

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Building Type		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Apartment	Open lot	Certificate of Appropriateness #: _____
Townhouse	Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: _____		
Inside City limits? Yes No		
Property address(es): _____		
Site P.I.N.(s): _____		
Please describe the scope of work. Include any additions, expansions, and change of use. 		
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.		
Company: _____		Title: _____
Address: _____		
Phone #: _____	Email: _____	
Applicant Name: _____		
Company: _____		Address: _____
Phone #: _____	Email: _____	

DEVELOPMENT TYPE + SITE DATA TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0 sf
	Existing gross floor area to be demolished: 0 sf
Gross site acreage: 1.995 ac	New gross floor area: 8,790 sf
# of parking spaces required: 6	Total sf gross (to remain and new): 8,790 sf
# of parking spaces proposed: 8	Proposed # of buildings: 1
Overlay District (if applicable): NA	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Light Industrial	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.00 Square Feet: _____	Proposed Impervious Surface: Acres: 0.94 Square Feet: _____
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: 3720173300J	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

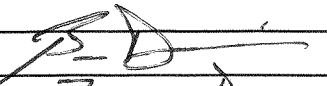
RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

I hereby designate BOBBITT DESIGN BUILD to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: 	Date: 9/23/2021
Printed Name: BRIAN DENISON	



BLOCK PERIMETER NOTE:

1. THE BLOCK IN WHICH THIS PARCEL IS LOCATED DOES NOT MEET THE BLOCK PERIMETER REQUIREMENTS PER UDO SEC. 8.3.2.A. HOWEVER, PER TC-6-19, COMPLIANCE WITH BLOCK PERIMETER REQUIREMENT IS NOT REQUIRED PER SECTION 1.A.1.b.i. THE SITE TO BE DEVELOPED IS BELOW THE MINIMUM APPLICABLE SITE AREA ESTABLISHED IN THE TABLE FOUND IN SEC. 8.3.2.A.2.b. MINIMUM APPLICABLE SITE AREA FOR IX ZONING = 9 ACRES
TOTAL SITE AREA = 1.995 AC

CROSS-ACCESS NOTE:

CROSS-ACCESS REQUIREMENTS AS DESCRIBED IN UDO SEC. 8.3.5.D ARE NOT APPLICABLE TO THE ADJACENT PROPERTY TO THE EAST DUE TO THE FOLLOWING CONDITION:

THE CREATION OF THE CROSS-ACCESS DRIVEWAY IS OBSTRUCTED BY THE FOLLOWING: STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE. (UDO SEC. 8.3.5.D.b.iii). SEE EXISTING CONDITIONS, CO.1, AND THE GRADING PLAN C3.0 FOR STEEP SLOPES

NOTE:

1. BOUNDARY, SURVEY AND TOPOGRAPHIC INFORMATION PROVIDED BY NIALL GILLESPIE, PLS, GREEN LEVEL ROAD, APEX, NC TELEPHONE NUMBER: 919/387-0208 DATED: JUNE 23, 2005.

RIGHT-OF-WAY OBSTRUCTION NOTES:

- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES".
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CITY OF RALEIGH PROJECT NUMBERS

ADMINISTRATIVE SITE REVIEW
CASE NUMBER: ASR-0072-2020

Administrative Site Review Application

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Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	

GENERAL INFORMATION

Development name: Bobbitt Equipment Yard
Inside City limits? ☒ Yes ☐ No
Property address(es): 4600 Trademark Drive
Site P.I.N.(s): 1733-14-6350

Please describe the scope of work. Include any additions, expansions, and change of use.
New building with associated parking, equipment yard, stormwater control measure, and utilities.

Current Property Owner/Developer Contact Name:
NOTE: please attach purchase agreement when submitting this form.
Company: THE BOBBITT GROUP INC Title: _____
Address: 600 Germantown Road, Raleigh, NC 27607
Phone #: 919-851-1980 Email: BPITTMAN@BOBBITT.COM
Applicant Name: Blair Pittman, PE
Company: Bobbitt Design Build Address: 600 Germantown Road, Raleigh, NC
Phone #: 919-851-1980 Email: BPITTMAN@BOBBITT.COM

Page 1 of 2

REVISION 07.07.20

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0 sf Existing gross floor area to be demolished: 0 sf
Gross site acreage: 1.995 ac	New gross floor area: 8,790 sf
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Overlay District (if applicable): NA	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): CONTRACTOR STORAGE YARD AND OFFICE	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.00 Square Feet: 0	Proposed Impervious Surface: Acres: 0.94 Square Feet: 40,943
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: 3720173300J	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: _____	Total # of hotel units: _____
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots: _____	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

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Signature: _____ Date: 9/23/2021
Printed Name: Blair Pittman

Page 2 of 2

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INDEX OF SHEETS

SHEET NUMBER	DESCRIPTION
C0.0	COVER SHEET
C0.1	EASEMENT
C0.2	EXISTING CONDITIONS
C1.0	STAKING PLAN
C1.1	ACCESSIBILITY PLAN
C2.0	EROSION CONTROL PLAN (RESERVED)
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	PLANTING PLAN
C7.0	DETAIL SHEET
C7.1	DETAIL SHEET
C7.2	DETAIL SHEET
A1.1	BUILDING FOOTPRINT AND ELEVATION (PRELIMINARY)

FLOODPLAIN INFORMATION

THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720173300J DATED MAY 2, 2006.

TREE CONSERVATION NOTE:

THIS SITE IS LESS THEN 2 ACRES, THEREFORE NO TREE CONSERVATION PLAN IS REQUIRED.

CALL BEFORE YOU DIG!
NORTH CAROLINA LAW REQUIRES NOTIFICATION OF THE UNDERGROUND FACILITY OWNER NOT LESS THAN TWO (2) BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION
www.nc811.org
1-800-632-4949
North Carolina One-Call Center, Inc.

APPROVED FOR PERMITTING
NOT FOR CONSTRUCTION

PROJECT LOCATION:

THIS PROJECT IS LOCATED IN THE CITY OF RALEIGH, NORTH CAROLINA ON TRADEMARK DRIVE, 475' WEST OF THE INTERSECTION WITH NEW HOPE ROAD.

PROJECT NARRATIVE:

THIS PROPERTY IS BEING DEVELOPED AS A CONTRACTOR'S STORAGE YARD AND OFFICES. A NEW BUILDING WILL BE CONSTRUCTED FOR OFFICES AND MATERIAL STORAGE AND A YARD WILL BE INSTALLED FOR STORAGE OF MATERIAL AND VEHICLES.

SITE DATA

OWNER/APPLICANT: BOBBITT GROUP INC
STREET: 600 GERMANTOWN RD.
CITY: RALEIGH, NC 27607
DEVELOPER: BOBBITT GROUP INC
600 GERMANTOWN RD.
RALEIGH, NC 27607
DESIGNER/CONTACT: BOBBITT DESIGN-BUILD
ATTN: BLAIR PITTMAN, PE (24438)
600 GERMANTOWN ROAD
(919)-851-1980
PHONE NUMBER: 1733146350
TAX MAP OR PIN NUMBER: 86,904 SF / 1.995 ACRES (BM 2000 PAGE 903)
GROSS SITE ACREAGE: 86,904 SF / 1.995 ACRES (BM 2000 PAGE 903)
RIGHT-OF-WAY DEDICATION: 4.5' R/W DEDICATION (1,205 SF / 0.028 AC)
NET SITE ACREAGE: 85,699 SF / 1.967 ACRES

PARKING REQUIREMENTS:

CONTRACTOR YARD (LIGHT INDUSTRIAL)
(1 SPACE PER 600 SF OFFICE + 1 SPACE PER 3,000 SF ADDITIONAL INDOOR AREA)
±2,600 SF OFFICE (1 SP/600 SF)= 4 SPACES
±6,190 SF ADDITIONAL INDOOR SPACE (1 SP/3,000 SF)= 2 SPACE
USE: SQUARE FOOTAGES CALCULATED FROM INTERIOR WALLS AND DO NOT EQUAL GROSS FLOOR AREA DUE TO THICKNESS OF THE WALLS.
TOTAL REQUIRED: 6 SPACES
TOTAL PROVIDED: 8 SPACES
HANDICAP SPACES REQUIRED/PROVIDED: 1/1 (1 VAN)
SHORT-TERM BICYCLE PARKING: NONE REQUIRED
LONG-TERM BICYCLE PARKING REQUIRED/PROVIDED: 4/4 (INDOORS)
AMENITY AREA: REQUIRED: 8,570 SF / 0.197 AC
PROVIDED: 9,100 SF / 0.209 AC

USE AREAS:

	TOTAL
NON-VEHICLE PVMT. AREA:	0.03 AC 1.5%
VEHICLE USE AREA:	0.71 AC 36.0%
BUILDING	0.20 AC 10.2%
LANDSCAPE AREA:	1.03 AC 52.3%
TOTAL SITE:	1.97 AC 100%

PUBLIC IMPROVEMENT QUANTITY TABLE

NUMBER OF LOT (S)	0
LOT NUMBER (S) BY PHASE	0
NUMBER OF UNITS	0
LIVABLE BUILDINGS	0
OPEN SPACE	NO
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	40
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	1

REVISIONS

No.	DATE	DESCRIPTION	REV. BY
△	26 APRIL '21	REVISED PER CITY OF RALEIGH COMMENTS	JBG
△	24 SEPT '21	REV. BLDG. FOOTPRINT	BPP
△	2 DEC. '21	ADD SPRINKLER LINE, BFP	BPP
△			

BOBBITT EQUIPMENT YARD

SITE PLAN

think, design, build

BOBBITT
DESIGN-BUILD
600 Germantown Road | Raleigh, North Carolina 27607
Ph (919) 851-1980 | Fx (919) 851-1982 | design@bobbitt.com
Firm Lic. # D-0191

COORDINATOR:
Blair Pittman

DRAWN BY:
JBG

CHK BY: BPP

RALEIGH CASE#:
ASR-0072-2020

BOBBITT EQUIPMENT YARD
4600 TRADEMARK DRIVE
RALEIGH, NORTH CAROLINA

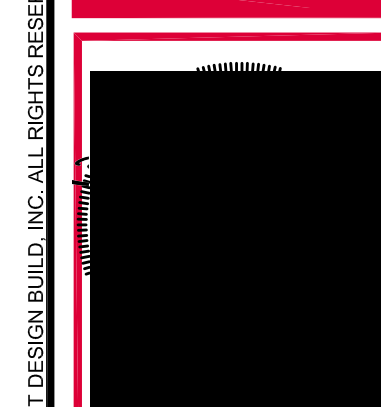
24 X 36
N.T.S.

10 SEPTEMBER 2020

20-0245

COVER

C0.0



BOBBITT DESIGN-BUILD
600 Germantown Road | Raleigh, North Carolina 27607
Ph: (919) 851-1902 | Fax: (919) 851-1902 | design@bobbitt.com
Firm Lic. # C-0191

COORDINATOR:
Blair Pittman

DRAWN BY:
JBG

CHK BY: BPP

BOBBITT EQUIPMENT YARD
4600 TRADEMARK DRIVE
RALEIGH, NORTH CAROLINA

24 X 36
1" = 30'

10 SEPTEMBER 2020

20-0245

STAKING
PLAN

C1.0

SITE DATA

OWNER: BOBBITT GROUP INC.
STREET: 600 GERMANTOWN RD.
CITY: RALEIGH, NC 27607
DEVELOPER: BOBBITT GROUP INC.
600 GERMANTOWN RD.
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(919)-851-1980
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GROSS SITE ACREAGE: 86,904 SF / 1.995 ACRES
RIGHT-OF-WAY DEDICATION: 4.5' R/W DEDICATION (1,205 SF / 0.028 AC)
NET SITE ACREAGE: 85,699 SF / 1.967 ACRES
ZONING: IX-3
OVERLAY: N/A
INSIDE CITY LIMITS: YES
BUILDING SIZE: 8,790 SF
EXISTING USE: UNDEVELOPED/VACANT
GENERAL USE: CONTRACTOR STORAGE YARD AND OFFICE
DISTURBED/DENUDED AREA: 1.77 ACRES
AMENITY AREA (REQUIRED): 8,570 SF (10% SITE AREA REQUIRED)
AMENITY AREA (PROVIDED): 9,100 SF (10.6% SITE AREA)

USE AREAS:	TOTAL
NON-VEHICLE PMVT. AREA:	0.04 AC 2.0%
VEHICLE USE AREA:	0.75 AC 38.1%
BUILDING	0.15 AC 7.6%
LANDSCAPE AREA:	1.03 AC 52.3%
TOTAL SITE:	1.97 AC 100%

SETBACKS (IX-3 ZONING):	BUILDING	PARKING
FRONT	3 FT	10 FT
SIDE	0 FT OR 6 FT	0 FT OR 3 FT
REAR	0 FT OR 6 FT	0 FT OR 3 FT

PARKING REQUIREMENTS:

LIGHT INDUSTRIAL
(1 SPACE PER 600 SF OFFICE + 1 SPACE PER 3,000 SF ADDITIONAL INDOOR AREA)
±2,600 SF OFFICE (1 SP/600 SF) = 4 SPACES
±6,190 SF ADDITIONAL INDOOR SPACE (1 SP/3,000 SF) = 2 SPACES
TOTAL REQUIRED: 6 SPACES
TOTAL PROVIDED: 8 SPACES
HANDICAP SPACES REQUIRED/PROVIDED: 1/1 (1 VAN)
SHORT-TERM BICYCLE PARKING: NONE REQUIRED
LONG-TERM BICYCLE PARKING REQUIRED/PROVIDED: 4/4 (INDOORS)

GENERAL NOTES: SITE PLAN

- BOUNDARY INFORMATION PROVIDED BY NIAL GILLESPIE, PLS.
4008 GREEN LEVEL ROAD, APEX, NC DATED: JUNE 23, 2005.
TELEPHONE NUMBER IS (919)387-0208
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
- ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH LOCAL ZONING SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE CIVIL ENGINEER FOR ADJUSTMENT.
- LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL UTILITY LOCATOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
- CONTRACTOR SHALL INSTALL SIGNS, AND CONSTRUCT NECESSARY RAMPS, AS PER THE NORTH CAROLINA STATE BUILDING CODE, FOR ALL HANDICAP PARKING SPACES NOTED ON THE PLANS.
- INSTALL DIRECTIONAL ARROWS, LANE MARKINGS, "STOP" MESSAGES, ETC. AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. USE WHITE PAINT.
- FOR ALL HANDICAPPED PARKING SPACES, AS PER ADA CODE: 1) REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE GROUND SIGNS ONLY; 2) NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS; 3) ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED; 4) STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT.

ALL CONSTRUCTION TO BE PERFORMED TO CITY OF RALEIGH STANDARDS, SPECIFICATIONS & DETAILS.

TREE CONSERVATION NOTE:

THIS SITE IS LESS THAN 2 ACRES, THEREFORE NO TREE CONSERVATION PLAN IS REQUIRED.

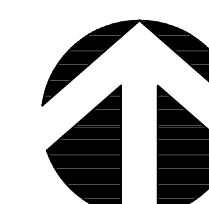
CROSS-ACCESS NOTE:

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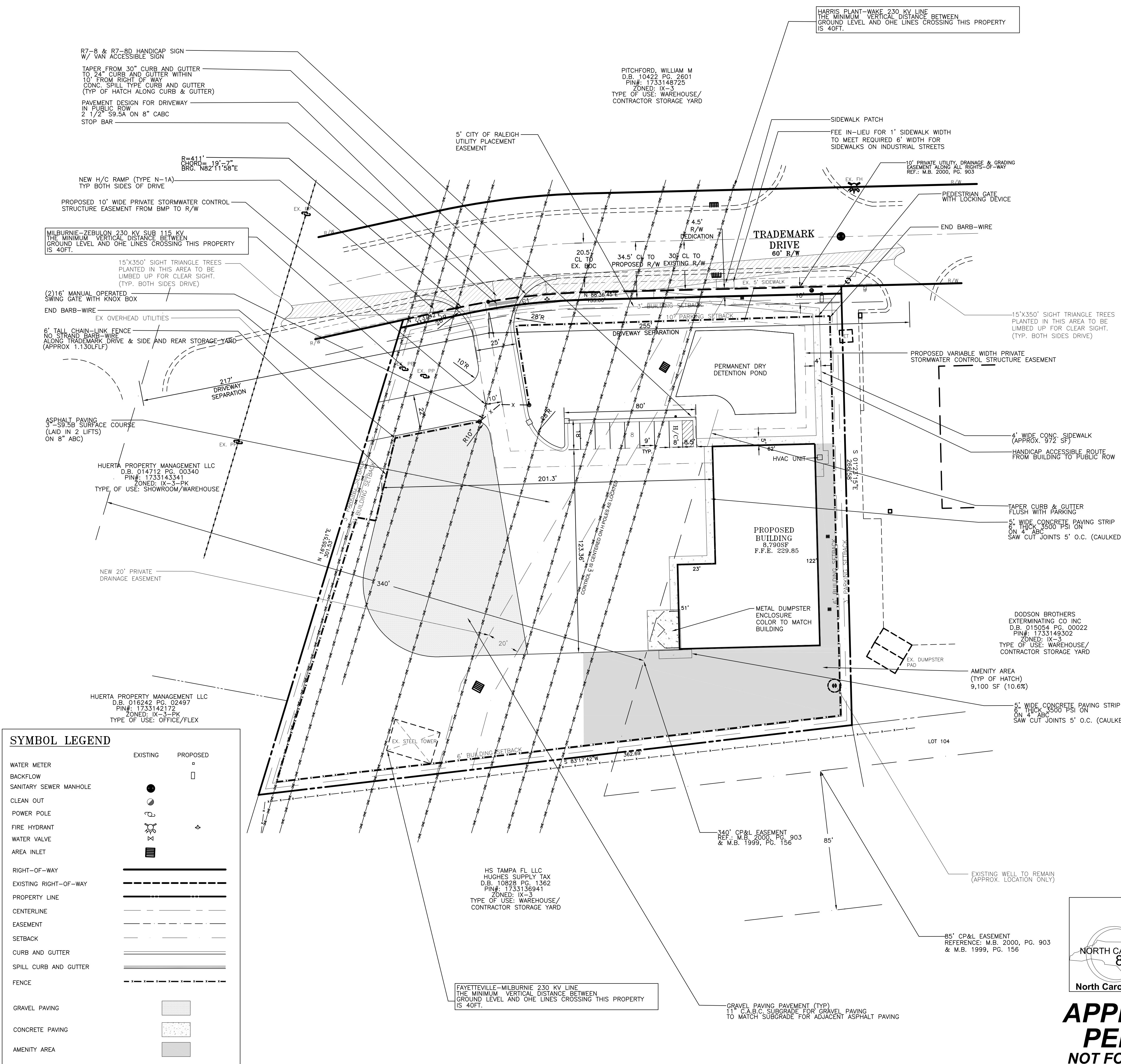
THE CREATION OF THE CROSS-ACCESS DRIVEWAY IS OBSTRUCTED BY THE FOLLOWING: STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE. (UDO SEC. 8.3.5.D.b.ii). SEE EXISTING CONDITIONS, CO.1, AND THE GRADING PLAN C3.0 FOR STEEP SLOPES

CALL BEFORE YOU DIG!
NORTH CAROLINA LAW REQUIRES NOTIFICATION OF THE UNDERGROUND FACILITY OWNERS NOT LESS THAN TWO (2) BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION
NORTH CAROLINA 811
www.nc811.org
1-800-632-4949
North Carolina One-Call Center, Inc.

APPROVED FOR
PERMITTING
NOT FOR CONSTRUCTION



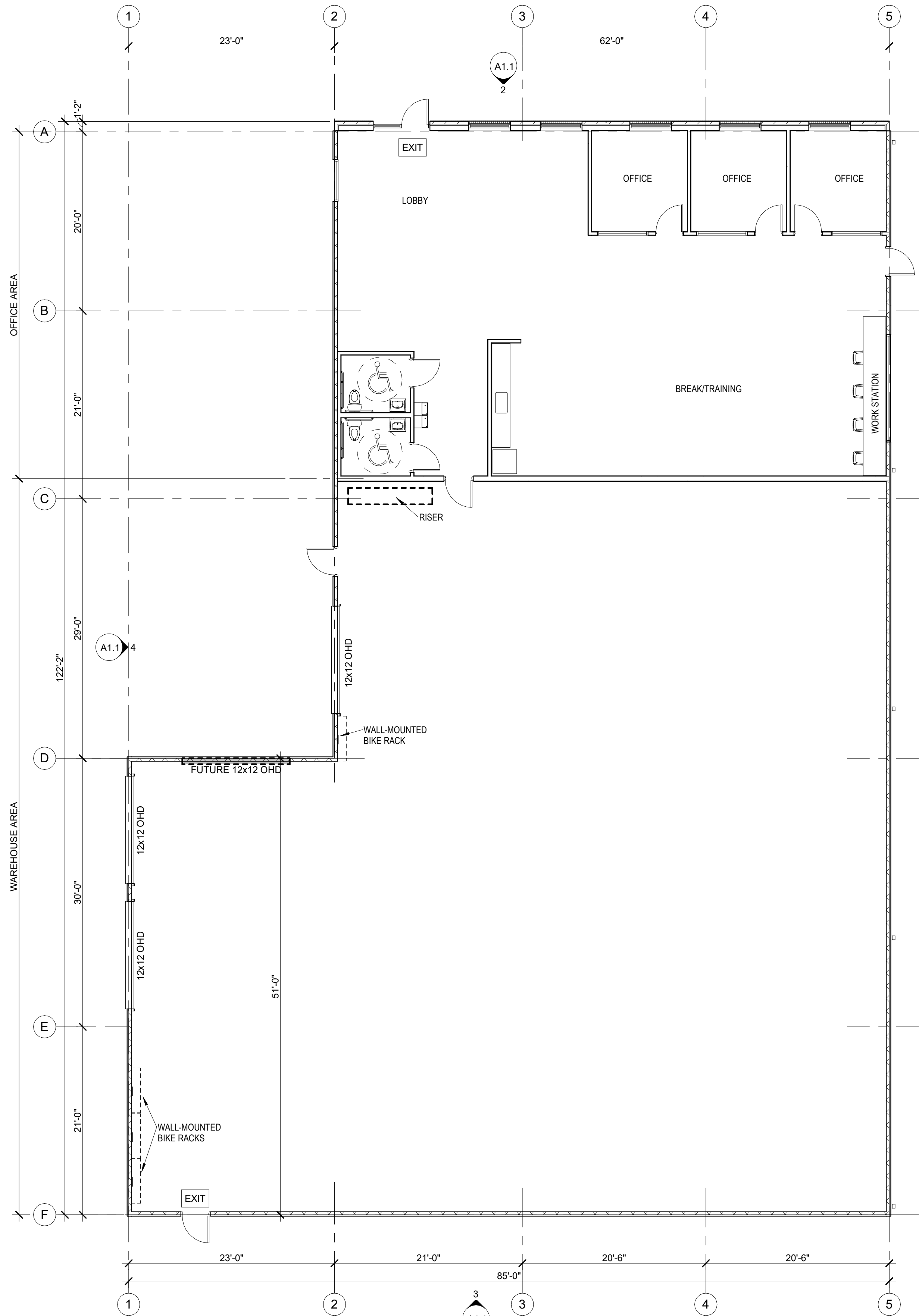
REVISIONS			
No.	DATE	DESCRIPTION	REV. BY
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△	24 SEPT. '21	REV. BLDG. FOOTPRINT & PAVING LIMITS	BPP
△			
△			



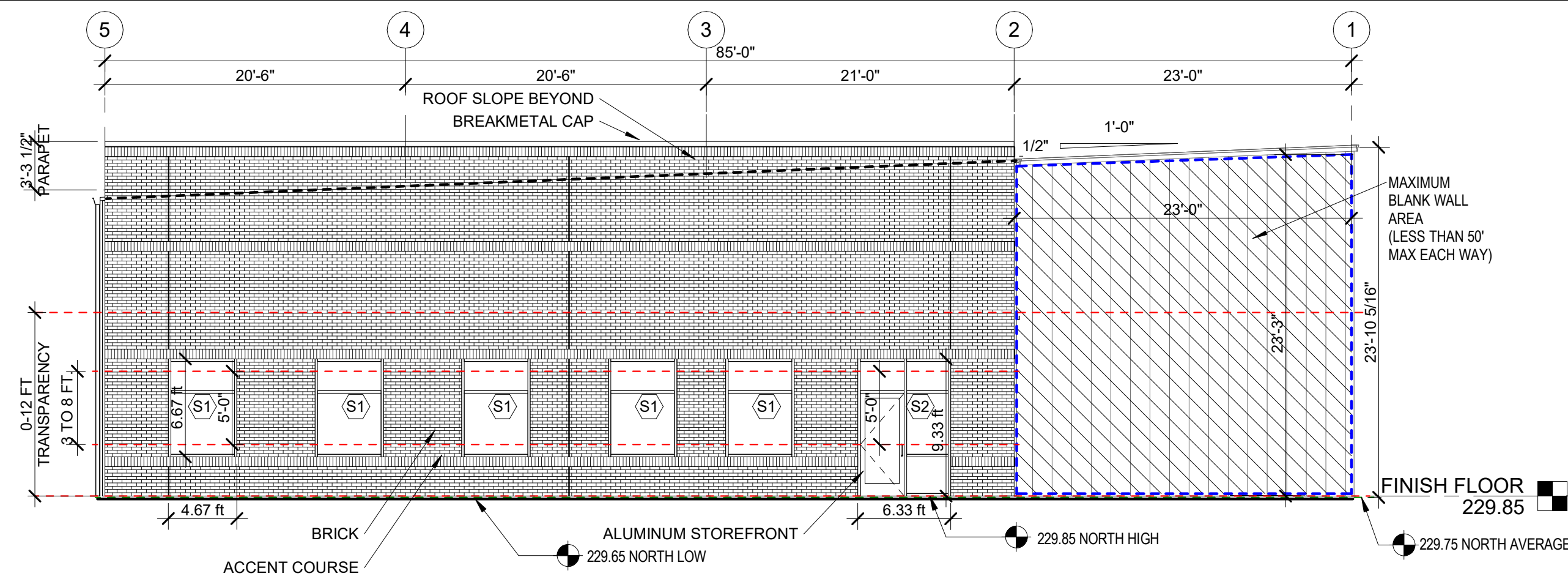
SYMBOL LEGEND	
EXISTING	PROPOSED
WATER METER	○
BACKFLOW	□
SANITARY SEWER MANHOLE	●
CLEAN OUT	○
POWER POLE	○
FIRE HYDRANT	○
WATER VALVE	○
AREA INLET	■
RIGHT-OF-WAY	—
EXISTING RIGHT-OF-WAY	---
PROPERTY LINE	---
CENTERLINE	---
EASEMENT	---
SETBACK	---
CURB AND GUTTER	---
SPILL CURB AND GUTTER	---
FENCE	---
GRAVEL PAVING	■
CONCRETE PAVING	■
AMENITY AREA	■

\\bos01\engr\proj\2024\BOBBITT Equipment Yard (Equipment) - 2024\BOBBITT Equipment Yard.dwg

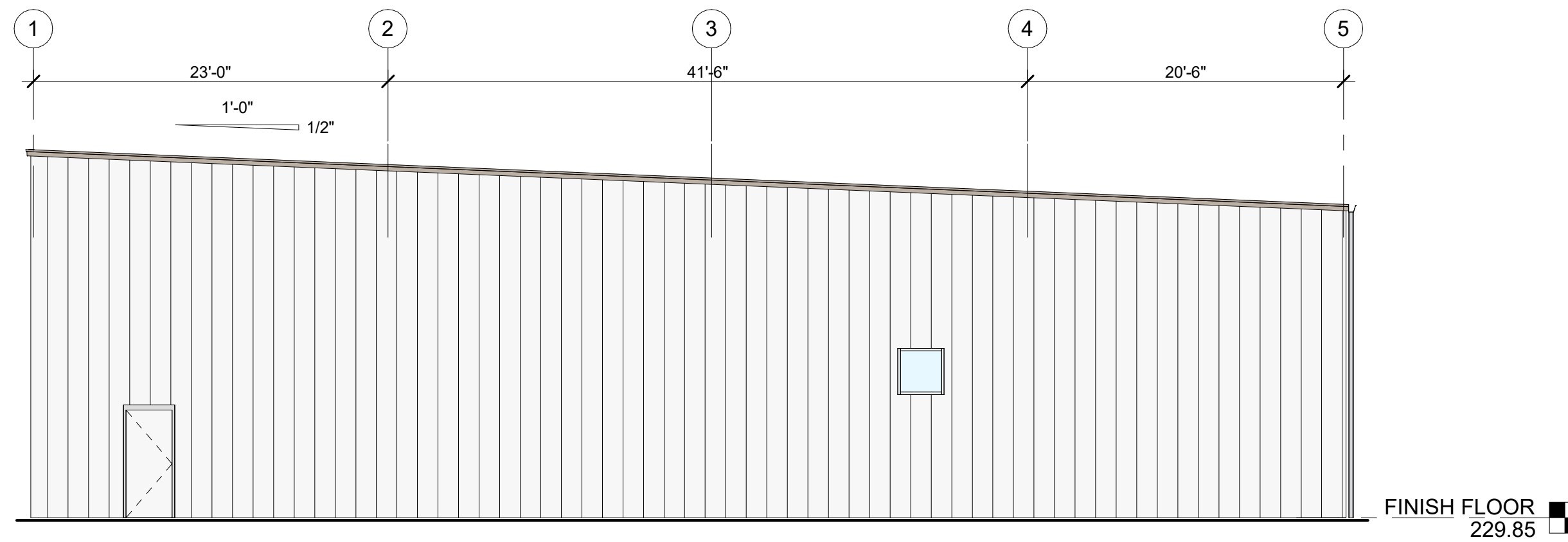
12/20/2024 2:24:48 PM



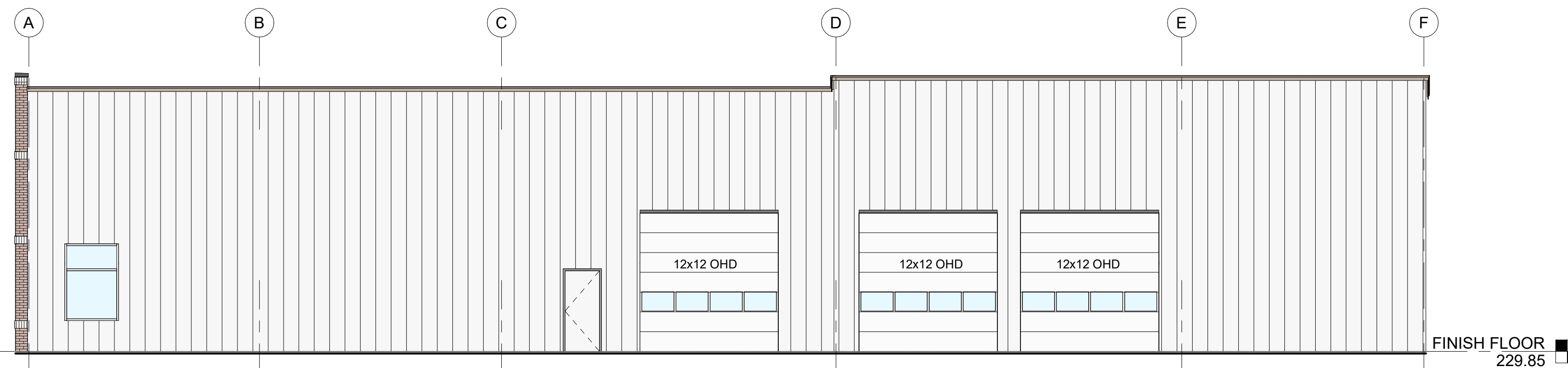
1 FLOOR PLAN
1/8" = 1'-0"



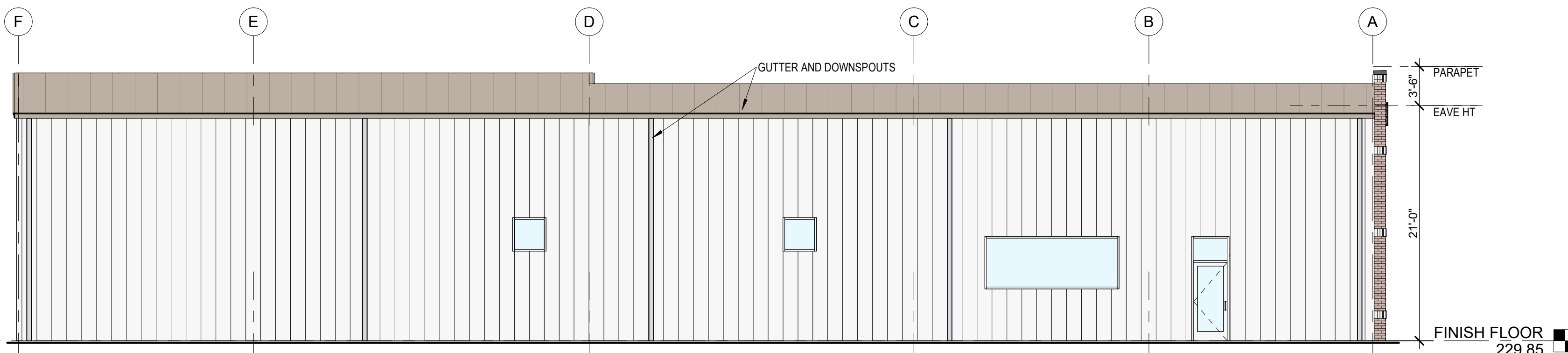
2 NORTH ELEVATION FACING TRADEMARK DRIVE
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"



5 EAST ELEVATION
1/8" = 1'-0"

RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) Section 1.5.9 Transparency
ELEVATION FACING PRIMARY STREET: NORTH
ELEVATIONS NOT REQUIRING UDO COMPLIANCE: SOUTH, WEST, EAST

TRANSPARENCY CALCULATIONS - NORTH ELEVATION

TRANSPARENCY 0-12 FT					
W (FT)	H (FT)	UNIT AREA (SF)	COUNT	SUB TOTAL (SF)	
S1: 4.67	6.67	31.15	5	155.74	
S2: 6.33	9.33	59.06	1	59.06	
NORTH TOTAL TRANSPARENCY (0-12FT)				214.80	

TRANSPARENCY 3-8 FT					
W (FT)	H (FT)	UNIT AREA (SF)	COUNT	SUB TOTAL (SF)	
S1: 4.67	5.00	23.35	5	116.75	
S2: 6.33	5.00	31.65	1	31.65	
NORTH TOTAL TRANSPARENCY (3-8FT)				148.40	

TRANSPARENCY - NORTH ELEVATION

FLOOR LEVEL: First floor, single story building
WALL AREA 0 TO 12 FT (W x H=85ft x 12ft): 1020 SF

IX 20% TRANSPARENCY REQUIRED: 204 SF MIN.

ACTUAL TRANSPARENCY: 214.80 SF

BETWEEN 3 AND 8 FT REQUIRED: 50% OF 204 SF = 102 SF MIN.

BETWEEN 3 AND 8 FT ACTUAL: 148.40 SF

AVERAGE GRADE TABLE (FT)

	LOW	HIGH	AVERAGE
NORTH POST DEVELOPMENT GRADE	229.65	229.85	229.75

APPROVAL:
DATE:

BOBBITT A&E, PLLC
600 Germantown Road
Raleigh, North Carolina 27607

BOBBITT
600 Germantown Road
Raleigh, North Carolina 27607
Phone (919) 851-1862
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CHK BY:
-

BOBBITT EQUIPMENT YARD
4600 TRADEMARK DRIVE
RALEIGH, NORTH CAROLINA

24 X 36
1/8" = 1'-0"

12-02-2021

20-0245

FLOOR PLAN &
ELEVATIONS

A1.1
OF 1