



# Administrative Approval Action

Case File / Name: ASR-0072-2020  
BOBBITT EQUIPMENT YARD

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of Poole Road east of S. New Hope Road at 4600 Trademark Drive.

**REQUEST:** Development of a 1.99 acre/86,904 sf tract with 1,205 sf of right-of-way dedication leaving a net area of 1.97 acres/85,699 sf. The IX-3 zoned property is proposed to be developed with a Light Industrial Use building totaling 8,790 sf of gross floor area.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** FIL-1323-2021: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 2, 2021 by Bobbitt Design Build.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Demonstrate that site lighting complies with UDO Section 7.4. Provide a detailed illustration with footcandle measurements with the Site Permit Review plan set.

### **Engineering**

2. The plan currently shows a 4' width sidewalk from the public street right-of-way to the proposed building. Prior to SPR approval the plan shall be revised to show a 5' width sidewalk in accordance with UDO Section 8.3.5 B.

### **Public Utilities**

3. The Developer shall provide a letter or e-mail from any Private Utility Company authorizing new water and sewer main encroachments across existing transmission easements prior to permit issuance.

### **Stormwater**

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. A cross access agreement among the lots identified as PINs 1733146350 and 1733143341 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Engineering

1. A public infrastructure surety for 5 trees (1 tree for every 40 feet of spacing) shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
2. A fee-in-lieu for 1' width of sidewalk (113 LF) shall be paid to the City of Raleigh (UDO 8.1.10).

## Stormwater

3. A private drainage easements be recorded that encompasses the existing drainage infrastructure, as shown at ASR, that is serving more than 1 lot per COR Stormwater Design Manual Section 1.2
4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 8 street trees along Trademark Dr.

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

## Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### **3-Year Expiration Date:** May 4, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



# Administrative Approval Action

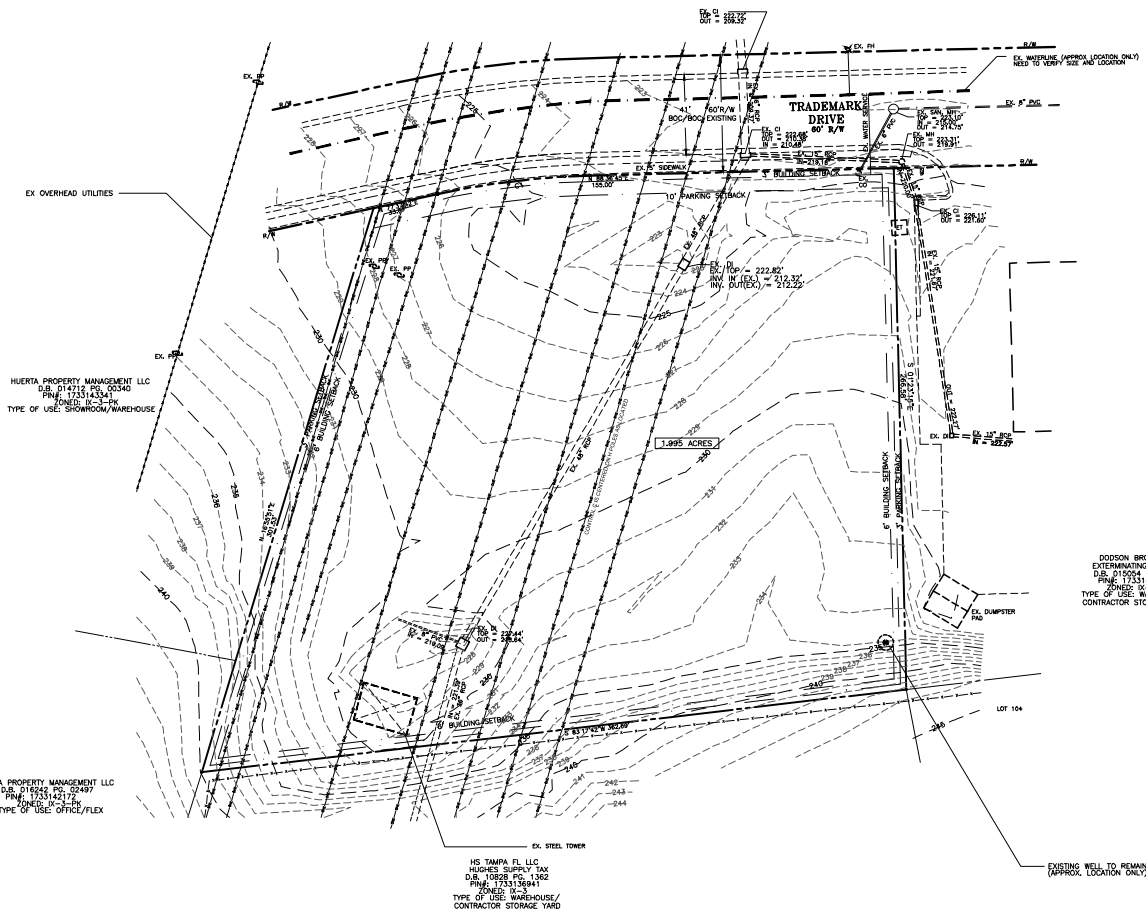
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I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 01/05/2022  
Development Services Dir/Designee  
Staff Coordinator: **Jermont Purifoy**





**NOTE:**  
 1. BOUNDARY, SURVEY AND TOPOGRAPHIC INFORMATION PROVIDED BY NALL GILLESPIE, PLS. GREEN LEVEL ROAD, APEX, NC TELEPHONE NUMBER: 919/387-0208 DATED: JUNE 23, 2005.  
 2. THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS AS SHOWN ON FIRM PANEL 3720173300J DATED MAY 2, 2006.

**LEGEND**

Property Line  
 Right-of-Way Line  
 Easement Line  
 Gas Line  
 Water Line  
 Sanitary Sewer  
 Storm Drainage  
 Subsurface Transmission Lines  
 Chain Link Fence  
 Edge of Pavement  
 Curb and Gutter

**SYMBOLS**

Ex. Iron pipe/rod or nail  
 Ex. concrete monument  
 New iron pipe  
 Calculated point  
 Cable pedestal  
 Telephone pedestal  
 Electric pedestal  
 Fiber-optic marker  
 Traffic signal box  
 Water meter  
 Fire hydrant  
 Valve (water or gas)  
 Sanitary sewer manhole  
 Sanitary sewer cleanout  
 Storm curb inlet  
 Drainage inlet (w/ grate)  
 Storm drain manhole  
 Utility pole  
 Lamp post  
 Signal pole  
 Guy wire  
 Sign post

**ABBREVIATIONS**

DB Dead Book  
 FB or BM Plot Book / Book of Maps  
 NF Row or formerly  
 PG Page  
 SF Square feet  
 AC Acres  
 R/W Right-of-way  
 NCSRS North Carolina State Route  
 NCDOT North Carolina Dept. of Transportation  
 R/W Right-of-way  
 EX Existing  
 RCP Reinforced concrete pipe  
 PVC Polyvinyl chloride pipe  
 (M) Measured  
 (P) Platted  
 (D) Dead

**CALL BEFORE YOU DIG!**  
 NORTH CAROLINA LAW REQUIRES NOTIFICATION OF THE UNDERGROUND FACILITY OWNER NOT LESS THAN TWO (2) BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR DEMOLITION.

**North Carolina One-Call Center, Inc.**

www.nc811.org  
 1-800-632-4949

**APPROVED FOR PERMITTING**  
 NOT FOR CONSTRUCTION



REVISIONS			
No.	DATE	DESCRIPTION	REV. BY
1			
2			
3			
4			

**BOBBITT EQUIPMENT YARD**  
 4600 TRADEMARK DRIVE  
 RALEIGH, NORTH CAROLINA

24 X 36  
 1" = 30'

10 SEPTEMBER 2020

20-0245

EXISTING CONDITIONS

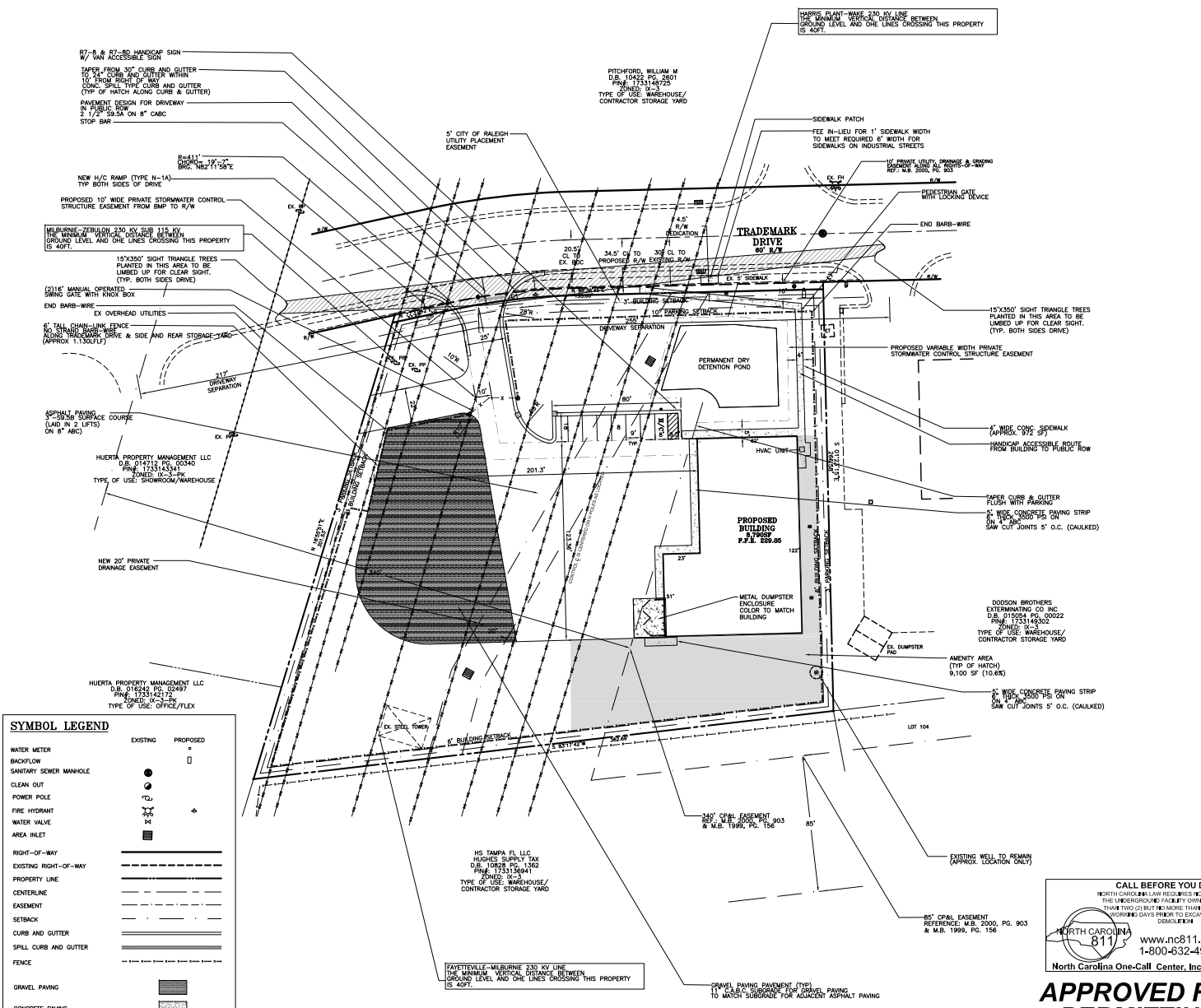
**C0.1**



SITE DATA	
OWNER	BOBBITT GROUP INC.
STREET	600 GERMANTOWN RD.
CITY	RALEIGH, NC 27607
DEVELOPER	BOBBITT GROUP INC.
DESIGNER/CONTRACTOR	BOBBITT DESIGN-BUILD, INC. ATTN: BLAIR PITTMAN, P.E. (24438) 600 GERMANTOWN ROAD BOBBITTDISTRICT.COM (919)-851-1880
PHONE NUMBER	(919)-851-1880
SITE ADDRESS	4600 TRADEMARK DRIVE
TAX MAP OR PIN NUMBER	1733-14-4350
GROSS SITE AREA	86,890 SF / 1.995 ACRES
RIGHT-OF-WAY DEDICATION	4.5' R/W DEDICATION (1,205 SF / 0.028 AC)
NET SITE AREA	86,890 SF / 1.967 ACRES
ZONING	IK-3
OVERLAY	N/A
INSIDE CITY LIMITS	YES
BUILDING SIZE	8,790 SF
EXISTING USE	UNDEVELOPED/VACANT
GENERAL USE	CONTRACTOR STORAGE YARD AND OFFICE
DISTURBED/DENuded AREA	1.77 ACRES
AMENITY AREA (REQUIRED)	8,570 SF (10% SITE AREA REQUIRED)
AMENITY AREA (PROVIDED)	9,100 SF (10.6% SITE AREA)
USE AREAS:	
NON-VEHICLE PAVT. AREA:	0.04 AC 2.0%
VEHICLE USE AREA:	0.75 AC 38.1%
BUILDING:	0.15 AC 7.6%
LANDSCAPE AREA:	1.03 AC 52.3%
TOTAL USE:	1.97 AC 100%
SETBACKS (IK-3 ZONING)	
FRONT	3 FT
SIDE	0 FT OR 6 FT
REAR	0 FT OR 6 FT
PARKING REQUIREMENTS:	
LIGHT INDUSTRIAL (1 SPACE PER 600 SF OF OFFICE + 1 SPACE PER 3,000 SF ADDITIONAL INDOOR AREA) +2,600 SF OFFICE (1 SP/600 SF) + 4 SPACES +5,190 SF ADDITIONAL INDOOR SPACE (1 SP/3,000 SF) = 2 SPACES TOTAL REQUIRED: 6 SPACES TOTAL PROVIDED: 8 SPACES HANDICAP SPACES REQUIRED/PROVIDED: 1/1 (1 VAN) SHORT-TERM BICYCLE PARKING: NONE REQUIRED LONG-TERM BICYCLE PARKING REQUIRED/PROVIDED: 4/4 (INDOORS)	

- GENERAL NOTES: SITE PLAN
- BOUNDARY INFORMATION PROVIDED BY NALL GLENN, PLS. 4008 GREEN LEVEL ROAD, ALEX, NC DATED: JUNE 23, 2005. TELEPHONE NUMBER IS (919) 387-0208.
  - CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
  - ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH LOCAL ZONING SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE CIVIL ENGINEER FOR ADJUSTMENT.
  - LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL UTILITY LOCATOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
  - CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
  - CONTRACTOR SHALL INSTALL SIGNS, AND CONSTRUCT NECESSARY RAMPS, AS PER THE NORTH CAROLINA STATE BUILDING CODE, FOR ALL HANDICAP PARKING SPACES NOTED ON THE PLANS.
  - INSTALL DIRECTIONAL ARROWS, LANE MARKINGS, "STOP" MESSAGES, ETC. AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. USE WHITE PAINT.
  - FOR ALL HANDICAP PARKING SPACES, AS PER ADA CODE: 1) REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE GROUND SIGNS ONLY; 2) NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS; 3) ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED; 4) STRIPING IS WHITE ON DARK PAVEMENT, BLACK ON LIGHT PAVEMENT.
- ALL CONSTRUCTION TO BE PERFORMED TO CITY OF RALEIGH STANDARDS, SPECIFICATIONS & DETAILS.

CROSS-ACCESS NOTE:  
CROSS-ACCESS REQUIREMENTS AS DESCRIBED IN UDC SEC. 8.3.3.0 ARE NOT APPLICABLE TO THE ADJACENT PROPERTY TO THE EAST DUE TO THE FOLLOWING CONDITION:  
THE CREATION OF THE CROSS-ACCESS DRIVEWAY IS OBSTRUCTED BY THE FOLLOWING: STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE (UDC SEC. 8.3.3.2.0-0.1); SEE EXISTING CONDITIONS, C0.1, AND THE GRADING PLAN C3.0 FOR STEEP SLOPES.



SYMBOL LEGEND	
EXISTING	PROPOSED
WATER METER	●
BACKFLOW	○
SANITARY SEWER MANHOLE	⊙
CLEAN OUT	○
POWER POLE	⊕
FIRE HYDRANT	⊕
WATER VALVE	⊕
WATER INLET	⊕
RIGHT-OF-WAY	---
EXISTING RIGHT-OF-WAY	---
PROPERTY LINE	---
CENTERLINE	---
EASEMENT	---
SETBACK	---
CURB AND GUTTER	---
SPILL CURB AND GUTTER	---
FENCE	---
GRAVEL PAVING	▨
CONCRETE PAVING	▩
AMENITY AREA	▩

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1-800-632-4943  
North Carolina One-Call Center, Inc.

**APPROVED FOR PERMITTING**  
**NOT FOR CONSTRUCTION**



REVISIONS			
No.	DATE	DESCRIPTION	REV. BY
20	APRIL 21	REVISED PER CITY OF RALEIGH COMMENTS	JBG
24	SEPT. 21	REV. BLDG. FOOTPRINT & PAVING LIMITS	BPP

SITE LIGHTING  
SITE LIGHTING IS NOT PROPOSED FOR THIS PROJECT

## GENERAL NOTES: UTILITY PLAN

1. BOUNDARY, SURVEY AND TOPOGRAPHIC INFORMATION PROVIDED BY NALL COLLEGE, P.L.S. GREEN LEVEL ROAD, APEX, NC. TELEPHONE NUMBER: 919/387-0208 DATED: JUNE 23, 2005.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF APEX AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
5. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS, AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
6. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE CONDUITS NECESSARY FOR THE SITE LIGHTING AND SIGNAGE PRIOR TO BEGINNING CONSTRUCTION.
7. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
8. REFER TO SHEET, NO. C7.0 THRU C7.1 FOR SITE CONSTRUCTION DETAILS.
9. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDING WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLANNING, NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. ALL CONSTRUCTION TO BE PERFORMED TO THE CITY OF RALEIGH DESIGN AND CONSTRUCTION STANDARDS.

## STANDARD CITY OF RALEIGH UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
  - a. A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 24" FROM A PRIVATE WELL OR 40" FROM A PUBLIC WELL.
  - b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CHASE HAVING 4" MIN. CLEARANCE (PER CORPUS DETAILS R-11 & S-44).
  - f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
4. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
5. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
6. INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
7. INSTALL 4" PVC SEWER SERVICES @ 1/2" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MINIMUM.
8. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
9. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE &/OR FEMA FOR ANY RIPARIAN HURTLING, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
10. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
11. GRADE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT THE SPECIALIST AT (919) 999-2334 OR [snoddy.bec@raleighnc.gov](mailto:snoddy.bec@raleighnc.gov) FOR MORE INFORMATION.
12. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JONNIE HARTLEY AT (919) 999-5023 OR [jonnie.hartley@raleighnc.gov](mailto:jonnie.hartley@raleighnc.gov) FOR MORE INFORMATION.

## SYMBOL LEGEND

EXISTING	PROPOSED
WATER METER	○
BACK FLOW PREVENTER	●
SANITARY SEWER MANHOLE	⊙
CLEAN OUT	⊕
POWER POLE	⊙
FIRE HYDRANT	⊙
WATER VALVE	⊙
AREA INLET	⊙
RIGHT-OF-WAY	---
EXISTING RIGHT-OF-WAY	---
PROPERTY LINE	---
CENTERLINE	---
EASEMENT	---
SETBACK	---
CURB AND GUTTER	---
SPILL CURB AND GUTTER	---
FENCE	---
GRAVEL PAVING	▨
CONCRETE PAVING	▩
AMENITY AREA	▩

HS TAMPA FL LLC  
HUGHES SUPPLY TAX  
D.B. 10828 PG. 1362  
P.M. 15313641  
OWNER: W-1  
TYPE OF USE: WAREHOUSE/  
CONTRACTOR STORAGE YARD

DODSON BROTHERS  
EXTERMINATING CO INC  
S.B. 015554 PG. 00022  
P.M. 15313641  
OWNER: W-1  
TYPE OF USE: WAREHOUSE/  
CONTRACTOR STORAGE YARD



**APPROVED FOR PERMITTING**  
NOT FOR CONSTRUCTION



REVISIONS			
No.	DATE	DESCRIPTION	REV. BY
1	26 APRIL '21	REVISED PER CITY OF RALEIGH COMMENTS	JBG
2	24 SEPT '21	REV. BLDG. FOOTPRINT & HOSE LAY ROUTE	BPP
3	2 DEC '21	ADD SPRINKLER W/L, BFP & FDC	BPP

COORDINATOR:  
Bar Fitelson  
DRAWN BY:  
JBG  
CHK BY: BPP

**BOBBITT EQUIPMENT YARD**  
4600 TRADEMARK DRIVE  
RALEIGH, NORTH CAROLINA

24 x 36  
1" = 30'

10 SEPTEMBER 2020

20-0245

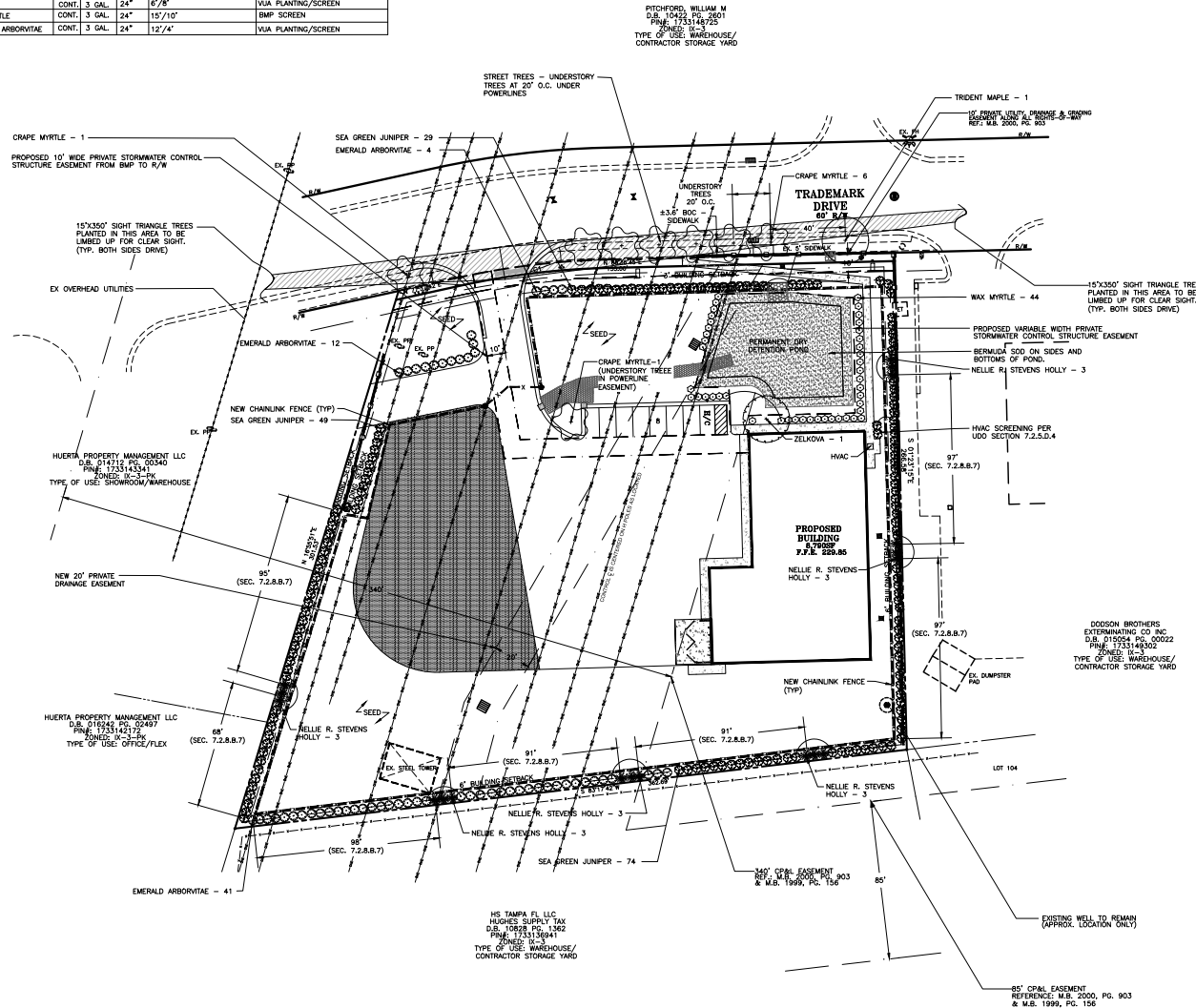
UTILITY PLAN

**C4.0**



QTY	BOTANICAL NAME	COMMON NAME	ROOT	CAL.	HT.	MATURE HEIGHT/SPREAD	REMARKS
1	ACER BURGERIANUM	TRIDENT MAPLE	B&B	3"	10'	MIN 20'/20'	STREET TREE
11	LAGERSTROEMIA INDICA 'TOTO'	ORANGE MYRTLE	B&B	1 1/2"	6'	MIN 8'/8'	VIA/STREET TREE - SINGLE STEM
1	ZELKOVA SERRATA 'GREEN VASE'	ZELKOVA	B&B	3"	10'	MIN 60'/40'	VIA
1	LEX X 'NELLIE R. STEVENS'	NELLIE STEVENS HOLLY	CONT.	3 GAL.	24"	6'/8'	SCREEN
164	JUNIPERUS CHINENSIS 'SEA GREEN'	JUNIPER	CONT.	3 GAL.	24"	6'/8'	VIA PLANTING/SCREEN
44	MYRTICA CERIFERA	WAX MYRTLE	CONT.	3 GAL.	24"	15'/10'	BMP SCREEN
63	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD ARBORVITAE	CONT.	3 GAL.	24"	12'/4'	VIA PLANTING/SCREEN

PLANT KEY	
	TRIDENT MAPLE
	ORANGE MYRTLE
	ZELKOVA
	NELLIE STEVENS HOLLY
	WAX MYRTLE
	EMERALD ARBORVITAE



- LANDSCAPING NOTES & SPECIFICATIONS:**
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION RELATING TO GRADING, REFER TO GRADING PLAN.
  - VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
  - ALL PLANTS AND PLANTING PROCEDURES SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN LATEST EDITION.
  - ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
  - ALL TREES AND SHRUBS SHALL BE FULL-WELL BRANCHED PLANTS WHICH ARE CHARACTERISTIC OF THE SPECIES.
  - ALL GRASS IS TO BE ARI FESCUE, OR BETTER QUALITY (SEE SEEDING SCHEDULE).
  - ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
  - REMOVE ALL STRING AND WIRE FROM BASE OF ALL PLANT MATERIAL.
  - MULCH ALL BEDS WITH 3" OF CLEAN PINE NEEDLES, UNLESS OTHERWISE NOTED.
  - ALL AREAS NOT COVERED WITH PAVING, GRAVEL, BUILDINGS OR PLANTING BEDS SHALL BE SEEDED AS SHOWN IN THE SEEDED PREP. AND SEEDING SCHEDULE.
  - LAWN AREAS SHALL BE RAKED TO REMOVE ROCKS, STICKS, ROOTS AND OTHER TRASH AND DEBRIS AND SHALL BE SMOOTH FOR EASE OF MOWING.
  - ALL PLANTINGS OF TREES & SHRUBS SHALL BE A MINIMUM OF 4' BEHIND ALL CURBS, WHERE NO CURB AND GUTTER IS PROPOSED BORDERING PARKING SPACES, WHEEL STOPS MUST BE PROVIDED TO PREVENT DAMAGE TO PLANT MATERIAL.
  - F AT TIME OF LANDSCAPE INSTALLATION, EXISTING HEALTHY TREES REMAIN IN STREETYARD ALONG NEW HIGHWAY. OWNER RESERVES RIGHT TO SUBSTITUTE EXISTING VEGETATION FOR PROPOSED STREET TREES.
  - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING REQUIRED SOD. SEE GRADING PLAN SHEET C.D.O. FOR LOCATIONS.
- \*\*\*IN RALEIGH, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SCREENING ALL ABOVE GROUND UTILITIES SUCH AS BACKFLOW PREVENTERS AND HVAC UNITS.

**TREE CONSERVATION NOTE:**  
THIS SITE IS LESS THAN 2 ACRES, THEREFORE NO TREE CONSERVATION PLAN IS REQUIRED.

STREET TREES		
INDUSTRIAL STREET		
REQUIREMENTS PER 100 LF.		
TREES SPACED 40' O.C.		
LENGTH	REQUIRED TREES	PROVIDED TREES
208 LF	5	9
*62 LF REMOVED FROM CALCULATIONS FOR DRIVEWAY		
UNDERSTORY TREES, SPACED AT 20' O.C. PROPOSED FOR THE AREAS UNDER OVERHEAD POWERLINES		

SYMBOL LEGEND	
EXISTING	PROPOSED

**CALL BEFORE YOU DIG!**  
NORTH CAROLINA LAW REQUIRES NOTIFICATION OF THE UNDERGROUND FACILITY OWNER NOT LESS THAN TWO (2) BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO EXCAVATION OR RESOLUTION.  
www.nc811.org  
1-800-632-4949  
North Carolina One-Call Center, Inc.

**APPROVED FOR PERMITTING**  
NOT FOR CONSTRUCTION



REVISIONS			
No.	DATE	DESCRIPTION	REV. BY
1	26 APRIL '21	REVISED PER CITY OF RALEIGH COMMENTS	JBG
2	24 SEPT '21	REV. BULK FOOTPRINT & PER C.O.R. COMMENTS	BPP
3	2 DEC 21	ADD SPRINKLER LINE, BPP	BPP

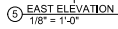
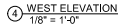
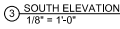
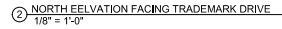
**BOBBITT EQUIPMENT YARD**  
4600 TRADEMARK DRIVE  
RALEIGH, NORTH CAROLINA

24 X 36  
1" = 30'

10 SEPTEMBER 2020  
20-0245

PLANTING PLAN

**C5.0**



AVERAGE GRADE TABLE (FT)			
	LOW	HIGH	AVERAGE
NORTH POST DEVELOPMENT GRADE	229.85	229.85	229.75

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