Administrative Site Review Application

Office Use Only: Case #:



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Planner (print):

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal . (Note: There is a fee for this verification service.)				
Site Plan Tier: Tier Two	o Site Plan Tier Thre	ee Site Plan		
Building and Development Type Site Transaction History (Check all that apply)				
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Transit Development Option	Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Design Alternate #:		
	GENERAL	INFORMATION		
Development name:				
Inside City limits? Yes No				
108,), 5204,5210, 5212 HILLSBOROUGH STREET R 114, GRAND AVENUE RALEIGH, NC 27606 5, 5203 DORCAS STREET RALEIGH, NC 27606	ALEIGH, NC 27606		
Site P.I.N.(s): 0784439213, 0784438203, 0784437117, 0784436145, 0784437389, 0784437326, 0784435399, 0784436239				
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).				
Current Property Owner	(s):			
Company: Title:				
Address:				
Phone #: Email:				
Applicant Name (If different from owner. See "who can apply" in instructions):				
Relationship to owner:	Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder			
Company: FRH Realty	LLC Address:			

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Phone #:	Email:		
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.			
Developer Contact:			
Company:		Title:	
Address:			
Phone #: Email:			
Applicant Name:			
Company:	Address:		
Phone #:	Email:		
	•		

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)		
SITE DATA	BUILDING DATA	
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):	
Gross site acreage:	Existing gross floor area to be demolished:	
# of parking spaces proposed:	New gross floor area:	
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):	
Overlay District (if applicable):	Proposed # of buildings:	
Existing use (UDO 6.1.4): two-unit living, single-unit living, hair salon, office	Proposed # of stories for each:	
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)	

STORMWATER INFORMATION		
Imperious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):	
Existing (sf) Proposed total (sf)	Existing (sf) Proposed total (sf)	

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS					
Total # of dwelling units:		Total # of hotel bedrooms:			
# of bedroom units: 1br 193 2br 74	3br	4br or more			
# of lots:		Is your project a cottage court?	Yes	No	
		A frequent transit development?	Yes	No	

Continue to Applicant Signature Block on Page Three.

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APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Bryan Condis	Date:	10/26/23
Printed Name:	Bryan Condie		

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OWNERS

Gate 3 Enterprises LLC 105 Birkhaven Drive Cary NC 27518

GBH Partners LLC 2392 W Tanglewood Dr SW Supply NC 28462 CSB Enterprises LLC 105 Birkhaven Drive Cary NC 27518 Justin Booth 108 Grand Avenue Raleigh NC 27606

PINs: 0784439213 0784438203 0784437389

0784437326

PINs: 0784437117 0784436145 PINs: 0784435399

PINs: 0784436239

5200 HILLSBOROUGH STREET

5200 HILLSBOROUGH STREET

RALEIGH, NC, 27606 **ADMINISTRATIVE SITE REVIEW**

PROJECT NUMBER: FFD-23001 DATE: OCTOBER 27, 2023



2. Z-34-22 - 5200, 5204, 5210, and 5212 Hillsborough Street; 5203 and 5205 Dorcas Street; 108 and 114 Grand Avenue, being Wake County PINs 784439213, 784438203, 784437117, and 784436145; 784437389 and 784437326; and 784436239 and 784435399. Approximately 3.05 acres rezoned to Neighborhood Mixed Use -Five Stories-Urban Limited-Conditional Use (NX-5-UL-CU).

Conditions dated: November 23, 2022

- 1. The following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited, or special uses in the NX- district shall be prohibited: (i) Outdoor sports and entertainment facility (>250 seats); (ii) Shopping Center; (iii) Vehicle Fuel Sales; (iv) Vehicle Sales/Rental; (v) Detention center, jail, prison; (vi) Vehicle repair (minor)
- 2. Nonresidential uses shall be only be permitted within 120' of the Hillsborough Street right-of-way.
- 3. Nonresidential uses, cumulative, shall not exceed 60,000 square feet. Of the maximum allowable 60,000 square feet of nonresidential uses, the Retail Sales, Indoor Recreation, Personal Service, and Restaurant/Bar uses shall not exceed 25,000 square feet.
- 4. Drive-thru or drive-in facilities shall be prohibited.
- 5. From the northwest point of Lot 69 as shown in Book of Maps 1920, Page 243, Wake County Registry, and extending 150' along Grand Avenue and extending 220' along Dorcas Street, prior to any required right-of-way dedication along either Grand Avenue or Dorcas Street, building height shall not exceed fifty-five feet (55') as measured from average pre-development grade along the Dorcas Street right-ofway boundary for that 220' to which this Condition applies, as shown on the attached Exhibit A. Within this area, habitable space shall not exceed fifty feet (50') in height. This Condition shall not act as a prohibition on allowable height encroachments as further defined and regulated in UDO Section 1.5.7.D.
- 6. For that property not subject to Condition 5 herein, building height shall not exceed seventy feet (70') in height. This Condition shall not act as a prohibition on allowable height encroachments as further defined and regulated in UDO Section
- 7. Permitted building siding materials shall be limited to any combination of brick, stone, concrete masonry, cementitious siding, wood, metal, terracotta and glass.
- 8. Developer shall provide vehicular ingress and egress along the Youth Center Drive right-of-way, subject to NCDOT and City of Raleigh approval. If Developer is permitted to construct a driveway along the Youth Center Drive right-of-way, then vehicular access to Dorcas Street and Grand Avenue shall be prohibited, unless otherwise required by NCDOT or the City of Raleigh.
- 9. The peak stormwater runoff leaving any site for the one-year, two-year, ten-year and twenty-five-year 24-hour storms shall be no greater at every point of discharge for post-development conditions than pre-development conditions.
- 1. NO PROHIBITED USES ARE PROPOSED.
- 2. NO NON RESIDENTIAL USES ARE PROPOSED. 3. NO NON RESIDENTIAL USES ARE PROPOSED.
- 4. THERE ARE NO DRIVE-THRUS/DRIVE-INS PROPOSED.
- 5. BUILDING HEIGHTS DO NOT EXCEED ALLOWABLE HEIGHTS. 6. BUILDING HEIGHT DOES NOT EXCEED 70'.
- 7. THERE WILL BE NO PROHIBITED MATERIALS
- 8. DEVELOPER IS PROVIDING VEHICULAR INGRESS AND EGRESS ALONG YOUTH CENTER DRIVE ROW. THERE IS NO VEHICULAR ACCESS TO GRAND AVE OR DORCAS STREET.
- 9. THE POST-DEVELOPMENT PEAK STORMWATER RUNOFF LEAVING THE SITE IS NOT GREATER AT ANY POINT OF DISCHARGE THAN THE PRE-DEVELOPMENT CONDITIONS FOR THE
- ONE-YEAR, TWO-YEAR, TEN-YEAR, AND TWENTY-FIVE-YEAR 24-HOUR STORMS.

BUILDING

PARKING S

CITE ADDRECC	5200, 5204,5210, 5212 HILLSBOROUGH STREET RALEIGH, NC 27606
SITE ADDRESS:	108, 114, GRAND AVENUE RALEIGH, NC 27606
	5205, 5203 DORCAS STREET RALEIGH, NC 27606
PIN (& DEEDED ACREAGE):	0784439213 (.46 AC.), 0784438203 (.58 AC.), 0784437117 (.35 AC.),
FIN (& DEEDED ACKEAGE).	0784436145 (.33 AC.), 0784437389 (.40 AC.), 0784437326 (.23 AC.),
	0784435399 (.35 AC.), 0784436239 (.35 AC.)
TOTAL AREA:	EXISTING AREA: 127,919 SF (2.94 AC.)
	ROW DEDICATION: 14,250 (0.33 AC.)
	PROPOSED AREA (EXCLUDING ROW DEDICATION): 113,669 SF (2.61 AC.)
ZONING:	NX-5-UL-CU: NEIGHBORHOOD MIXED USE (Z-34-22)
EXISTING USE:	SINGLE UNIT LIVING, TWO UNIT LIVING, HAIR SALON, OFFICE
PROPOSED USE:	MULTI-FAMILY LIVING (306,773 GSF) WITH STRUCTURED PARKING (108,917 GSF)
RIVER BASIN:	NEUSE
WATERSHED:	CRABTREE CREEK
AREA IN FLOODWAY/FLOODPLAIN:	0 AC.
FLOODPLAIN/FIRM PANEL:	3720078400K
PREVIOUS APPROVALS	REZONING: Z-34-22
TOTAL EXISTING LOTS	8
TOTAL PROPOSED LOTS	1
IMPERVIOUS SURFACE:	EXISTING IMPERVIOUS SURFACE TO REMAIN:
	41,071 SF / .95 AC
	DRODOGED WAREDWILL SUBSILIES TO DE ADDED
	PROPOSED IMPERVIOUS SURFACE TO BE ADDED:
	88,591 SF / 2.03 AC
	DECLUDED DARKING MAXIMUMS DEPUTO SEC. 7.1.2.C
VEHICULAR PARKING SUMMARY:	REQUIRED PARKING MAXIMUMS - PER UDO SEC. 7.1.2.C. 193 STUDIO / 1 BR = 193 UNITS * 1.5 SP/UNIT = 290 SPACES
	74 2 BR = 174 UNITS * 2.25 SP/UNIT = 167 SPACES
	74 2 BR = 174 UNITS * 2.25 SP/UNIT = 167 SPACES
	TOTAL MAXIMUM ALLOWED = 457 SPACES
	PROVIDED PARKING
	251 STANDARD + 14 ADA + 3 ADA VAN + 114 COMPACT = 382 TOTAL
	SPACES PROVIDED (STRUCTURED PARKING)

	PROVIDED PARKING 251 STANDARD + 14 ADA + 3 ADA VAN + 114 COMPACT = 382 TOTAL SPACES PROVIDED (STRUCTURED PARKING)
ACCESSIBLE PARKING SUMMARY:	REQUIRED ADA PARKING 8 REQUIRED (2 OF WHICH MUST BE VAN)

	14 STANDARD + 3	3 VAN = 17 TOTAL ADA SPACES PROVIDED
BICYCLE PARKING SUMMARY:	REQUIRED BIKE P	ARKING
	SHORT-TERM:	267 UNITS @ 1 SP/20 UNITS = 14 SPACES
	LONG-TERM:	341 BEDS @ 1 SP/7 BEDS = 49 SPACES

	SHORT-TERM = 15 SPACES (7 LOCATED IN DECK, SEE SHEET A1.1 LONG-TERM = 49 SPACES (SEE SHEET A1.1)
ITDOOR AMENITY AREA	10% OF SITE AREA =10% X 113.669 SF = 11.367 SF REQUIRED

TIDOOR AMIENTLY AREA	12,259 SF AMENITY AREA PROVIDE SEE SHEET L5.00 FOR URBAN PLAZA	D
JILD-TO REQUIREMENTS JL FRONTAGE	PER UDO SECTION 1.5.4.C, THE PRIMARY STREETS SHALL BE YOUTH CENTER DRIVE AND HILLSBOROUGH STREET	
OPOSED BUILD-TO	PRIMARY STREET BUILD-TO (MIN/N BLDG. WIDTH IN PRIMARY BUILD-T SIDE STREET BUILD-TO (MIN/MAX) BLDG. WIDTH IN SIDE BUILD-TO (M	O (MIN) 50% 0'/20'
	REQUIRED FOR YOUTH CENTER PROVIDED FOR YOUTH CENTER	199.1 LF OF 398.2 LF OF FRONTAGE (50%, 0'-20') 221.1' (182.2' AS BUILDING AND 38.9' AS
	REQUIRED FOR HILLSBOROUGH PROVIDED FOR HILLSBOROUGH REQUIRED FOR GRAND	OUTDOOR AMENITY AREA) OR 58.2% * 190 LF OF 380 LF OF FRONTAGE (50%, 0'-20') 358.3 LF (94.3%) 92.6 LF OF 370.5 LF OF FRONTAGE (25%, 0'-20')
	PROVIDED FOR GRAND REQUIRED FOR DORCAS PROVIDED FOR DORCAS	363.2 LF (98.0%) 58.4 LF OF 233.6 LF OF FRONTAGE (25%, 0'-20') 208.1 LF (89.0%)

REQUIRED FOR DORCAS	58.4 LF OF 233.6 LF OF FRONTAGE (25%, 0'-20')
PROVIDED FOR DORCAS	208.1 LF (89.0%)
	IN BE MET BY 30% OUTDOOR AMENITY AREA. THIS WIL
	NTER FRONTAGE - 398.2' X 50% = 221.1' REQUIRED w/
	' AS ODA AND MIN. 154.8' AS BUILDING (UDO SEC.
1.5.6.C.4)	

G/STRUCTURE SETBACKS:	FROM PRIMARY STREET (MIN): FROM SIDE STREET (MIN): FROM SIDE LOT LINE (MIN): FROM REAR LOT LINE (MIN): FROM ALLEY:	0' PER UDO SEC. 3.4.7 0' PER UDO SEC. 3.4.7 0' OR 6' 0' OR 6' 4' OR 20' MIN
SETBACKS:	FROM PRIMARY STREET (MIN): FROM SIDE STREET (MIN):	10' 10'

FROM SIDE LOT LINE (MIN):

FROM REAR LOT LINE (MIN):

FROM ALLEY, GARAGE ONLY (MIN): 4'

SHEET INDEX

C0.00	PROJECT NOTES
1-1	EXISTING CONDITIONS / ALT
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING PLAN
C4.00	UTILITY PLAN
C4.01	FIRE ACCESS
C8.00	SITE DETAILS
C8.01	WATER DETAILS
C8.02	STORM DRAINAGE DETAILS
C0 02	CANITADY CEMED DETAILS

SANITARY SEWER DETAILS C9.00 **SCM DETAILS**

LANDSCAPE PLAN L5.01 LANDSCAPE NOTES AND DETAILS

LIGHTING PLAN

ARCHITECTURAL SHEETS

A1.1	PARKING PLAN - ENTRY
A1.2	PARKING PLAN - FIRST - FOURTH FLOO

PARKING PLAN - FIFTH FLOOR SECTION AND ELEVATIONS

ELEVATIONS RESIDENTIAL TRANSPARENCY DIAGRAMS **CONTACT**

DAVID BOYETTE boyette@mcadamsco.com PHONE: 919. 823. 4300

CLIENT

FRH REALITY LLC 3330 CUMBERLAND BLVD, SUITE 375 ATLANTA, GEORGIA 30339 **CONTACT: MICHAEL GRIBBLE** PHONE: 404. 442. 3851

The John R. McAdams Company, Inc 621 Hillsborough Street Suite 500 Raleigh, NC 27603

phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

PROJECT DIRECTORY

FRH REALITY LLC 3330 CUMBERLAND BLVD, SUITE 375 ATLANTA, GEORGIA, 30339 CONTACT: MICHAEL GRIBBLE PHONE: 404. 442. 3851



REVISIONS

NO. DATE

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

ADMINISTRATIVE SITE REVIEW FOR:

> 5200 HILLSBOROUGH STREET RALEIGH, NC, 27606 PROJECT NUMBER: FFD-23001



1"=200'

Administrative Site Review Application

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Mixed use

Cottage Court

Frequent Transit

(Check all that apply)

Development name: 5200 Hillsboroug

Page 1 of 3

Phone #: 919.823.4300

Phone #: 404.442.3851

Gross site acreage:

Overlay District (if applicable): N/A

Total # of dwelling units: 267

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Developer Contact: Bryan Condie

Company: FRH Realty LLC

Applicant Name: Bryan Condie

Inside City limits? Yes ✓ No ☐

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This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section

Property address(es): 5200, 5204,5210, 5212 HILLSBOROUGH STREET RALEIGH, NC 27606
108, 114, GRAND AVENUE RALEIGH, NC 27606
5205, 5203 DORCAS STREET RALEIGH, NC 27606
Site P.I.N.(s): 0784439213, 0784438203, 0784437117, 0784436145, 0784437389, 0784437326, 0784435399, 0784436239

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holde

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form

Email: bcondie@ffres.com

Email: bcondie@ffres.com

DEVELOPMENT TYPE + SITE DATE TABLE

Zoning district(s) (please provide the acreage of each): Existing gross floor area (not to be demolished): NX-5-UL-CU (2.61 AC.)

Proposed use (UDO 6.1.4): Multi-unit living Proposed # of basement levels (UDO 1.5.7.A.6) 0

Continue to Applicant Signature Block on Page Three

Existing use (UDO 6.1.4): two-unit living, single-unit living, hair Proposed # of stories for each: 5 / 4

Address: 621 Hillsborough Street Suite 50

Total # of hotel bedrooms: 0

Is your project a cottage court? Yes No
A frequent transit development? Yes No

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4)

Construction of a 5-story apartment building with structured parking

Address: 3330 Cumberland Boulevard Suite 375, Atlanta GA, 30339

Current Property Owner(s): See attached for owner informatio

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed release review DOD Section (1.2.6). to determine the site plant tier, in assistance determining a site Plan Tier Is needed a Site Plan Tier Verification request can be submitted online via the <u>Permit and Development Portal</u>. (Note: There is a fee for this verification service.)

> Subdivision case #: _ Scoping/sketch plan case #:

Board of Adjustment #

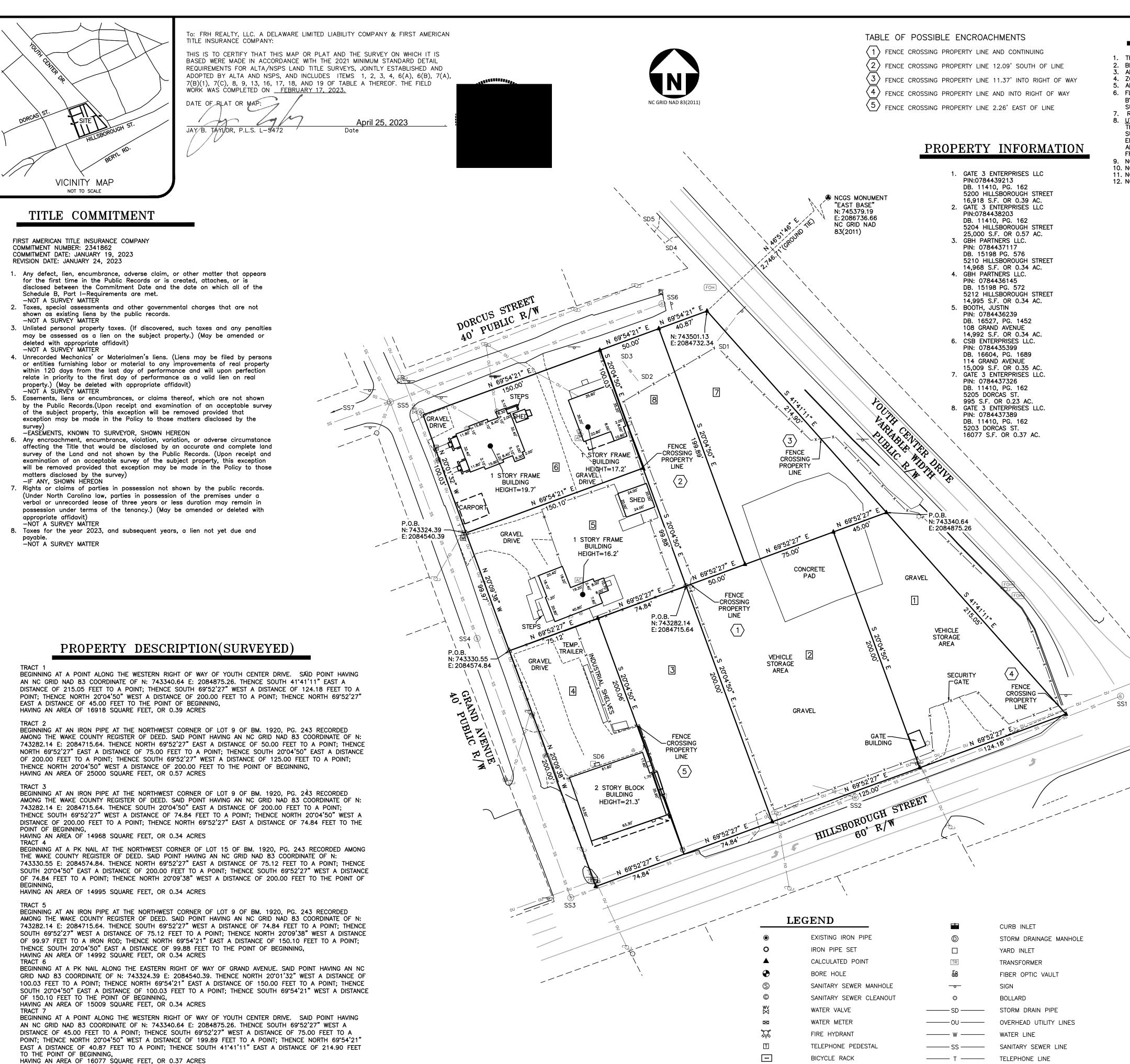
Zoning Case #: <u>Z-34-22</u>

Certificate of Appropriateness #

Address: 3330 Cumberland Boulevard Suite 375, Atlanta GA, 3

BUILDING DATA

raleighnc.gov



BEGINNING AT AN IRON PIPE AT THE NORTHWEST CORNER OF LOT 9 OF BM. 1920, PG. 243 RECORDED

OF 50.00 FEET TO A POINT; THENCE SOUTH 20°04'50" EAST A DISTANCE OF 199.89 FEET TO A POINT;

THENCE SOUTH 69°52'27" WEST A DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING.

HAVING AN AREA OF 9995 SQUARE FEET, 0.23 ACRES

AMONG THE WAKE COUNTY REGISTER OF DEED. SAID POINT HAVING AN NC GRID NAD 83 COORDINATE OF N:

743282.14 E: 2084715.64. THENCE NORTH 20°04'50" WEST A DISTANCE OF 99.88 FEET TO A POINT; THENCE NORTH 20°04'50" WEST A DISTANCE OF 100.03 FEET TO A POINT; THENCE NORTH 69°54'21" EAST A DISTANCE ELECTRIC BOX

LIGHT POLE

POWER POLE

GUY WIRE

GAS LINE

SETBACK LINE

PROPERTY BOUNDARY LINE

———UE ——— UNDERGROUND ELECTRIC

—X———X— FENCE LINE

— — — — EASEMENT LINE

TREE LINE

———UT ——— UNDERGROUND TELEPHONE

GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND, THIS IS AN ALTA/NSPS LAND TITLE SURVEY.
- 2 BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: NX-5-UL-CU AREA BY COORDINATE GEOMETRY.
- 6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3720078400K DATED JULY, 19, 2022. THIS IS THE CURRENT FLOOD ZONE MAP FOR SUBJECT PROPERTY REFERENCES: AS SHOWN OF THE WAKE COUNTY REGISTRY.
- 8. <u>UTILITY STATEMENT</u> HE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
- 9. NO GRID MONUMENTS FOUND WITHIN 2000' OF SITE. 10. NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF SURVEY.

 11. NO RECENT STREET CONSTRUCTION NOTED AT THE TIME OF SURVEY
- 12. NO PROPOSED CHANGES IN STREET RIGHT OF WAY KNOWN TO SURVEYOR AT THE TIME OF SURVEY.

Official Records of Wake County, North Carolina.

PROPERTY DESCRIPTION(FROM TITLE)

Being all of Lots 1, 2, 3 and 4 of Westover Subdivision as depicted in that map or plat of the same recorded in Map Book 1920, Page 243, of the Official Records of Wake County, North Carolina.

Being all of Lots 5, 6, 7, 8, and 9 of Westover Subdivision as depicted in that map or plat of the same recorded in Map Book 1920, Page 243, of the Official Records of Wake County, North Carolina.

Beginning at a stake 10 feet North of the Northern edge of the Raleigh—Cary Highway, said stake being feet Easterly from the Northeast corner of the intersection of a 10 foot Parkway and Grand Avenue, and runs thence Northerly along a line "parallel" with Grand Avenue, and with the Western line of Lot No. 9; Thence Westerly 75 feet to a stake in the Northern corner of Lot No. 13; Thence Southerly and parallel with Grand Avenue 200 feet to a stake 10 feet North of the Northern edge of said Highway; Thence East and parallel with said Highway, 75 feet to the point of beginning, being Lot No. 10, Lot No. 11, Lot No. 12 of Westover, as depicted in map or plat recorded in Map Book 1920, Page 243, of the

Beginning at a stake at the Northeast corner of the intersection of Grand Avenue and a 10 foot parkway lying along the Northern edge of the Raleigh-Cary Highway, and runs thence North 73 degrees East with the Northern edge of said parkway, 75 feet to a stake; Thence Northerly with the Western line of Lot No. 12 parallel with Grand Avenue, 200 feet to a stake; Thence Westerly, along the Southern lines of Lot No. 69, Lot No. 70, and Lot No. 71, perpendicular to Grand Avenue 75 feet to a stake in the Eastern edge of Grand Avenue; Thence Southerly with Eastern edge of Grand Avenue 200 feet to the beginning, being Lot No. 13, Lot No. 14 and Lot No. 15 of Westover, as depicted in the map or plat recorded in Map Book 1920, Page 243, of the Official Records of Wake County, North Carolina.

Beginning at a point on the Edward side of Grand Avenue, said point being 100 feet South from the Southeast intersection of Center Street and Grand Avenue, said point being also 100 feet North fro the Northwest corner of Lot No. 15 and the Southwest corner of Lot No. 69, and runs thence along a new line parallel to Center Street through the middle of Lot No. 69, Lot No. 70, Lot No. 71, Lot No. 72, Lot No. 73 and Lot No. 74, 150 feet to a point in the middle of the West line of Lot No. 75; Thence South along the dividing line between Lot No. 74 and Lot No. 75, 100 feet to a point, the

Northeast corner of Lot No. 10 and Southeast corner of Lot No. 74; Thence West along a line dividing Lot No. 69, Lot No. 70, Lot No. 71, Lot No. 72, Lot No. 73, and Lot No. 74 from Lot No. 15, Lot No. 14, Lot No. 13, Lot No. 12, Lot No. 11 and Lot No. 10, 150 feet to a point in the East line of Grand Avenue, a common corner between Lot No. 69, and Lot No. 15; Thence North along the East line of Grand Avenue 100 feet to the point of beginning, and being all of the Southern one—half (1/2) of Lot No. 69, Lot No. 70, Lot No. 71, Lot No. 72, Lot No. 73 and Lot No. 74 according to map of Westover recorded in Map Book 1920, Page 243, of the Official Records of Wake

The property above described is composed of the Southern one-half (1/2) of Lot No. 69, Lot No. 70, and Lot No. (71) which were conveyed to James D. Hartman by W. H. Matthews and wife, S. L. Matthews by deed dated June 10, 1924 and recorded in Book 437, Page 457, of the Official Records of Wake County, North Carolina, and the Southern one—half (1/2) of Lot No. 72, Lot No. 73, and Lot No. 74 according to the said map of Westover, which were conveyed to James D. Hartman by the Wachovia Bank & Trust Company by deed dated May 3, 1935, recorded in Book 695, Page 454, of the Official Records of Wake County, North Carolina, and being the same land conveyed to William Edward Smith and wife. Ruth Burgess Smith from James D. Hartman and wife, Rosa Lee Hartman by deed dated February 15, 1945, recorded in Book 912, Page 491, of the Official Records of Wake County, North Carolina

Beginning at a stake in the Southeastern corner of the intersection of Grand Avenue and Center Street according to the map hereinafter referred to and runs thence in an Eastern direction along the line of Center Street 150 feet to a stake in the common corner of Lot No. 74 and Lot No. 75; Thence in a Southern direction along the dividing line of said Lot No. 74 and Lot No. 75, 100 feet to a point in corner of lands no owned by Harvey Pender Walker and wife, Margeret King Walker; Thence in a Western direction parallel to Center Street and along the line of said Walker land 150 feet to a point in the Eastern line of said Grand Avenue 100 feet; Thence in a Northern direction along the Eastern line of said Grand Avenue 100 feet to the point of beginning, and being the Northern one—half (1/2) of Lot No. 69, Lot No. 70, Lot No. 71, Lot No. 72, Lot No. 73 and Lot No. 74 according to map or plat of Westover Subdivision as recorded in Map Book 1920, Page 243, of the Official Records of Wake County,

Being Lots 77 and 77 1/2 of Westover Subdivision as depicted in that map or plat of the same recorded in Map Book 1920, Page 243, Register of Deeds of Wake County, North Carolina.

Being Lot 75 and 76 of Westover. according to the map by Harry Tucker, C.E., in May 1924, recorded in Map Book 1920, Page 243, of the Official Records of Wake County, North Carolina and being more

particularly described as follows: Beginning at a stake in the Southern edge of Center Street, said stake being 150 feet Easterly from the Southeast intersection of Center Street and Grand Avenue, and running thence Easterly along the Southern edge of Center Street 50 feet to a stake; Thence Southerly with the Western line of Lot No. 77, parallel with Grand Avenue 200 feet to a stake; Thence Westerly along the Northern line of Lot No. 8 and Lot No. 9, parallel with Center Street 50 feet to a stake; Thence Northerly with the Eastern line of Lot No. 74 parallel with Grand Avenue 200 feet to the beginning.

The John R. McAdams Company, Inc

621 Hillsborough Street

Suite 500 Raleigh, NC 27603 phone 919. 361. 5000 fax 919. 361. 2269

license number: C-0293, C-187

www.mcadamsco.com

CLIENT

FAIRFIELD RESIDENTIAL 3330 CUMBERLAND BOULEVARD, SUITE

ATLANTA, GEORGIA 30339

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REVISIONS

NO. DATE 03.17.23 COMMENTS

PLAN INFORMATION

PROJECT NO. FFD23001 FFD23001-AT1 FILENAME CHECKED BY DRAWN BY SCALE 1"=40'

DATE SHEET

ALTA/NSPS LAND

TITLE SURVEY

02.22.2023

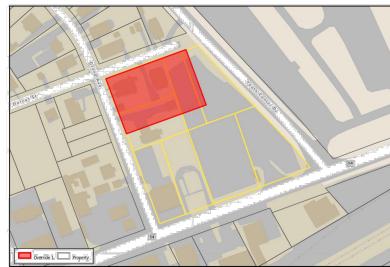
Approximately 3.05 acres rezoned to Neighborhood Mixed Use -Five Stories-Urban

Conditions dated: November 23, 2022

Limited-Conditional Use (NX-5-UL-CU).

- 1. The following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited, or special uses in the NX- district shall be prohibited: (i) Outdoor sports and entertainment facility (>250 seats); (ii) Shopping Center; (iii) Vehicle Fuel Sales; (iv) Vehicle Sales/Rental; (v) Detention center, jail, prison; (vi) Vehicle repair (minor)
- 2. Nonresidential uses shall be only be permitted within 120' of the Hillsborough Street right-of-way.
- 3. Nonresidential uses, cumulative, shall not exceed 60,000 square feet. Of the maximum allowable 60,000 square feet of nonresidential uses, the Retail Sales, Indoor Recreation, Personal Service, and Restaurant/Bar uses shall not exceed 25,000 square feet.
- 4. Drive-thru or drive-in facilities shall be prohibited.
- 5. From the northwest point of Lot 69 as shown in Book of Maps 1920, Page 243, Wake County Registry, and extending 150' along Grand Avenue and extending 220' along Dorcas Street, prior to any required right-of-way dedication along either Grand Avenue or Dorcas Street, building height shall not exceed fifty-five feet (55') as measured from average pre-development grade along the Dorcas Street right-ofway boundary for that 220' to which this Condition applies, as shown on the attached Exhibit A. Within this area, habitable space shall not exceed fifty feet (50') in height. This Condition shall not act as a prohibition on allowable height encroachments as further defined and regulated in UDO Section 1.5.7.D.
- 6. For that property not subject to Condition 5 herein, building height shall not exceed seventy feet (70') in height. This Condition shall not act as a prohibition on allowable height encroachments as further defined and regulated in UDO Section
- 7. Permitted building siding materials shall be limited to any combination of brick, stone, concrete masonry, cementitious siding, wood, metal, terracotta and glass.
- 8. Developer shall provide vehicular ingress and egress along the Youth Center Drive right-of-way, subject to NCDOT and City of Raleigh approval. If Developer is permitted to construct a driveway along the Youth Center Drive right-of-way, then vehicular access to Dorcas Street and Grand Avenue shall be prohibited, unless otherwise required by NCDOT or the City of Raleigh.
- 9. The peak stormwater runoff leaving any site for the one-year, two-year, ten-year and twenty-five-year 24-hour storms shall be no greater at every point of discharge for post-development conditions than pre-development conditions.

Ordinance No. (2022) 445 ZC 849 Effective: 12/11/2022



Z-34-22 - Exhibit A

SITE PLAN NOTES

- 1. NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICH EVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCROACH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL
- 2. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR,
- 3. WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURB LINE EXISTS. REFER TO SECTION 6.12 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- 4. MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDINANCED BY CITY COUNCIL APPROVAL
- 5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS
- 6. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 7. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- 8. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- 9. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- 10. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER
- 11. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- 12. PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (919) 996-2409, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- 13. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 14. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) DETAILS.
- 15. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND. HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 16. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- 17. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 18. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE
- 19. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
- 20. ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED. ALL TRANSIT STOPS SHALL HAVE A 10'x20'x6" (3000 PSI) CONCRETE PAD.

DEMOLITION NOTES

- 1. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION (CHAPTER 14, 2018 NC FIRE CODE NFPA 241 AND CHAPTER 33, 2018 NC BUILDING CODE).

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

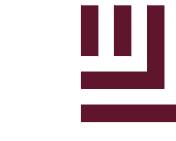
- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS:
- a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
- b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR, ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE
- c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS
- f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALFIGH PUBLIC LITHLITIES DEPARTMENT PRIOR TO CONSTRUCTION
- 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALFIGH PUBLIC UTILITIES DEPARTMENT.
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- 7. INSTALL COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO
- 8. INSTALL PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED **EVERY 75 LINEAR FEET MAXIMUM**
- 24. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. WHERE SANITARY SERVICES ARE SERVING A BUILDING INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE SERVICE LINE. SANITARY SERVICES SERVING A BUILDING WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH
- 25. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 26. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 27. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 296-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- 28. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ADDITIONAL UTILITY NOTES

- ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE, 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- 2. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFIED DEVELOPMENT ORDINANCE (UDO).
- 3. ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5'Wx5'L CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT
- 4. ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND
- 5. IN ACCORDANCE WITH GENERAL STATUTE 87-121(G), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
- 6. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 7. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED. OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
- 8. ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND
- 9. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER
- 10. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND

GRADING NOTES

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS
- 4. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER
- 5. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
- 6. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- 7. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 8. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.



The John R. McAdams Company, Inc

621 Hillsborough Street

Suite 500

Raleigh, NC 27603 phone 919. 361. 5000

fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

CLIENT

FRH REALITY LLC 3330 CUMBERLAND BLVD, SUITE 375 ATLANTA, GEORGIA 30339 CONTACT: MICHAEL GRIBBLE PHONE: 404. 442. 3851

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REVISIONS

NO. DATE

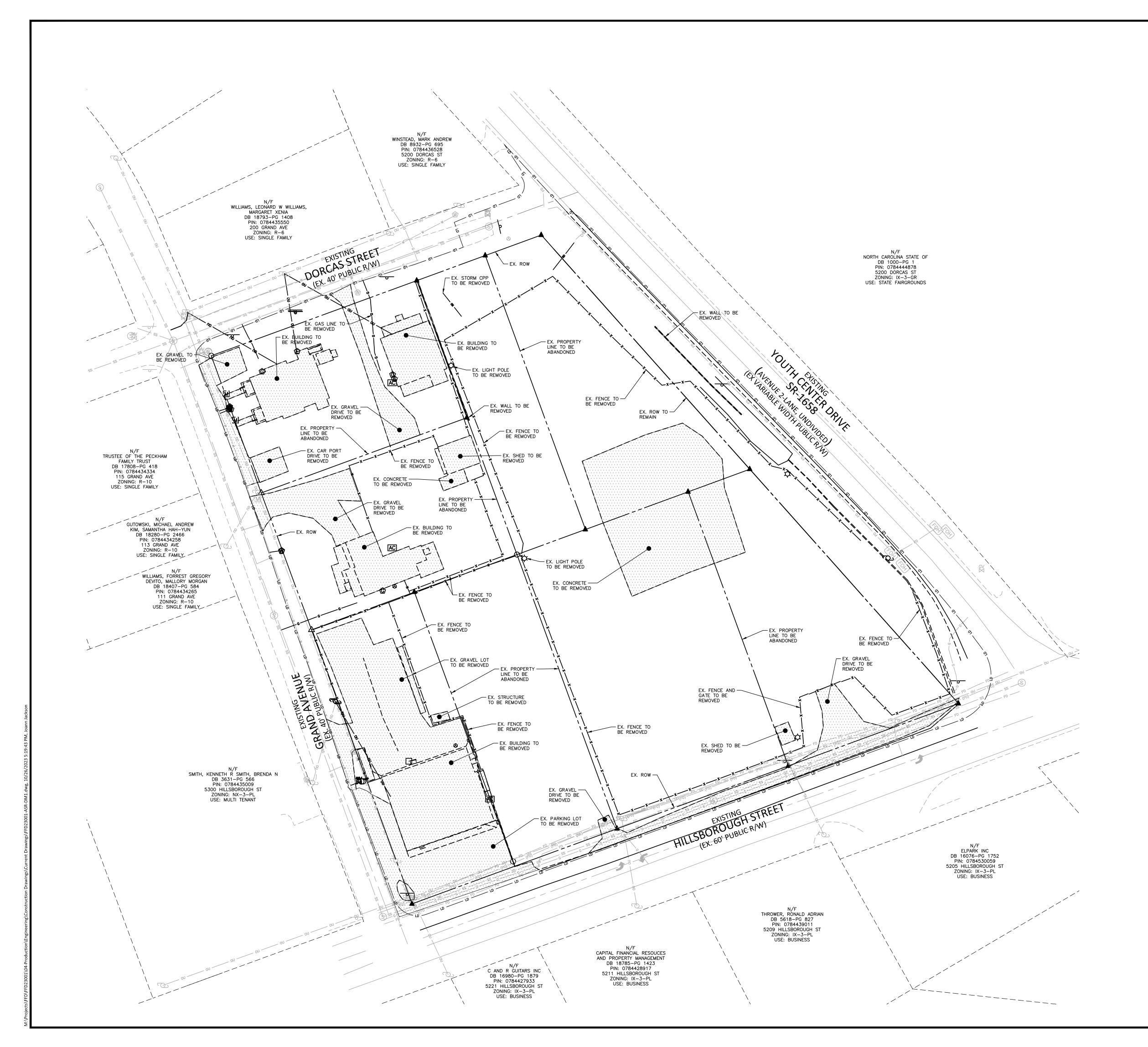
PLAN INFORMATION

PROJECT NO. FFD-23001 FILENAME FFD23001-ASR-N1

CHECKED BY DRAWN BY SCALE DATE 10. 27. 2023

SHEET

PROJECT NOTES



DEMOLITION LEGEND

XTREE.

TREE OR OTHER VEGETATION TO BE REMOVED

UNDERGROUND UTILITY TO BE REMOVED

AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

The John R. McAdams Company, Inc. 621 Hillsborough Street Suite 500

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5200 ADMIIN 5200



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001 FFD23001-ASR-DM1 FILENAME

CHECKED BY DRAWN BY 1"=30'

SCALE DATE 10. 27. 2023

SHEET **DEMOLITION PLAN**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SEE SHEET CO.00 FOR ALL PROJECT, SITE,

ALL CONSTRUCTION SHALL BE IN

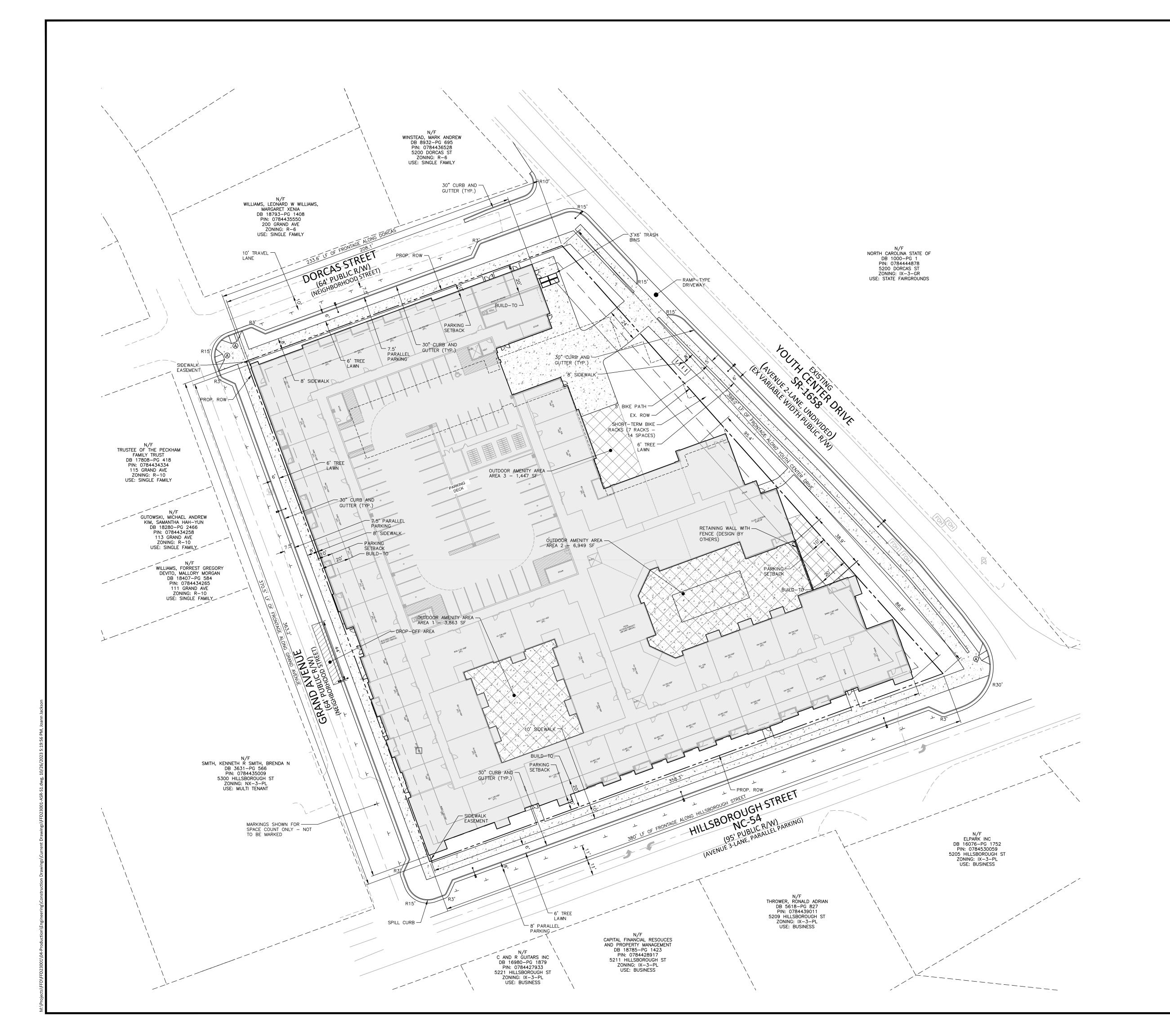
CONSTRUCTION STANDARDS

RALEIGH ENGINEERING DESIGN AND

NOTES

GRADING, STORM DRAINAGE AND UTILITY

ACCORDANCE WITH THE CURRENT CITY OF





SIGNAGE

YARD LIGHTS

LIGHT POLE

POWER POLE

TRAFFIC DIRECTIONAL ARROW

ACC ACCESSIBLE PARKING STALL

VAN ACCESSIBLE PARKING STALL

PARKING SPACE COUNT

ACCESSIBLE RAMPS

TYPE (A) TYPE (B) TYPE (C)

ACCESSIBLE ROUTE

PHA
PRO
RIGH

RIGHT-OF-WAY LINE
LOT LINE
EASEMENT LINE
CENTERLINE
HEAVY DUTY
ASPHALT PAVEMENT

AMENITY AREA



McAdams

The John R. McAdams Company, Inc. 621 Hillsborough Street Suite 500 Raleigh, NC 27603

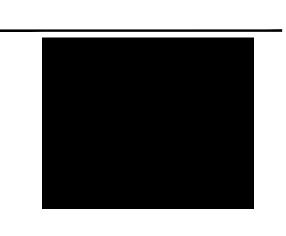
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> 5200 HILLSBOROUGH ST ADMINISTRATIVE SITE REVIEW 5200 HILLSBOROUGH STREET RALEIGH, NC, 27606



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-S1
CHECKED BY DB

CHECKED BY DB

DRAWN BY JJ

SCALE 1"=30'

DATE 10. 27. 2023

SEE SHEET CO.00 FOR ALL PROJECT, SITE,

ALL CONSTRUCTION SHALL BE IN

CONSTRUCTION STANDARDS

RALEIGH ENGINEERING DESIGN AND

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

NOTES

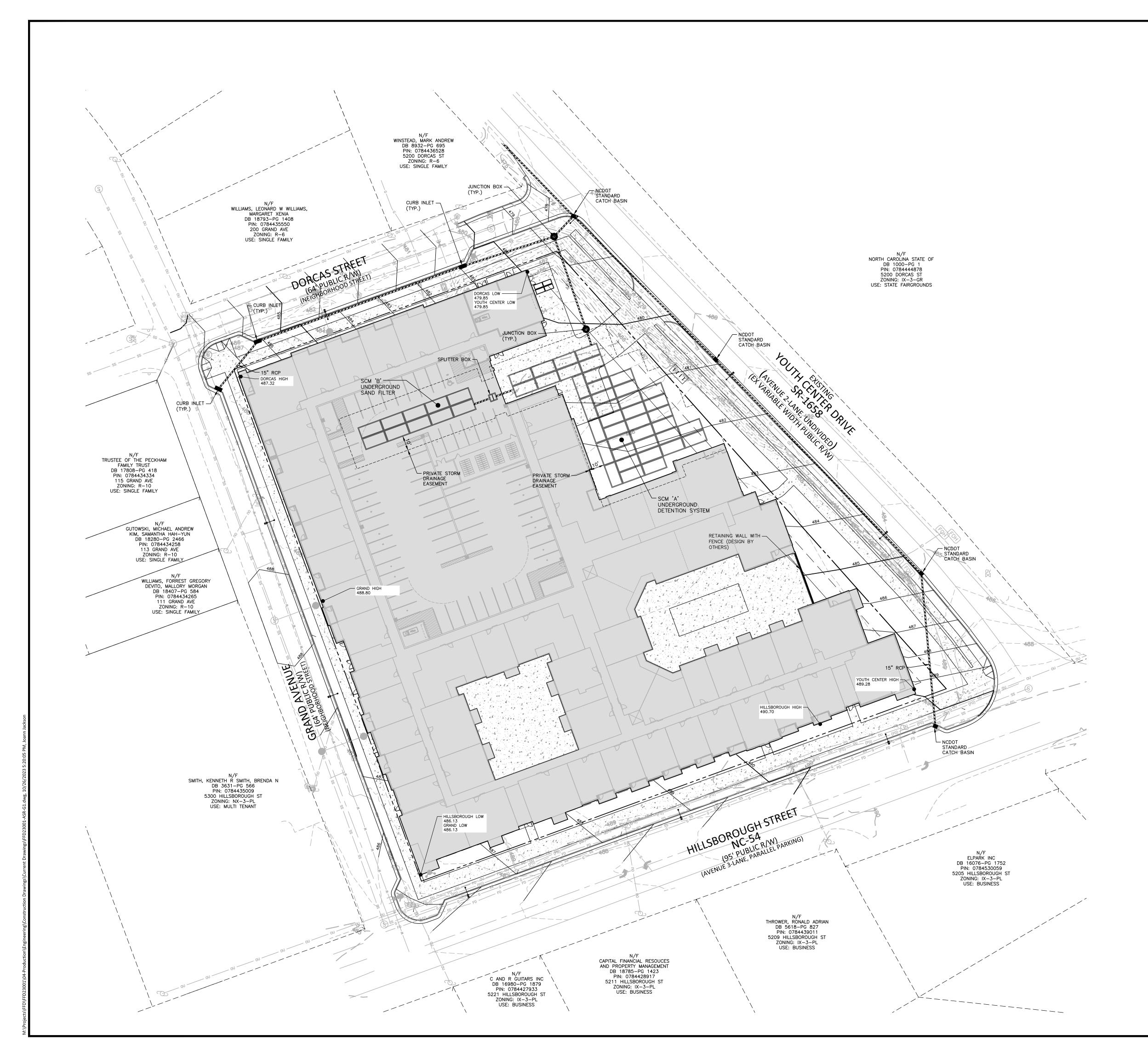
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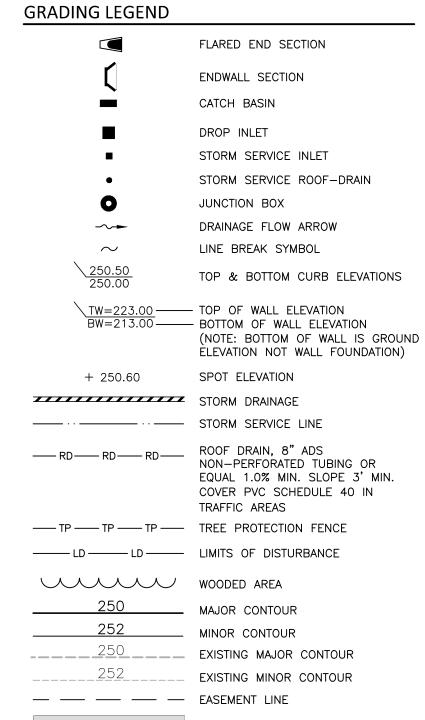
ACCORDANCE WITH THE CURRENT CITY OF

SHEET

SITE PLAN

C2.00

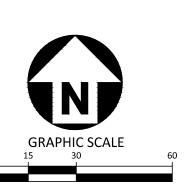




	HIGH	LOW	AVERAGE
DORCAS	487.32	479.85	483.59
YOUTH CENTER	489.28	479.85	484.57
HILLSBOROUGH	490.7	486.13	488.42
GRAND	488.8	486.13	487.47

ACCESSIBLE PARKING AREA

(2% MAX. SLOPE IN ALL DIRECTIONS)



SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



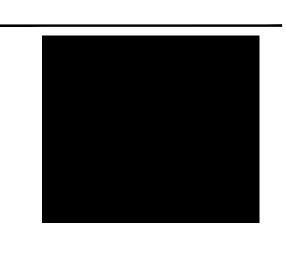
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NO. DATE

SHEET

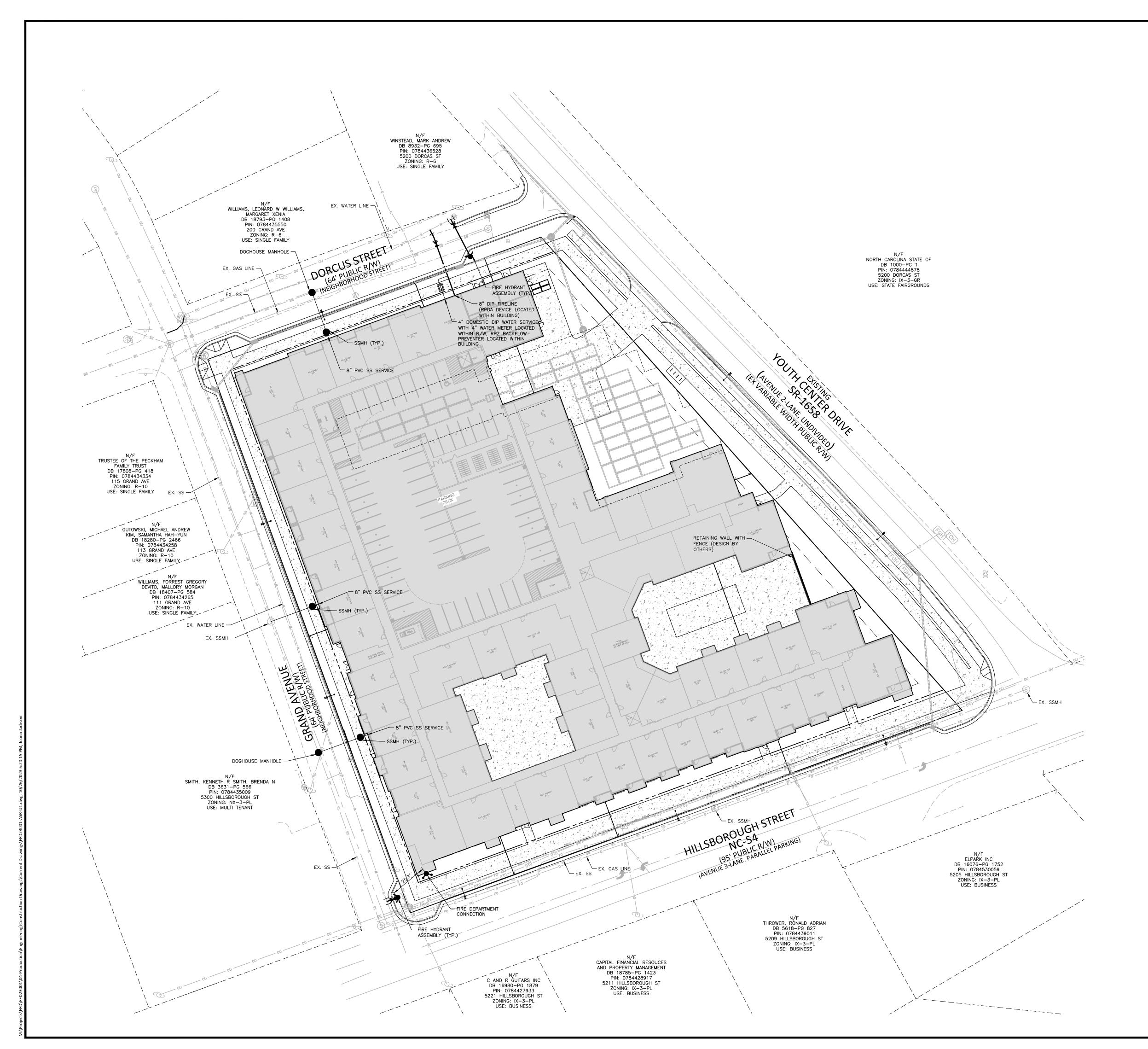
PLAN INFORMATION

PROJECT NO. FFD-23001 FFD23001-ASR-G1 FILENAME CHECKED BY

DRAWN BY SCALE 1"=30' DATE 10. 27. 2023

GRADING PLAN

C3.00





FIRE HYDRANT ASSEMBLY FIRE DEPARTMENT CONNECTION (FDC) WATER METER WATER VALVE POST INDICATOR VALVE VALVE IN MANHOLE METER & VAULT BACKFLOW PREVENTER REDUCER PLUG BLOW-OFF ASSEMBLY SANITARY SEWER MANHOLE SEWER CLEAN-OUT GREASE TRAP SEWER FLOW DIRECTION ARROW YARD LIGHTS LIGHT POLE POWER POLE LINE BREAK SYMBOL ----- WATERLINE ------ WATER SERVICE LINE _____ UTILITY SLEEVE SANITARY SEWER —— G—— G—— GAS LINE OVERHEAD UTILITY —— UE—— UNDERGROUND ELECTRIC

—__T—_T—_T—__T TELEPHONE — — — EASEMENT LINE



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Suite 500 Raleigh, NC 27603 phone 919. 361. 5000 fax 919. 361. 2269

license number: C-0293, C-187

www.mcadamsco.com

CLIENT

FRH REALITY LLC 3330 CUMBERLAND BLVD, SUITE 375 ATLANTA, GEORGIA 30339 CONTACT: MICHAEL GRIBBLE PHONE: 404. 442. 3851

0



520ADN
520

REVISIONS

NO. DATE

SEE SHEET CO.00 FOR ALL PROJECT, SITE,

ALL CONSTRUCTION SHALL BE IN

CONSTRUCTION STANDARDS

RALEIGH ENGINEERING DESIGN AND

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

NOTES

GRADING, STORM DRAINAGE AND UTILITY

ACCORDANCE WITH THE CURRENT CITY OF

PLAN INFORMATION

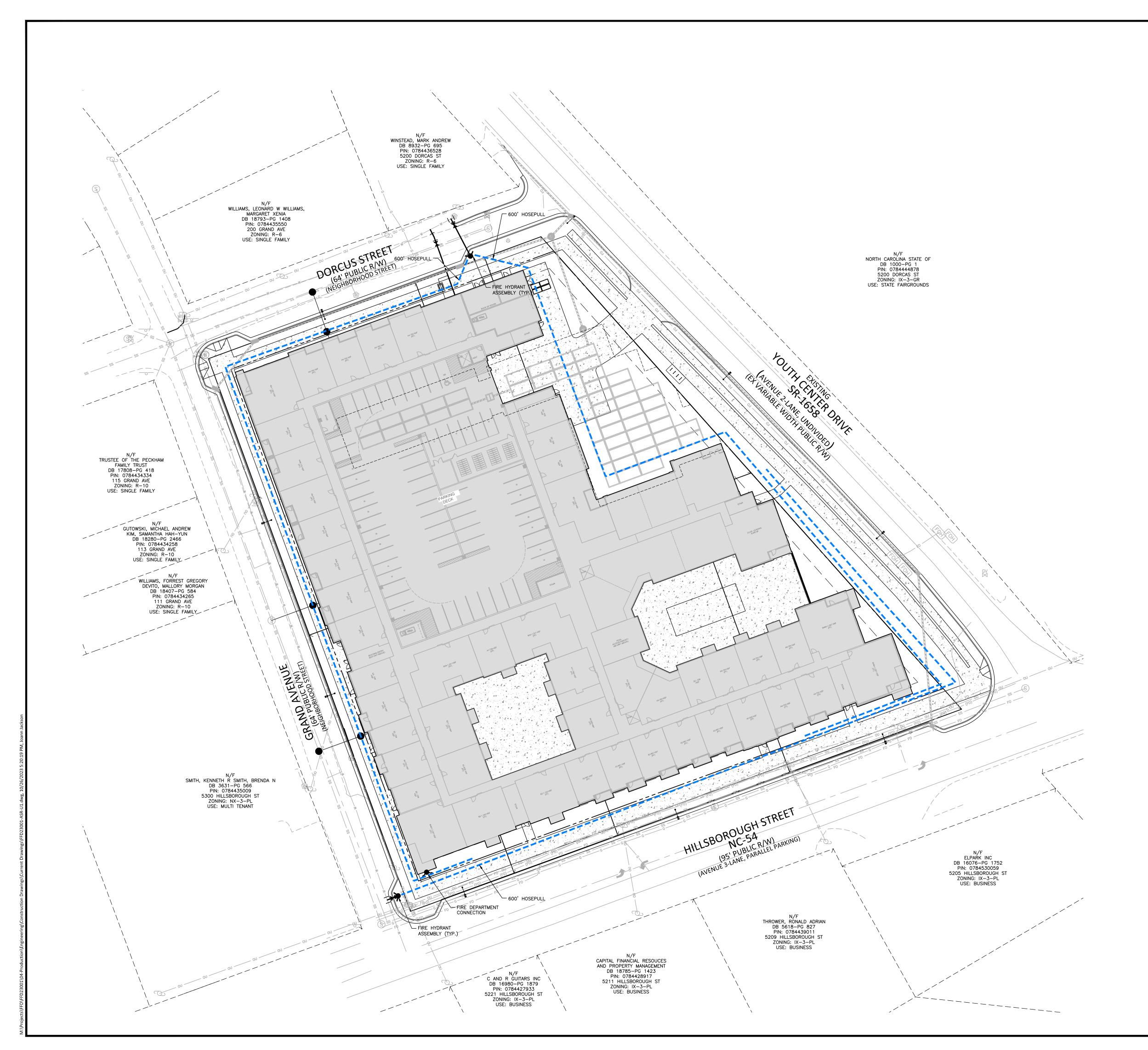
PROJECT NO. FFD-23001 FILENAME FFD23001-ASR-U1 CHECKED BY

DRAWN BY SCALE 1"=30' DATE 10. 27. 2023

SHEET

UTILITY PLAN

C4.00





FIRE HYDRANT ASSEMBLY FIRE DEPARTMENT CONNECTION (FDC) WATER METER WATER VALVE POST INDICATOR VALVE VALVE IN MANHOLE METER & VAULT BACKFLOW PREVENTER REDUCER PLUG BLOW-OFF ASSEMBLY SANITARY SEWER MANHOLE SEWER CLEAN-OUT GREASE TRAP SEWER FLOW DIRECTION ARROW YARD LIGHTS LIGHT POLE POWER POLE LINE BREAK SYMBOL ----- WATERLINE ------ WATER SERVICE LINE _____ UTILITY SLEEVE SANITARY SEWER —— G—— G—— GAS LINE OVERHEAD UTILITY —— UE—— UNDERGROUND ELECTRIC

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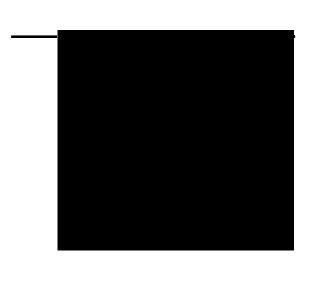
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NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001 FILENAME FFD23001-ASR-U1 CHECKED BY

DRAWN BY SCALE 1"=30' DATE 10. 27. 2023

SHEET

FIRE ACCESS

C4.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

ACCORDANCE WITH THE CURRENT CITY OF

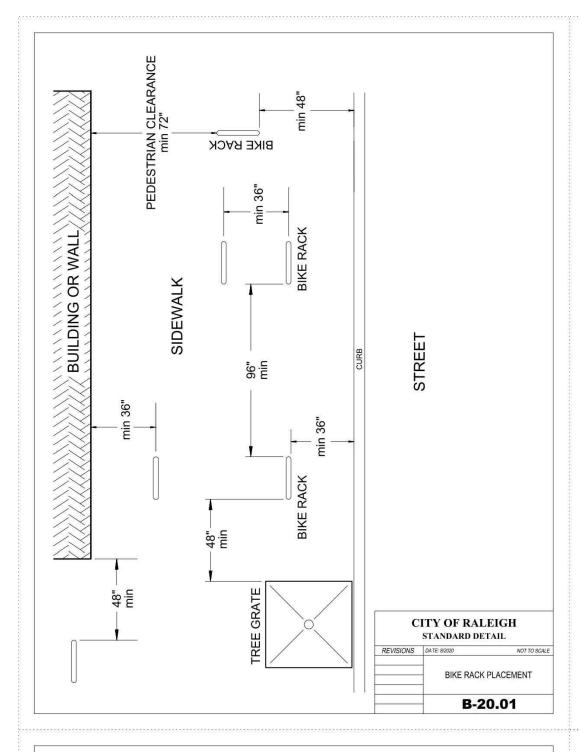
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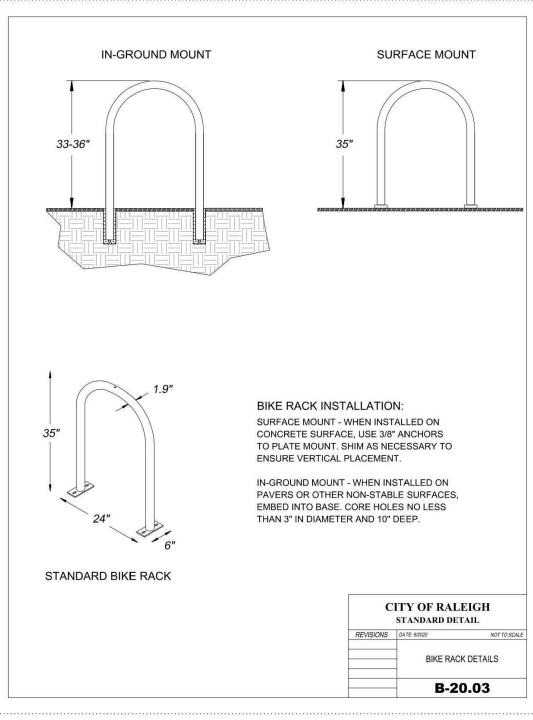
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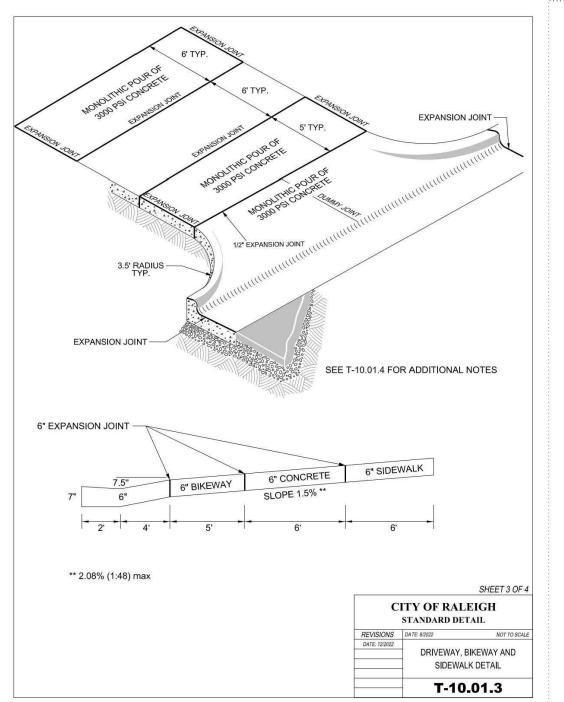
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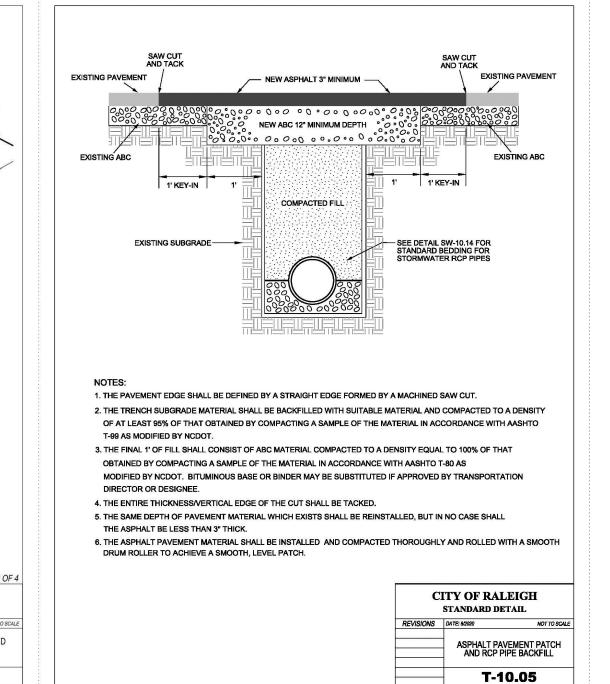
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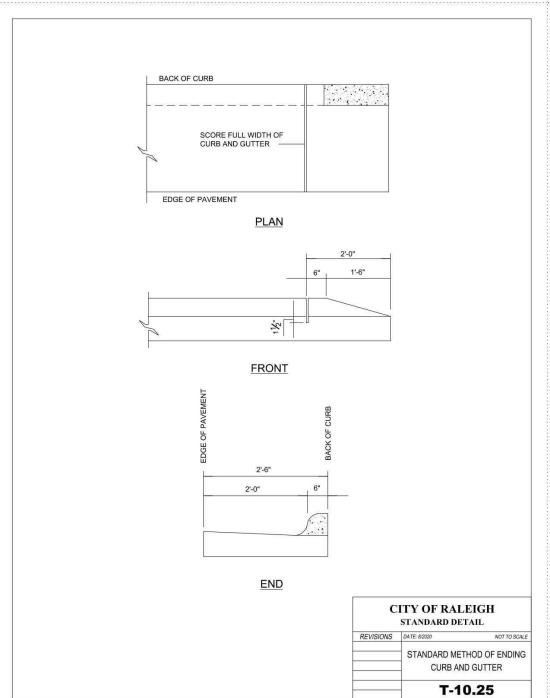
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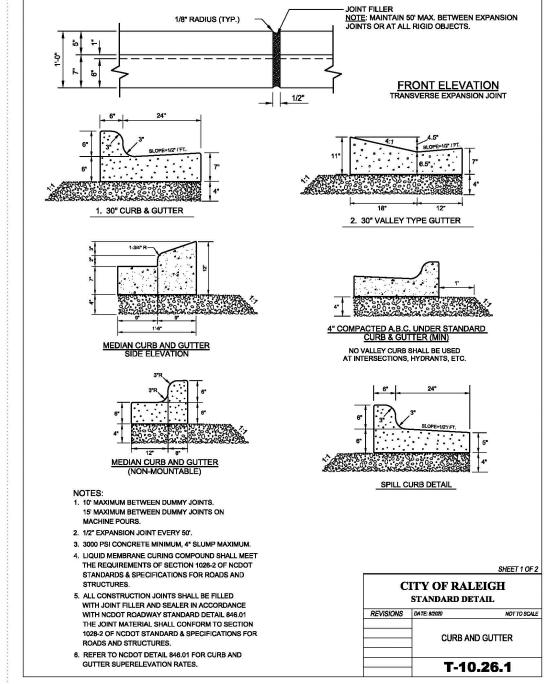


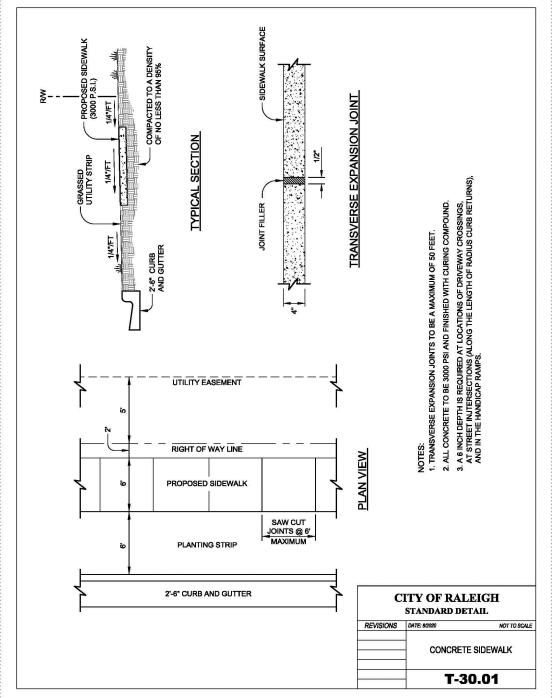


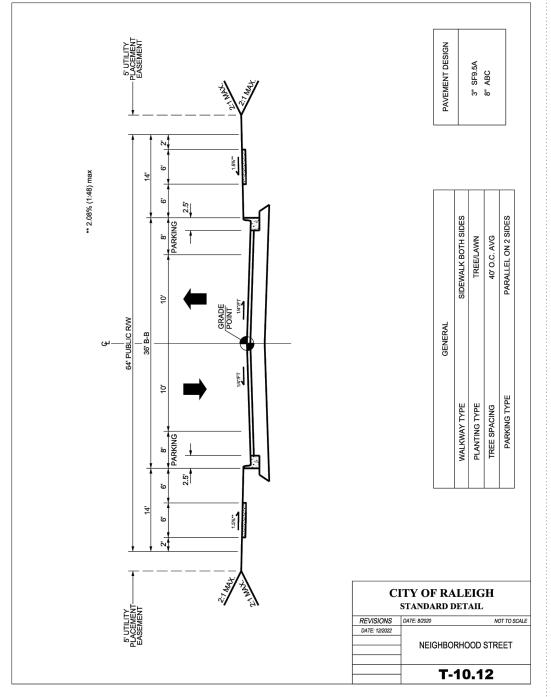


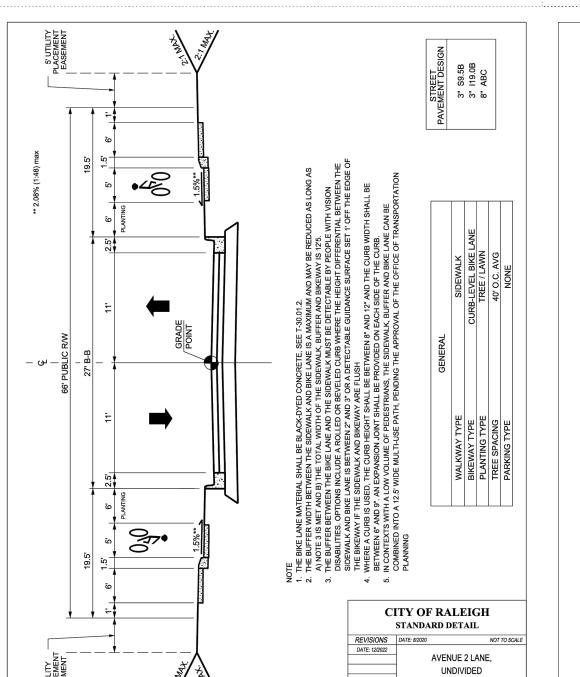




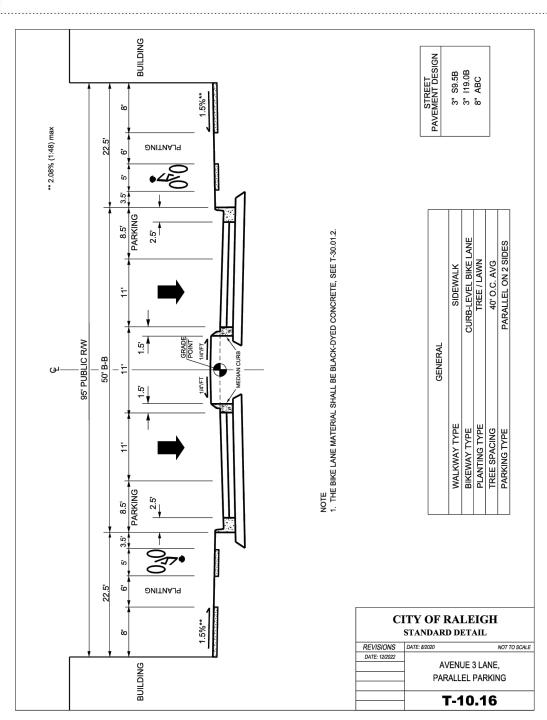








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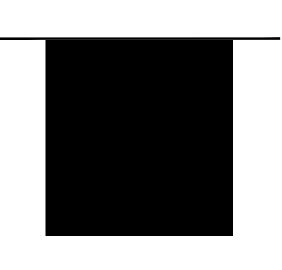
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5200 HILLSBOROUGH STREET 5200 HILLSBOROUGH STREET BALEIGH NO 27606



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001

FILENAME FFD23001-ASR-D1

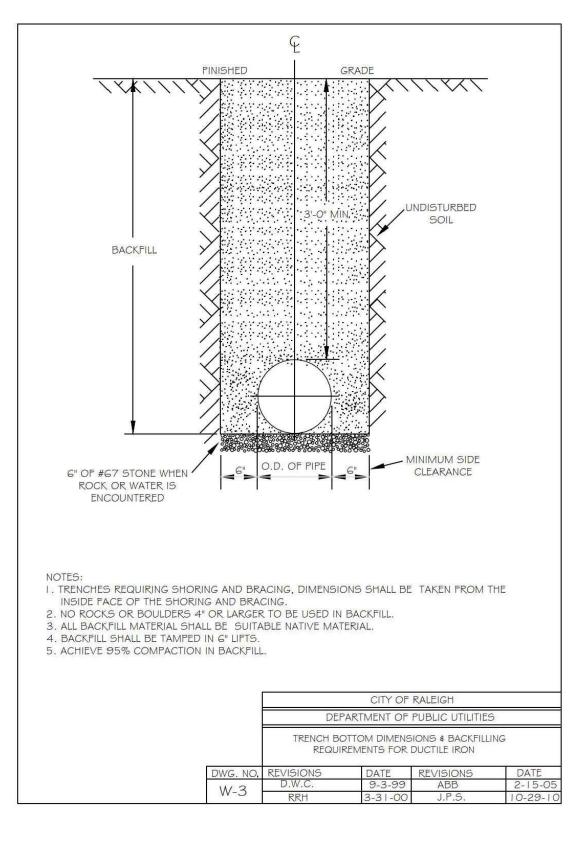
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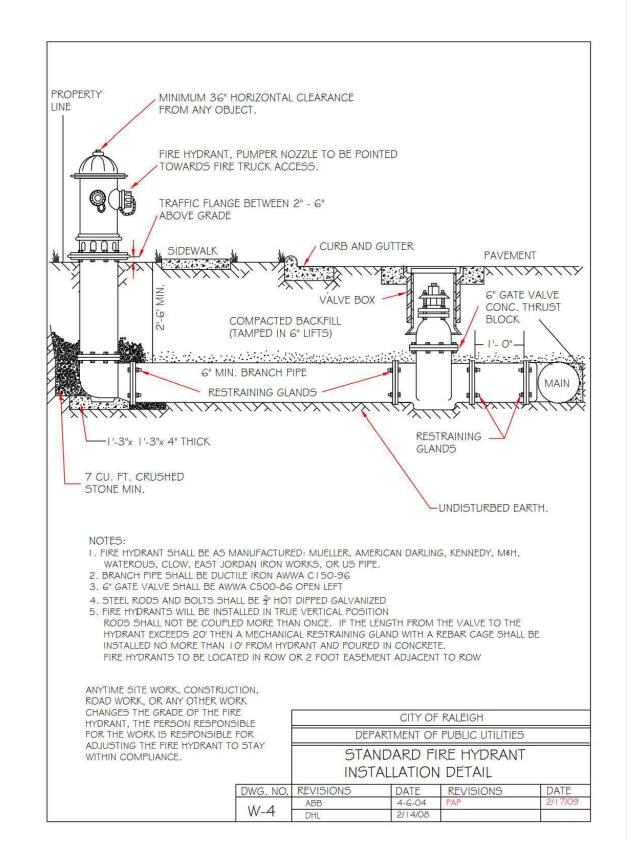
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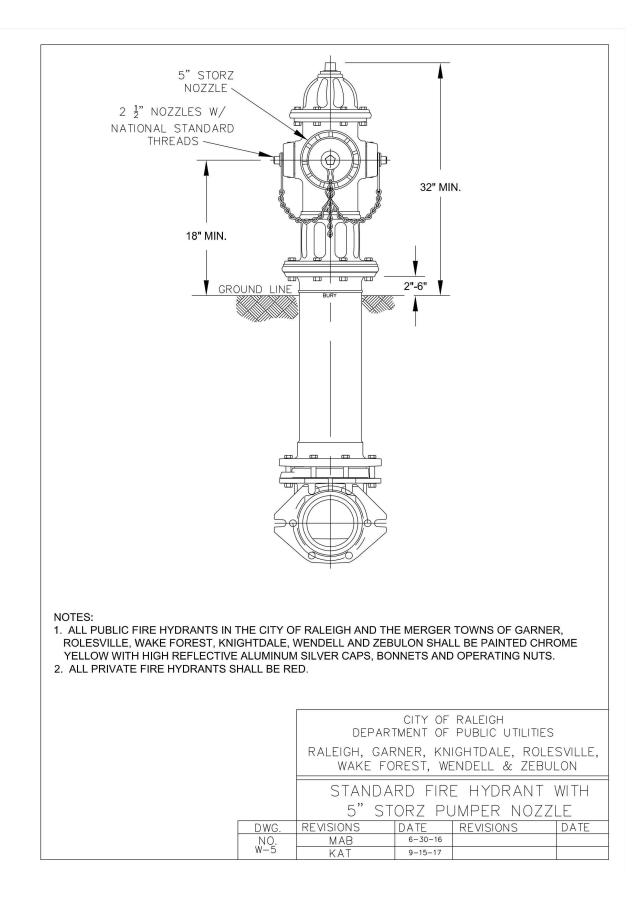
DATE 10. 27. 2023 **SHEET**

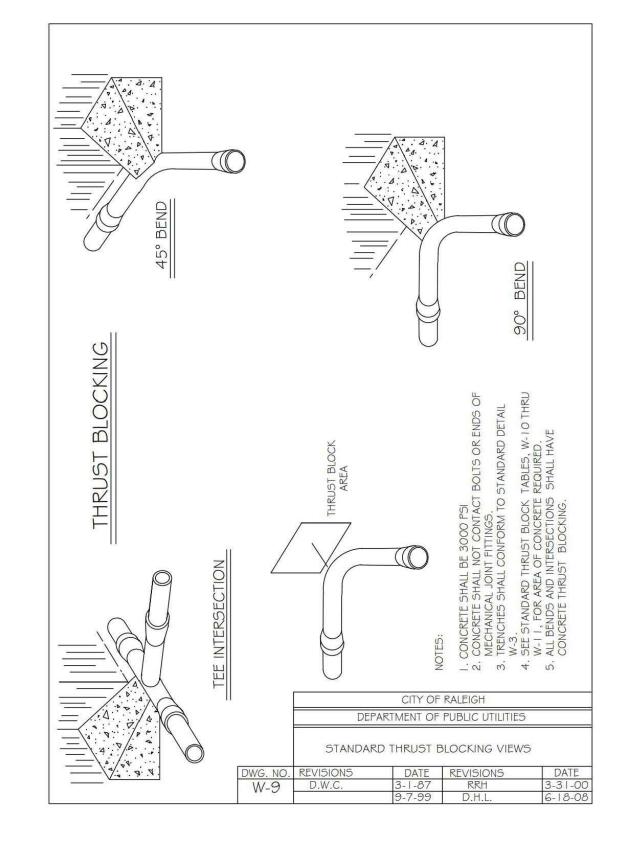
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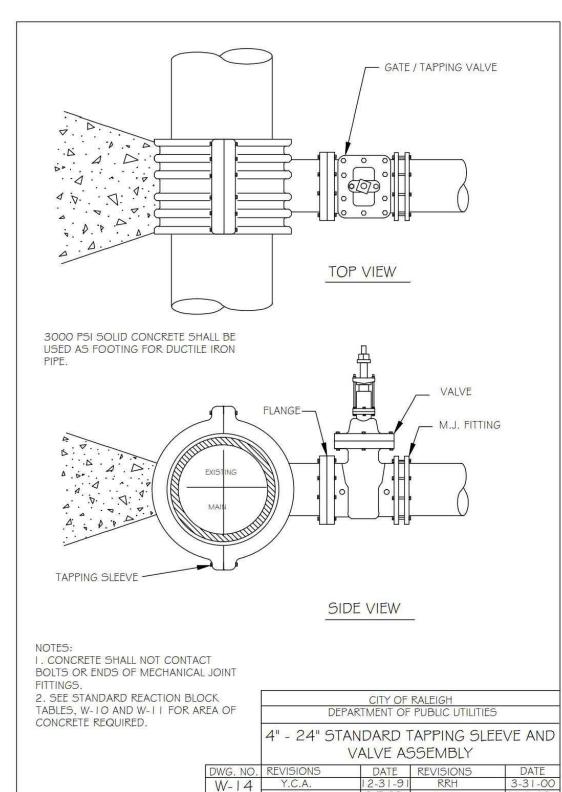
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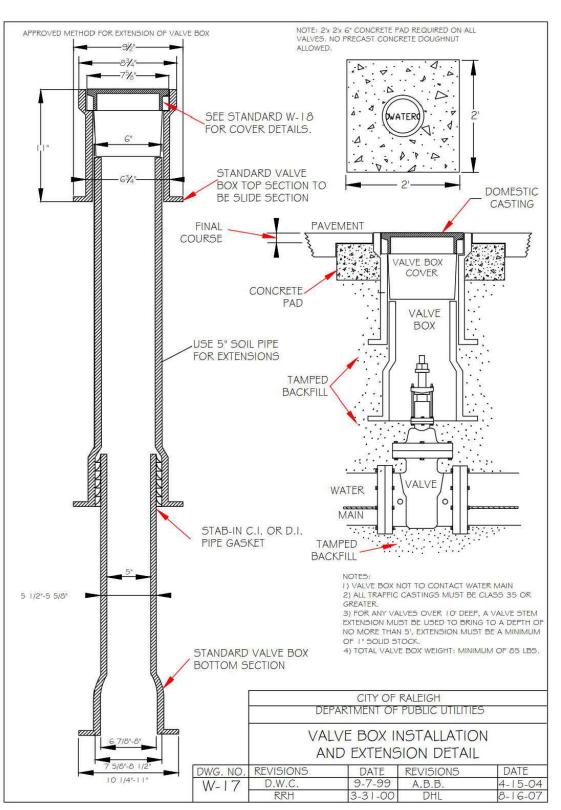


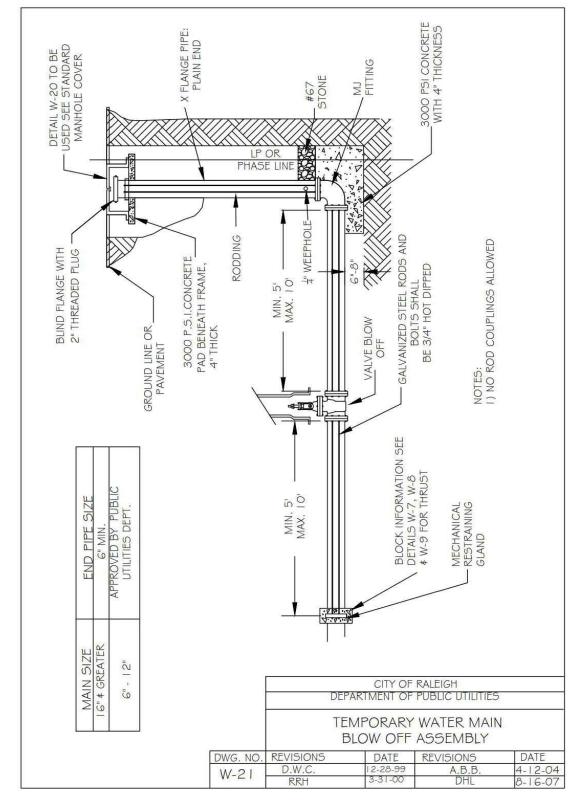


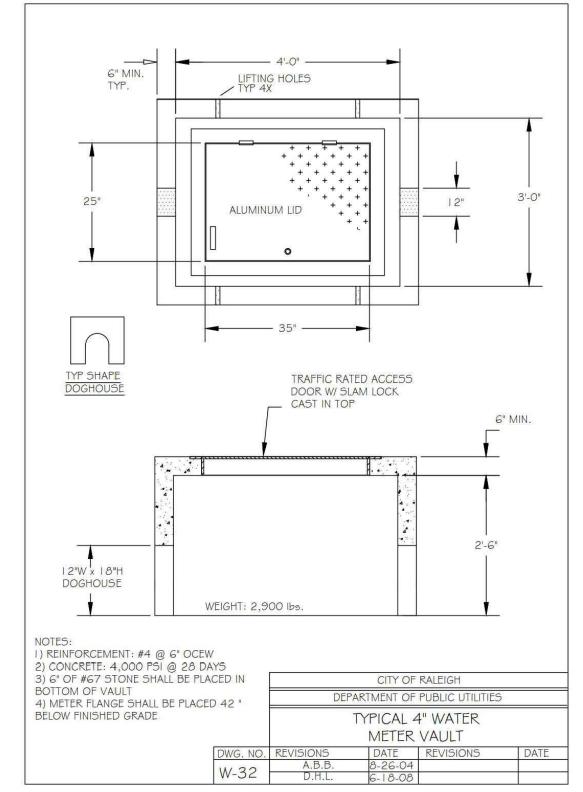














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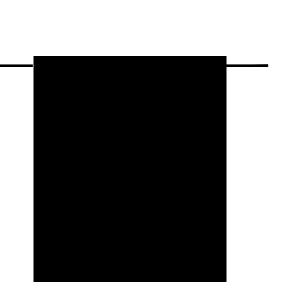
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ADMINISTRATIVE SITE REVIEW 5200 HILLSBOROUGH STREET

7



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001

FILENAME FFD23001-ASR-D1

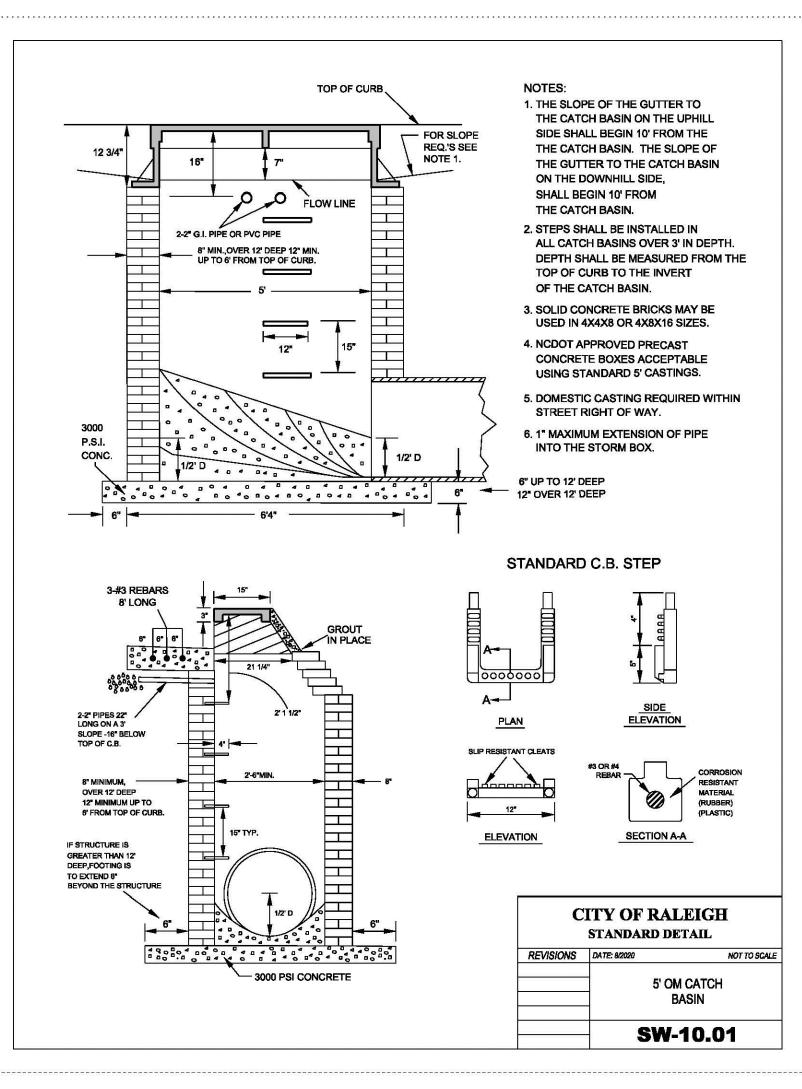
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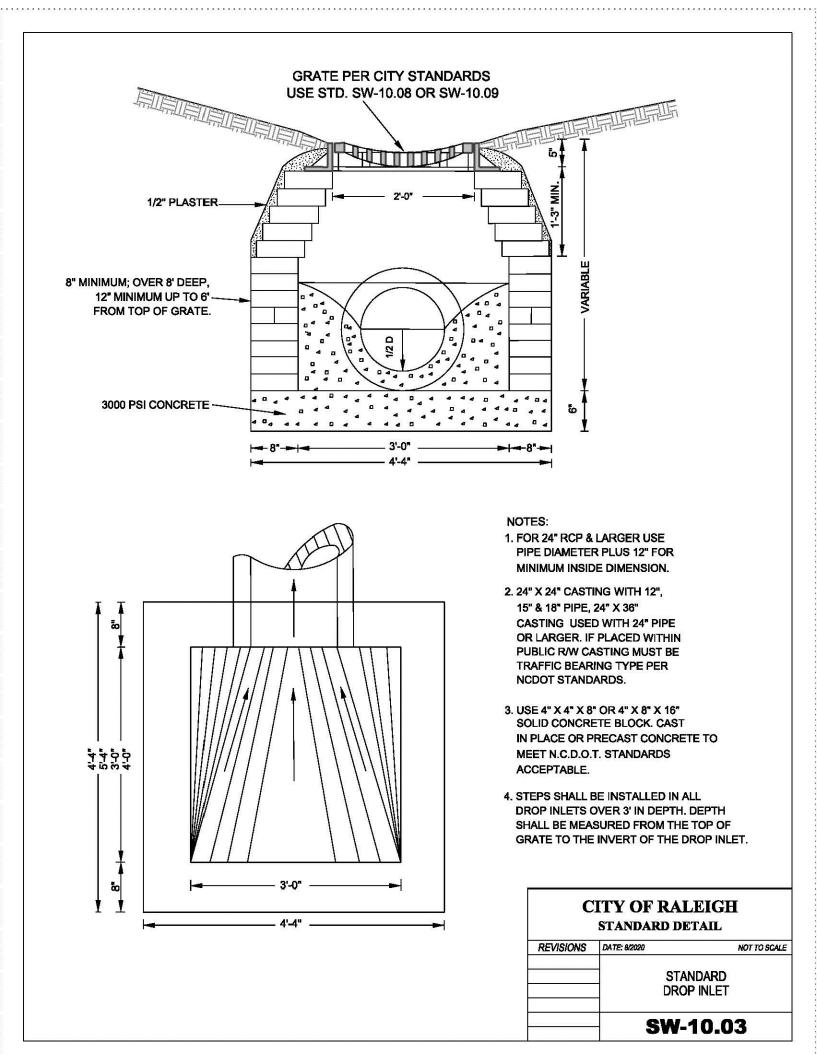
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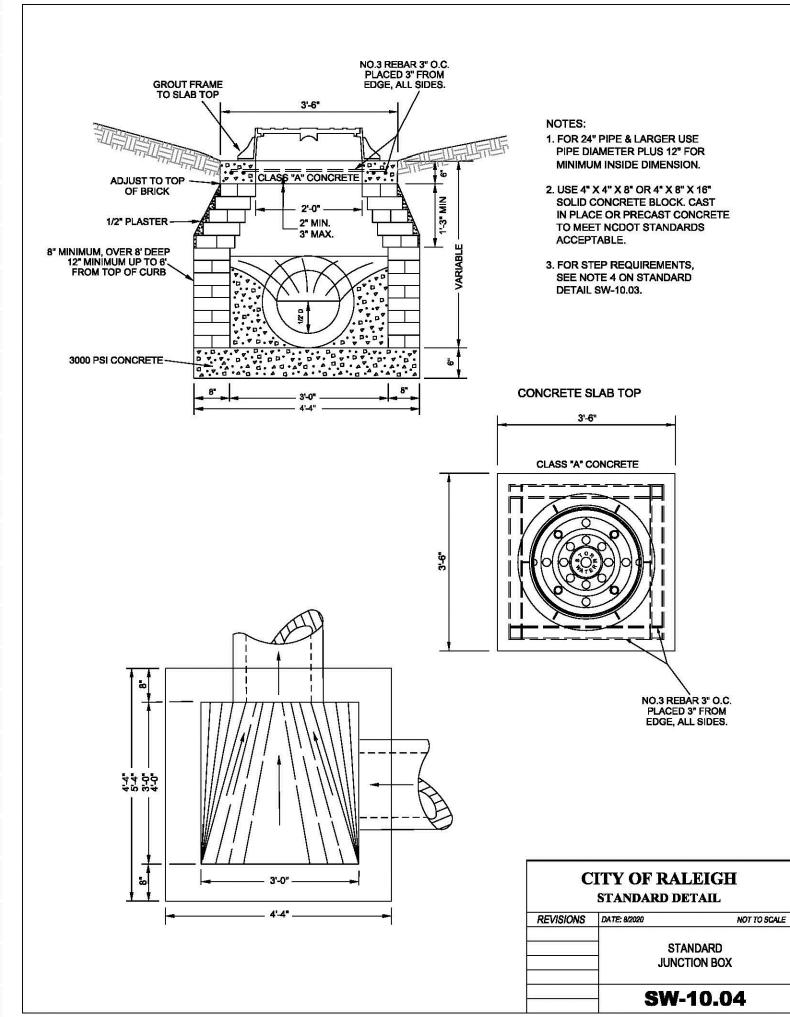
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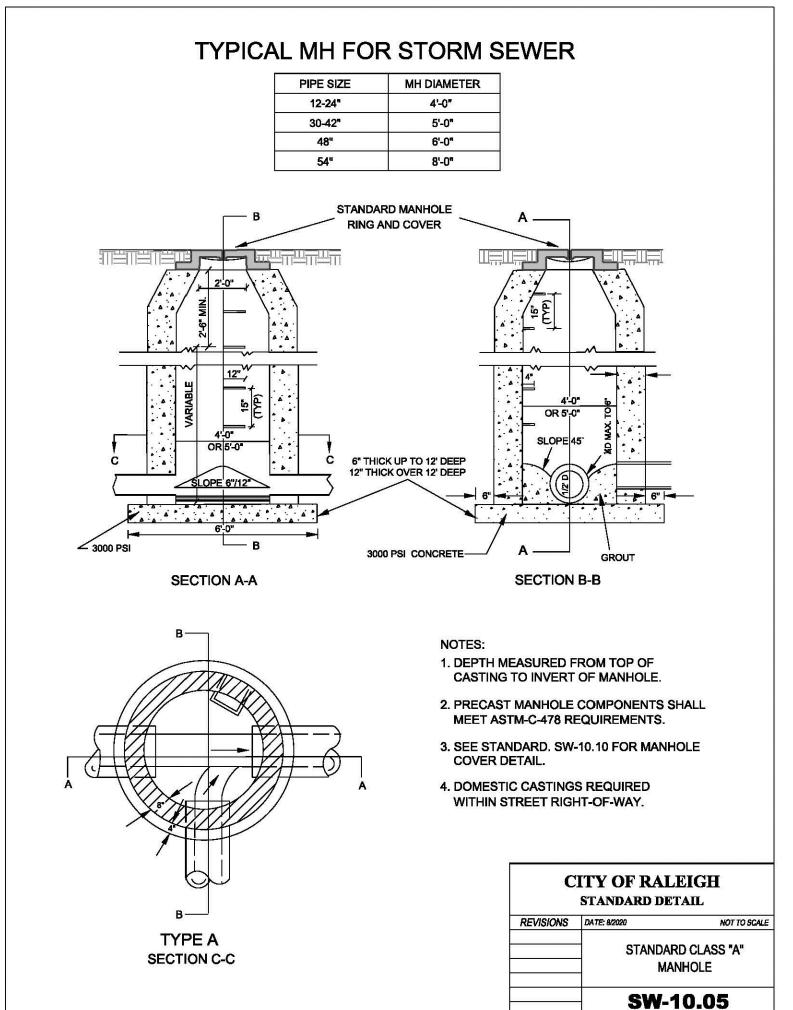
WATER DETAILS

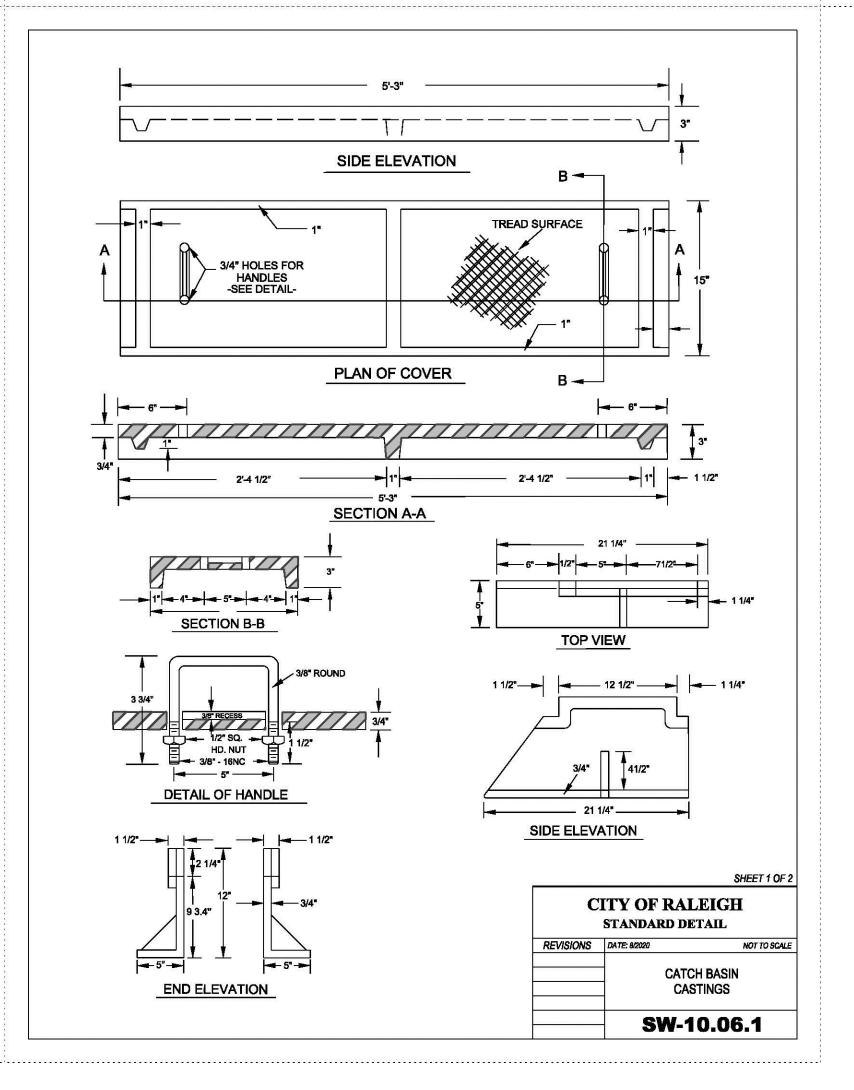
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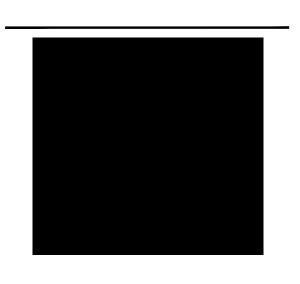
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200 HILLSBOROUGH STADMINISTRATIVE SITE REVIEW 5200 HILLSBOROUGH STREET



REVISIONS

NO. DATE

PLAN INFORMATION

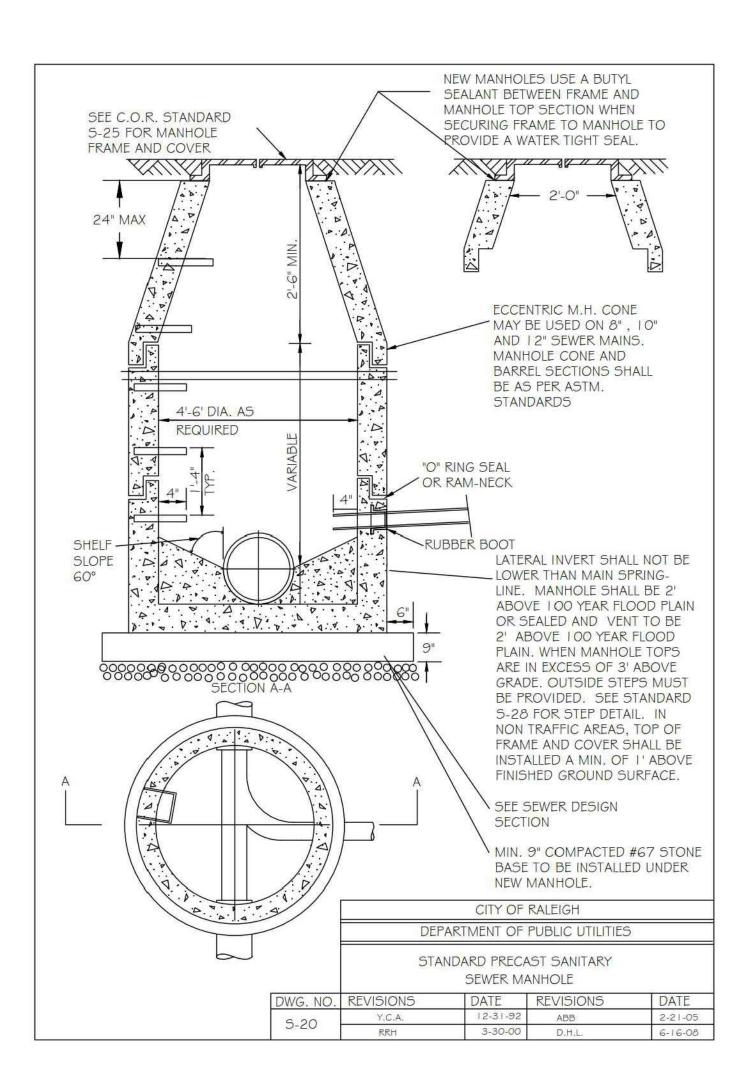
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FILENAME FFD23001-ASR-D1
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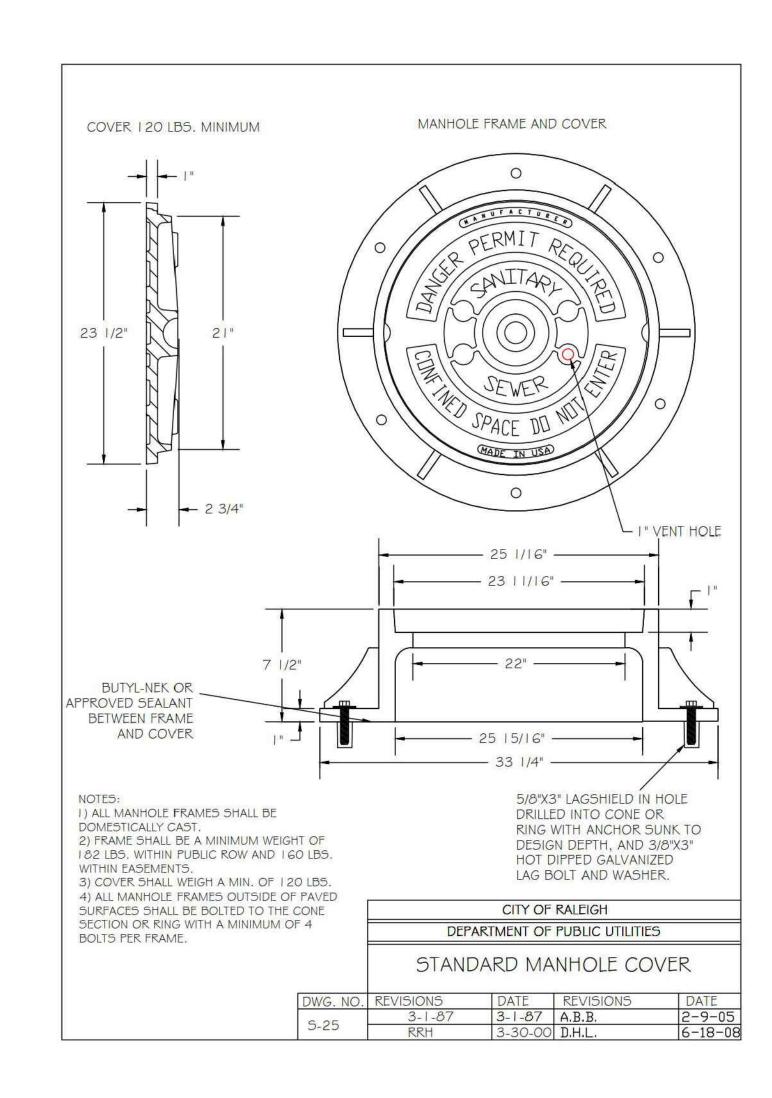
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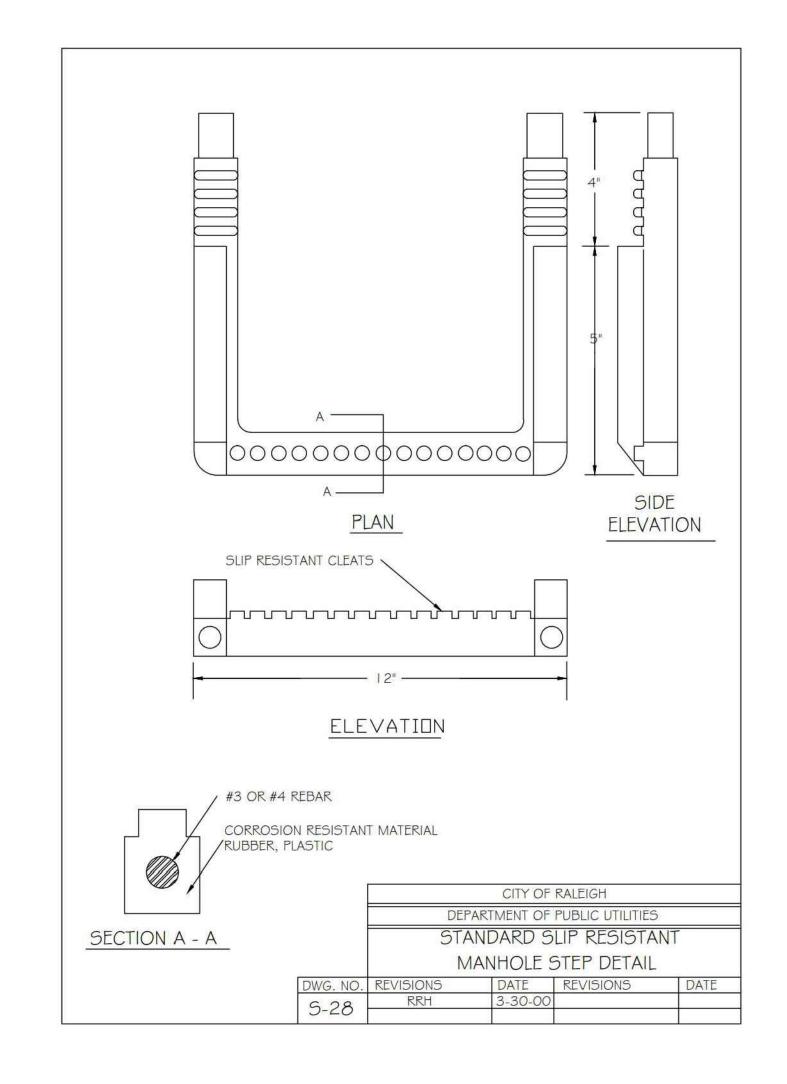
DATE 10. 27. 2023

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STORM DRAINAGE DETAILS









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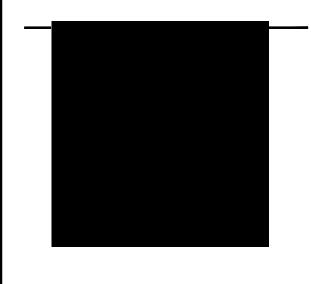
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REVISIONS

NO. DATE

PLAN INFORMATION

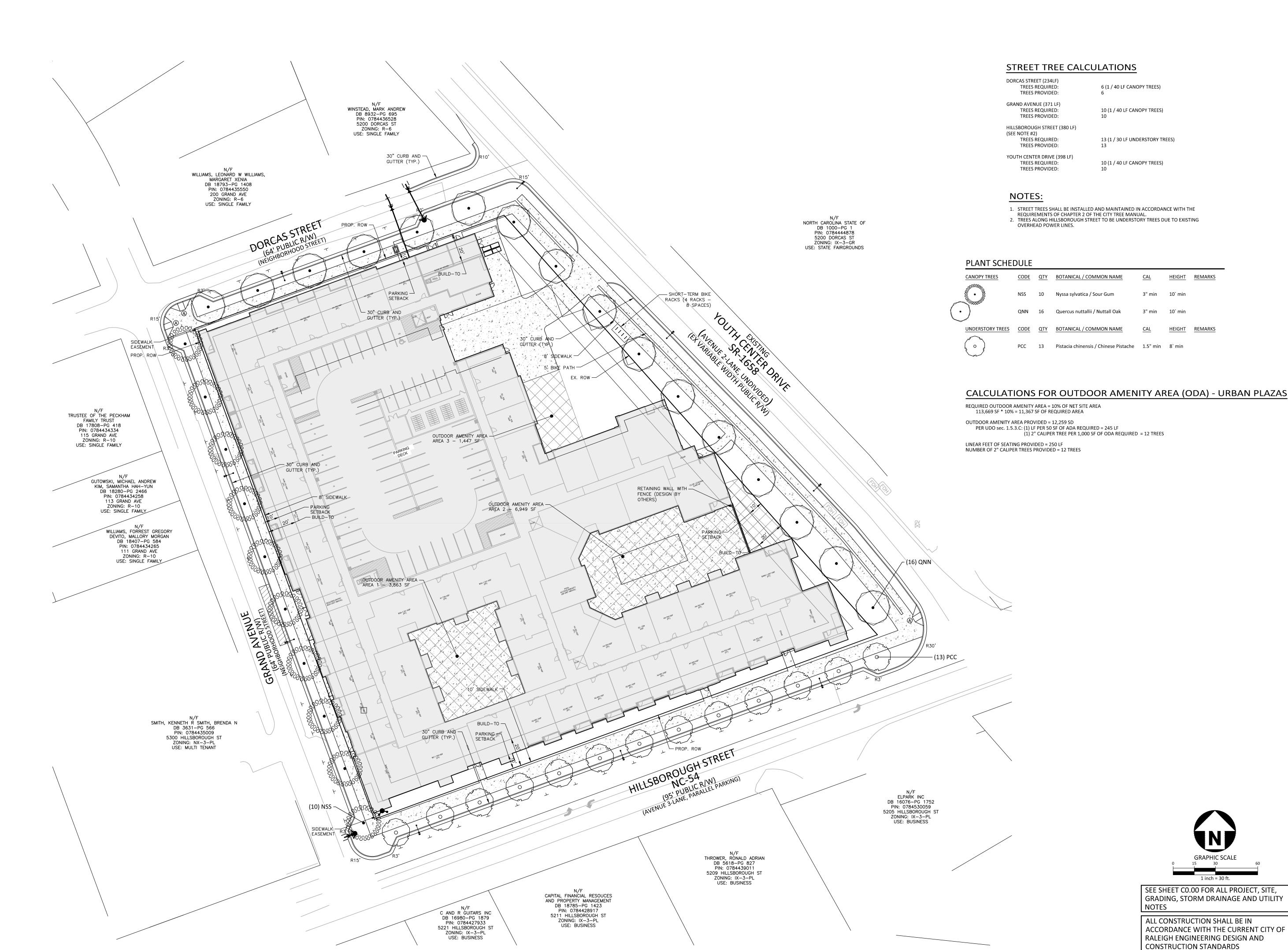
PROJECT NO. FFD-23001 FFD23001-ASR-D1

CHECKED BY DRAWN BY SCALE

DATE 10. 27. 2023

SHEET

SANITARY SEWER DETAILS





6 (1 / 40 LF CANOPY TREES)

10 (1 / 40 LF CANOPY TREES)

13 (1 / 30 LF UNDERSTORY TREES)

10 (1 / 40 LF CANOPY TREES)

<u>CAL</u> HEIGHT REMARKS

CALCULATIONS FOR OUTDOOR AMENITY AREA (ODA) - URBAN PLAZAS



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ATLANTA, GEORGIA 30339

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CLIENT

FRH REALITY LLC

REVISIONS

NO. DATE

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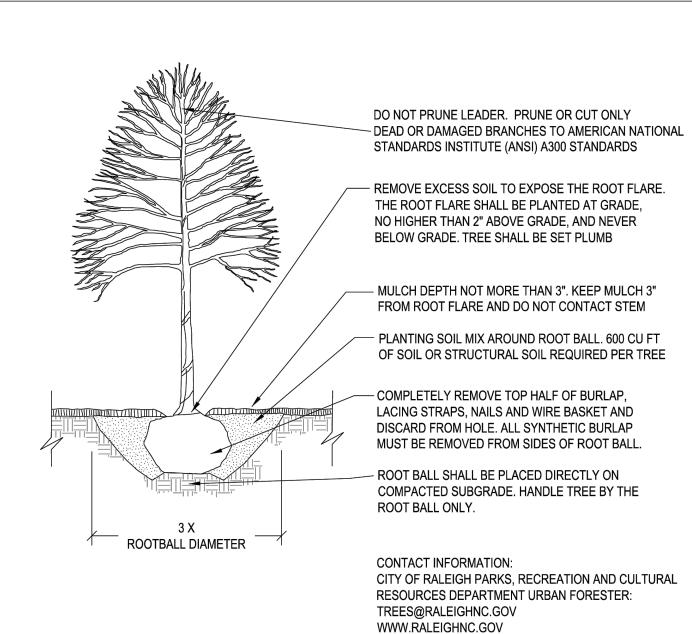
PROJECT NO. FFD-23001 FFD23001-ASR-LS1 FILENAME

CHECKED BY DRAWN BY 1"=30'

SCALE DATE 10. 27. 2023 SHEET

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

LANDSCAPE PLAN



NOTES

- 1. TREES MUST MEET THE TREE QUALITY STANDARDS
- IN CH. 2 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- 4. A TREE IMPACT PERMIT IS REQUIRED.
- 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA
- IMMEDIATELY SURROUNDING THE TREE.

 6. IF STAKING IN ACCORDANCE WITH THE CITY
 TREE MANUAL, THE STAKING MUST BE REMOVED
- WITHIN ONE YEAR.

 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY
 AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

C	CITY OF RALEIGH STANDARD DETAIL				
REVISIONS	DATE: 8/2020	NOT TO SCALE			
10/2019		NITINIO DETAIL			
	TREE PLA	NTING DETAIL			
	TP	P-03			

PLANT SCHEDULE

CODE

CODE QTY BOTANICAL / COMMON NAME

Nvssa svlvatica / Sour Gum

QTY BOTANICAL / COMMON NAME

Quercus nuttallii / Nuttall Oak

Pistacia chinensis / Chinese Pistache 1.5" min 8` min

CAL

3" min 10` min

HEIGHT REMARKS

LANDSCAPE NOTES

- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF RALEIGH THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- 2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- 3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING
- 4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- 5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

- 6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- 7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE APPLIET.
- 8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- 9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS
- 10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- 11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- 12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO
- 13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- 14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- 15. PROPOSED TREES TO BE PLANTED A MINIMUM 8 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- 16. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- 17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.

- 18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN
 - SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.

 19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND
 - FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX
 THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS
 THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR
 SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
 - 20. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
 - 21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
 - 22. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE
 - 23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
 - 24. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
 - 25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
 - 26. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
 - 27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
 - 28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
 - 29. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
 - 30. ALL TREES TO BE LIMBED TO A HEIGHT OF 8' FROM FINISH GRADE WITHIN SIGHT DISTANCE TRIANGLES.
 - 31. WHERE TREES ARE REQUIRED TO BE LIMBED TO 8' FOR SIGHT DISTANCE TRIANGLE CLEARANCE, A LARGER CALIPER SIZE MAY BE REQUIRED AT TIME OF INSTALLATION FOR PROPER LIMBING AND PRUNING.
 - 32. PLANT MATERIAL TO BE CHOSEN FROM THE WENDELL UDO ACCEPTABLE PLANT MATERIAL LIST.
 - 33. SPECIES NOT FOUND ON THE ACCEPTABLE PLANT LIST MAY BE UTILIZED WITH APPROVAL FROM THE TOWN OF WENDELL.



McAdams

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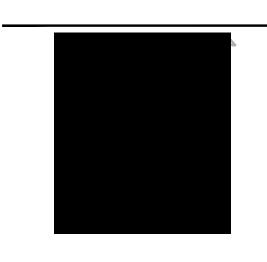
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CLIENT

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GH ST EVIEW TREET

200 HILLSBOROUGH ADMINISTRATIVE SITE REVIEN 5200 HILLSBOROUGH STREE RALEIGH, NC, 27606



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001

FILENAME FFD23001-ASR-LS1

CHECKED BY DB

DRAWN BY JJ

SCALE 1"=30'

DATE 10. 27. 2023

SHEET

LANDSCAPE NOTES AND DETAILS

GRAPHIC SCALE

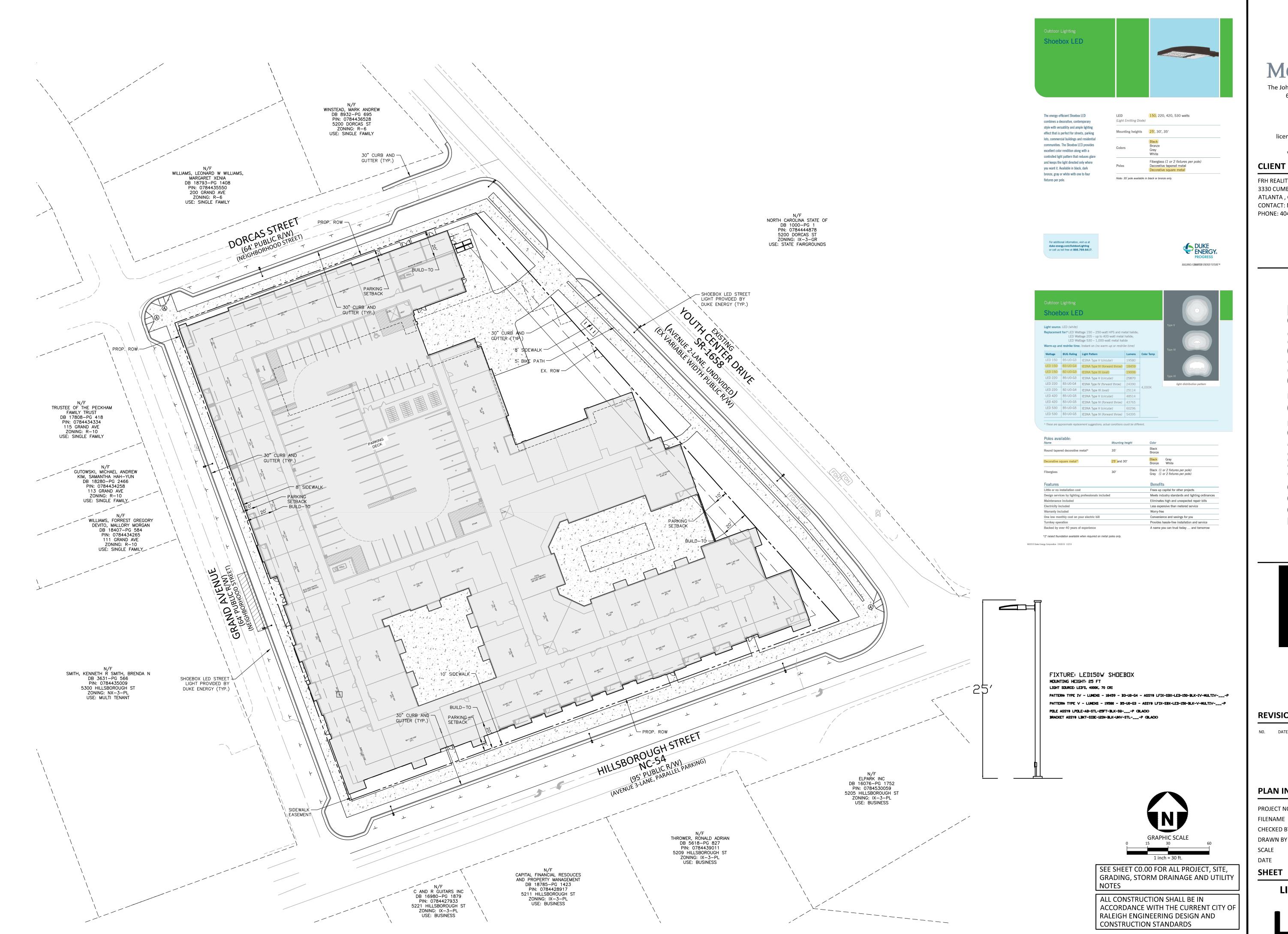
0 15 30 60

1 inch = 30 ft.

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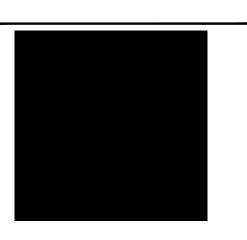
license number: C-0293, C-187

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FRH REALITY LLC 3330 CUMBERLAND BLVD, SUITE 375 ATLANTA, GEORGIA 30339 CONTACT: MICHAEL GRIBBLE

PHONE: 404. 442. 3851

REVIE\ STREE ≅8 0 **20** ADN 520



REVISIONS

7

NO. DATE

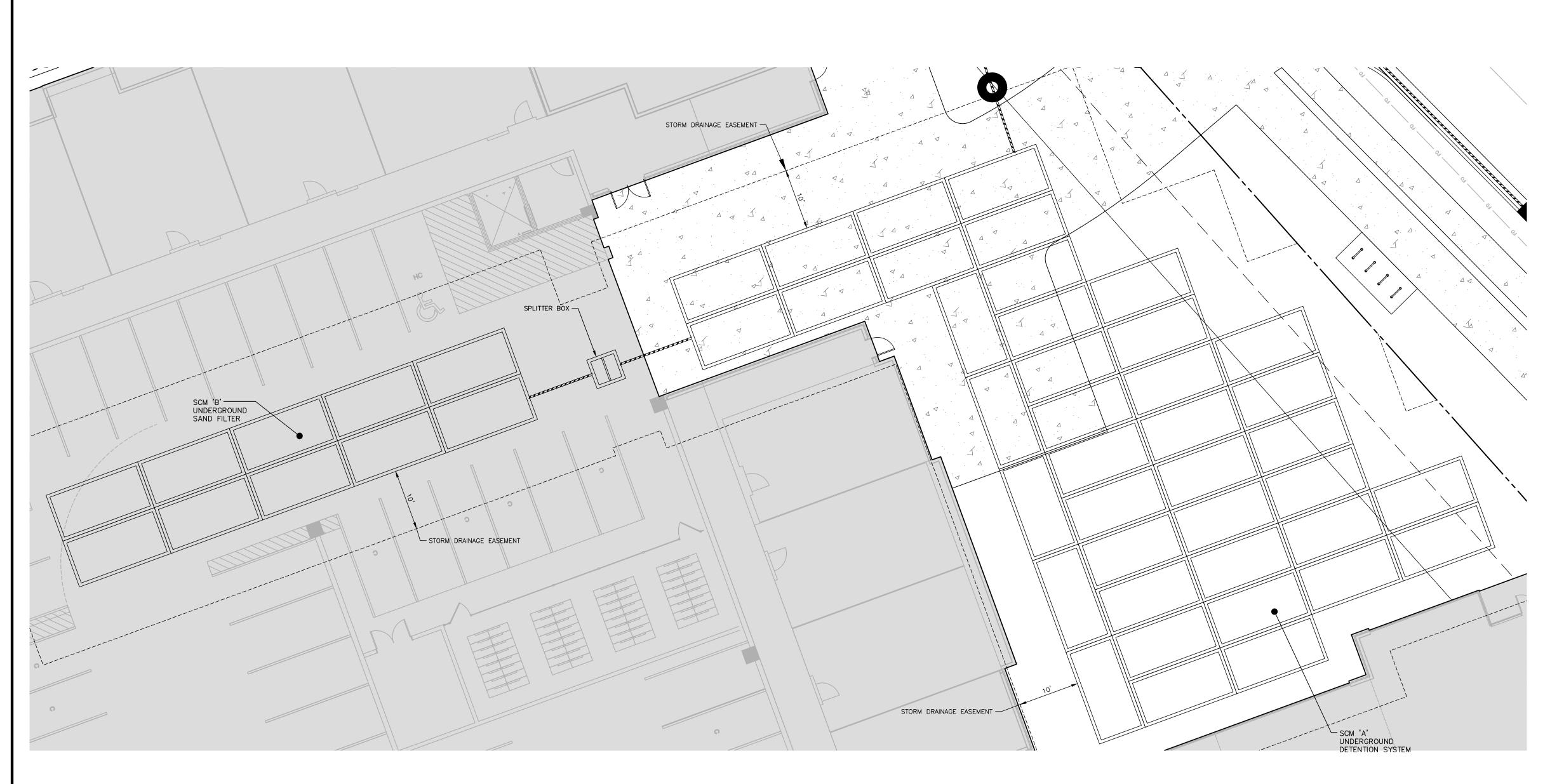
PLAN INFORMATION

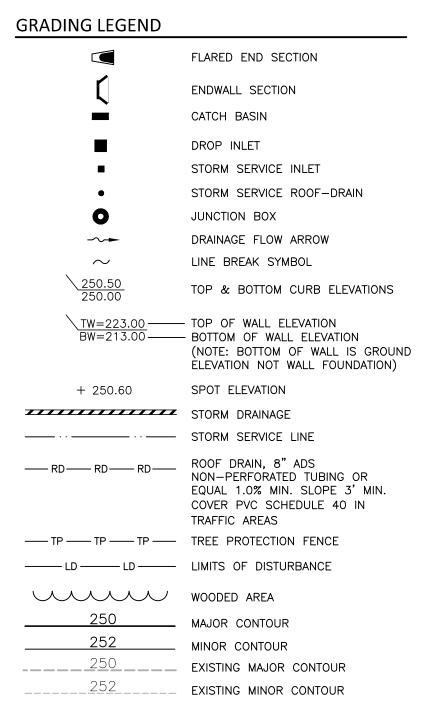
PROJECT NO. FFD-23001 FFD23001-ASR-L1 FILENAME CHECKED BY

DRAWN BY 1"=30' 10. 27. 2023

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

LIGHTING PLAN





— — EASEMENT LINE

ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)



5200 HILLSBOROUGH ST ADMINISTRATIVE SITE REVIEW 5200 HILLSBOROUGH STREET RALEIGH, NC. 27606



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-SW1
CHECKED BY DB

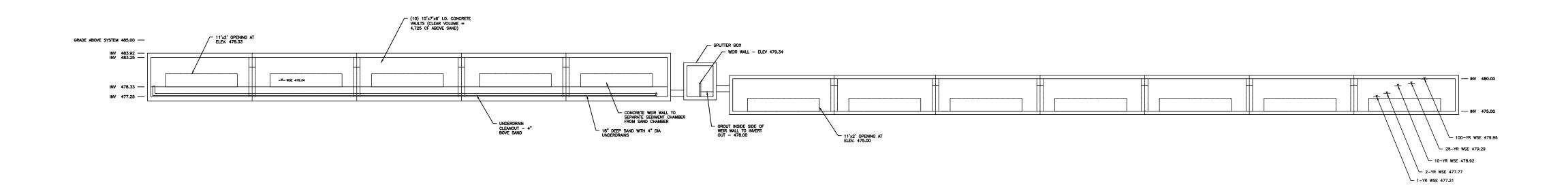
DRAWN BY JJ
SCALE 1"=10'

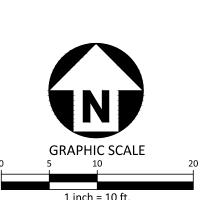
DATE 10. 27. 2023

SHEET

SCM DETAILS

C9.00

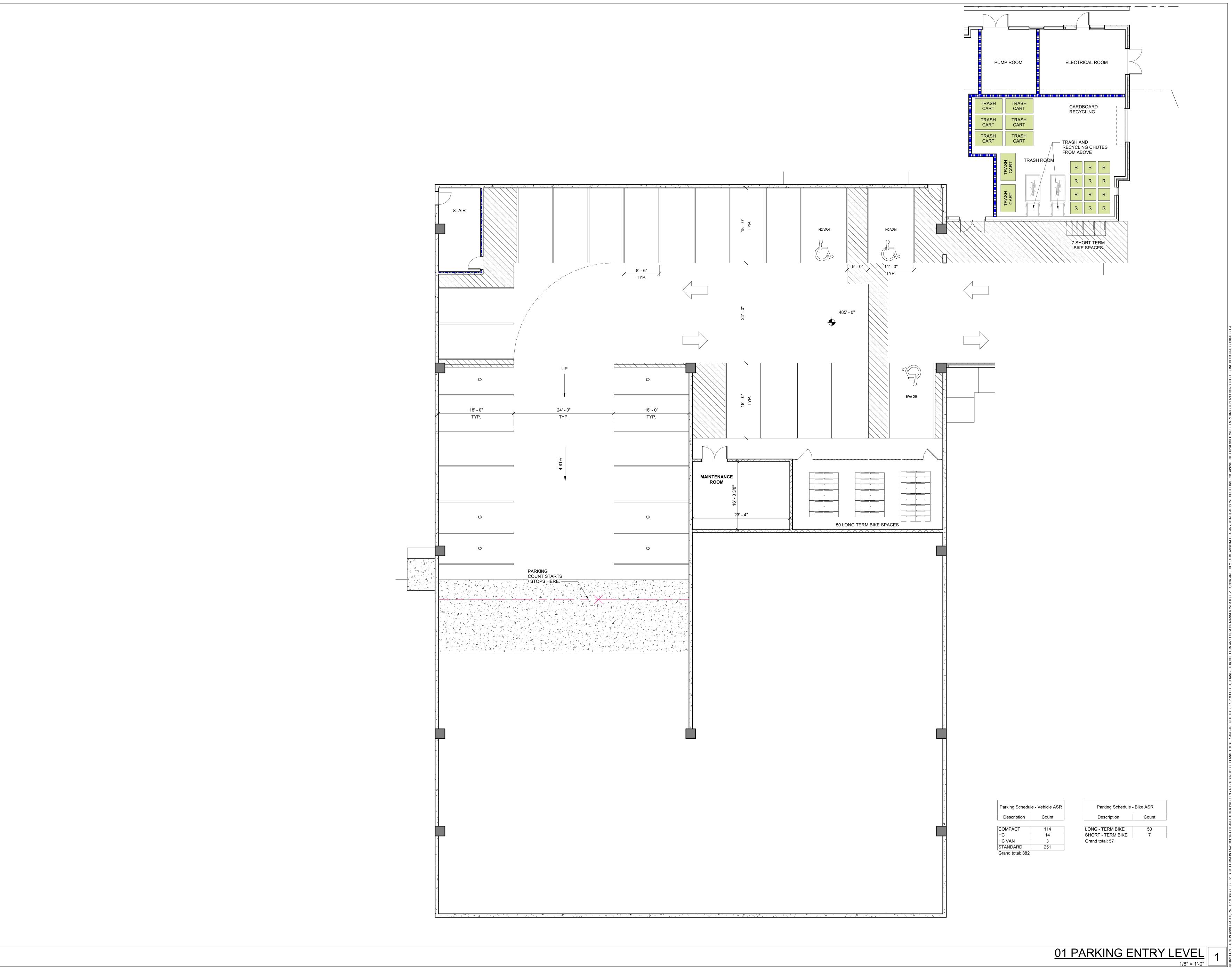




SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT CITY OF
RALEIGH ENGINEERING DESIGN AND
CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



AIRFIELD RESIDENTIAL

5200 Hillsborough

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

PROJECT:
DATE:
DATE:
10.27.2023

REVISIONS:
DATE

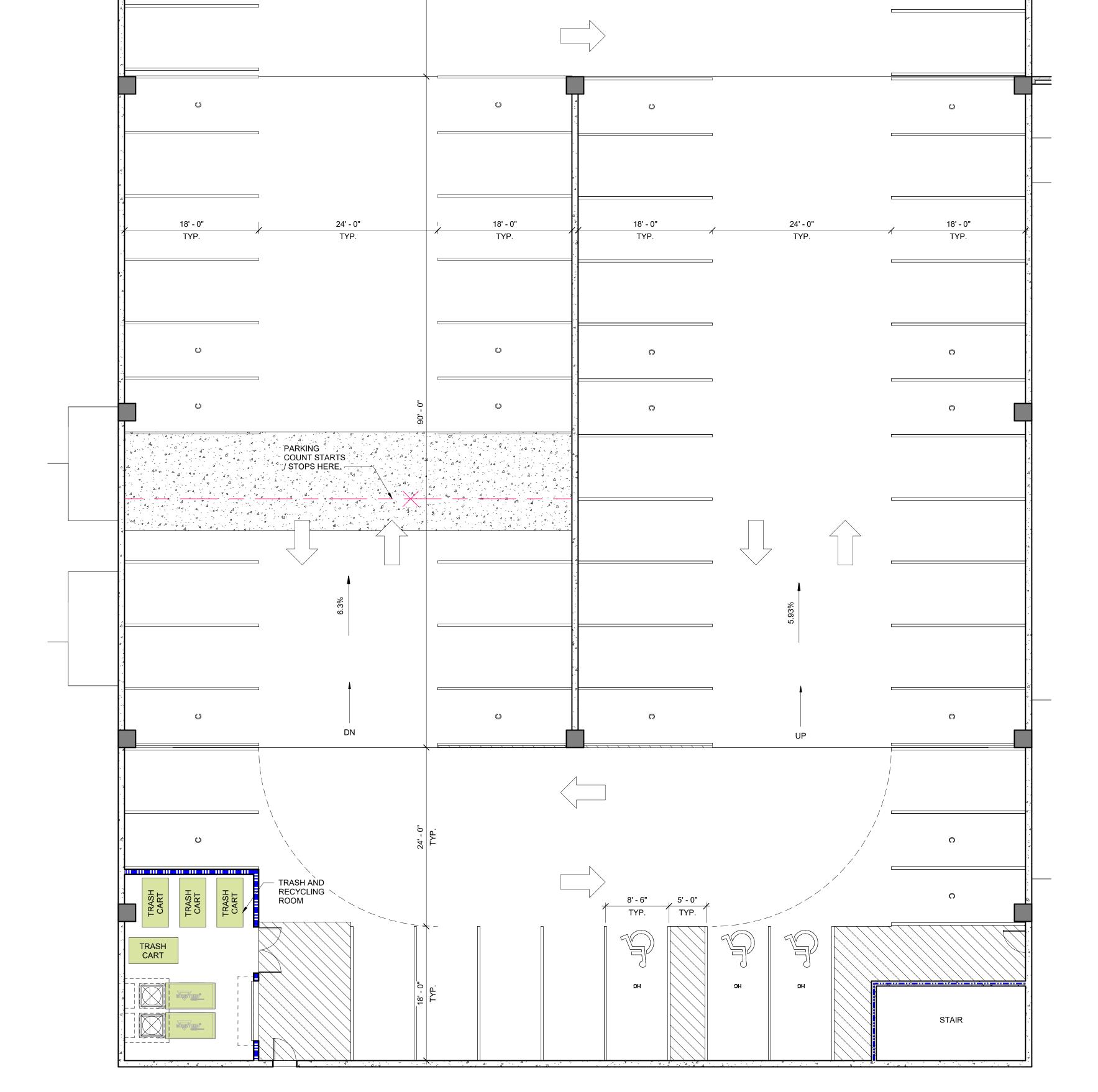
DRAWN BY: JD, CC
CHECKED BY: LK

PARKING PLAN ENTRY

41.1

DATE:
REVISIONS: 10.27.2023 DATE

DRAWN BY: JD, CC CHECKED BY: LK PARKING PLAN FIRST-FOURTH FLOOR



STAIR

PROJECT:
DATE:
REVISIONS:

023044 10.27.2023 DATE

DRAWN BY: JD, CC
CHECKED BY: LK PARKING PLAN - FIFTH
FLOOR

05 PARKING PLAN - FIFTH FLOOR
1/8" = 1'-0"

18' - 0" TYP.

0

STAIR

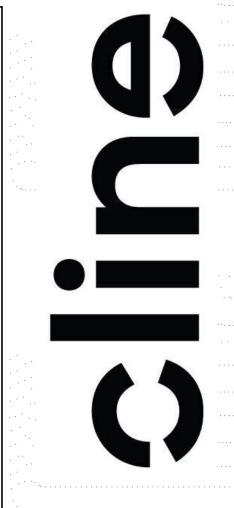
STAIR

18' - 0" TYP.

PARKING COUNT STARTS / STOPS HERE —

TRASH AND
RECYCLING
ACCESS
FROM
RESIDENTIAL
CORRIDOR

A1.3



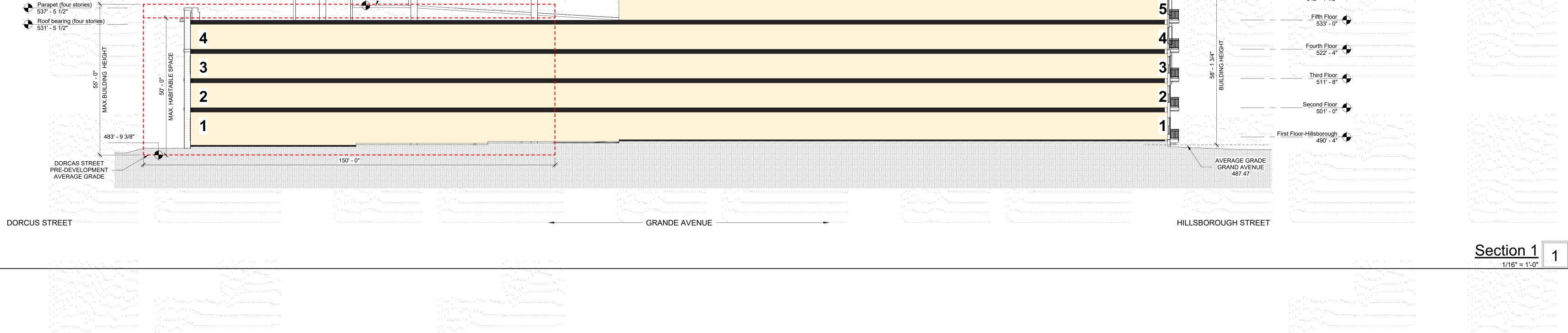
NOT FOR CONSTRUCTION

PROJECT: 10.27.2023 DATE REVISIONS:

DRAWN BY: MC, KW, SM CHECKED BY: LK SECTION AND ELEVATIONS

A1.5







TOP PARKING LEVEL

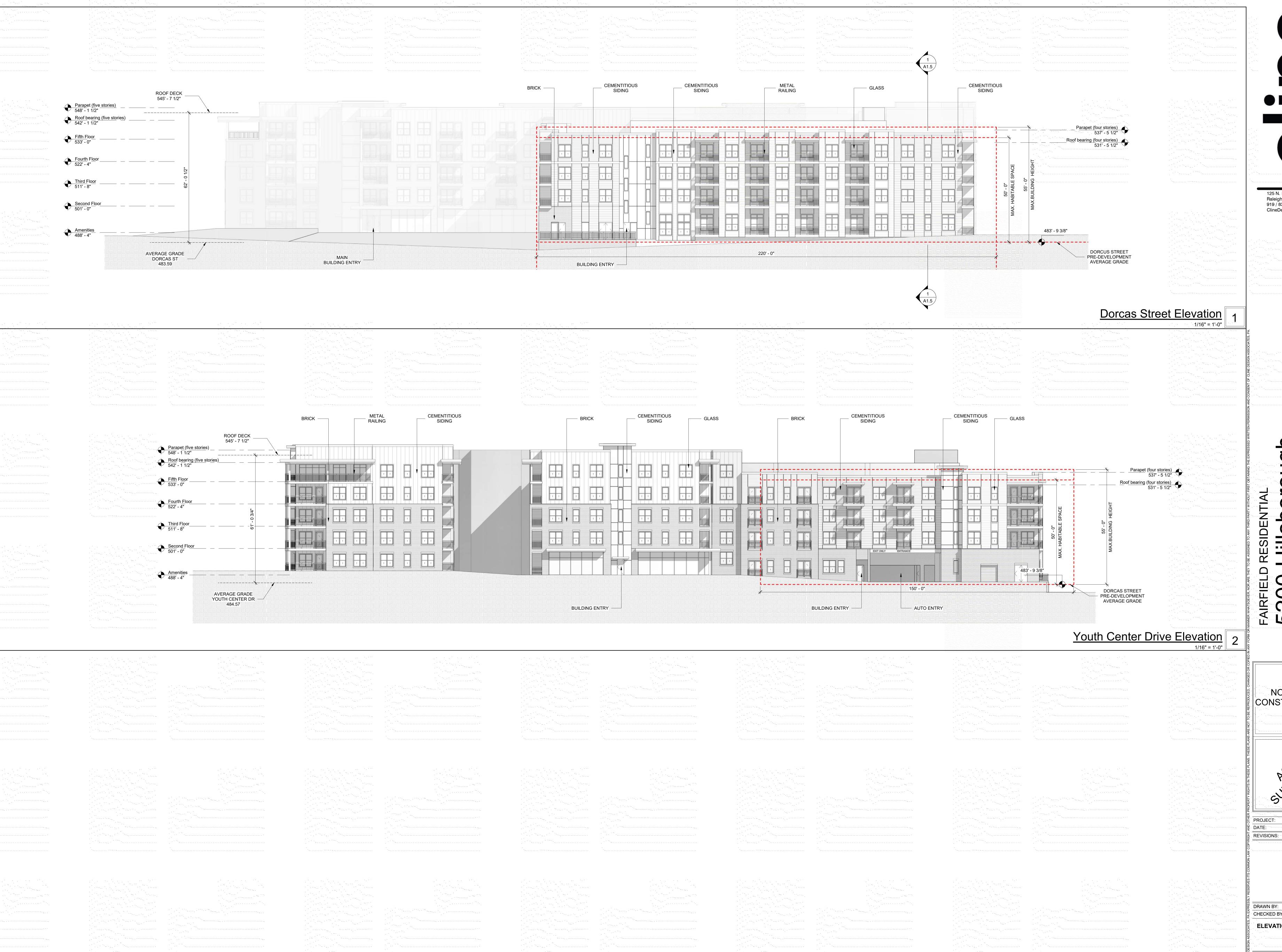
Grand Avenue Elevation

1/16" = 1'-0"

2

ROOF DECK 545' - 7 1/2"





NOT FOR
CONSTRUCTION

SIBNITAL

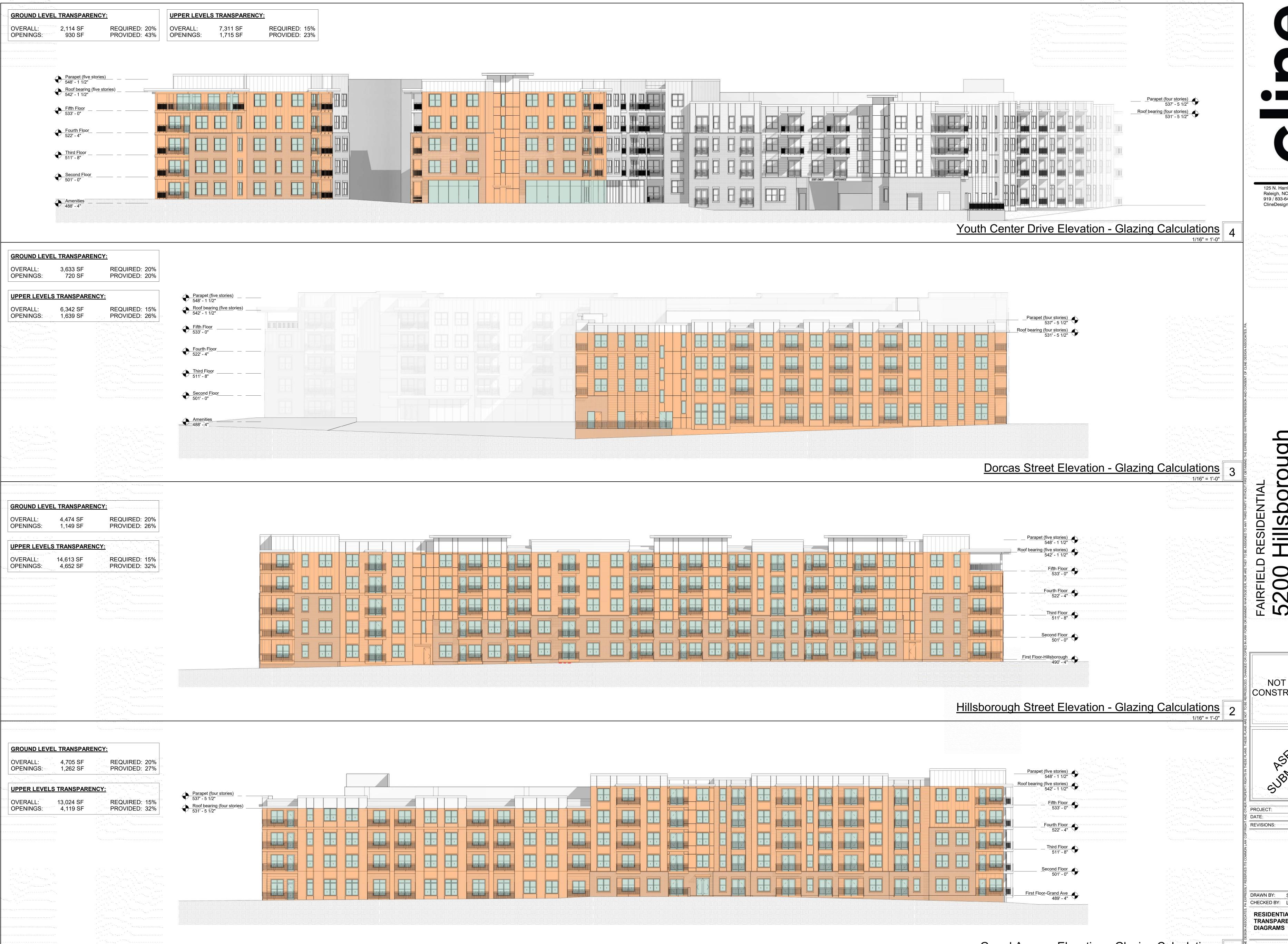
PROJECT: **023044**DATE: 10.27.2023

REVISIONS: DATE

DRAWN BY: MC, KW, SM
CHECKED BY: LK

ELEVATIONS

416



NOT FOR CONSTRUCTION

10.27.2023 DATE

RESIDENTIAL TRANSPARENCY

Grand Avenue Elevation - Glazing Calculations

A1.7