



Administrative Approval Action

Case File / Name: ASR-0071-2023
DSLCL - Korean First Baptist Church of Raleigh

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at 8905 Ray Road, on the west side of Ray Road south of its intersection with Strickland Road.

REQUEST: The project will include a 9,130 sf place of worship with associated parking and infrastructure. Additional parking will be located along the newly constructed driveway connecting Ray Road, on the north side of the property, leading around towards the west side of the proposed building.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 11, 2024 by The Site Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

4. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Urban Forestry

1. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.52 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained prior to building permits.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before



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permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 31, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ *[Signature]* _____ Date: 05/31/2024
Development Services Dir/Designee

Staff Coordinator:

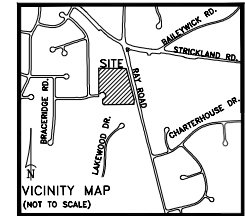
KOREAN FIRST BAPTIST CHURCH

8905 RAY ROAD

Raleigh, North Carolina

ADMINISTRATIVE SITE REVIEW

ASR-0071-2023



Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.B. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.B. to determine the site plan fee. If assistance determining a Site Plan Fee is needed, a Site Plan Fee Verification request can be submitted online via the Permit and Development Portal. There is a fee for this verification service.

Site Plan Type: New Site Plan Over These Site Plan Site Transaction History

Building and Development Type: Church Other Other Other

Check all that apply:

Attached Mixed use Subdivision case # _____

Townhouse Church Scenic/amenity plan case # _____

Apartment County Court Board of Adjustment # _____

New house Frequent Transit Zoning Case # _____

Open lot Development Option Design Alteration # _____

GENERAL INFORMATION

Development Name: Korean First Baptist Church of Raleigh

Inside City limits? Yes No

Property address(es): 8905 Ray Road, Raleigh, NC 27613

Site P.I. No.: 0788-74-5487

Please describe the scope of work, include any additions, expansions, and uses (UDO 6.1.4).
The project will be located on Ray Road in Raleigh, NC. It will consist of 10,000 sq. ft. of new construction. The proposed development will include an address of 1,000 sq. ft. of parking with associated paving and infrastructure.

Current Property Owner(s): Korean First Baptist Church of Raleigh

Company: KOREAN FIRST BAPTIST CHURCH

Address: 8905 Ray Road, Raleigh, NC 27613

Phone #: 919-515-7788

Applicant Name (if different from owner): See "who can apply" in instructions.

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: The S116 Group, PLLC | Address: 1111 Oberlin Rd, Raleigh, NC 27605

Phone #: 919-835-4787 | Email: bdm@thes116group.net

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Richard Kim Youngsoo

Company: First Korean Baptist Church

Address: 8905 Ray Road, Raleigh, NC 27613

Phone #: 919-515-7788 | Email: kim@fkcusa.edu

Applicant Name: Brandon Moore, RLA

Company: The S116 Group, PLLC | Address: 1111 Oberlin Rd, Raleigh, NC 27605

Phone #: 919-835-4787 | Email: bdm@thes116group.net

DEVELOPMENT TYPE - SITE DATA TABLE		BUILDING DATA	
(Applicable to all developments)			
Zoning district(s) (please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): 1,853	Existing gross floor area (not to be demolished): 1,853	
Gross site acreage: 2.59	Existing gross floor area to be demolished: 0	New gross floor area to be demolished: 0	
# of parking spaces proposed: 187 (7 ADA)	Total of gross floor area to remain and new: 43,300	Total of gross floor area to remain and new: 43,300	
Max # parking permitted (7.1.2.C) (No Max.)	Proposed # of columns: 1	Proposed # of columns: 1	
Change District of application: None	Proposed # of stories for each: 1	Proposed # of stories for each: 1	
Existing use (UDO 6.1.4): Place of Worship	Proposed # of basement levels (UDO 13.7.A.8): 0	Proposed # of basement levels (UDO 13.7.A.8): 0	

STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing (sf) 88,546	Proposed total (sf) 117,831
Impervious Area for Compliance (includes RW): Existing (sf) _____	Proposed total (sf) _____

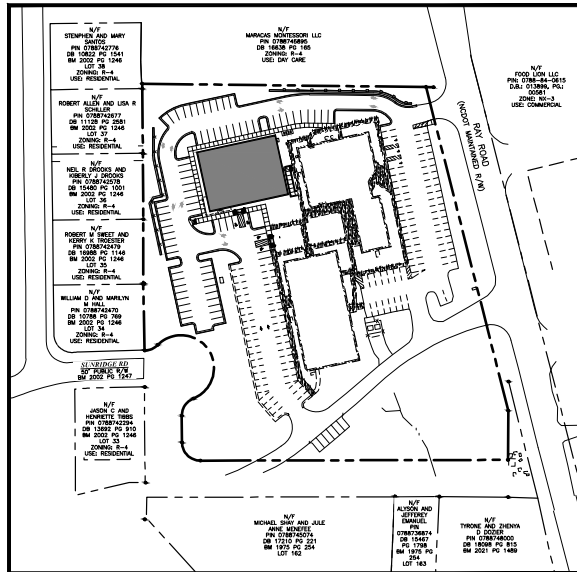
RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: _____	Total # of total bedrooms: _____
# of bedroom units: 1st _____ 2nd _____ 3rd _____	4th or more _____
# of lots: _____	Is your project a college court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	A frequent transit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

APPLICANT SIGNATURE BLOCK

Plaintiff to state law (N.C. Gen. Stat. § 160A-400), applications for development permits may be made by the person or persons named in this application, or by an authorized agent of the person or persons named in this application. The undersigned also certifies that the information and documents made in this application are true and correct to the best of his or her knowledge and belief, and that the undersigned is not a minor or an incompetent person. If the undersigned is a minor or an incompetent person, the undersigned is not a minor or an incompetent person. If the undersigned is a minor or an incompetent person, the undersigned is not a minor or an incompetent person.

The undersigned certifies that the information and documents made in this application are true and correct to the best of his or her knowledge and belief, and that the undersigned is not a minor or an incompetent person. If the undersigned is a minor or an incompetent person, the undersigned is not a minor or an incompetent person.

Signature: _____ Date: 10/23/2023



DRAWINGS INDEX:	
PA 1.0	COVER SHEET
PA 2.0	EXISTING CONDITIONS & DEMOLITION PLAN
PA 3.0	SITE LAYOUT PLAN
PA 4.0	GRADING & DRAINAGE PLAN
PA 4.1	SCM DETAILS
PA 5.0	UTILITY PLAN
PA 6.0	LIGHTING PLAN
PA 7.0	LANDSCAPE PLAN
PA 7.1	TRAIL CONSERVATION AREA PLAN
PA 8.0	DETAILS
PA 8.1	DETAILS
PA 8.2	DETAILS
PA 8.3	DETAILS
A5	BUILDING ELEVATIONS (BY OTHERS)
A6	BUILDING ELEVATIONS (BY OTHERS)
A7	ROOF PLAN (BY OTHERS)

Digitally signed by jeff.caines@ralightnc.gov
DN: cn=jeff.caines@ralightnc.gov
Reason: I am approving this document
Date: 2024.08.03
13:12:03-04'00

SITE DATA SUMMARY

PROPERTY OWNER:	KOREAN FIRST BAPTIST CHURCH OF RALEIGH
PIN:	0788-74-5487
PROPERTY ADDRESS:	8905 RAY ROAD
JURISDICTION:	CITY OF RALEIGH
DISTRICT ZONING:	R-4
EXISTING ZONING OVERLAY:	N/A
RIVER BASIN:	NEUSE
DISTRICT ACREAGE:	4.93 AC.
EXISTING USE:	PLACE OF WORSHIP
EXISTING BUILDINGS:	5 (2 BRICK & FRAME, 3 TRAILERS)
EX. BLDG #1 (1 STORY):	11,250 SF.
EX. BLDG #2 (2 STORY):	25,100 SF.
EX. BLDG #3 (TRAILER-TO BE REMOVED):	836 SF.
EX. BLDG #4 (TRAILER-TO BE REMOVED):	828 SF.
PROPOSED BUILDING:	9,130 SF.
EXISTING PARKING:	137 SPACES (7 ADA)
EX. PARKING REMOVED:	32 SPACES
NEW PARKING PROVIDED:	187 SPACES (7 ADA)
TOTAL PROPOSED PARKING:	21,769 SF. (10% OF SITE)
TREE CONSERVATION AREA REQUIRED:	22,665 SF. (10.4% OF SITE)
TREE CONSERVATION AREA PROVIDED:	22,665 SF. (10.4% OF SITE)
IMPERVIOUS SURFACE CALCULATIONS:	
TOTAL EXISTING IMPERVIOUS AREA:	88,546 SF. / 2.03 AC.
EX. IMPERVIOUS TO BE REMOVED:	13,546 SF. / 0.31 AC.
NEW IMPERVIOUS AREA PROPOSED:	42,931 SF. / 0.98 AC.
TOTAL PROPOSED IMPERVIOUS AREA:	117,831 SF. / 2.70 AC.
IMPERVIOUS NET INCREASE:	+29,185 SF. / 0.67 AC.
LIMITS OF DISTURBANCE:	69,210 SF. / 1.59 AC.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHY INFORMATION IS TAKEN FROM A SURVEY BY META GEOMATICS DATED 12 JUNE 2023. ALL OTHER SITE DATA IS TAKEN FROM WAKE COUNTY'S GIS DATA.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

FLOODPLAIN NOTE:

1. THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).

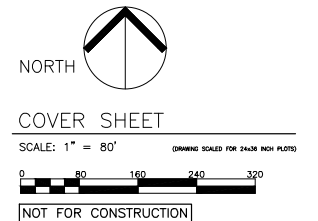
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FEPA FIRM PANEL No.: OCTOBER 19, 2018
EFFECTIVE DATE: N/A
FEPA STREAM NAME: Shoals_Zone_XD2K Annual_Storm_100yr
FEPA FLOOD ZONE: _____

FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720074800K DATED OCTOBER 19, 2018.

OWNER:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
ATTN: RICHARD KIM YOUNGSOO
8905 RAY ROAD
RALEIGH, NC 27613-1234
PHONE: 919-515-7788
EMAIL: kim@fkcusa.edu

ARCHITECT:
S&S 2D DESIGN
ATTN: SAM LEE, P.E.
305 ADDISON FOND DR
HOLLY SPRINGS, NC 27540
PHONE: 919-835-4787
EMAIL: smh_eng@sgdesign.com

CONTACT:
THE SITE GROUP, PLLC
ATTN: BRANDON MOORE P.E.
1111 OBERLIN ROAD
RALEIGH, NC 27605
PHONE: (919) 744-3449
FAX: (919) 839-2205
EMAIL: bdm@thes116group.net



THE SITE GROUP, PLLC
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
1111 OBERLIN ROAD
RALEIGH, NC 27605
PHONE: (919) 835-4787
FAX: (919) 839-2205
E-MAIL: SRN@thes116group.net

TIER II SITE PLANS (ASR-0071-2023) FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
8905 RAY ROAD
RALEIGH, NORTH CAROLINA

Drawn By: WRR
Checked By: BDM

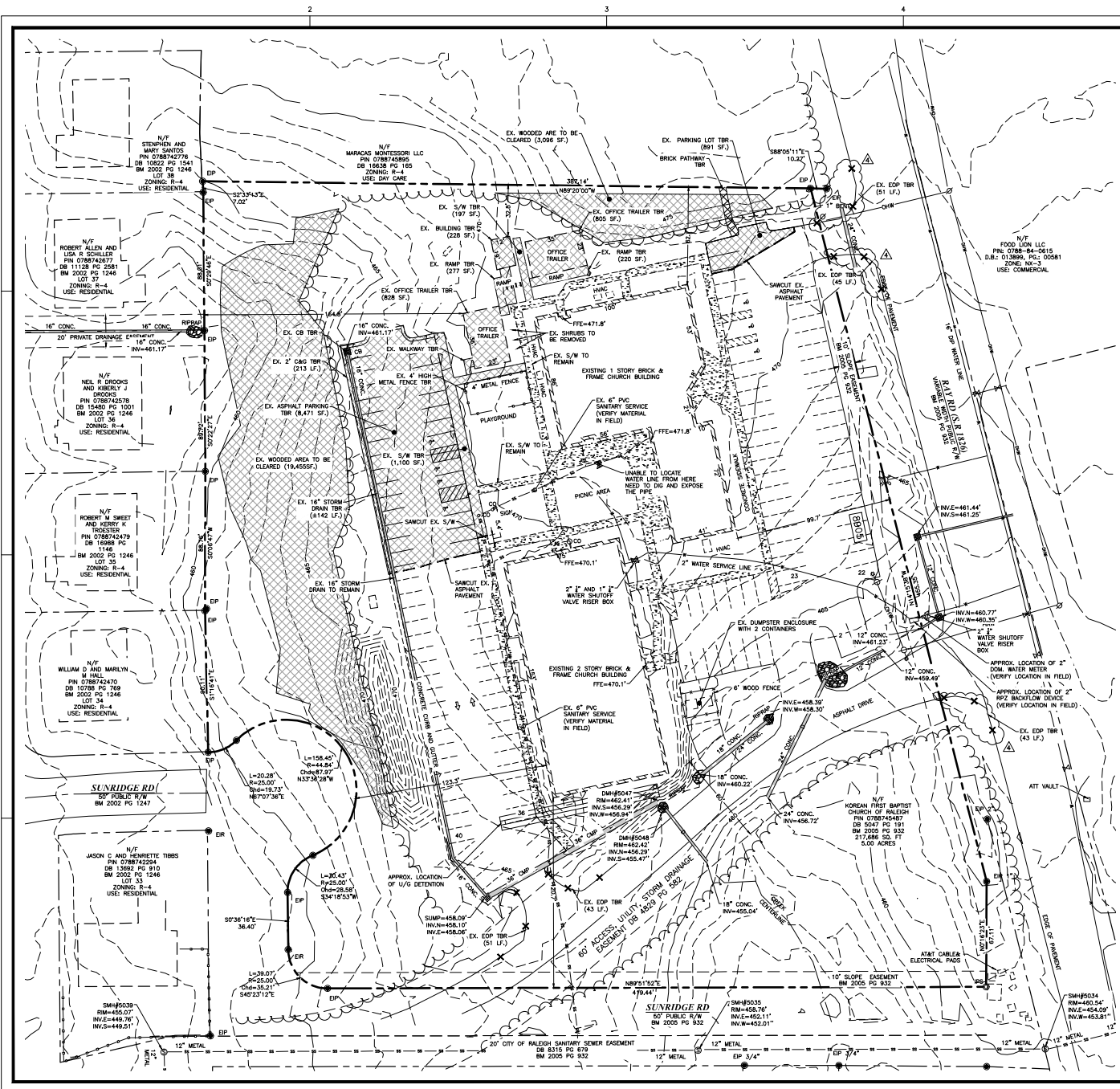
DATE:
23 OCT 2023
REVISED:
11 JAN 2024
06 JAN 2024
07 MAR 2024
11 APR 2024

ADMINISTRATIVE SITE REVIEW

COVER SHEET

Job Code: KFCBR

Dwg No.: P.A.
1.0



- ### GENERAL NOTES
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
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 3. BOUNDARY AND TOPOGRAPHY INFORMATION IS TAKEN FROM A SURVEY BY META GEOMATICS DATED 12 JUNE 2023. ALL OTHER SITE DATA IS TAKEN FROM WAKE COUNTY'S GIS DATA.
 4. ALL CONSTRUCTION SHALL CONFORM TO A.D.A STANDARDS.

FLOODPLAIN NOTE:

1. THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FLOOD CONDITIONS FLOODPLAIN).

FEMA REFERENCE DATA: 3720074800K
 FEMA FIRM PANEL NO.: OCTOBER 18, 2018
 EFFECTIVE DATE:
 FEMA STREAM NAME: N/A
 FEMA FLOOD ZONE: Single Zone V0006 (single channel Road)

FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720074800K DATED OCTOBER 18, 2018.

HATCH LEGEND	
	AREA TO BE DEMOLISHED
	EX. CONCRETE AREA

LINE LEGEND	
	PROJECT PROPERTY LINE
	ADJACENT PROPERTY/ROW
	EX. EASEMENT LINE
	EX. TOPO MAJOR
	EX. TOPO MINOR
	EX. TREE LINE
	EX. STORM DRAIN
	EX. OVERHEAD POWER
	EX. SANITARY SEWER LINE

SYMBOL LEGEND	
	EX. LIGHT POLE
	EX. STORM INLET
	EX. VALVE
	EX. UTILITY POLE
	EX. STORM MANHOLE
	EX. SEWER MANHOLE

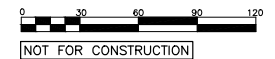


NORTH

EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1" = 30'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

THE SITE GROUP
 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC
 1111 Obelisk Road
 Suite 100
 Raleigh, NC 27605
 Phone: 919.450.4727
 Fax: 919.450.4727
 E-Mail: SING@thesitegroup.net

TIER II SITE PLANS (ASR-0071-2023) FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8005 RAY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: JHU
 Checked By: BDM

DATE:
 23 OCT 2023
 REVISED:
 11 JAN 2024
 06 JAN 2024
 07 MAR 2024
 11 APR 2024

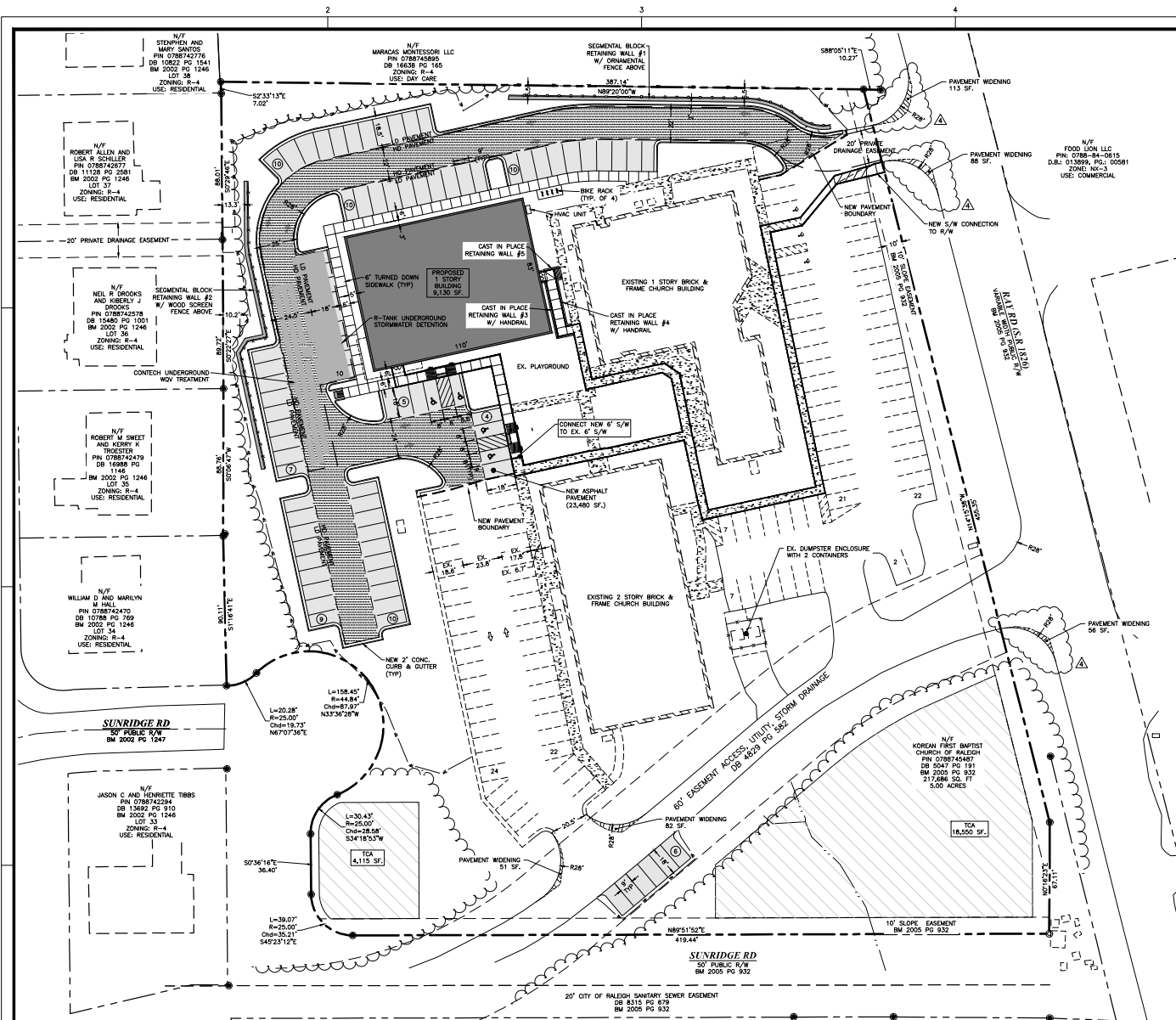
ADMINISTRATIVE SITE REVIEW

EXISTING CONDITIONS & DEMOLITION PLAN

Job Code: KFBCCR

Dwg No.: P.A. 2.0

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SITE DATA SUMMARY

PROPERTY OWNER:	KOREAN 1ST BAPTIST CHURCH OF RALEIGH
FIN:	0788-74-5487
PROPERTY ADDRESS:	8905 RAY ROAD
JURISDICTION:	CITY OF RALEIGH
EXISTING ZONING:	R-4
EXISTING ZONING OVERLAY:	N/A
RIVER BASIN:	NEUSE
EXISTING ACREAGE:	4.83 AC.
EXISTING USE:	PLACE OF WORSHIP
EXISTING BUILDINGS:	5 (2 BRICK & FRAME, 3 TRAILERS)
EX. BLDG #1 (1 STORY):	1,230 SF.
EX. BLDG #2 (2 STORY):	23,100 SF.
EX. BLDG #3 (TRAILER-TO BE REMOVED):	834 SF.
EX. BLDG #4 (TRAILER-TO BE REMOVED):	825 SF.
PROPOSED BUILDING:	9,130 SF.
EXISTING PARKING:	137 SPACES (7 ADA)
EX. PARKING REMOVED:	32 SPACES
NEW PARKING PROVIDED:	82 SPACES
TOTAL PROPOSED PARKING:	187 SPACES (7 ADA)
TREE CONSERVATION AREA REQUIRED:	21,769 SF. (10% OF SITE)
TREE CONSERVATION AREA PROVIDED:	22,665 SF. (10.4% OF SITE)
IMPERVIOUS SURFACE CALCULATIONS:	
TOTAL EXISTING IMPERVIOUS AREA:	88,546 SF. / 2.03 AC.
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TOTAL PROPOSED IMPERVIOUS AREA:	117,931 SF. / 2.70 AC.
IMPERVIOUS NET INCREASE:	+29,185 SF. / 0.67 AC.
LIMITS OF DISTURBANCE:	68,344 SF. / 1.57 AC.

- ### GENERAL NOTES
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SYMBOL LEGEND		LINE LEGEND	
	EX. LIGHT POLE		PROJECT PROPERTY LINE
	EX. STORM INLET		ADJACENT PROPERTY/ROW
	EX. VALVE		EX. EASEMENT LINE
	EX. UTILITY POLE		NEW WOOD SCREEN FENCE
	EX. STORM MANHOLE		NEW ORNAMENTAL FENCE
	EX. SEWER MANHOLE		NEW TREE LINE
			ADA ROUTE TO R/W
			PRIVATE DRAINAGE EASEMENT
HATCH LEGEND			
	SECONDARY TREE CONSERVATION AREA		
	PROPOSED BUILDING		
	PROPOSED PARKING IMPROVEMENTS		
	PROPOSED PAVEMENT WIDENING		

FLOODPLAIN NOTE:

- THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).

FEMA REFERENCE MAP: 37202Z4800K
 FEMA FIRM PANEL No.: OCTOBER 19, 2018
 ESTIMATE DATE: N/A
 FEMA STREAM NAME: N/A
 FEMA FLOOD ZONE: S006-Zone X(O-ZR-Grass-shrub flood)

FOR SITES WITHOUT FLOODPLAIN, THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 37202Z4800K DATED OCTOBER 19, 2018.

NORTH

SITE LAYOUT PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 HIGH PLOTS)

0 30 60 90 120

NOT FOR CONSTRUCTION

THE SITE GROUP
 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS

TIER II SITE PLANS (ASR-0071-2023) FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 RALEIGH, NORTH CAROLINA

Drawn By: WRR
 Checked By: BDM

DATE: 23 OCT 2023
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 11 APR 2024

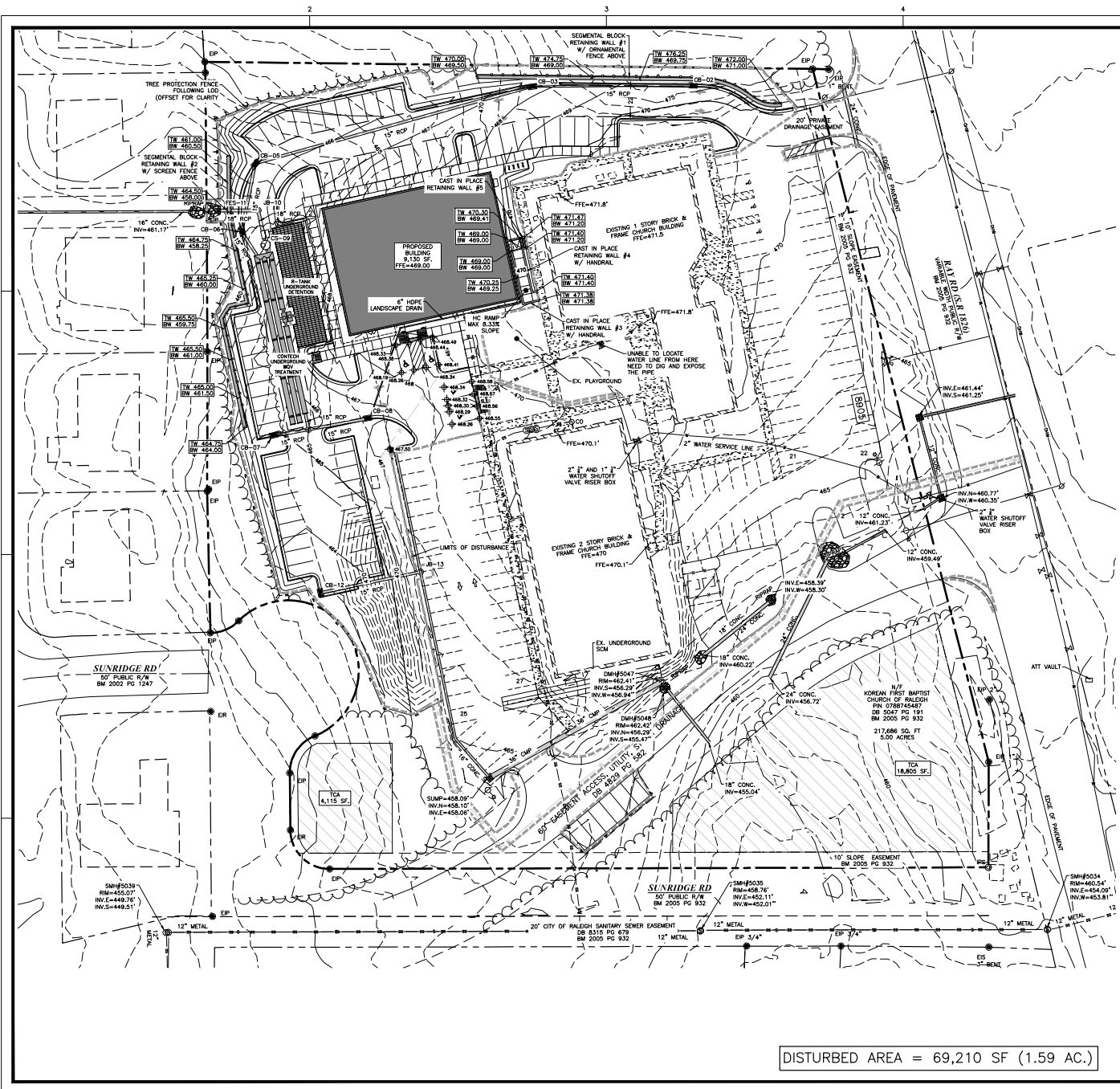
ADMINISTRATIVE SITE REVIEW

SITE LAYOUT PLAN

Job Code: KFBCCR

Dwg No.: P.A.
 3.0

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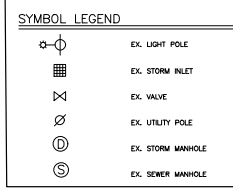
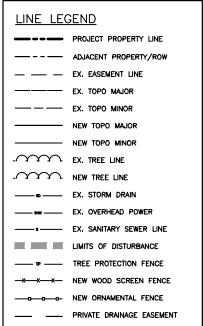
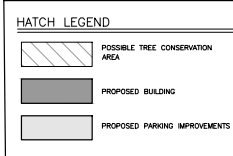
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FLOODPLAIN NOTE:

1. THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).

FEMA REFERENCE DATA:
 FEMA FIRM PANEL NO.: 3220074800
 EFFECTIVE DATE: OCTOBER 19, 2018
 FEMA STREAM NAME: 3/2
 FEMA FLOOD ZONE: Shade Zone X(0.2% annual chance flood)

FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3220074800, DATED OCTOBER 19, 2018.



THE SITE GROUP
 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
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 Raleigh, NC 27605
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 E-Mail: srinfo@thesitegroup.net

TIER II SITE PLANS (ASR-007-2023) FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8905 RAY ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: WRR
 Checked By: BDM

DATE: 23 OCT 2023
 REVISED:
 11 JAN 2024
 06 JAN 2024
 07 MAR 2024
 11 APR 2024

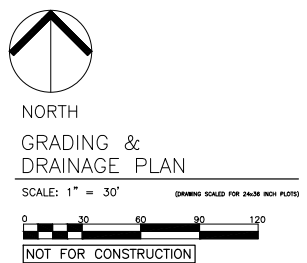
ADMINISTRATIVE SITE REVIEW

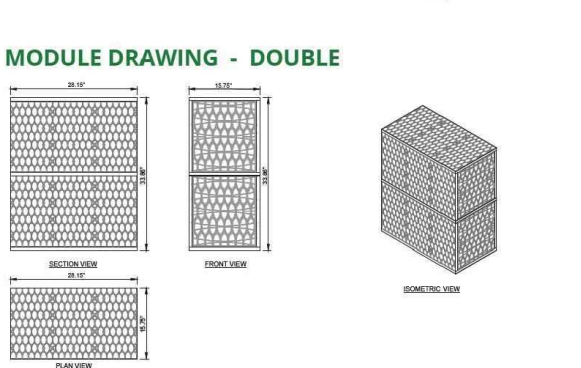
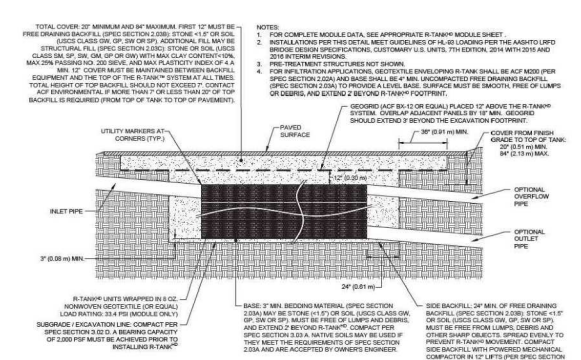
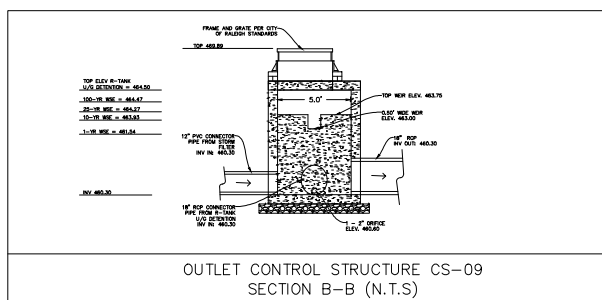
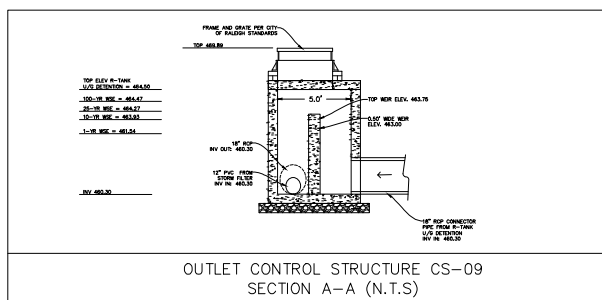
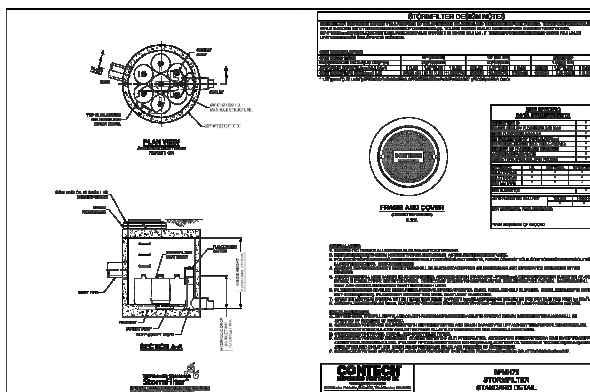
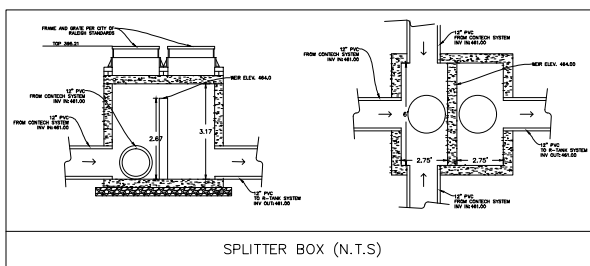
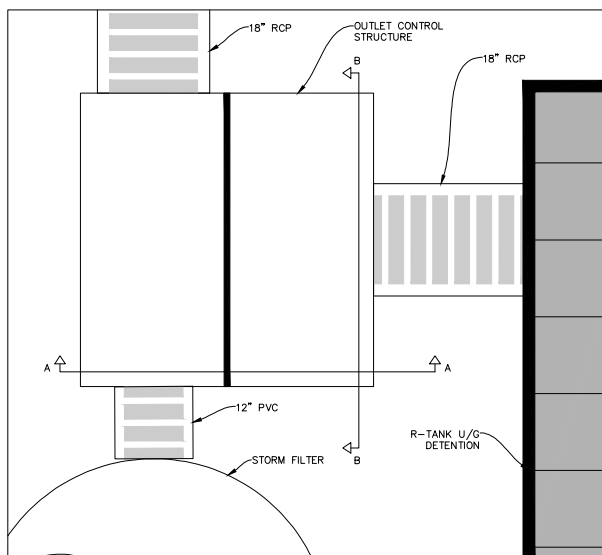
GRADING & DRAINAGE PLAN

Job Code: KFCBRR

Dwg No. P.A. 4.0

DISTURBED AREA = 69,210 SF (1.59 AC.)





MODULE DATA

GEOMETRY: LENGTH = 28.15 IN. (715 MM)	LOAD RATING: 33.4 PSI (MODULE ONLY)
WIDTH = 10.75 IN. (273 MM)	HOOD (WITH FACE COVER SYSTEM)
HEIGHT = 33.85 IN. (860 MM)	MATERIAL: 100% RECYCLED POLYPROPYLENE
TANK VOLUME = 1.83 CF	SMALL PLATES PER SEGMENT/TOTAL: 5/16
STORAGE VOLUME = 1.28 CF	
VOID INTERNAL VOLUME: 90%	
VOID SURFACE AREA: 92%	

R-TANK DETENTION STRUCTURES (N.T.S.)

NOTE: OTHER TYPES OF UNDER GROUND DETENTION SYSTEMS MAY BE INSTALLED WITH THE APPROVAL OF THE ENGINEER.



SCM DETAILS
[NOT FOR CONSTRUCTION]

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1136 USA

TIER II SITE PLANS (ASR-0071-2023) FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
8905 RAY ROAD
RALEIGH, NORTH CAROLINA

Drawn By: WRR
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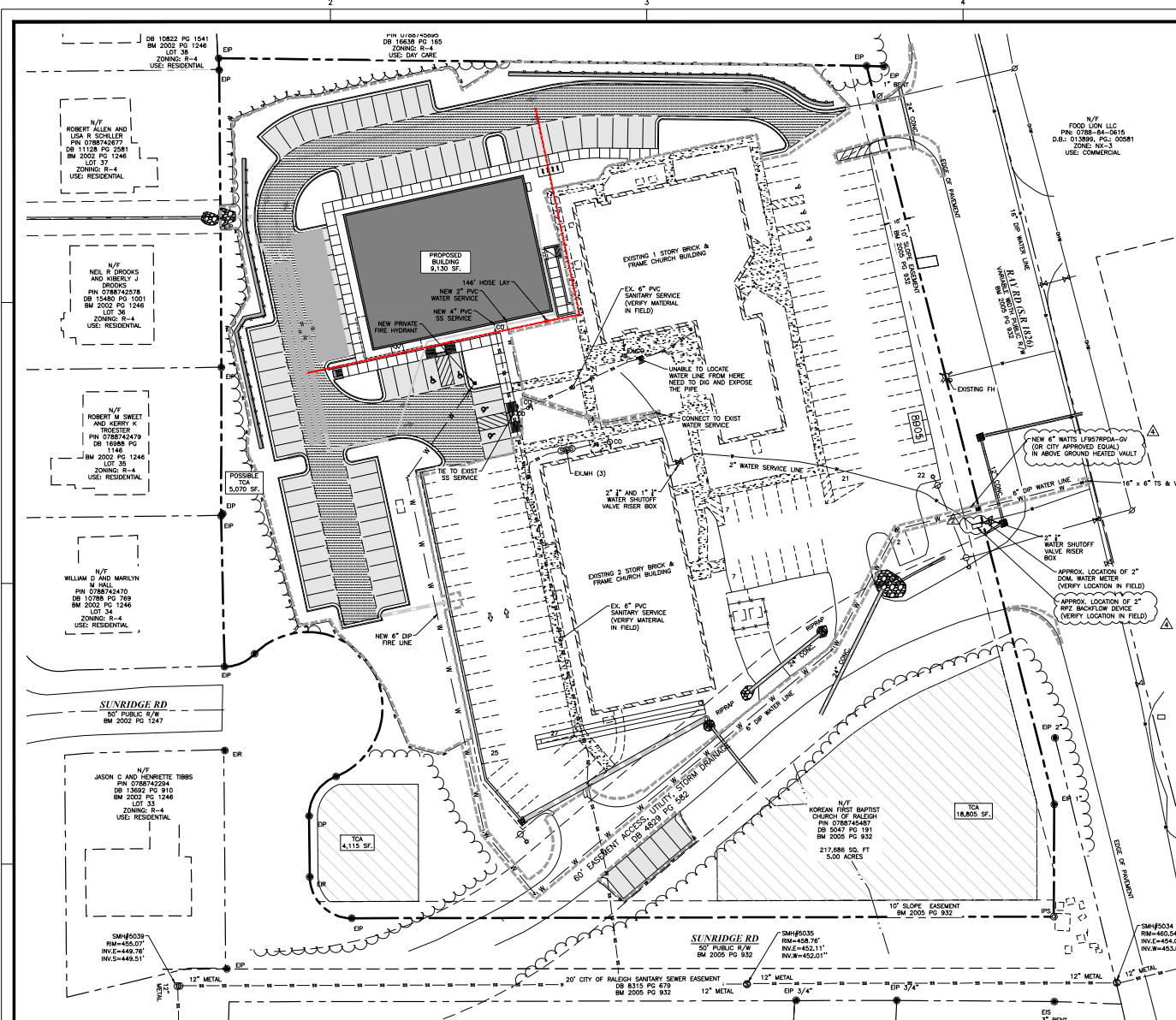
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ADMINISTRATIVE SITE REVIEW

SCM DETAILS

Job Code: KFCBRR

Dwg No. P.A. 4.1



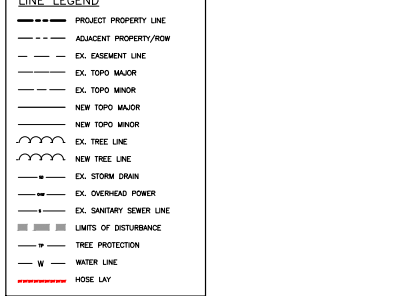
STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE CONFORM HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY OR GAS SERVICE. MINIMUM CLEARANCE SHALL BE MAINTAINED THROUGHOUT THE ENTIRE SEPARATION CHANNEL. ALL UTILITY SEPARATION CHANNELS SHALL BE SPECIFIED AS INSTALLED TO WASTEWATER SERVICE. THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 50' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHERE NECESSARY, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION SHALL BE MAINTAINED TO THE EXTENT POSSIBLE. THE SEPARATION SHALL BE MAINTAINED TO THE EXTENT POSSIBLE WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MAINTAINED TO THE EXTENT POSSIBLE WITH THE PUBLIC UTILITIES DIVISION. ALL DISTANCES ARE MEASURED FROM OUTER SURFACE TO OUTER SURFACE.
 - WHERE IT IS IMPRACTICABLE TO OBTAIN PROPER SEPARATION, OR A SANITARY SEWER CROSSING OVER A WATERMAIN OR MATERIAL OF STEEL ENGAGEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED AS INSTALLED TO INTERFERE SPECIFICATIONS.
 - 10' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES. MINIMUM HORIZONTAL SEPARATION IS REQUIRED FOR SANITARY SEWER & 8" RIGID STORM DRAIN UNDERPASS. MINIMUM 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RIGID STORM DRAIN CROSSINGS. WHERE ADULTERATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY TOP WATERMAIN AS A CONCRETE CIRCLE SHAPE & MIN. CLEARANCE (FOR CONCRETE) DETAILS W-41 & S-40.
- ALL EXIST UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION (SEE DETAILS).
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN A/JR/PROF BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT. HANDBOOK PREVIOUS PROCEED.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3/4" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL EXPOSED MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO HANDBOOK OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN RECONSTRUCTION OF A SITE UNLESS OTHERWISE SPECIFIED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES HANDBOOKING "IN" AT TIME OF SERVICE FROM ROW OR EXISTING PRE-EXISTING HANDBOOK PROCEEDING. MINIMUM 1/4" COVER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN 4.0' OF WASTEWATER EASEMENT IMMEDIATELY ADJACENT TO MAINS. CONTRACTOR IS RESPONSIBLE TO PROTECT SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC COVER SERVICE OR 1/2" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 12' UNLESS FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSIG. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SERVICES EXCEEDING 80 PSIG UNLESS OTHERWISE SPECIFIED.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDA, USACE & FEMA FOR ANY SWAMP OR WETLANDS. ALL NECESSARY PERMITS (OVERHEADS) PRIOR TO CONSTRUCTION.
- NEEDY / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE) THAT REQUIRES USE OF RAILROAD ROW PRIOR TO CONSTRUCTION.
- GRADE INTERFERE / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE PE PROFESSIONAL ENGINEER PRIOR TO EQUATION OF A U.C. / BLDG PERMIT. CONTACT CITY EP-1016 OR.
- COORDINATION FOR MORE INFORMATION.
- PROTECTION OF EXISTING UTILITIES: PROTECTIVE DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN THE CITY OF RALEIGH HANDBOOK. PROTECTIVE DEVICES SHALL BE INSTALLED AND TESTED (DOCS METALS AND PRODUCT TESTING) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. PROTECTIVE DEVICES IN MORE DANGEROUS AREAS OF CONCERN SHALL ALSO BE OBTAINED FROM THE PE CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO OBTAINANCE OF A U.C. / BLDG PERMIT. CONTACT CITY EP-1016 OR CROSS-CONNECTIONCOORDINATOR@CITYOFRALEIGH.COM FOR MORE INFORMATION.

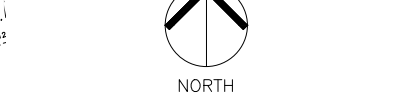
UTILITY NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- EXISTING WATER SERVICE SIZE IS ASSUMED. FIELD VERIFY AND NOTIFY ENGINEER OF DISCREPANCY.
- ALL ROOF-MOUNTED EQUIPMENT SHALL BE SCREENED ON ALL SIDES BY AN OPAQUE SCREEN COMPATIBLE WITH THE PRINCIPAL BUILDING IN TERMS OF TEXTURE, QUALITY, MATERIAL AND COLOR.

LINE LEGEND

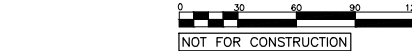


- DATE:**
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UTILITY PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24X36 INCH PLOTS)



NOT FOR CONSTRUCTION

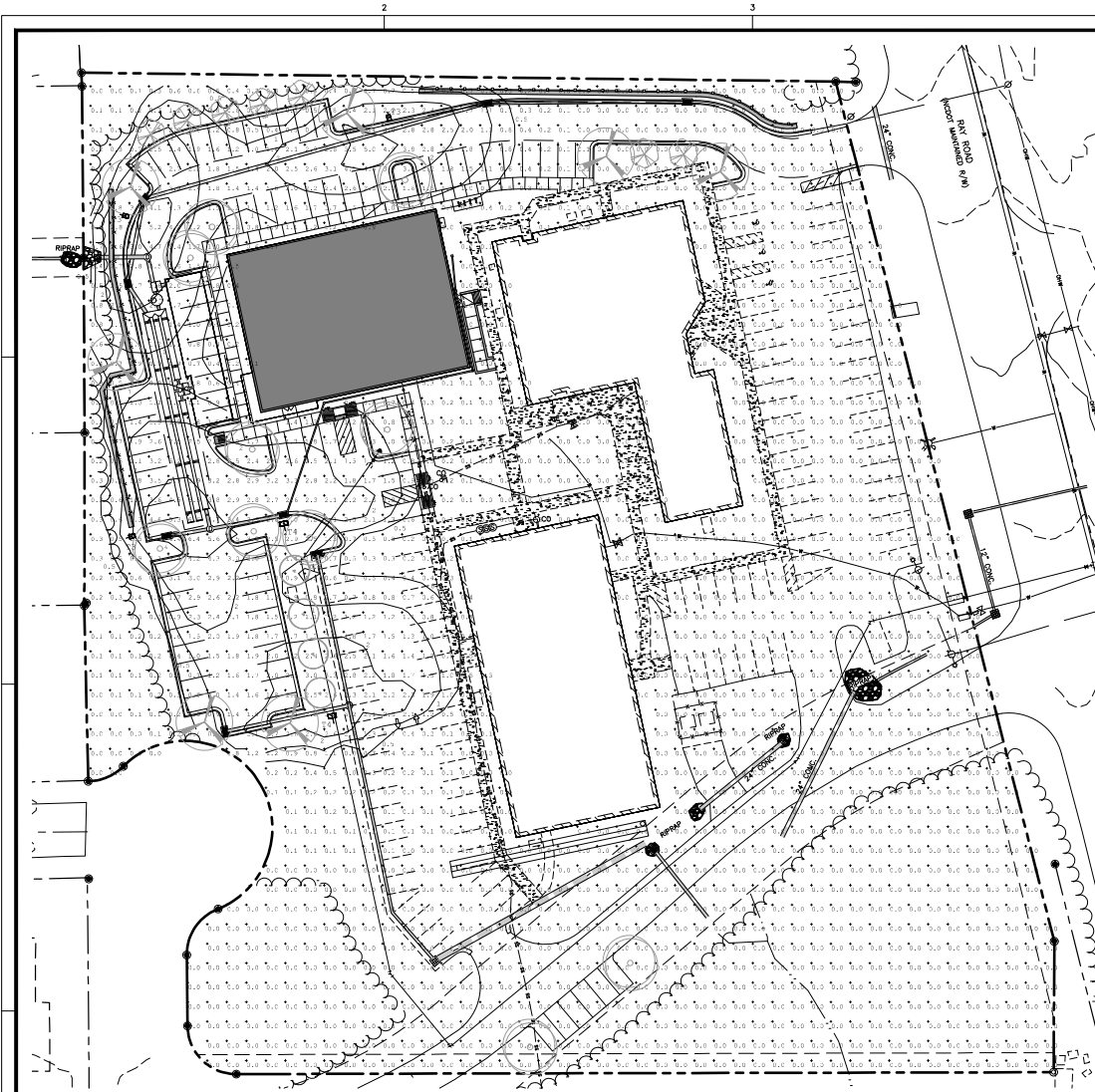
THE SITE GROUP
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TIER II SITE PLANS (ASR-0071-2023) FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8005 RAY ROAD
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Drawn By: **WRR**
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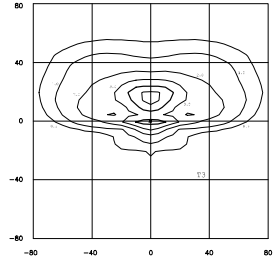
ADMINISTRATIVE SITE REVIEW
 UTILITY PLAN

Job Code: **KFBCRR**
 Dwg No.: **P.A. 5.0**



ISOFOOTCANDLE CURVE

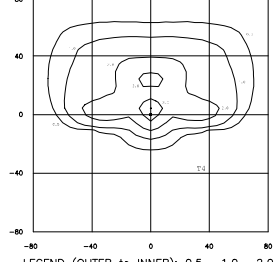
FIXTURE: GAN-AP-03-LED-U-T3R
 MOUNTING HEIGHT: 25'
 LIGHT SOURCE: Shoebox, 4000K, 150w
 PATTERN: TYPE III



LEGEND (OUTER TO INNER): 0.5 , 1.0 , 2.0

ISOFOOTCANDLE CURVE

FIXTURE: GAN-AP-03-LED-U-T4W
 MOUNTING HEIGHT: 25'
 LIGHT SOURCE: Shoebox, 4000K, 150w
 PATTERN: TYPE IV



LEGEND (OUTER TO INNER): 0.5 , 1.0 , 2.0



POLE MOUNTED LIGHT CONFIGURATION

SHOEBOX LED
 (View Data Sheet)

Light source: LED (select)
Mounting height: 1500-2000
Color: Warm | Day | White
Finish: Powder Co | 3 Colors
Applications: Industrial, Warehouse, Warehouse, Warehouse

Light source: LED (select)
Mounting height: 1500-2000
Color: Warm | Day | White
Finish: Powder Co | 3 Colors
Applications: Industrial, Warehouse, Warehouse, Warehouse

Light source: LED (select)
Mounting height: 1500-2000
Color: Warm | Day | White
Finish: Powder Co | 3 Colors
Applications: Industrial, Warehouse, Warehouse, Warehouse

SHOEBOX LED
 (View Data Sheet)

Light source: LED (select)
Mounting height: 1500-2000
Color: Warm | Day | White
Finish: Powder Co | 3 Colors
Applications: Industrial, Warehouse, Warehouse, Warehouse

Light source: LED (select)
Mounting height: 1500-2000
Color: Warm | Day | White
Finish: Powder Co | 3 Colors
Applications: Industrial, Warehouse, Warehouse, Warehouse

Light source: LED (select)
Mounting height: 1500-2000
Color: Warm | Day | White
Finish: Powder Co | 3 Colors
Applications: Industrial, Warehouse, Warehouse, Warehouse



NORTH

LIGHTING PLAN

SCALE: 1" = 30'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



NOT FOR CONSTRUCTION

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-832-4848) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHY INFORMATION IS TAKEN FROM A SURVEY BY META GEOMATICS DATED 12 JUNE 2023. ALL OTHER SITE DATA IS TAKEN FROM WAKE COUNTY'S GIS DATA.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A STANDARDS.

LIGHTING NOTES

- LIGHT POLES ARE TO BE LOCATED 10' (MIN) AWAY FROM CANOPY TREES.
- LIGHT LEVELS AT RESIDENTIAL PROPERTY LINES SHALL NOT EXCEED 0.5 FC.
- LIGHT LEVELS AT PUBLIC RIGHT OF WAYS SHALL NOT EXCEED 2.0 FC.
- ANY WALL PACKS INSTALLED ON THE BUILDING MUST BE FULL CUT OFF FIXTURES.
- FIXTURE SYMBOLS ARE ILLUSTRATIVE AND HAVE BEEN INCREASED IN SIZE.
- DUKE ENERGY PROGRESS SERVICE IS AVAILABLE FOR THIS SITE. FINAL PHOTOMETRICS TO BE PER DUKE ENERGY LAYOUT.

Symbol	Qty	Label	Tag	UIC	Description
1	1	Shoebox 150W Type III 4000K D	73	0.850	GAN-AP-03-LED-U-T3R
2	2	Shoebox 150W Type IV 4000K GA	74	0.850	GAN-AP-03-LED-U-T4W

Label	CalcType	Units	Qty	Disp	UIC
PROPERTY GRID	Distance	DC	12.47	6.6'	12.0

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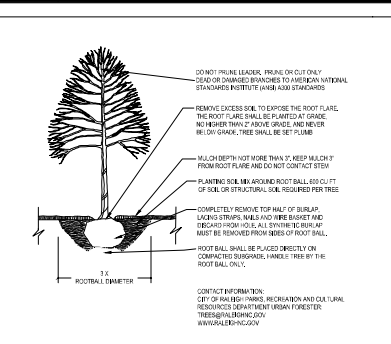
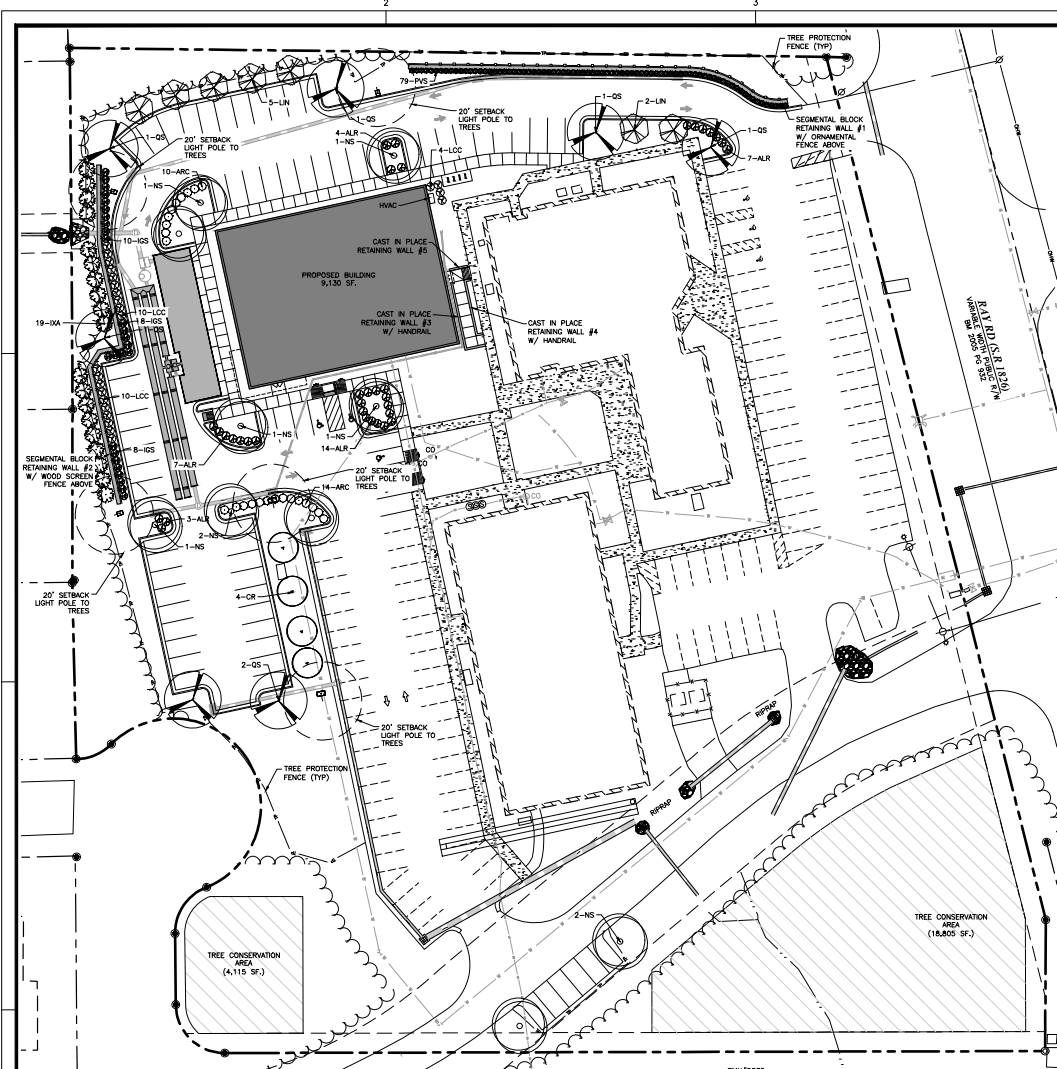
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ADMINISTRATIVE SITE REVIEW

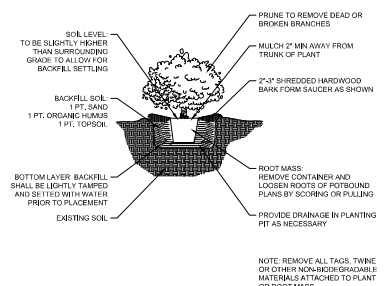
LIGHTING PLAN

Job Code: KFCBR
 Dwg No.: P.A. 6.0



- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CAR. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSTHOLE DRAINAGE ABOVE FOOTING)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE WHICH PERHAPS IS SCULPTED, ELECTRICAL CUTLIES AND OTHER UTILITIES ARE LOCATED AT THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - STAKING: IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKES MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH		
STANDARD DETAIL		
REVISION	DATE	SYMBOL
TREE PLANTING DETAIL		
TTP-03		



- NOTES:
- TO PROMOTE AERATION AND PERCOLATION IN HEAVY SOIL, PLANT ROOTBALL ABOVE EXISTING GRADE AS SHOWN.
 - PROVIDE AN EARTH SAUCER FOR WATER RETENTION.
 - BACKFILL WITH 80% PARENT MATERIAL AND 20% DECOMPOSED ORGANIC MATERIAL BY VOLUME WELL MIXED AS APPROVED BY THE ARCHITECT.
 - PROVIDE IF MINIMUM OF BACKFILL ON EACH SIDE OF ROOTBALL TO PROMOTE RAPID REESTABLISHMENT.
 - PROVIDE MINIMUM 4" THICK FINE STRAW/IN 6" WIDE PLANTING BED OR AS DIRECTED ON PLANS.
 - SHRUBS WILL HAVE A MINIMUM 1 YEAR WARRANTY FROM DATE OF INSTALLATION.

CITY OF RALEIGH		
STANDARD DETAIL		
REVISION	DATE	SYMBOL
SHRUB PLANTING DETAIL		
SPD-01		

- ### GENERAL NOTES
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-432-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 - BOUNDARY AND TOPOGRAPHY INFORMATION IS TAKEN FROM A SURVEY BY META GEOMATICS DATED 12 JUNE 2023. ALL OTHER SITE DATA IS TAKEN FROM WAKE COUNTY'S GIS DATA.
 - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

- ### LANDSCAPE REQUIREMENTS:
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
 - ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF 2' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOOP, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCORD TO THE SIZE OF THE PLANT MATERIAL AT MATURITY.
 - THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUFFER OVERHANG FROM THE BACK OF CURB.
 - NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT OF WAY OR WITHIN 5' OF A SIDEWALK AND WITHIN 20' OF A LIGHTING FIXTURE.
 - ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES.
 - WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE CITY OF RALEIGH SITE INSPECTION SERVICES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
 - UPON ESTABLISHMENT OF FINISHED GRASS AND PRIOR TO BEGINNING INSTALLATION OF ANY TREES, A SOIL AMENDMENT FORTIFIED FOR ALL TREE PLANTINGS SHALL BE PROVIDED BY A CERTIFIED LANDSCAPE NUTRITIONIST AND BE PROVIDED TO THE CITY OF RALEIGH PLANNING DEPARTMENT.
 - PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A CERTIFIED STATEMENT SHALL BE PROVIDED TO TOWN STAFF SITE INSPECTION ATTESTING TO THE FACT THAT THE SOIL AMENDMENT SCHEME WAS RELEASED AS SPECIFIED IN THE APPROVED SITE AND/OR SUBDIVISION PLAN. THIS STATEMENT SHALL BE CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT, CERTIFIED ARBORIST, OR OTHER SPECIALIST AS DETERMINED ACCEPTABLE BY THE PLANNING DIRECTOR.
 - THE PROPERTY OWNER OR DEVELOPER SHALL PROVIDE FOR CONTINUOUS MAINTENANCE OF THE LANDSCAPE AFTER OCCUPANCY OF THE BUILDING. THE PROPERTY OWNER SHALL ENSURE THAT PERFORMANCE CRITERIA WITHIN THIS ORDINANCE AND/OR INCLUDED ON THE APPROVED SITE AND/OR SUBDIVISION PLAN ARE MET. FAILURE TO CORRECT DEFICIENCIES IN A TIMELY MANNER SHALL RESULT IN A CIVIL PENALTY VIOLATION OF THIS ORDINANCE IN ACCORDANCE WITH CHAPTER 11.
 - ALL PLANTING MATERIAL SHALL BE DESIGNED TO CITY OF RALEIGH UDD SECTION REQUIREMENTS. THE CITY OF RALEIGH SITE INSPECTION SERVICES THE RIGHT TO REQUIRE ADDITIONAL PLANTINGS BASED ON ACTUAL FIELD CONDITIONS.

- ### LANDSCAPE MAINTENANCE PLAN:
- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNER SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:
- FERTILIZATION:** FERTILIZE LAWN TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN SEPTEMBER 1-OCTOBER 31) ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING THE GROWING SEASON PER SOIL TEST.
 - PRUNING:** PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT OBSTRUCTION/SAFETY REASONS. THE ANSI AND STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
 - WEED CONTROL:** PRE-EMERGENT WEED CONTROL FOR SHRUB BEDS MAY BE APPLIED IN FEBRUARY TO THE PLANTING BED FOR PREVENT PESTERATION AND WEEDS MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PLANTING BED FOR PREVENT PESTERATION AND WEEDS MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PLANTING BED.
 - MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN SHRUB BEDS. MULCH SHALL BE REPLACED EVERY TWO YEARS, AS NECESSARY TO MAINTAIN THE AVERAGE DEPTH OF THE PLANT BED.
 - IRRIGATION:** PRIMARY FESCUE LAWN SHALL BE MAINTAINED AT A HEIGHT OF 3" AND SHALL BE WATERED APPROXIMATELY 20 TIMES PER WEEK DURING THE GROWING SEASON. SECONDARY TURF GRASS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. TURF GRASS SHALL BE WATERED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF TURF GRASS.
 - PLANT PROTECTION:** AVOID EXCESS INFUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
 - IRRIGATION:** IF ANY IRRIGATION SYSTEM IS INSTALLED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON. (CONTACT CITY OF RALEIGH WATER/IRRIGATION SUPPLIES).
 - PLANT REPLACEMENT:** ANY REQUIRED PLANTING, WHICH IS REMOVED OR DIES PRIOR TO DATE OF PLANTING, SHALL BE REPLACED DURING THE NEXT PLANTING SEASON. ALSO, ANY TREE IN A TREE PRESERVATION AREA WHICH IS REMOVED OR DIES SHALL BE REPLACED DURING THE NEXT PLANTING SEASON. REMOVAL OF DISEASE INFESTED MATERIAL SHALL BE ALLOWED SO LONG AS REQUIRED SHRUBS ARE REPLACED AT THE REQUIRED RATES AND SIZES.
- FAILURE TO MAINTAIN REQUIRED LANDSCAPE PLAN SHALL CONSTITUTE A VIOLATION OF THIS UDD ENFORCEABLE UNDER THE PROVISIONS OF SECTION 10-206(F)(2)(M).

OVERALL PLANT LIST										
KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SIZE	MATURE HEIGHT/CROWN	ROOT	REMARKS	LOCATION	SPACING
SHADE TREES										
NS	10	NYSSA SYLVATICA "GREEN GABLE"	GREEN GABLE BLACK OAK	10'	3" CAL.	50'/30'	B&B	DECIDUOUS	PARKING	AS SHOWN
OS	7	QUERCUS SHUMARDII	SHUMARD OAK	10'	3" CAL.	50'/40'	B&B	DECIDUOUS	PARKING	AS SHOWN
UNDERSTORY TREES										
OR	4	LODNANTHUS RETICUS	CHINESE FRANGE TREE	8' HT. MIN.	1.5" CAL.	25'/20'	B&B	SINGLE-STEM	PARKING	20' O.C.
LN	7	LAGOSTROMA INDICA "NATCHEZ"	NATCHEZ CRAPPE MYRTLE	8' HT. MIN.	1.5" CAL.	20'/20'	B&B	MULTI-STEM	PARKING	20' O.C.
SHRUBS										
ALR	35	ABELIA GRANDIFLORA "LITTLE RICHARD"	LITTLE RICHARD GLOSSY ABELIA	24" HT. MIN.	3 GAL.	4'/4"	CONT.	EVERGREEN	PARKING	4' O.C.
ARC	24	ABELIA GRANDIFLORA "ROSE CREEK"	ROSE CREEK GLOSSY ABELIA	24" HT. MIN.	3 GAL.	4'/4"	CONT.	EVERGREEN	PARKING	4' O.C.
IGS	26	ALEX GLABRA "SHAMROCK"	SHAMROCK HICKBERRY HOLLY	24" HT. MIN.	3 GAL.	4'/4"	CONT.	EVERGREEN	SCREEN	4' O.C.
IXA	19	ALEX X "ADAMANA"	ADAMANA HOLLY	4' HT. MIN.	10 GAL.	12'/8"	CONT.	EVERGREEN	SCREEN	8' O.C.
DD	24	LOROPETALUM CHINENSE "CERISE CHARM"	CERISE CHARM LOROPETALUM	24" HT. MIN.	3 GAL.	4'/4"	CONT.	EVERGREEN	SCREEN	4' O.C.
GRASSES										
PVS	74	PANICUM VIRGATUM "SHENANDOAH"	SHENANDOAH SWITCH GRASS	12" HT. MIN.	1 GAL.	3.5'/2.5"	CONT.	SEMI-EG	SCREEN	2.5' O.C.

PLANTING NOTES:
 LOCATE PLANTS AND PLANTING BEDS BY USING SLOTTED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
 SYMBOLS: B&B = BALLED & BURLAPPED, B.R. = BARE ROOT, CONT. = CONTAINER, O.C. = ON-CENTER, (R) = TO REMAIN
 MULCH: MULCH ALL BED AREAS WITH SHREDDED PINE MULCH TO A DEPTH OF 3".
 NOTE:
 1. ALL TREES IN SHOT TRIMMLES WILL BE LASED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SHOT TRIMMLES WILL BE MAINTAINED BELOW 2'.
 2. ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.



LANDSCAPE PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24X36 INCH PLOTS)



TREE COVERAGE REQUIREMENT:	
1 SHADE TREE FOR EVERY 2,000 SF. OF PARKING AREA.	
PARKING AREA	27,625 SF.
SHADE TREES REQUIRED:	14
SHADE TREES PROVIDED:	17

NOT FOR CONSTRUCTION

THE SITE GROUP
 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
 1111 Ochsler Road
 Raleigh, NC 27605
 Phone: 919.450.9787
 Fax: 919.450.9787
 Email: info@thesitegroup.net

TIER II SITE PLANS (ASR-0071-2023) FOR:
KOREAN FIRST BAPTIST CHURCH OF RALEIGH
 8005 RAY ROAD
 RALEIGH, NORTH CAROLINA

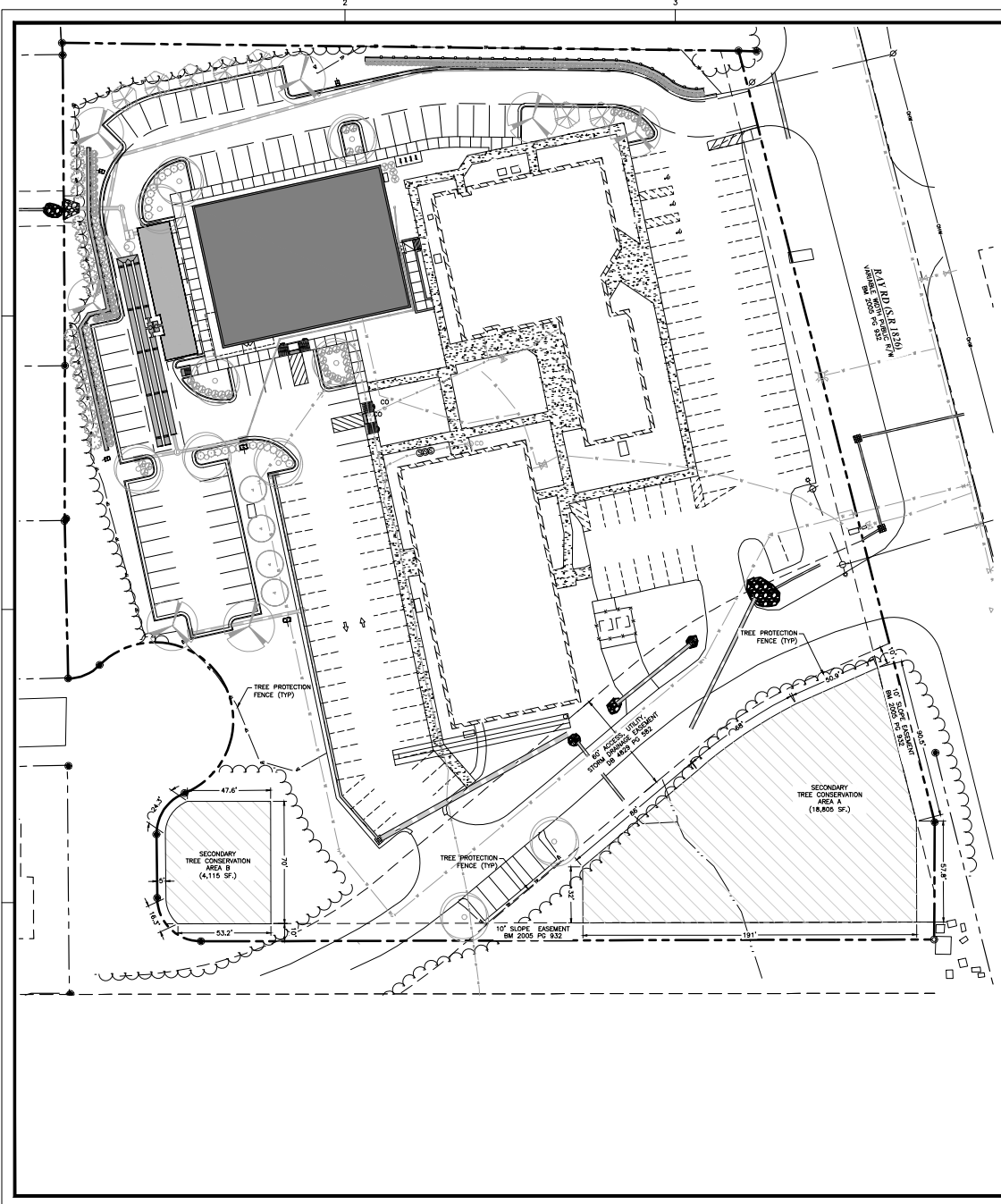
Drawn By: JHU
 Checked By: BDM

DATE: 23 OCT 2023
 REVISED:
 11 JAN 2024
 07 MAR 2024
 11 APR 2024

ADMINISTRATIVE SITE REVIEW

LANDSCAPE PLAN

Job Code: KFCBRR
 Dwg No. P.A.
 7.0



Tree Conservation Plan Data Sheet
 800 Arditt St Tree Conservation
 (Include applicable information on the plan sheet)

Project Name: 2023 PLY RD. Gross Site Area: _____ sq
 Right-of-Way to be dedicated with this project: _____ sq
 Net Site Area: 4.69 _____ sq

	Number	Percent
	of Area	of Net
UD 8.1.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - 18022.7	0	0%
2. Primary Tree Conservation Area - 18022.7	0	0%
3. Primary Tree Conservation Area - Parking Paving	0	0%
4. Primary Tree Conservation Area - CM	0	0%
5. Primary Tree Conservation Area - MFCO	0	0%
6. Primary Tree Conservation Area - (Primary Tree 30" dbh or greater)	0	0%
7. Primary Tree Conservation Area - Other Utility Plant	0	0%
8. Primary Tree Conservation Area - CM	0	0%
9. Primary Tree Conservation Area - MFCO	0	0%
Subtotal of Primary Tree Conservation Areas	0	0%
UD 8.1.A.3 Tree Conservation Area - Economy	0	0%
UD 8.1.A.2.4a. All Other Secondary Tree Conservation Areas		
1. Utility and/or other not otherwise categorized areas	0.62	10.4%
UD 8.1.A.2.4b. All Individual Tree Secondary Tree Conservation Areas		
1. Utility and/or other not otherwise categorized areas	0	0%
Subtotal of Secondary Tree Conservation Areas	0.62	10.4%
TOTAL ALL TREE CONSERVATION AREAS PROVIDED:	0.62	10.4%

SECONDARY TREE CONSERVATION AREA SUMMARY

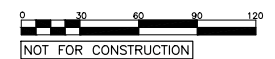
EXISTING SITE AREA:	4.99 AC.
REQUIRED TREE CONSERVATION AREA:	0.49 AC. (10%)
TREE CONSERVATION AREA A:	18,805 SF./0.43 AC.
TREE CONSERVATION AREA B:	4,115 SF./0.09 AC.
PROVIDED TREE CONSERVATION AREA:	0.52 AC. (10.4%)

- LEGEND**
- PROPERTY BOUNDARY/ROW
 - - - PROPOSED LOT LINE/EX. ADJACENTS
 - - - EX. EASEMENTS
 - PROPOSED WOOD SCREEN FENCE
 - PROPOSED ORNAMENTAL FENCE
 - TREE PROTECTION FENCE
 - ▨ SECONDARY TREE CONSERVATION AREA



NORTH
**TREE CONSERVATION
 AREA PLAN**

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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THE SITE GROUP
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
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 8005 RAY ROAD
 RALEIGH, NC 27617
 P: 919.856.4787
 F: 919.856.4787
 E: info@thesitegroup.net

TIER II SITE PLANS (ASR-0071-2023) FOR:
**KOREAN FIRST BAPTIST
 CHURCH OF RALEIGH**
 RALEIGH, NORTH CAROLINA

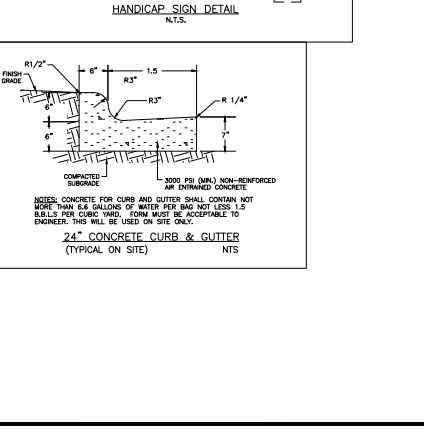
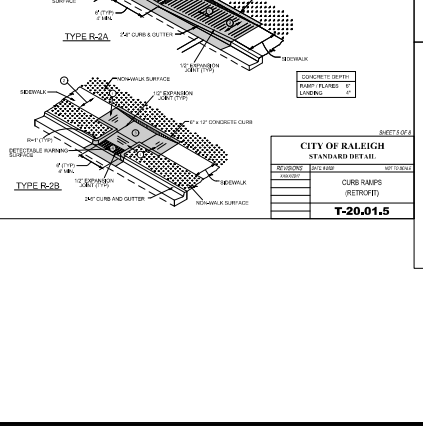
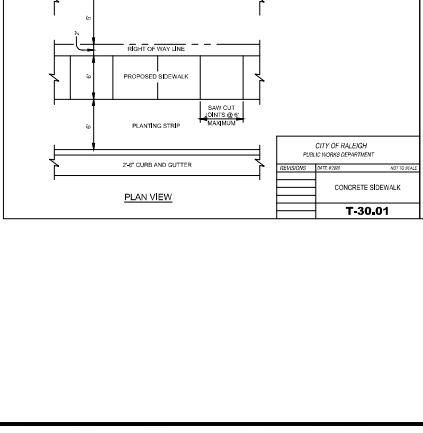
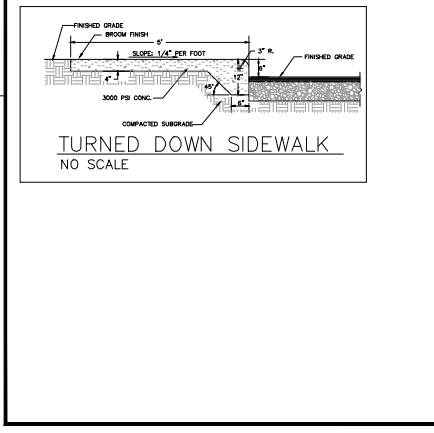
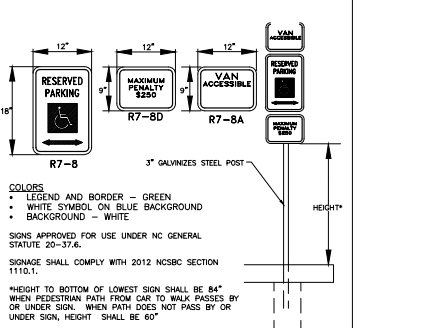
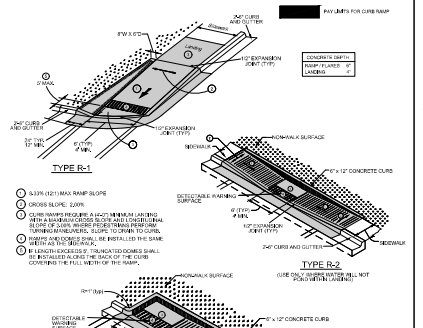
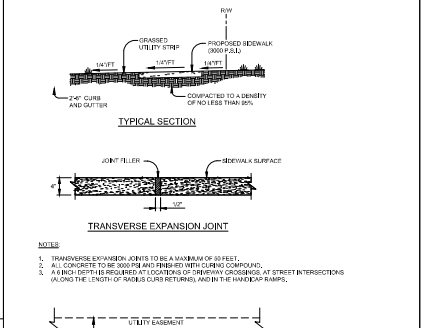
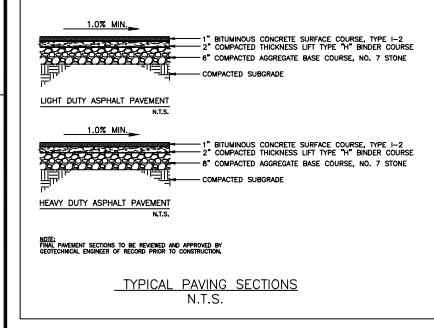
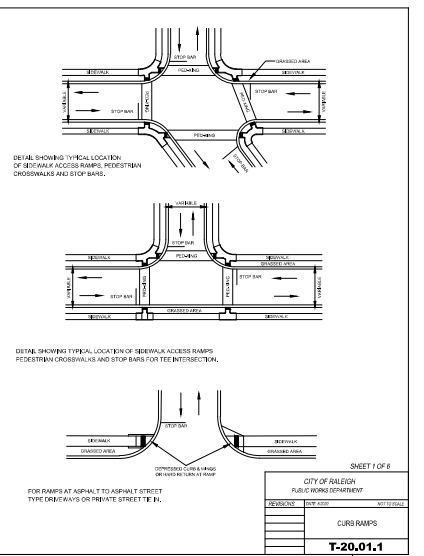
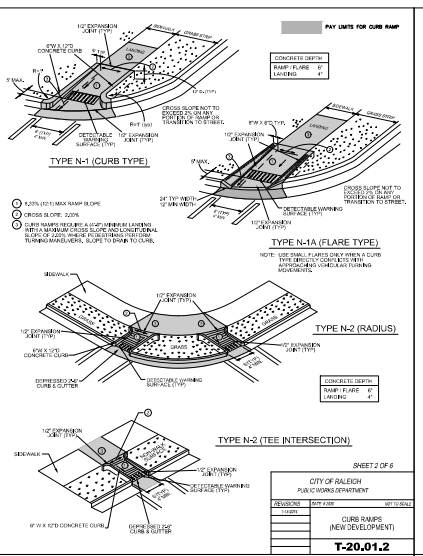
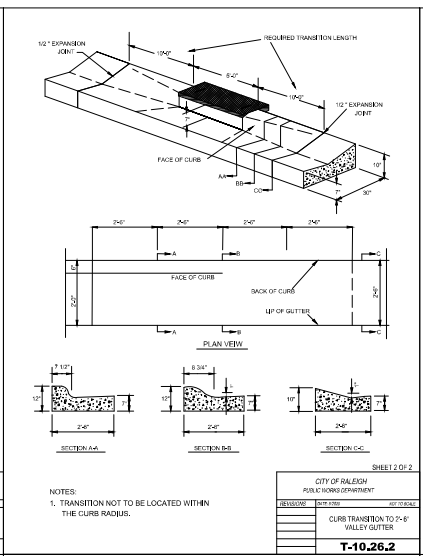
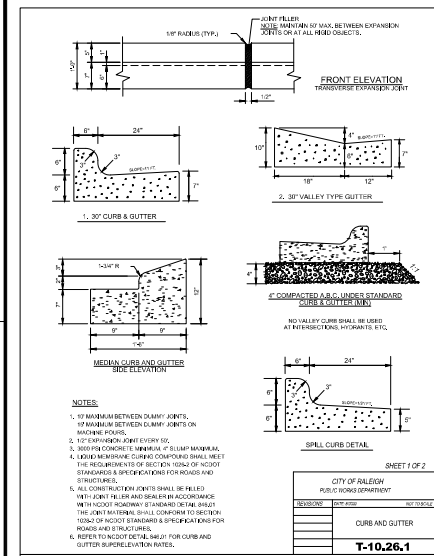
Drawn By: JHJ
 Checked By: BDM
 DATE:
 23 OCT 2023
 REVISED:
 11 JAN 2024
 07 MAR 2024
 11 APR 2024

ADMINISTRATIVE
 SITE REVIEW

TREE CONSERVATION
 AREA PLAN

Job Code: KFBCCR

Dwg No.
**P.A.
 7.1**



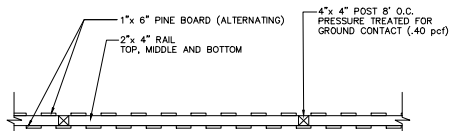
THE SITE GROUP
 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
 1111 Glenridge Road
 Suite 100
 Raleigh, NC 27608
 Phone: 919.850.4787
 Fax: 919.850.4788
 Email: info@thesitegroup.net

FOR:
**KOREAN FIRST BAPTIST
 CHURCH OF RALEIGH**
 RALEIGH, NORTH CAROLINA

TIER II SITE PLANS (ASR-0071-2023)
 Drawn By: WRR
 Checked By: BDM
 DATE: 23 OCT 2023
 REVISED: 11 JAN 2024
 07 MAR 2024

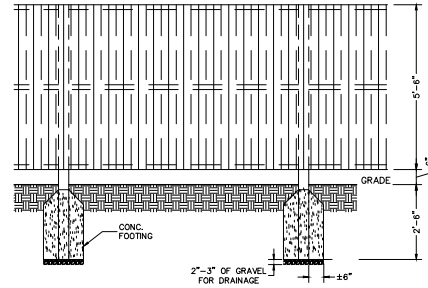
ADMINISTRATIVE SITE REVIEW
 SITE DETAILS
 Job Code: KFCBRR
 Dwg No.: P.A.
 8.0

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PLAN

Not To Scale



ELEVATION 6' SHADOW-BOX FENCE DETAIL

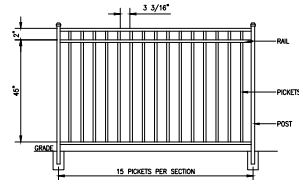
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ULTRA
ALUMINUM MFG. INC.

ULTRA ALUMINUM MFG. INC.
18550 ELM # 2 PLAZA DRIVE
WILMORSE LAKE, MI 48186
1-800-335-4420
FAX: (410) 776-7098
WWW.ULTRAFENCE.COM

SELECT DESIRED POST
 2" x 2" x .080 WALL
 2" x 2" x .080 WALL
 2" x 2" x .100 WALL
 2" x 2" x .150 WALL
 2" x 2" x .100 WALL

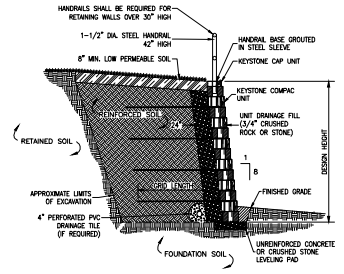
SELECT DESIRED PICKET SPACING
 3 1/16" OR 1 5/8"
 2" x 2" x .080 WALL
 2" x 2" x .080 WALL



SPECIFICATIONS:
 HORIZONTAL WALLS - 1 1/8" x 1"
 SIDE WALLS - .080"
 TOP WALLS - .060"
 PICKETS - 5/8" x 5/8" x .050 WALL

NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT WWW.PROJECTMARKETPLACE.COM
 REFERENCE 492-001

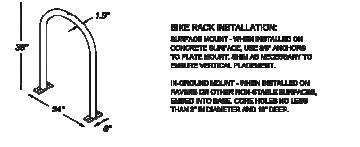
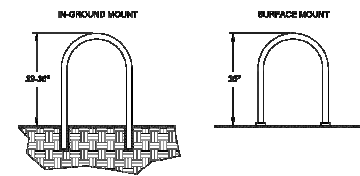
UAB 200 ORNAMENTAL FENCE - 4' ONLY
 ALUMINUM



- NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. IT IS RECOMMENDED THAT A QUALIFIED HYDROLOGICAL ENGINEER EVALUATE WAVE, ICE ACTION, FLOOD/TWAIN, AND SCOURING EFFECTS FOR SPECIFIC SITE DESIGN NEEDS. IN ADDITION, CRITICAL APPLICATIONS MAY REQUIRE REGION RESISTANT FOOTING DESIGN AND/OR IMP PROTECTION.
 4. COLOR OF WALL MATERIAL TO MATCH EXTERIOR COLOR OF BUILDING.

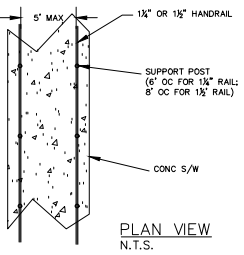
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COMPAC UNIT - 1\"/>

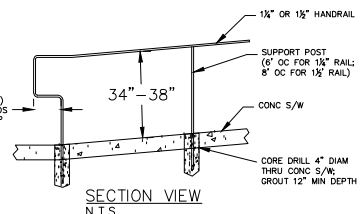


- BIKE RACK INSTALLATION:
SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 2\"/>
IN-GROUND MOUNT - WHEN INSTALLED ON EXISTING OR OTHER NON-STABLE SURFACES, BARRIS FIT TO RAILS, CRACK FILLER AND LAGS THAM 3/8\"/>

CITY OF RALEIGH		
STANDARD DETAIL		
REVISION	DATE	APP'D
ONE INCH EQUALS		
B-201.02		



PLAN VIEW
N.T.S.



SECTION VIEW
N.T.S.

THE SITE GROUP
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
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 E-Mail: SRN@thesitegroup.net

TIER II SITE PLANS (ASR-0071-2023) FOR:
**KOREAN FIRST BAPTIST
 CHURCH OF RALEIGH**
 RALEIGH, NORTH CAROLINA

Drawn By: WRR
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ADMINISTRATIVE
 SITE REVIEW

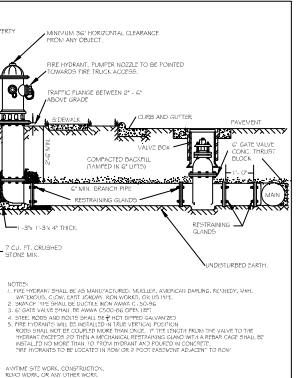
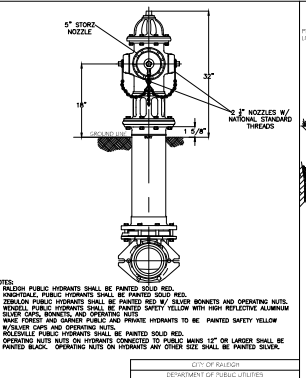
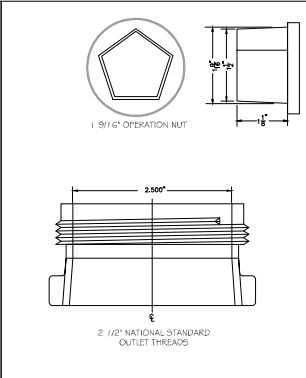
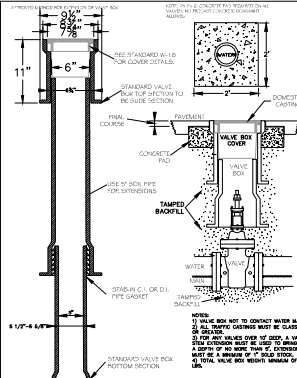
SITE
 DETAILS

Job Code: KFBCCR

Dwg No.
**P.A.
 8.1**

**REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS
BASED ON TEST PRESSURE OF 200 P.S.I.**

PIPE SIZE (IN)	90° BEND	45° BEND	45° BEND	45° BEND	45° BEND	45° BEND	45° BEND	45° BEND	45° BEND
11 1/4"	1,108	1	1	1	1	1	1	2	1
12 1/2"	2,207	1	2	2	1	1	1	3	1
14"	4,414	2	3	3	1	1	2	5	1
16"	7,062	2	4	5	1	1	2	8	1
18"	10,583	2	5	6	2	2	3	10	1
20"	14,815	3	6	7	3	3	4	13	1
22 1/2"	19,779	4	8	9	4	4	5	16	2
24"	25,619	5	10	11	5	5	6	19	2
26"	31,883	6	12	14	6	6	8	23	3
28 1/2"	38,826	7	14	16	7	7	9	27	3
30"	46,599	8	16	18	8	8	10	31	4
32"	55,219	9	18	20	9	9	11	35	4
34"	64,799	10	20	22	10	10	12	39	5
36"	75,439	11	22	24	11	11	13	43	5
38"	87,149	12	24	26	12	12	14	47	5
40"	99,929	13	26	28	13	13	15	51	5
42"	113,779	14	28	30	14	14	16	55	5
44"	128,699	15	30	32	15	15	17	59	5
46"	144,689	16	32	34	16	16	18	63	5
48"	161,759	17	34	36	17	17	19	67	5
50"	179,909	18	36	38	18	18	20	71	5
52"	199,149	19	38	40	19	19	21	75	5
54"	219,489	20	40	42	20	20	22	79	5
56"	240,939	21	42	44	21	21	23	83	5
58"	263,499	22	44	46	22	22	24	87	5
60"	287,179	23	46	48	23	23	25	91	5
62"	311,989	24	48	50	24	24	26	95	5
64"	337,939	25	50	52	25	25	27	99	5
66"	364,039	26	52	54	26	26	28	103	5
68"	391,289	27	54	56	27	27	29	107	5
70"	419,699	28	56	58	28	28	30	111	5
72"	449,279	29	58	60	29	29	31	115	5
74"	480,029	30	60	62	30	30	32	119	5
76"	511,959	31	62	64	31	31	33	123	5
78"	545,079	32	64	66	32	32	34	127	5
80"	579,389	33	66	68	33	33	35	131	5
82"	614,899	34	68	70	34	34	36	135	5
84"	651,619	35	70	72	35	35	37	139	5
86"	689,549	36	72	74	36	36	38	143	5
88"	728,689	37	74	76	37	37	39	147	5
90"	769,049	38	76	78	38	38	40	151	5
92"	810,629	39	78	80	39	39	41	155	5
94"	853,439	40	80	82	40	40	42	159	5
96"	897,479	41	82	84	41	41	43	163	5
98"	942,759	42	84	86	42	42	44	167	5
100"	989,279	43	86	88	43	43	45	171	5



REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS BASED ON TEST PRESSURE OF 200 P.S.I.

REVISIONS: 1. DATE: 10/15/03 BY: A.B.L. FOR: 1. TO ADD 1/2" NPT OUTLET TO VALVE BOX.

VALVE BOX INSTALLATION AND EXTENSION DETAIL

DEPARTMENT OF PUBLIC UTILITIES

REVISIONS: 1. DATE: 10/15/03 BY: A.B.L. FOR: 1. TO ADD 1/2" NPT OUTLET TO VALVE BOX.

STANDARD FIRE HYDRANT WITH 5" STOCK PLUMPER NOZZLE

DEPARTMENT OF PUBLIC UTILITIES

REVISIONS: 1. DATE: 10/15/03 BY: A.B.L. FOR: 1. TO ADD 1/2" NPT OUTLET TO VALVE BOX.

WATER METER BOX DETAIL

DEPARTMENT OF PUBLIC UTILITIES

REVISIONS: 1. DATE: 10/15/03 BY: A.B.L. FOR: 1. TO ADD 1/2" NPT OUTLET TO VALVE BOX.

WATER METER DETAIL

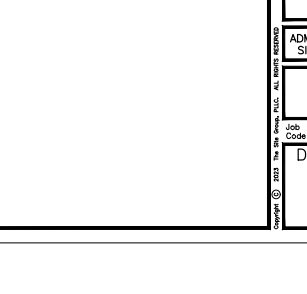
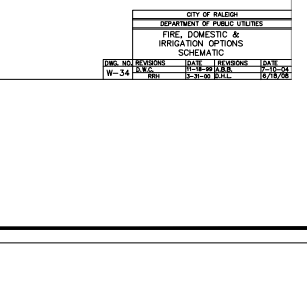
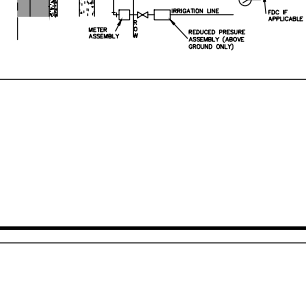
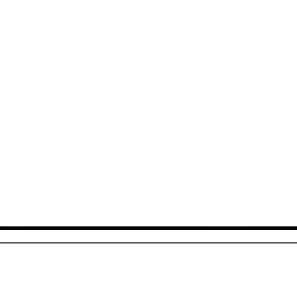
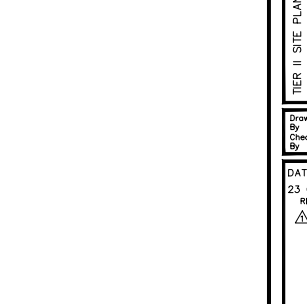
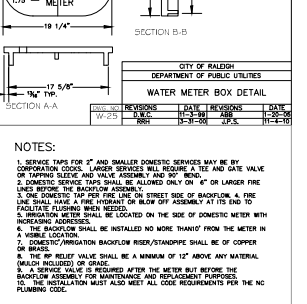
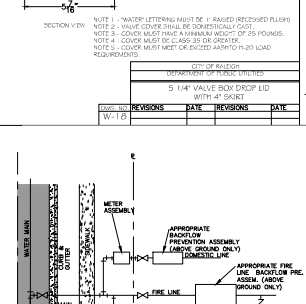
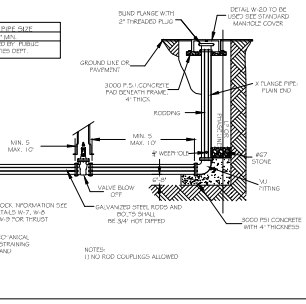
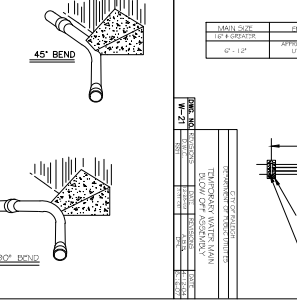
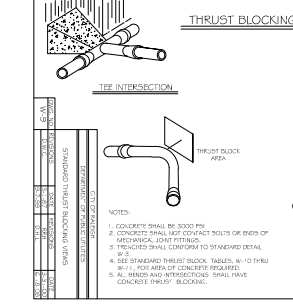
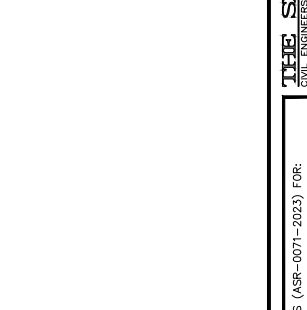
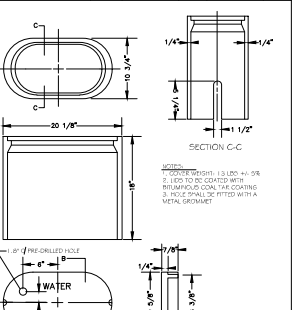
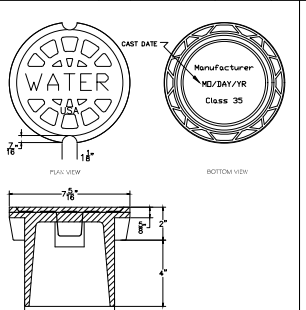
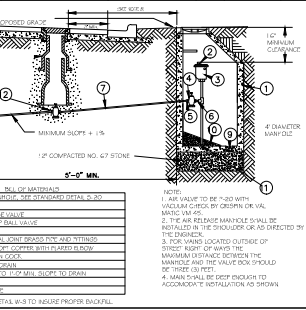
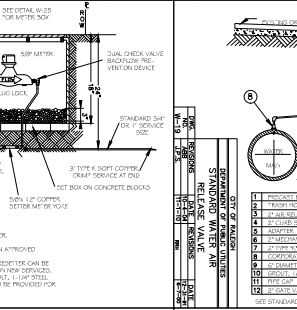
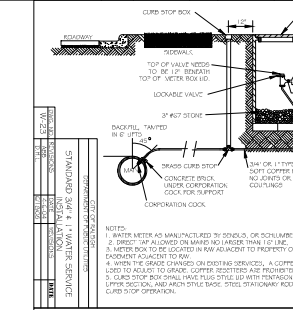
DEPARTMENT OF PUBLIC UTILITIES

REVISIONS: 1. DATE: 10/15/03 BY: A.B.L. FOR: 1. TO ADD 1/2" NPT OUTLET TO VALVE BOX.

WATER METER DETAIL

DEPARTMENT OF PUBLIC UTILITIES

REVISIONS: 1. DATE: 10/15/03 BY: A.B.L. FOR: 1. TO ADD 1/2" NPT OUTLET TO VALVE BOX.



THE SITE GROUP
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS

1111 Ochsler Road
8900 RAY ROAD
RALEIGH, NORTH CAROLINA 27604
Phone: 919.852.4787
Fax: 919.852.4787
E-Mail: SRN@thesitegroup.net

**TIER II SITE PLANS (ASR-0071-2023) FOR:
KOREAN FIRST BAPTIST
CHURCH OF RALEIGH**

Drawn By: WRR
Checked By: BDM

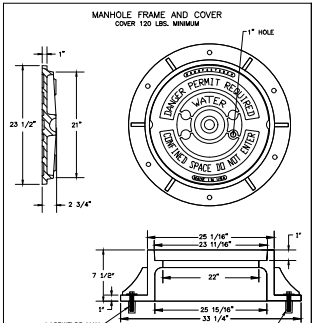
DATE: 23 OCT 2023
REVISED: 11 JAN 2024

ADMINISTRATIVE SITE REVIEW

SITE DETAILS

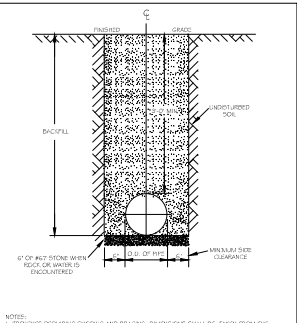
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Dwg No. P.A. 8.2



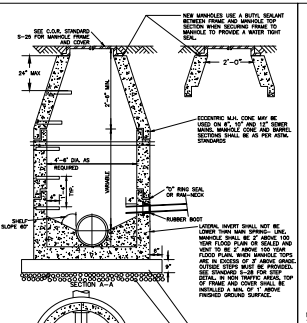
- NOTES:
- 1) ALL MANHOLE FRAMES SHALL BE CONSTRUCTED IN ACCORDANCE WITH S-26.
 - 2) COVER SHALL WEIGH A MIN. OF 120 LBS.
 - 3) FRAME SHALL BE A MINIMUM HEIGHT OF 120 LBS.
 - 4) MANHOLES WITH PAVED SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH S-26.
- 5/8"x12" LASHED IN HOLE DRILLED INTO CONE OR RING WITH ANCHOR SUNK TO DESIGN DEPTH, AND SUPPORT HOT DIPPED GALVANIZED LAG BOLT AND WASHER.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD MANHOLE COVER			
DWG. NO.	REVISIONS	DATE	BY
W-20	1	12-20	BRB



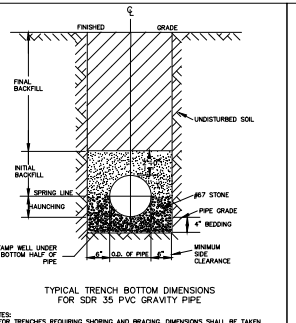
- NOTES:
- 1) TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 - 2) NO ROCKS OR BOLLERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 - 3) ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 - 4) BACKFILL SHALL BE TAMPED IN 4" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
 - 5) ROCKER BARR COMPACTED IN NON-TRAFFIC AREAS, AND SOIL COMPACTED IN TRAFFIC AREAS.
 - 6) IF IN EXISTENT 4" SIGNAL, AND 12" CLEAN SELECT FILL MAY BE REQUIRED.
 - 7) NO BOLLERS 8" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD PRECAST SANITARY SEWER MANHOLE			
DWG. NO.	REVISIONS	DATE	BY
W-3	1	12-20	BRB



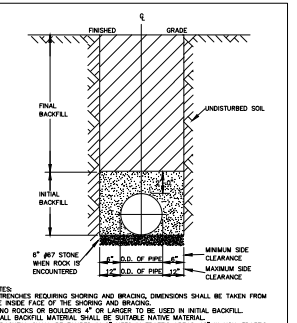
- NOTES:
- 1) TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 - 2) NO ROCKS OR BOLLERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 - 3) ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 - 4) BACKFILL SHALL BE TAMPED IN 4" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
 - 5) ROCKER BARR COMPACTED IN NON-TRAFFIC AREAS, AND SOIL COMPACTED IN TRAFFIC AREAS.
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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD PRECAST SANITARY SEWER MANHOLE			
DWG. NO.	REVISIONS	DATE	BY
W-3	1	12-20	BRB



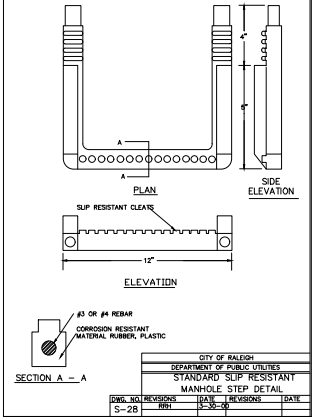
- NOTES:
- 1) TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN			
DWG. NO.	REVISIONS	DATE	BY
W-5	1	12-20	BRB



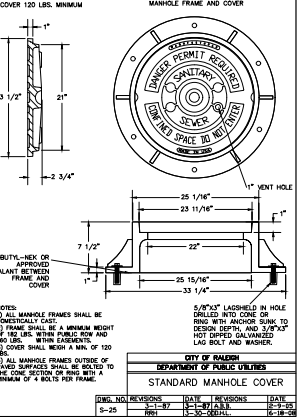
- NOTES:
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 - 6) IF IN EXISTENT 4" SIGNAL, AND 12" CLEAN SELECT FILL MAY BE REQUIRED.
 - 7) NO BOLLERS 8" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR DUCTILE IRON			
DWG. NO.	REVISIONS	DATE	BY
W-4	1	12-20	BRB



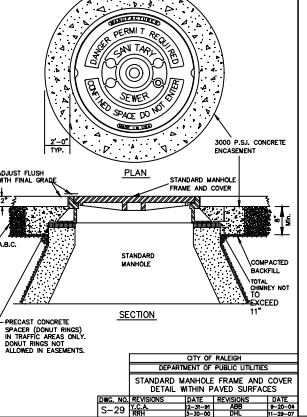
- NOTES:
- 1) ALL MANHOLE FRAMES SHALL BE CONSTRUCTED IN ACCORDANCE WITH S-26.
 - 2) COVER SHALL WEIGH A MIN. OF 120 LBS.
 - 3) FRAME SHALL BE A MINIMUM HEIGHT OF 120 LBS.
 - 4) MANHOLES WITH PAVED SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH S-26.
- 5/8"x12" LASHED IN HOLE DRILLED INTO CONE OR RING WITH ANCHOR SUNK TO DESIGN DEPTH, AND SUPPORT HOT DIPPED GALVANIZED LAG BOLT AND WASHER.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD MANHOLE COVER			
DWG. NO.	REVISIONS	DATE	BY
W-20	1	12-20	BRB



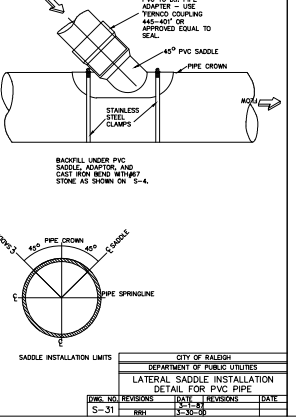
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 - 2) COVER SHALL WEIGH A MIN. OF 120 LBS.
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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD MANHOLE COVER			
DWG. NO.	REVISIONS	DATE	BY
W-20	1	12-20	BRB



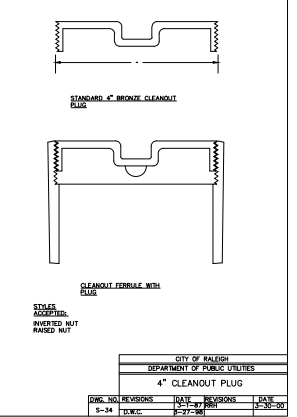
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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD MANHOLE FRAME AND COVER DETAIL WITH PAVED SURFACES			
DWG. NO.	REVISIONS	DATE	BY
W-29	1	12-20	BRB



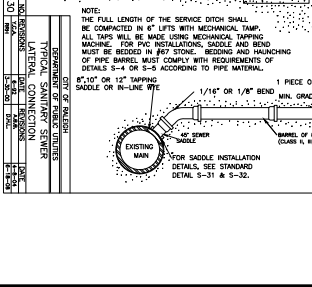
- NOTES:
- 1) ALL MANHOLE FRAMES SHALL BE CONSTRUCTED IN ACCORDANCE WITH S-26.
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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE			
DWG. NO.	REVISIONS	DATE	BY
W-31	1	12-20	BRB



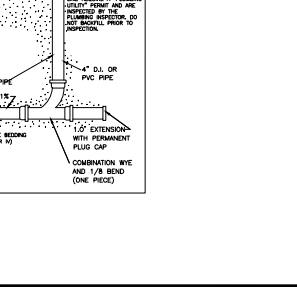
- NOTES:
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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES 4\"/>			
DWG. NO.	REVISIONS	DATE	BY
W-34	1	12-20	BRB



- NOTES:
- 1) ALL MANHOLE FRAMES SHALL BE CONSTRUCTED IN ACCORDANCE WITH S-26.
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 - 3) FRAME SHALL BE A MINIMUM HEIGHT OF 120 LBS.
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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD MANHOLE COVER			
DWG. NO.	REVISIONS	DATE	BY
W-20	1	12-20	BRB



- NOTES:
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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD MANHOLE COVER			
DWG. NO.	REVISIONS	DATE	BY
W-20	1	12-20	BRB



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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD MANHOLE FRAME AND COVER DETAIL WITH PAVED SURFACES			
DWG. NO.	REVISIONS	DATE	BY
W-29	1	12-20	BRB



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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE			
DWG. NO.	REVISIONS	DATE	BY
W-31	1	12-20	BRB



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CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES 4\"/>			
DWG. NO.	REVISIONS	DATE	BY
W-34	1	12-20	BRB

THE SITE GROUP
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
1111 Ochsler Road
8000 RAY ROAD
RALEIGH, NORTH CAROLINA 27617
P: 919.850.4787
F: 919.850.4787
E: info@thesitegroup.net

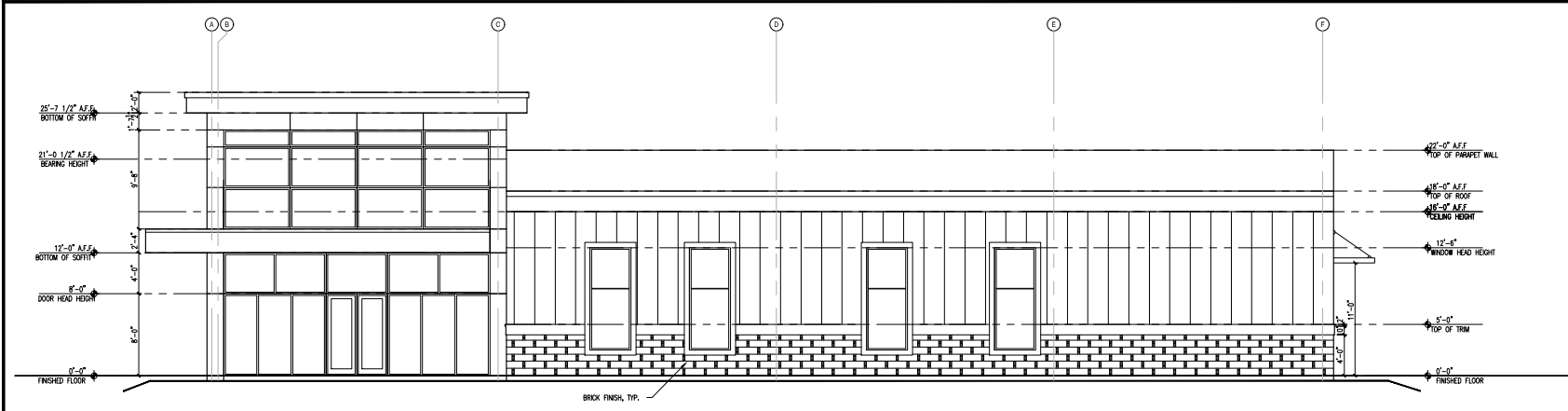
Drawn By: WRR
Checked By: BDM
DATE: 23 OCT 2023
REVISED: 11 JAN 2024

ADMINISTRATIVE SITE REVIEW

SITE DETAILS

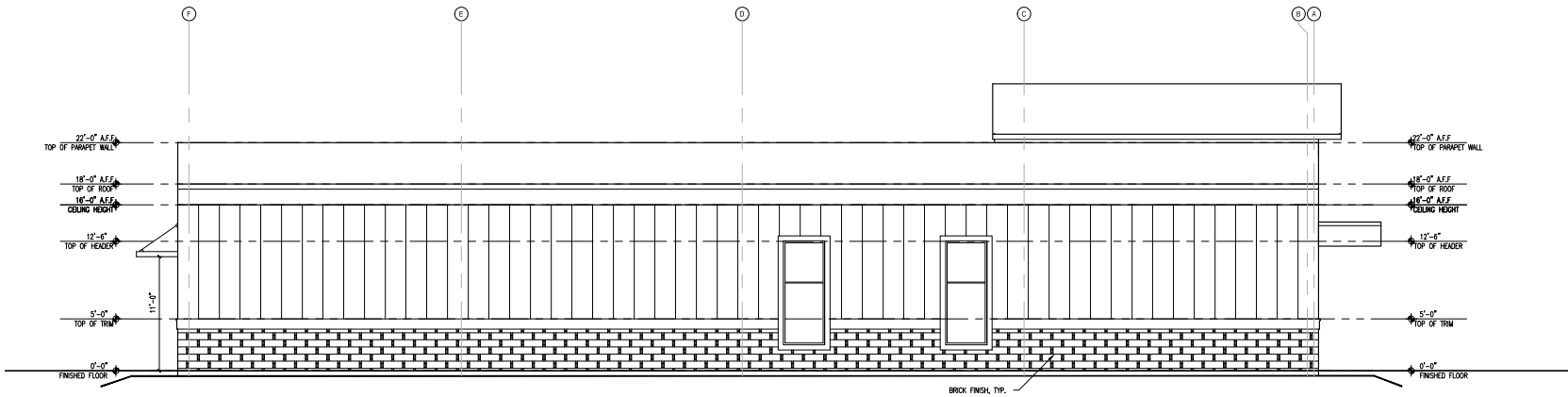
Job Code: KFCBRR
Dwg No.: P.A. 8.3

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SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



NORTH ELEVATION

SCALE: 3/16" = 1'-0"

PROFESSIONAL SEAL:

NOT VALID WITHOUT RAISED SEAL AND ORIGINAL SIGNATURE
ENGINEER CERTIFIES STRUCTURAL DESIGN ONLY



PROJECT: FKBC CHURCH

JOB NUMBER: 23-1000

DRAWING BY:

DATE: 08/24/2023

SCALE: AS NOTED

PROJECT NAME:

FKBC Church
8905 Ray Rd #1234, Raleigh
NC 27613

County Comments:

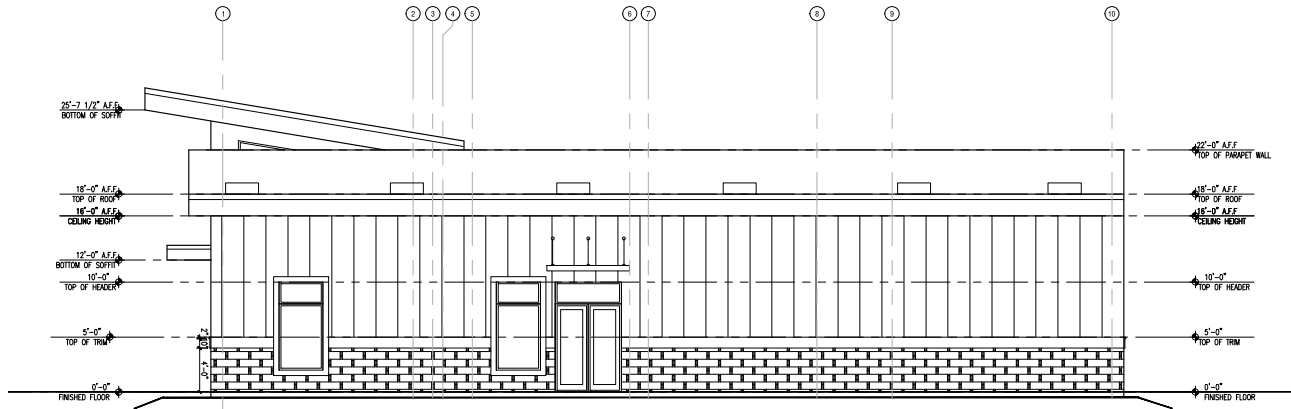
No.	Date	Description

SHEET TITLE:

ELEVATIONS

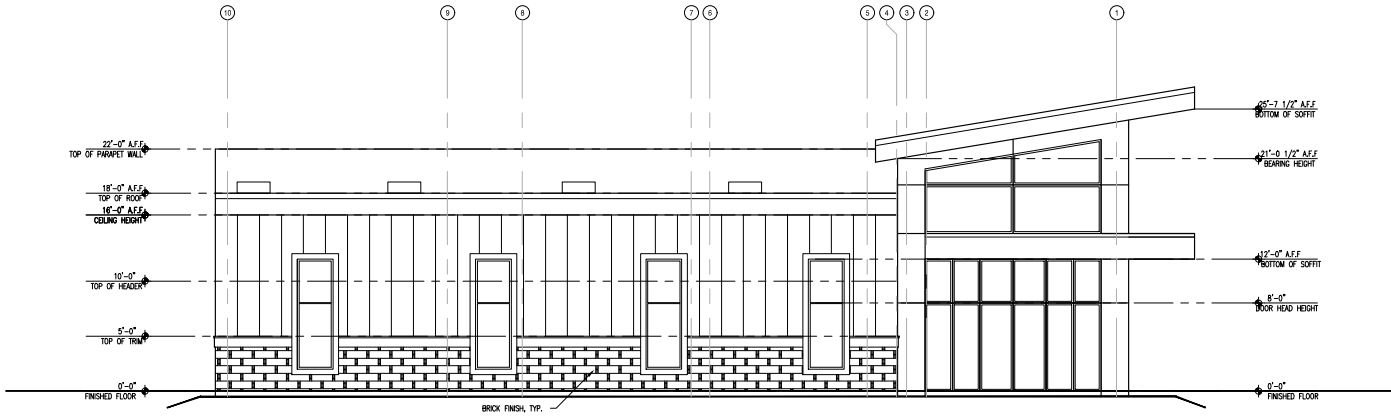
SHEET NUMBER:

A5



EAST ELEVATION

SCALE: 3/16" = 1'-0"



WEST ELEVATION

SCALE: 3/16" = 1'-0"

PROFESSIONAL SEAL:

NOT VALID WITHOUT RAISED SEAL AND ORIGINAL SIGNATURE
ENGINEER CERTIFIES STRUCTURAL DESIGN ONLY



PROJECT: FKBC CHURCH

JOB NUMBER: 23-1000

DRAWING BY:

DATE: 08/24/2023

SCALE: AS NOTED

PROJECT NAME:

FKBC Church
8905 Ray Rd #1234, Raleigh
NC 27613

County Comments:

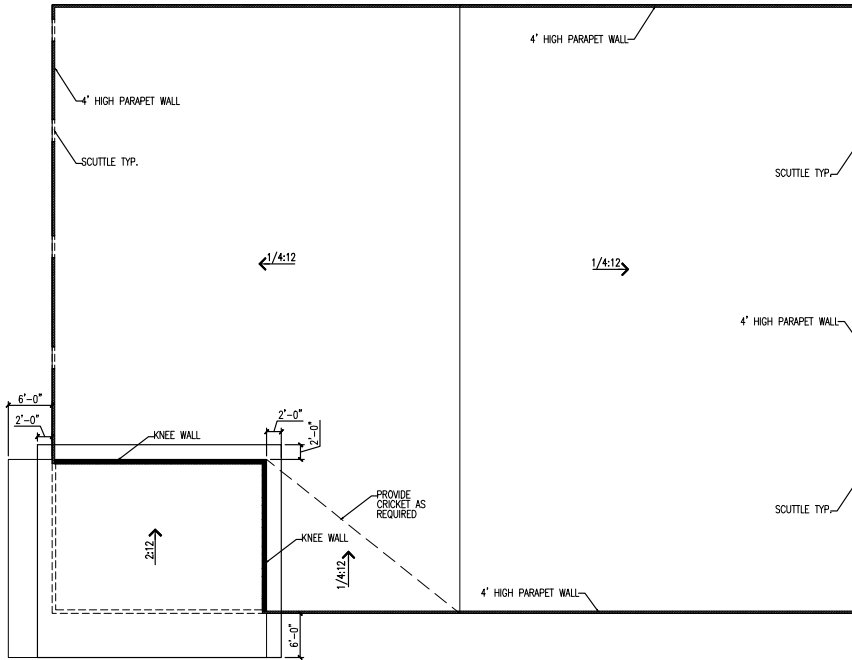
No.	Date	Description

SHEET TITLE:

ELEVATIONS

SHEET NUMBER:

A6



ROOF PLAN
SCALE: 1/8" = 1'-0"

PROFESSIONAL SEAL:

NOT VALID WITHOUT RAISED SEAL AND ORIGINAL SIGNATURE
ENGINEER CERTIFIES STRUCTURAL DESIGN ONLY



PROJECT: FKBC CHURCH

JOB NUMBER: 23-1000

DRAWING BY:

DATE: 08/24/2023

SCALE: AS NOTED

PROJECT NAME:

FKBC Church
8905 Ray Rd #1234, Raleigh
NC 27613

County Comments:

No.	Date	Description

SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A7