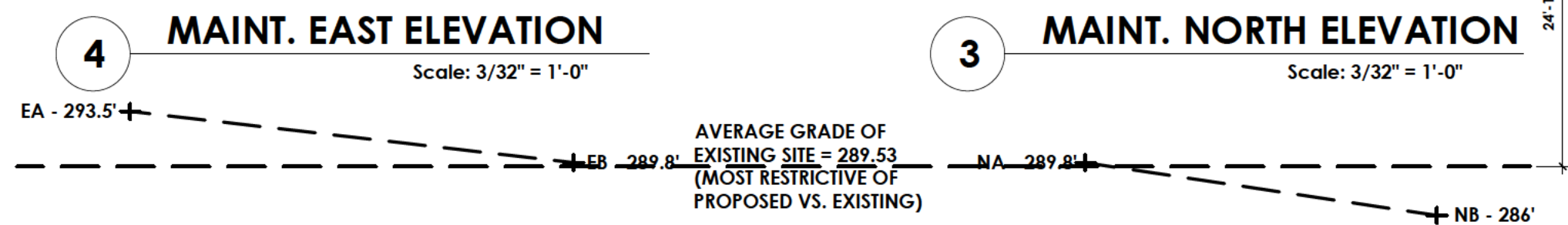
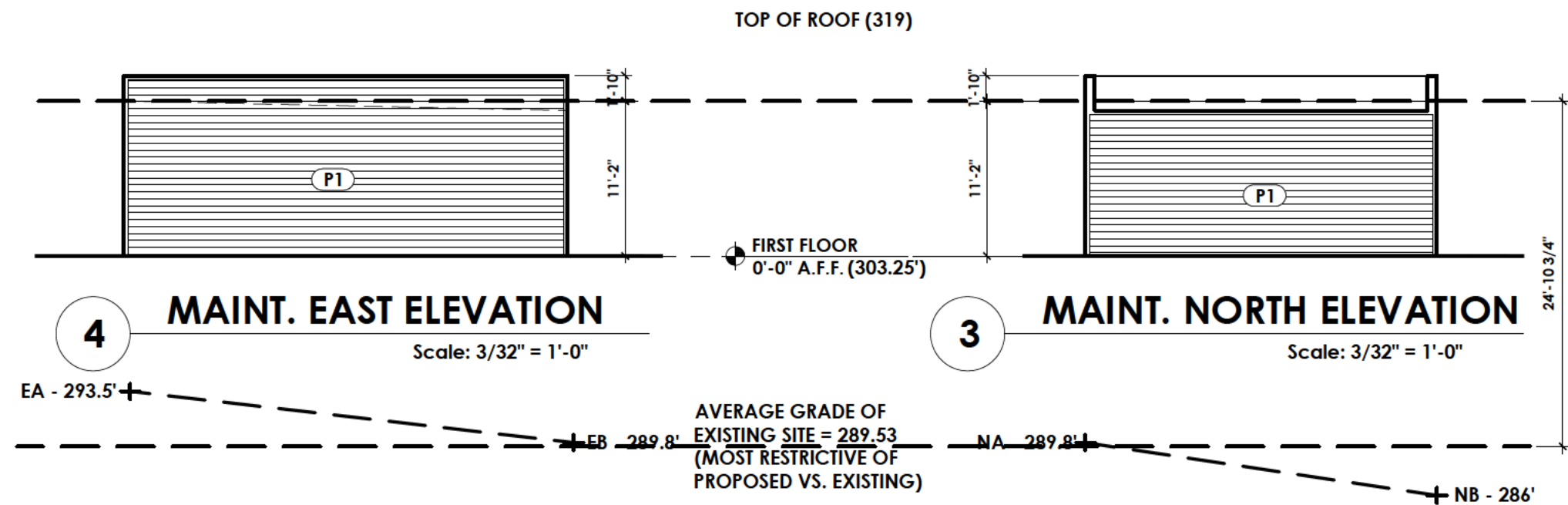
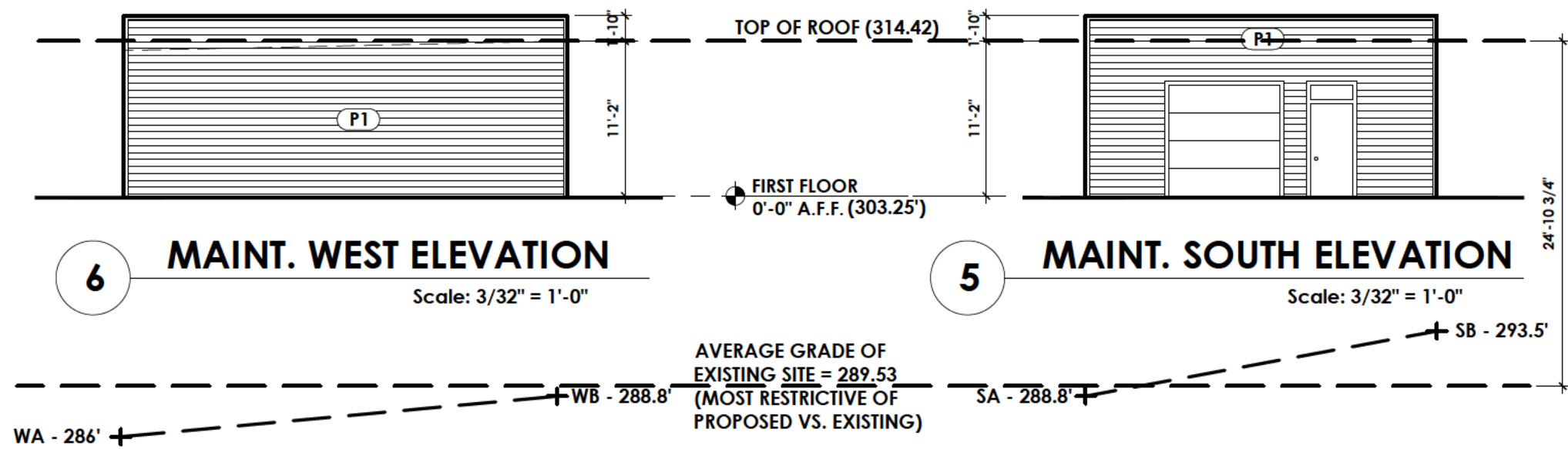
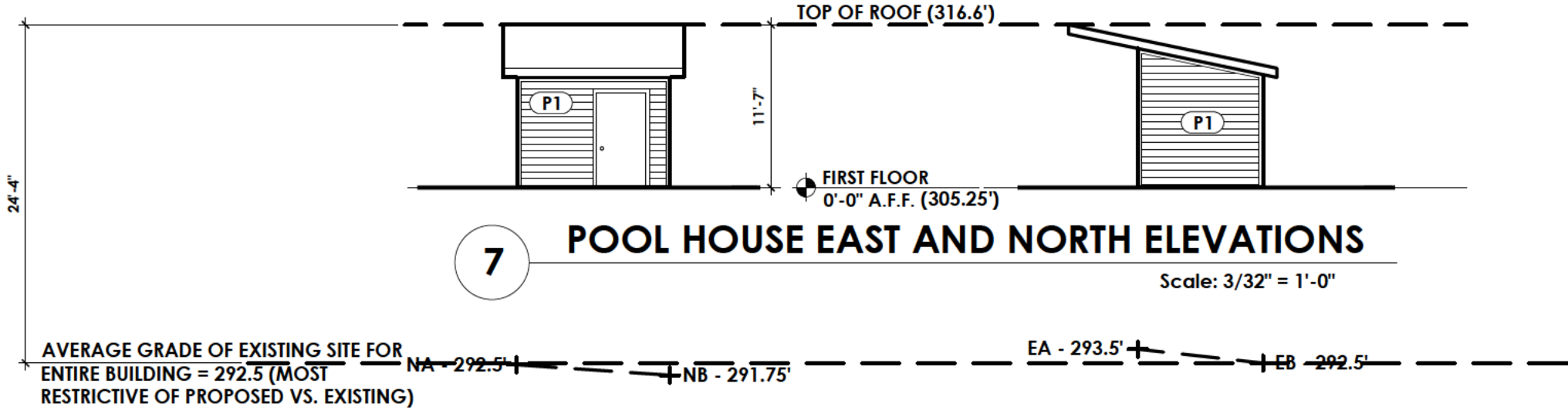
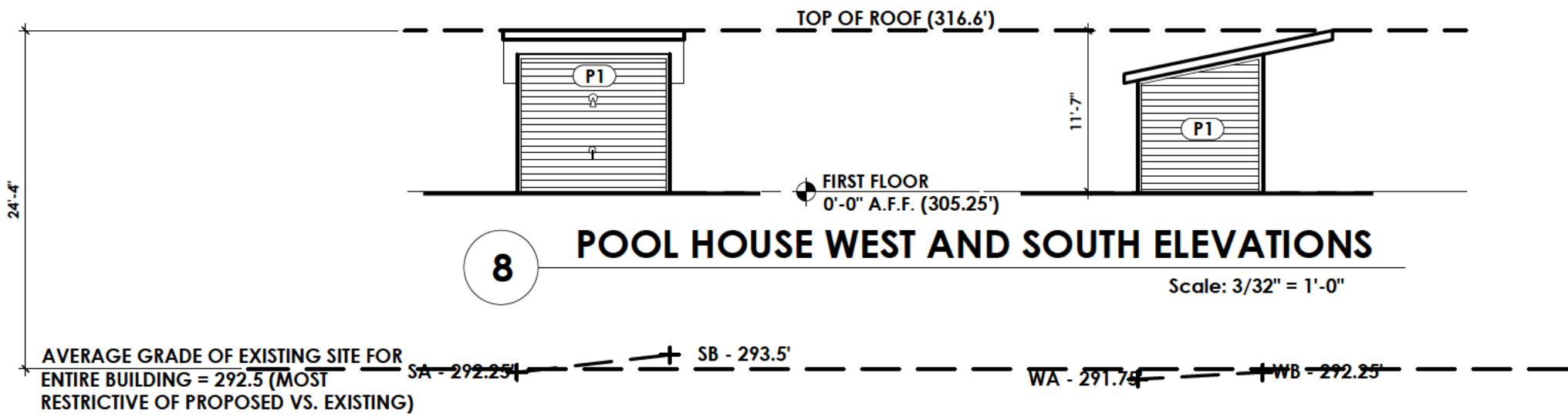
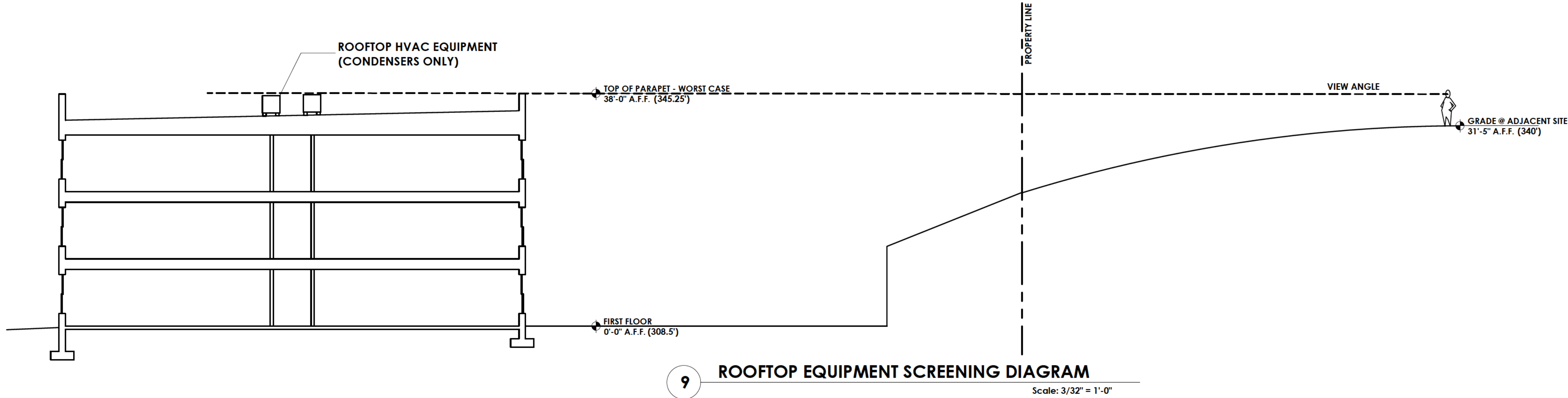


## MATERIAL LEGEND

- B1** BRICK - BRICK - BEIGE  
MORTAR - XXXX - YYYY
- P1** PAINT - WHITE
- P2** PAINT - GRAY
- P3** PAINT - BEIGE
- P4** PAINT - BROWN
- P5** PAINT - RUST
- P6** PAINT - BLACK
- M1** METAL COPING - WHITE
- M2** METAL COPING - BLACK
- A1** FABRIC AWNING - BURGUNDY
- AS1** ALUMINUM STOREFRONT - WHITE ANODIZE

## ELEVATION NOTES

- DO NOT SCALE ELEVATIONS. REFERENCE PLAN AND WALL SECTIONS FOR MORE INFORMATION.
- PARAPET RETURNS SHALL HAVE MATCHING FINISH, COLOR AND REVEALS TO THE FRONT OF THE PARAPET FROM WHICH THEY RETURN, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL CEMENTITIOUS TRIM TO BE PAINTED P1 (WHITE).



| Project Data  |  |                      |                                    | Revisions           |                     |             |
|---|--|----------------------|------------------------------------|---------------------|---------------------|-------------|
| Project #   | 2018-040   |                      |                                    | No                  | Date                | Description |
| Project Name  | Trailwood Apartments   |                      |                                    |                     |                     |             |
| Date  | 1/10/20  |                      |                                    |                     |                     |             |
| Average Grade Calculation   |  |                      |                                    |                     |                     |             |
|   |  |                      |                                    |                     |                     |             |
| Pool Building   | Existing Elevations  |                      |                                    | Proposed Elevations |                     |             |
|   | Exist. Elevation "a"   | Exist. Elevation "b" | Average                            | Prop. Elevation "a" | Prop. Elevation "b" | Average     |
|   | West (1)   | WA 291.75            | WB 292.25                          | 292.00              | 305.00              | 305.00      |
|   | South (2)  | SA 292.25            | SB 293.50                          | 292.88              | 305.00              | 305.00      |
|   | East (3)   | EA 293.50            | EB 292.50                          | 293.00              | 305.00              | 305.00      |
|   | North (4)  | NA 292.50            | NB 291.75                          | 292.13              | 305.00              | 305.00      |
|   | Average - Maint. Building                                    |                      | 292.50                             |                     |                     | 305.00      |
|   | Use Most Restrictive Elevation (compare exist. vs. proposed) |                      |                                    | 292.50              | MORE RESTRICTIVE    |             |
|   | Maximum Allowable Building Height (UDO 2.2.4)                |                      |                                    | 25                  |                     |             |
|   | Maximum Allowable Building Elevation                         |                      |                                    | 317.50              |                     |             |
| Building  | FFE  | Proposed Bldg Ht.    | Proposed Bldg. Elev. (Top of Roof) |                     |                     |             |
| Maint. Bldg.  | 305.25   | 11.58                | 316.83                             |                     |                     |             |
| Are Maint. Building Elevations Under the Max Allowable Elevation? |  | YES                  |                                    |                     |                     |             |

| Project Data  |  |                      |                                    | Revisions           |                     |             |
|---|--|----------------------|------------------------------------|---------------------|---------------------|-------------|
| Project #   | 2018-040   |                      |                                    | No                  | Date                | Description |
| Project Name  | Trailwood Apartments   |                      |                                    |                     |                     |             |
| Date  | 1/10/20  |                      |                                    |                     |                     |             |
| Average Grade Calculation   |  |                      |                                    |                     |                     |             |
|   |  |                      |                                    |                     |                     |             |
| Maint. Building   | Existing Elevations  |                      |                                    | Proposed Elevations |                     |             |
|   | Exist. Elevation "a"   | Exist. Elevation "b" | Average                            | Prop. Elevation "a" | Prop. Elevation "b" | Average     |
|   | West (1)   | WA 286.00            | WB 288.80                          | 287.40              | 303.00              | 303.00      |
|   | South (2)  | SA 288.80            | SB 293.50                          | 291.15              | 303.00              | 303.00      |
|   | East (3)   | EA 293.50            | EB 289.80                          | 291.65              | 303.00              | 303.00      |
|   | North (4)  | NA 289.80            | NB 286.00                          | 287.90              | 303.00              | 303.00      |
|   | Average - Maint. Building                                    |                      | 289.53                             |                     |                     | 303.00      |
|   | Use Most Restrictive Elevation (compare exist. vs. proposed) |                      | 289.53                             | MORE RESTRICTIVE    |                     |             |
|   | Maximum Allowable Building Height (UDO 2.2.4)                |                      | 25                                 |                     |                     |             |
|   | Maximum Allowable Building Elevation                         |                      | 314.53                             |                     |                     |             |
| Building  | FFE  | Proposed Bldg Ht.    | Proposed Bldg. Elev. (Top of Roof) |                     |                     |             |
| Maint. Bldg.  | 303.25   | 11.17                | 314.42                             |                     |                     |             |
| Are Maint. Building Elevations Under the Max Allowable Elevation? |  | YES                  |                                    |                     |                     |             |