

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

## GENERAL INFORMATION

Development name: \_\_\_\_\_

Inside City limits? Yes  No

Property address(es): \_\_\_\_\_

Site P.I.N.(s): \_\_\_\_\_

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Current Property Owner(s):

Company: \_\_\_\_\_ Title: \_\_\_\_\_

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

### Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner:  Lessee or contract purchaser  Owner’s authorized agent  Easement holder

Company: \_\_\_\_\_ Address: \_\_\_\_\_

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

**STORMWATER INFORMATION**

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

**APPLICANT SIGNATURE BLOCK**

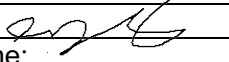
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	





POST OFFICE BOX 91727  
RALEIGH, NORTH CAROLINA 27675  
PHONE: 919.610.1051  
FIRM NC LICENSE NUMBER C-4222

RIGHT-OF-WAY OBSTRUCTION NOTES

- 1. LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. RIGHTOFWAYSERVICES@RALEIGHNC.GOV FOR APPROVAL.
2. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
3. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
4. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
5. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
6. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

NOTES

- 1. SOLID WASTE INSPECTIONS STATEMENT: THE DEVELOPER HAS REVIEWED AND IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. A PRIVATE HAULER WILL HANDLE TRASH NEEDS THROUGH USE OF PROPOSED DUMPSTER.
2. COMMON AREAS WILL BE OWNED AND MAINTAINED BY PRIVATE MANAGEMENT COMPANY.

REVISION HISTORY

Table with columns: REV #, DESCRIPTION, DATE, BY. Contains multiple empty rows for revision tracking.

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR PERMITTING
DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
0 1"
IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

KENT MULTI-FAMILY
ASR-XXXX-2024

1111, 1113, 1115 KENT ROAD
RALEIGH, NC 27606

A SQUARED LLC

DATE: 07-17-2024

SCALE: AS SHOWN

DESIGNED BY: FLM

APPROVED BY: FLM

PROJECT NO.: 24005

COVER

C-1

SHEET 1 OF 8

Table with columns: SHEET, TITLE. Lists sheets C-1 through A-2.1 with titles like COVER, EXISTING CONDITIONS, SITE PLAN, etc.

ENGINEER OF RECORD:

FLM ENGINEERING, INC
CONTACT: CHASE MASSEY, PE
PO BOX 91727
RALEIGH, NC 27675
919.423.8975
CMASSEY@FLMENGINEERING.COM

DEVELOPER:

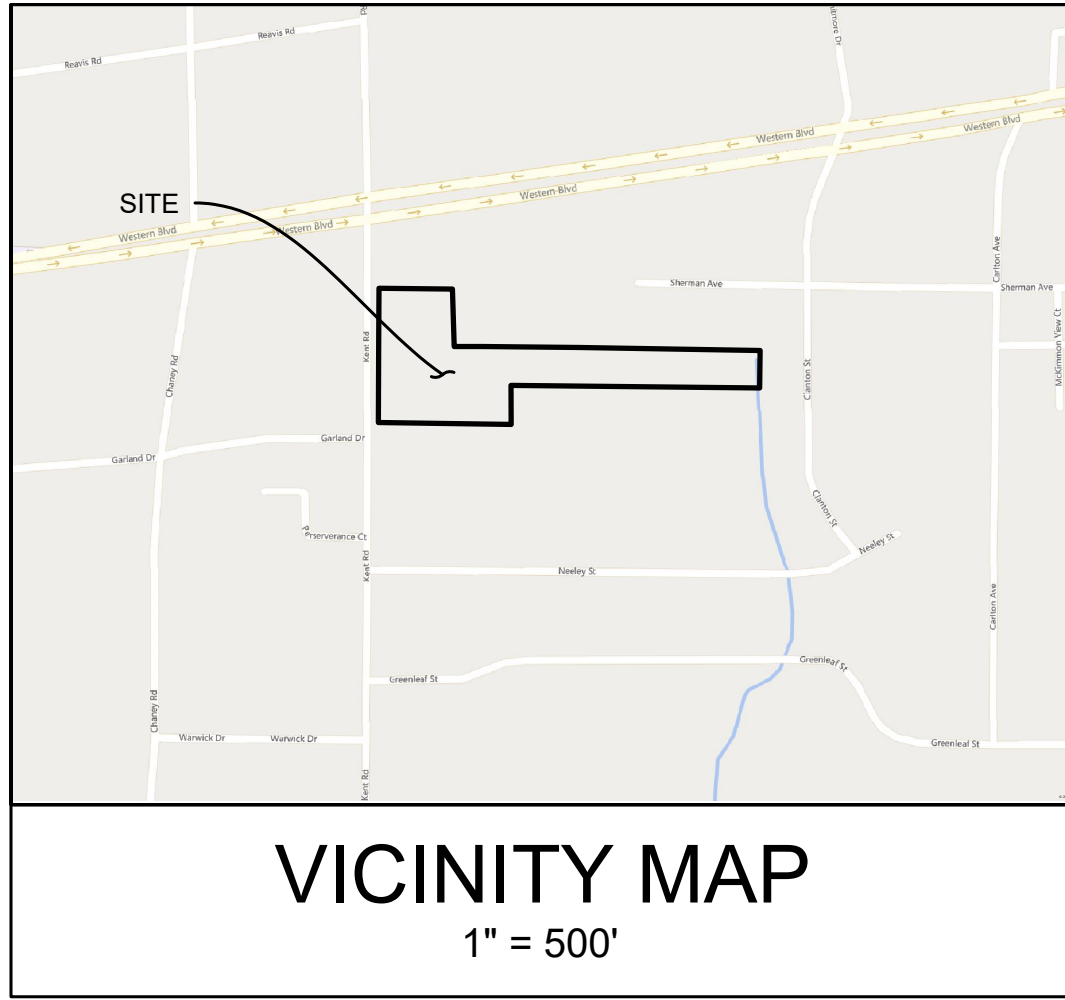
A SQUARED LLC
CONTACT: A.J. STILLITTANO
1410 HILLSBOROUGH STREET
RALEIGH, NC 27605
919.623.7719
AJ\_STILLITTANO@HOTMAIL.COM

ADMINISTRATIVE SITE PLANS
FOR
KENT MULTI-FAMILY

1111, 1113 & 1115 KENT ROAD
RALEIGH, NORTH CAROLINA 27606

PINS: 0794-00-9149, 0794-10-2096 & 0793-09-9995

ASR-00XX-2024



Administrative Site Review Application form, section 2. Includes fields for site plan tier, building and development type, general information, and applicant details.

Form sections 3 and 4. Includes DEVELOPMENT TYPE + SITE DATA TABLE, STORMWATER INFORMATION, and RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS.

Form section 4. Includes APPLICANT SIGNATURE BLOCK with fields for signature, printed name, and date.

CALL 48 HOURS BEFORE YOU DIG
North Carolina 811
www.nc811.org
NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949







**LEGEND**

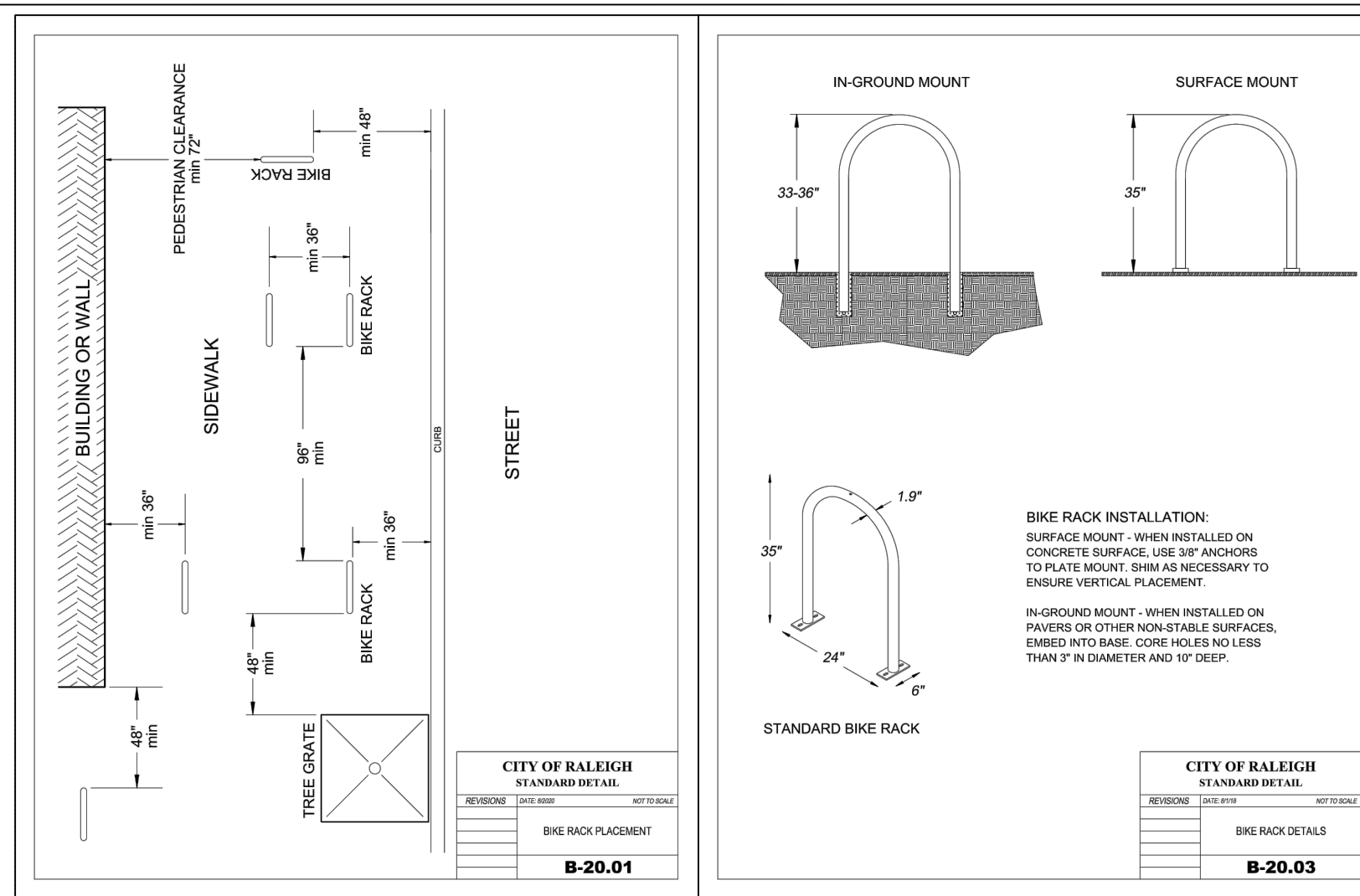
Table with 2 columns: Symbol and Description. Symbols include solid lines for property lines, dashed lines for easements, and hatched areas for amenity and tree conservation.

**NOTES**

- 1. DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
3. ALL CURB RAMP TO BE N-3 STYLE CURB RAMP.
4. ALL PRIVATE STORM DRAINAGE EASEMENTS & STORMWATER MEASURES WILL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.
5. ALL MECHANICAL UNITS TO BE SCREENED UDO 7.2.5 D.

**SIGHT TRIANGLE NOTES**

- 1. LEFT- AND RIGHT- TURN SIGHT LINES BASED ON INTERSECTION SIGHT DISTANCE FOR AN AVENUE 2 LANE UNDIVIDED WITH A SPEED LIMIT OF 30 MPH.
2. WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO OBSTRUCTING OR PARTY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
3. DRIVER'S EYE LOCATION MEASURED 15' FROM EDGE OF PAVEMENT.



SUMMARY INFORMATION
DEVELOPMENT NAME: KENT MULTI-FAMILY
SITE ADDRESS: 1111, 1113, & 1115 KENT DRIVE
PIN NUMBER(S): 0794-00-9149, 0794-10-2096, 0793-09-9995
TOTAL ACREAGE: 3.74 AC (162862 SF)
LESS RW DEDICATION: 0.02 AC (963 SF)
NET AREA: 3.72 AC (161899 SF)
EXISTING USE: SINGLE FAMILY
PROPOSED USE: MULTI-FAMILY
JURISDICTION: CITY OF RALEIGH
CURRENT ZONING DISTRICT: R-10
OVERLAY DISTRICT: SRPOD
PROPOSED UNITS: 51
BUILDING SETBACKS: PRIMARY STREET: 10', SIDE STREET: 10', SIDE LOT LINE: 5', REAR LOT LINE: 20'
PARKING SETBACKS: PRIMARY STREET: 10', SIDE STREET: 10', SIDE/REAR LOT LINE: 0', REAR LOT LINE: 3'



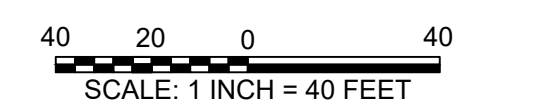
POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY

Table with 4 columns: REV #, DESCRIPTION, DATE, BY. Contains one revision entry.

ORIGINAL PLAN SIZE: 24" X 36"

ISSUED FOR PERMITTING
DO NOT USE FOR CONSTRUCTION



SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

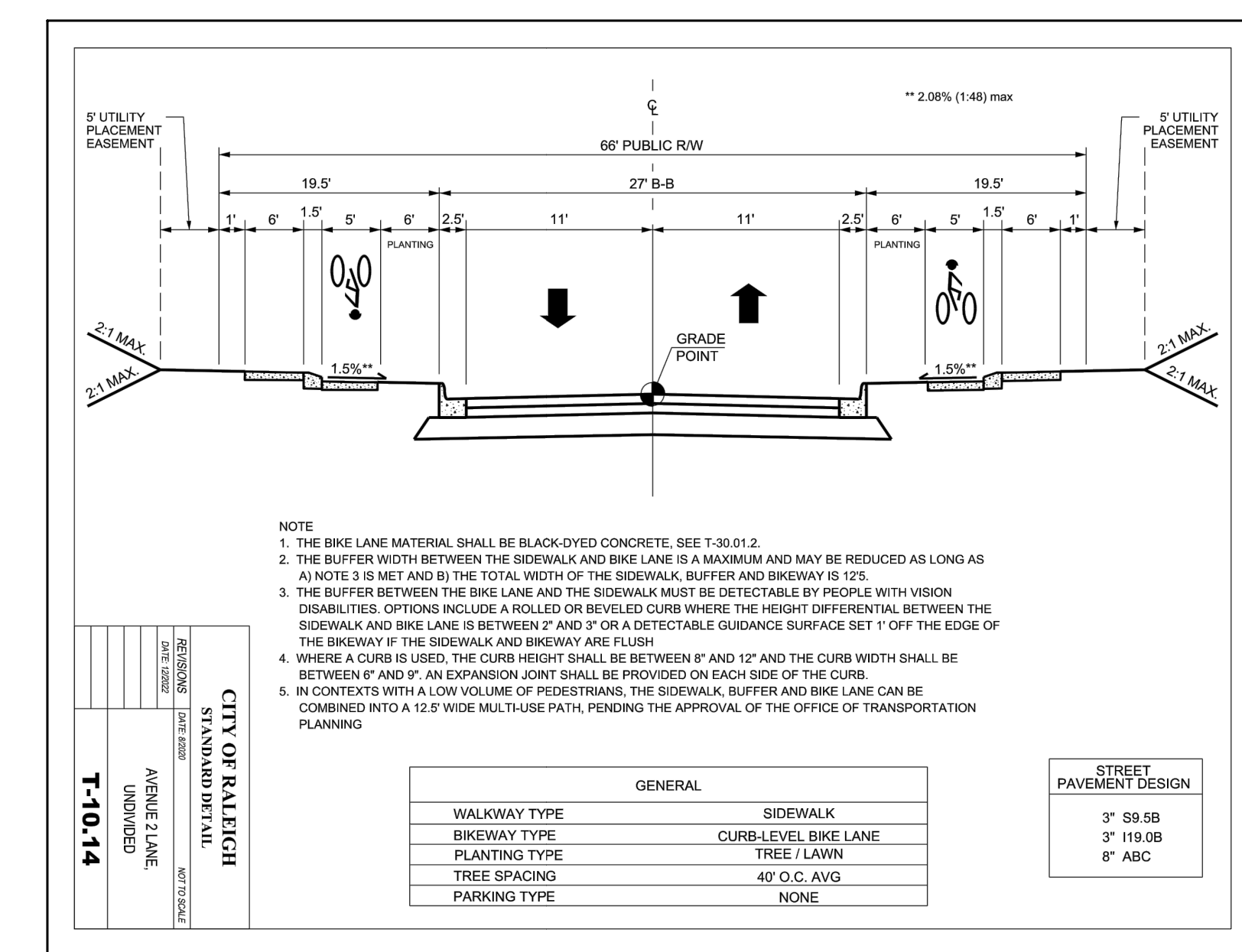
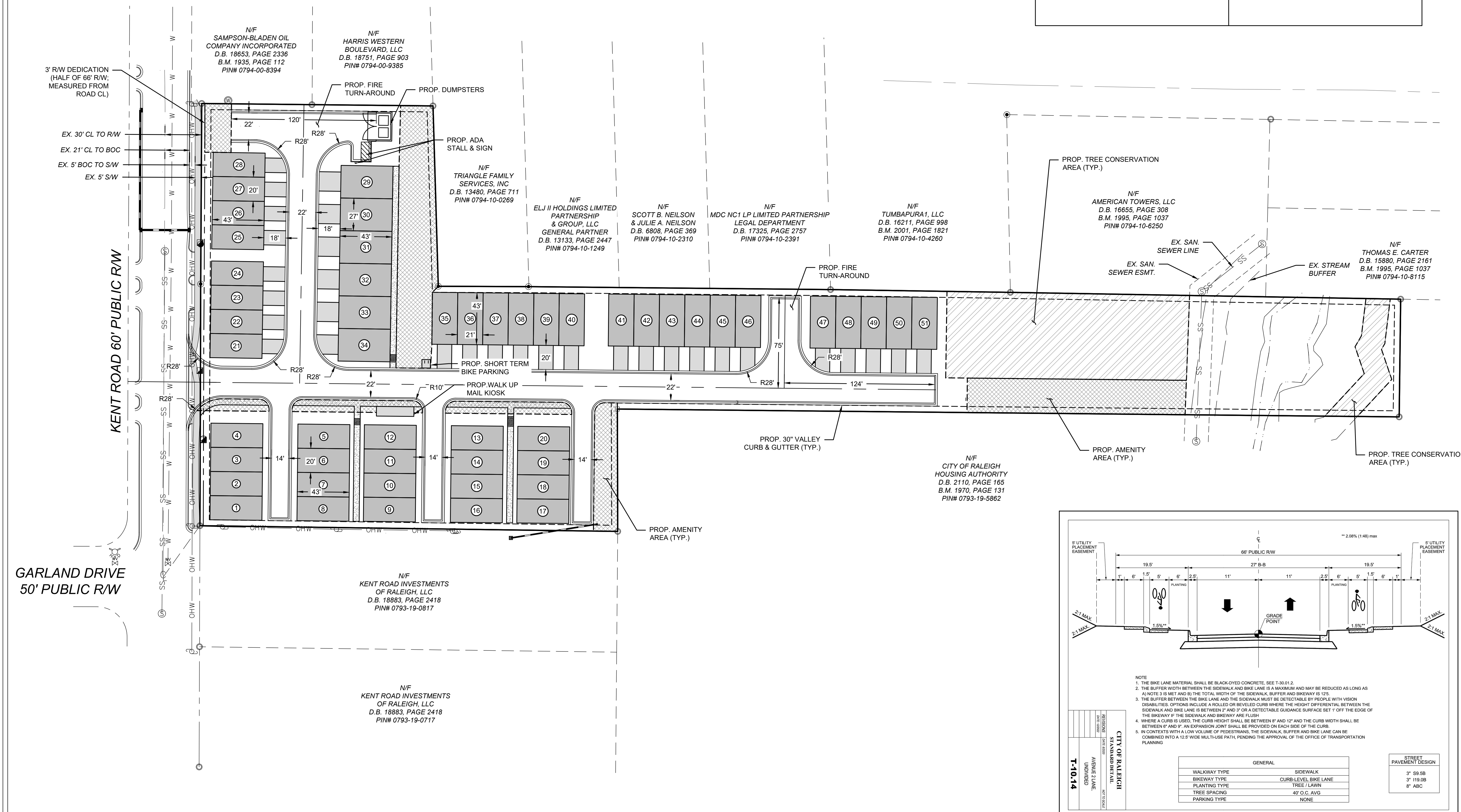
KENT MULTI-FAMILY
ASR-XXXX-2024
1111, 1113, 1115 KENT ROAD
RALEIGH, NC 27606

A SQUARED LLC

Table with 2 columns: Field Name and Value. Fields include DATE (07-17-2024), SCALE (AS SHOWN), DESIGNED BY (FLM), APPROVED BY (FLM), PROJECT NO. (24005).

SITE PLAN

C-3
SHEET 3 OF 8



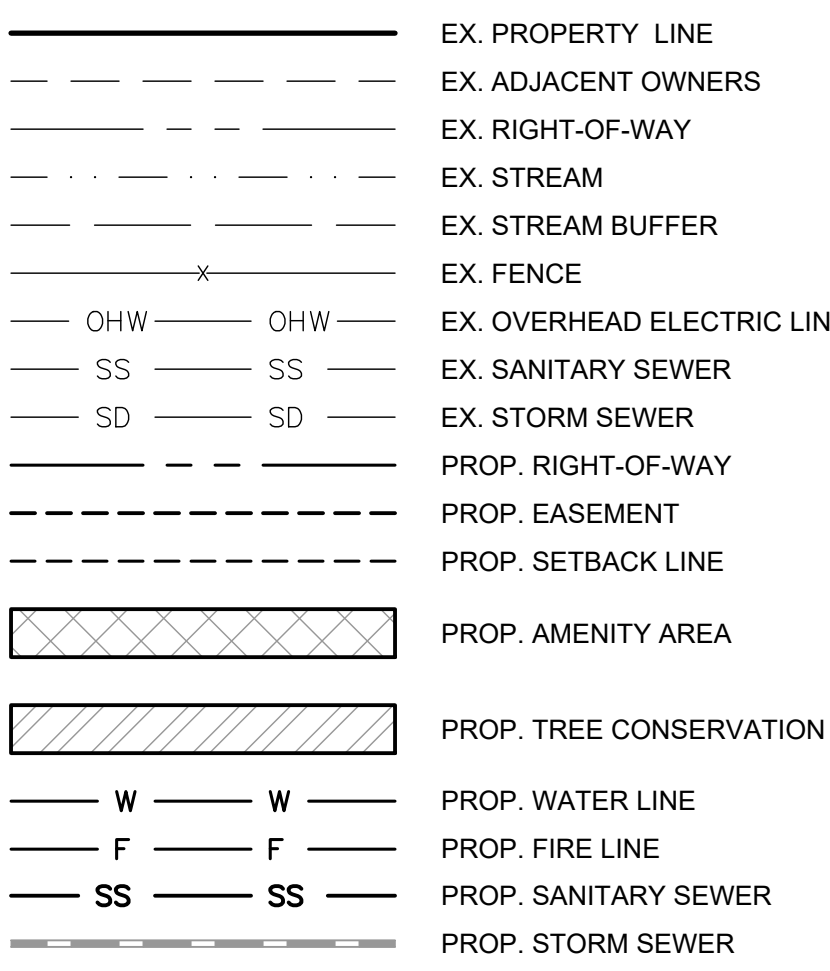
- NOTE
1. THE BIKE LANE MATERIAL SHALL BE BLACK-GYED CONCRETE, SEE T-3001.2.
2. THE BUFFER WIDTH BETWEEN THE SIDEWALK AND BIKE LANE IS A MAXIMUM AND MAY BE REDUCED AS LONG AS A) NOTE 3 IS MET AND B) THE TOTAL WIDTH OF THE SIDEWALK BUFFER AND BIKEWAY IS 2'.
3. THE BUFFER BETWEEN THE BIKE LANE AND THE SIDEWALK MUST BE DETECTABLE BY PEOPLE WITH VISION DISABILITIES. OPTIONS INCLUDE A ROLLED OR BEVELED CURB WHERE THE HEIGHT DIFFERENTIAL BETWEEN THE SIDEWALK AND BIKE LANE IS BETWEEN 2" AND 3" OR A DETECTABLE GUIDANCE SURFACE SET 1" OFF THE EDGE OF THE BIKEWAY IF THE SIDEWALK AND BIKEWAY ARE FLUSH.
4. WHERE A CURB IS USED, THE CURB HEIGHT SHALL BE BETWEEN 8" AND 12" AND THE CURB WIDTH SHALL BE BETWEEN 8" AND 9". AN EXPANSION JOINT SHALL BE PROVIDED ON EACH SIDE OF THE CURB.
5. IN CONTEXTS WITH A LOW VOLUME OF PEDESTRIANS, THE SIDEWALK, BUFFER AND BIKE LANE CAN BE COMBINED INTO A 12' WIDE MULTI-USE PATH, PENDING THE APPROVAL OF THE OFFICE OF TRANSPORTATION PLANNING

Table with 2 columns: GENERAL and SIDEWALK. Rows include WALKWAY TYPE, BIKEWAY TYPE, PLANTING TYPE, TREE SPACING, PARKING TYPE.

Table with 2 columns: STREET PAVEMENT DESIGN and Value. Rows include 3" SB, 3" AB, 8" ABC.



LEGEND

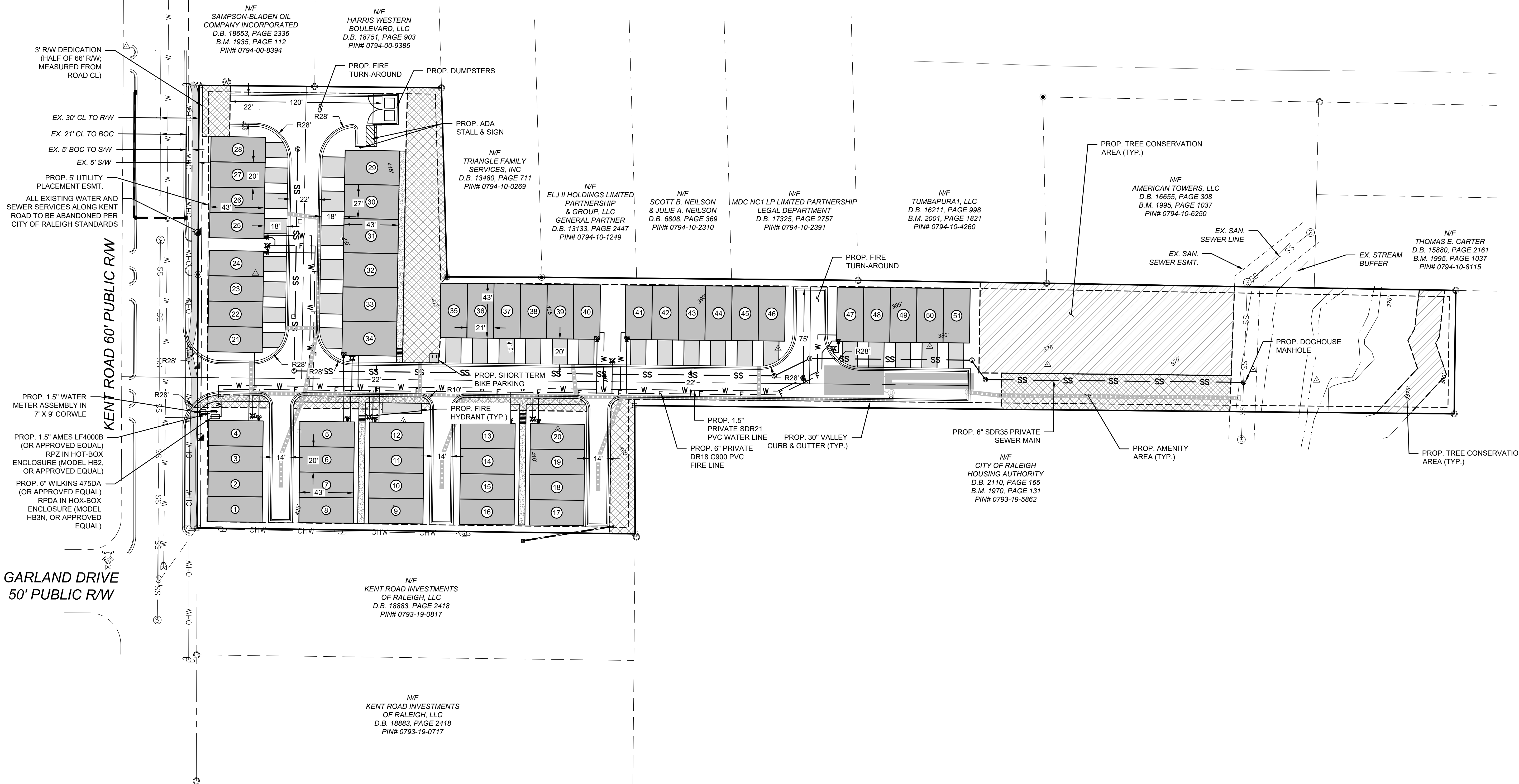


CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL OR 50" FROM A PUBLIC WELL.
    - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMANS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR
- PRIOR TO ISSUANCE OF A BUILDING PERMIT, CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION.

NOTES

- DOMESTIC WATER, FIRE, AND SANITARY SEWER SERVICES SHALL BE COORDINATED WITH PLUMBING PLANS.
- ALL SANITARY SEWER CLEAN-OUTS WITHIN PAVEMENT SHALL BE TRAFFIC BEARING AND INSTALLED WITH A STANDARD WATER-TIGHT CLEAN-OUT PLUG WITHIN THE CAST IRON VALVE BOX WITH A CAST IRON LID INDICATING "SEWER".
- ALL PARTS OF ALL BUILDINGS AS SHOWN ARE LOCATED WITHIN 300' OF A FIRE HYDRANT MEASURED BY THE PULL-THE-HOSE METHOD.
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

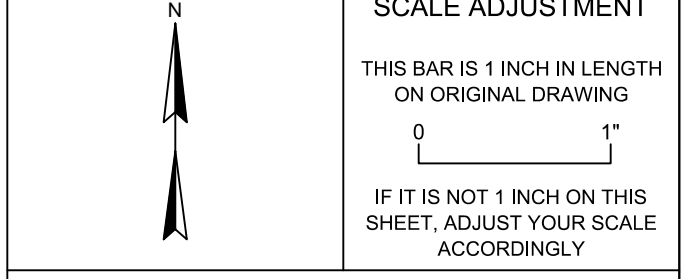
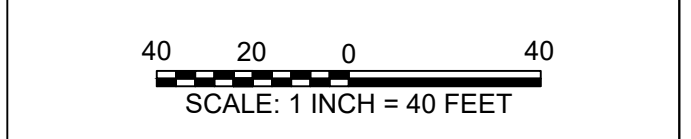


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REVISION HISTORY			
REV #	DESCRIPTION	DATE	BY

ORIGINAL PLAN SIZE: 24" X 36"

**ISSUED FOR PERMITTING**  
 DO NOT USE FOR CONSTRUCTION



**KENT MULTI-FAMILY**  
 ASR-XXXX-2024  
 1111, 1113, 1115 KENT ROAD  
 RALEIGH, NC 27606

A SQUARED LLC

DATE:	07-17-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24005

UTILITY PLAN  
**C-4**  
 SHEET 4 OF 8

© 2024 THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION OF FLM ENGINEERING, INC.









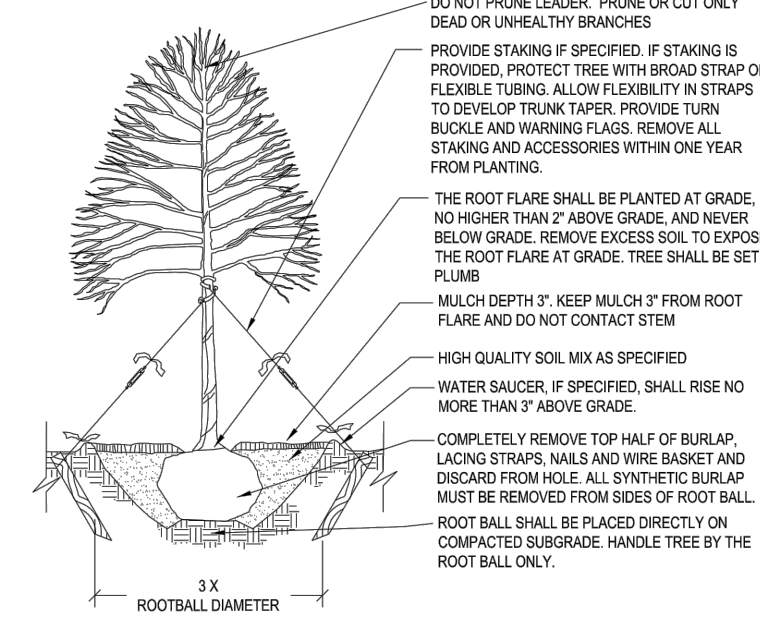


**LEGEND**

	EX. PROPERTY LINE
	EX. ADJACENT OWNERS
	EX. RIGHT-OF-WAY
	EX. STREAM
	EX. STREAM BUFFER
	EX. FENCE
	EX. OVERHEAD ELECTRIC LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	PROP. RIGHT-OF-WAY
	PROP. EASEMENT
	PROP. SETBACK LINE
	PROP. AMENITY AREA
	PROP. TREE CONSERVATION AREA
	PROP. WATER LINE
	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. SHADE TREE
	PROP. UNDERSTORY TREE

**LANDSCAPING CALCULATIONS**

**STREET TREES (KENT ROAD)**  
 REQUIREMENTS:  
 PROVIDE CANOPY STREET TREES @ 40 FEET ON CENTER  
 PROVIDED:  
 15 UNDERSTORY TREES @ 20 FEET ON CENTER



NOTES:  
 1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PITS)  
 2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.  
 3. STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A MINIMUM FIRST BRANCH HEIGHT.  
 4. PLANTING SEASON: OCTOBER - APRIL  
 5. A TREE IMPACT PERMIT IS REQUIRED.  
 6. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CITY OF RALEIGH  
 STICK AND DETAIL  
 TREE PLANTING DETAIL  
**TPP-03**

**LANDSCAPING NOTES**

- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH TPP-03 CITY DETAIL BETWEEN OCT 1 AND APRIL 30. A LANDSCAPE AGREEMENT IS NEEDED IF CO IS REQUIRED OUTSIDE OF THE PLANTING WINDOW. CONTACT THE URBAN FORESTRY INSPECTOR WITH QUESTIONS.

LUMINAIRE SCHEDULE				
SYMBOL	DESCRIPTION	LAMP	HEIGHT (FT)	QUANTITY
	ATBO SERIES 47W LED 700MA TYPE 3 400 K	(1) LED	25	13

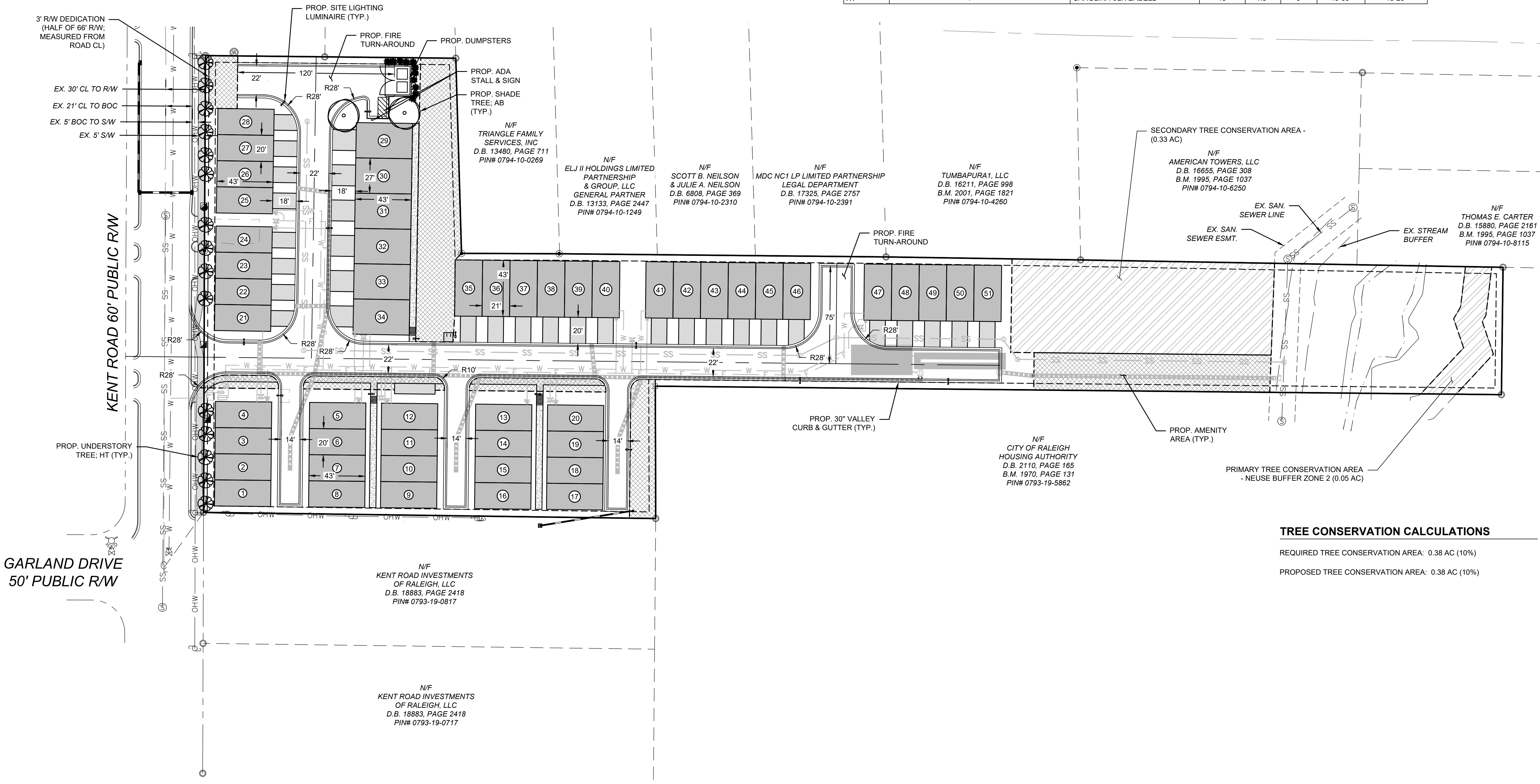
\*APPROVED EQUALS ACCEPTED  
 \*\*HEIGHT IS FROM BOTTOM OF BASE TO TOP OF FIXTURE

**LIGHTING NOTES**

- THE MINIMUM LIGHT LEVEL OF ANY FIXTURE CANNOT EXCEED 0.5 FOOTCANDLE MEASURED AT THE PROPERTY LINE OF ANY RESIDENTIAL DISTRICT AND 2.0 FOOTCANDLES MEASURED AT THE RIGHT-OF-WAY LINE OF A STREET.
- LIGHTING MUST NOT BE ORIENTED SO AS TO DIRECT GLARE OR EXCESSIVE ILLUMINATION ONTO ADJACENT PROPERTIES, STREETS, OR SIDEWALKS.
- SERVICE CONNECTIONS TO ALL FREESTANDING LIGHTING FIXTURES MUST BE INSTALLED UNDERGROUND.
- THE INTENT OF THIS DRAWING IS TO SHOW FOOT CANDLE LEVELS BASED ON FIXTURES SHOWN. LIGHT LEVELS MAY VARY BASED ON ACTUAL FIXTURE INSTALLED.
- THIS IS A SITE LIGHTING CALCULATION PLAN ONLY AND DOES NOT PROVIDE ELECTRICAL CONNECTIONS FOR FIXTURES SHOWN. SITE DEVELOPERS (OWNERS, BUILDERS, AND GENERAL CONTRACTORS) ARE RESPONSIBLE FOR COORDINATING WITH BUILDING ELECTRICAL CONTRACTOR OR POWER COMPANY FOR POWER CONNECTIONS FOR ALL FIXTURES.
- BUILDING, WALL, AND OTHER LIGHTING SHALL BE BY OWNER.
- ALL SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF RALEIGH UDO.

**PLANT LIST**

KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL.	HT.	MATURE HT.	MATURE CROWN
<b>SHADE TREES</b>							
AB	ACER BUERGERIANUM	TRIDENT MAPLE	2	3"	10'	35'	30'
<b>UNDERSTORY TREES (SINGLE STEM)</b>							
HT	HALESIA TETRAPERA, H. CAROLINA	CAROLINA SLIVERBELL	15	1.5"	6'	15-35'	15-25'



POST OFFICE BOX 91727  
 RALEIGH, NORTH CAROLINA 27675  
 PHONE: 919.610.1051  
 FIRM NC LICENSE NUMBER C-4222

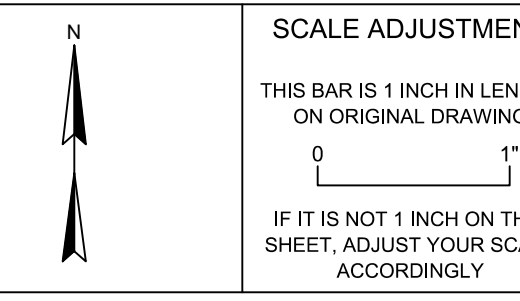
**REVISION HISTORY**

REV #	DESCRIPTION	DATE	BY

ORIGINAL PLAN SIZE: 24" X 36"

**ISSUED FOR PERMITTING**  
 DO NOT USE FOR CONSTRUCTION

40 20 0 40  
 SCALE: 1 INCH = 40 FEET



**KENT MULTI-FAMILY ASR-XXXX-2024**

1111, 1113, 1115 KENT ROAD  
 RALEIGH, NC 27606

A SQUARED LLC

DATE:	07-17-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24005

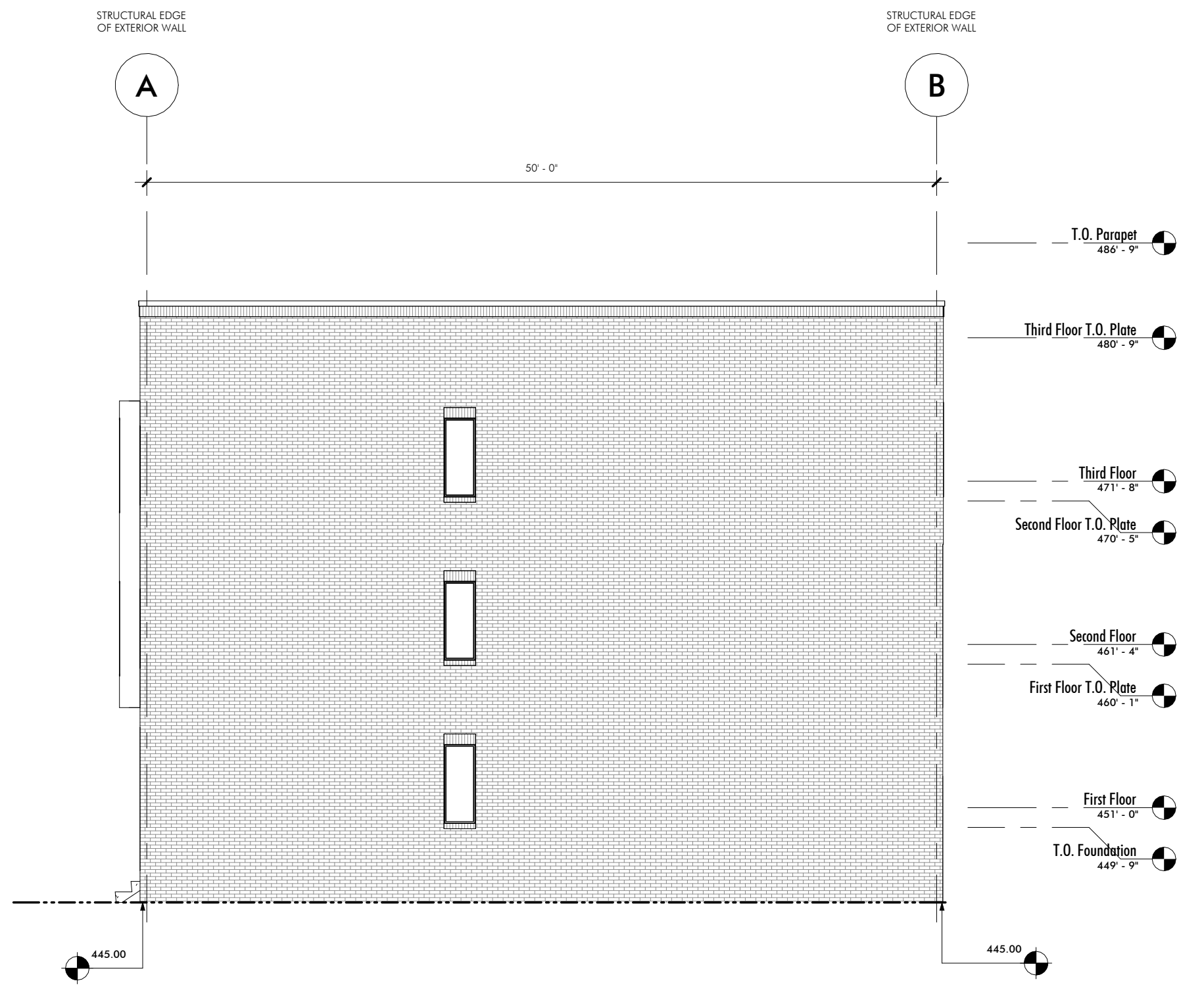
LANDSCAPE PLAN

**C-7**  
 SHEET 7 OF 8





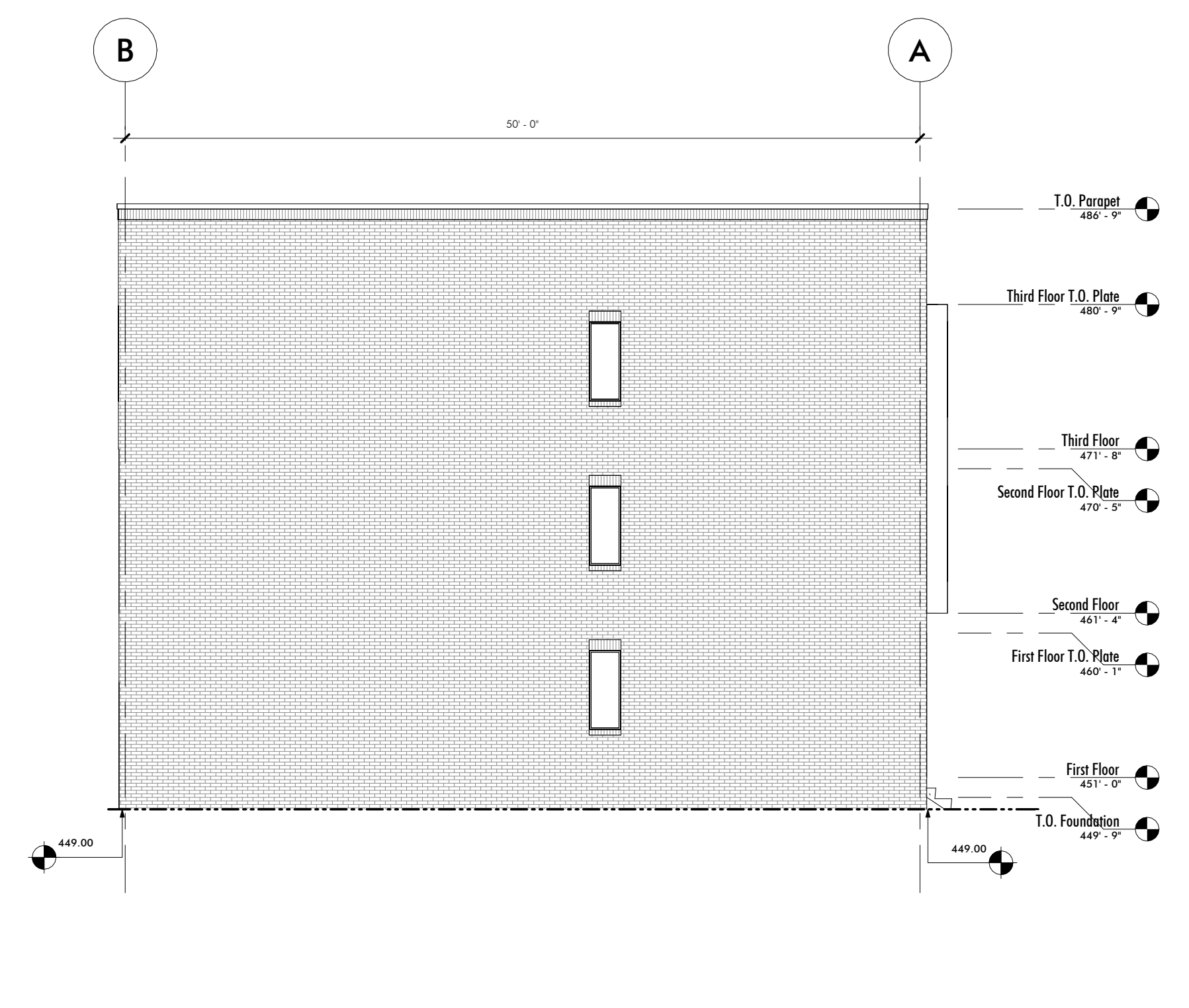
1 Front Elevation  
 1/8" = 1'-0"



2 Right Elevation  
 1/8" = 1'-0"



3 Rear Elevation  
 1/8" = 1'-0"



4 Left Elevation  
 1/8" = 1'-0"

PROJECT: Units 33 - 37, Blue Ridge Brownstones  
 FOR: A Squared, LLC

PROJECT NUMBER: 24-010  
 DATE: 06-07-24  
 PHASE: Administrative Site Review  
 SCALE: 1/8" = 1'-0"

REVISIONS:	NO.	ISSUE	DATE