



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es): 5200, 5204, 5210, 5212 HILLSBOROUGH STREET RALEIGH, NC 27606 108, 114, GRAND AVENUE RALEIGH, NC 27606 5205, 5203 DORCAS STREET RALEIGH, NC 27606		
Site P.I.N.(s): 0784439213, 0784438203, 0784437117, 0784436145, 0784437389, 0784437326, 0784435399, 0784436239		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Current Property Owner(s):		
Company:		Title:
Address:		
Phone #:		Email:
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder		
Company: FRH Realty LLC		Address:

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4): two-unit living, single-unit living, hair salon, office	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:	Total # of hotel bedrooms:		
# of bedroom units: 1br <u>193</u> 2br <u>74</u> 3br _____ 4br or more _____			
# of lots:	Is your project a cottage court?	Yes	No
	A frequent transit development?	Yes	No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Bryan Condie*

Date: 10/26/23

Printed Name: Bryan Condie

OWNERS

Gate 3 Enterprises LLC
105 Birkhaven Drive
Cary NC 27518

GBH Partners LLC
2392 W Tanglewood Dr SW
Supply NC 28462

CSB Enterprises LLC
105 Birkhaven Drive
Cary NC 27518

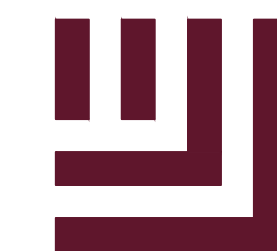
Justin Booth
108 Grand Avenue
Raleigh NC 27606

PINs:
0784439213
0784438203
0784437389
0784437326

PINs:
0784437117
0784436145

PINs:
0784435399

PINs:
0784436239



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

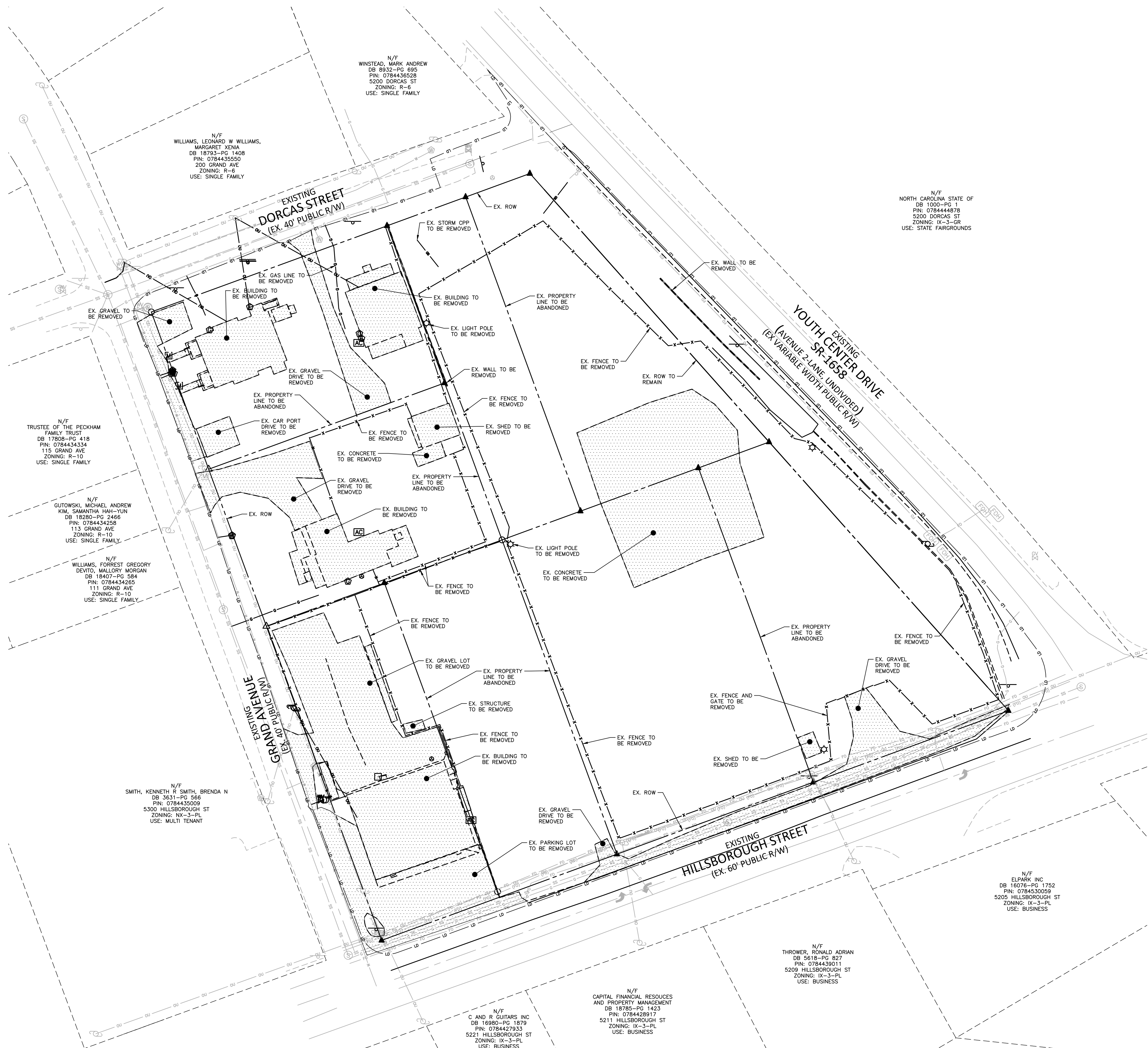
FRH REALTY LLC
3330 CUMBERLAND BLVD, SUITE 375
ATLANTA, GEORGIA 30339
CONTACT: MICHAEL GRIBBLE
PHONE: 404. 442. 3851

**5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC, 27606**

DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



GRAPHIC SCALE
1 inch = 30 ft.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001
 FILENAME FFD23001-ASR-DM1
 CHECKED BY DB
 DRAWN BY JJ
 SCALE 1"=30'
 DATE 10. 27. 2023

SHEET

DEMOLITION PLAN

C1.01



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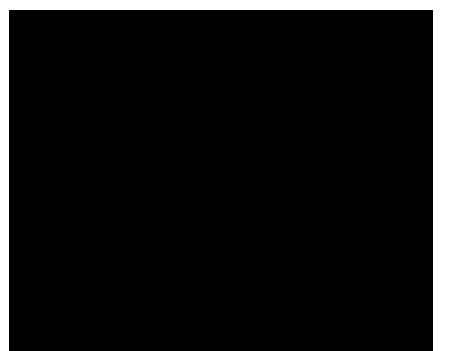
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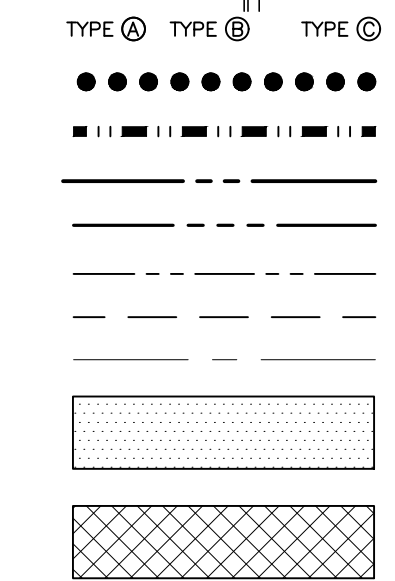
SHEET

SITE PLAN

C2.00

SITE LEGEND

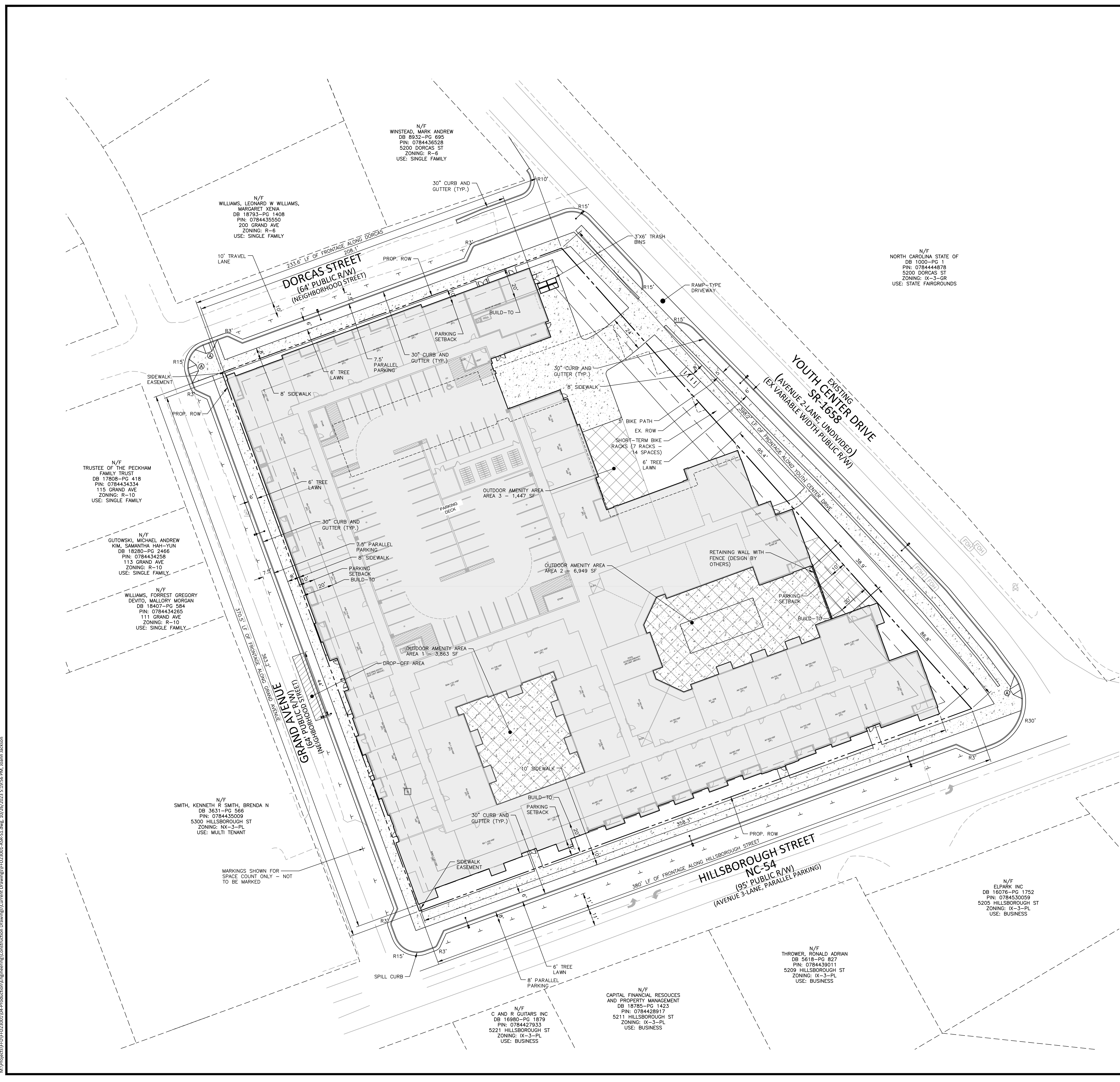
- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- AMENITY AREA



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



N/F
WINSTEAD, MARK ANDREW
DB 8932-PG 695
PIN: 0784436528
5200 DORCAS ST
ZONING: R-6
USE: SINGLE FAMILY

N/F
WILLIAMS, LEONARD W WILLIAMS,
MARGARET XENA
DB 18793-PG 1408
PIN: 0784435550
200 GRAND AVE
ZONING: R-6
USE: SINGLE FAMILY

N/F
NORTH CAROLINA STATE OF
DB 1020-PG 1
PIN: 0784444878
5200 DORCAS ST
ZONING: IX-3-GR
USE: STATE FAIRGROUNDS

N/F
TRUSTEE OF THE PECKHAM
FAMILY TRUST
DB 17708-PG 418
PIN: 0784434334
115 GRAND AVE
ZONING: R-10
USE: SINGLE FAMILY

N/F
GUTOWSKI, MICHAEL ANDREW
KIM, SAMANTHA HAH-YUN
DB 18290-PG 2466
PIN: 0784434259
113 GRAND AVE
ZONING: R-10
USE: SINGLE FAMILY

N/F
WILLIAMS, FORREST GREGORY
DENTO, MALLORY MORGAN
DB 18407-PG 584
PIN: 0784434265
111 GRAND AVE
ZONING: R-10
USE: SINGLE FAMILY

N/F
SMITH, KENNETH R SMITH, BRENDA N
DB 3631-PG 566
PIN: 0784435009
5300 HILLSBOROUGH ST
ZONING: NC-3-PL
USE: MULTI TENANT

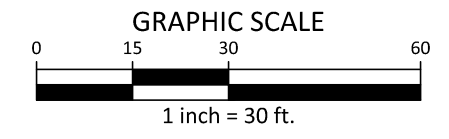
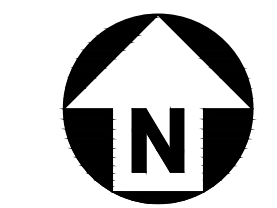
MARKINGS SHOWN FOR SPACE COUNT ONLY - NOT TO BE MARKED

N/F
CAPITAL FINANCIAL RESOURCES
AND PROPERTY MANAGEMENT
DB 16960-PG 1879
PIN: 0784428917
5211 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: BUSINESS

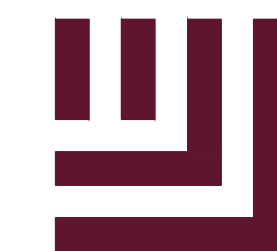
N/F
THROWER, RONALD ADRIAN
DB 5618-PG 827
PIN: 0784439011
5209 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: BUSINESS

N/F
ELPARK INC
DB 16076-PG 1752
PIN: 0784530059
5205 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: BUSINESS

N/F
C AND R GUITARS INC
DB 16960-PG 1879
PIN: 0784427933
5221 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: BUSINESS



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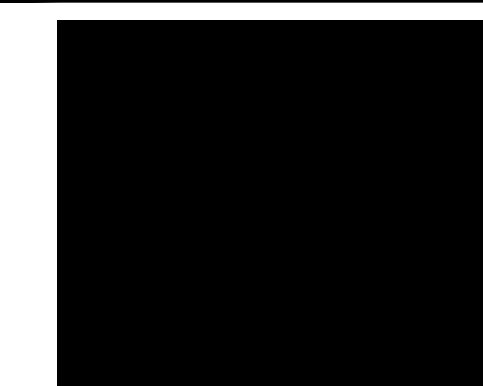
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FILENAME FFD23001-ASR-G1
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SCALE 1"=30'
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SHEET

GRADING PLAN

C3.00

GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)

	HIGH	LOW	AVERAGE
DORCAS	487.32	479.85	483.59
YOUTH CENTER	489.28	479.85	484.57
HILLSBOROUGH	490.7	486.13	488.42
GRAND	488.8	486.13	487.47



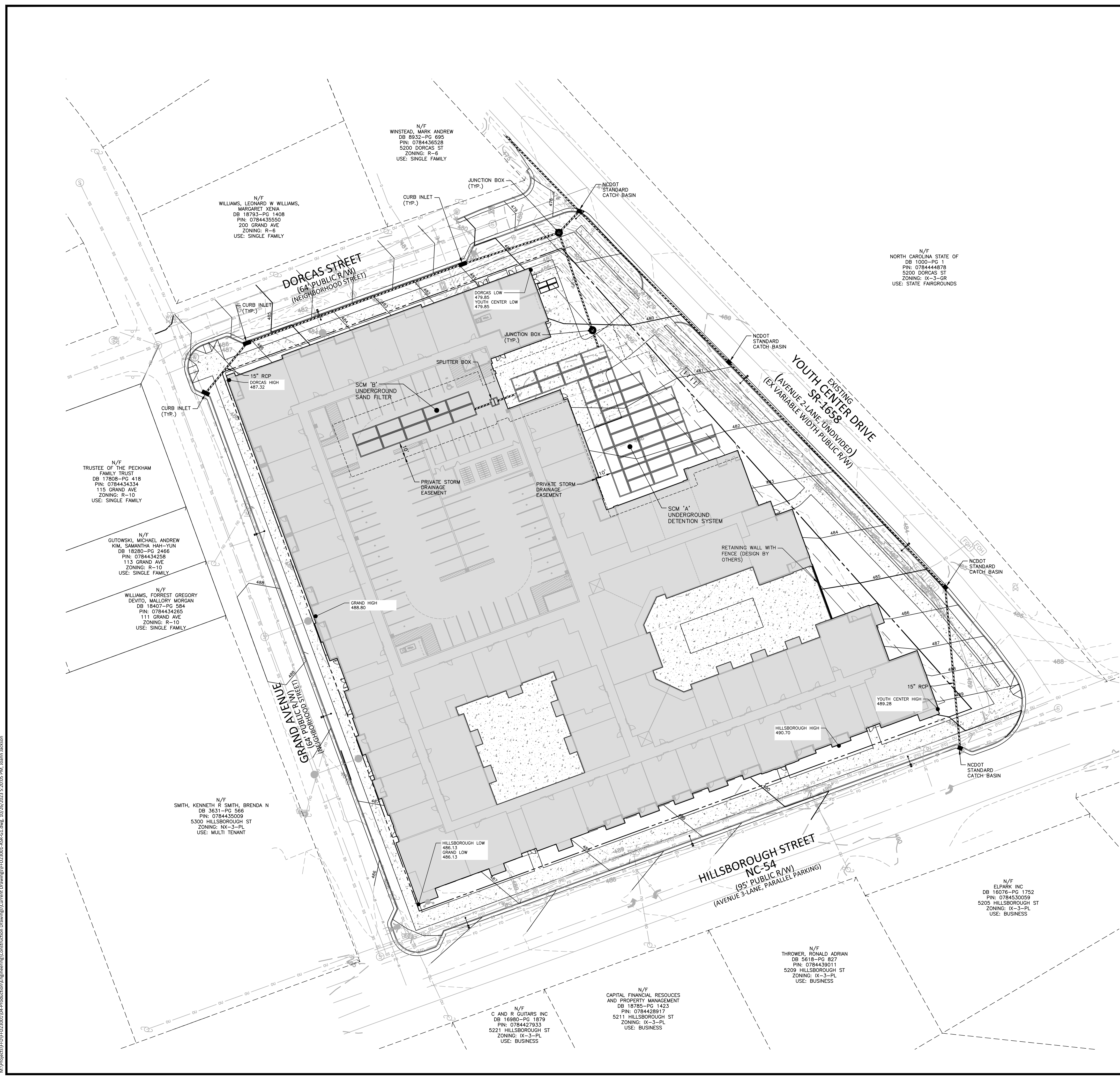
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0 15 30 60
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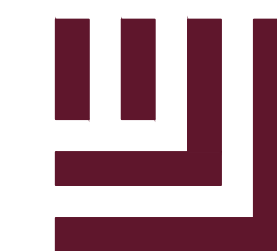
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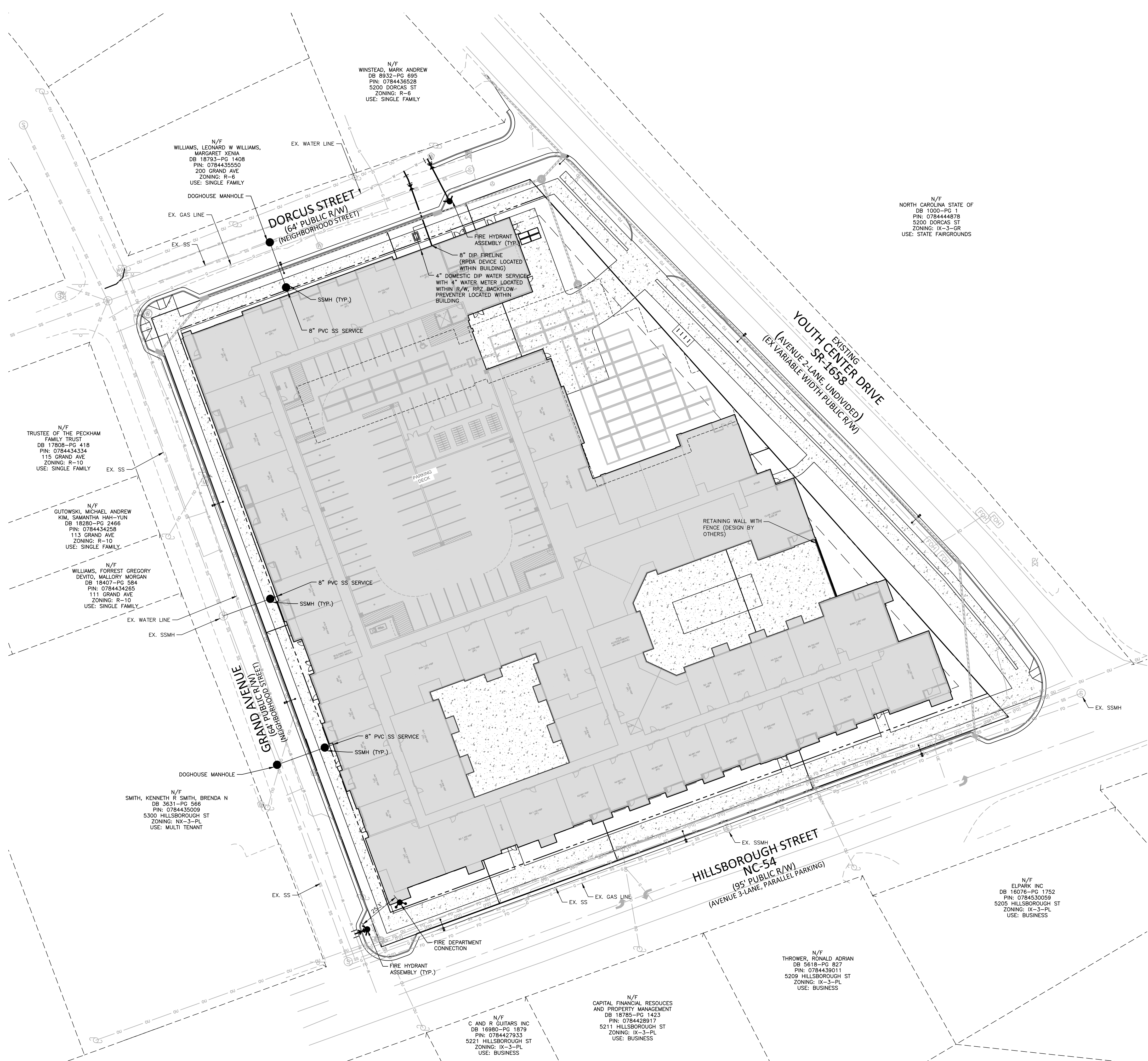
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UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



GRAPHIC SCALE
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NO. DATE

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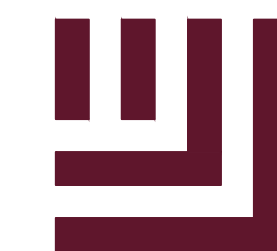
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SHEET

UTILITY PLAN

C4.00

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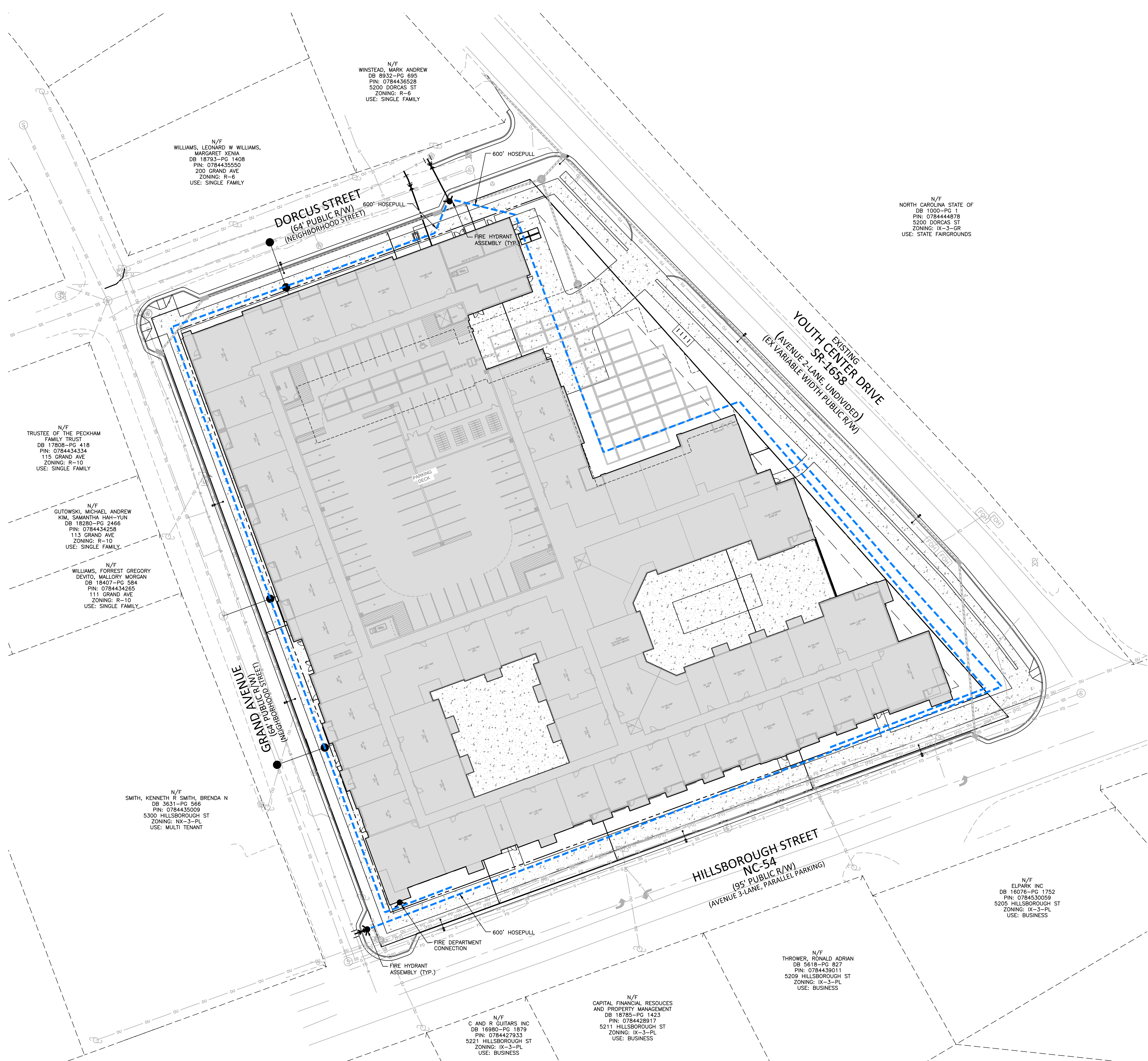
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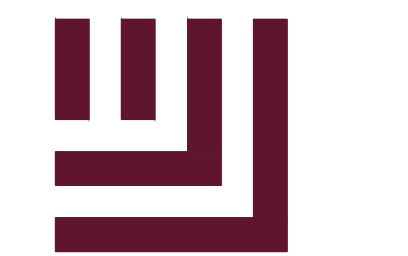
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FILENAME FFD23001-ASR-U1
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FIRE ACCESS

C4.01

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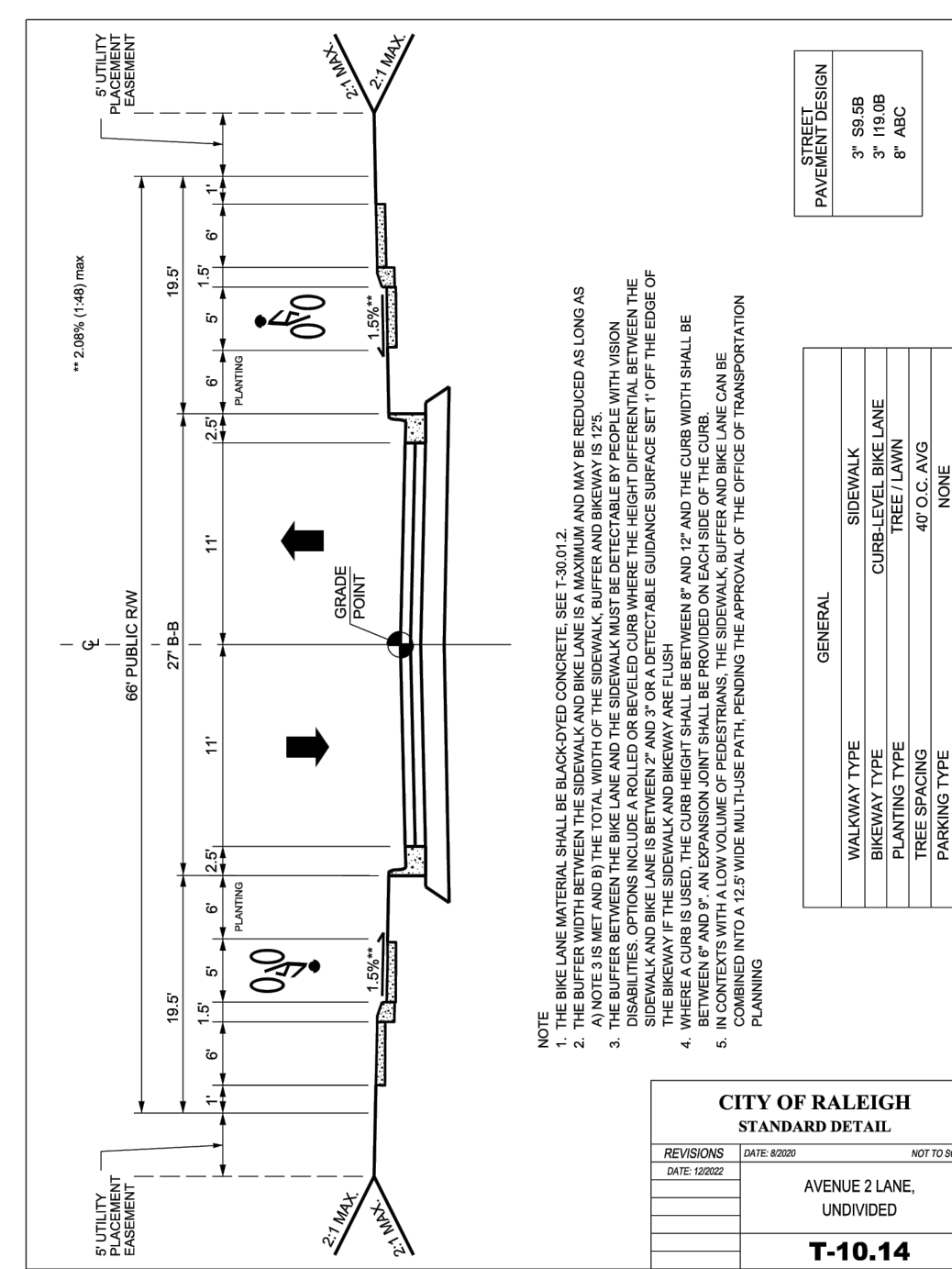
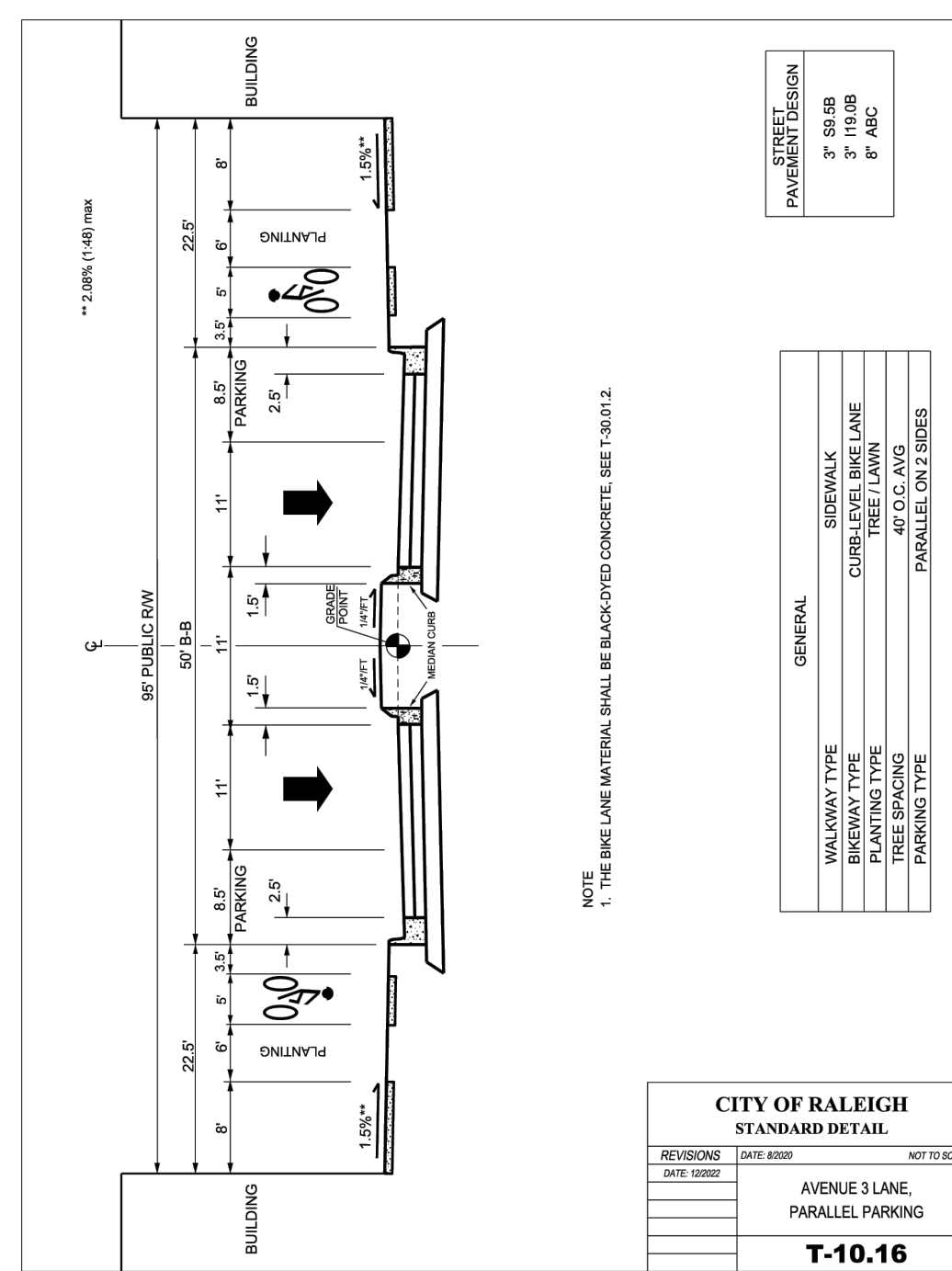
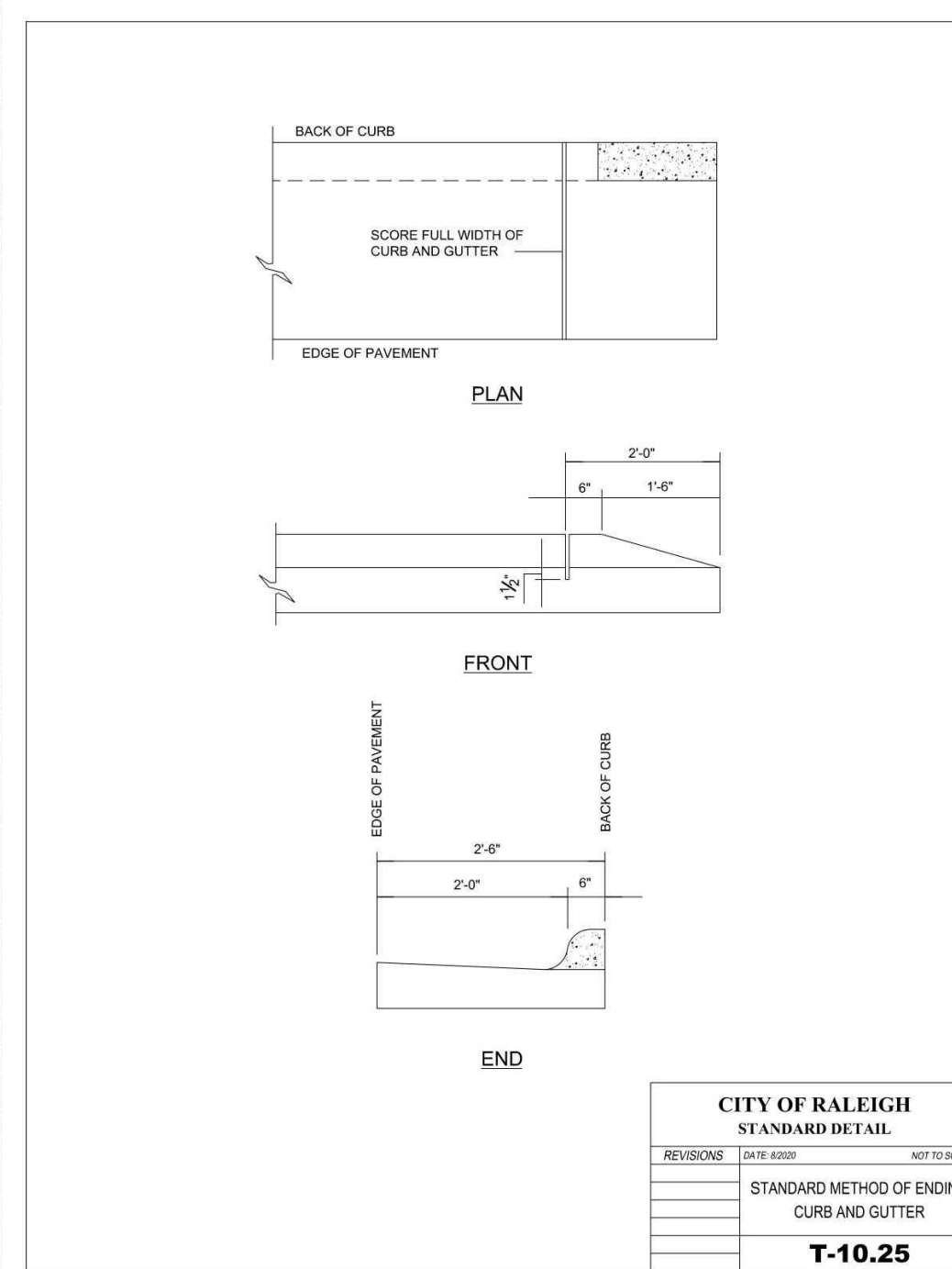
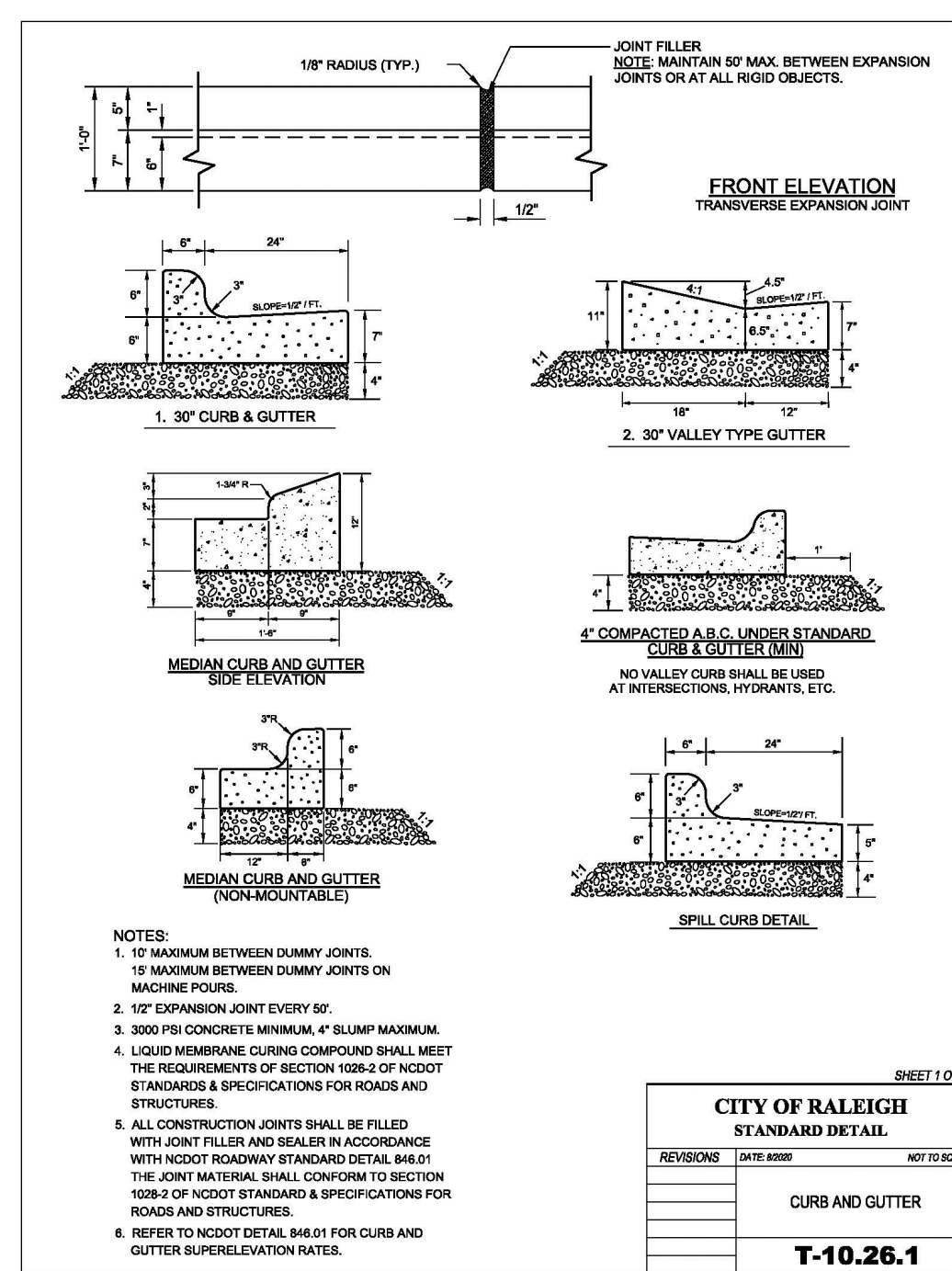
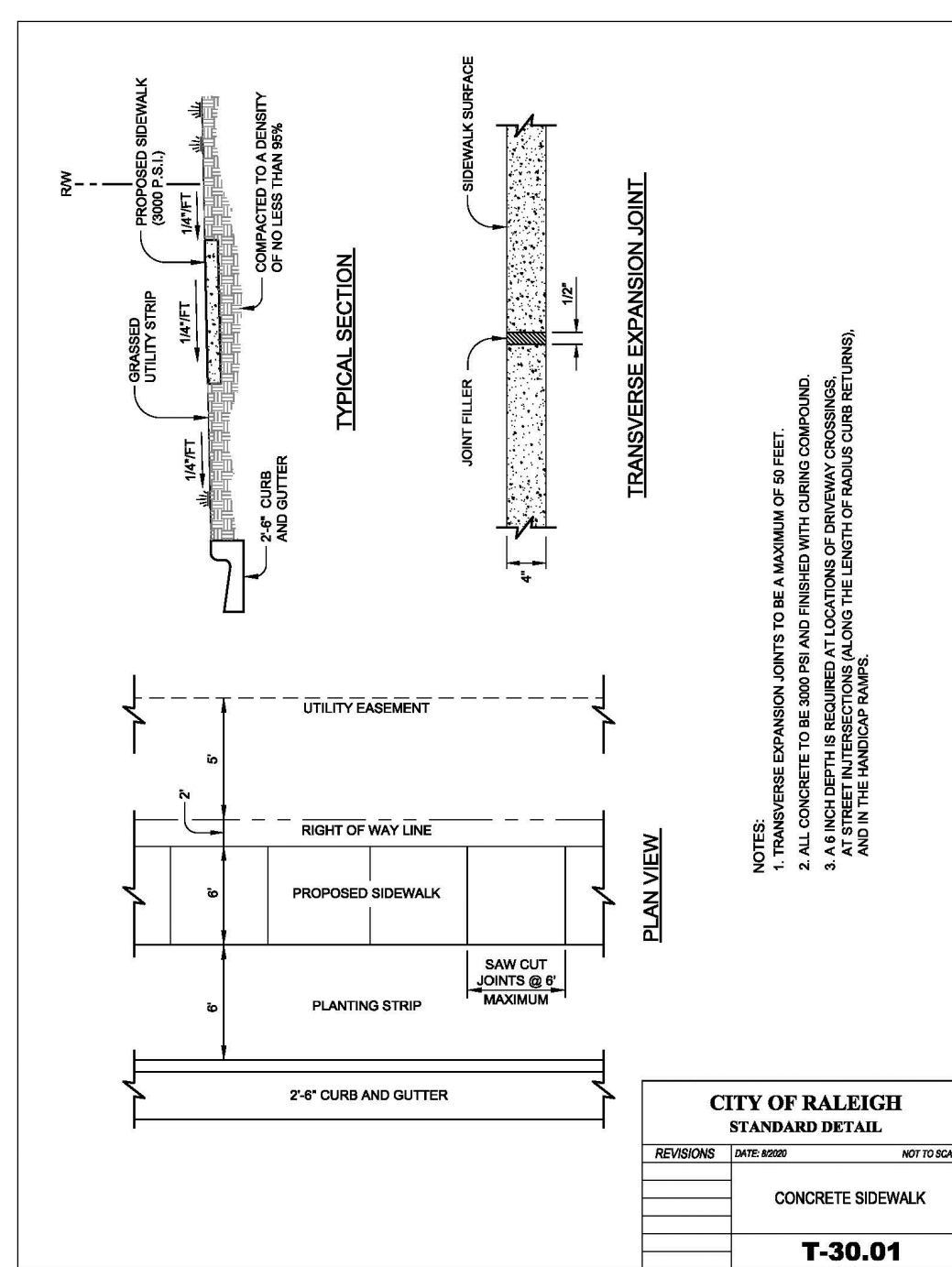
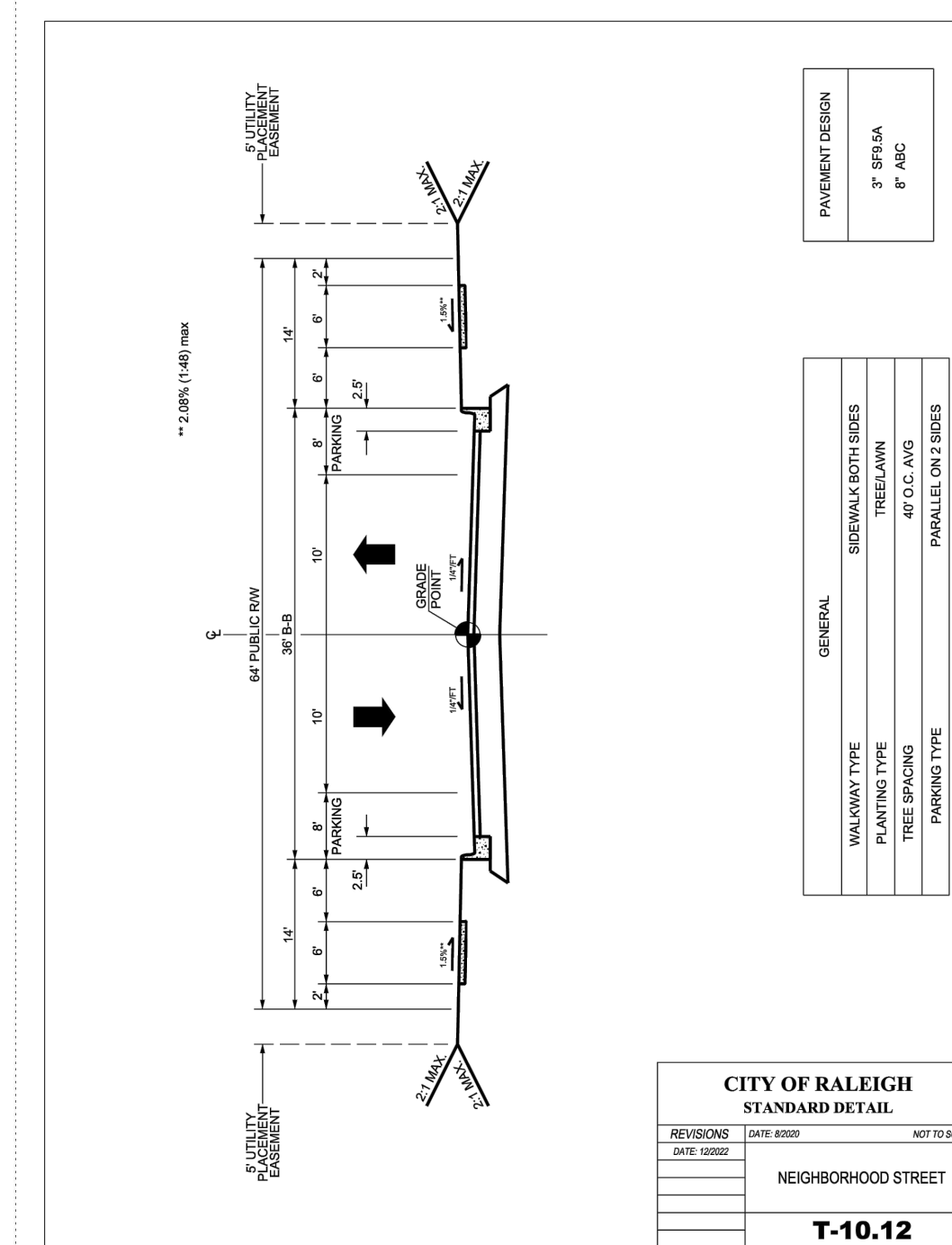
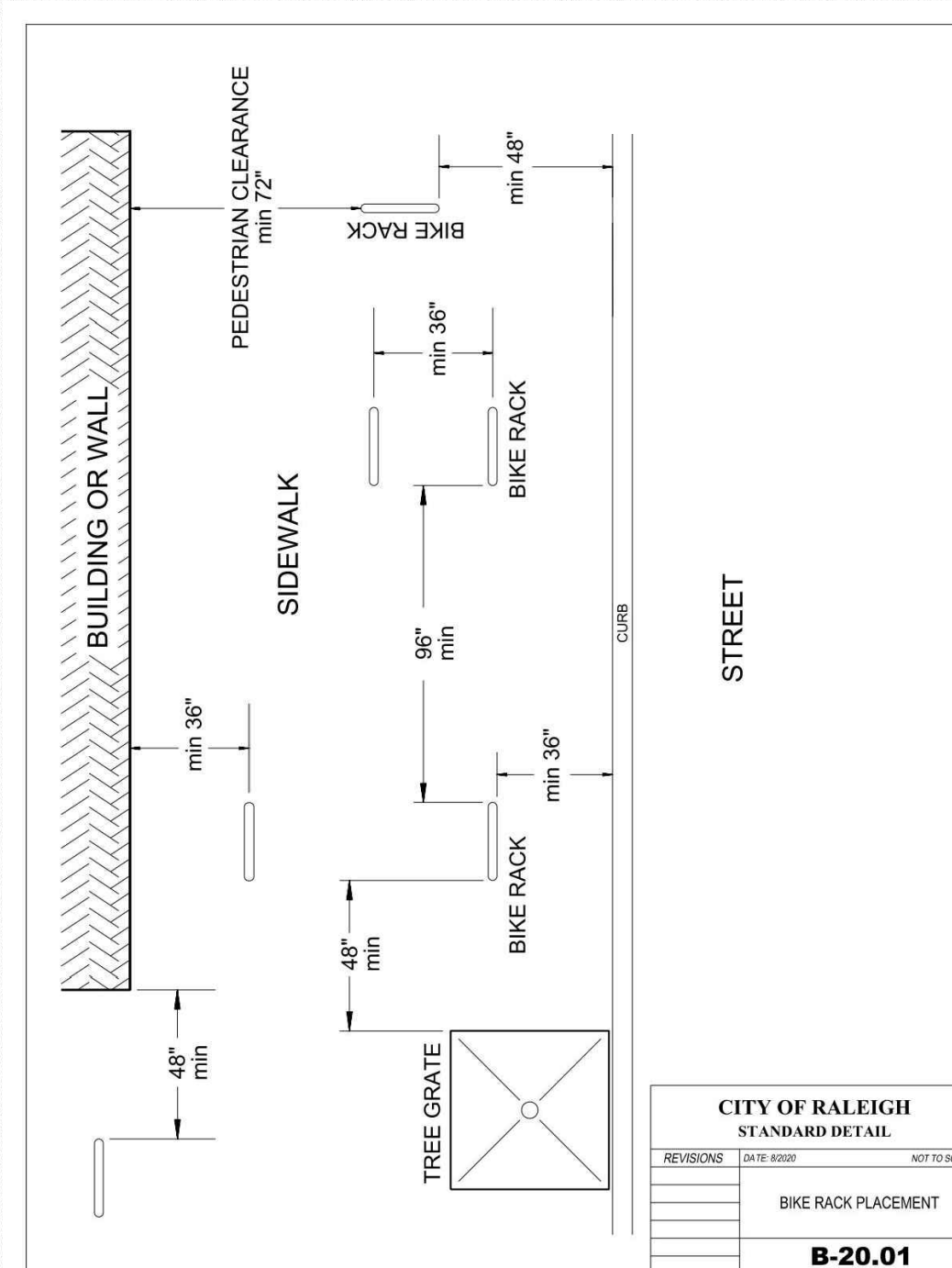
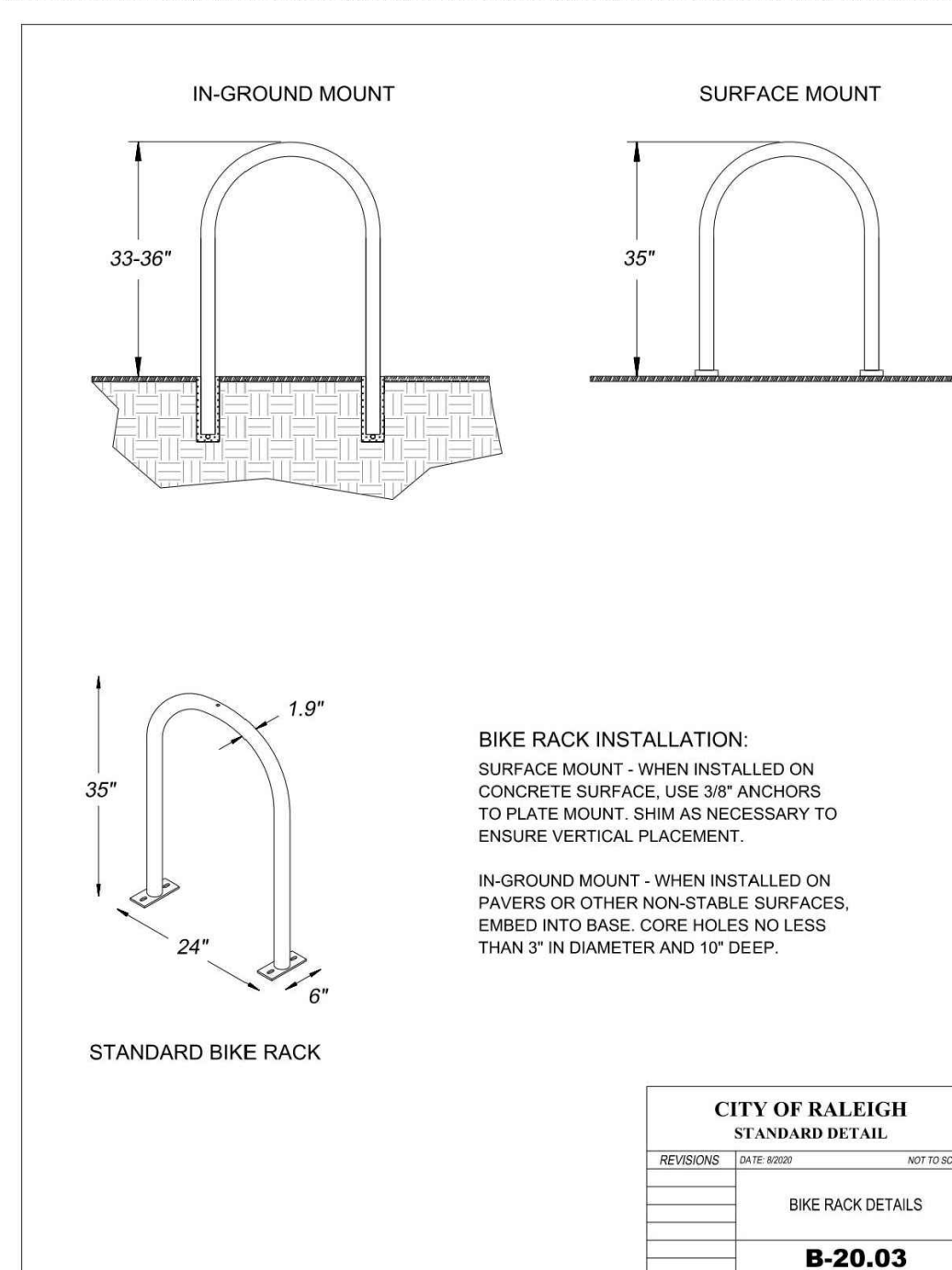
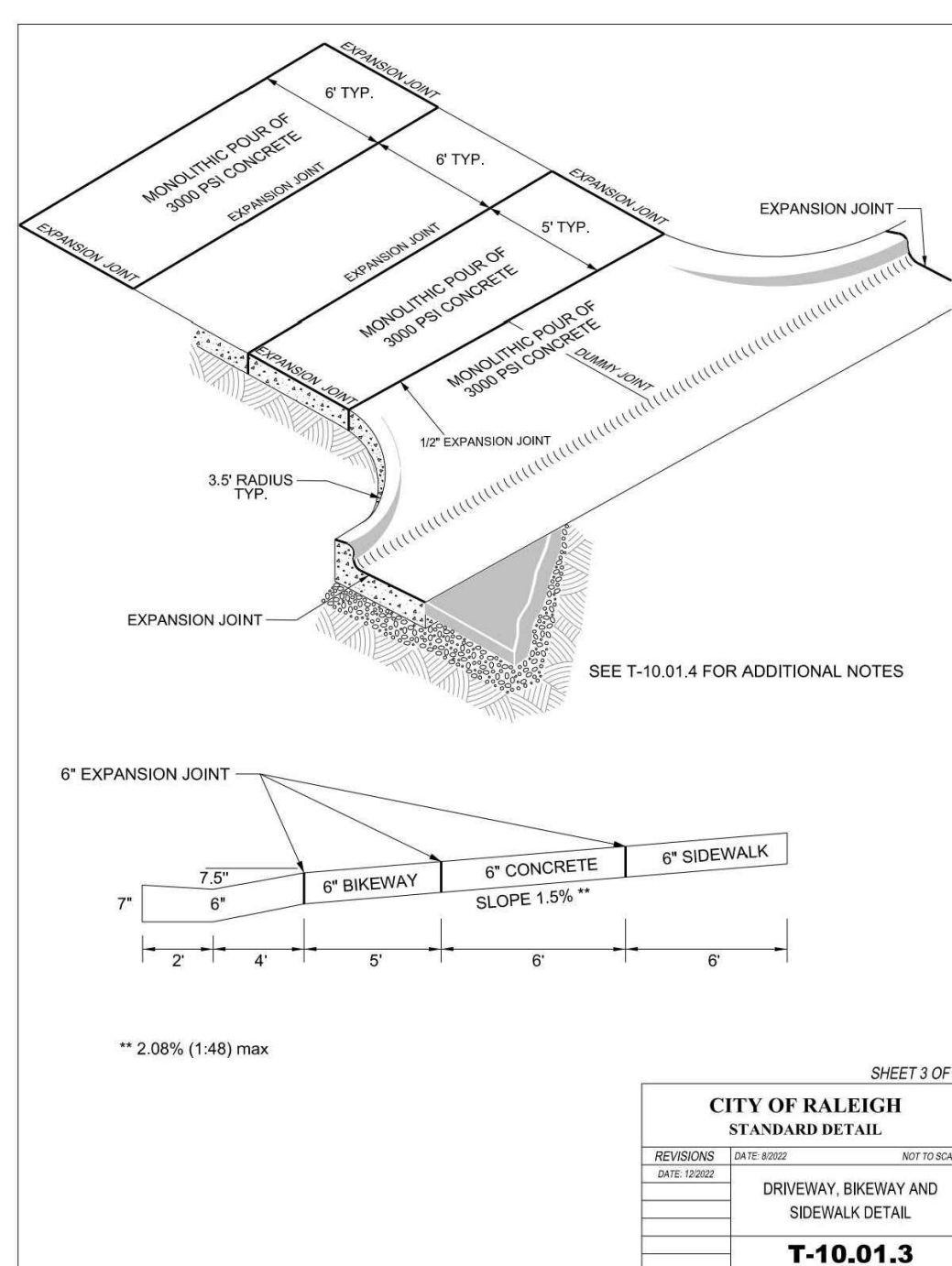
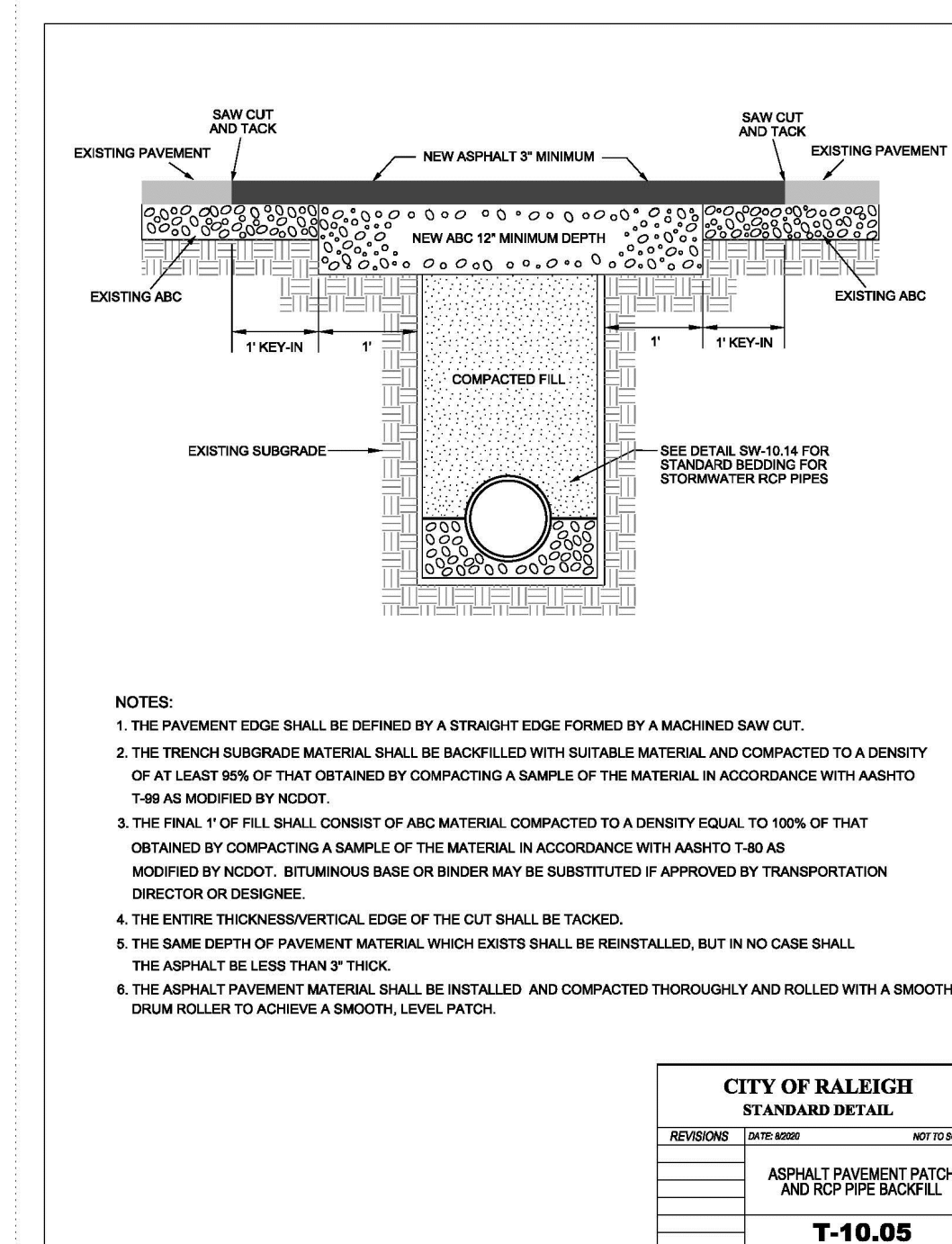
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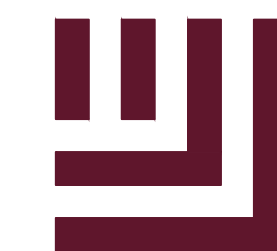
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FILENAME FFD23001-ASR-D1
CHECKED BY DB
DRAWN BY JJ
SCALE
DATE 10.27.2023

SHEET

SITE DETAILS

C8.00





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ATLANTA, GEORGIA 30339
CONTACT: MICHAEL GRIBBLE
PHONE: 404. 442. 3851

5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC, 27606

REVISIONS

NO. DATE

PLAN INFORMATION

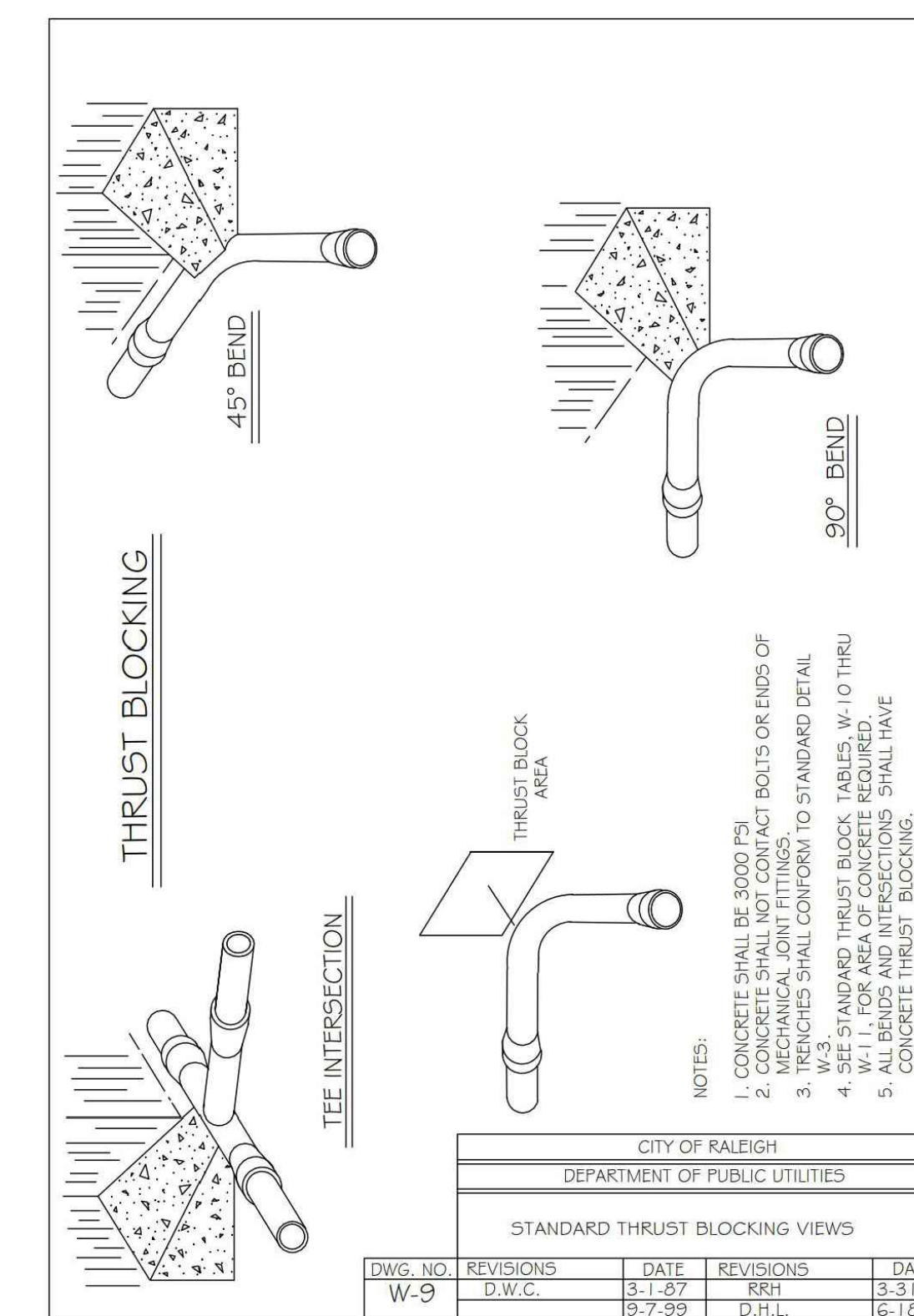
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CHECKED BY DB
DRAWN BY JJ
SCALE
DATE 10.27.2023

SHEET

WATER DETAILS

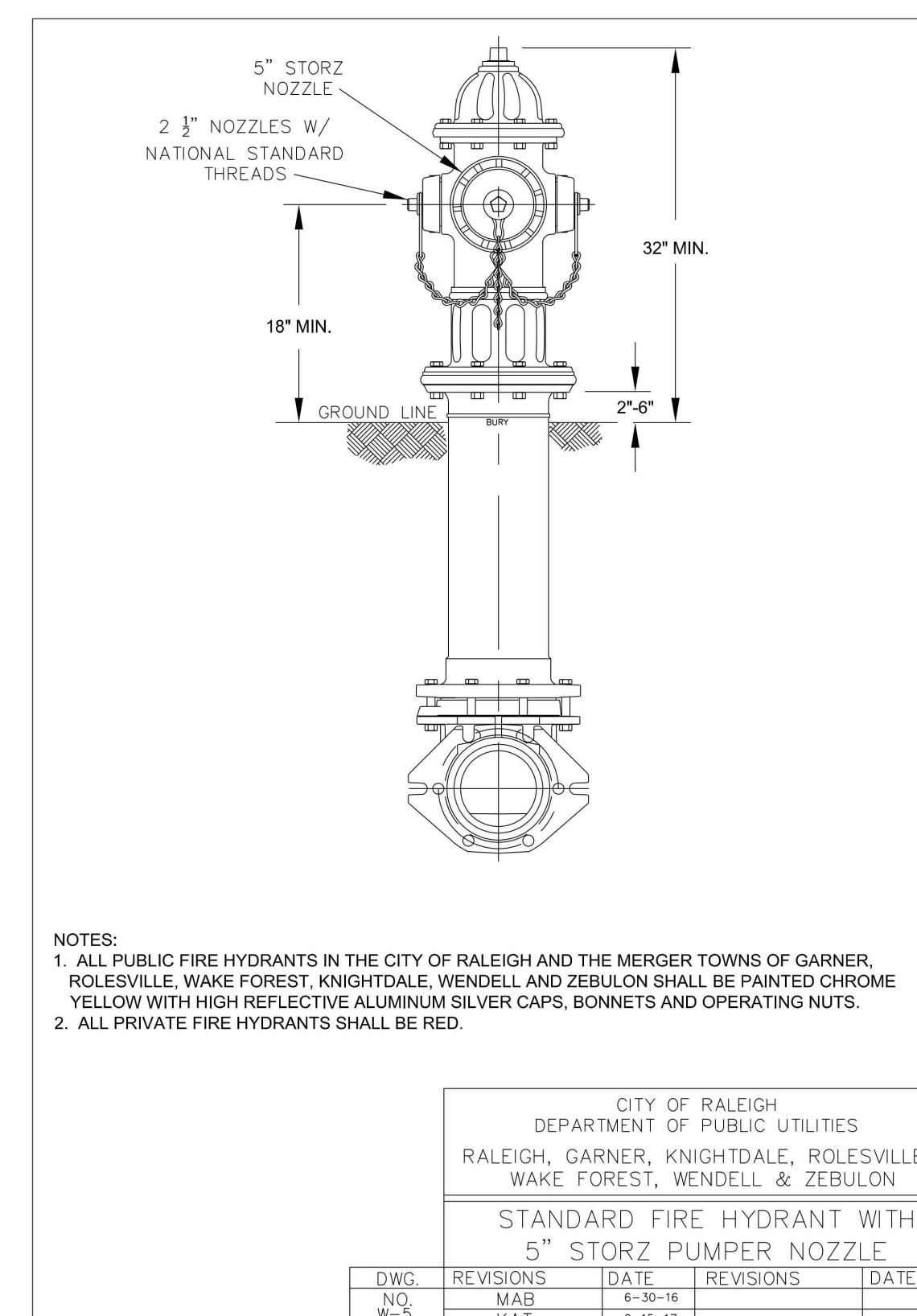
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



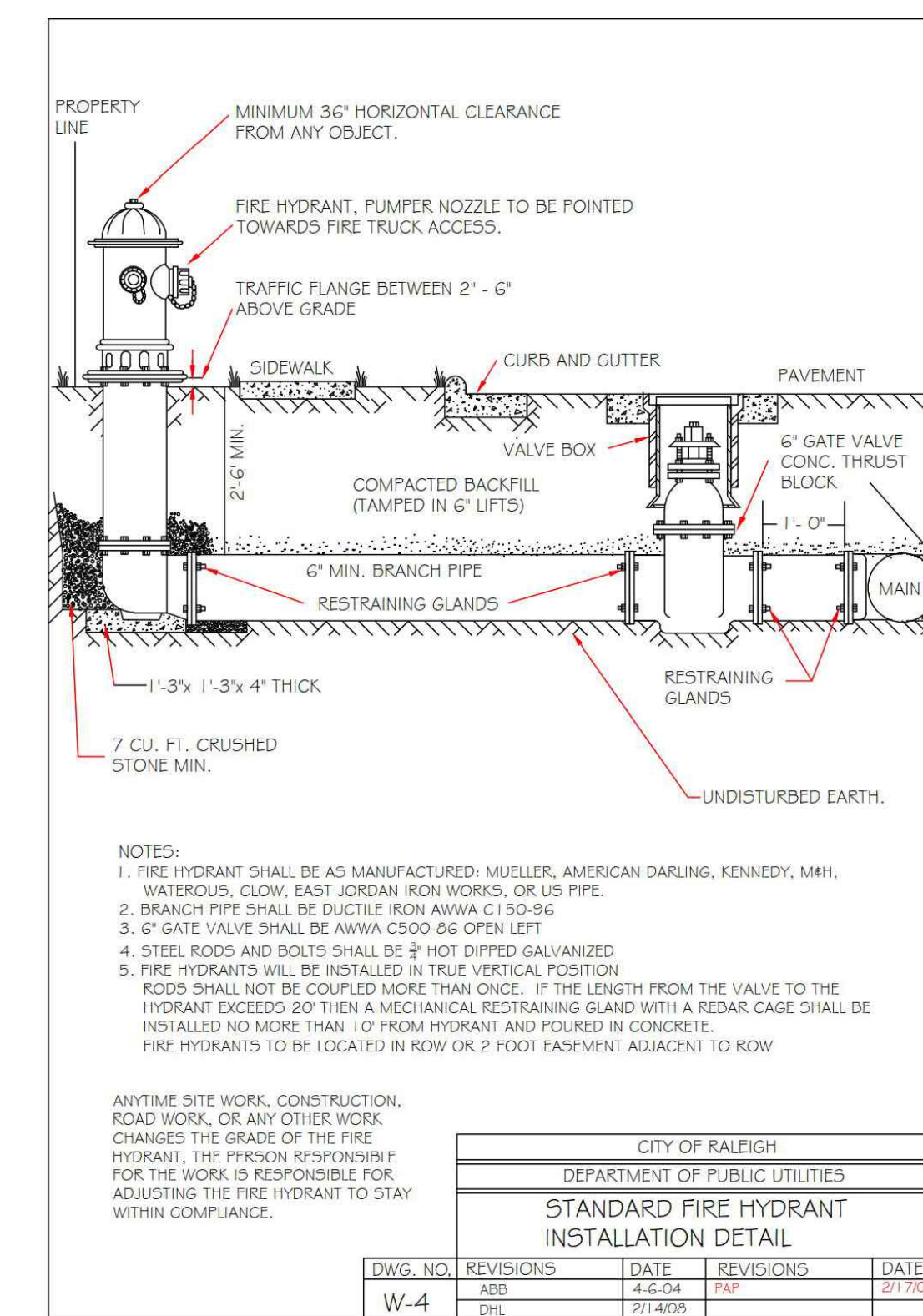
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD THRUST BLOCKING VIEWS

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-9	D.W.C.	3-1-97	RRT	3-31-00
		3-7-99	D.H.L.	6-15-00



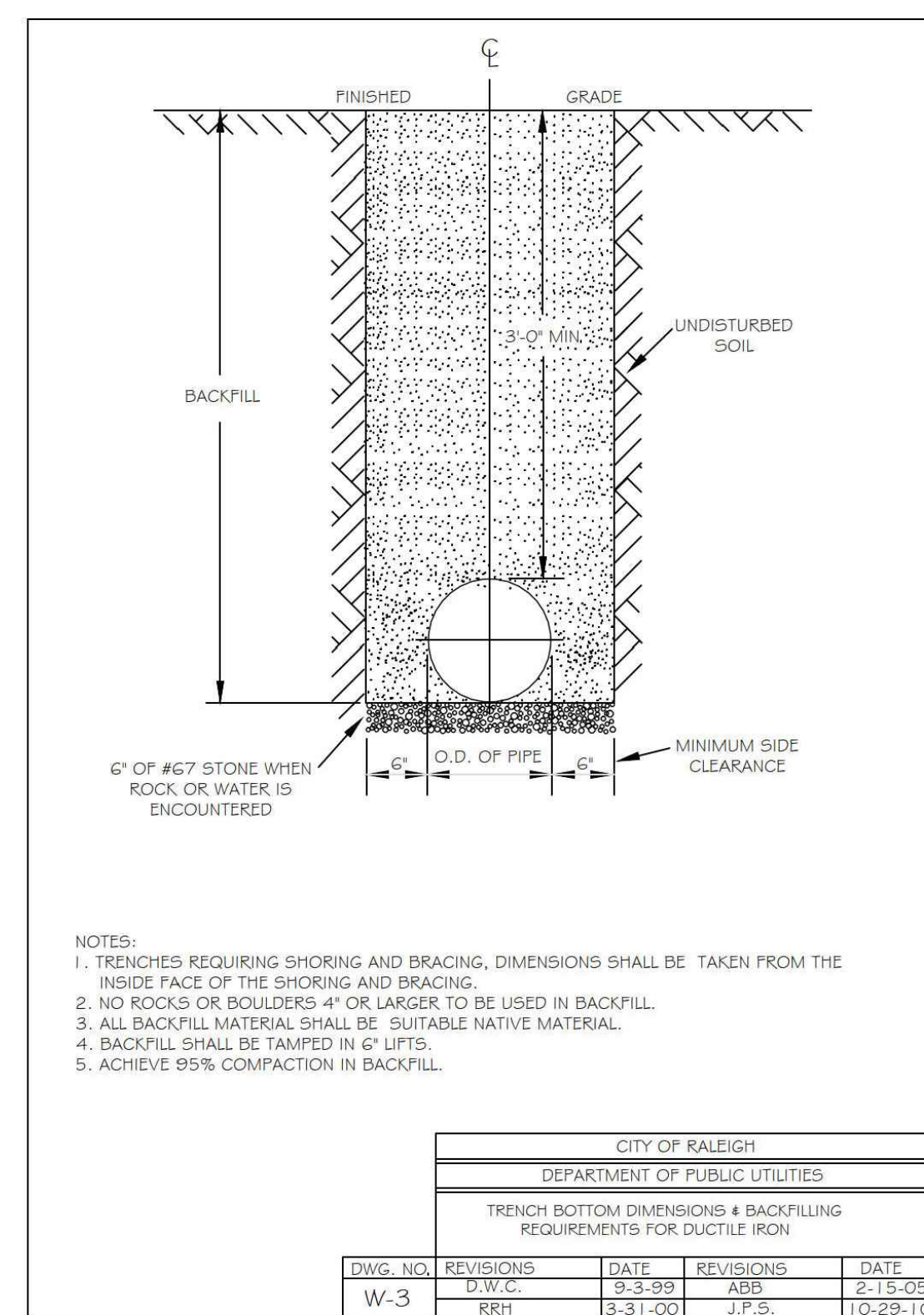
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
RALEIGH, GARNER, KNIGHTDALE, ROLESVILLE,
WAKE FOREST, WENDELL & ZEBULON
STANDARD FIRE HYDRANT WITH
5" STORZ PUMPER NOZZLE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-5	MAB	6-30-16		
	KAT	9-15-17		



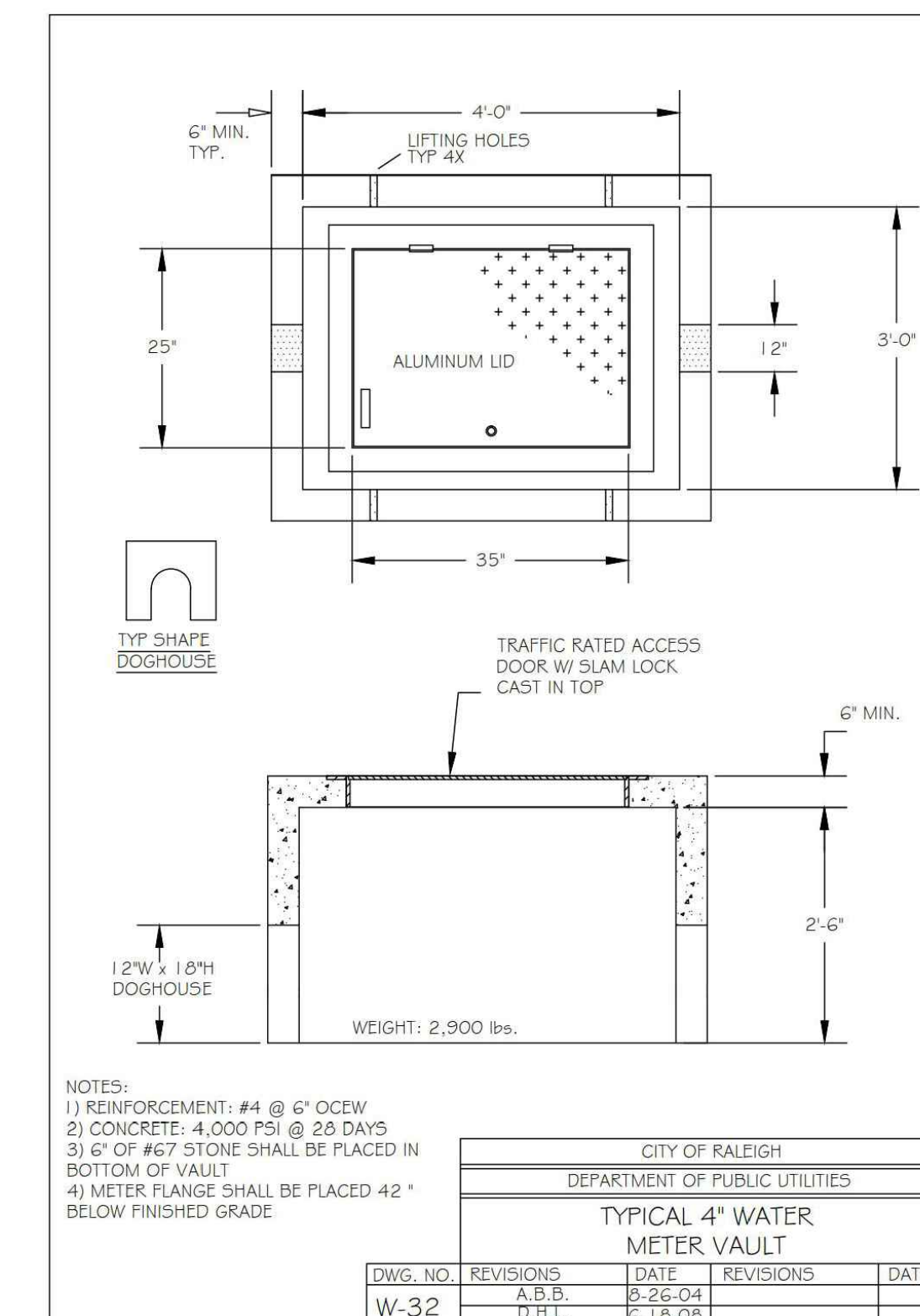
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD FIRE HYDRANT
INSTALLATION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ARR	4-4-04	PPP	2/7/09
	DHL	2/7/05		



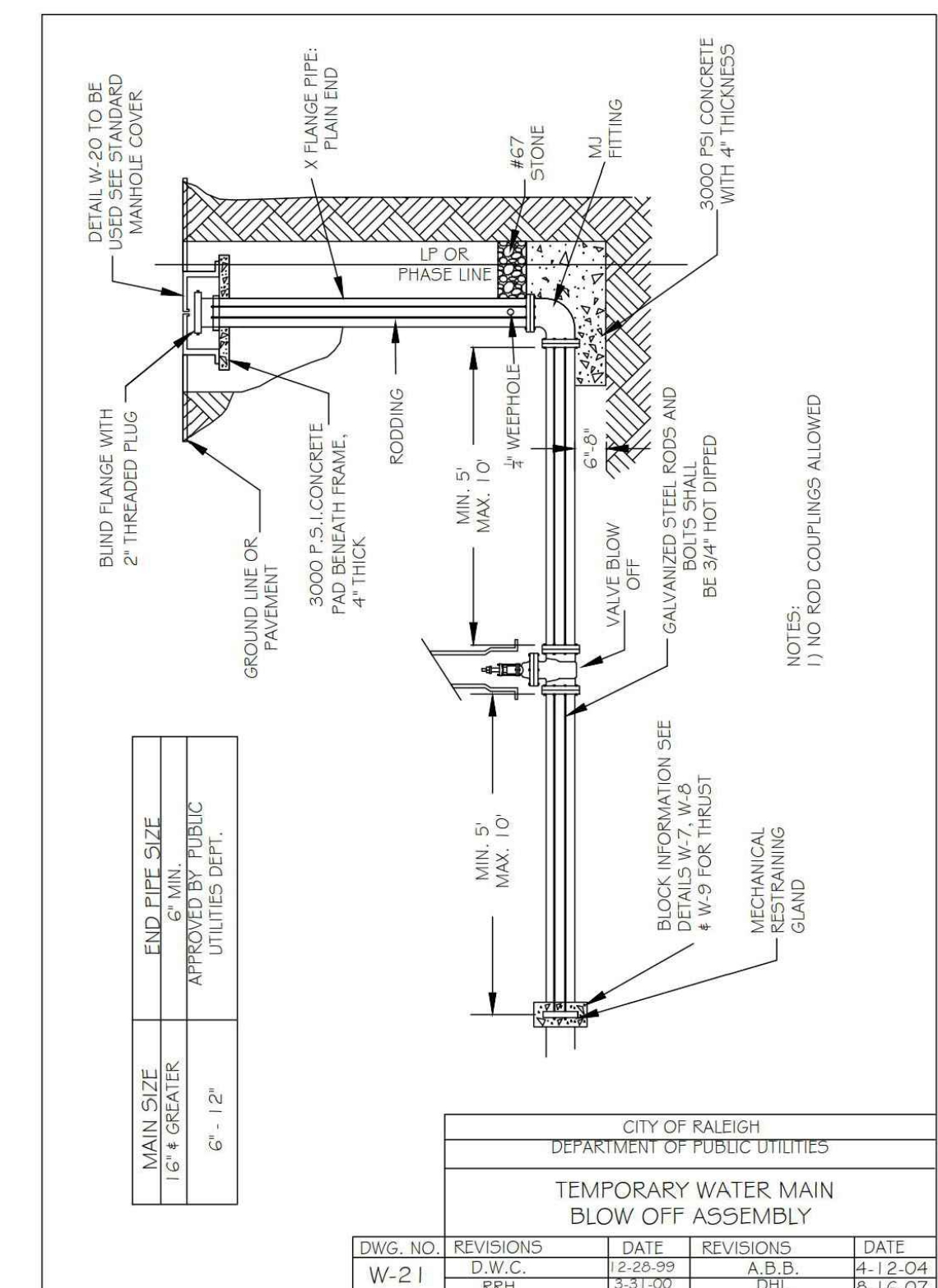
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
TRENCH BOTTOM DIMENSIONS & BACKFILLING
REQUIREMENTS FOR DUCTILE IRON

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
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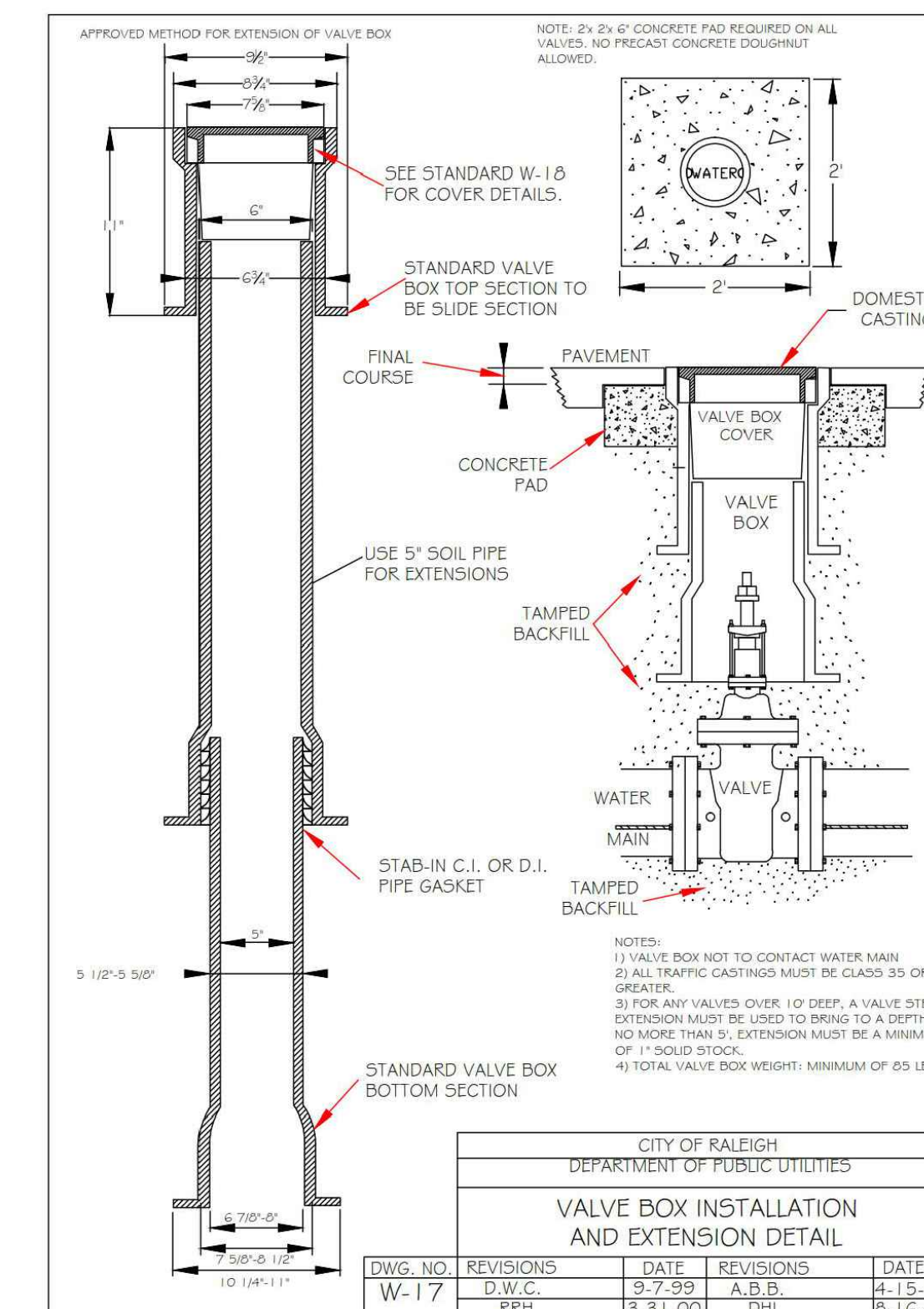
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
TYPICAL 4" WATER
METER VAULT

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
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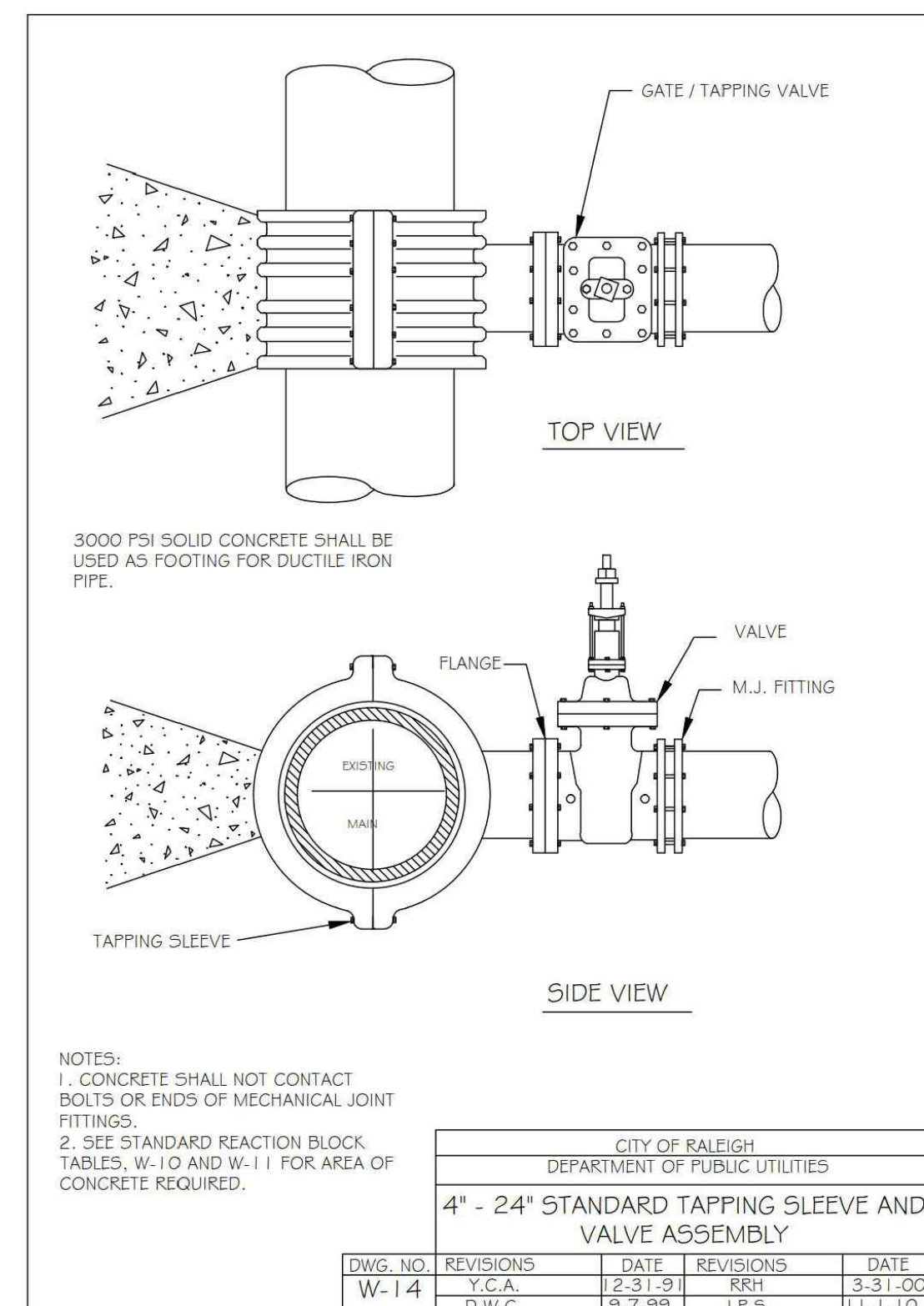
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
TEMPORARY WATER MAIN
BLOW OFF ASSEMBLY

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-21	D.W.C.	2-28-99	A.B.B.	4-12-04
	RRT	3-31-00	DHL	9-16-07



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
VALVE BOX INSTALLATION
AND EXTENSION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-17	D.W.C.	3-7-99	A.B.B.	4-15-04
	RRT	3-31-00	DHL	9-16-07



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
4" x 24" STANDARD TAPPING SLEEVE AND
VALVE ASSEMBLY

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-14	Y.C.A.	2-31-91	RRT	3-31-00
	D.W.C.	9-7-99	J.P.S.	11-1-10

M:\Projects\FFD\FFD23001\04-Production\Engineering\Construction Drawings\Current Drawings\FFD23001-ASR-D1.dwg, 10/26/2023 5:20:31 PM, Joann Jackson



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RALEIGH, NC, 27606



REVISIONS

NO. DATE

PLAN INFORMATION

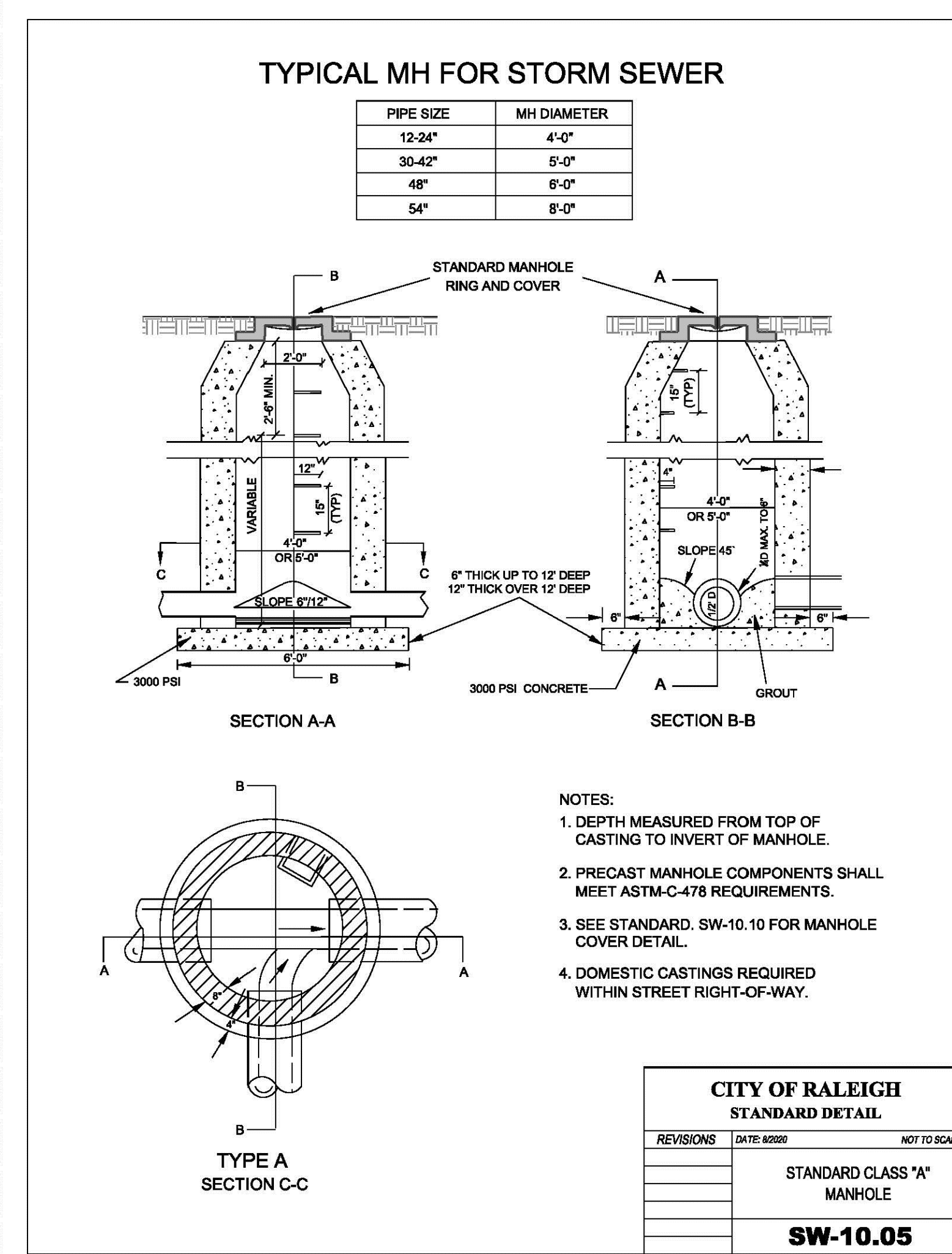
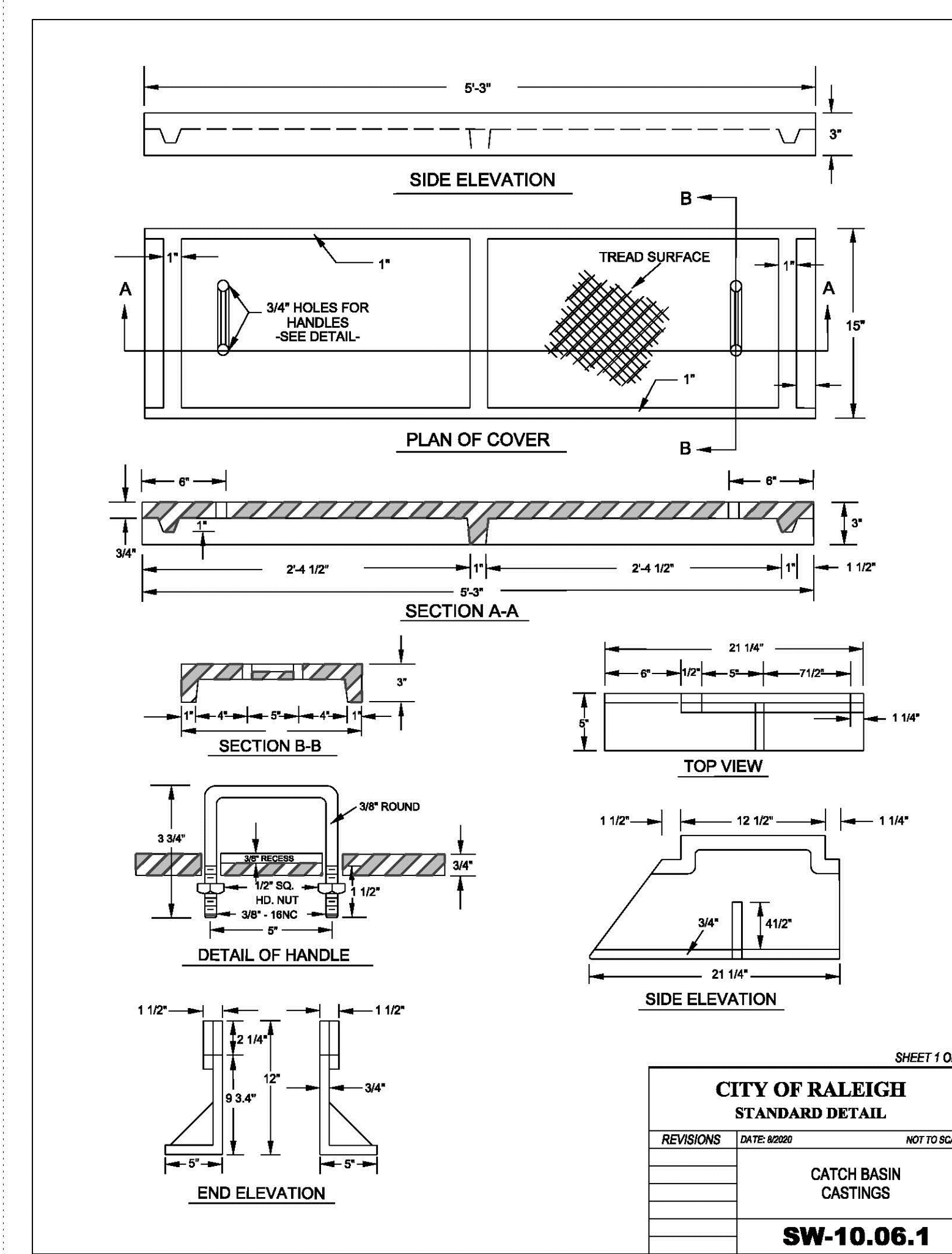
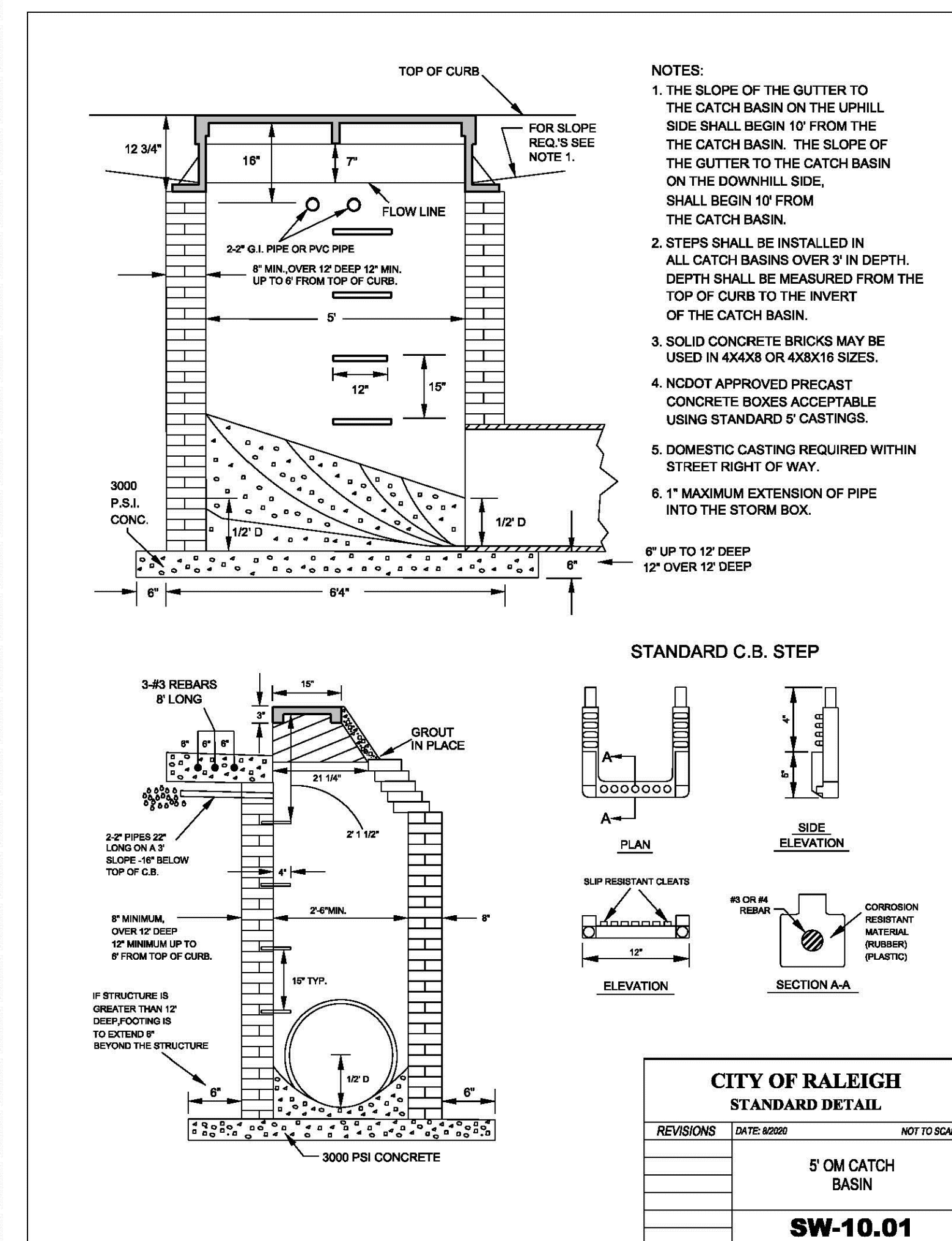
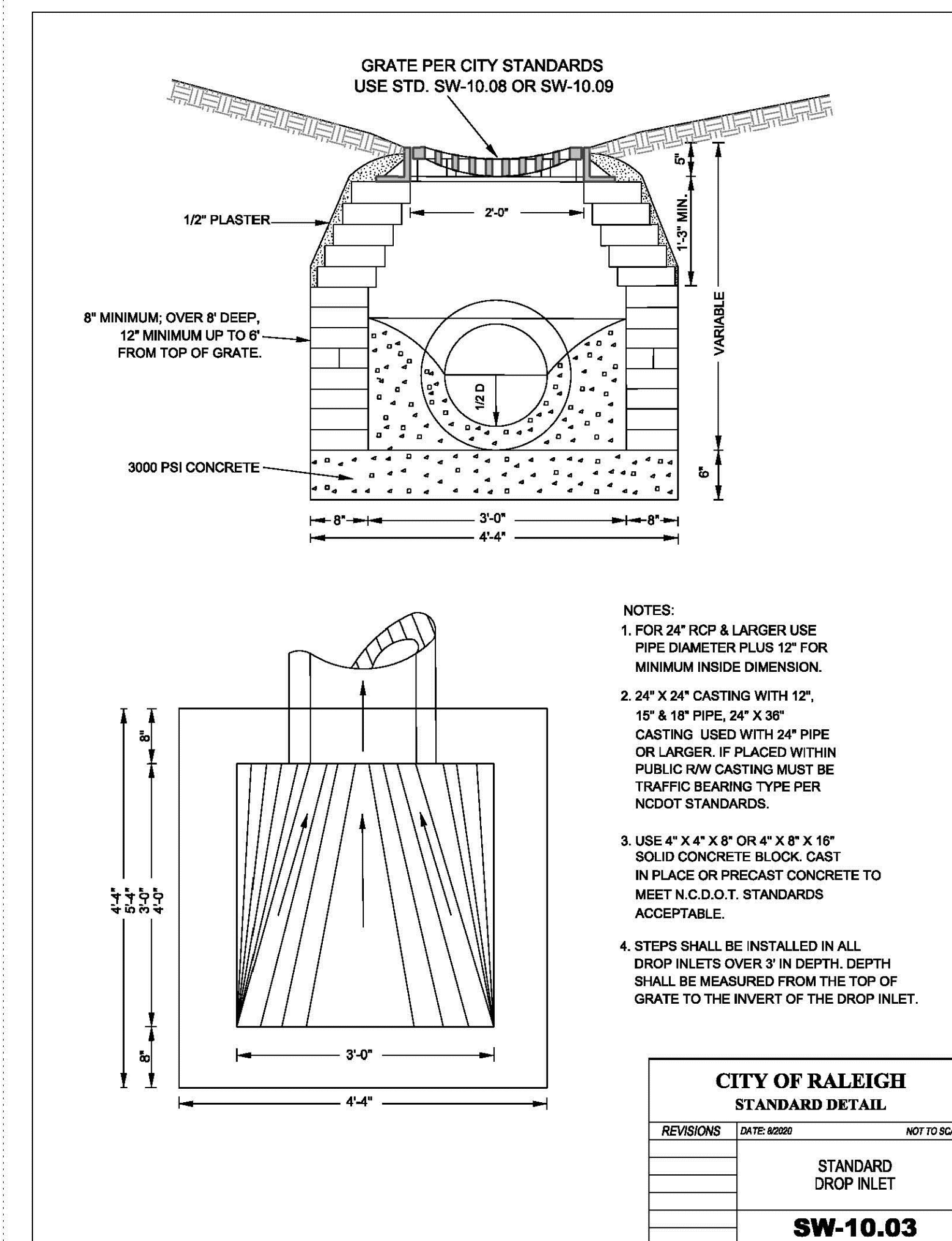
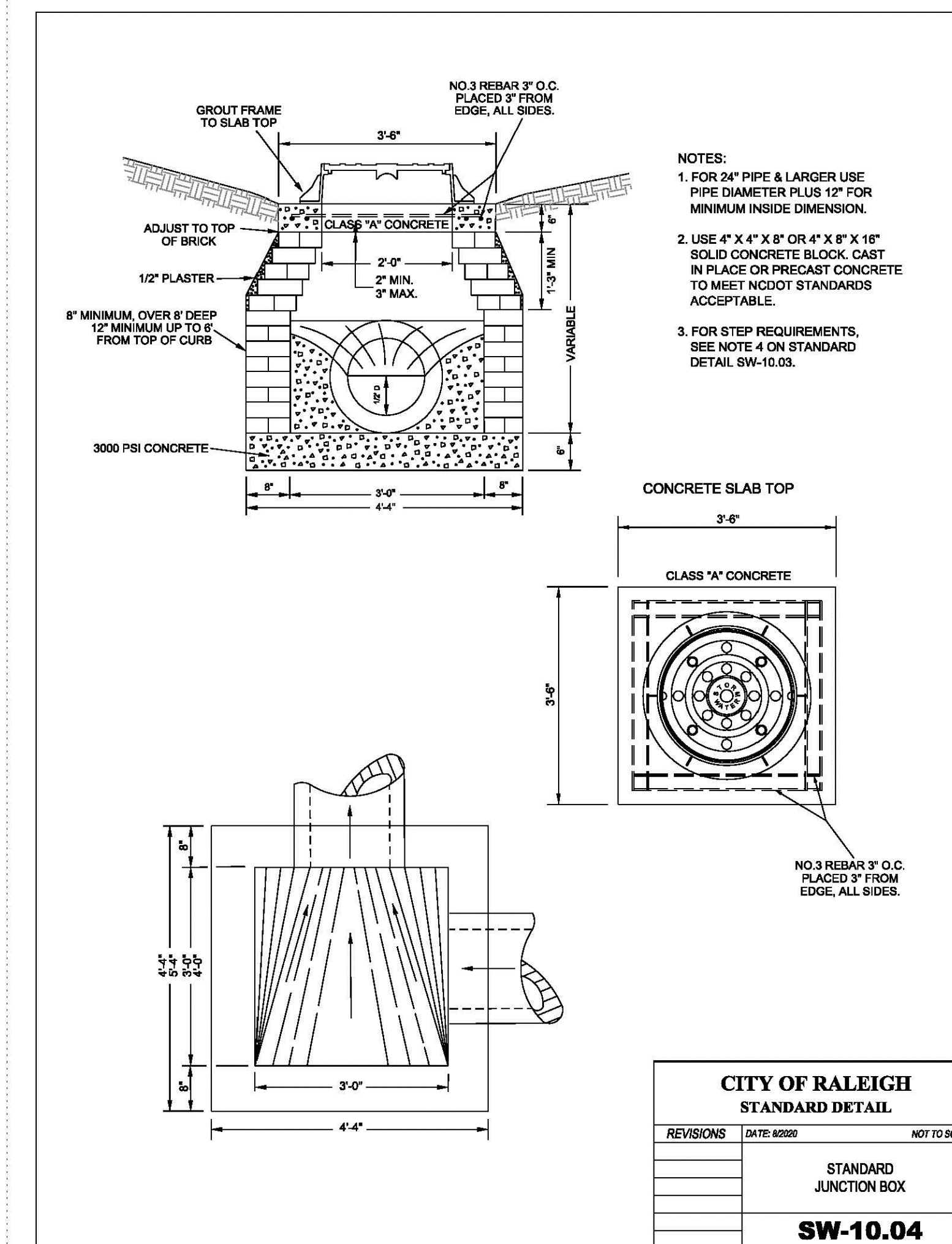
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FILENAME FFD23001-ASR-D1
CHECKED BY DB
DRAWN BY JJ
SCALE
DATE 10.27.2023

SHEET

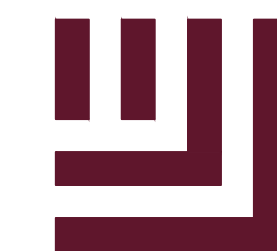
STORM DRAINAGE
DETAILS

C8.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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NO. DATE

PLAN INFORMATION

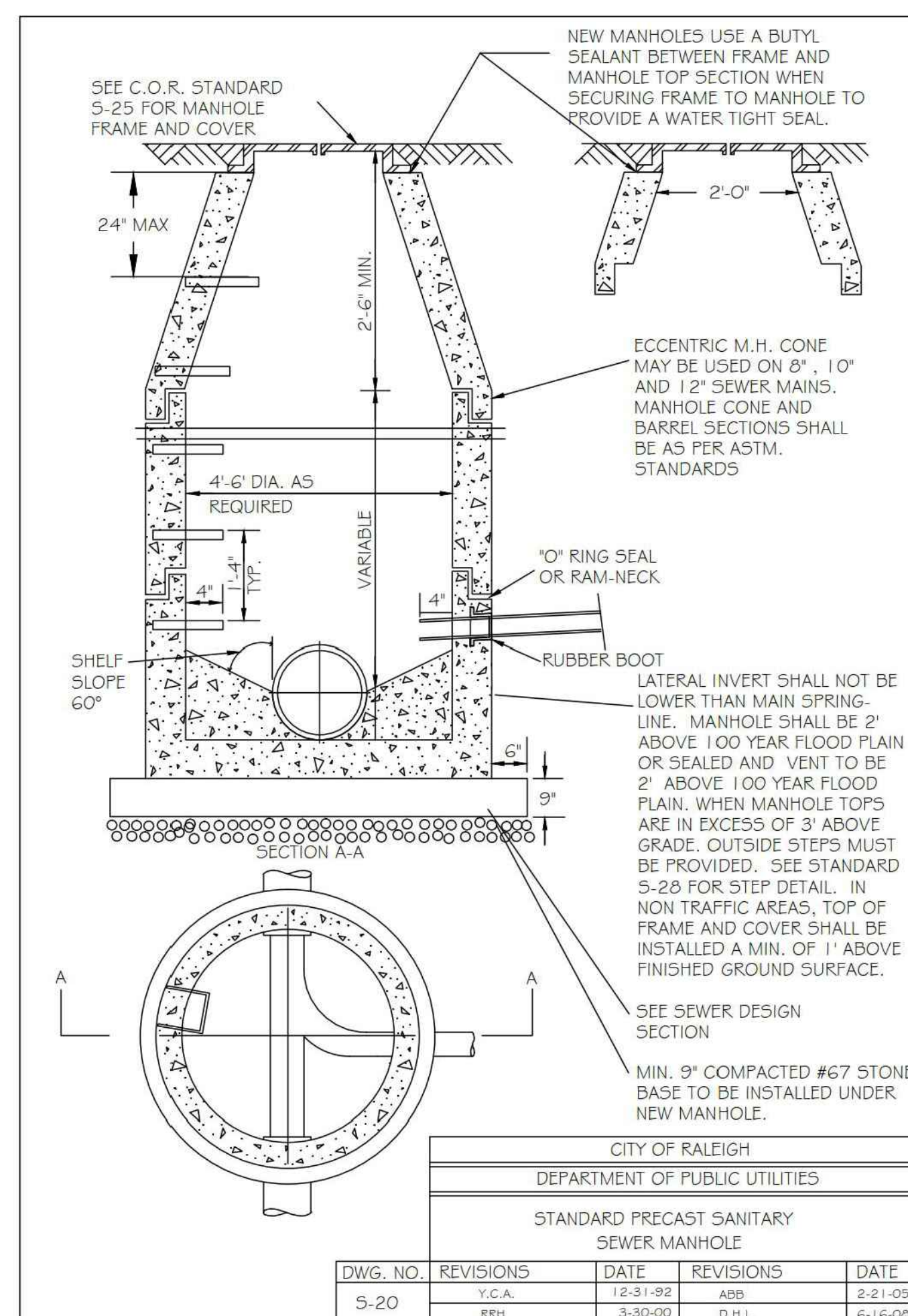
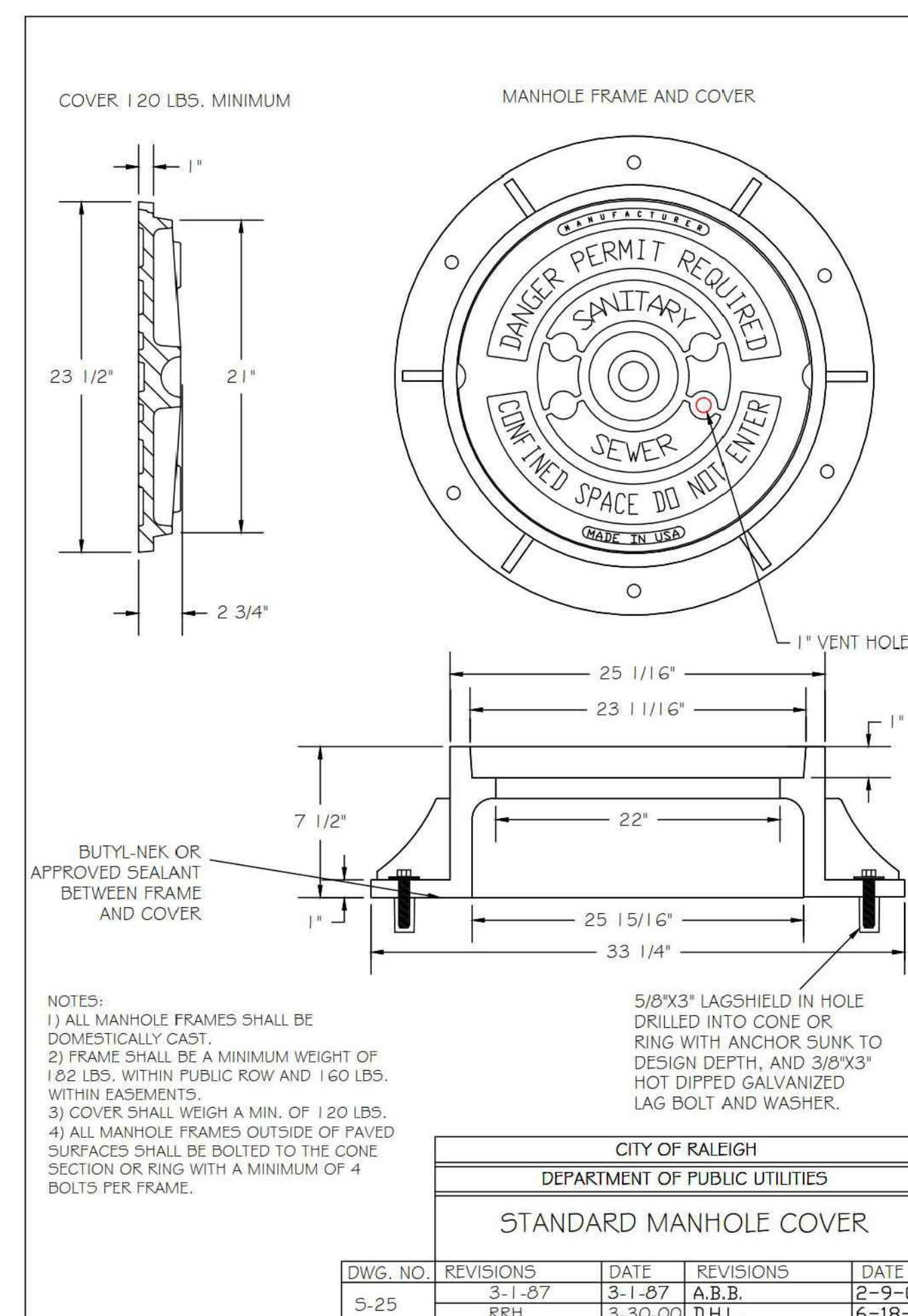
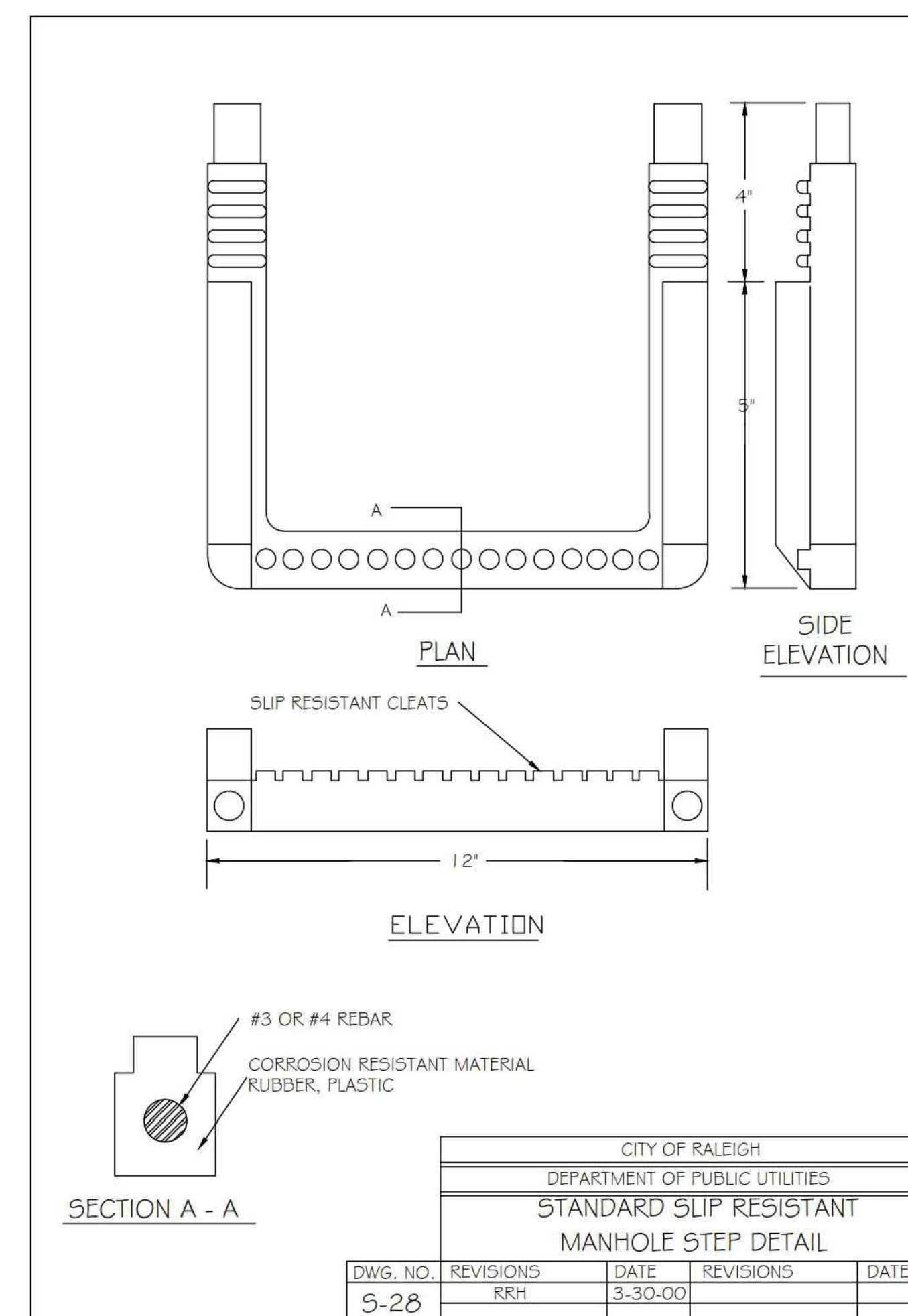
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FILENAME FFD23001-ASR-D1
CHECKED BY DB
DRAWN BY JJ
SCALE
DATE 10.27.2023

SHEET

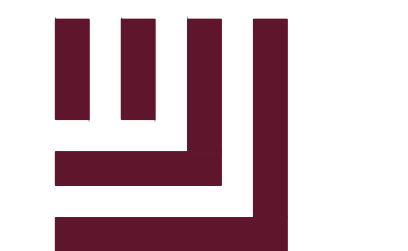
**SANITARY SEWER
DETAILS**

C8.03

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC, 27606



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-LS1
CHECKED BY DB
DRAWN BY MS
SCALE 1"=30'
DATE 10. 27. 2023

SHEET

LANDSCAPE PLAN

L5.00

STREET TREE CALCULATIONS

DORCAS STREET (234LF)	TREES REQUIRED:	6 (1 / 40 LF CANOPY TREES)
	TREES PROVIDED:	6
GRAND AVENUE (371 LF)	TREES REQUIRED:	10 (1 / 40 LF CANOPY TREES)
	TREES PROVIDED:	10
HILLSBOROUGH STREET (380 LF) (SEE NOTE #2)	TREES REQUIRED:	13 (1 / 30 LF UNDERSTORY TREES)
	TREES PROVIDED:	13
YOUTH CENTER DRIVE (398 LF)	TREES REQUIRED:	10 (1 / 40 LF CANOPY TREES)
	TREES PROVIDED:	10

NOTES:

- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- TREES ALONG HILLSBOROUGH STREET TO BE UNDERSTORY TREES DUE TO EXISTING OVERHEAD POWER LINES.

PLANT SCHEDULE

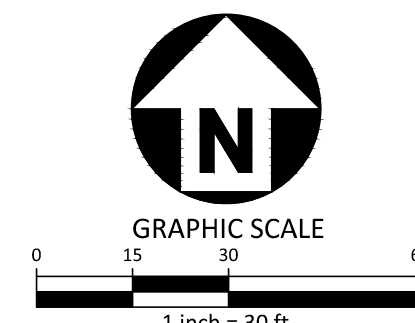
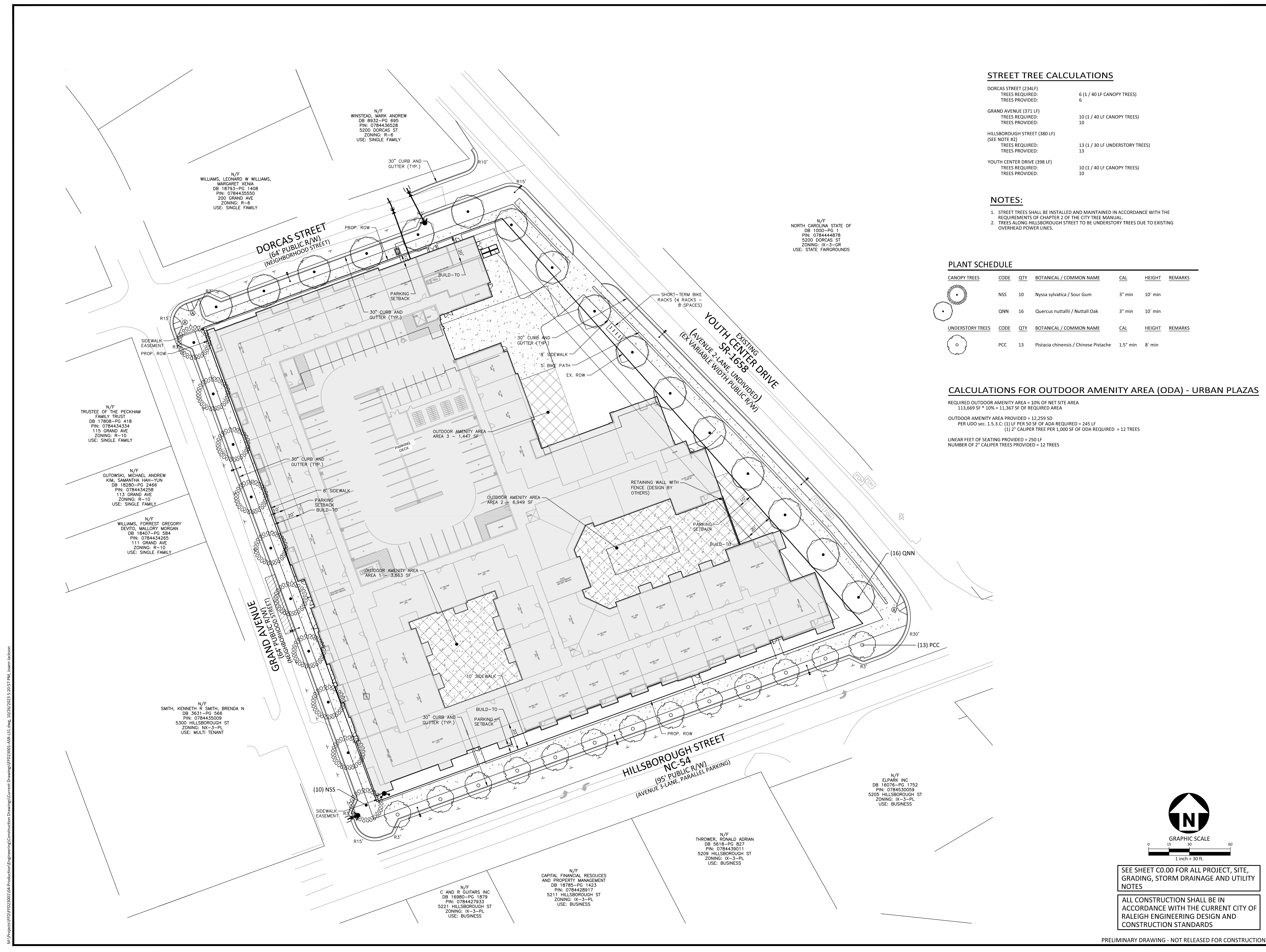
CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	REMARKS
	NSS	10	Nysssa sylvatica / Sour Gum	3" min	10' min	
	QNN	16	Quercus nuttallii / Nuttall Oak	3" min	10' min	
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	REMARKS
	PCC	13	Pistacia chinensis / Chinese Pistache	1.5" min	8' min	

CALCULATIONS FOR OUTDOOR AMENITY AREA (ODA) - URBAN PLAZAS

REQUIRED OUTDOOR AMENITY AREA = 10% OF NET SITE AREA
113,669 SF * 10% = 11,367 SF OF REQUIRED AREA

OUTDOOR AMENITY AREA PROVIDED = 12,259 SF
PER UDO sec. 1.5.3.C: (1) LF PER 50 SF OF ADA REQUIRED = 245 LF
(1) 2" CALIPER TREE PER 1,000 SF OF ODA REQUIRED = 12 TREES

LINEAR FEET OF SEATING PROVIDED = 250 LF
NUMBER OF 2" CALIPER TREES PROVIDED = 12 TREES



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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N/F
WILLIAMS, LEONARD W WILLIAMS,
MARGARET XENA
DB 18793-PG 1408
PIN: 0784435550
200 GRAND AVE
ZONING: R-6
USE: SINGLE FAMILY

N/F
WINSTEAD, MARK ANDREW
DB 8932-PG 695
PIN: 0784436528
5200 DORCAS ST
ZONING: R-6
USE: SINGLE FAMILY

N/F
NORTH CAROLINA STATE OF
DB 1020-PG 1
PIN: 0784444878
5200 DORCAS ST
ZONING: IX-3-SR
USE: STATE FAIRGROUNDS

N/F
TRUSTEE OF THE PECKHAM
FAMILY TRUST
DB 17708-PG 418
PIN: 0784434334
115 GRAND AVE
ZONING: R-10
USE: SINGLE FAMILY

N/F
GUTOWSKI, MICHAEL ANDREW
KIM, SAMANTHA HAH-YUN
DB 18290-PG 2486
PIN: 0784434259
113 GRAND AVE
ZONING: R-10
USE: SINGLE FAMILY

N/F
WILLIAMS, FORREST GREGORY
DENTO, MALLORY MORGAN
DB 18407-PG 584
PIN: 0784434255
111 GRAND AVE
ZONING: R-10
USE: SINGLE FAMILY

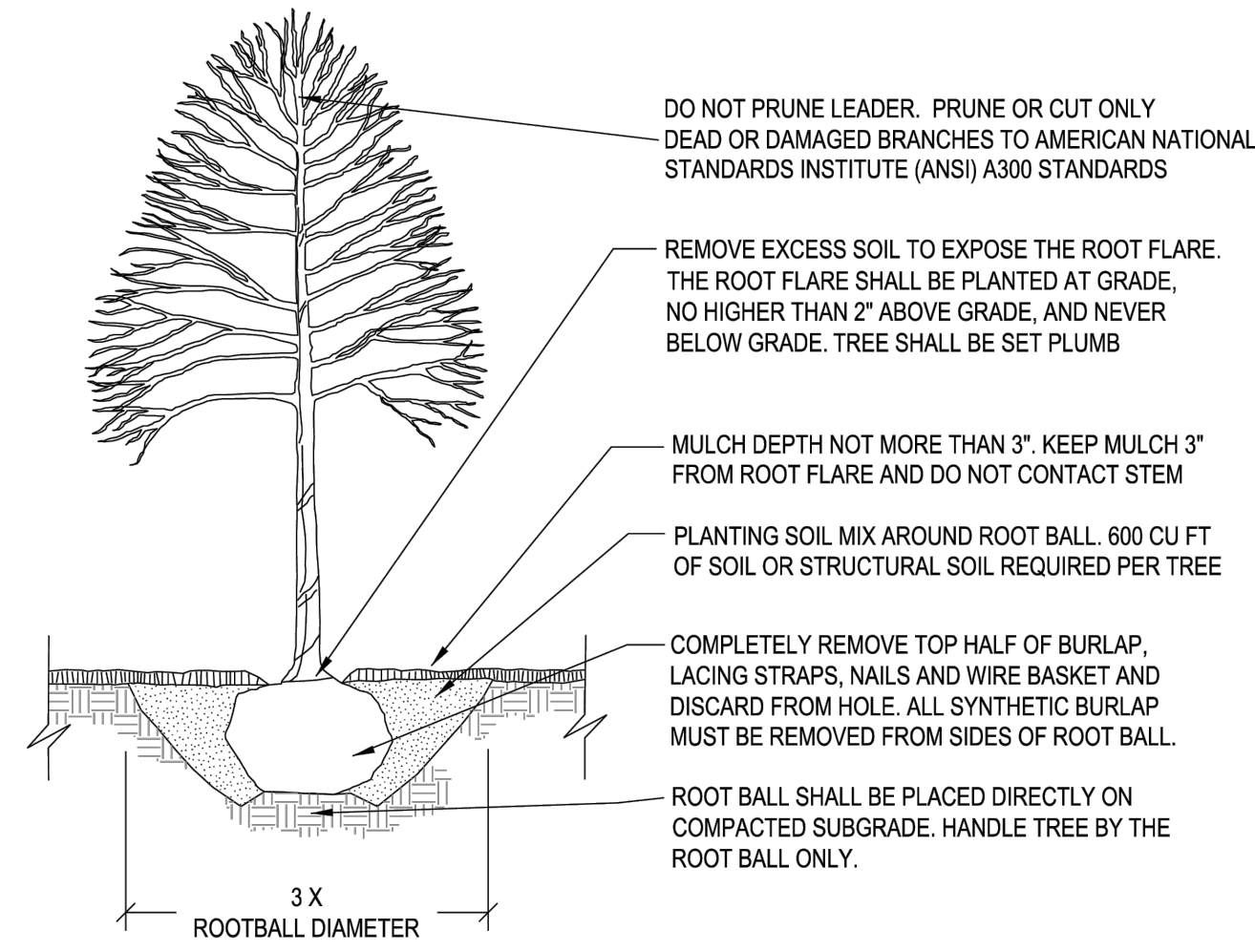
N/F
SMITH, KENNETH R SMITH, BRENDA N
DB 3631-PG 566
PIN: 0784435009
5300 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: MULTI TENANT

N/F
C AND R GUITARS INC
DB 16960-PG 1879
PIN: 0784427933
5221 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: BUSINESS

N/F
CAPITAL FINANCIAL RESOURCES
AND PROPERTY MANAGEMENT
DB 18785-PG 1423
PIN: 0784428917
5211 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: BUSINESS

N/F
THROWER, RONALD ADRIAN
DB 5618-PG 827
PIN: 0784439011
5209 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: BUSINESS

N/F
ELPARK INC
DB 16076-PG 1752
PIN: 0784530059
5205 HILLSBOROUGH ST
ZONING: IX-3-PL
USE: BUSINESS



CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL
RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/20/20	NOT TO SCALE
10/20/19		
TREE PLANTING DETAIL		
TPP-03		

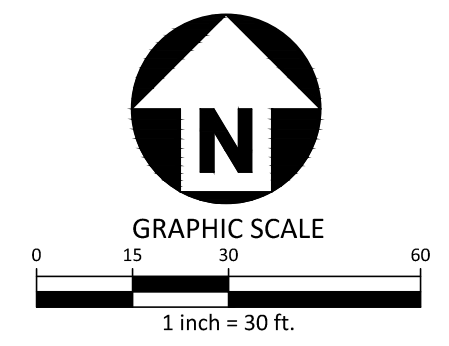
PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	REMARKS
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	QNN	16	Quercus nuttallii / Nuttall Oak	3" min	10' min	
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	REMARKS
	PCC	13	Pistacia chinensis / Chinese Pistache	1.5" min	8' min	

LANDSCAPE NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF RALEIGH THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 8 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.

- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNITED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- ALL TREES TO BE LIMBED TO A HEIGHT OF 8' FROM FINISH GRADE WITHIN SIGHT DISTANCE TRIANGLES.
- WHERE TREES ARE REQUIRED TO BE LIMBED TO 8' FOR SIGHT DISTANCE TRIANGLE CLEARANCE, A LARGER CALIPER SIZE MAY BE REQUIRED AT TIME OF INSTALLATION FOR PROPER LIMBING AND PRUNING.
- PLANT MATERIAL TO BE CHOSEN FROM THE WENDELL UDO ACCEPTABLE PLANT MATERIAL LIST.
- SPECIES NOT FOUND ON THE ACCEPTABLE PLANT LIST MAY BE UTILIZED WITH APPROVAL FROM THE TOWN OF WENDELL.



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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5200 HILLSBOROUGH ST
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REVISIONS

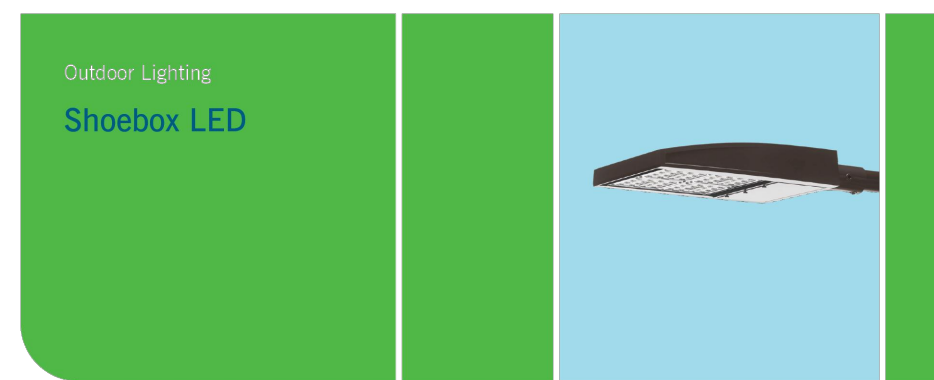
NO.	DATE

PLAN INFORMATION

PROJECT NO.	FFD-23001
FILENAME	FFD23001-ASR-LS1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1"=30'
DATE	10. 27. 2023

LANDSCAPE NOTES AND DETAILS
L5.01

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Outdoor Lighting
Shoobox LED

The energy efficient Shoobox LED combines a decorative, contemporary style with versatility and ample lighting effect that's perfect for streets, parking lots, commercial buildings and residential communities. The Shoobox LED provides excellent color rendition along with a controlled light pattern that minimizes glare and keeps the light directed only where you want it. Available in black, dark bronze, gray or white with one to four fixtures per pole.

LED (Light Emitting Diode)
150, 220, 420, 530 watts

Mounting heights 28', 30', 35'

Colors
Black
Bronze
Gray
White

Poles
Fiberglass (1 or 2 fixtures per pole)
Decorative tapered metal
Decorative square metal

Note: 30' pole available in black or bronze only.



Outdoor Lighting
Shoobox LED

Light sources: LED emitter
Replacement heat LED
LED Wattage 150 - 250-watt HPS and metal halide
LED Wattage 205 - up to 400-watt metal halide
LED Wattage 500 - 1,000-watt metal halide

Warm-up and reheat time: Instant on (no warm-up or reheat time)

Wattage	Ball Rating	Light Pattern	Lumens	Color Temp.
LED 150	85-105-63	IESNA Type V (circulator)	19580	Black
LED 150	85-105-64	IESNA Type IV (circulator)	19580	Black
LED 150	85-105-63	IESNA Type V (circulator)	20600	Gray
LED 150	85-105-64	IESNA Type IV (circulator)	20600	Gray
LED 220	85-105-63	IESNA Type V (circulator)	25870	Black
LED 220	85-105-64	IESNA Type IV (circulator)	25870	Black
LED 220	85-105-63	IESNA Type V (circulator)	25114	Gray
LED 220	85-105-64	IESNA Type IV (circulator)	25114	Gray
LED 420	85-105-63	IESNA Type V (circulator)	48014	Black
LED 420	85-105-64	IESNA Type IV (circulator)	48014	Black
LED 530	85-105-63	IESNA Type V (circulator)	60296	Black
LED 530	85-105-64	IESNA Type IV (circulator)	60296	Black

* These are approximate replacement suggestions; actual conditions could be different.

Poles available:
Name | Mounting height | Color

Round tapered decorative metal* | 30' | Black
Bronze

Decorative square metal* | 25' and 30' | Black
Gray
Bronze
White

Fiberglass | 30' | Black (1 or 2 fixtures per pole)
Gray (1 or 2 fixtures per pole)

Features | Benefits

Little or no installation cost | Press up cap for other projects

Design services by lighting professionals included | Meets industry standards and lighting ordinances

Maintenance included | Eliminates high and unexpected repair bills

Electricity included | Less expensive than metered service

Warranty included | Money free

One low monthly cost on your electric bill | Convenience and savings for you

Turnkey operation | Provides hands-free installation and service

Backed by over 40 years of experience | A name you can trust today... and tomorrow

*2" raised foundation available when required on metal poles only.
A name you can trust today... and tomorrow

Poles available:

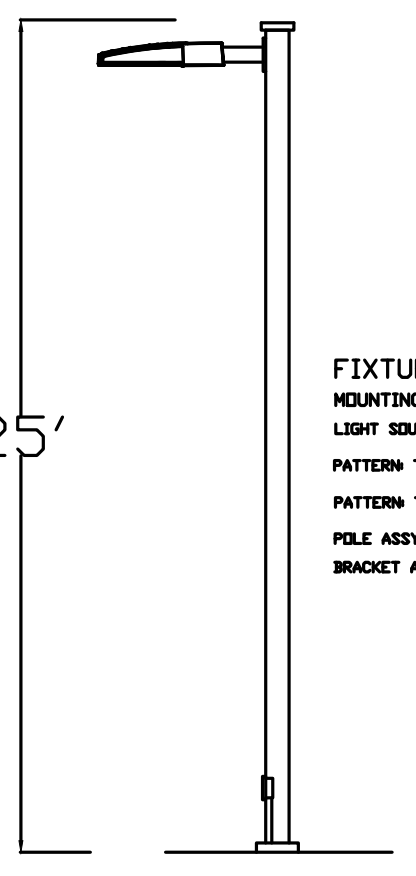
Name	Mounting height	Color
Round tapered decorative metal*	30'	Black Bronze
Decorative square metal*	25' and 30'	Black Gray Bronze White

Fiberglass: 30' Black (1 or 2 fixtures per pole), Gray (1 or 2 fixtures per pole)

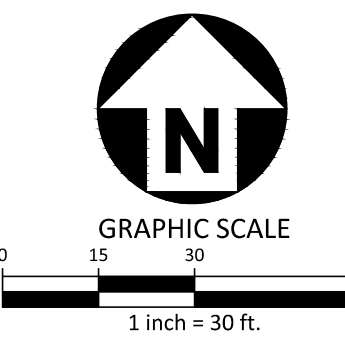
Features: Little or no installation cost, Design services by lighting professionals included, Maintenance included, Electricity included, Warranty included, One low monthly cost on your electric bill, Turnkey operation, Backed by over 40 years of experience.

Benefits: Press up cap for other projects, Meets industry standards and lighting ordinances, Eliminates high and unexpected repair bills, Less expensive than metered service, Money free, Convenience and savings for you, Provides hands-free installation and service, A name you can trust today... and tomorrow.

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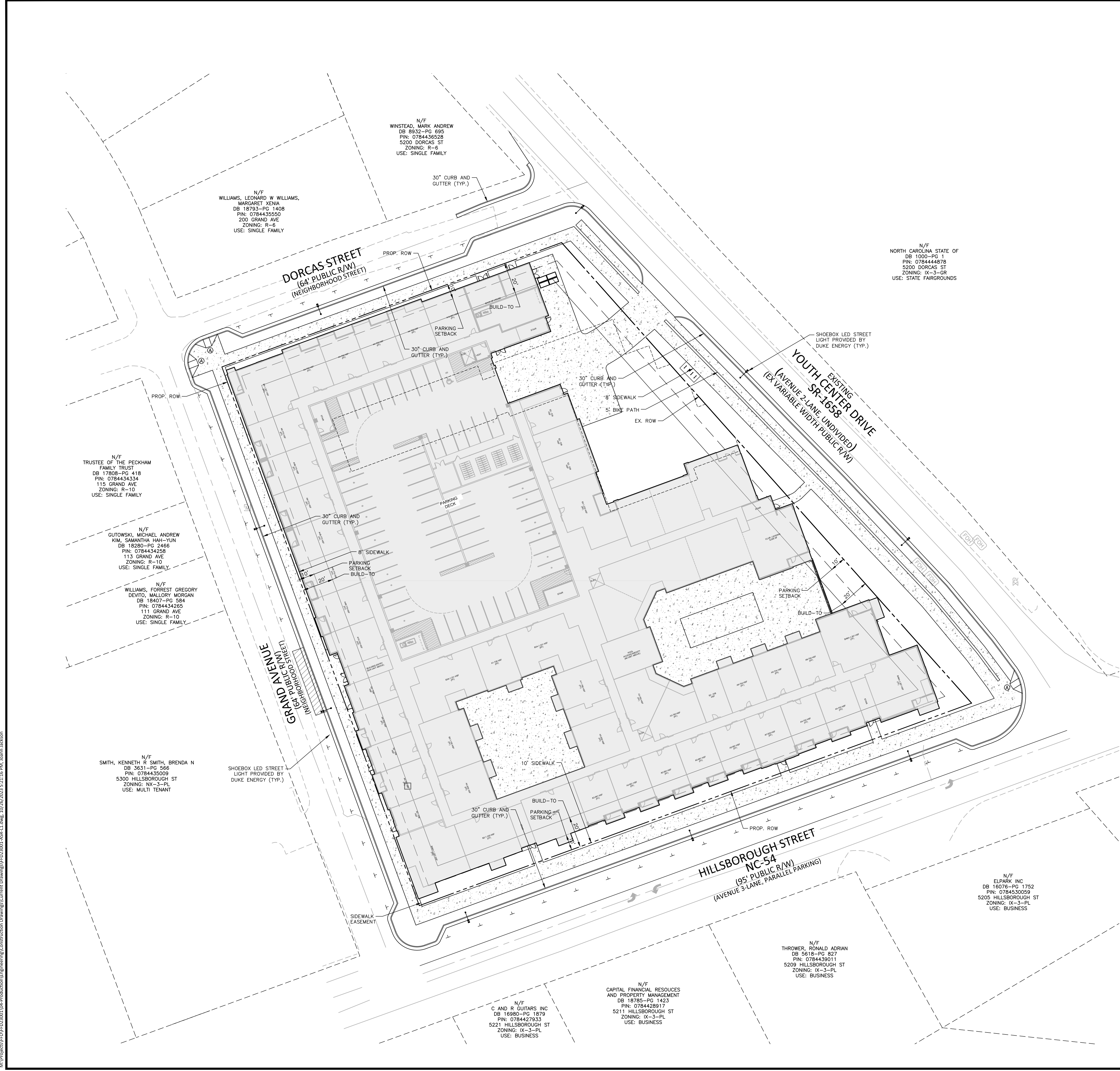
FIXTURE: LED150W SHOobox
MOUNTING HEIGHT: 25 FT
LIGHT SOURCE: LED, 150W, 70 CRI
PATTERN TYPE IV - LUMENS - 19580 - 85-105-64 - ASSY LFX-SBK-LED-150-BLK-IV-MLTV-...-P
PATTERN TYPE V - LUMENS - 20600 - 85-105-63 - ASSY LFX-SBK-LED-150-BLK-V-MLTV-...-P
POLE ASSY LFK1-30-STL-25FT-BLK-30-...-P GRABCO
BRACKET ASSY LMT1-SBK-120-BLK-INV-STL-...-P GRABCO



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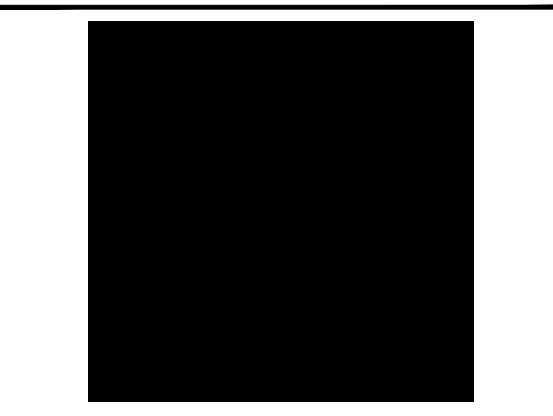
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CONTACT: MICHAEL GRIBBLE
PHONE: 404. 442. 3851

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ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC, 27606



REVISIONS

NO.	DATE

PLAN INFORMATION

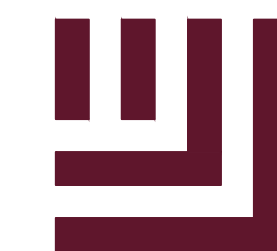
PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-L1
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=30'
DATE 10. 27. 2023

SHEET

LIGHTING PLAN

L6.00

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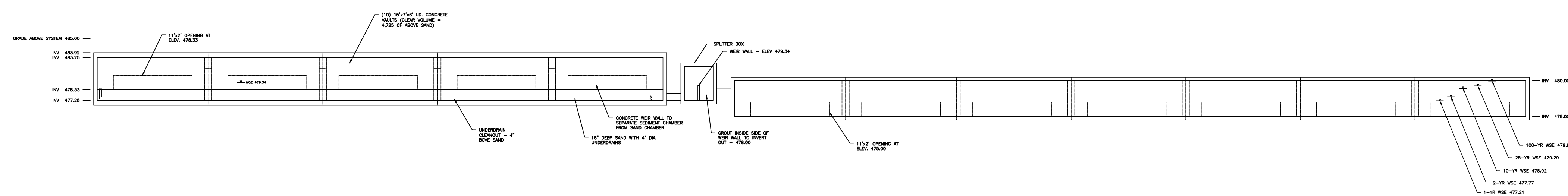
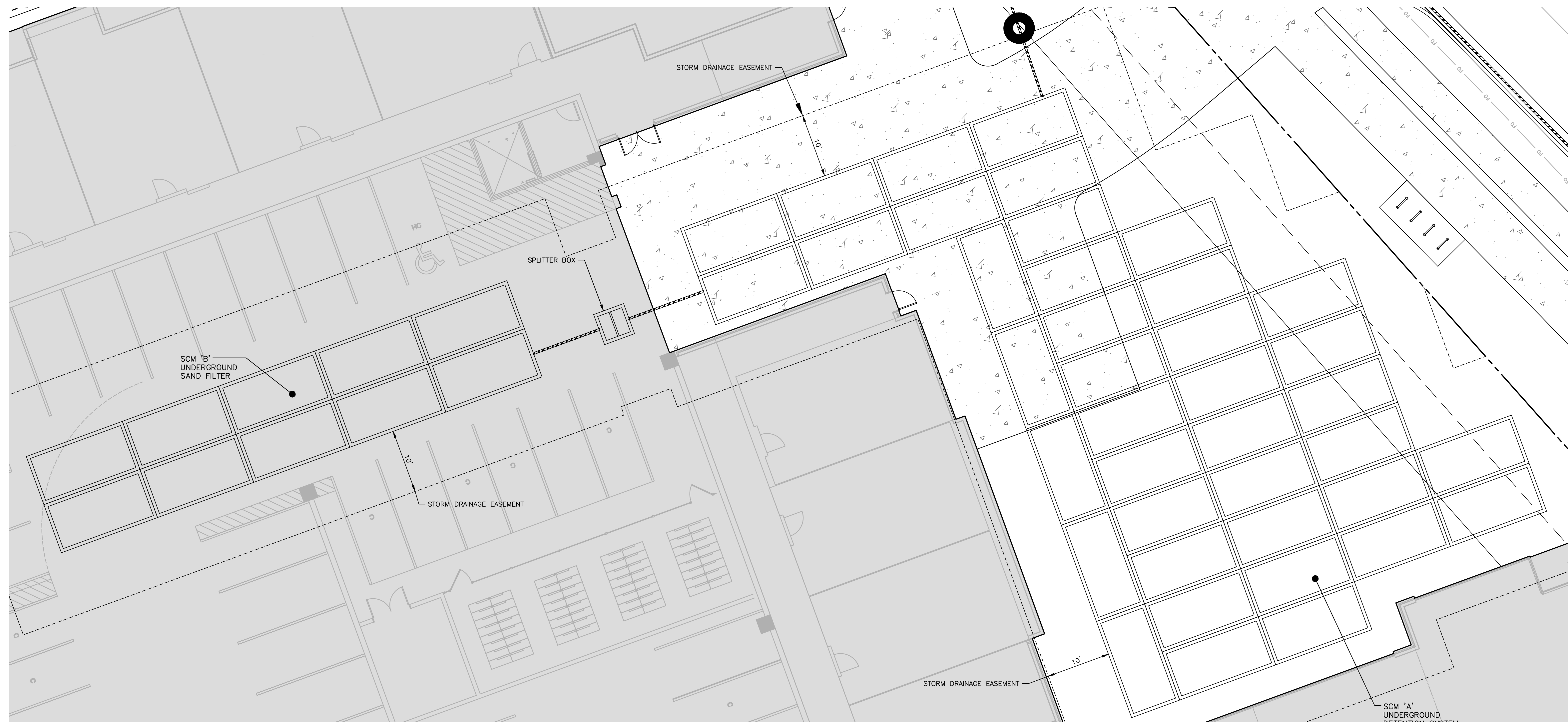
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GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)



GRAPHIC SCALE
0 5 10 20
1 inch = 10 ft.

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NO. DATE

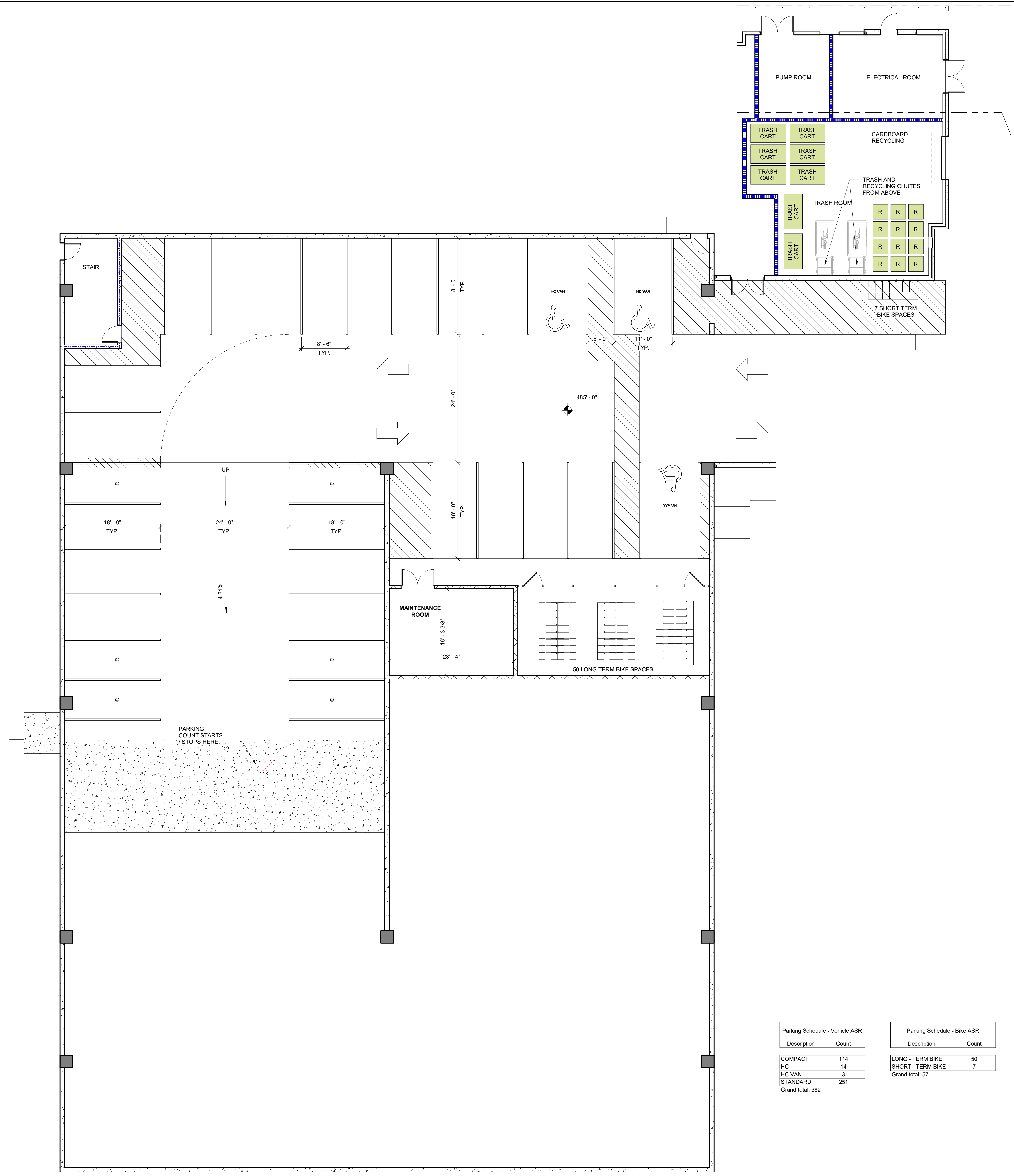
PLAN INFORMATION

PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-SW1
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=10'
DATE 10.27.2023

SHEET

SCM DETAILS

C9.00



Parking Schedule - Vehicle ASR	
Description	Count
COMPACT	114
HC	14
HC VAN	3
STANDARD	251
Grand total:	382

Parking Schedule - Bike ASR	
Description	Count
LONG - TERM BIKE	50
SHORT - TERM BIKE	7
Grand total:	57

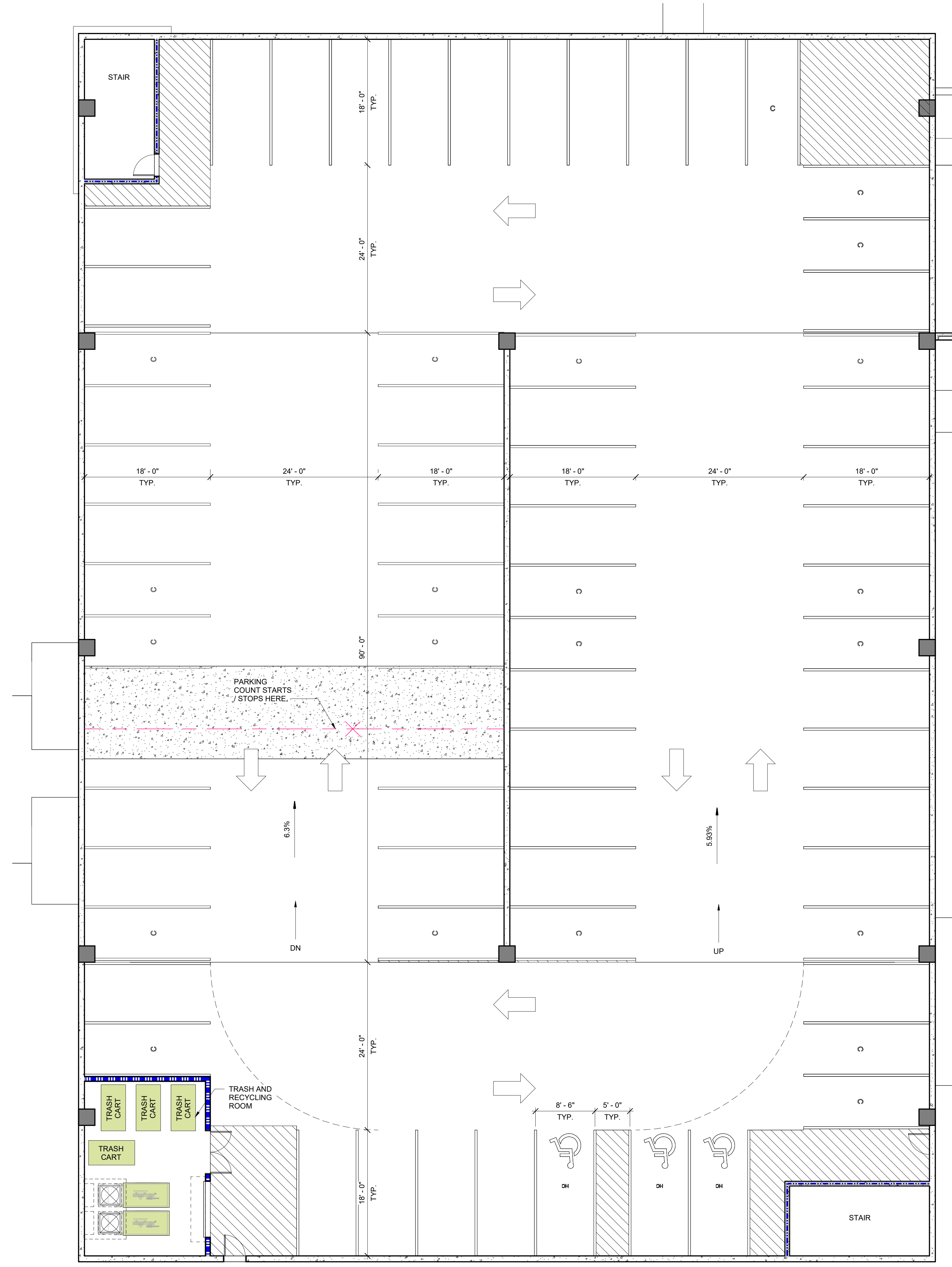
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CONSTRUCTION

ASR
SUBMITTAL

PROJECT: 023044
DATE: 10.27.2023
REVISIONS: DATE

DRAWN BY: JD, CC
CHECKED BY: LK
PARKING PLAN - ENTRY

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02 PARKING FIRST - FOURTH FLOOR
1/8" = 1'-0"

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PROJECT:	023044
DATE:	10.27.2023
REVISIONS:	DATE

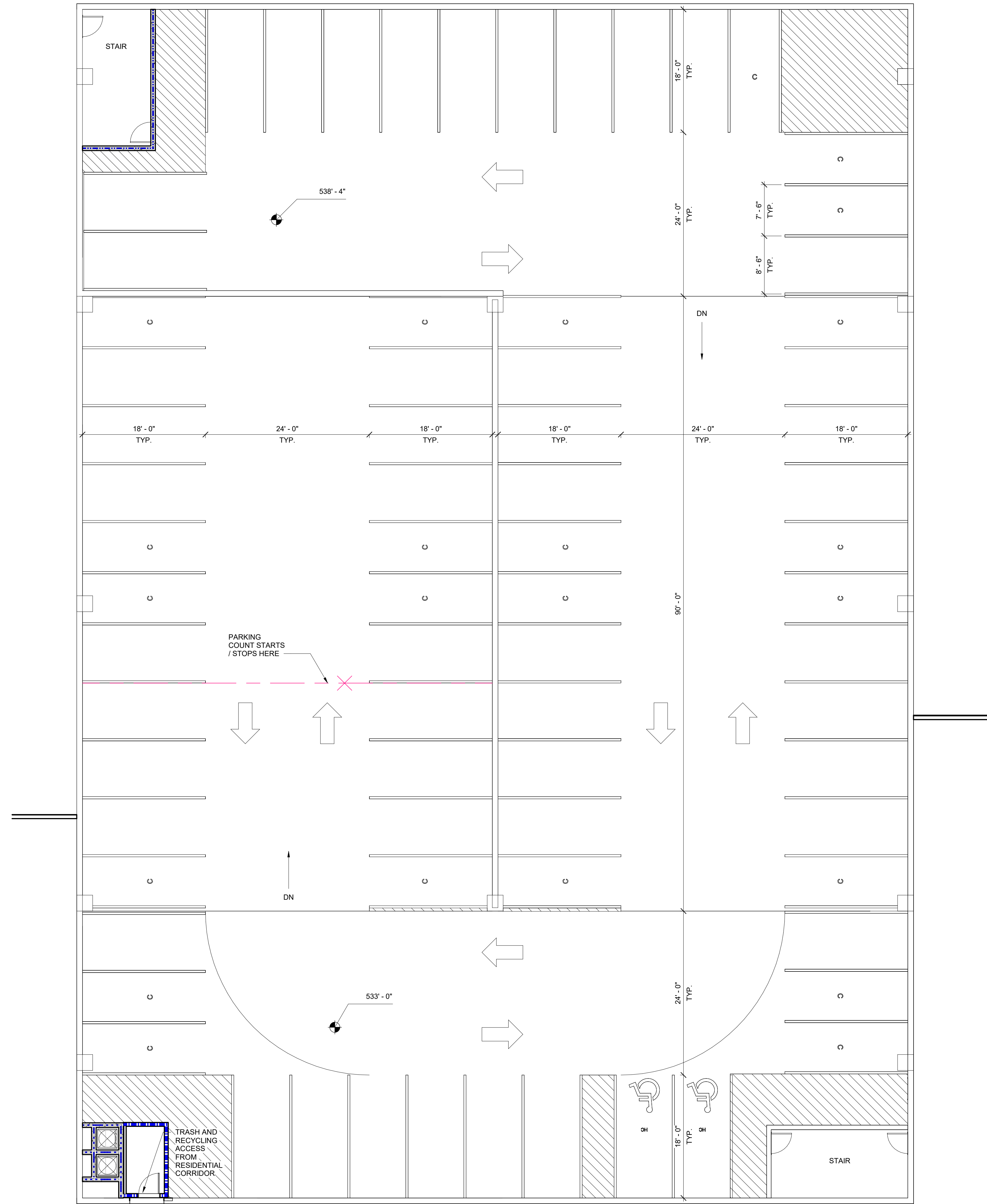
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PARKING PLAN -
FIRST-FOURTH FLOOR

10/27/2023 1:52:35 PM C:\Users\jld\Documents\5200 Hillsborough_023044.dwg 10/27/2023 1:52:35 PM jld

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05 PARKING PLAN - FIFTH FLOOR
1/8" = 1'-0"

1

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CHECKED BY: LK

PARKING PLAN - FIFTH FLOOR

PROJECT: 023044
DATE: 10.27.2023
REVISIONS: DATE

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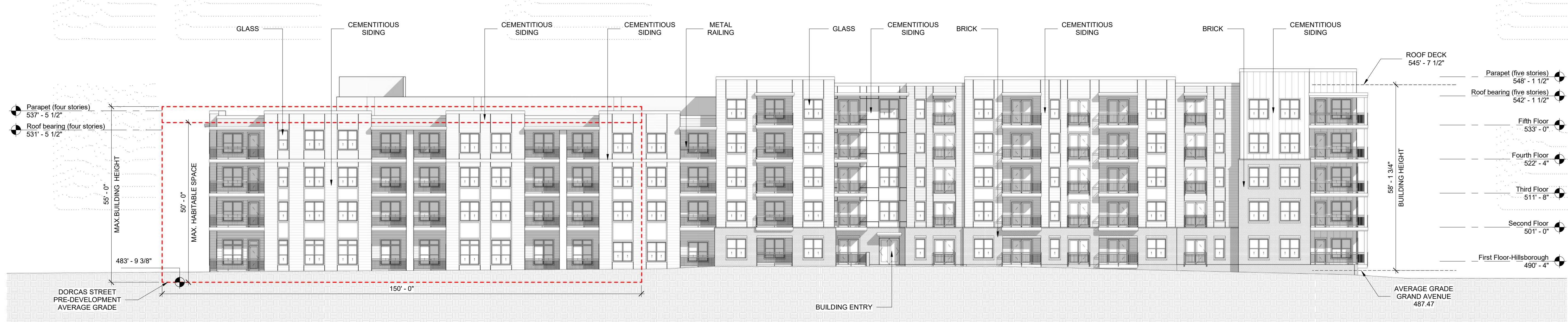
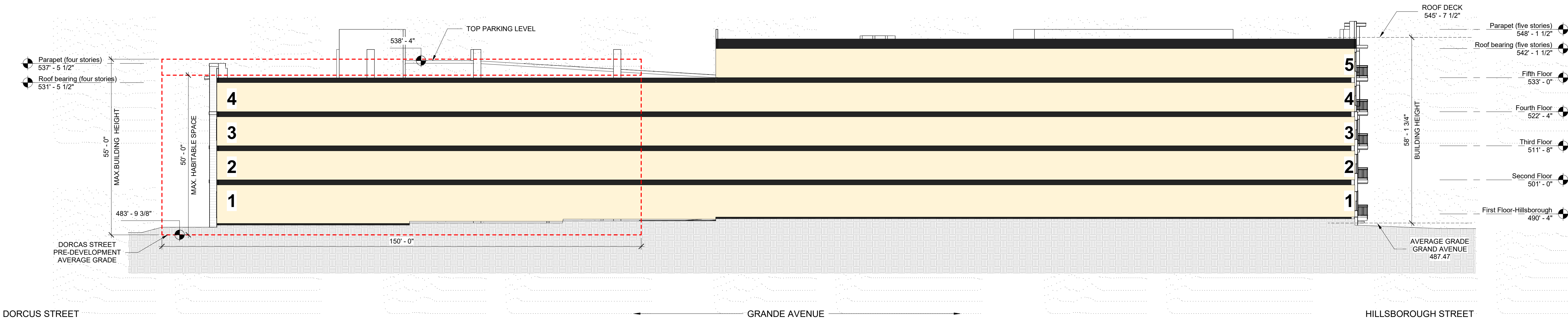
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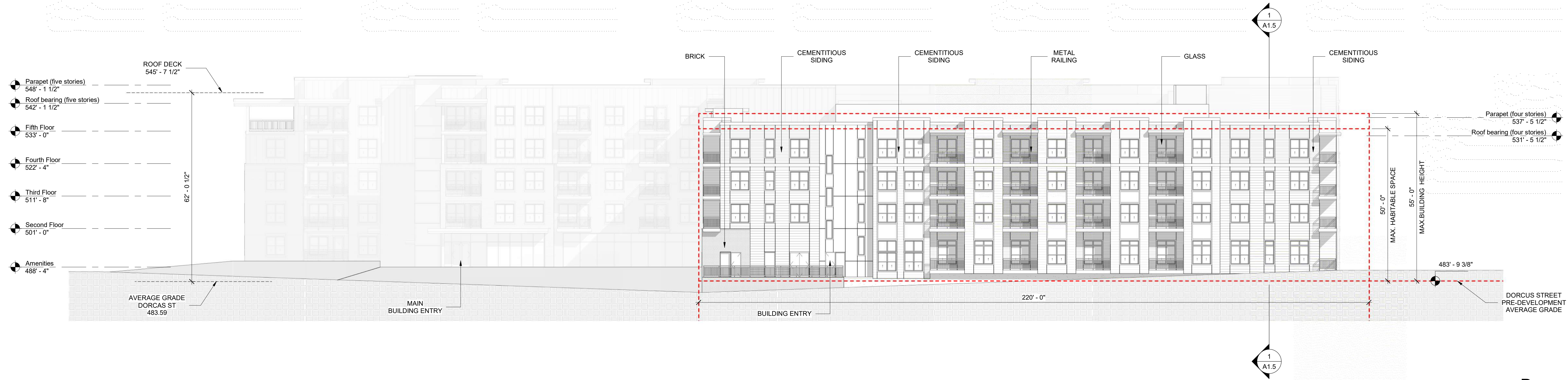
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RALEIGH, NC

125 N. Harrington St.
Raleigh, NC 27603
919 / 833-6413
ClineDesignAssoc.com

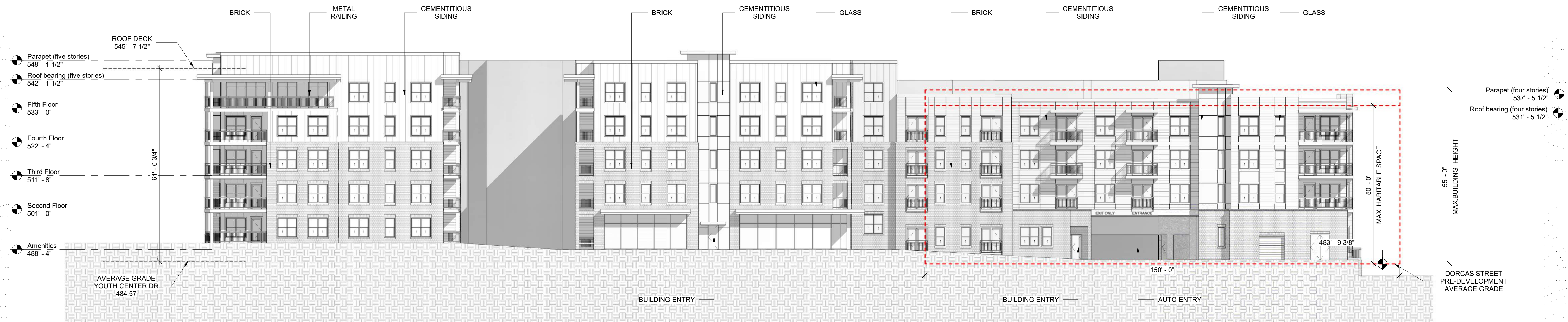
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Dorcas Street Elevation 1
1/16" = 1'-0"



Youth Center Drive Elevation 2
1/16" = 1'-0"

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PROJECT:	023044
DATE:	10.27.2023
REVISIONS:	DATE

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CHECKED BY: LK

ELEVATIONS

GROUND LEVEL TRANSPARENCY:

OVERALL:	2,114 SF	REQUIRED: 20%
OPENINGS:	930 SF	PROVIDED: 43%

UPPER LEVELS TRANSPARENCY:

OVERALL:	7,311 SF	REQUIRED: 15%
OPENINGS:	1,715 SF	PROVIDED: 23%

- Parapet (five stories)
548' - 1 1/2"
- Roof bearing (five stories)
542' - 1 1/2"
- Fifth Floor
533' - 0"
- Fourth Floor
522' - 4"
- Third Floor
511' - 8"
- Second Floor
501' - 0"
- Amenities
488' - 4"



- Parapet (four stories)
537' - 5 1/2"
- Roof bearing (four stories)
531' - 5 1/2"

Youth Center Drive Elevation - Glazing Calculations 4
1/16" = 1'-0"

GROUND LEVEL TRANSPARENCY:

OVERALL:	3,633 SF	REQUIRED: 20%
OPENINGS:	720 SF	PROVIDED: 20%

UPPER LEVELS TRANSPARENCY:

OVERALL:	6,342 SF	REQUIRED: 15%
OPENINGS:	1,639 SF	PROVIDED: 26%

- Parapet (five stories)
548' - 1 1/2"
- Roof bearing (five stories)
542' - 1 1/2"
- Fifth Floor
533' - 0"
- Fourth Floor
522' - 4"
- Third Floor
511' - 8"
- Second Floor
501' - 0"
- Amenities
488' - 4"



- Parapet (four stories)
537' - 5 1/2"
- Roof bearing (four stories)
531' - 5 1/2"

Dorcas Street Elevation - Glazing Calculations 3
1/16" = 1'-0"

GROUND LEVEL TRANSPARENCY:

OVERALL:	4,474 SF	REQUIRED: 20%
OPENINGS:	1,149 SF	PROVIDED: 26%

UPPER LEVELS TRANSPARENCY:

OVERALL:	14,613 SF	REQUIRED: 15%
OPENINGS:	4,652 SF	PROVIDED: 32%



- Parapet (five stories)
545' - 1 1/2"
- Roof bearing (five stories)
542' - 1 1/2"
- Fifth Floor
533' - 0"
- Fourth Floor
522' - 4"
- Third Floor
511' - 8"
- Second Floor
501' - 0"
- First Floor-Hillsborough
490' - 4"

Hillsborough Street Elevation - Glazing Calculations 2
1/16" = 1'-0"

GROUND LEVEL TRANSPARENCY:

OVERALL:	4,705 SF	REQUIRED: 20%
OPENINGS:	1,262 SF	PROVIDED: 27%

UPPER LEVELS TRANSPARENCY:

OVERALL:	13,024 SF	REQUIRED: 15%
OPENINGS:	4,119 SF	PROVIDED: 32%



- Parapet (four stories)
537' - 5 1/2"
- Roof bearing (four stories)
531' - 5 1/2"

- Parapet (five stories)
545' - 1 1/2"
- Roof bearing (five stories)
542' - 1 1/2"
- Fifth Floor
533' - 0"
- Fourth Floor
522' - 4"
- Third Floor
511' - 8"
- Second Floor
501' - 0"
- First Floor-Grand Ave
488' - 4"

Grand Avenue Elevation - Glazing Calculations 1
1/16" = 1'-0"

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SUBMITTAL

PROJECT:	023044
DATE:	10.27.2023
REVISIONS:	DATE

DRAWN BY: SPM
CHECKED BY: LK

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