

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). The project site is located on Ray Road in Raleigh NC. Wake County PIN: 0788-74-5487. The proposed development will include the addition of a ±9,130 SF place of worship with associated parking and infrastructure.		
Current Property Owner(s):		
Company: Korean First Baptist Church		Title:
Address:		
Phone #:	Email:	
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner:	Lessee or contract purchaser	Owner's authorized agent Easement holder
Company: The Site Group, PLLC	Address:	

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #: 919-515-7788	Email:
Applicant Name:	
Company:	Address:
Phone #: 919-835-4787	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? Yes No
	A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

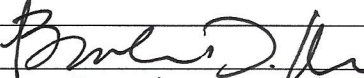
APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 10/19/2023
Printed Name: Branden D. Moore The Site Group	

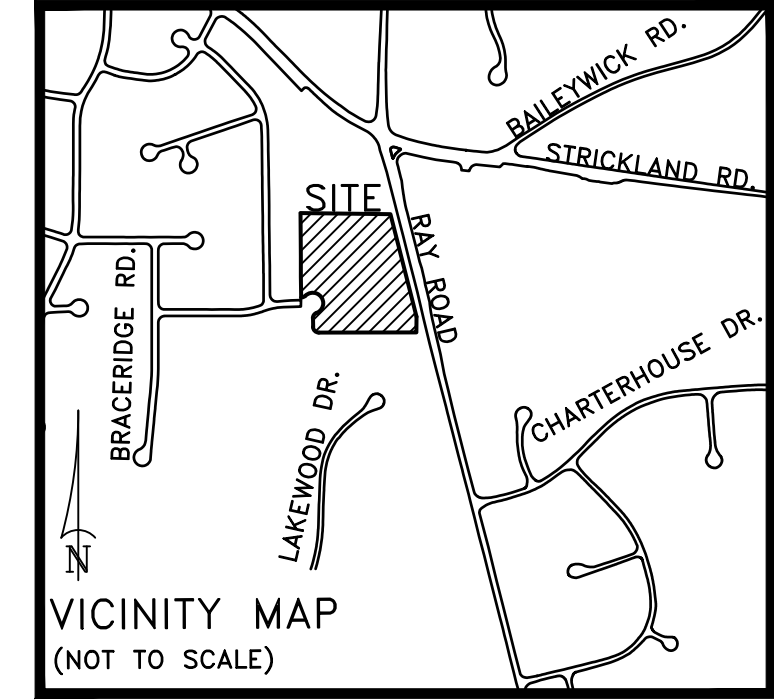
KOREAN FIRST BAPTIST CHURCH

8905 RAY ROAD

Raleigh, North Carolina

ADMINISTRATIVE SITE REVIEW

ASR-XXXX-2023



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 401 | Raleigh, NC 27601 | 919-996-2000



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Office Use Only: Case #: _____ Planner (print): _____

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Site Plan Tier: Tier Two Site Plan <input checked="" type="checkbox"/> Tier Three Site Plan <input type="checkbox"/>	Building and Development Type (Check all that apply)	Site Transaction History
<input checked="" type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Design Alternate #:

GENERAL INFORMATION

Development name: Korean First Baptist Church of Raleigh
 Inside City limits? Yes No
 Property address(es): 8905 Ray Road Raleigh, NC 27613
 Site P.I.N. (s): 0788-74-5487
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
 The project site is located on Ray Road in Raleigh, NC. Wake County PIN: 0788-74-5487. The proposed development will include the addition of a 29,130 SF place of worship with associated parking and infrastructure.
 Current Property Owner(s): Korean First Baptist Church of Raleigh
 Company: Korean First Baptist Church Title:
 Address: 8905 Ray Road Raleigh, NC 27613
 Phone #: 919-515-7788 Email: kim@ncsu.edu
 Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: The Site Group, PLLC Address: 1111 Oberlin Rd. Raleigh, NC 27605

Phone #: 919-835-4787 Email: bdm@thesitegroup.net
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
 Developer Contact: Richard Kim Youngsoo
 Company: First Korean Baptist Church Title:
 Address: 8905 Ray Road Raleigh, NC 27613
 Phone #: 919-515-7788 Email: kim@ncsu.edu
 Applicant Name: Brandon Moore, RLA
 Company: The Site Group, PLLC Address: 1111 Oberlin Rd.
 Phone #: 919-835-4787 Email: bdm@thesitegroup.net

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): 34,350
Gross site acreage: 4.99	Existing gross floor area to be demolished: 1,893
# of parking spaces proposed: 187 (7 ADA)	New gross floor area: 9,000
Max # parking permitted (7.1.2.C) (No Max.)	Total sf gross (to remain and new): 43,350
Overlay District (if applicable): None	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Place of Worship	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Place of Worship	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sf) 88,546 Proposed total (sf) 117,931	Existing (sf) Proposed total (sf)

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br 2br 3br	4br or more
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

APPLICANT SIGNATURE BLOCK

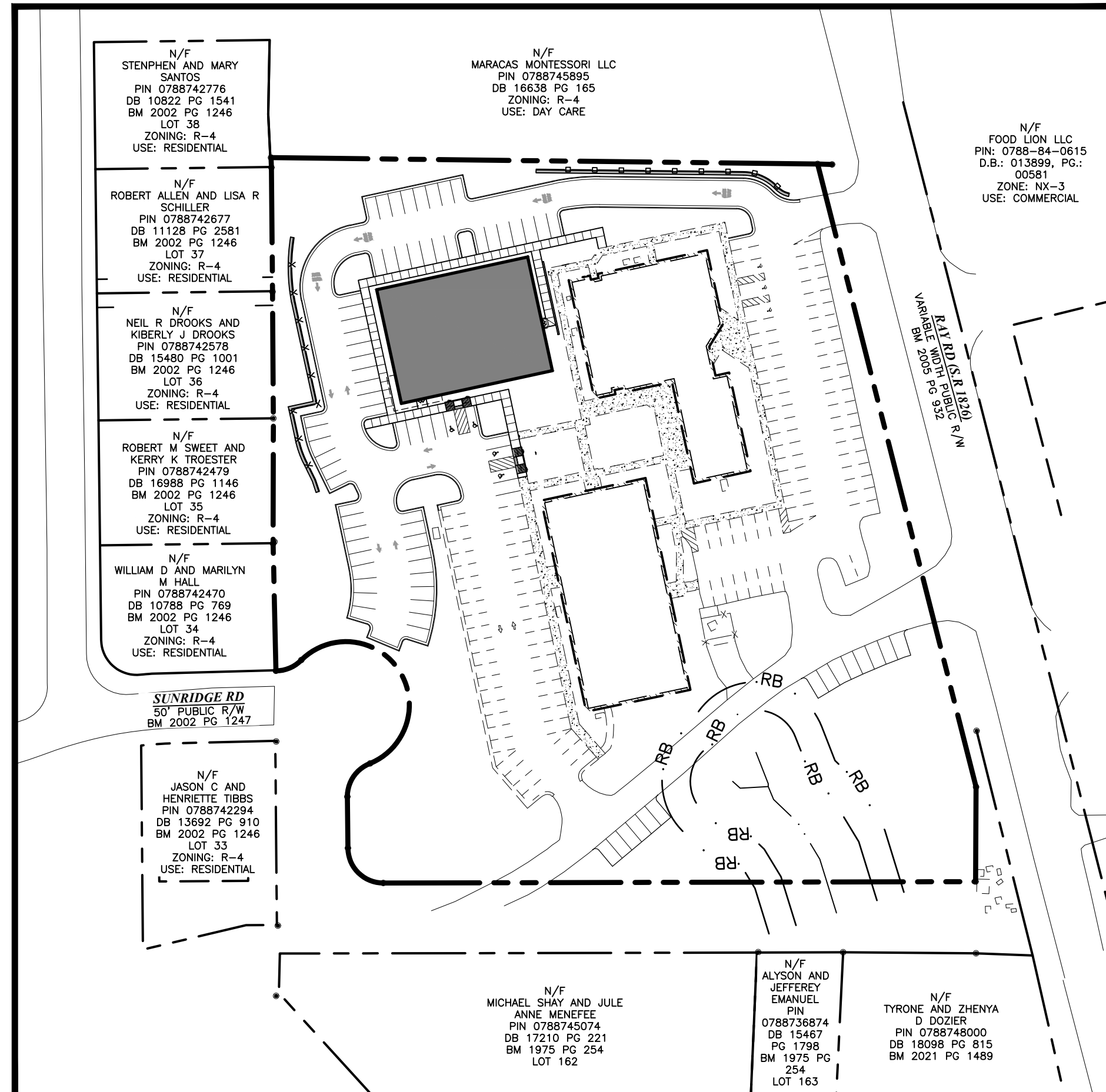
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The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(d)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Brandon P. Moore* Date: 10/19/2023
 Printed Name: Brandon P. Moore, The Site Group



SITE DATA SUMMARY

PROPERTY OWNER:	KOREAN 1ST BAPTIST CHURCH OF RALEIGH
PIN:	0788-74-5487
PROPERTY ADDRESS:	8905 RAY ROAD
JURISDICTION:	CITY OF RALEIGH
EXISTING ZONING:	R-4
EXISTING ZONING OVERLAY:	N/A
RIVER BASIN:	NEUSE
EXISTING ACREAGE:	4.99 AC.
EXISTING USE:	PLACE OF WORSHIP
EXISTING BUILDINGS:	5 (2 BRICK & FRAME, 3 TRAILERS)
EX. BLDG #1 (1 STORY):	11,250 SF.
EX. BLDG #2 (2 STORY):	23,100 SF.
EX. BLDG #3 (TRAILER-TO BE REMOVED):	836 SF.
EX. BLDG #4 (TRAILER-TO BE REMOVED):	825 SF.
PROPOSED BUILDING:	9,130 SF.
EXISTING PARKING:	137 SPACES (7 ADA)
EX. PARKING REMOVED:	32 SPACES
NEW PARKING PROVIDED:	81 SPACES
TOTAL PROPOSED PARKING:	186 SPACES (7 ADA)
TREE CONSERVATION AREA REQUIRED:	21,769 SF. (10% OF SITE)
TREE CONSERVATION AREA PROVIDED:	22,665 SF. (10.4% OF SITE)
IMPERVIOUS SURFACE CALCULATIONS:	
TOTAL EXISTING IMPERVIOUS AREA:	88,546 SF. / 2.03 AC.
EX. IMPERVIOUS TO BE REMOVED:	13,546 SF. / 0.31 AC.
NEW IMPERVIOUS AREA PROPOSED:	42,931 SF. / 0.98 AC.
TOTAL PROPOSED IMPERVIOUS AREA:	117,931 SF. / 2.70 AC.
IMPERVIOUS NET INCREASE:	+29,185 SF. / 0.67 AC.
LIMITS OF DISTURBANCE:	62,796 SF. / 1.44 AC.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHY INFORMATION IS TAKEN FROM A SURVEY BY META GEOMATICS DATED 12 JUNE 2023. ALL OTHER SITE DATA IS TAKEN FROM WAKE COUNTY'S GIS DATA.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A STANDARDS.

FLOODPLAIN NOTE:

- THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).
- FEMA REFERENCE DATA:
 FEMA FIRM PANEL No.: 3720074800K
 EFFECTIVE DATE: OCTOBER 19, 2018
 FEMA STREAM NAME: N/A
 FEMA FLOOD ZONE: Shade Zone X(0.2% annual chance flood)
- FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720074800K DATED OCTOBER 19, 2018.

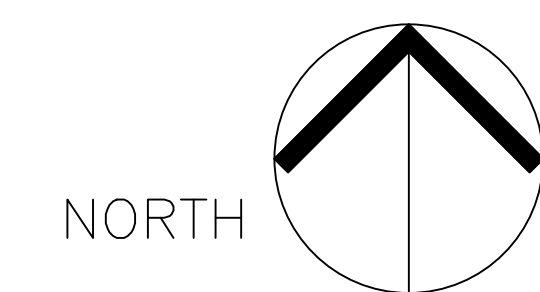
OWNER:
 KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 ATTN: RICHARD KIM YOUNGSOO
 8905 RAY ROAD
 RALEIGH, NC 27613-1234
 PHONE: 919-515-7788
 EMAIL: kim@ncsu.edu

ARCHITECT:
 SE & GD DESIGN
 ATTN: SAM LEE, P.E.
 305 ADDISON POND DR
 HOLLY SPRINGS, NC 27540
 PHONE:
 EMAIL: arch_eng@segdesign.com

CONTACT:
 THE SITE GROUP, PLLC
 1111 OBERLIN ROAD
 RALEIGH, NC 27605
 PHONE: (919) 744-9449
 FAX: (919) 839-2255
 EMAIL: bdm@thesitegroup.net

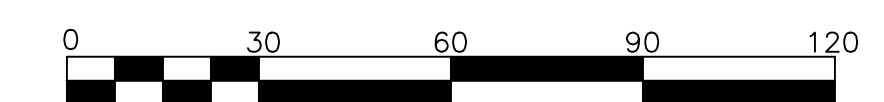
DRAWINGS INDEX:

- PA 1.0 COVER SHEET
- PA 2.0 EXISTING CONDITIONS & DEMOLITION PLAN
- PA 3.0 SITE LAYOUT PLAN
- PA 4.0 GRADING & DRAINAGE PLAN
- PA 5.0 UTILITY PLAN
- PA 6.0 LIGHTING PLAN
- PA 7.0 LANDSCAPE PLAN
- PA 7.1 TREE CONSERVATION AREA PLAN
- PA 8.0 DETAILS
- PA 8.1 DETAILS
- XXXX BUILDING ELEVATION (BY OTHERS)



SITE LAYOUT PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 1111 OBERLIN ROAD
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E Mail: SRN@thesitegroup.net

TIER II SITE PLANS FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8905 RAY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: WRR
 Checked By: BDM

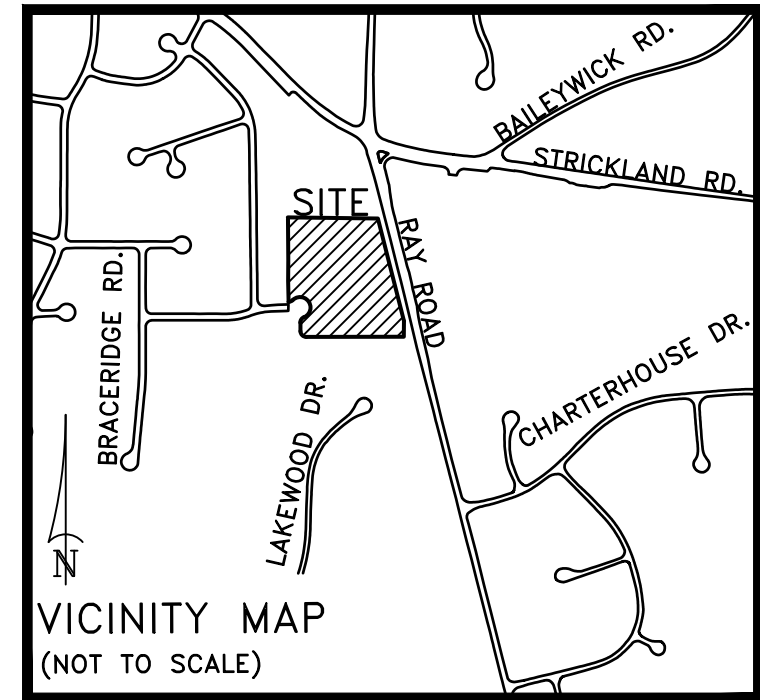
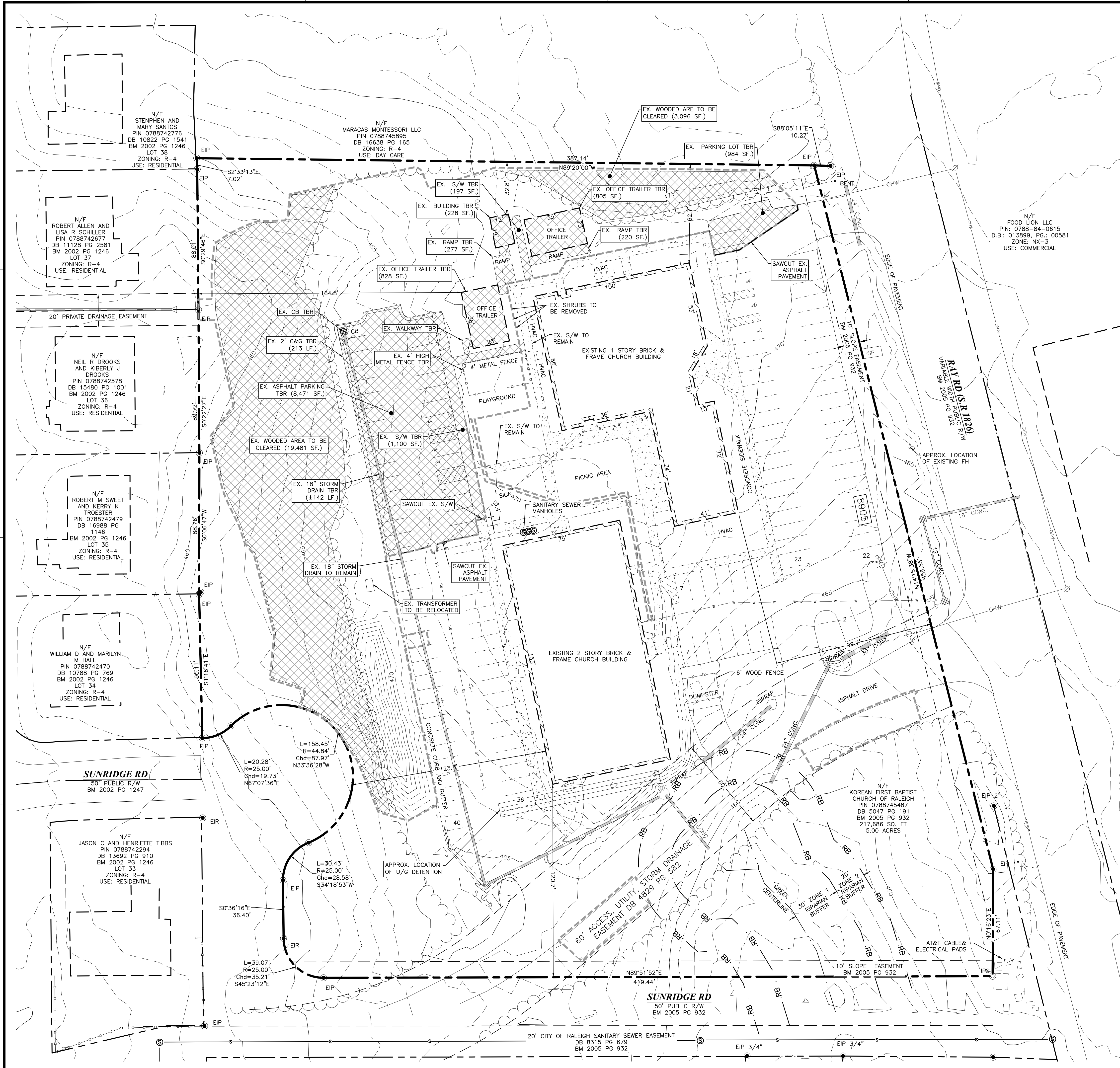
DATE:
 23 OCT 2023

ADMINISTRATIVE SITE REVIEW

SITE LAYOUT PLAN

Job Code: KFCBRR

Dwg No. P.A. 1.0



- GENERAL NOTES**
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FLOODPLAIN NOTE:

- THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).

FEMA REFERENCE DATA:
 FEMA FIRM PANEL No.: 3720074800K
 EFFECTIVE DATE: OCTOBER 19, 2018
 FEMA STREAM NAME: N/A
 FEMA FLOOD ZONE: Shade Zone X(0.2% annual chance flood)

FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720074800K DATED OCTOBER 19, 2018.

HATCH LEGEND

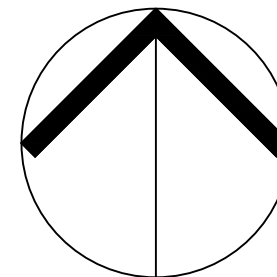
	AREA TO BE DEMOLISHED
	EX. CONCRETE AREA

LINE LEGEND

	PROJECT PROPERTY LINE
	ADJACENT PROPERTY/ROW
	EX. EASEMENT LINE
	EX. TOPO MAJOR
	EX. TOPO MINOR
	EX. TREE LINE
	EX. STORM DRAIN
	EX. OVERHEAD POWER
	EX. SANITARY SEWER LINE

SYMBOL LEGEND

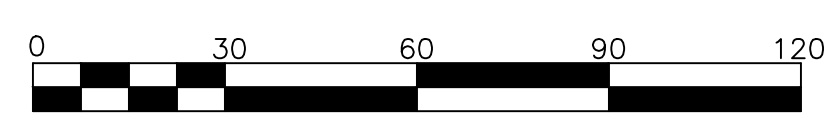
	EX. LIGHT POLE
	EX. STORM INLET
	EX. VALVE
	EX. UTILITY POLE
	EX. STORM MANHOLE
	EX. SEWER MANHOLE



NORTH

EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC
 8905 RAY ROAD
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

TIER II SITE PLANS FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8905 RAY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: **JHJ**
 Checked By: **BDM**

DATE:
 23 OCT 2023

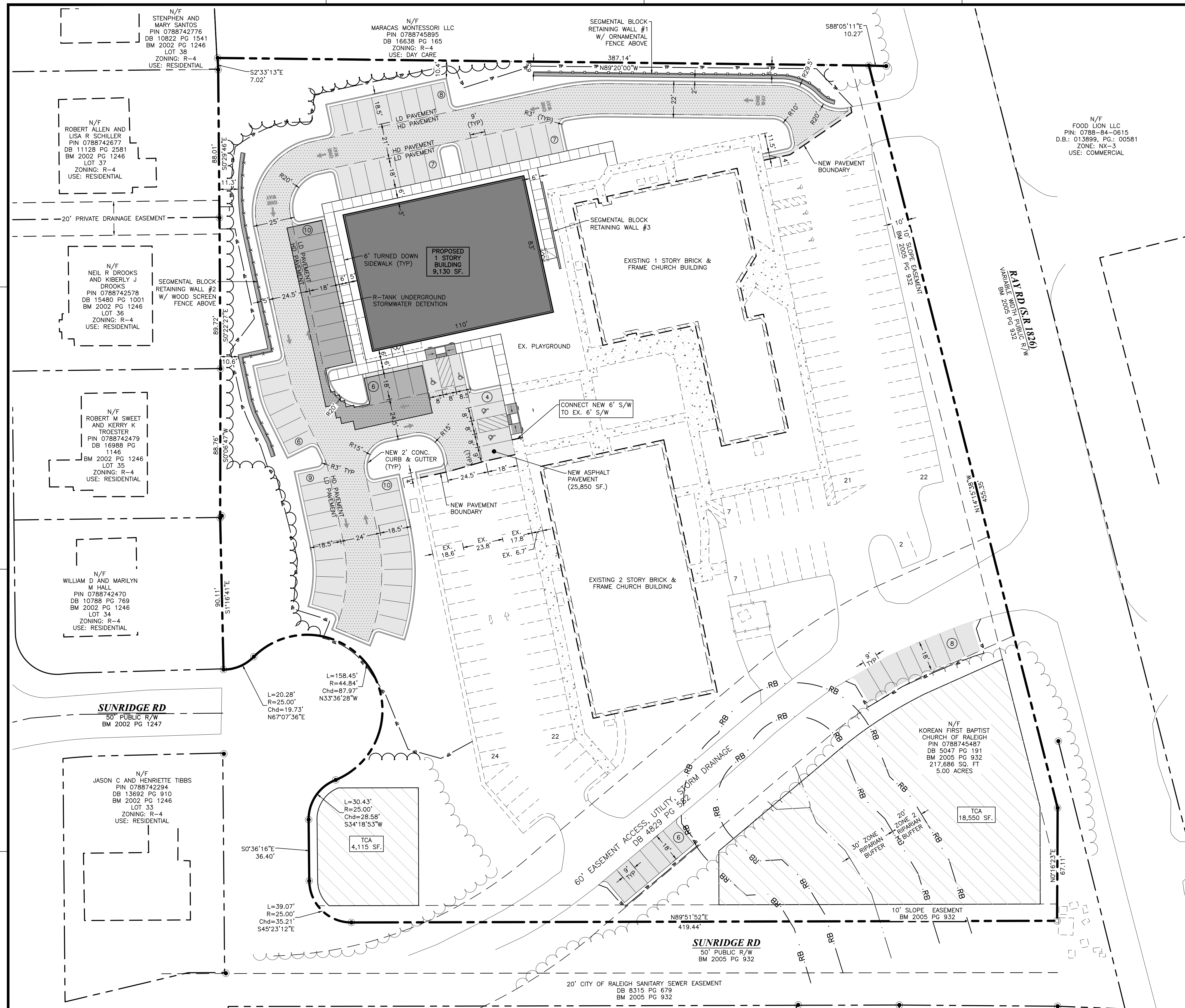
ADMINISTRATIVE SITE REVIEW

EXISTING CONDITIONS & DEMOLITION PLAN

Job Code: **KFCBRR**

Dwg No.
P.A. 2.0

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SITE DATA SUMMARY

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PIN:	0788-74-5487
PROPERTY ADDRESS:	8905 RAY ROAD
JURISDICTION:	CITY OF RALEIGH
EXISTING ZONING:	R-4
EXISTING ZONING OVERLAY:	N/A
RIVER BASIN:	NEUSE
EXISTING ACREAGE:	4.99 AC.
EXISTING USE:	PLACE OF WORSHIP
EXISTING BUILDINGS:	5 (2 BRICK & FRAME, 3 TRAILERS)
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SYMBOL LEGEND

	EX. LIGHT POLE
	EX. STORM INLET
	EX. VALVE
	EX. UTILITY POLE
	EX. STORM MANHOLE
	EX. SEWER MANHOLE

LINE LEGEND

	PROJECT PROPERTY LINE
	ADJACENT PROPERTY/ROW
	EX. EASEMENT LINE
	NEW WOOD SCREEN FENCE
	NEW ORNAMENTAL FENCE
	NEW TREE LINE
	EX. TREE LINE

HATCH LEGEND

	SECONDARY TREE CONSERVATION AREA
	PROPOSED BUILDING
	PROPOSED PARKING IMPROVEMENTS

FLOODPLAIN NOTE:

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FEMA REFERENCE DATA:
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NORTH

SITE LAYOUT PLAN

SCALE: 1" = 30'
(DRAWING SCALED FOR 24x36 INCH PLOTS)

NOT FOR CONSTRUCTION

THE SITE GROUP
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC.
 1000 N. GARDNER ST., SUITE 200
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

TIER II SITE PLANS FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8905 RAY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **BDM**

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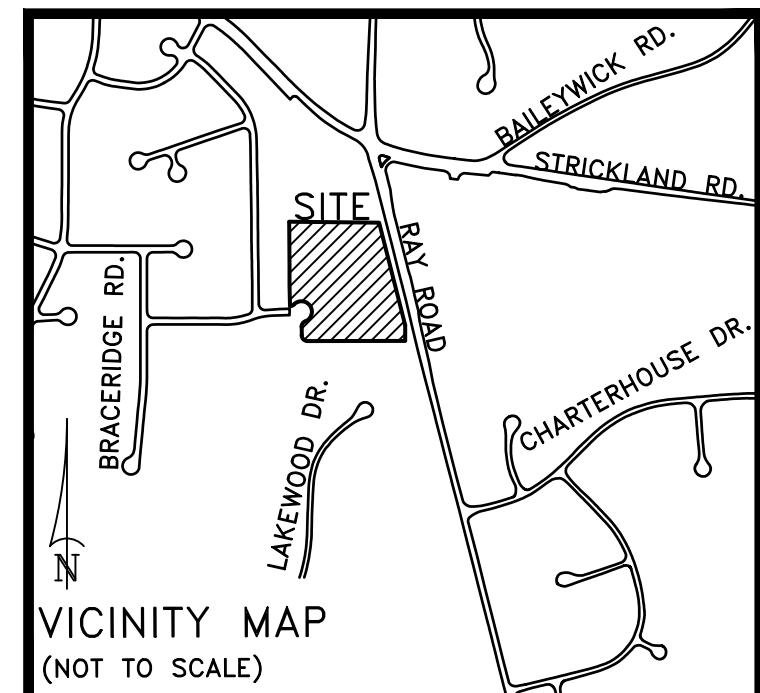
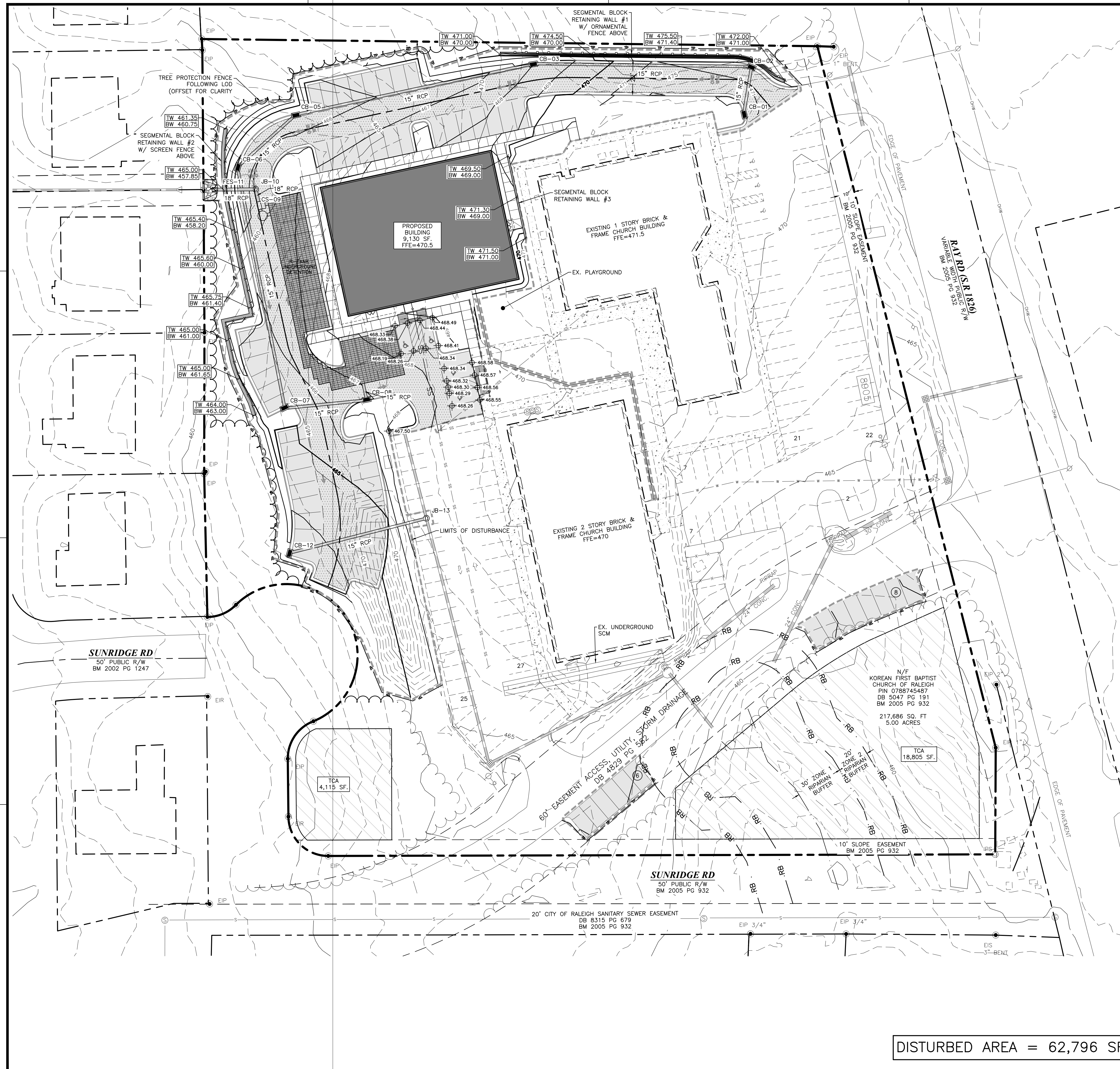
ADMINISTRATIVE SITE REVIEW

SITE LAYOUT PLAN

Job Code: **KFCBRR**

Dwg No.
P.A. 3.0

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4. ALL CONSTRUCTION SHALL CONFORM TO A.D.A STANDARDS.

FLOODPLAIN NOTE:

1. THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).

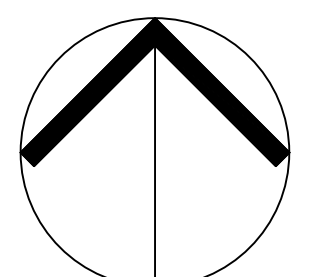
FEMA REFERENCE DATA:
 FEMA FIRM PANEL No.: 3720074800K
 EFFECTIVE DATE: OCTOBER 19, 2018
 FEMA STREAM NAME: N/A
 FEMA FLOOD ZONE: Shade Zone X(0.2% annual chance flood)

FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720074800K DATED OCTOBER 19, 2018.

HATCH LEGEND	
	POSSIBLE TREE CONSERVATION AREA
	PROPOSED BUILDING
	PROPOSED PARKING IMPROVEMENTS

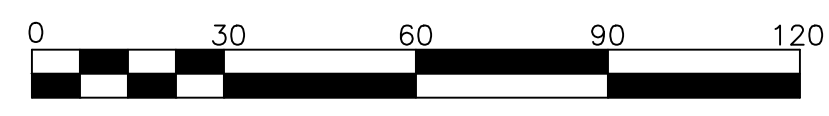
SYMBOL LEGEND	
	EX. LIGHT POLE
	EX. STORM INLET
	EX. VALVE
	EX. UTILITY POLE
	EX. STORM MANHOLE
	EX. SEWER MANHOLE

LINE LEGEND	
	PROJECT PROPERTY LINE
	ADJACENT PROPERTY/ROW
	EX. EASEMENT LINE
	EX. TOPO MAJOR
	EX. TOPO MINOR
	NEW TOPO MAJOR
	NEW TOPO MINOR
	EX. TREE LINE
	NEW TREE LINE
	EX. STORM DRAIN
	EX. OVERHEAD POWER
	EX. SANITARY SEWER LINE
	LIMITS OF DISTURBANCE
	TREE PROTECTION FENCE
	NEW WOOD SCREEN FENCE
	NEW ORNAMENTAL FENCE



GRADING & DRAINAGE PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

DISTURBED AREA = 62,796 SF (1.44 AC.)

THE SITE GROUP
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 THE SITE GROUP, PLLC.
 1111 GARDNER RD.
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E-Mail: SRN@thesitegroup.net

TIER II SITE PLANS FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8905 RAY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: **WRR**
 Checked By: **BDM**

DATE:
 23 OCT 2023

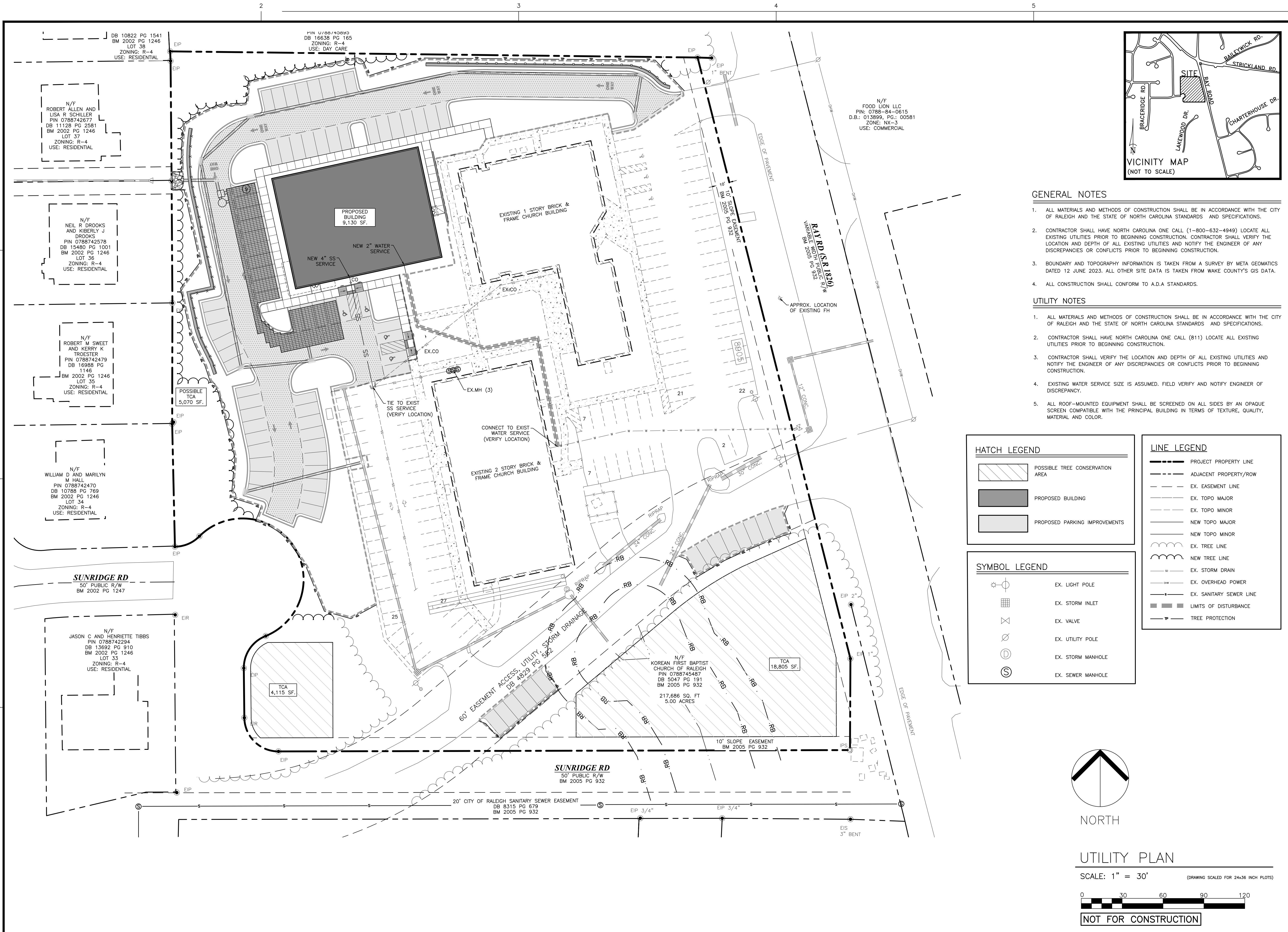
ADMINISTRATIVE
 SITE REVIEW

GRADING &
 DRAINAGE
 PLAN

Job Code: **KFCBRR**

Dwg No.
P.A.
4.0

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GENERAL NOTES

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2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
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UTILITY NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
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3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. EXISTING WATER SERVICE SIZE IS ASSUMED. FIELD VERIFY AND NOTIFY ENGINEER OF DISCREPANCY.
5. ALL ROOF-MOUNTED EQUIPMENT SHALL BE SCREENED ON ALL SIDES BY AN OPAQUE SCREEN COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL AND COLOR.

HATCH LEGEND

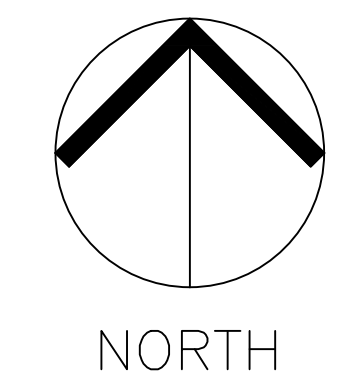
	POSSIBLE TREE CONSERVATION AREA
	PROPOSED BUILDING
	PROPOSED PARKING IMPROVEMENTS

LINE LEGEND

	PROJECT PROPERTY LINE
	ADJACENT PROPERTY/ROW
	EX. EASEMENT LINE
	EX. TOPO MAJOR
	EX. TOPO MINOR
	NEW TOPO MAJOR
	NEW TOPO MINOR
	EX. TREE LINE
	NEW TREE LINE
	EX. STORM DRAIN
	EX. OVERHEAD POWER
	EX. SANITARY SEWER LINE
	LIMITS OF DISTURBANCE
	TREE PROTECTION

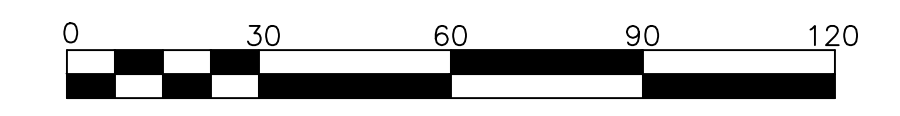
SYMBOL LEGEND

	EX. LIGHT POLE
	EX. STORM INLET
	EX. VALVE
	EX. UTILITY POLE
	EX. STORM MANHOLE
	EX. SEWER MANHOLE



UTILITY PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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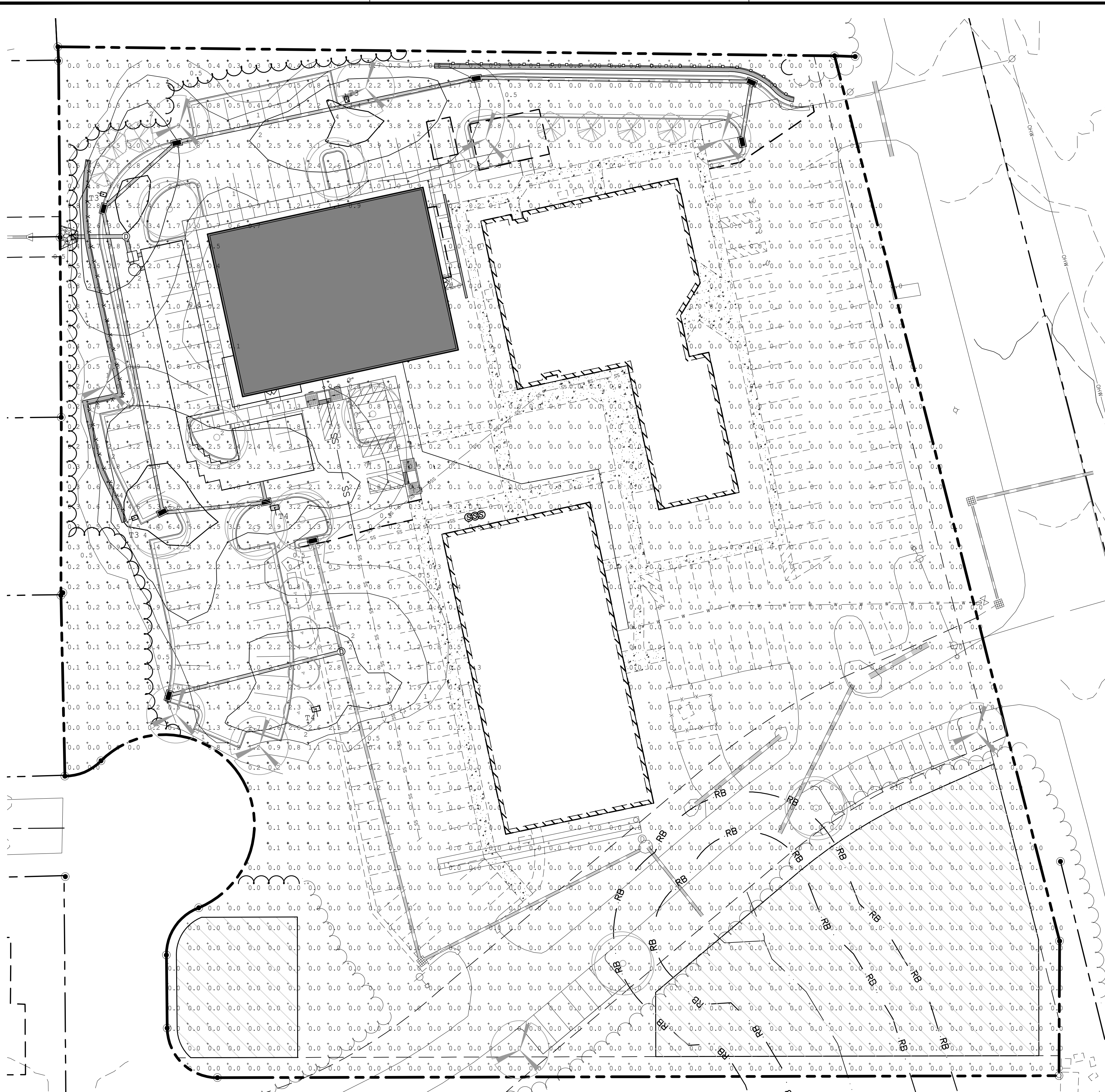
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 SITE REVIEW

UTILITY
 PLAN

Job Code **KFCBRR**

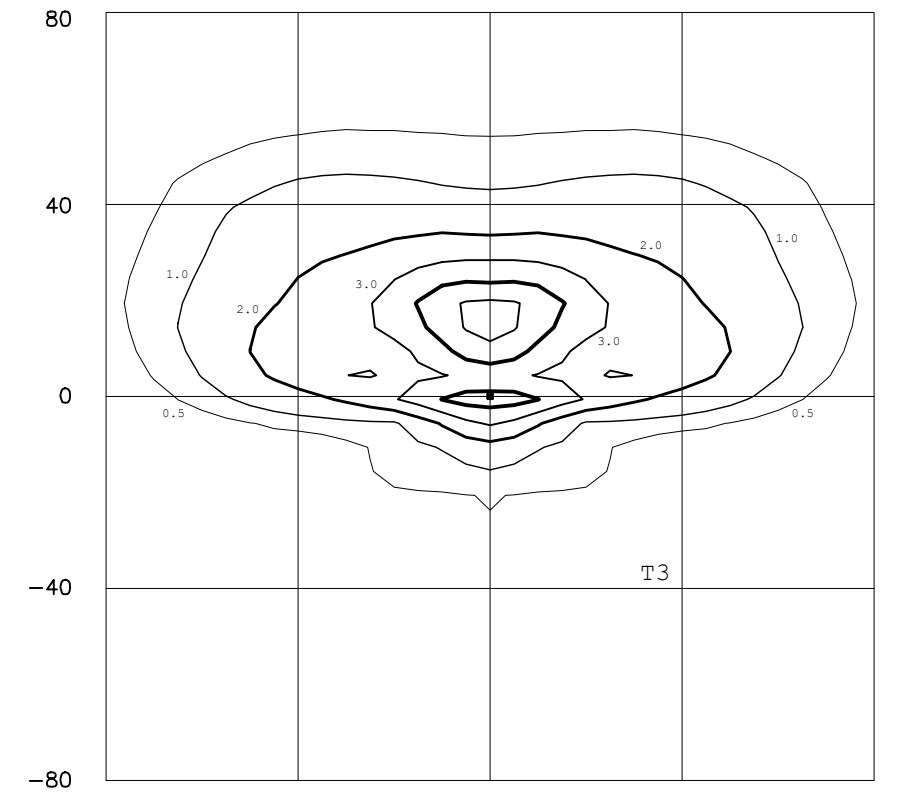
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ISOFOOTCANDLE CURVE

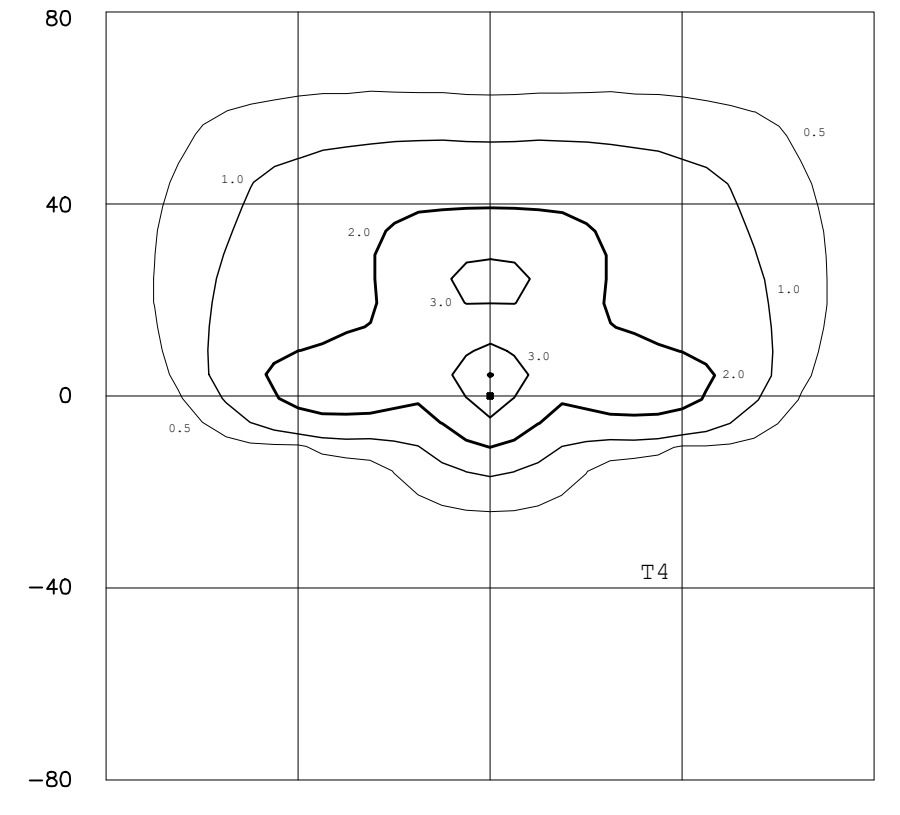
FIXTURE: GAN-AF-03-LED-U-T3R
 MOUNTING HEIGHT: 25'
 LIGHT SOURCE: Shoebox, 4000K, 150w
 PATTERN: TYPE III



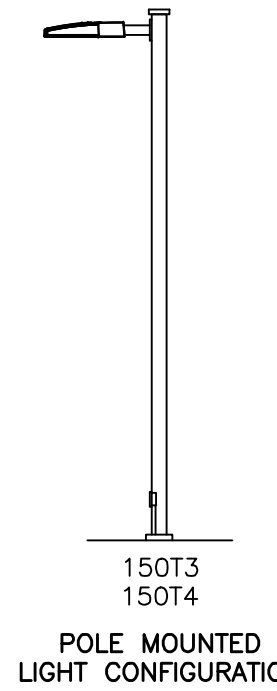
LEGEND (OUTER to INNER): 0.5 , 1.0 , 2.0

ISOFOOTCANDLE CURVE

FIXTURE: GAN-AF-03-LED-U-T4W
 MOUNTING HEIGHT: 25'
 LIGHT SOURCE: Shoebox, 4000K, 150w
 PATTERN: TYPE IV



LEGEND (OUTER to INNER): 0.5 , 1.0 , 2.0



Outdoor Lighting

SHOEBOX LED
(Meets Dark Sky Criteria)

LED (Light-emitting diode) 150 | 220 | 420 | 530 watts
 Mounting height 25' 30', 35'
 Color Black | Bronze | Gray | White
 Pole Fiberglass (1 or 2 fixtures per pole) / Decorative tapered metal / Decorative square metal
 Applications Neighborhoods / Roadways / Shopping centers

Light source: LED (white)
 Wattage: 150 | 220 | 420 | 530 watts
 Light pattern: IES Type V | Type IV (forward throw) Type III
 IESNA cutoff classification: Full-cutoff
 BUG rating: 150W Type III = B2U0G3 / Type IV = B3U0G4 / Type V = B5U0G3
 220W Type III = B2U0G4 / Type IV = B3U0G4 / Type V = B4U0G3
 420W Type IV = B3U0G5 / Type V = B5U0G5
 530W Type IV = B3U0G5 / Type V = B5U0G5
 Color temperature: 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) / Gray (1 or 2 fixtures per pole)

FEATURES

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, email us at ODL.Carolina@duke-energy.com

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(Meets Dark Sky Criteria)

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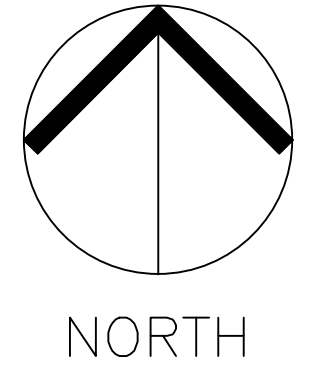
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 Color temperature: 4,000K

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FEATURES

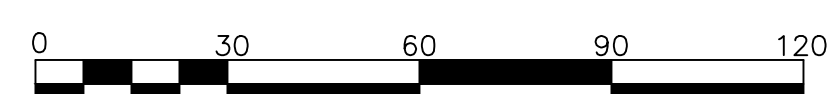
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LIGHTING PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

Luminaire Schedule				
Symbol	Qty	Label	Tag	Description
[Symbol]	3	Shoebbox 150W Type III 4000K G	T3	0.850 GAN-AF-03-LED-U-T3R
[Symbol]	2	Shoebbox 150W Type IV 4000K GA	T4	0.850 GAN-AF-03-LED-U-T4W

Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
KFBCCR PROPERTY GRID	Illuminance	Fc	0.47	6.6	0.0

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LIGHTING NOTES

- LIGHT POLES ARE TO BE LOCATED 10' (MIN) AWAY FROM CANOPY TREES.
- LIGHT LEVELS AT RESIDENTIAL PROPERTY LINES SHALL NOT EXCEED 0.5 FC
- LIGHT LEVELS AT PUBLIC RIGHT OF WAYS SHALL NOT EXCEED 2.0 FC
- ANY WALL PACKS INSTALLED ON THE BUILDING MUST BE FULL CUT OFF FIXTURES.
- FIXTURE SYMBOLS ARE ILLUSTRATIVE AND HAVE BEEN INCREASED IN SIZE.
- DUKE ENERGY PROGRESS SERVICE IS AVAILABLE FOR THIS SITE. FINAL PHOTOMETRICS TO BE PER DUKE ENERGY LAYOUT.

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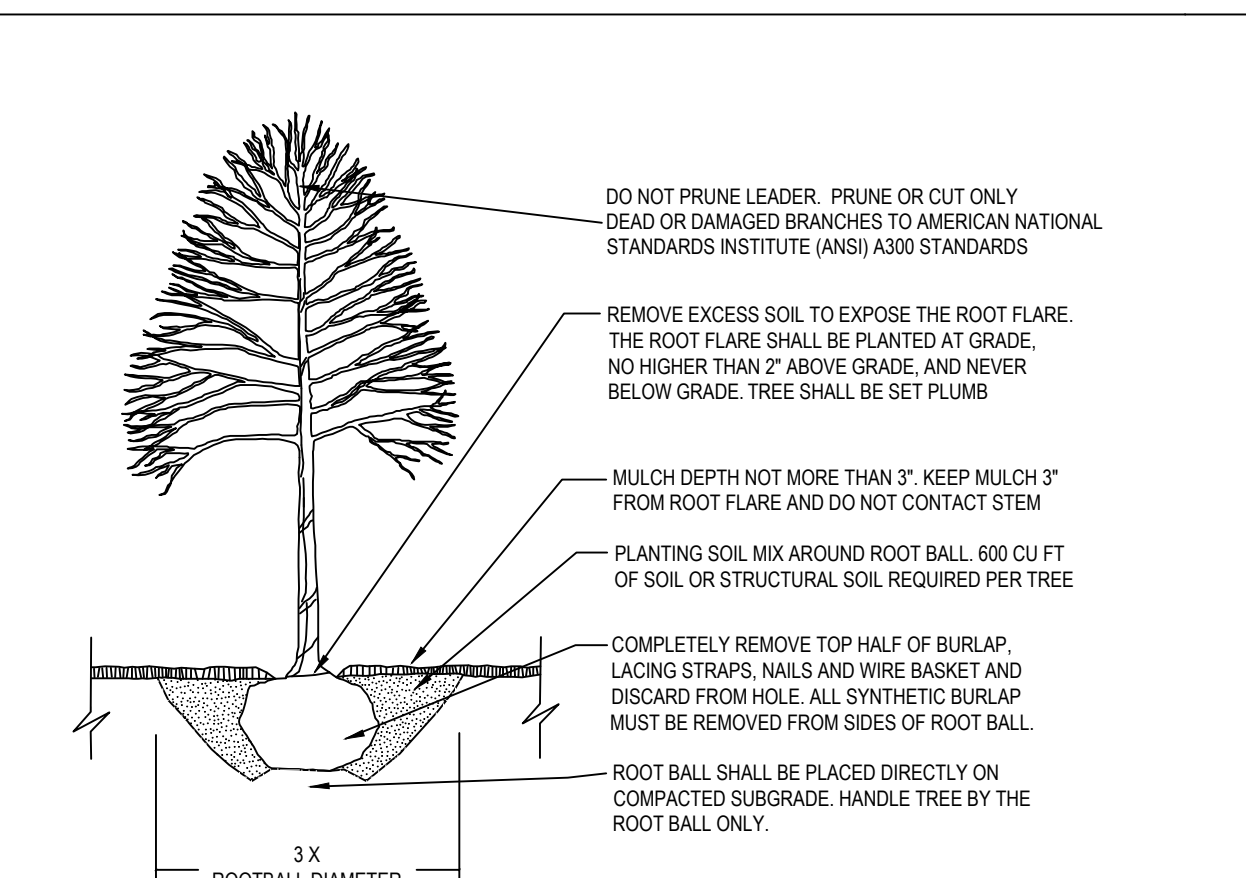
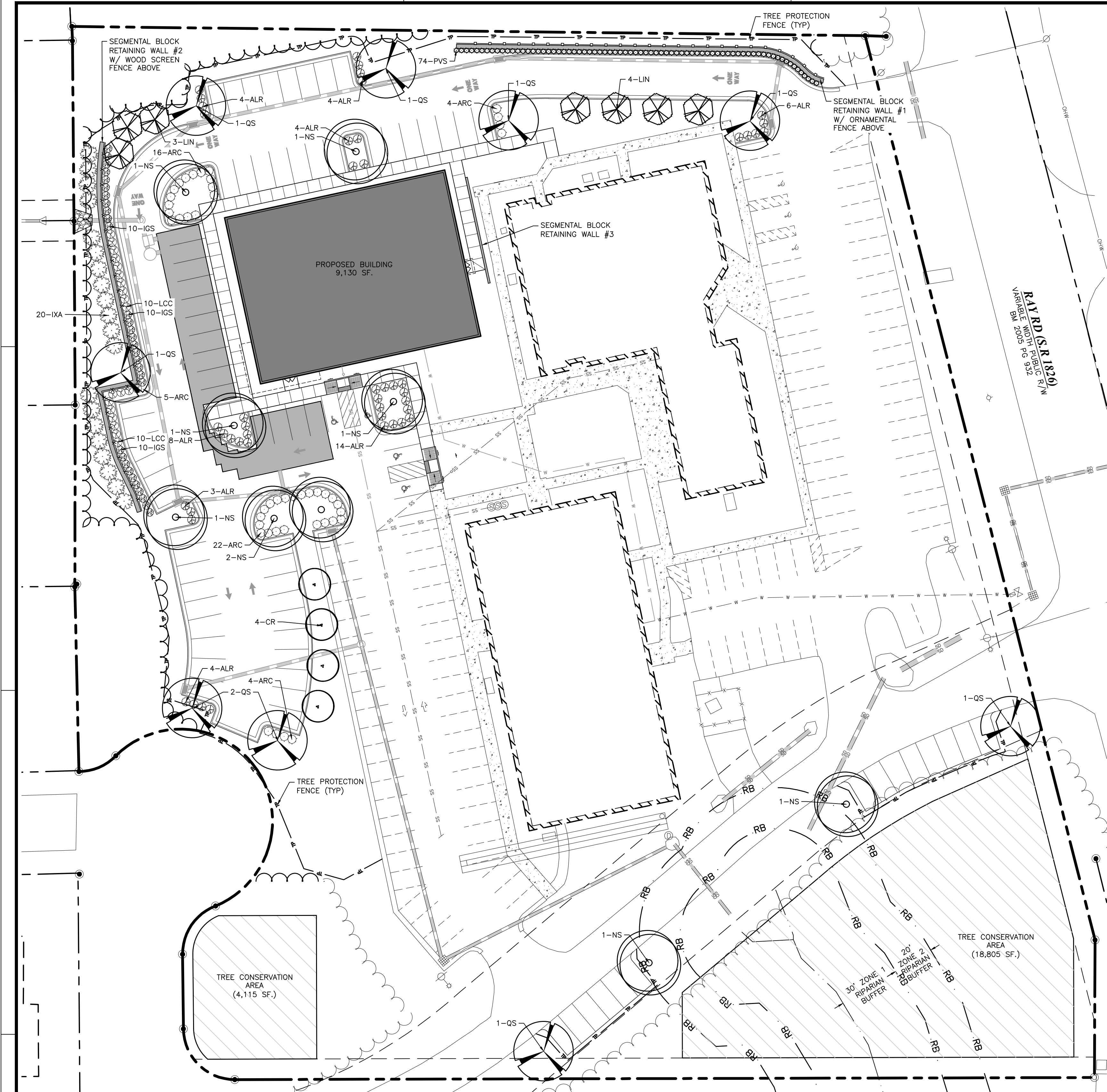
DATE:
 23 OCT 2023

ADMINISTRATIVE
 SITE REVIEW

LIGHTING
 PLAN

Job Code: **KFBCCR**

Dwg No.
P.A. 6.0



CITY OF RALEIGH STANDARD DETAIL

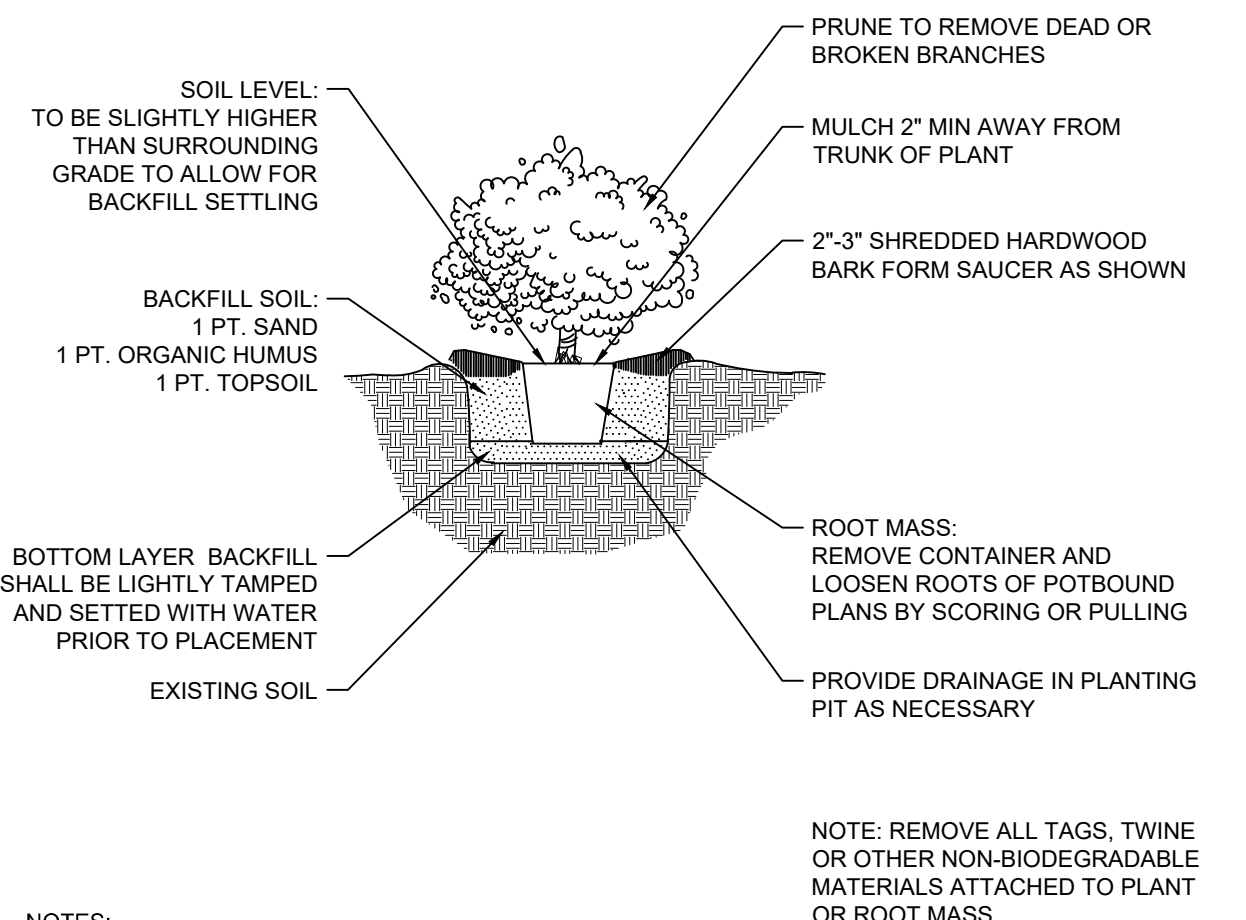
REVISED	DATE	NOT TO SCALE
10/2017	04/18/2020	

TREE PLANTING DETAIL

TPP-03

NOTES:

- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).
- TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.



SHRUB PLANTING DETAIL

SPD-01

NOTES:

- TO PROMOTE AERATION AND PERCOLATION IN HEAVY SOIL, PLANT ROOTBALL ABOVE EXISTING GRADE AS SHOWN.
- PROVIDE AN EARTH SAUCER FOR WATER RETENTION.
- BACKFILL WITH 80% PARENT MATERIAL AND 20% DECOMPOSED ORGANIC MATERIAL BY VOLUME WELL MIXED AS APPROVED BY THE ARCHITECT.
- PROVIDE 6" MINIMUM OF BACKFILL ON EACH SIDE OF ROOTBALL TO PROMOTE RAPID REESTABLISHMENT.
- PROVIDE MINIMUM 4" THICK PINE STRAW IN 6" WIDE PLANTING BED OR AS DIRECTED ON PLANS.
- SHRUBS WILL HAVE A MINIMUM 1 YEAR WARRANTY FROM DATE OF INSTALLATION.

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- LANDSCAPE REQUIREMENTS:**
- THE SITE SHALL BE STABILIZED AND SEEDDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
 - ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
 - THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
 - NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT OF WAY OR WITHIN 5' OF A SIDEWALK AND WITHIN 20' OF A LIGHTING LOCATION.
 - ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING SHALL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES.
 - WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE CITY OF RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
 - UPON ESTABLISHMENT OF FINISHED GRADES AND PRIOR TO BEGINNING INSTALLATION OF ANY TREES, A SOIL AMENDMENT SCHEDULE FOR ALL TREE PLANTINGS SHALL BE PREPARED BY A CERTIFIED LANDSCAPE ARCHITECT AND BE PROVIDED TO THE CITY OF RALEIGH PLANNING DEPARTMENT.
 - PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A CERTIFIED STATEMENT SHALL BE PROVIDED TO TOWN STAFF SITE INSPECTOR ATTESTING TO THE FACT THAT THE SOIL AMENDMENT SCHEDULE WAS FOLLOWED AS SPECIFIED IN THE APPROVED SITE AND/OR SUBDIVISION PLAN. THIS STATEMENT SHALL BE CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT, CERTIFIED ARBORIST, OR OTHER SPECIALIST AS DETERMINED ACCEPTABLE BY THE PLANNING DIRECTOR.
 - THE PROPERTY OWNER OR DEVELOPER SHALL PROVIDE FOR CONTINUOUS MAINTENANCE OF THE LANDSCAPE AREAS AFTER OCCUPANCY OF THE BUILDING. THE PROPERTY OWNER SHALL ENSURE THAT PERFORMANCE CRITERIA WITHIN THIS ORDINANCE AND/OR INCLUDED ON THE APPROVED SITE AND/OR SUBDIVISION PLAN ARE MET. FAILURE TO CORRECT DEFICIENCIES IN A TIMELY MANNER SHALL RESULT IN A CITATION FOR VIOLATION OF THIS ORDINANCE IN ACCORDANCE WITH CHAPTER 11.
 - ALL FOUNDATION PLANTINGS SHALL BE DESIGNED TO CITY OF RALEIGH UDO SECTION REQUIREMENTS. THE CITY OF RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE ADDITIONAL PLANTINGS BASED ON ACTUAL FIELD CONDITIONS.

- LANDSCAPE MAINTENANCE PLAN:**
- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:
- FERTILIZATION:** FERTILIZE LAWNS TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN SEPTEMBER 1-OCTOBER 31) ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING THE GROWING SEASON PER SOIL TEST.
 - PRUNING:** PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE ANSI A300 STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
 - PEST CONTROL:** PRE-EMERGENT WEED CONTROL FOR SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
 - MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN SHRUB BEDS. MULCH SHALL BE REAPPLIED EVERY TWO YEARS. AS NECESSARY TO MAINTAIN THE AVERAGE DEPTH OF THE PLANT BED.
 - MOWING:** PRIMARY FESCUE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 3" AND SHALL BE MOWED APPROXIMATELY 30 TIMES PER YEAR. SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
 - PLANT PROTECTION:** AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
 - WATERING:** IF AN IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON. (PENDING CITY OF RALEIGH WATER/IRRIGATION SUPPLIES.)
 - PLANT REPLACEMENT:** ANY REQUIRED PLANTING, WHICH IS REMOVED OR DIES AFTER DATE OF PLANTING SHALL BE REPLACED DURING THE NEXT PLANTING SEASON. ALSO, ANY TREE IN A TREE PRESERVATION AREA WHICH IS REMOVED OR DIES SHALL BE REPLACED DURING THE NEXT PLANTING SEASON.
- REMOVAL OF DISEASE INFESTED MATERIAL SHALL BE ALLOWED SO LONG AS REQUIRED SHRUBS ARE REPLACED AT THE REQUIRED RATES AND SIZES.
- FAILURE TO MAINTAIN REQUIRED LANDSCAPE AREAS SHALL CONSTITUTE A VIOLATION OF THIS UDO ENFORCEABLE UNDER THE PROVISIONS OF SECTION 10-ENFORCEMENT.

KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE	MATURE HEIGHT/CROWN	ROOT	REMARKS	LOCATION	SPACING
SHADE TREES										
NS	9	NYSSA SYLVATICA 'GREEN GABLE'	GREEN GABLE BLACK GUM	10'	3" CAL.	50'/30'	B&B	DECIDUOUS	PARKING	AS SHOWN
QS	9	QUERCUS SHUMARDII	SHUMARD OAK	10'	3" CAL.	50'/40'	B&B	DECIDUOUS	PARKING	AS SHOWN
UNDERSTORY TREES										
CR	4	CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	8' HT. MIN.	1.5" CAL.	25'/20'	B&B	SINGLE-STEM	PARKING	20' O.C.
LIN	7	LAGERSTROMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	8' HT. MIN.	1.5" CAL.	20'/20'	B&B	MULTI-STEM	PARKING	20' O.C.
SHRUBS										
ALR	47	ABELIA GRANDIFLORA 'LITTLE RICHARD'	LITTLE RICHARD GLOSSY ABELIA	24" HT. MIN.	3 GAL.	4'/4'	CONT.	EVERGREEN	PARKING	4' O.C.
ARC	50	ABELIA GRANDIFLORA 'ROSE CREEK'	ROSE CREEK GLOSSY ABELIA	24" HT. MIN.	3 GAL.	4'/4'	CONT.	EVERGREEN	PARKING	4' O.C.
IGS	30	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24" HT. MIN.	3 GAL.	4'/4'	CONT.	EVERGREEN	SCREEN	4' O.C.
IXA	20	ILEX X 'ACADIANA™'	ACADIANA HOLLY	4' HT. MIN.	10 GAL.	12'/8'	CONT.	EVERGREEN	SCREEN	8' O.C.
LCC	20	LOROPETALUM CHINENSE 'CERISE CHARM'	CERISE CHARM LOROPETALUM	24" HT. MIN.	3 GAL.	4'/4'	CONT.	EVERGREEN	SCREEN	4' O.C.
GRASSES										
PVS	74	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	12" HT. MIN.	1 GAL.	3.5'/2.5'	CONT.	SEMI-EG	SCREEN	2.5' O.C.

PLANTING NOTES:

LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.

SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER, O.C. = ON-CENTER, (R) = TO REMAIN

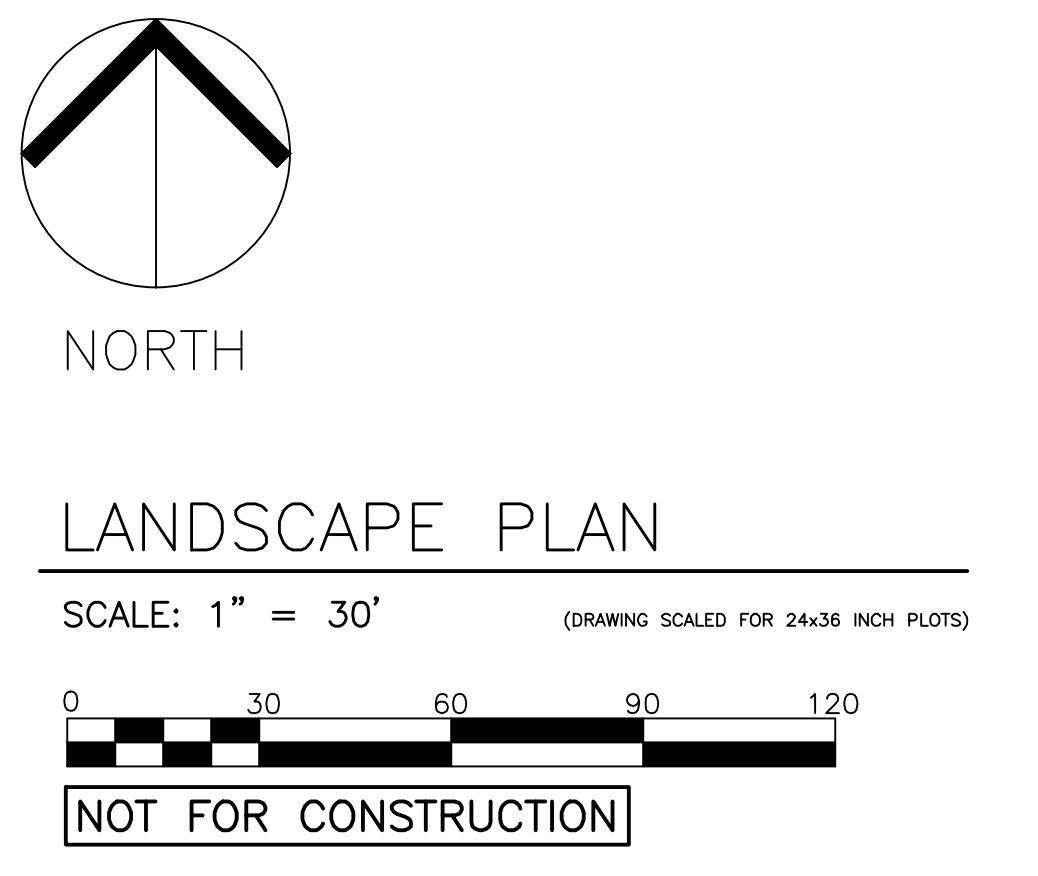
MULCH: MULCH ALL BED AREAS WITH SHREDDED PINE MULCH TO A DEPTH OF 3".

NOTE:

- ANY TREES IN SIGHT TRIANGLES WILL BE LIMBED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SIGHT TRIANGLES WILL BE MAINTAINED BELOW 2'.
- ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.

TREE COVERAGE REQUIREMENT:

1 SHADE TREE FOR EVERY 2,000 SF. OF PARKING AREA.	
PARKING AREA	29,168 SF.
SHADE TREES REQUIRED:	15
SHADE TREES PROVIDED:	18



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 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC.
 8000 W. GARDEN ROAD, SUITE 200
 RALEIGH, NC 27605-1136 USA
 Office: 919.835.4787
 Fax: 919.839.2255
 E Mail: SRN@thesitegroup.net

TIER II SITE PLANS FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8905 RAY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: **JHU**
 Checked By: **BDM**

DATE:
 23 OCT 2023

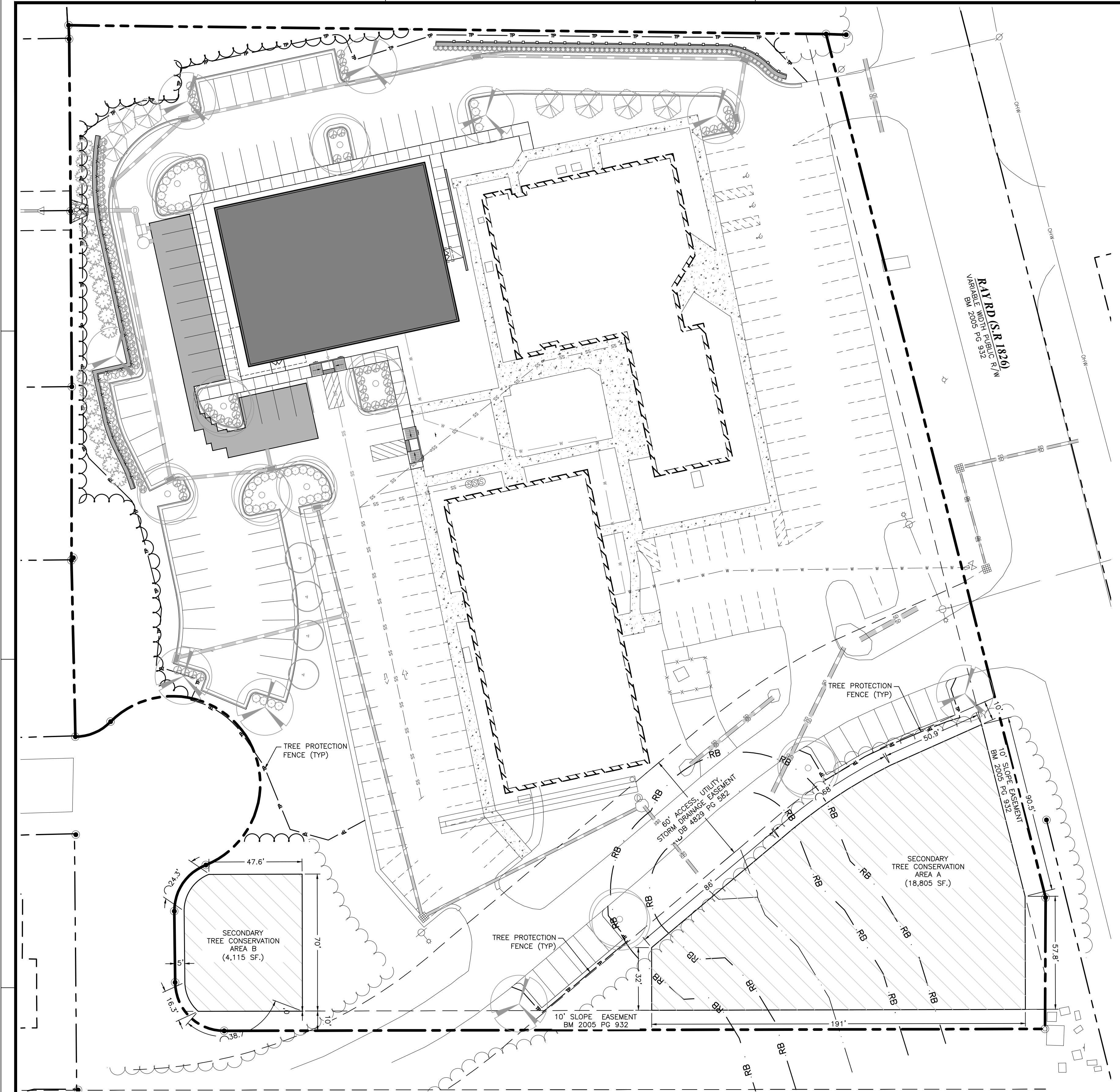
ADMINISTRATIVE SITE REVIEW

LANDSCAPE PLAN

Job Code: **KFCBRR**

Dwg No. **P.A. 7.0**

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Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(Include applicable information on the plan sheet)

Project Name: 8905 Ray Rd.

Gross Site Acres:	_____ ac
Right-of-way to be dedicated with this project:	_____ ac
Net Site Acres:	4.99 ac

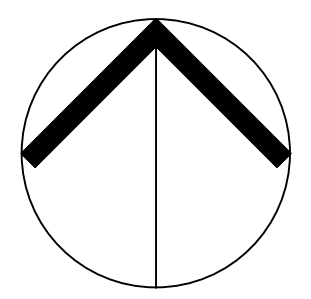
	Number of Acres	Percent of Tract
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	0	ac 0 %
1. Primary Tree Conservation Area - SHOD 2	0	ac 0 %
2. Primary Tree Conservation Area - Parkway Frontage	0	ac 0 %
3. Primary Tree Conservation Area - CM	0	ac 0 %
4. Primary Tree Conservation Area - MPOD	0	ac 0 %
5. Primary Tree Conservation Area - Champion Tree "XX" dbh species	0	ac 0 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0	ac 0 %
7. Primary Tree Conservation Area - 45% Slopes	0	ac 0 %
8. Primary Tree Conservation Area -Thoroughfare	0	ac 0 %
Subtotal of Primary Tree Conservation Areas:	0	ac 0 %
UDO 9.1.4.D.2 Tree Conservation Area - Greenway		
	0	ac 0 %
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (Include perimeter buffers and their alternate compliance areas)		
	0.52	ac 10.4 %
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (Include individual trees and their alternate compliance areas)		
	0	ac 0 %
Subtotal of Secondary Tree Conservation Areas:	0.52	ac 10.4 %
TOTAL ALL TREE CONSERVATION AREA PROVIDED:		
	0.52	ac 10.4 %
UDO 9.1.9. Watershed Protection Overlay Districts		
LWPOD - Wooded Area (preserved)	_____	ac _____ %
LWPOD - Wooded Area (planted)	_____	ac _____ %
FWPOD - Wooded Area (preserved)	_____	ac _____ %
FWPOD - Wooded Area (planted)	_____	ac _____ %
SWPOD - Wooded Area (preserved)	_____	ac _____ %
SWPOD - Wooded Area (planted)	_____	ac _____ %

SECONDARY TREE CONSERVATION AREA SUMMARY

EXISTING SITE AREA:	4.99 AC.
REQUIRED TREE CONSERVATION AREA:	0.49 AC. (10%)
TREE CONSERVATION AREA A:	18,805 SF./0.43 AC.
TREE CONSERVATION AREA B:	4,115 SF./0.09 AC.
PROVIDED TREE CONSERVATION AREA:	0.52 AC. (10.4%)

LEGEND

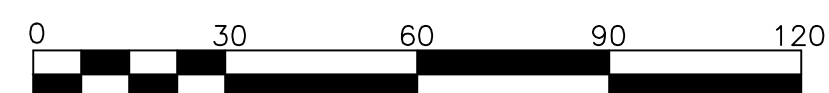
	PROPERTY BOUNDARY/ROW
	PROPOSED LOT LINE/EX. ADJACENTS
	EX. EASEMENTS
	PROPOSED WOOD SCREEN FENCE
	PROPOSED ORNAMENTAL FENCE
	TREE PROTECTION FENCE
	SECONDARY TREE CONSERVATION AREA



NORTH

TREE CONSERVATION AREA PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

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KOREAN FIRST BAPTIST CHURCH OF RALEIGH
8905 RAY ROAD
RALEIGH, NORTH CAROLINA

Drawn By: **JHU**
Checked By: **BDM**

DATE:
23 OCT 2023

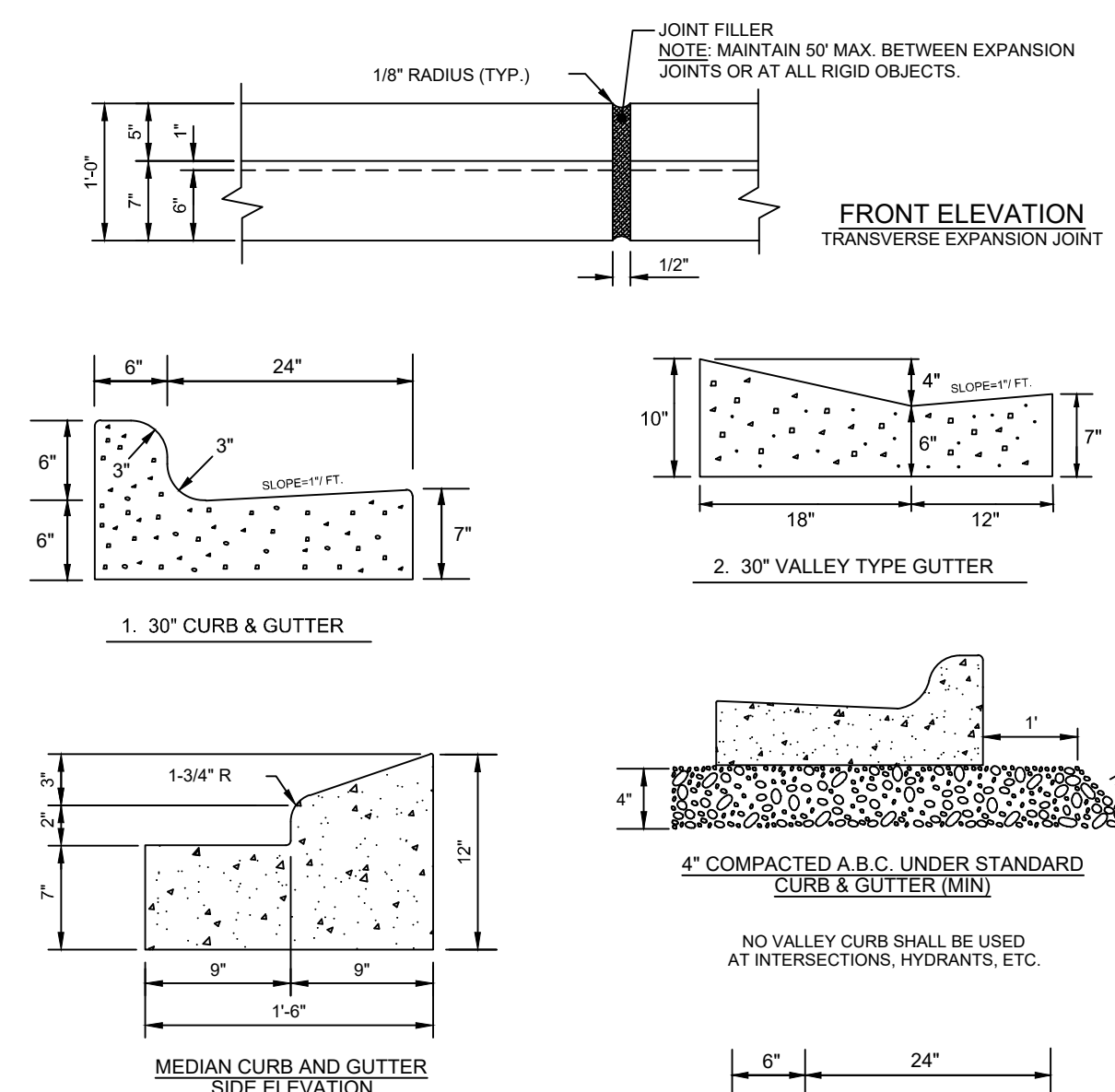
ADMINISTRATIVE SITE REVIEW

TREE CONSERVATION AREA PLAN

Job Code: **KFCRR**

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P.A. 7.1

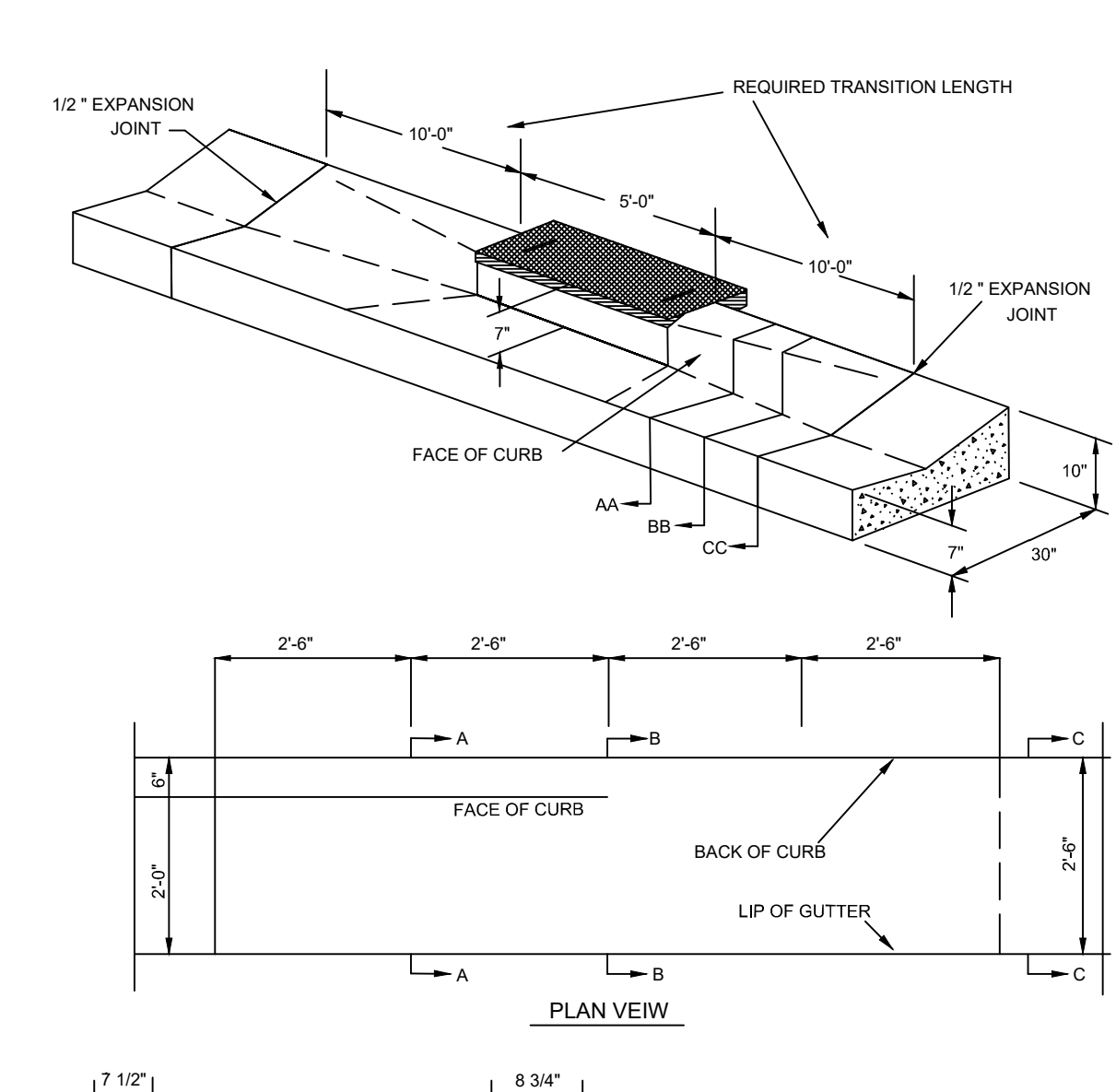
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NOTES:

- 10' MAXIMUM BETWEEN DUMMY JOINTS.
- 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
- 1/2" EXPANSION JOINT EVERY 50'.
- 3000 PSI CONCRETE MINIMUM 4" SLUMP MAXIMUM.
- LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1028-2 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
- ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 846.01. THE JOINT MATERIAL SHALL CONFORM TO SECTION 1028-2 OF NCDOT STANDARD & SPECIFICATIONS FOR ROADS AND STRUCTURES.
- REFER TO NCDOT DETAIL 846.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

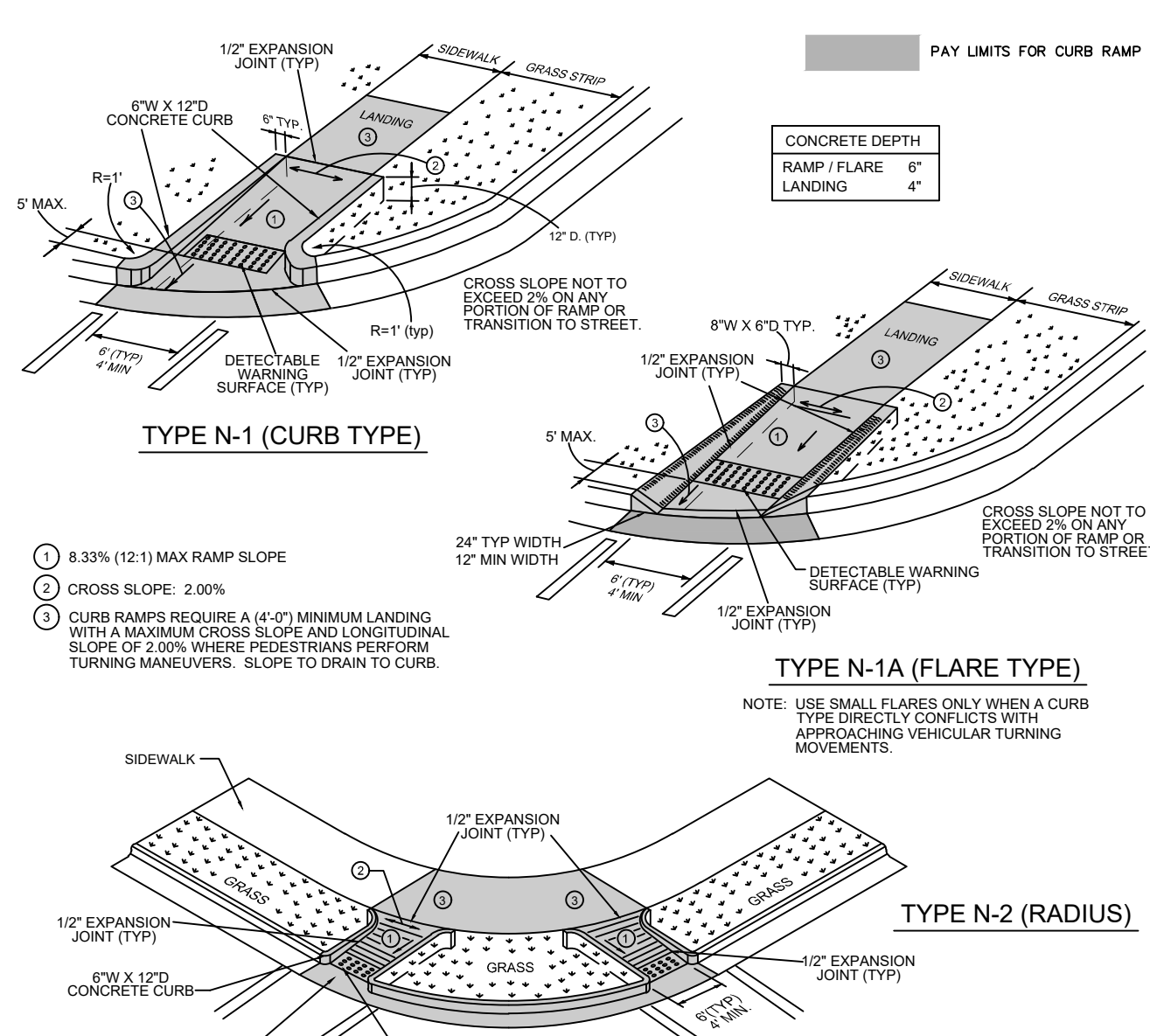
CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE #200	NOT TO SCALE
CURB AND GUTTER		
T-10.26.1		



NOTES:

- TRANSITION NOT TO BE LOCATED WITHIN THE CURB RADIUS.

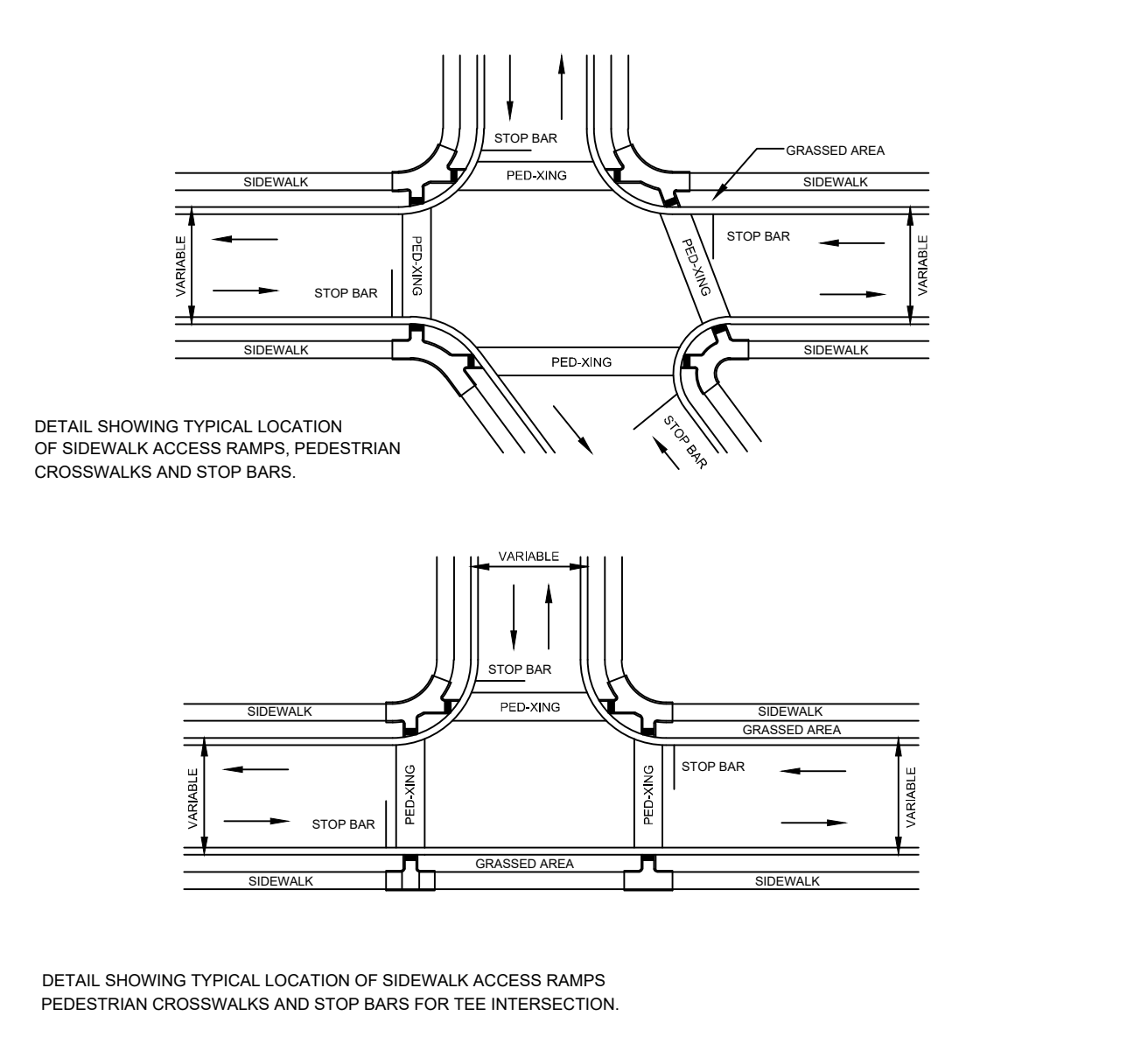
CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE #200	NOT TO SCALE
CURB TRANSITION TO 2'-6" VALLEY GUTTER		
T-10.26.2		



NOTES:

- 8.33% (12:1) MAX RAMP SLOPE
- CROSS SLOPE: 2.00%
- CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
- RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

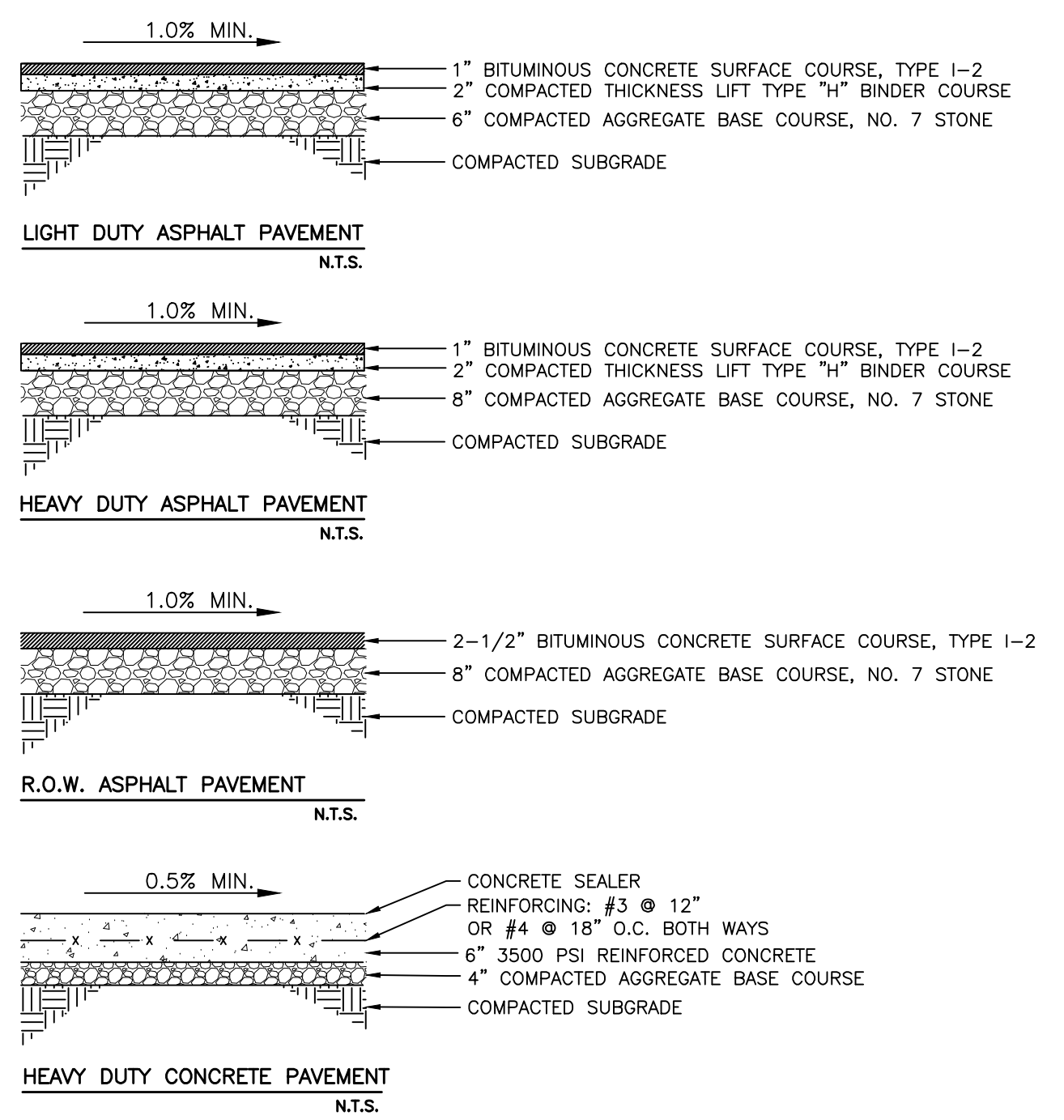
CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE #200	NOT TO SCALE
CURB RAMPS (NEW DEVELOPMENT)		
T-20.01.2		



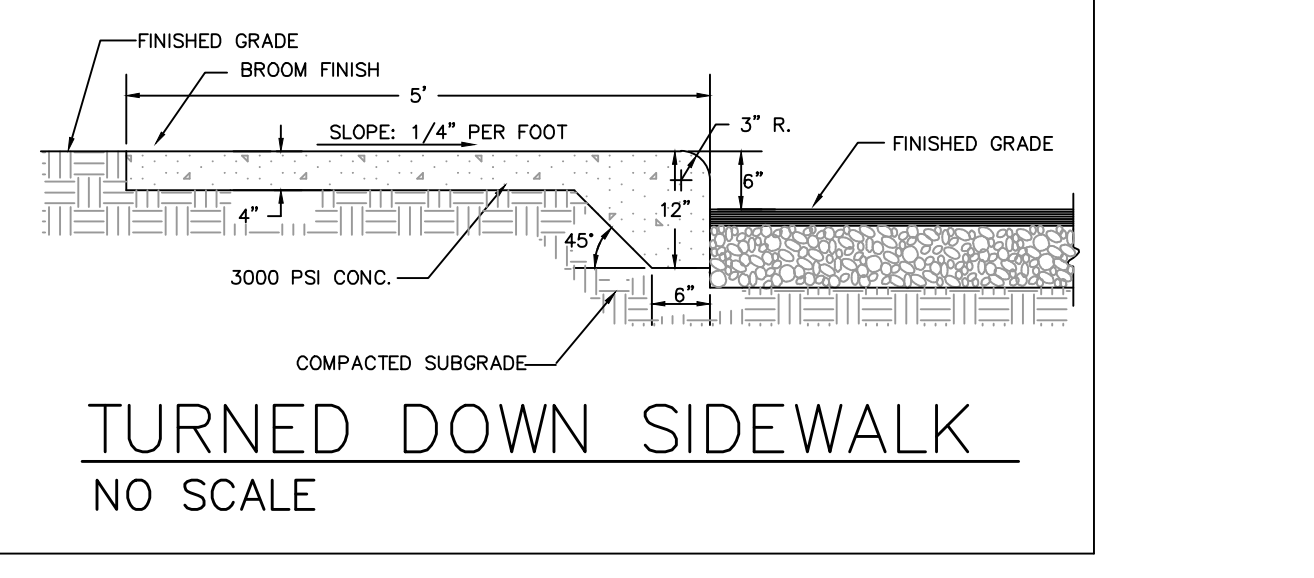
NOTES:

- FOR RAMPS AT ASPHALT TO ASPHALT STREET TYPE DRIVEWAYS OR PRIVATE STREET TIE IN.

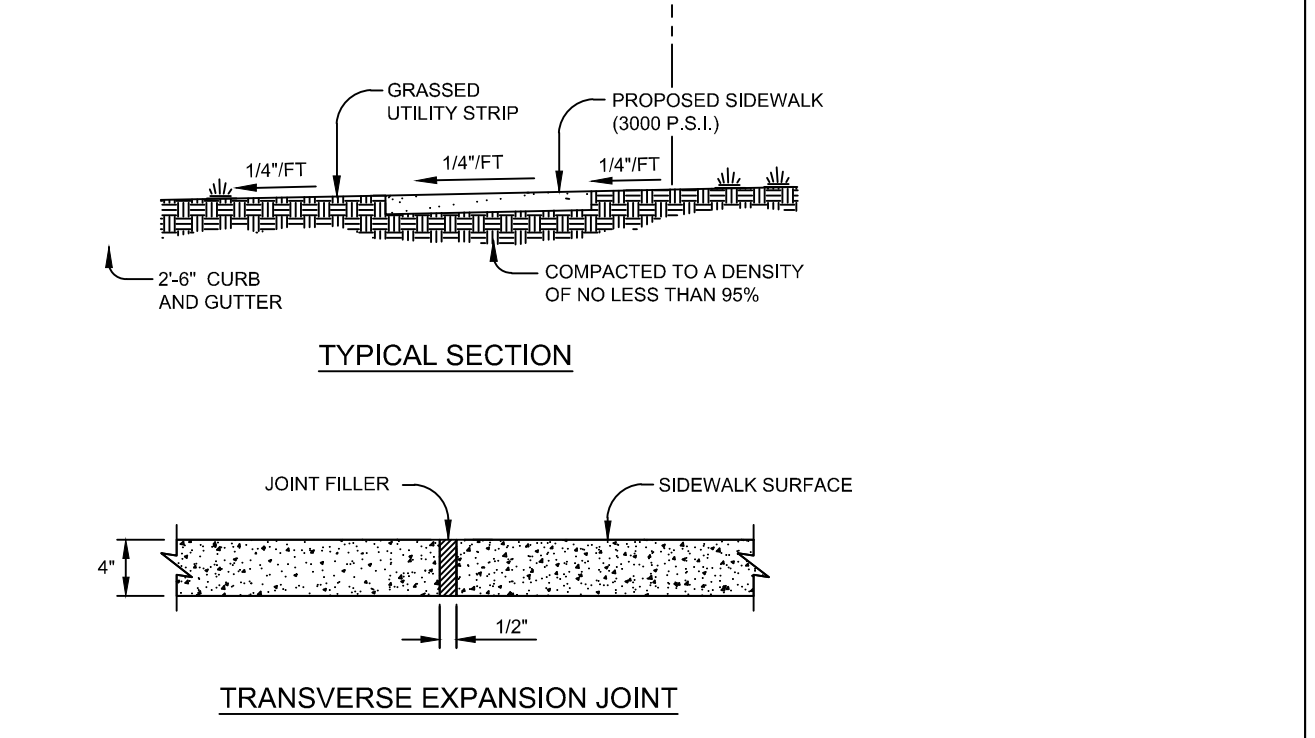
CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE #200	NOT TO SCALE
CURB RAMPS		
T-20.01.1		



TYPICAL PAVING SECTIONS
N.T.S.



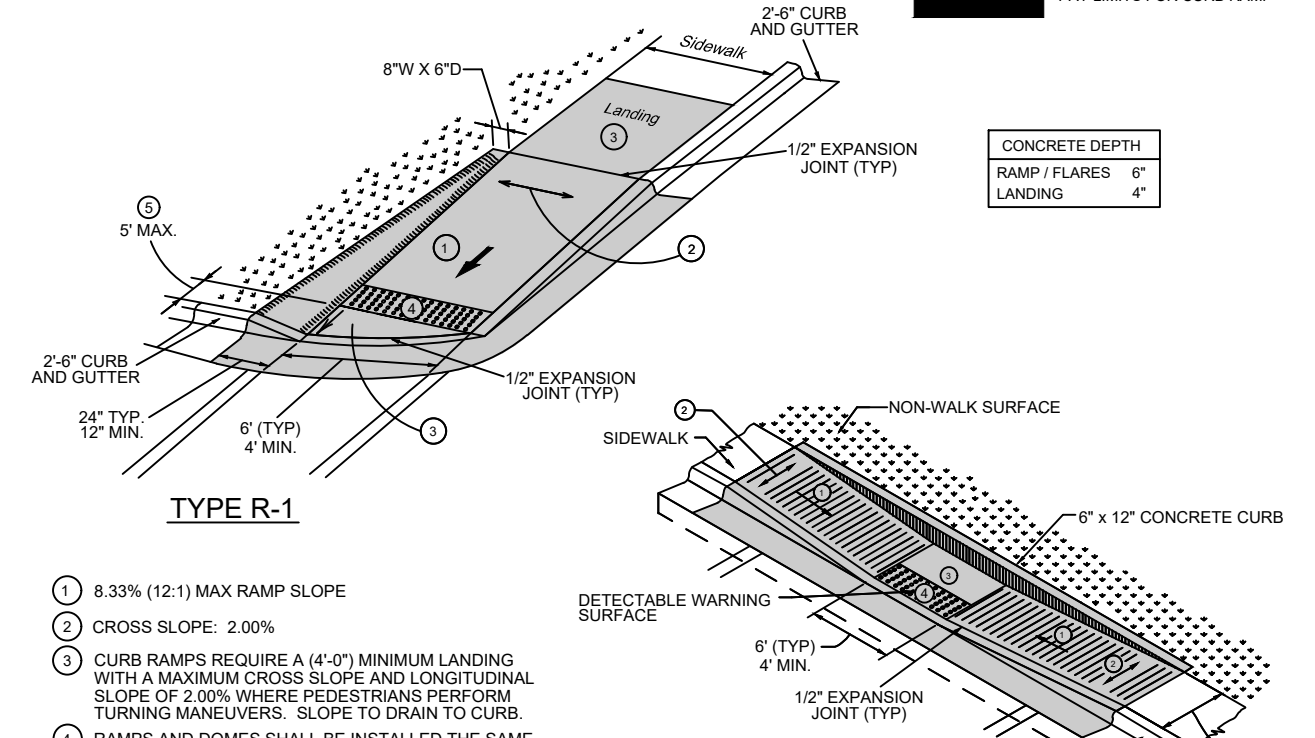
TURNED DOWN SIDEWALK
NO SCALE



NOTES:

- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
- ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
- A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF RADIUS CURB RETURNS), AND IN THE HANDICAP RAMPS.

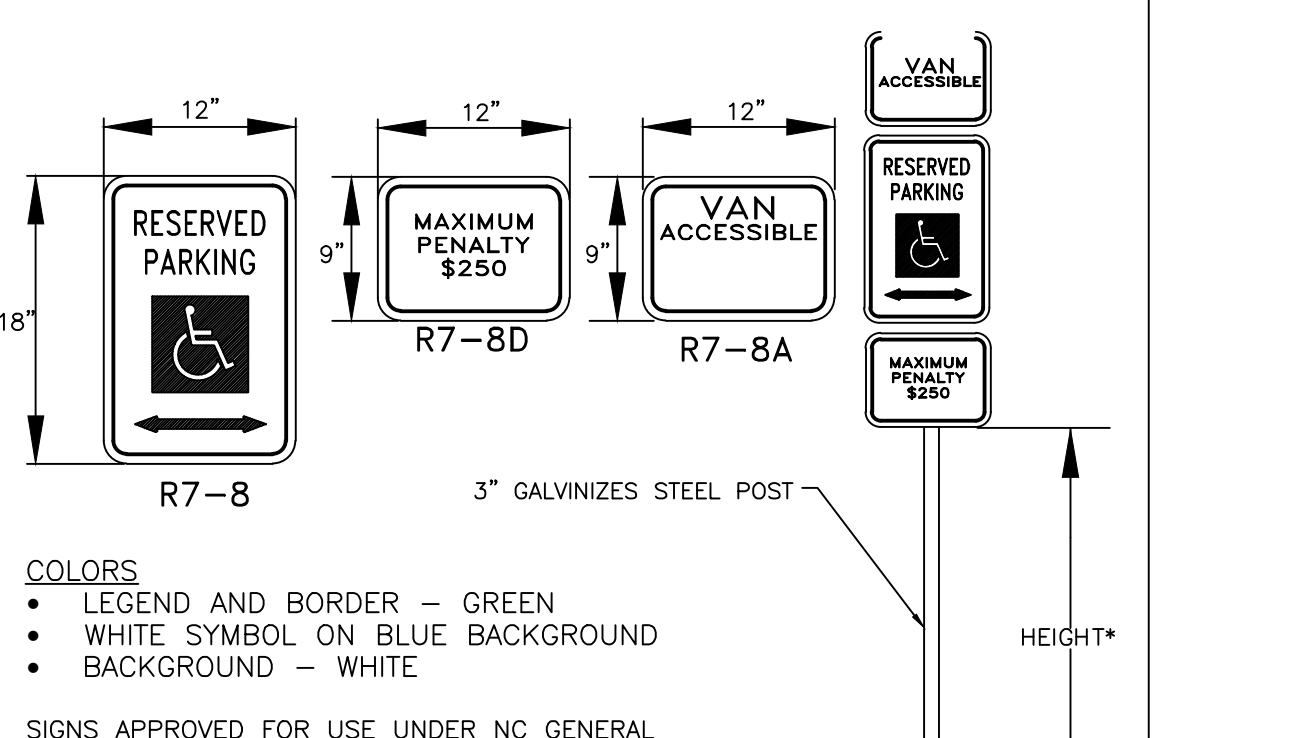
CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE #200	NOT TO SCALE
CONCRETE SIDEWALK		
T-30.01		



NOTES:

- 8.33% (12:1) MAX RAMP SLOPE
- CROSS SLOPE: 2.00%
- CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
- RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

CITY OF RALEIGH PUBLIC WORKS DEPARTMENT		
REVISIONS	DATE #200	NOT TO SCALE
CURB RAMPS (RETROFIT)		
T-20.01.5		



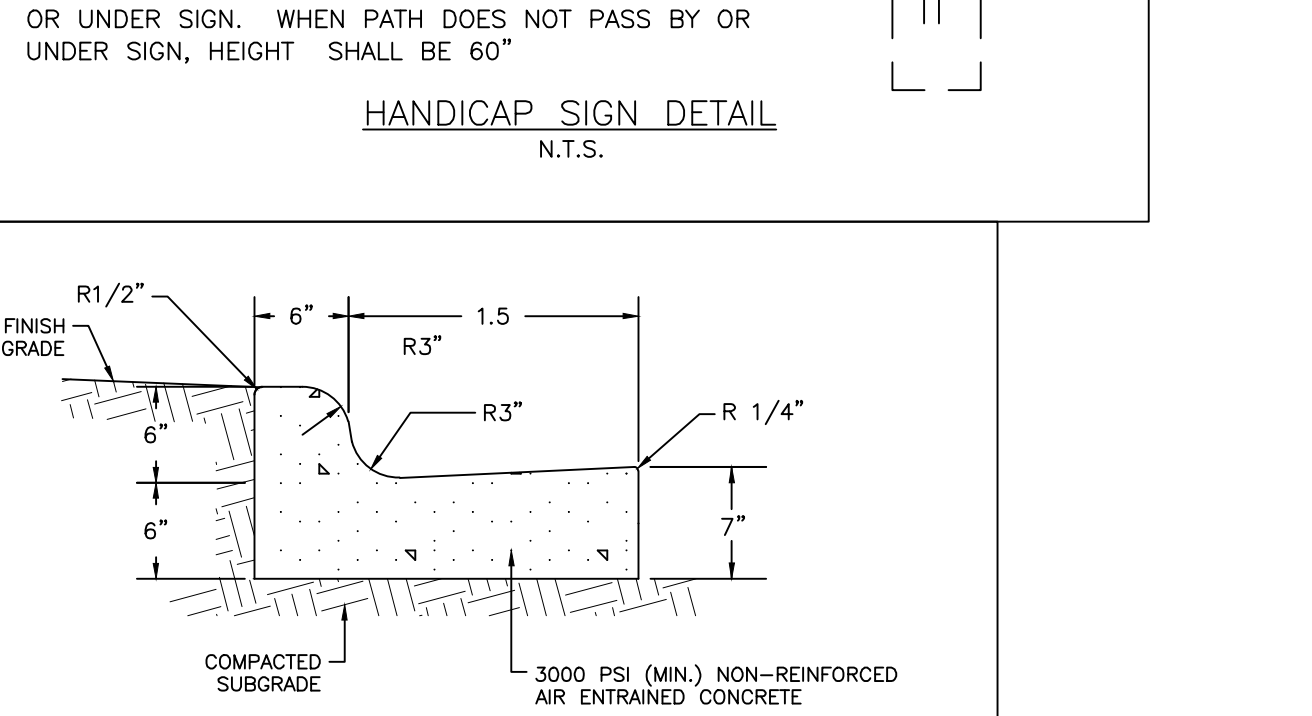
COLORS:

- LEGEND AND BORDER - GREEN
- WHITE SYMBOL ON BLUE BACKGROUND
- BACKGROUND - WHITE

SIGNS APPROVED FOR USE UNDER NC GENERAL STATUTE 20-37.6.

SIGNAGE SHALL COMPLY WITH 2012 NCSBC SECTION 1110.1.

***HEIGHT TO BOTTOM OF LOWEST SIGN SHALL BE 84" WHEN PEDESTRIAN PATH FROM CAR TO WALK PASSES BY OR UNDER SIGN. WHEN PATH DOES NOT PASS BY OR UNDER SIGN, HEIGHT SHALL BE 60"**



NOTES: CONCRETE FOR CURB AND GUTTER SHALL CONTAIN NOT MORE THAN 6.6 GALLONS OF WATER PER BAG NOT LESS 1.5 B.B.L.S PER CUBIC YARD. FORM MUST BE ACCEPTABLE TO ENGINEER. THIS WILL BE USED ON SITE ONLY.

24" CONCRETE CURB & GUTTER
(TYPICAL ON SITE)
NTS

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TIER II SITE PLANS FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
8905 RAY ROAD
RALEIGH, NORTH CAROLINA

Drawn By: **WRR**
Checked By: **BDM**

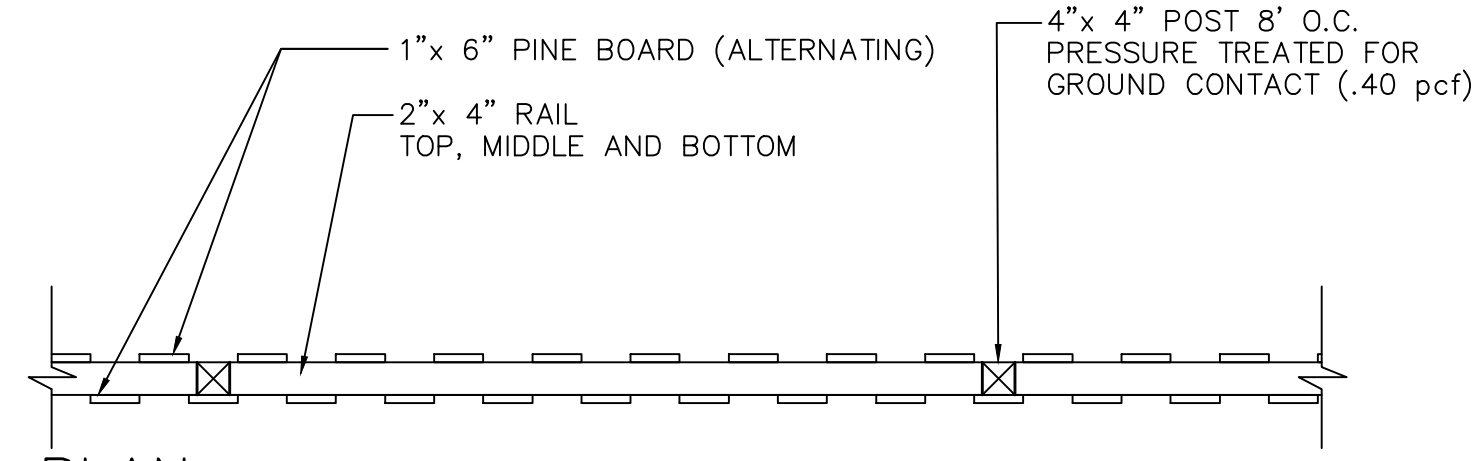
DATE:
23 OCT 2023

ADMINISTRATIVE
SITE REVIEW

SITE
DETAILS

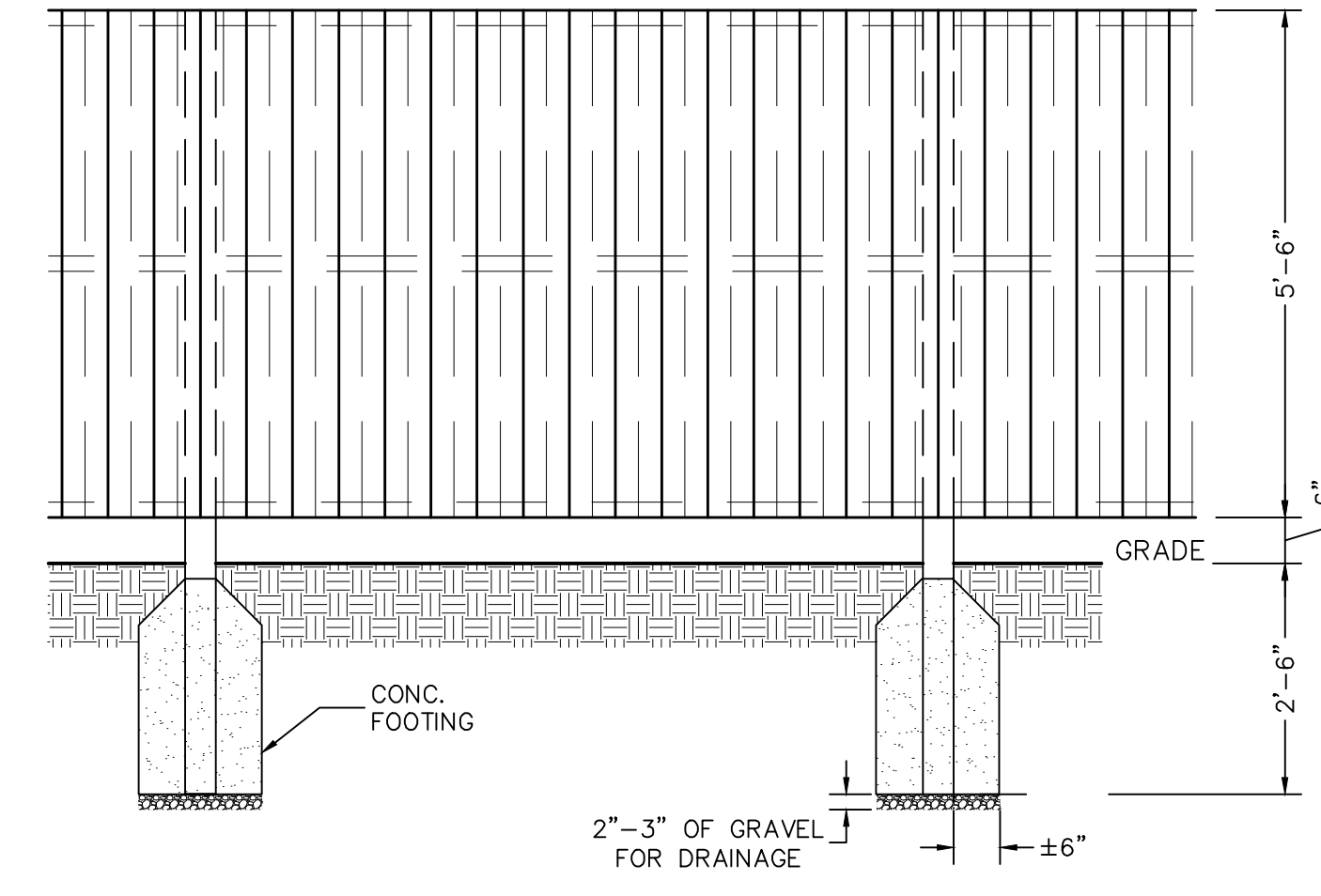
Job Code: **KFCBRR**

Dwg No.
P.A. 8.0



PLAN

Not To Scale



ELEVATION

6' SHADOW-BOX FENCE DETAIL

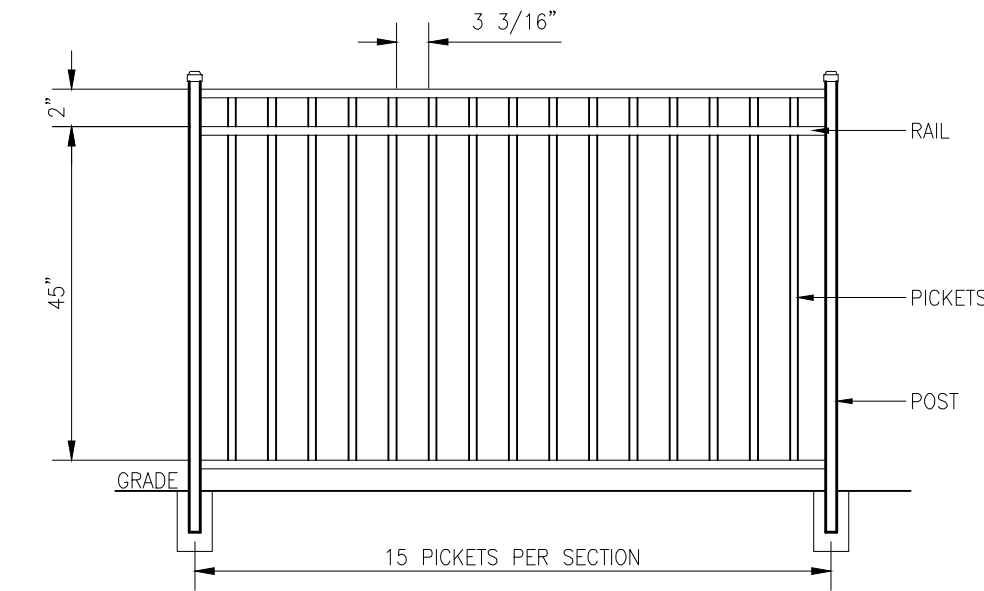
Not To Scale

ULTRA
ALUMINUM MFG., INC.

ULTRA ALUMINUM MFG., INC.
10505 BLDG # C PLAZA DRIVE
WHITMORE LAKE, MI 48189
1-800-666-4420
FAX:(410)676-7098
www.ultrafence.com

- SELECT DESIRED POST
- 2" x 2" x .080 WALL
 - 2" x 2" x .080 WALL
 - 2" x 2" x .125 WALL
 - 2 1/2" x 2 1/2" x .100 WALL

- SELECT DESIRED PICKET SPACING
- 3 3/16" OR 1 5/8"
 - 2" x 2" x .080 WALL



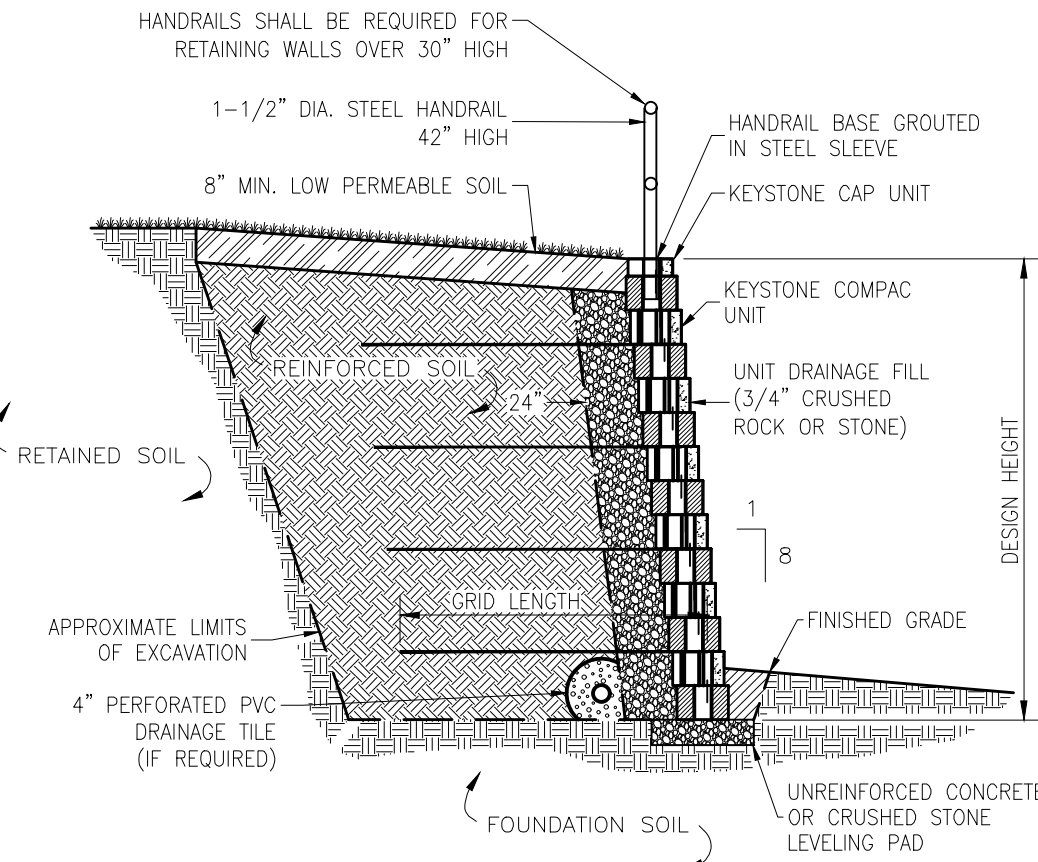
SPECIFICATIONS:

HORIZONTAL RAILS - 1 1/8" x 1"
SIDE WALLS - .082"
TOP WALLS - .082"
PICKETS - 5/8" x 5/8" x .050 WALL

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.
3. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT www.PROJECTmarketstate.com REFERENCE 492-001

UAB 200 ORNAMENTAL FENCE - 4' ONLY
ALUMINUM



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. IT IS RECOMMENDED THAT A QUALIFIED HYDROLOGICAL ENGINEER EVALUATE WAVE, ICE ACTION, FREEZE/THAW, AND SCOURING EFFECTS FOR SPECIFIC SITE DESIGN NEEDS. IN ADDITION, CRITICAL APPLICATIONS MAY REQUIRE EROSION RESISTANT FOOTING DESIGN AND/OR RIP RAP PROTECTION.
 4. COLOR OF WALL MATERIAL TO MATCH EXTERIOR COLOR OF BUILDING.

TYPICAL REINFORCED WALL SECTION
COMPACT UNIT - 1" SETBACK

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Fax: 919.839.2255
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TIER II SITE PLANS FOR:
**KOREAN FIRST BAPTIST
CHURCH OF RALEIGH**
8905 RAY ROAD
RALEIGH, NORTH CAROLINA

Drawn By: **WRR**
Checked By: **BDM**

DATE:
23 OCT 2023

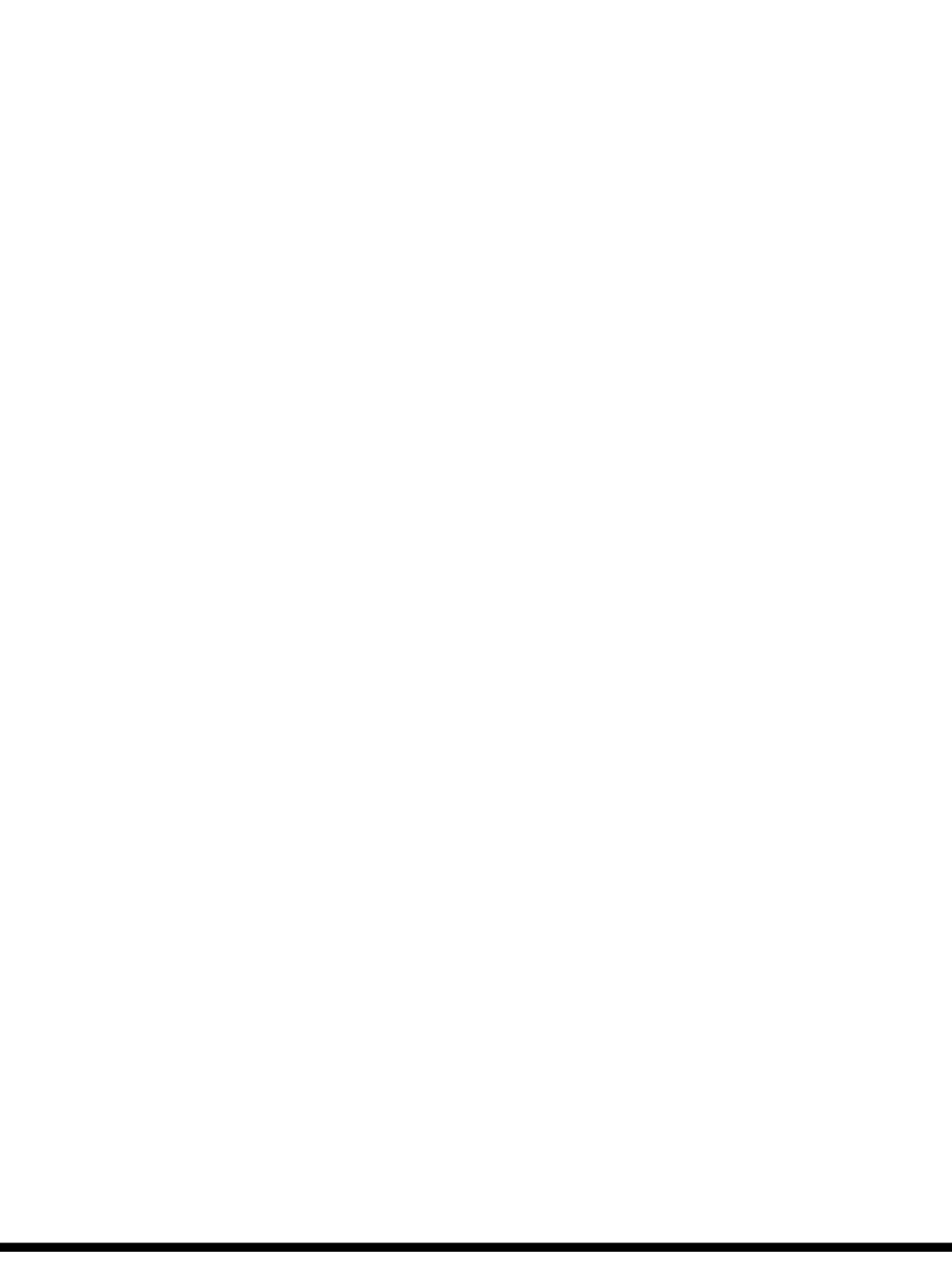
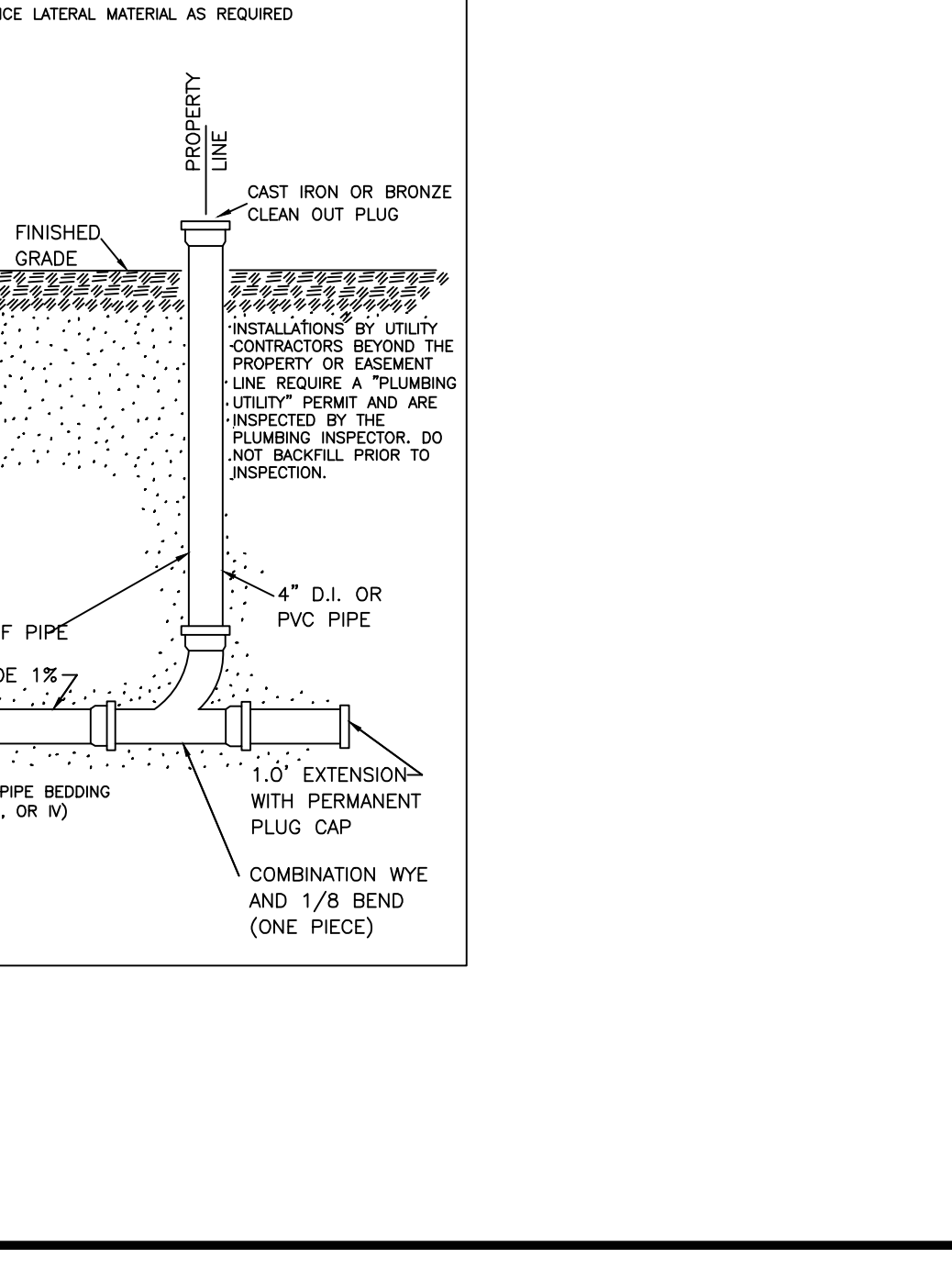
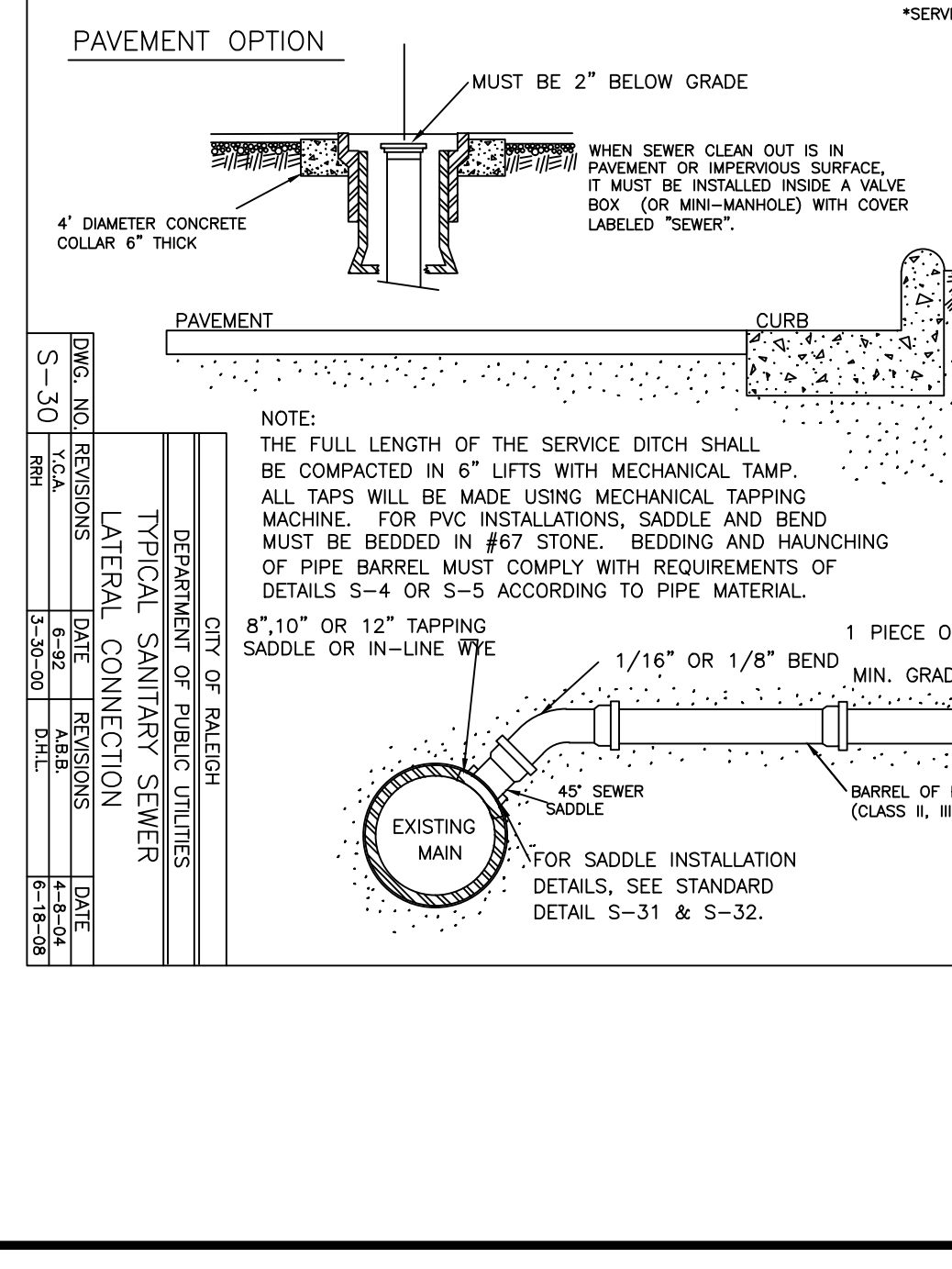
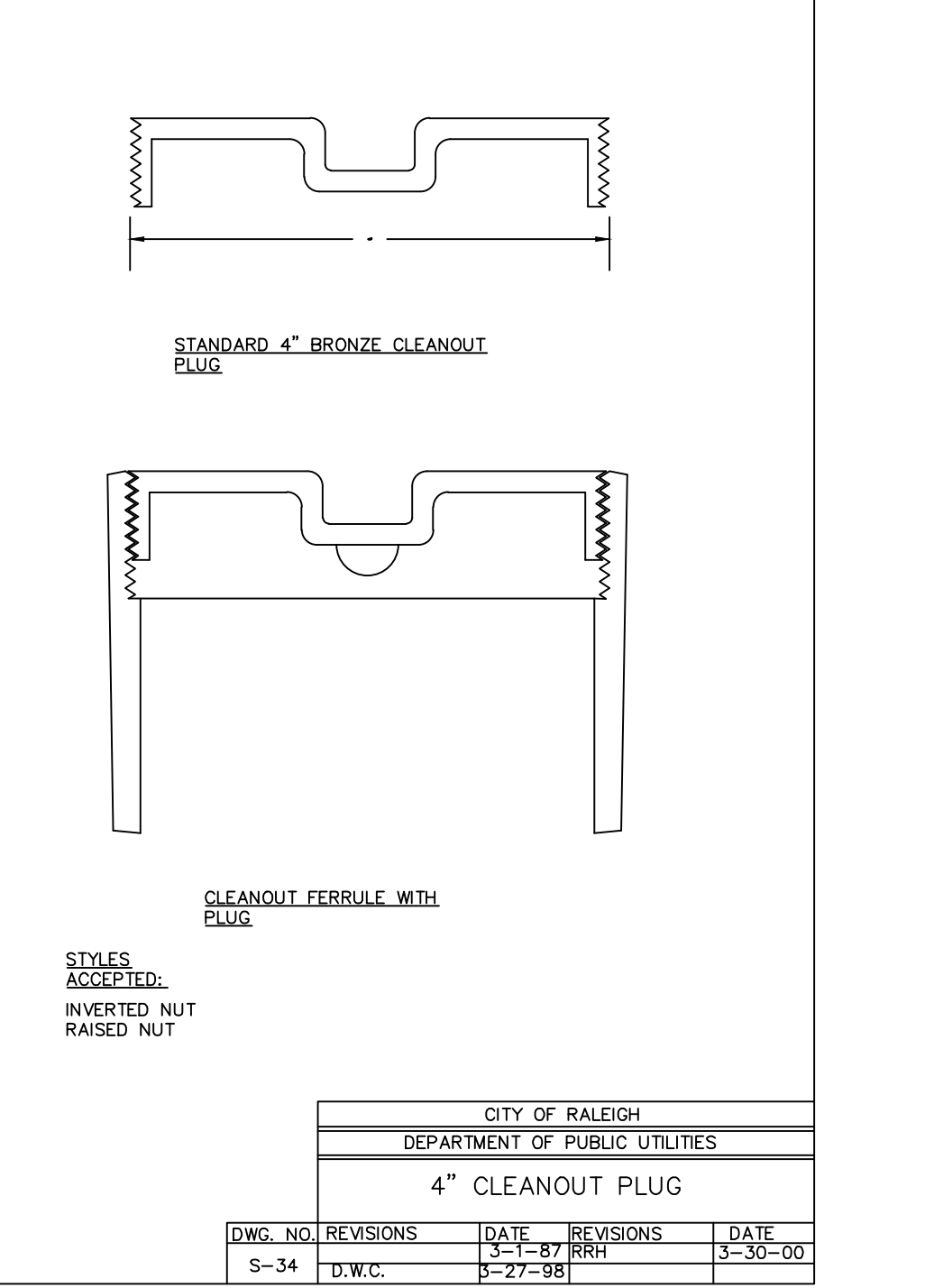
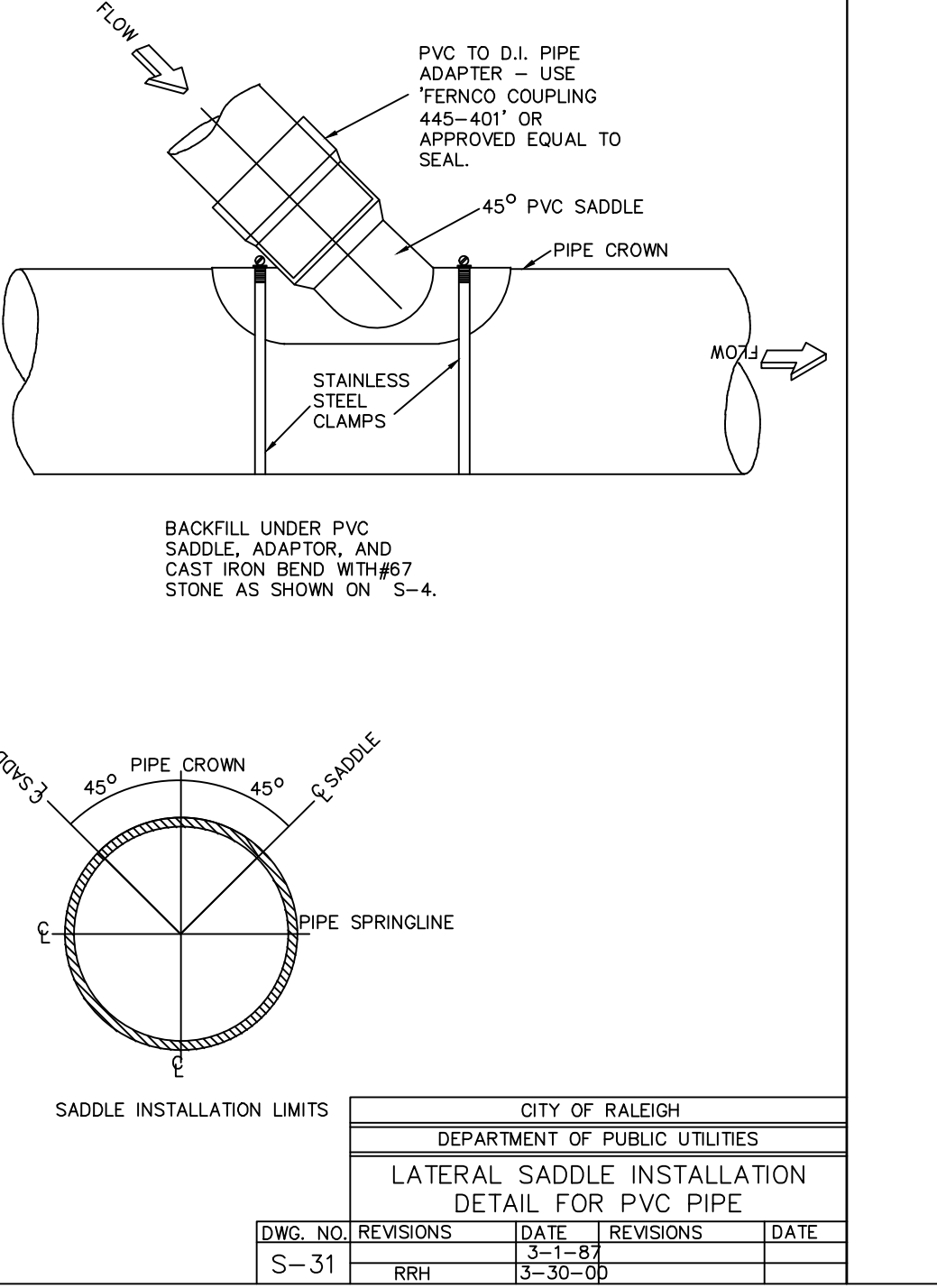
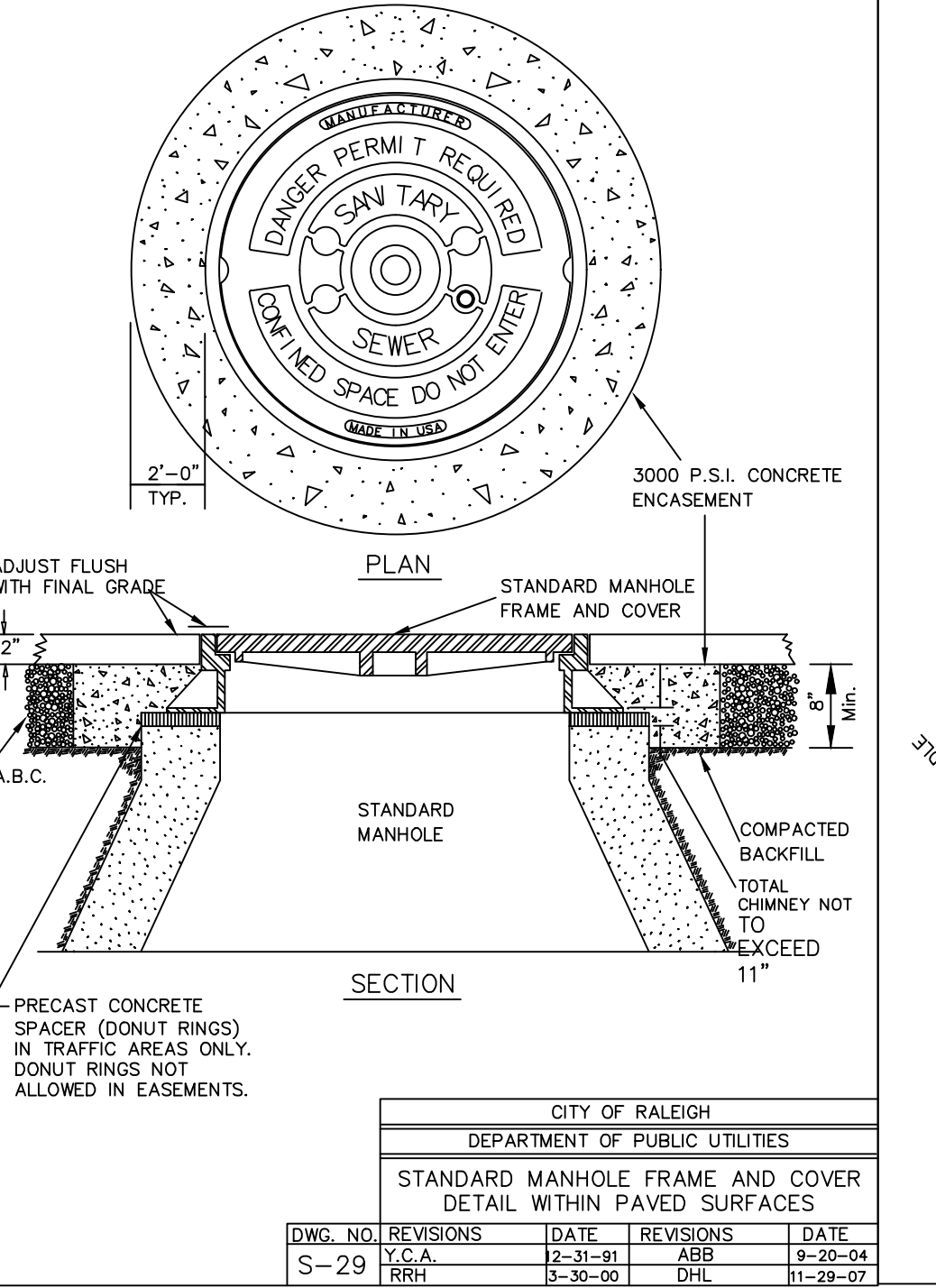
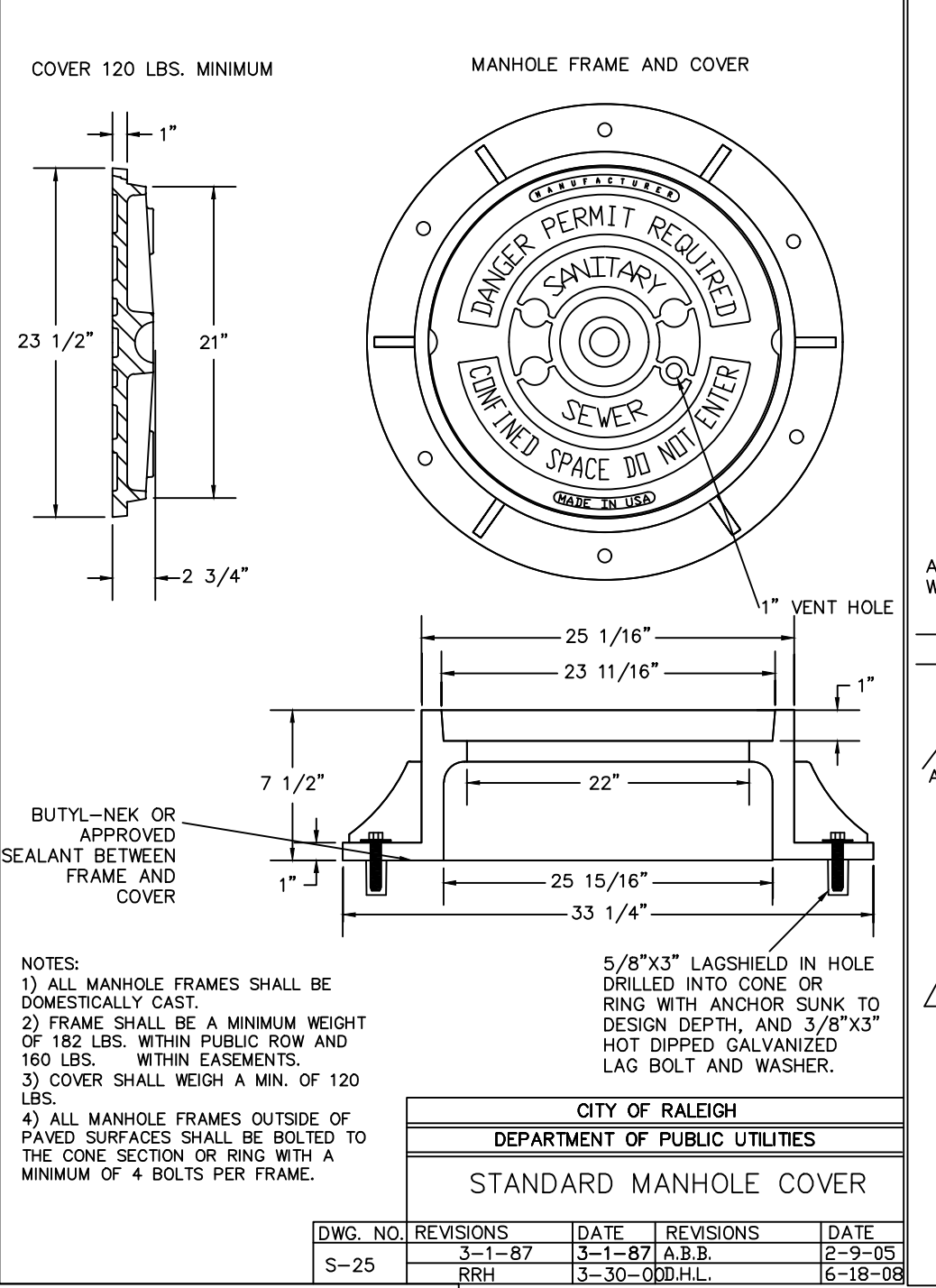
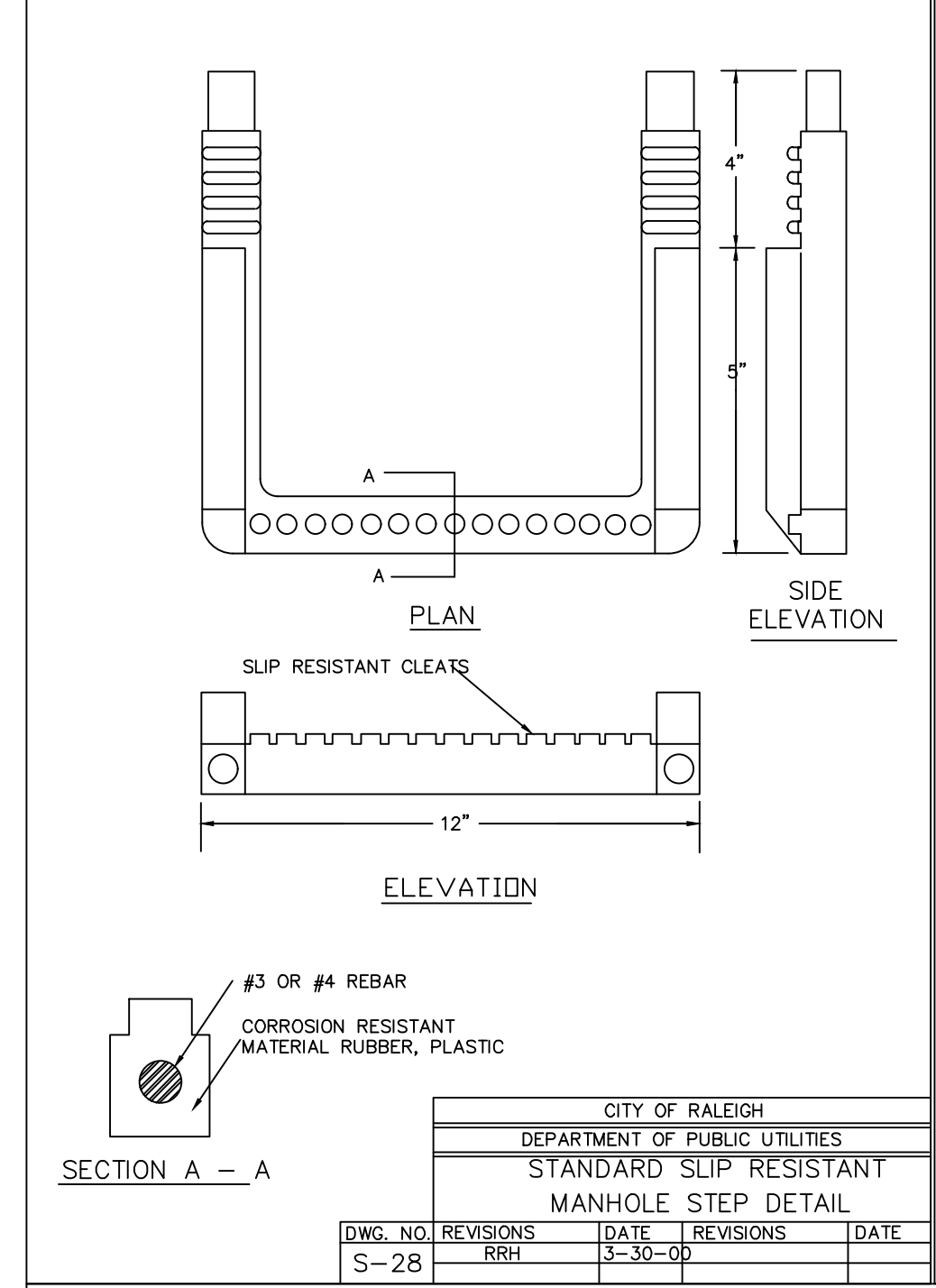
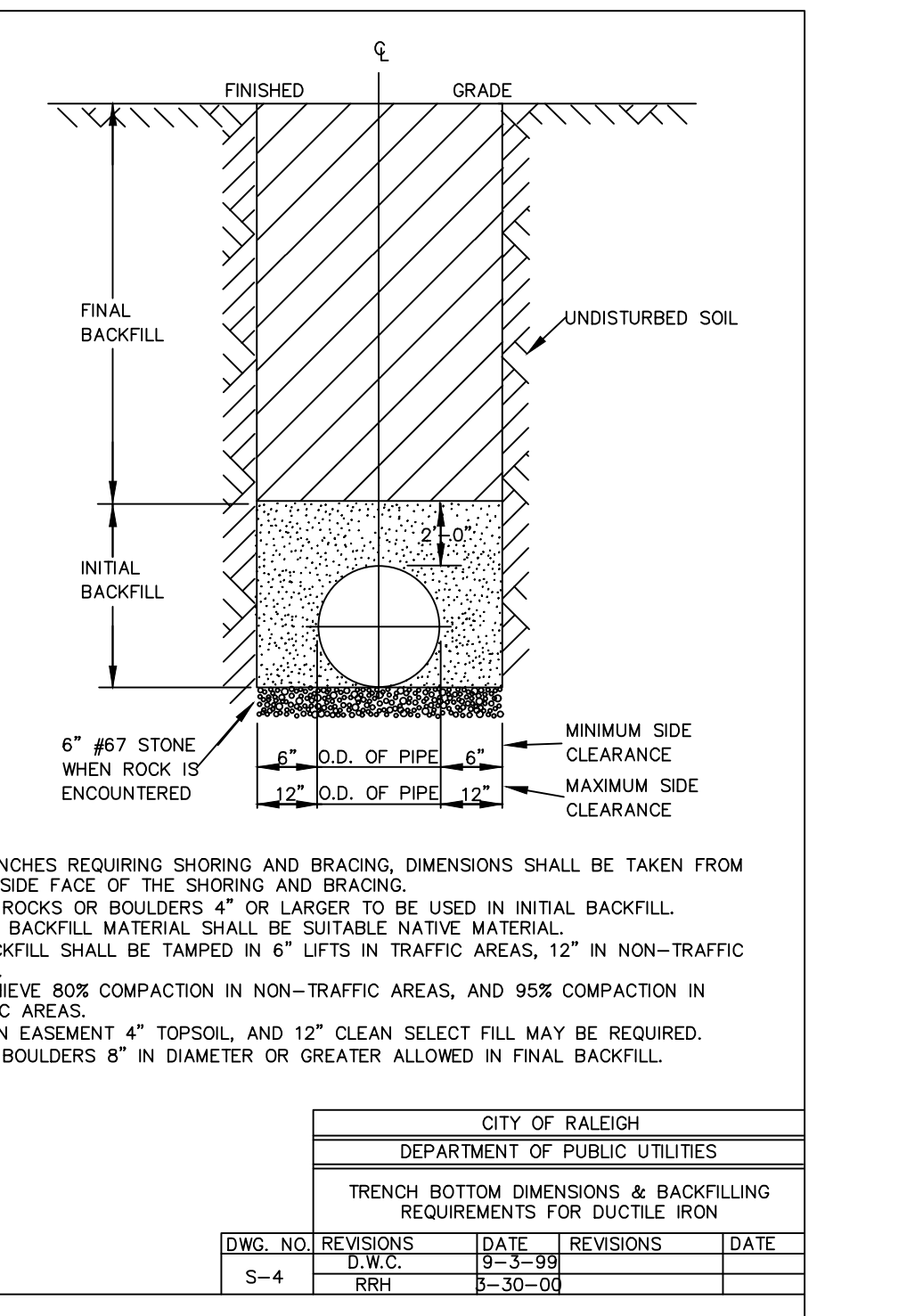
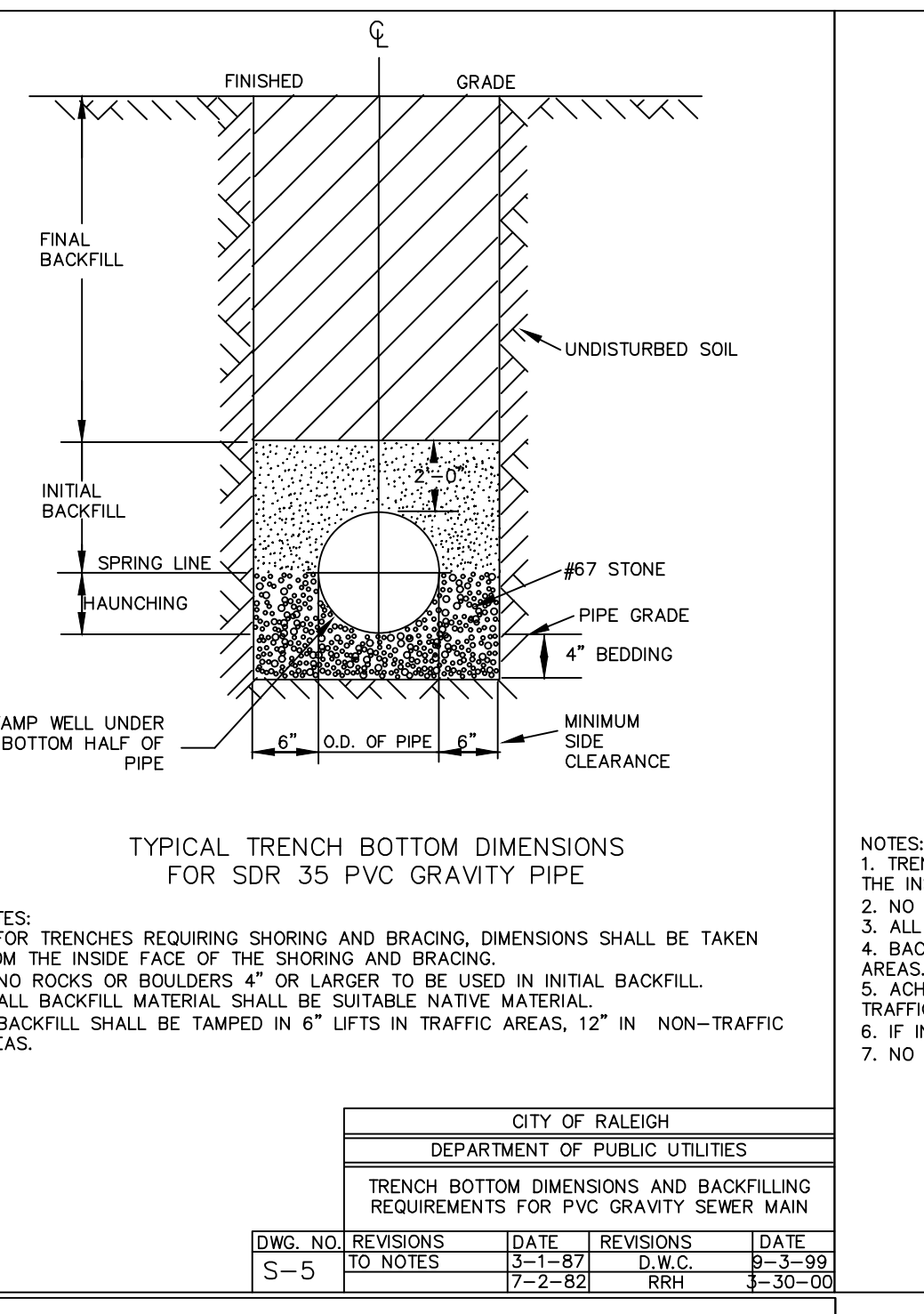
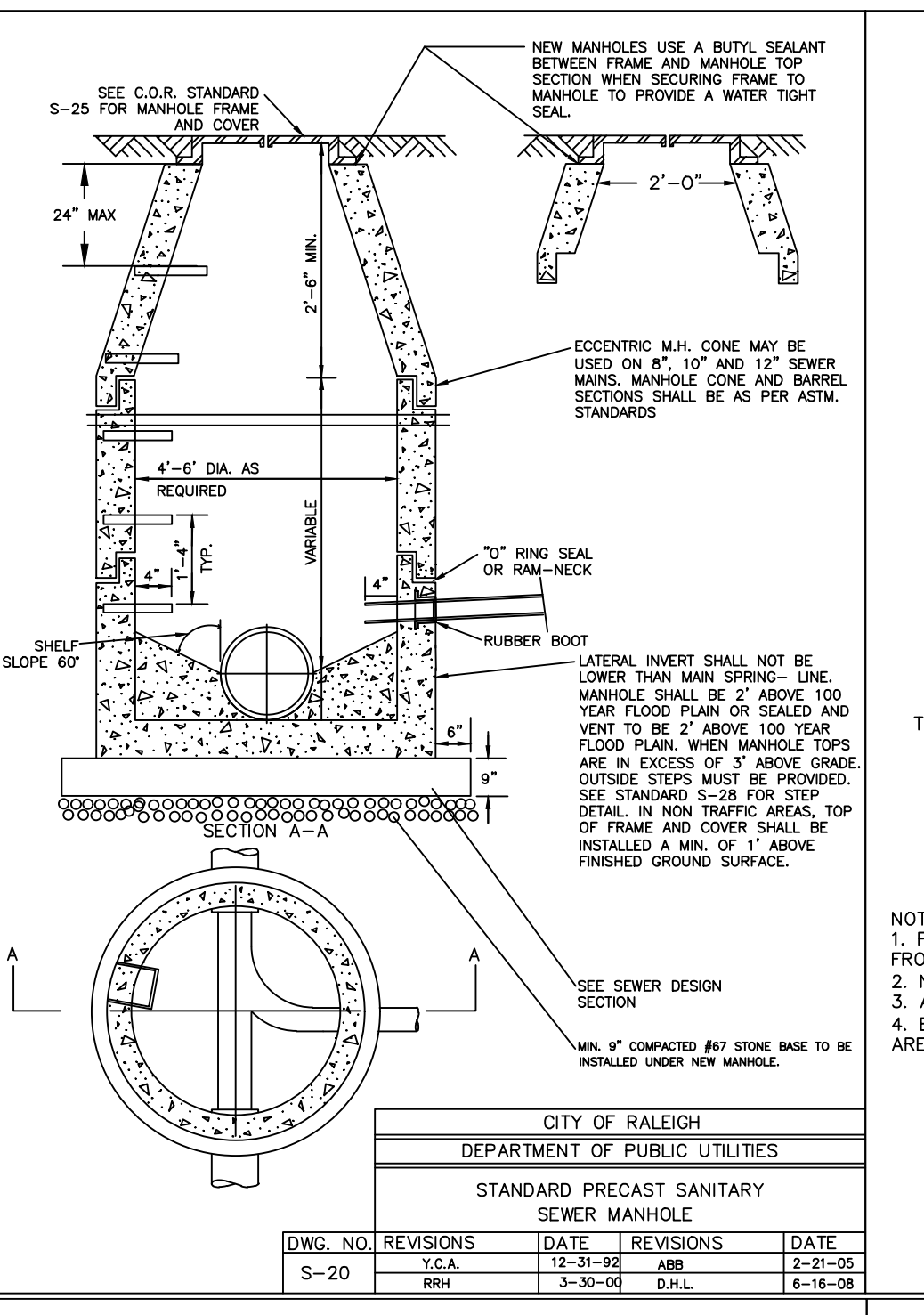
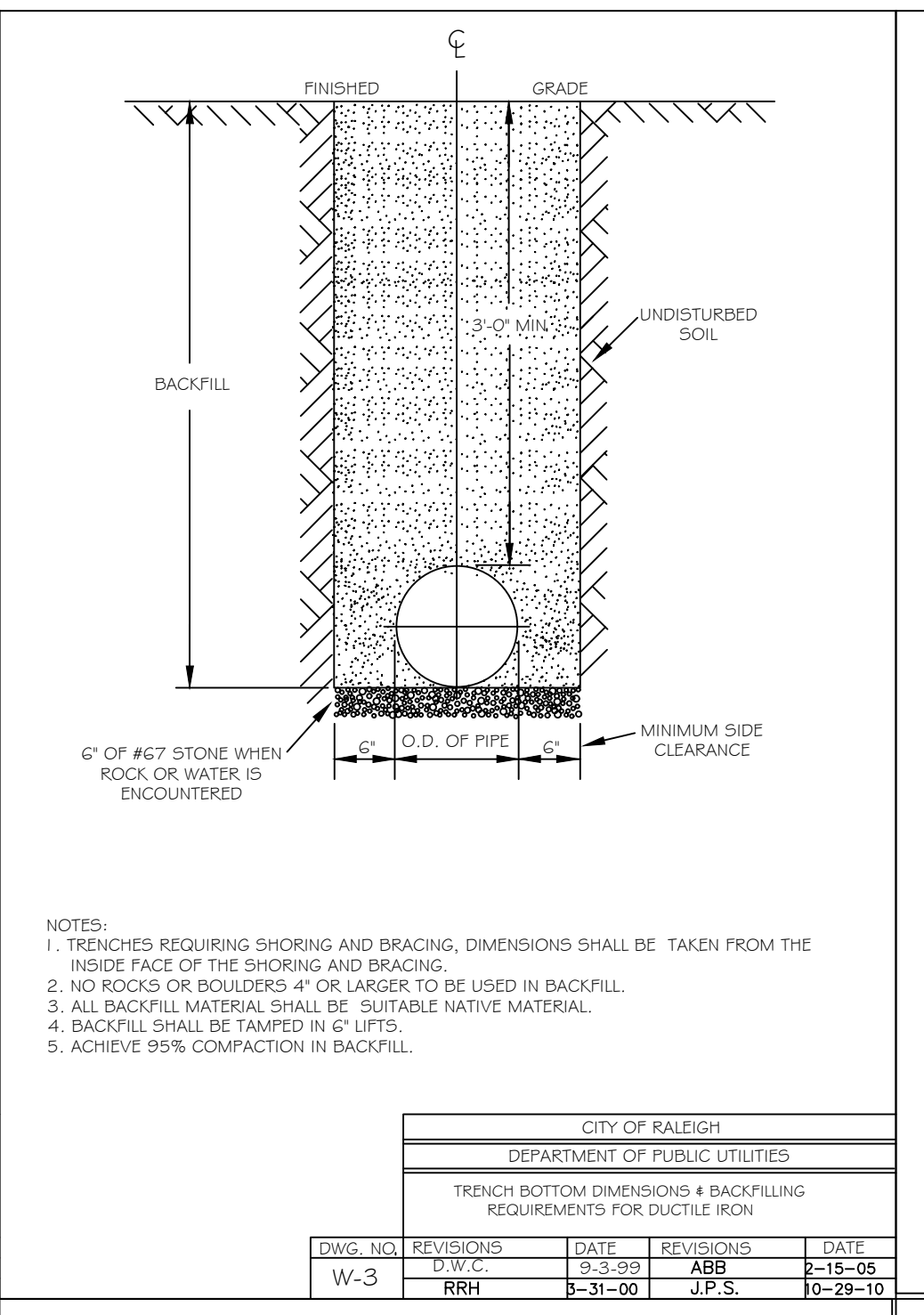
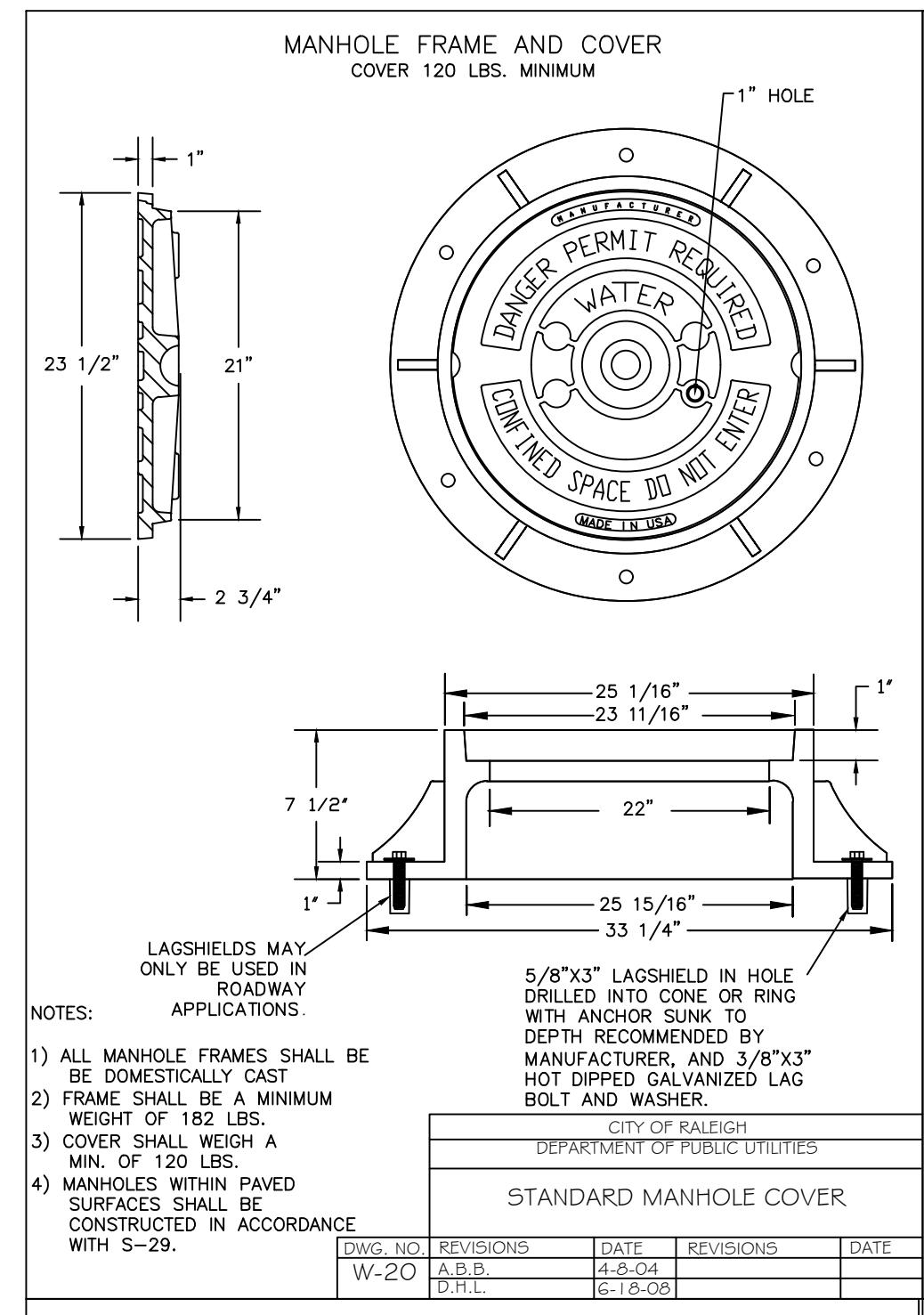
ADMINISTRATIVE
SITE REVIEW

SITE
DETAILS

Job Code: **KFBCRR**

Dwg No.
**P.A.
8.1**

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TIER II SITE PLANS FOR:
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RALEIGH, NORTH CAROLINA

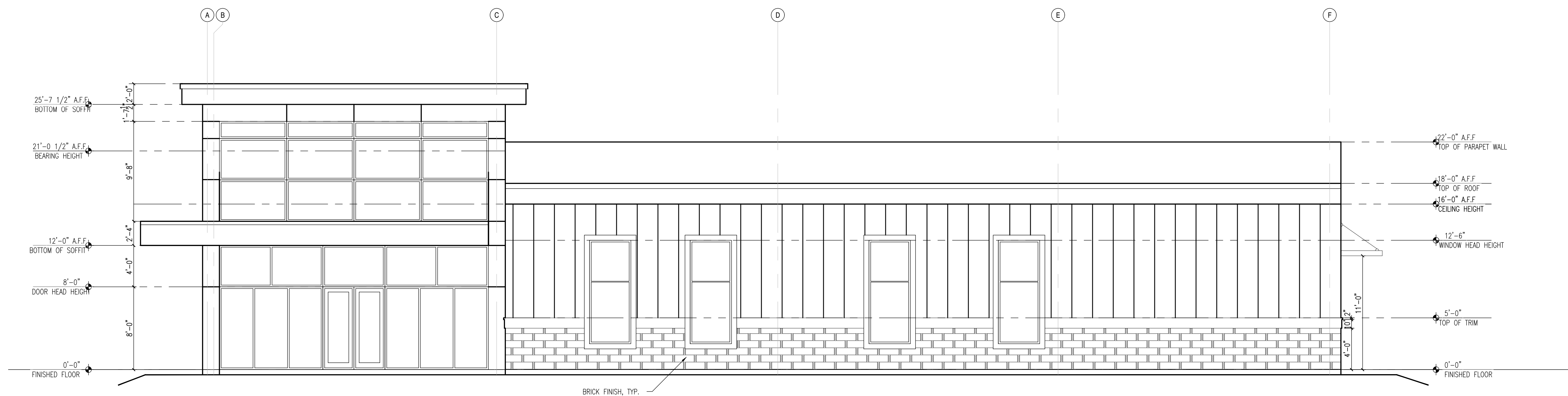
Drawn By **WRR**
Checked By **BDM**

DATE:
23 OCT 2023

ADMINISTRATIVE SITE REVIEW

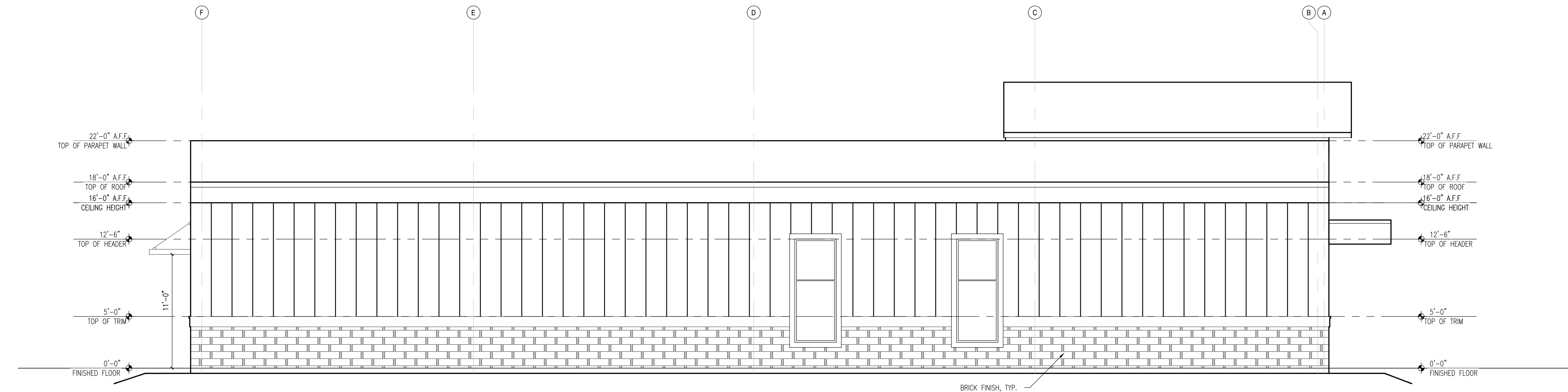
SITE DETAILS

Job Code **KFCBRR**
Dwg No. **P.A. 8.3**



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

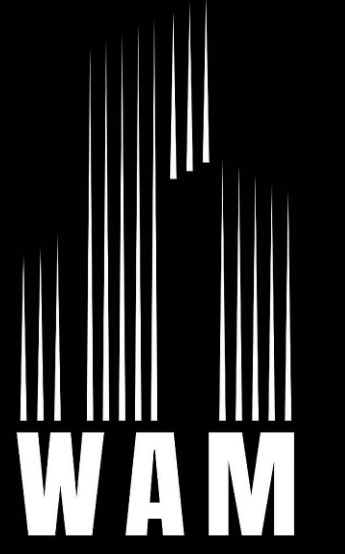


NORTH ELEVATION

SCALE: 3/16" = 1'-0"

PROFESSIONAL SEAL:

NOT VALID WITHOUT RAISED SEAL AND ORIGINAL SIGNATURE
ENGINEER CERTIFIES STRUCTURAL DESIGN ONLY



ARCHITECTURE DESIGN AND CONSULTING LLC
wamarchitecturedesign.com
PHONE: 407-288-7103

PROJECT: FKBC CHURCH

JOB NUMBER: 23-1000

DRAWING BY:

DATE: 08/24/2023

SCALE: AS NOTED

PROJECT NAME:

FKBC Church
8905 Ray Rd #1234, Raleigh
NC 27613

County Comments:

No.	Date	Description

SHEET TITLE:

ELEVATIONS

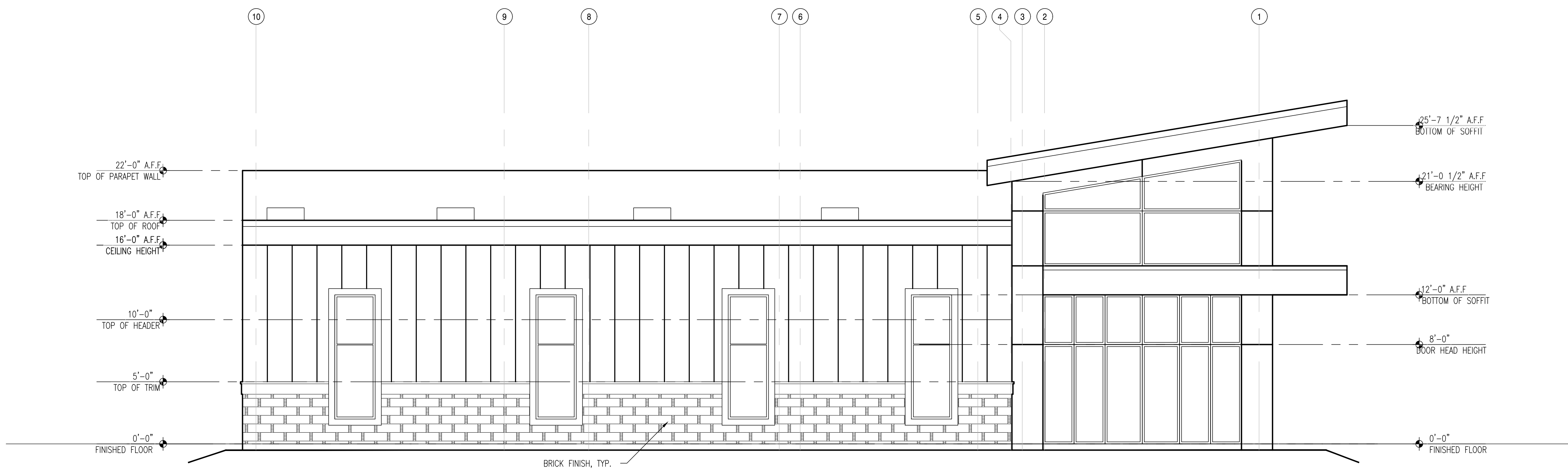
SHEET NUMBER:

A5



EAST ELEVATION

SCALE: 3/16" = 1'-0"

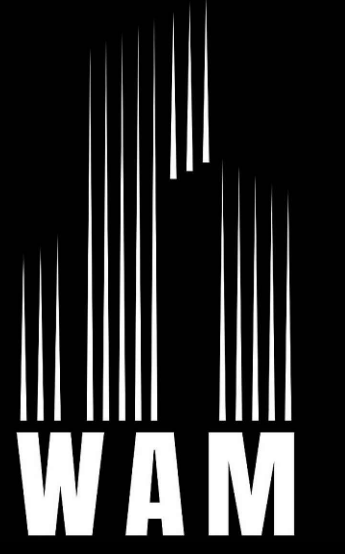


WEST ELEVATION

SCALE: 3/16" = 1'-0"

PROFESSIONAL SEAL:

NOT VALID WITHOUT RAISED SEAL AND ORIGINAL SIGNATURE
ENGINEER CERTIFIES STRUCTURAL DESIGN ONLY



ARCHITECTURE DESIGN AND CONSULTING LLC
wamarchitecturedesign.com
PHONE: 407-288-7103

PROJECT: FKBC CHURCH

JOB NUMBER: 23-1000

DRAWING BY:

DATE: 08/24/2023

SCALE: AS NOTED

PROJECT NAME:

FKBC Church
8905 Ray Rd #1234, Raleigh
NC 27613

County Comments:

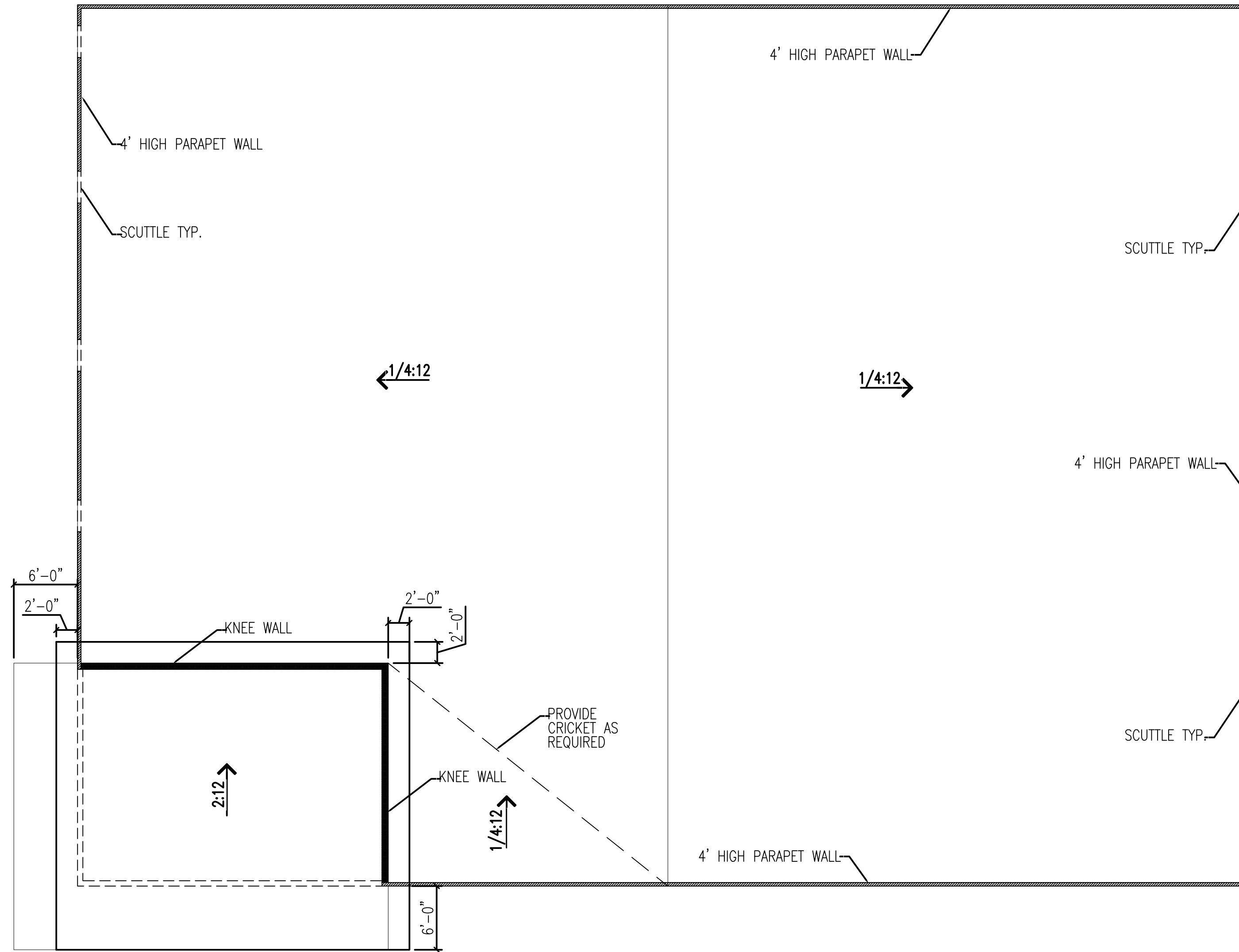
No.	Date	Description

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A6

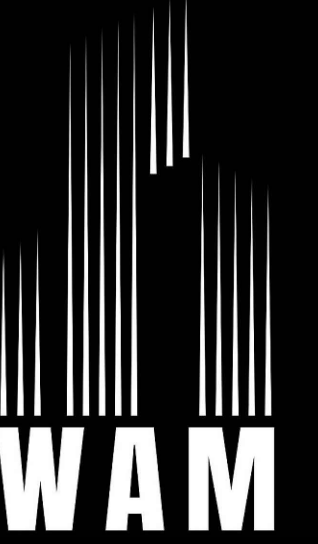


ROOF PLAN

SCALE: 1/8" = 1'-0"

PROFESSIONAL SEAL:

NOT VALID WITHOUT RAISED SEAL AND ORIGINAL SIGNATURE
ENGINEER CERTIFIES STRUCTURAL DESIGN ONLY



ARCHITECTURE DESIGN AND CONSULTING LLC
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PHONE: 407-288-7103

PROJECT: FKBC CHURCH

JOB NUMBER: 23-1000

DRAWING BY:

DATE: 08/24/2023

SCALE: AS NOTED

PROJECT NAME:

FKBC Church
8905 Ray Rd #1234, Raleigh
NC 27613

County Comments:

No.	Date	Description

SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A7