



Administrative Approval Action

Case File / Name: ASR-0072-2023
DSLCL - 5200 Hillsborough

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 2.94 acre site consisting of eight lots, zoned NX-5-UL CU (Z-34-22) is located on the northwest corner of the intersection of Hillsborough Street and Youth Center Drive at 5200 Hillsborough Street.
- REQUEST:** Construction of a five story residential apartment building with structured parking. The building will contain 267 apartments and will be 425,623 square feet in size.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 15, 2024 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Public Utilities

2. The RP back flow device and installation shall meet the guidelines of Appendix A – Guidelines and Requirements for the Cross Connection Program in Raleigh’s Service Area. The device shall meet American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list and must be tested periodically after installation in accordance with the manufacturer’s recommendations or the local cross-connection control program, whichever is more stringent.
3. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

7. A tree impact permit must be obtained for the installation of tree protection fence around existing street trees to remain in place and undisturbed along Dorcas Street, the removal of 8 existing street trees in the existing right-of-way along Dorcas Street, and the removal of 1 existing street tree in the existing right-of-way along Grand Avenue.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

5. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the existing lots into a single tract.
2. Comply with all conditions of Z-34-22

Engineering

3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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Public Utilities

4. Infrastructure Construction Drawings must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

6. A public infrastructure surety for 45 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion, 29 street trees, and 125% of the improvement cost for the City of Raleigh infrastructure, 16 street trees.
7. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 19 street trees along Hillsborough Street, 10 street trees along Youth Center Drive, 6 street trees along Dorcas Street, and 10 street trees along Grand Avenue for a total of 45 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
2. Final inspection of all right-of-way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: April 24, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified



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time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ *Michael Walters* _____ Date: 04/24/2024
Development Services Dir/Designee
Staff Coordinator: Michael Walters

5200 HILLSBOROUGH STREET

5200 HILLSBOROUGH STREET

RALEIGH, NC, 27606

ADMINISTRATIVE SITE REVIEW

PROJECT NUMBER: FFD-23001

CASE NUMBER: ASR-0072-2023

DATE: OCTOBER 27, 2023

REVISED: JANUARY 25, 2024

REVISED: MARCH 15, 2024

Administrative Site Review Application

This form is required when submitting site plan applications for a proposed or existing development in UDO Section 1.5.7.D. It must be submitted with the site plan and all other required information. It is not to be used for a final site plan application.

Site Plan Type: Residential Commercial Other

Project Name: (Please enter UDO Section 1.5.7.D to describe the site plan. See "How to use this form" for more information.)

Site Plan No.: (Please enter UDO Section 1.5.7.D to describe the site plan. See "How to use this form" for more information.)

Building and Development	Site Plan No.	Site Transaction History
<input type="checkbox"/> Demolition	<input type="checkbox"/> New	<input type="checkbox"/> Substitution
<input type="checkbox"/> Addition	<input type="checkbox"/> Renovation	<input type="checkbox"/> Change of Use
<input type="checkbox"/> Expansion	<input type="checkbox"/> Change of Ownership	<input type="checkbox"/> Change of Address
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Change of Name	<input type="checkbox"/> Change of Address
<input type="checkbox"/> Other	<input type="checkbox"/> Other	<input type="checkbox"/> Other

Development Name: 5200 Hillsborough

Address: 5200 Hillsborough Street, Raleigh, NC 27606

Project Information: New Existing

Site Plan No.: 5200 Hillsborough Street, Raleigh, NC 27606

Project Description: New Existing

Contributor of a 5-story apartment building with structured parking

Current Property Owner(s): See attached for owner information

Address: 5200 Hillsborough Street, Raleigh, NC 27606

Applicant Name (if different from owner): See "How to use this form" for more information

Applicant Address: 5200 Hillsborough Street, Raleigh, NC 27606

Company: FRH Realty LLC, Address: 3330 Cumberland Boulevard Suite 375, Atlanta, GA 30339

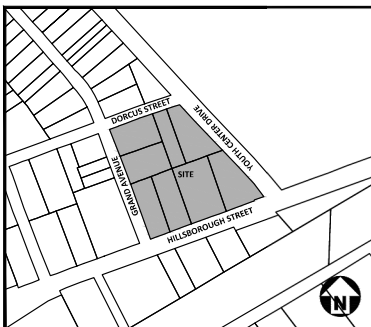
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2. Z-34-22 - 5200, 5204, 5210, and 5212 Hillsborough Street; 5203 and 5205 Dorcas Street; 108 and 114 Grand Avenue, being Wake County PINs 784439213, 784438203, 784437117, and 784436145, 784437389 and 784437326, and 784436229 and 784435799. Approximately 1.05 acres zoned to Neighborhood Mixed Use - Five Stories/Urban Limited-Conditional Use (NX-5-UL-CU).

Conditions dated: November 23, 2022

- The following Principal Uses as listed in UDO Section 6.1.4, that are permitted, limited, or special uses in the NX-district shall be prohibited: (i) Outdoor sports and entertainment facility (C-250 sports); (ii) Shopping Center; (iii) Vehicle Fuel Sales; (iv) Vehicle Sales/Rental; (v) Detention center, jail, prison; (vi) Vehicle repair (minor)
- Nonresidential uses shall be only permitted within 120' of the Hillsborough Street right-of-way.
- Nonresidential uses, cumulative, shall not exceed 60,000 square feet. Of the maximum allowable 60,000 square feet of nonresidential uses, the Retail Sales, Indoor Recreation, Personal Service, and Restaurant/Bar uses shall not exceed 25,000 square feet.
- Drive-thru or drive-in facilities shall be prohibited.
- From the northeast point of Lot 69 as shown in Book of Maps 1920, Page 243, Wake County Registry, and extending 150' along Grand Avenue and extending 220' along Dorcas Street, prior to any required right-of-way dedication along either Grand Avenue or Dorcas Street, building height shall not exceed fifty-five feet (55') as measured from average pre-development grade along the Dorcas Street right-of-way boundary for that 220' to which this Condition applies, as shown on the attached Exhibit A. Within this area, habitable space shall not exceed fifty feet (50') in height. This Condition shall not act as a prohibition on allowable height encroachments as further defined and regulated in UDO Section 1.5.7.D.
- For that property not subject to Condition 5 herein, building height shall not exceed seventy feet (70') in height. This Condition shall not act as a prohibition on allowable height encroachments as further defined and regulated in UDO Section 1.5.7.D.
- Permitted building siding materials shall be limited to any combination of brick, stone, concrete masonry, cementitious siding, wood, metal, terracotta and glass.
- Developer shall provide vehicular ingress and egress along the Youth Center Drive right-of-way, subject to NCDOT and City of Raleigh approval. If Developer is permitted to construct a driveway along the Youth Center Drive right-of-way, then vehicular access to Dorcas Street and Grand Avenue shall be prohibited, unless otherwise required by NCDOT or the City of Raleigh.
- The peak stormwater runoff leaving any site for the one-year, two-year, ten-year and twenty-five-year 24-hour storms shall be no greater at every point of discharge for post-development conditions than pre-development conditions.

- NO PROHIBITED USES ARE PROPOSED.
- NO NON-RESIDENTIAL USES ARE PROPOSED.
- NO NON-RESIDENTIAL USES ARE PROPOSED.
- THERE ARE NO PROHIBITIVE REGULATIONS PROPOSED.
- BUILDING HEIGHTS DO NOT EXCEED ALLOWABLE HEIGHTS.
- BUILDING HEIGHTS DO NOT EXCEED 70 FEET.
- THERE ARE NO PROHIBITIVE MATERIALS.
- DEVELOPER IS PROVIDING VEHICULAR INGRESS AND EGRESS ALONG YOUTH CENTER DRIVE ROW, WHICH WILL PROVIDE ACCESS TO GRAND AVE ON DORCAS STREET.
- THE POST-DEVELOPMENT PEAK STORMWATER RUNOFF FROM THE SITE IS NOT GREATER AT ANY POINT OF DISCHARGE THAN THE PRE-DEVELOPMENT CONDITIONS FOR THE ONE-YEAR, TWO-YEAR, TEN-YEAR, AND TWENTY-FIVE-YEAR 24-HOUR STORMS.



VICINITY MAP

1"=200'

SITE DATA:	
SITE ADDRESS:	5200, 5204-5210, 5212 HILLSBOROUGH STREET RALEIGH, NC 27606
PN (A-DISTRICT ACREAGE):	784, 114 GRAND AVENUE, RALEIGH, NC 27606 5205, 5203 DORCAS STREET RALEIGH, NC 27606
TOTAL AREA:	0784439213 (66 AC), 0784438203 (28 AC), 0784437117 (35 AC), 0784436145 (33 AC), 0784437389 (40 AC), 0784437326 (23 AC), 0784435799 (35 AC), 0784436229 (35 AC)
TOTAL PG. AREA:	12,750 SF (2.88 AC)
PROPOSED AREA (EXCLUDING ROW DEDICATION):	113,609 SF (2.61 AC)
ZONING:	NX-5-UL-CU-NEIGHBORHOOD MIXED USE (E-34-22)
EXISTING USE:	SINGLE UNIT LIVING, TWO UNIT LIVING, MAINT SALES/ OFFICE
PROPOSED USE:	MULTI-FAMILY LIVING (56, 73 GSF) WITH STRUCTURED PARKING (208,917 GSF)
RIVER BASIN:	NEUSE
WATERBOD:	CALLETREE CREEK
REGULATORY/PERMITS:	3720074600
REGULATORY/PERMITS:	PRELIMINARY APPROVALS
TOTAL EXISTING LOTS:	8
TOTAL PROPOSED LOTS:	8
IMPERVIOUS SURFACE:	EXISTING IMPERVIOUS SURFACE TO REMAIN: 43,071 SF / .95 AC PROPOSED IMPERVIOUS SURFACE TO BE ADDED: 86,500 SF / 2.00 AC
VEHICULAR PARKING SUMMARY:	REQUIRED PARKING (MAXIMUM): 118 UDS PER 1,111 SF OF 253,500 SQ FT OR 103 UNITS * 1.5 SF/UNIT = 205 SPACES 74.2 OR = 114 UNITS * 2.25 SF/UNIT = 167 SPACES TOTAL MAXIMUM ALLOWED = 457 SPACES PROVIDED PARKING: 353,700 SQ FT ADA + 3 ADA VAN + 114 COMPACT = 382 TOTAL SPACES PROVIDED (STRUCTURED PARKING)
ACCESSIBLE PARKING SUMMARY:	REQUIRED ADA PARKING: 17 SPACES (10% OF TOTAL VEHICULAR PARKING) PROVIDED PARKING: 17 STANDARD + 3 VAN = 17 TOTAL ADA SPACES PROVIDED
BIKE PARKING SUMMARY:	REQUIRED BIKE PARKING: 14 SPACES SHORT TERM: 207 UNITS @ 1.50/UNIT = 14 SPACES LONG TERM: 343 BEDS @ 1.50/7 BEDS = 49 SPACES PROVIDED BIKE PARKING: 14 SPACES SHORT TERM = 15 SPACES (LOCATED IN DECK. SEE SHEET A3.1) LONG TERM = 30 SPACES (SEE SHEET A3.1)
OUTDOOR AMENITY AREA:	10% OF SITE AREA = 12,750 SF * 10% = 1,275 SF REQUIRED 15,987 SF AMENITY AREA PROVIDED SEE SHEET L3.00 FOR URBAN PLAZA CALCULATIONS
BUILD TO REQUIREMENTS:	PER UDO SECTION 1.5.4.C, THE PRIMARY STREETS SHALL BE YOUTH CENTER DRIVE AND HILLSBOROUGH STREET
PROPOSED BUILD-TO:	PRIMARY STREET BUILD-TO (MIN/MAX): 0/20' BLDG. WITHIN PRIMARY BUILD-TO (MIN): 50% SIDE STREET BUILD-TO (MIN/MAX): 0/20' BLDG. WITHIN SIDE BUILD-TO (MIN): 25%
BUILDING/STRUCTURE SETBACKS:	REQUIRED FOR YOUTH CENTER: 100' LF OF 388.2 LF OF FRONTAGE (50% OF 207) PROVIDED FOR YOUTH CENTER: 22.1' (1.82' AS BUILDING AND 38.9' AS OUTDOOR AMENITY AREA) OR 34.26' * REQUIRED FOR HILLSBOROUGH: 100' LF OF 380 LF OF FRONTAGE (50% OF 207) PROVIDED FOR HILLSBOROUGH: 30.8' (1.66 IN.) REQUIRED FOR GRAND: 50.6 LF OF 370.5 LF OF FRONTAGE (25% OF 207) PROVIDED FOR GRAND: 20.8' (1.04 IN.) REQUIRED FOR DORCAS: 50.4 LF OF 218 LF OF FRONTAGE (25% OF 207) PROVIDED FOR DORCAS: 20.8' (1.04 IN.) * FRONTAGE PERCENTAGE CAN BE MET BY 30% OF OUTDOOR AMENITY AREA. THIS WILL BE UTILIZED FROM YOUTH CENTER FRONTAGE - 398.2 X 50% = 199.1' REQUIRED W/ 200.0' AS 100% AS 100% = 66.7' AS 100% AND MIN. 1.84' AS BUILDING/UDO SEC. 1.5.6-C.4)
PARKING SETBACKS:	FROM PRIMARY STREET (MIN): 0' PER UDO SEC. 3.4.7 FROM SIDE STREET (MIN): 0' PER UDO SEC. 3.4.7 FROM SIDE OF LINE (MIN): 0' OR 6' FROM REAR LOT LINE (MIN): 0' OR 6' FROM ALLEY: 20' OR 20' MIN

SHEET INDEX

C0.00	PROJECT NOTES
1-1	EXISTING CONDITIONS / ALTA
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	SITE DISTANCE PLAN
C2.02	SOLID WASTE MANAGEMENT PLAN
C3.00	GRADING PLAN
C4.00	UTILITY PLAN
C4.01	FIRE ACCESS
C8.00	SITE DETAILS
C8.01	WATER DETAILS
C8.02	STORM DRAINAGE DETAILS
C8.03	SANITARY SEWER DETAILS
C9.00	SCM DETAILS
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE NOTES AND DETAILS
L5.02	TREE CONSERVATION AREA EXHIBIT
L6.00	LIGHTING PLAN

ARCHITECTURAL SHEETS

A1.1	PARKING PLAN - ENTRY
A1.2	PARKING PLAN - FIRST - FOURTH FLOOR
A1.3	PARKING PLAN - FIFTH FLOOR
A1.4	GROUND LEVEL
A1.5	HILLSBOROUGH AND GRAND ELEVATIONS
A1.6	DORCAS AND YOUTH CENTER ELEVATIONS



McADAMS
The John R. McAdams Company, Inc.
621 Hillsborough Street
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Raleigh, NC 27603
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fax 919.361.2269
license number: C-0293, C-187
www.mcadamsco.com

CONTACT

DAVID BOYETTE
boyette@mcadamsco.com
PHONE: 919.823.4300

CLIENT

FRH REALTY LLC
3330 CUMBERLAND BLVD, SUITE 375
ATLANTA, GEORGIA 30339
CONTACT: MICHAEL GRIBBLE
PHONE: 404.442.3851

PROJECT DIRECTORY

FRH REALTY LLC
3330 CUMBERLAND BLVD, SUITE 375
ATLANTA, GEORGIA 30339
CONTACT: MICHAEL GRIBBLE
PHONE: 404.442.3851

REVISIONS

NO.	DATE	DESCRIPTION
1	01.18.2024	REVISED PER COR 1ST REVIEW COMMENTS
2	01.15.2024	REVISED PER COR 2ND REVIEW COMMENTS

ADMINISTRATIVE SITE REVIEW FOR:

5200 HILLSBOROUGH STREET
RALEIGH, NC, 27606
PROJECT NUMBER: FFD-23001

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street
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CLIENT

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**5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606**



REVISIONS

NO.	DATE	REVISION
1	05.29.2024	REVISED PER OUR 1ST REVIEW COMMENTS
2	03.15.2024	REVISED PER OUR 2ND REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO. FRD-23001
FILENAME FRD23001-ASR-DM1
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=30'
DATE 10.27.2023

SHEET

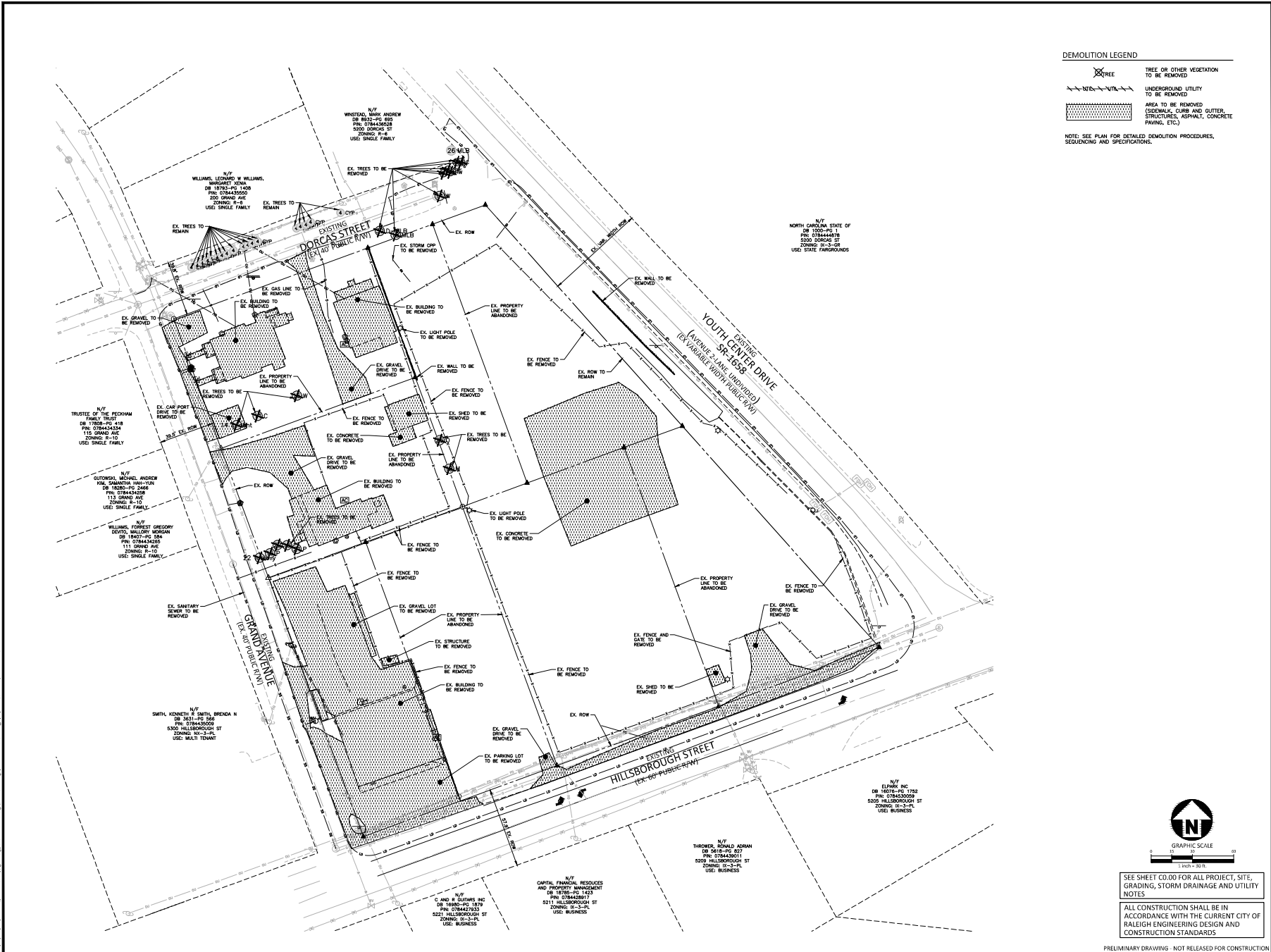
DEMOLITION PLAN

C1.01

DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



GRAPHIC SCALE
1" = 30'

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McAdams

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CLIENT

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ATLANTA, GEORGIA 30339
CONTACT: MICHAEL GRIBBLE
PHONE: 404.442.3851

5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606



REVISIONS

NO	DATE	DESCRIPTION
1	05.25.2024	REVISED FOR COR 1ST REVIEW COMMENTS
2	05.15.2024	REVISED FOR COR 2ND REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=30'
DATE 10.27.2023

SHEET

SITE PLAN

C2.00

SITE LEGEND

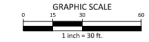
- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- AMENITY AREA

OUTDOOR AMENITY AREA CALCULATIONS:

10% OF SITE AREA = 10% X 113,669 SF = 11,367 SF REQUIRED

11,987 SF AMENITY AREA PROVIDED

*11,424 SF (96% OF) OF AMENITY AREAS ARE ACCESSIBLE TO THE PEDESTRIANS DESCRIBED IN UDD SEC. 15.2.3.A.1 AND ARE ALSO ADA ACCESSIBLE.



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



MATCH LINE - SEE SDT INSET

N/T
WINSTEAD, MARY ANDREW
DB 811-110-885
PIN: 078443823
5200 DORCAS ST
ZONING: R-2
USE: SINGLE FAMILY

N/T
WILLIAMS, LEONARD W WILLIAMS
MARGARET JENNA
DB 183-2-100-7488
PIN: 078443058
700 DORCAS AVE
ZONING: R-2
USE: SINGLE FAMILY

N/T
TRUSTEE OF THE REEDMAN
FAMILY TRUST
DB 178-2-100-2560
PIN: 078443454
115 DORCAS AVE
ZONING: R-10
USE: SINGLE FAMILY

N/T
GUTWISKI, MICHAEL ANDREW
MRS. SAMANTHA ANN-TEN
DB 182-2-100-2560
PIN: 078443428
113 DORCAS AVE
ZONING: R-10
USE: SINGLE FAMILY

N/T
WILLIAMS, FOREST GREGORY
DEIRDRE MALLORY MORGAN
DB 184-2-100-308
PIN: 078443485
113 DORCAS AVE
ZONING: R-10
USE: SINGLE FAMILY

N/T
SMITH, KENNETH R SMITH, BRENDA N
DB 3631-100-266
PIN: 078443009
5200 HILLSBOROUGH ST
ZONING: M-3-PL
USE: MULTI TENANT

MARKINGS SHOWN FOR
SPACE COUNT ONLY - NOT
TO BE MARKED

N/T
CAPITAL FINANCIAL RESOURCES
AND PROPERTY MANAGEMENT
DB 187-2-100-1423
PIN: 078443017
5211 HILLSBOROUGH ST
ZONING: M-3-PL
USE: BUSINESS

N/T
C AND R OUTARS INC
DB 188-2-100-1879
PIN: 078443253
5221 HILLSBOROUGH ST
ZONING: M-3-PL
USE: BUSINESS

N/T
THROWER, RONALD ADRIAN
DB 3418-100-823
PIN: 078443911
5200 HILLSBOROUGH ST
ZONING: M-3-PL
USE: BUSINESS

N/T
ELIASH, INC
DB 178-2-100-1752
PIN: 078443099
5200 HILLSBOROUGH ST
ZONING: M-3-PL
USE: BUSINESS

N/T
NORTH CAROLINA STATE OF
DB 100-100-11
PIN: 0784444878
5200 DORCAS ST
ZONING: M-3-PL
USE: STATE PARKLANDS



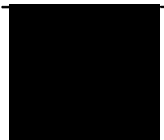
McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919.361.5000
fax 919.361.2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT

FRM REALTY LLC
3330 CUMBERLAND BLVD, SUITE 375
ATLANTA, GEORGIA 30339
CONTACT: MICHAEL GRIBBLE
PHONE: 404.442.3851

**5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC. 27606**



REVISIONS

NO.	DATE	REVISION
1	05.29.2024	REVISED PER COR 155 REVIEW COMMENTS
2	03.15.2024	REVISED PER COR 250 REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO. FRD-23001
FILENAME FRD23001-ASR-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=50'
DATE 10.27.2023

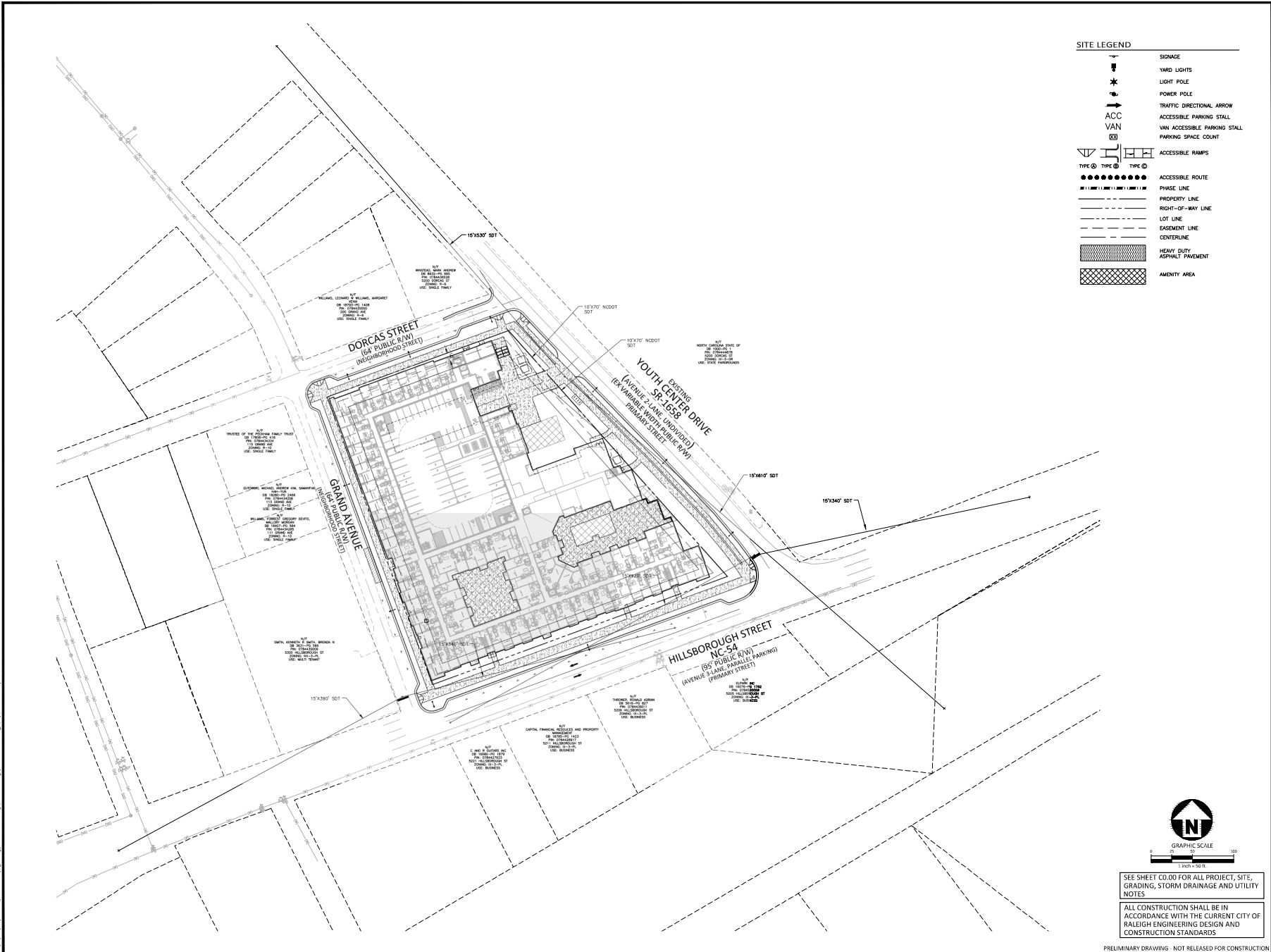
SHEET

SITE DISTANCE PLAN

C2.01

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	AMENITY AREA



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC, 27606**



REVISIONS

NO.	DATE	REVISION
1	05.29.2024	REVISED PER COR 157 REVIEW COMMENTS
2	03.15.2024	REVISED PER COR 250 REVIEW COMMENTS

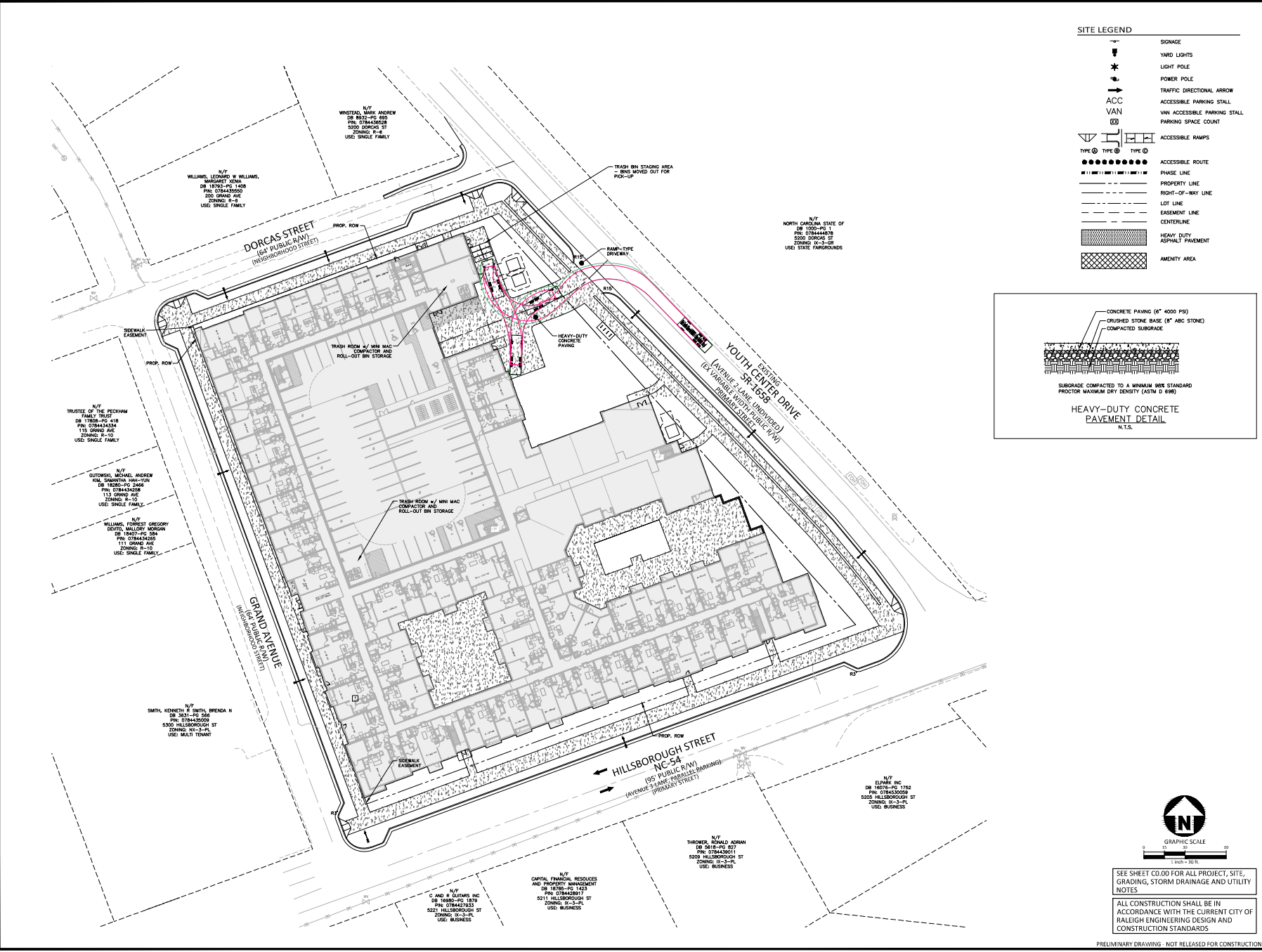
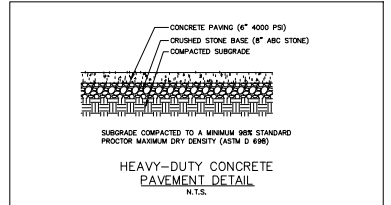
PLAN INFORMATION

PROJECT NO.	FFD-23001
FILENAME	FFD23001-ASR-S1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1"=30'
DATE	10.27.2023

SHEET
**SOLID WASTE
MANAGEMENT PLAN
C2.02**

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	AMENITY AREA

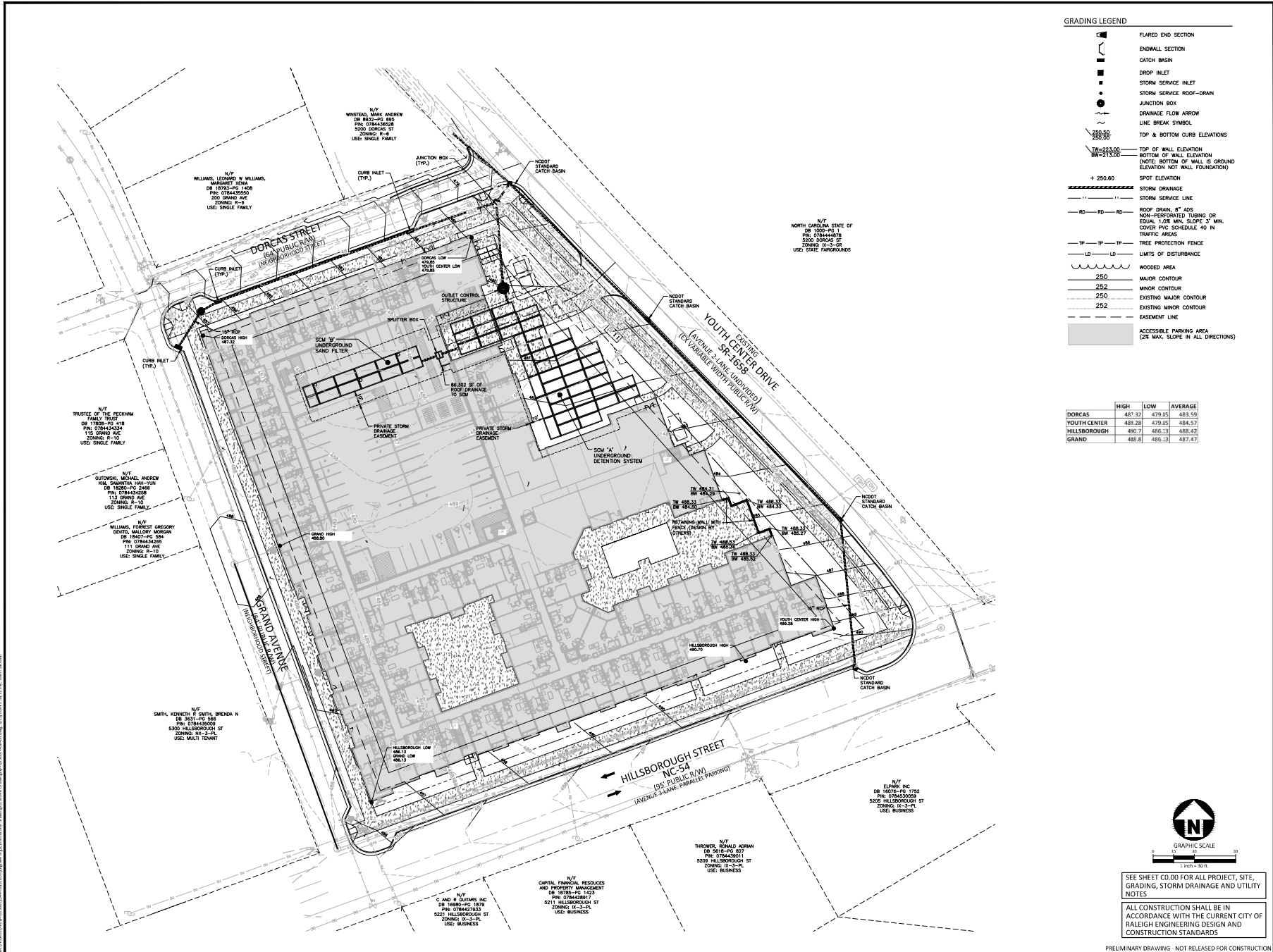


SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- JUNCTION BOX
- STORM SERVICE ROOF-DRAIN
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- SPOT ELEVATION
- STORM DRAINAGE
- ROOF DRAIN, 8" AND NON-PERFORATED TUBING OR EQUAL, 1.0% MIN. SLOPE, 3" MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

	HIGH	LOW	AVERAGE
DORCAS	487.32	479.85	488.59
YOUTH CENTER	489.26	479.85	484.57
HILLSBOROUGH	490.7	486.13	488.42
GRAND	488.8	486.13	487.47

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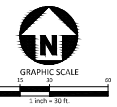
CLIENT
FRM REALTY LLC
3330 CUMBERLAND BLVD, SUITE 375
ATLANTA, GEORGIA 30339
CONTACT: MICHAEL GRIBBLE
PHONE: 404.442.3851

**5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606**

REVISIONS

NO.	DATE	REVISION
1	05.29.2024	REVISED PER COR 137 REVISION COMMENTS
2	03.15.2024	REVISED PER COR 250 REVISION COMMENTS

PLAN INFORMATION
PROJECT NO.: FRD-23001
FILENAME: FRD23001-ASR-G1
CHECKED BY: DB
DRAWN BY: JJ
SCALE: 1"=30'
DATE: 10.27.2023



SEE SHEET C0-00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**GRADING PLAN
C3.00**



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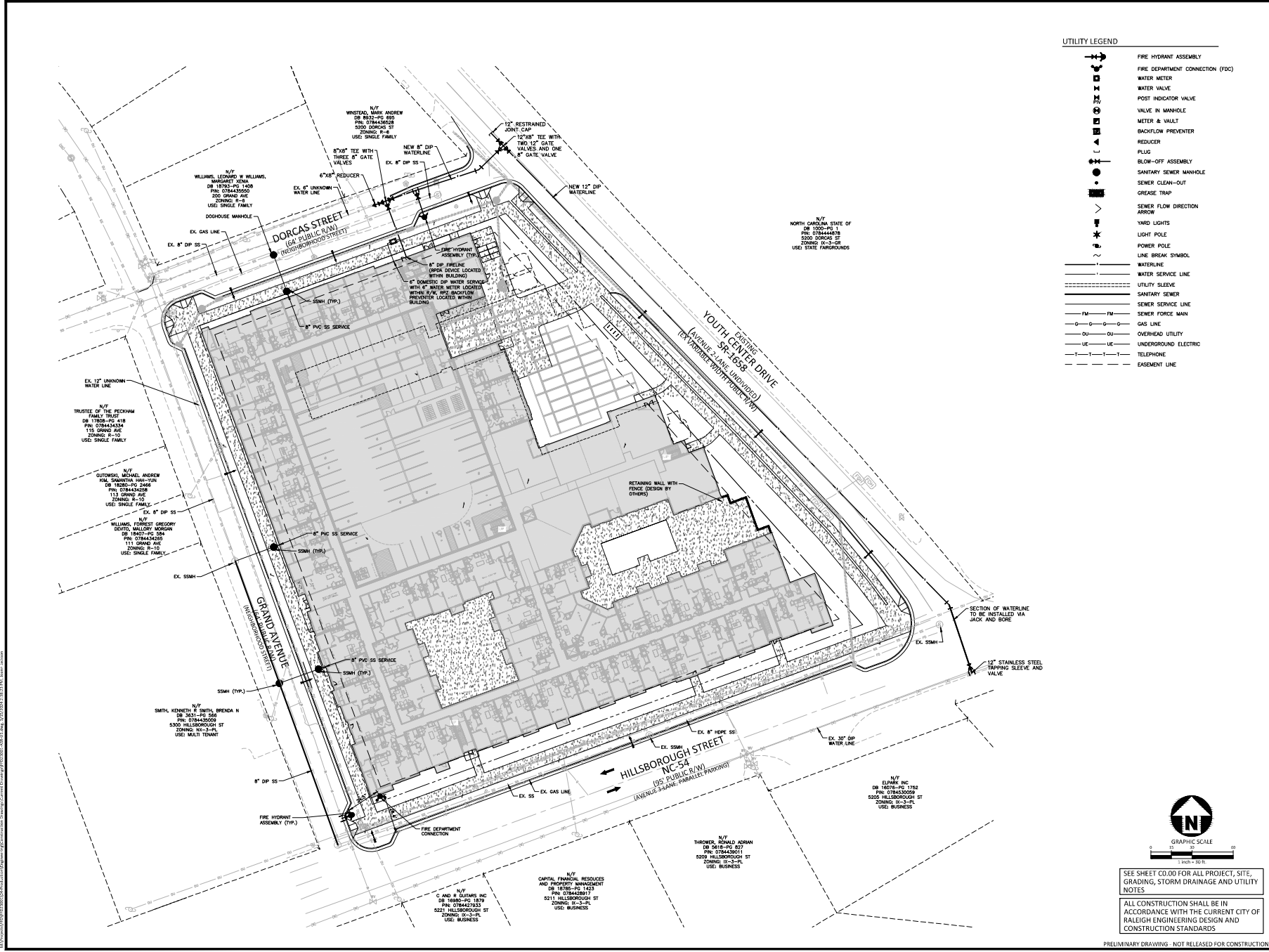
CLIENT

FRM REALTY LLC
3330 CUMBERLAND BLVD, SUITE 375
ATLANTA, GEORGIA 30339
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PHONE: 404.442.3851

**5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606**

UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



REVISIONS

- 01. 01.2024
- 01. 05. 2024 REVISION FOR COR 157 REVISION COMMENTS
- 03. 15. 2024 REVISION FOR COR 2502 REVISION COMMENTS

PLAN INFORMATION

PROJECT NO. FRD-23001
FILENAME FRD23001-ASR-01
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=30'
DATE 10.27.2023

SHEET

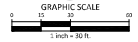
UTILITY PLAN

C4.00

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606

REVISIONS

NO.	DATE	REVISION
1	03.29.2024	REVISED PER OUR 1ST REVIEW COMMENTS
2	03.15.2024	REVISED PER OUR 2ND REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO.	FFD-23001
FILENAME	FFD23001-ASR-U1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1"=30'
DATE	10.27.2023

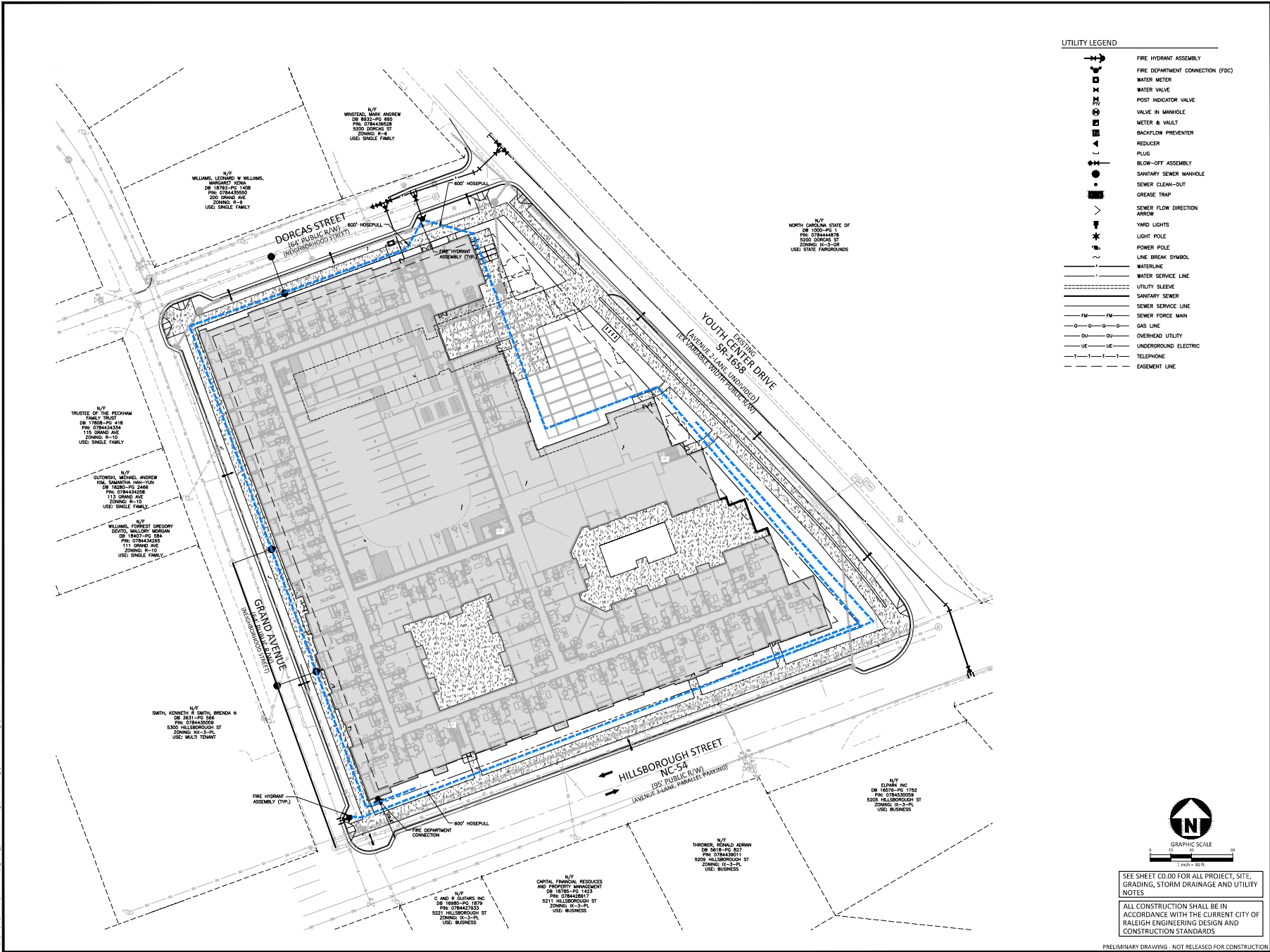
SHEET

FIRE ACCESS

C4.01

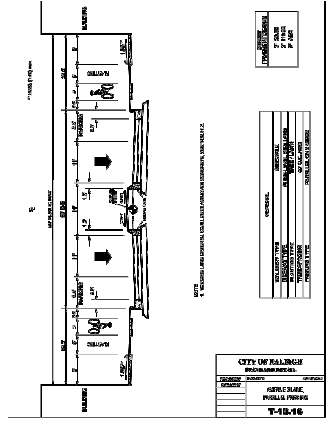
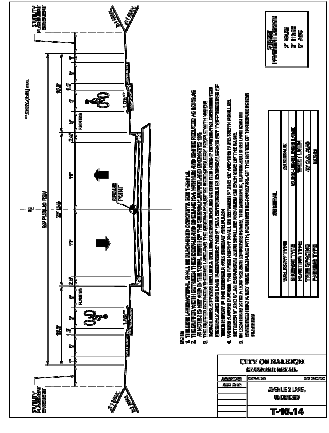
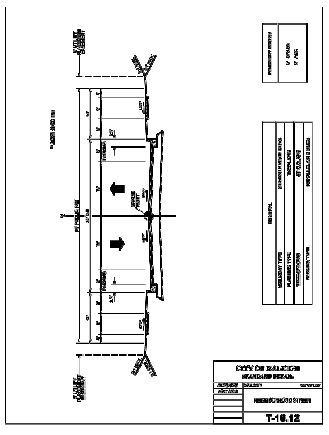
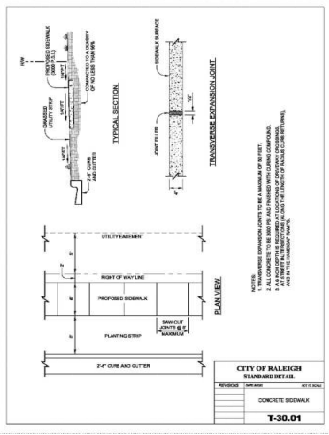
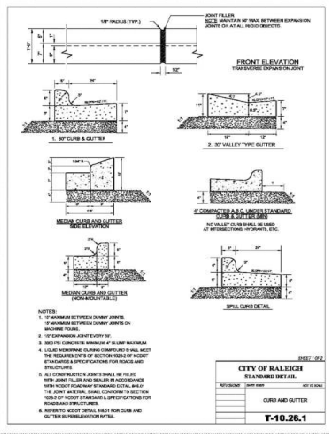
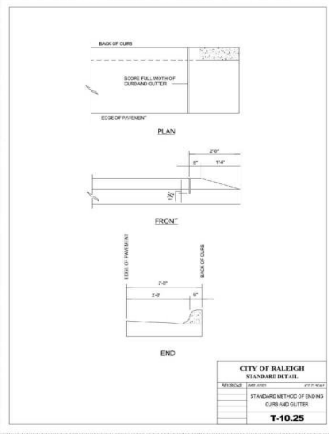
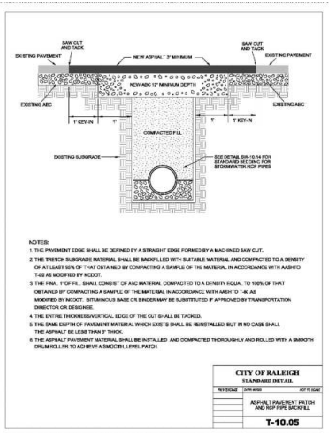
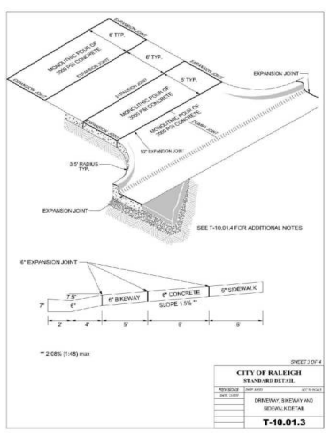
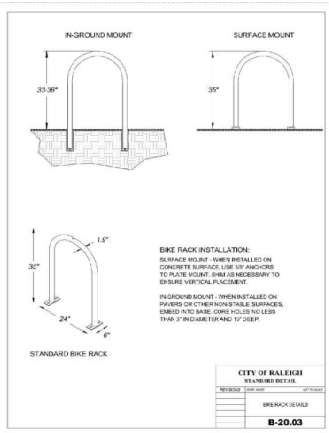
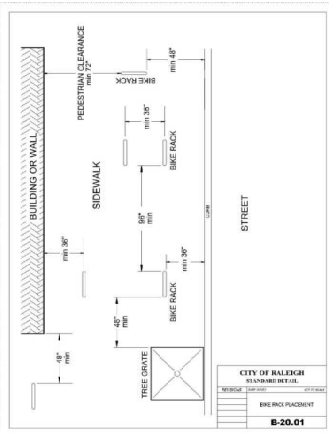
UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE



CLIENT
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PHONE: 404.442.3851

**5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC, 27606**



REVISIONS

NO.	DATE	REVISION
1	05.29.2024	REVISED PER COR 157 REVISION COMMENTS
2	03.15.2024	REVISED PER COR 2502 REVISION COMMENTS

PLAN INFORMATION

PROJECT NO.	FFD-23001
FILENAME	FFD23001-ASR-D1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	
DATE	10.27.2023

SHEET

SITE DETAILS
C8.00



McADAMS

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5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606

REVISIONS

NO.	DATE	REVISION
1	03.29.2024	REVISED PER OUR 157 REVISION COMMENTS
2	03.13.2024	REVISED PER OUR 250 REVISION COMMENTS

PLAN INFORMATION

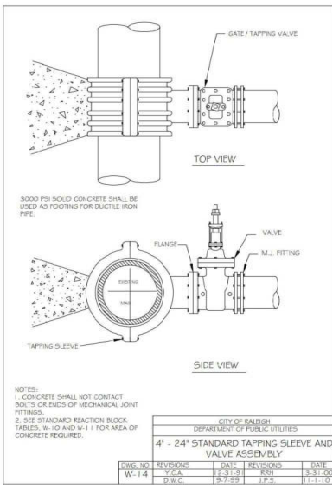
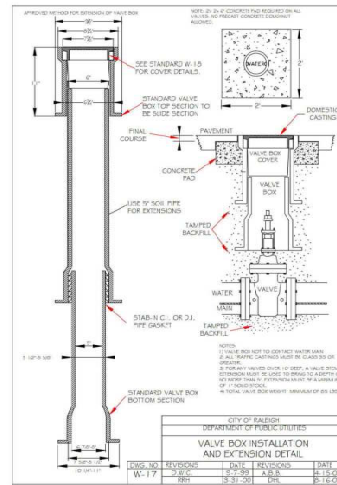
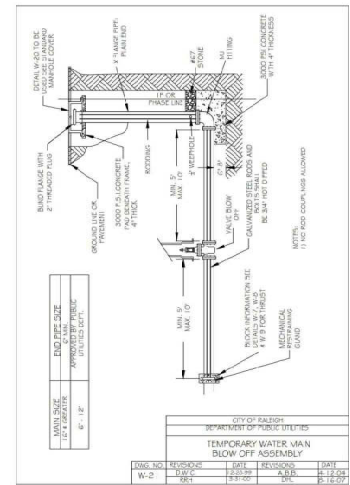
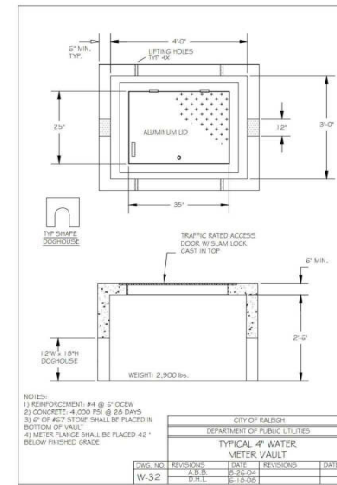
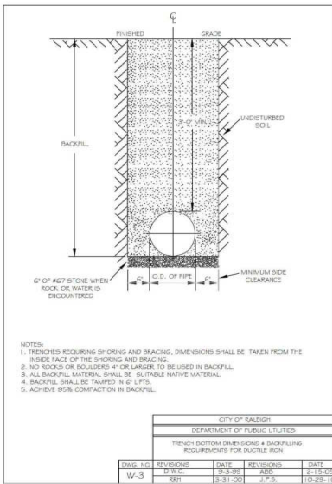
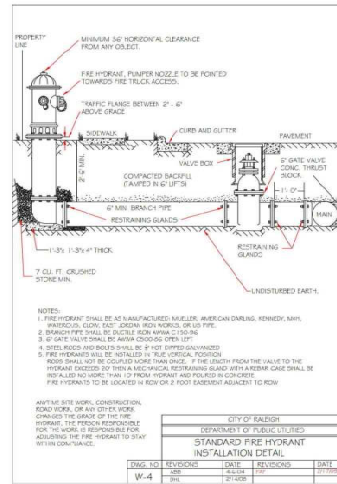
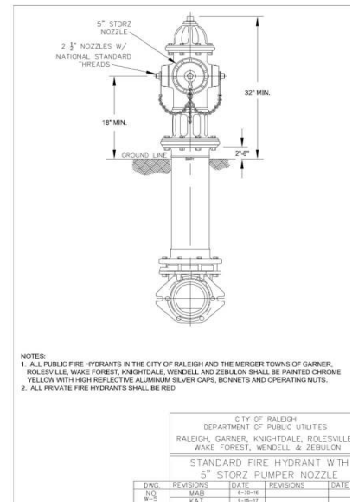
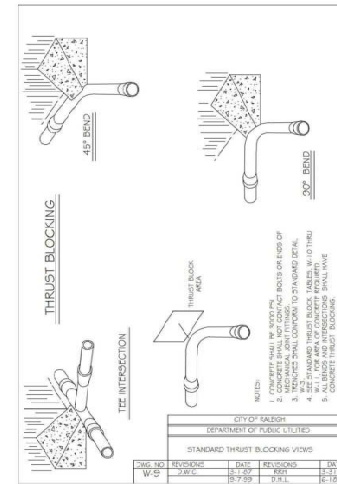
PROJECT NO. FRD-23001
FILENAME FFD23001-ASR-D1
CHECKED BY DB
DRAWN BY JJ
SCALE
DATE 10.27.2023

SHEET

WATER DETAILS

C8.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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McAdams

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CLIENT

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ATLANTA, GEORGIA 30339
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5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606

REVISIONS

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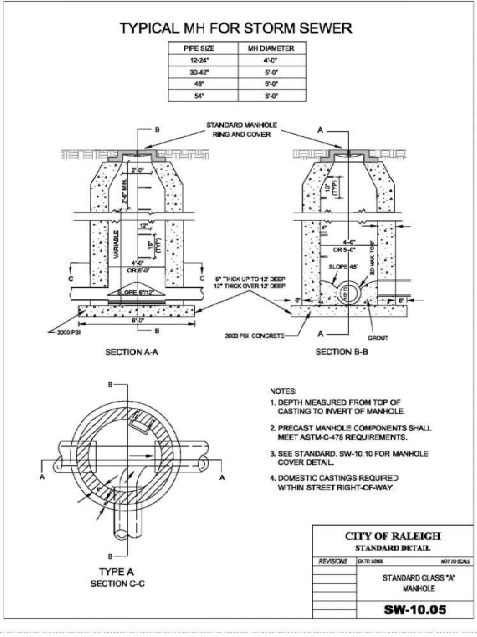
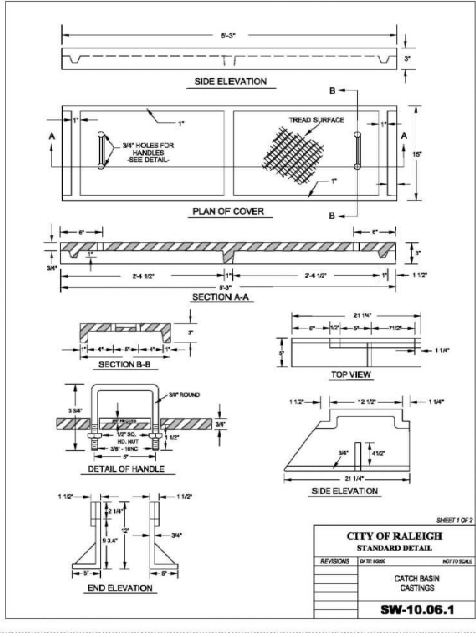
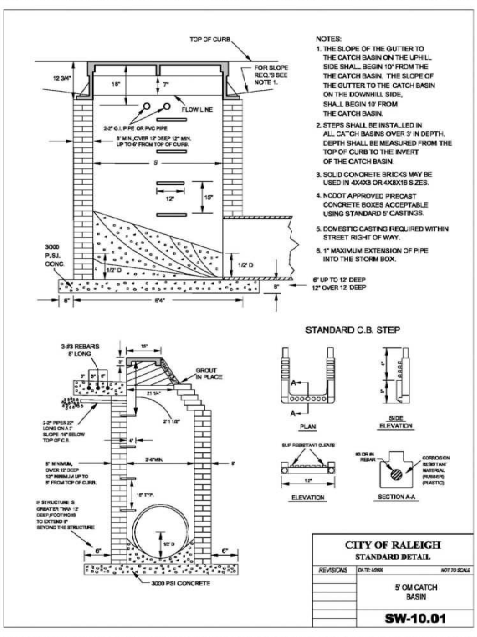
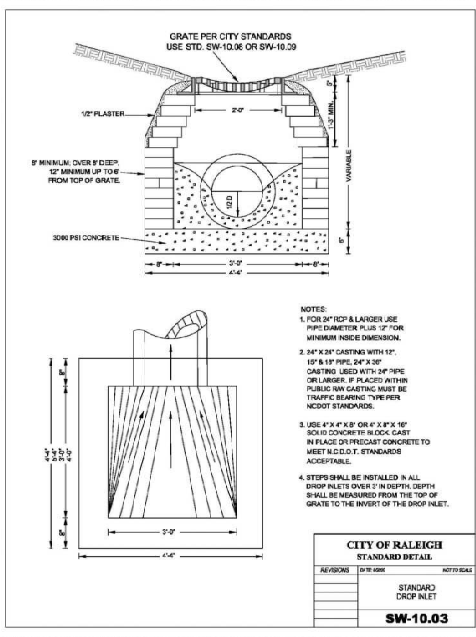
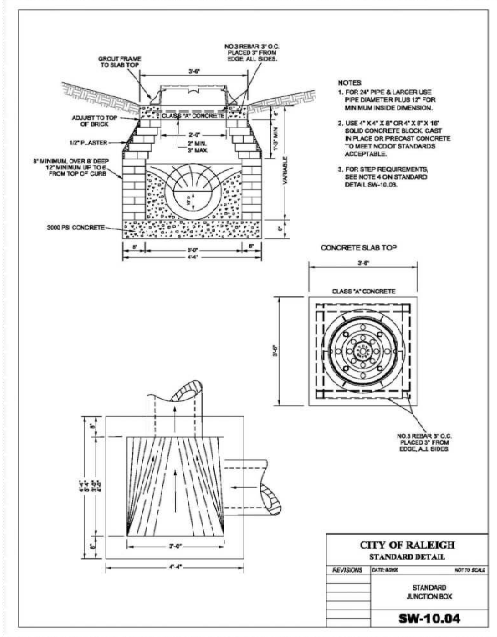
PLAN INFORMATION

PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-D1
CHECKED BY DB
DRAWN BY JJ
SCALE
DATE 10.27.2023

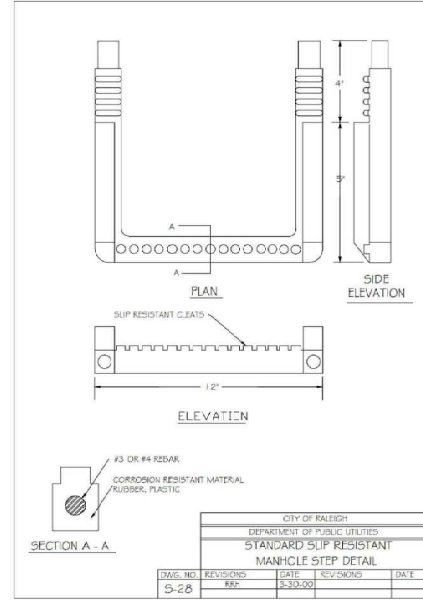
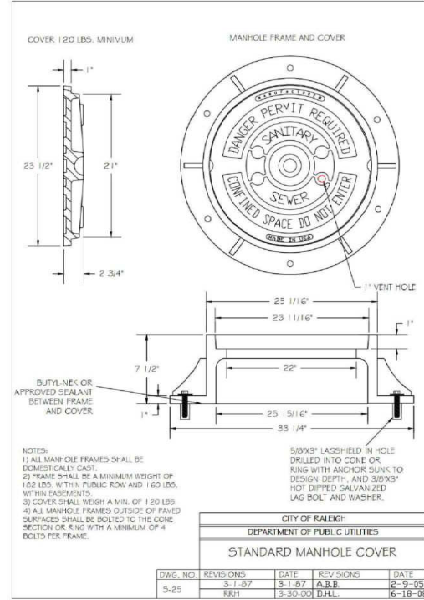
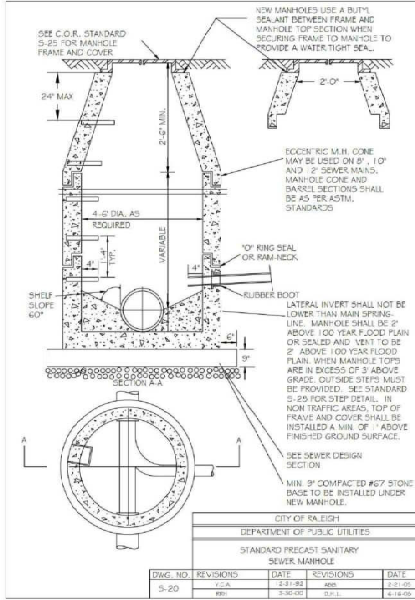
SHEET

STORM DRAINAGE
DETAILS
C8.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



Vertical text on the left edge of the drawing, likely a project or drawing ID.




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CLIENT
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ATLANTA, GEORGIA 30339
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5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606

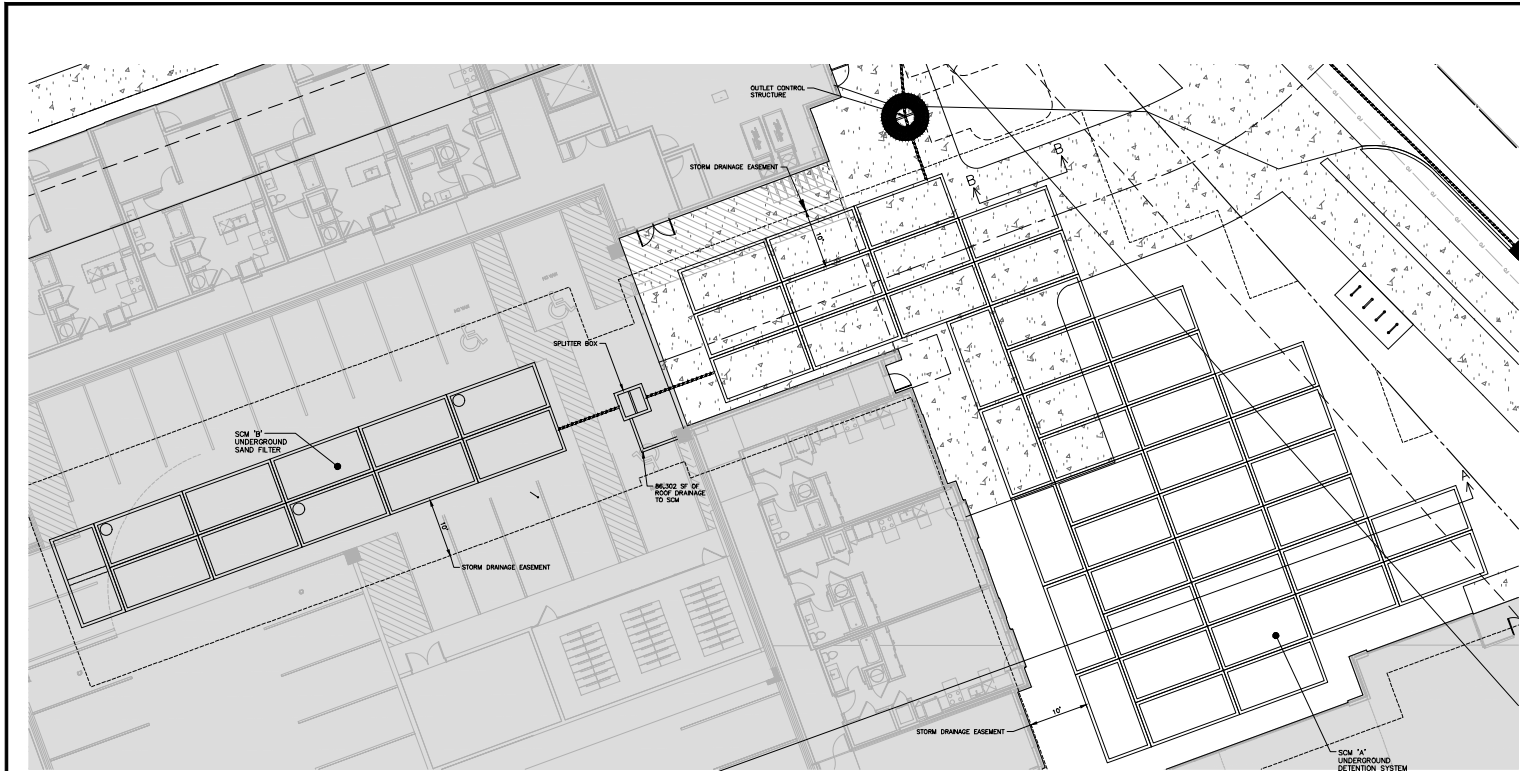
REVISIONS

NO.	DATE	REVISIONS
1	03.29.2024	REVISED PER COR 155 REVIEW COMMENTS
2	03.15.2024	REVISED PER COR 2102 REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-D1
CHECKED BY DB
DRAWN BY JJ
SCALE
DATE 10.27.2023

SHEET
SANITARY SEWER
DETAILS
C8.03



GRADING LEGEND

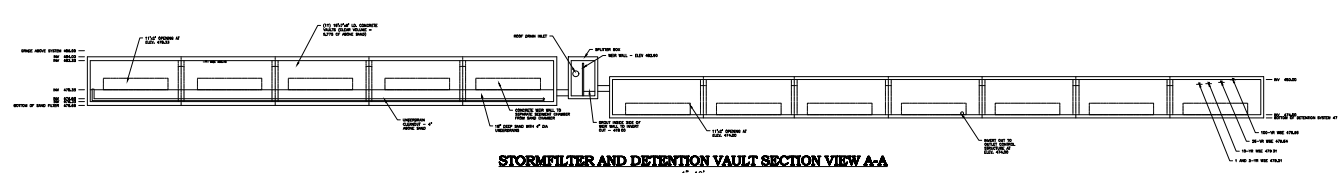
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[Symbol]	ENDWALL SECTION
[Symbol]	CATCH BASIN
[Symbol]	DROP INLET
[Symbol]	STORM SERVICE INLET
[Symbol]	STORM SERVICE ROOF-DRAIN
[Symbol]	JUNCTION BOX
[Symbol]	DRAINAGE FLOW ARROW
[Symbol]	LINE BREAK SYMBOL
[Symbol]	TOP & BOTTOM CURB ELEVATIONS
[Symbol]	TOP OF WALL ELEVATION
[Symbol]	BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
[Symbol]	SPOT ELEVATION
[Symbol]	STORM SERVICE LINE
[Symbol]	ROOF DRAIN, 8" ADS
[Symbol]	NON-PERFORATED TUBING OR EQUAL, 1/4" MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
[Symbol]	TREE PROTECTION FENCE
[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	WOODED AREA
[Symbol]	MAJOR CONTOUR
[Symbol]	MINOR CONTOUR
[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	EASEMENT LINE
[Symbol]	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)



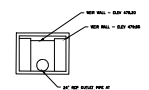
McADAMS
 The John R. McAdams Company, Inc.
 621 Hillsborough Street
 Suite 500
 Raleigh, NC 27603
 phone 919.361.5000
 fax 919.361.2269
 license number: C-0293, C-187
 www.mcadamsco.com

CLIENT
 FRM REALTY LLC
 3330 CUMBERLAND BLVD, SUITE 375
 ATLANTA, GEORGIA 30339
 CONTACT: MICHAEL GRIBBLE
 PHONE: 404.442.3851

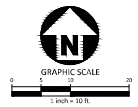
5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
 RALEIGH, NC. 27606



STORMFILTER AND DETENTION VAULT SECTION VIEW A-A
 1"=10'



OUTLET CONTROL STRUCTURE SECTION VIEW B-B
 1"=10'



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	REVISION
1	05.29.2024	REVISED PER COR 137 REVISION COMMENTS
2	03.15.2024	REVISED PER COR 250 COMMENTS

PLAN INFORMATION

PROJECT NO. FFD-23001
 FILENAME FFD23001-ASR-SW1
 CHECKED BY DB
 DRAWN BY JJ
 SCALE 1"=10'
 DATE 10.27.2023

SHEET

SCM DETAILS

C9.00

C:\Users\jg001\OneDrive\Documents\Projects\5200 Hillsborough Street\5200 Hillsborough Street.dwg, 11/20/2023 10:30:33 AM, User: jg001



McAdams

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5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606

REVISIONS

NO.	DATE	REVISION
1	05.25.2024	REVISED FOR COR 1ST REVIEW COMMENTS
2	05.15.2024	REVISED FOR COR 2ND REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-LS1
CHECKED BY DB
DRAWN BY MS
SCALE 1"=30'
DATE 10.27.2023

SHEET

LANDSCAPE PLAN

L5.00

STREET TREE CALCULATIONS

STREET	LENGTH (L)	TREES REQUIRED	TREES PROVIDED
DORCAS STREET (234.1') (64' PUBLIC R/W) <td>234.1</td> <td>6 (1 / 40' LF CANOPY TREES)</td> <td>6</td>	234.1	6 (1 / 40' LF CANOPY TREES)	6
GRAND AVENUE (371.1') (200' SIDEWALK) <td>371.1</td> <td>10 (1 / 40' LF CANOPY TREES)</td> <td>10</td>	371.1	10 (1 / 40' LF CANOPY TREES)	10
HILLSBOROUGH STREET (880.1') (SEE NOTE #2) <td>880.1</td> <td>19 (1 / 20' LF UNDERSTORY TREES)</td> <td>19</td>	880.1	19 (1 / 20' LF UNDERSTORY TREES)	19
YOUTH CENTER DRIVE (398.1') (SEE NOTE #2) <td>398.1</td> <td>10 (1 / 40' LF CANOPY TREES)</td> <td>10</td>	398.1	10 (1 / 40' LF CANOPY TREES)	10

NOTES:

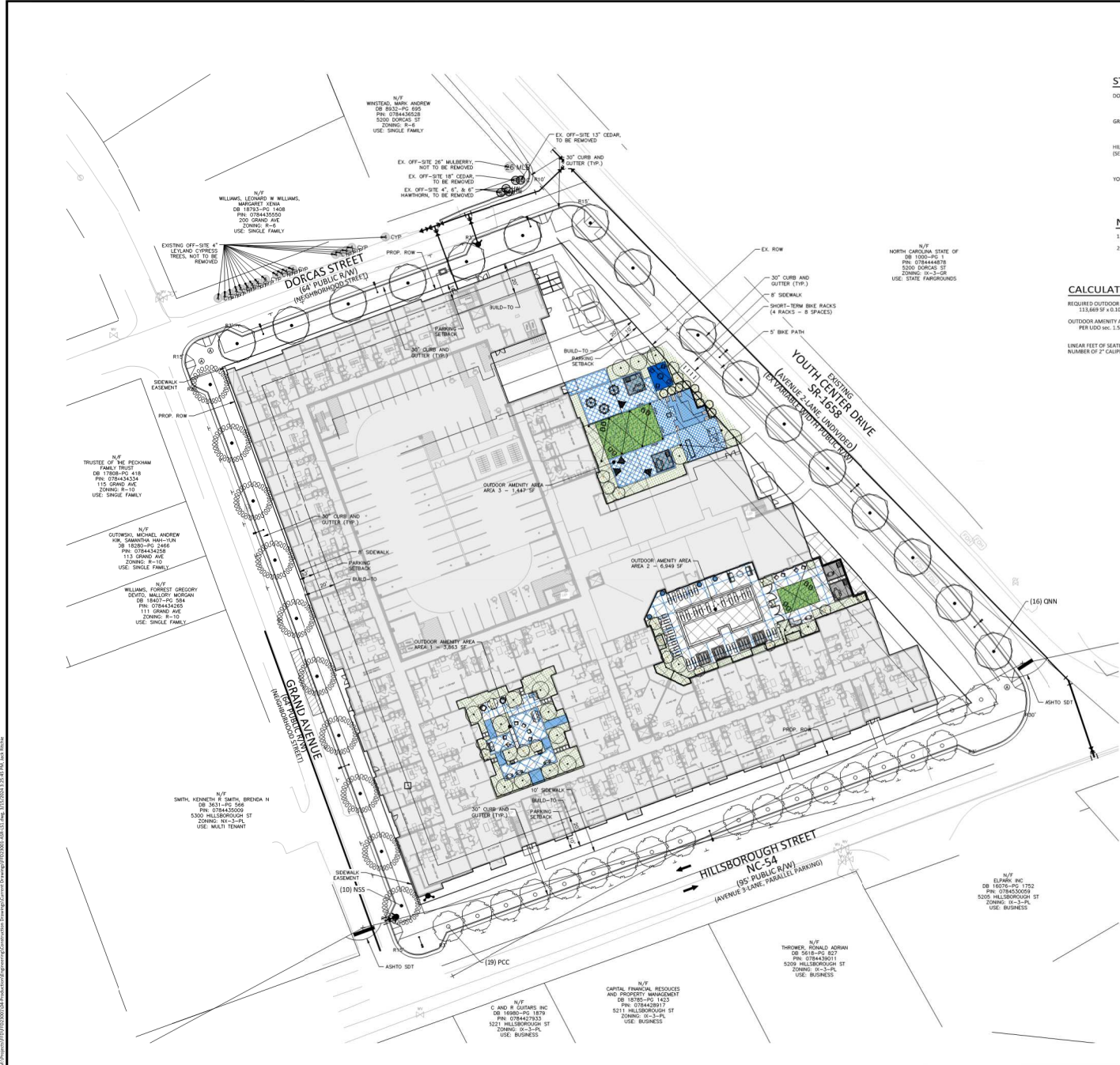
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 1 OF THE CITY TREE MANUAL.
- TREES ALONG HILLSBOROUGH STREET TO BE UNDERSTORY TREES DUE TO EXISTING OVERHEAD POWER LINES.

CALCULATIONS FOR OUTDOOR AMENITY AREA (ODA) - URBAN PLAZAS

REQUIRED OUTDOOR AMENITY AREA = 10% OF NET SITE AREA
 151,649 SF x 0.10 = 15,165 SF OF REQUIRED ODA AREA
 OUTDOOR AMENITY AREA PROVIDED = 12,259 SF
 PER UDO INC. 1.5.3.C.1) IF PER 50 SF OF ODA REQUIRED = 228 FT
 (1) 2" CALIPER TREE PER 1,000 SF OF ODA REQUIRED = 12 TREES
 LINEAR FEET OF SEATING PROVIDED = 228 FT
 NUMBER OF 2" CALIPER TREES PROVIDED = 12 TREES

PLANT SCHEDULE

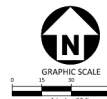
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
UNDERSTORY TREES					
	PCC	19	Pistacia chinensis / Chinese Pistache	1.5" min	6' min
CANOPY TREES					
	NSS	10	Nyssa sylvatica / Star Gum	3" min	10' min
	QNN	15	Quercus muhlenbergii / Nuttall Oak	3" min	10' min



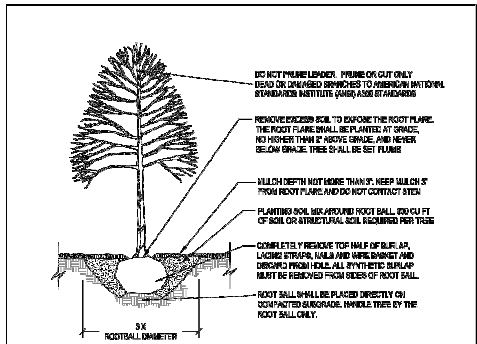
SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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CONTACT INFORMATION:
CITY OF RALEIGH
RURAL FARM, RECREATION AND COUNTRYSIDE RESOURCES DEPARTMENT
TREES@RALEIGH.GOV
WWW.RALEIGH.GOV

- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITB. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL COUPLERS AND OTHER UTILITIES ARE PROHIBITED BY THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAYING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISED DATE	REASON	APPROVAL
	TREE PLANTING DETAIL	
TPP-03		

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
UNDERSTORY TREES					
	PCC	13	Ficus obtusifolia Chinese Figtree	1.5' min	6' min
CANOPY TREES					
	ASS	10	Nyssa sylvatica Sour Gum	3' min	10' min
	QNN	15	Quercus muhlenbergii Nutall Oak	3' min	10' min

LANDSCAPE NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS AS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MIS-HANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. REJECTED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/BEDDING IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 20 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.

- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CHALKS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TWIGS, OR OTHER EXTRANEIOUS MATERIAL.
- LOOSE SUBGRADE SURFACE SOIL TO A MINIMUM 10" DEPTH OF FINISH SURFACE AND SUBGRADE AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THROUGHOUT TOP LAYER OF SOIL. SPECIFIC NUTRIENTS ARE TO A DEPTH OF 6" INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MOIST, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 12 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE TIED TO A DEPTH OF 10 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM EAST OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WETTED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SIX SCALE, BARK SPLITTING, WRAPPING, AND OTHER HANDLING AND TYPICAL DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAKE AND THE TREES UP TO PREVENT THE RISK OF SUNSCALD. PROPERLY STAGED TREES ARE STANDING, UNTIMED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- DIGGATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND TIME GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANT WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION, SLOPE AND MAKE, REMOVE ROOTS, AND TILL DISPOSITIONS TO MEET FINISH GRADING. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- ALL TREES TO BE LIMBED TO A HEIGHT OF 8' FROM FINISH GRADE WITHIN SIGHT DISTANCE TRIANGLES.
- WHERE TREES ARE REQUIRED TO BE LIMBED TO 8' FROM SIGHT DISTANCE TRIANGLE CLEARANCE, A LARGER CALIBER SIZE MAY BE REQUIRED AT TIME OF INSTALLATION FOR PROPER LIMBING AND PRUNING.
- STREET TREES TO BE CHOSEN FROM THE CITY OF RALEIGH ACCEPTABLE STREET TREE LIST.
- SPECIES NOT FOUND ON THE ACCEPTABLE PLANT LIST MAY BE UTILIZED WITH APPROVAL FROM THE CITY OF RALEIGH.

McADAMS
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CLIENT
FMH REALTY LLC
3330 CUMBERLAND BLVD, SUITE 375
ATLANTA, GEORGIA 30339
CONTACT: MICHAEL GRIBBLE
PHONE: 404.442.3851

5200 HILLSBOROUGH ST
ADMINISTRATIVE SITE REVIEW
5200 HILLSBOROUGH STREET
RALEIGH, NC 27606

REVISIONS

NO.	DATE	REVISION
1	05.29.2024	REVISED PER COR 157 REVIEW COMMENTS
2	03.15.2024	REVISED PER COR 250 REVIEW COMMENTS

PLAN INFORMATION

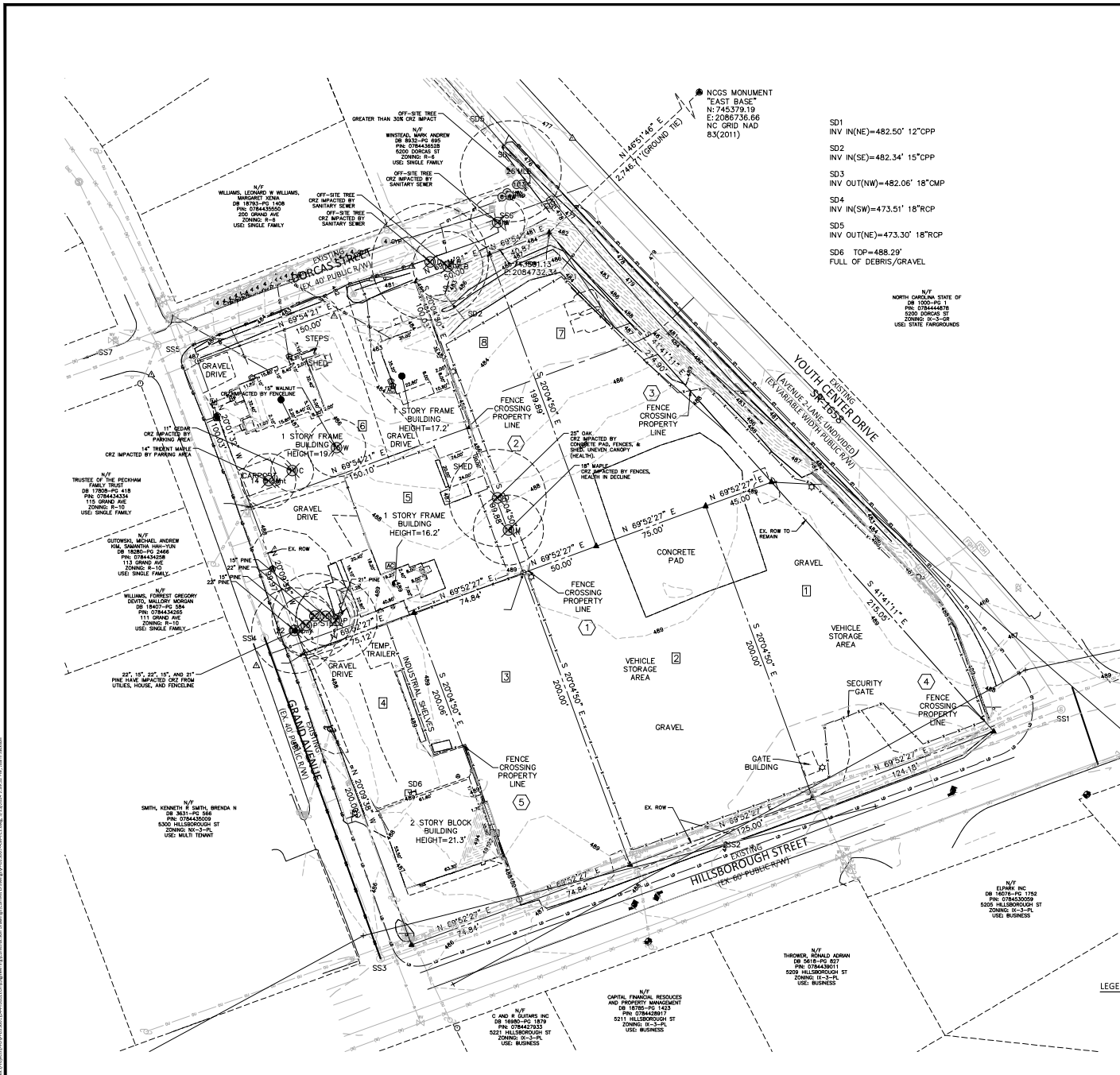
PROJECT NO.	FFD-23001
FILENAME	FFD23001_ASR_L51
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1"=30'
DATE	10.27.2023

SHEET
LANDSCAPE NOTES AND DETAILS
L5.01

GRAPHIC SCALE
1 inch = 30 ft.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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VIEW OF DORCAS STREET LOOKING EAST TOWARDS YOUTH CENTER DRIVE. EXISTING IMPACTED MULBERRY TREES ON THE RIGHT AND IN CENTER BACKGROUND. POOR HEALTH, IMPACTED CRITICAL ROOT ZONE, AND OFFSITE.



VIEW OF DORCAS STREET LOOKING EAST TOWARDS YOUTH CENTER DRIVE. EXISTING EVERGREEN TREES ON THE LEFT, OFFSITE.



VIEW OF DORCAS STREET LOOKING WEST TOWARDS GRAND AVENUE. EXISTING EVERGREEN TREES ON THE RIGHT, OFFSITE.



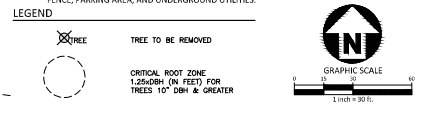
VIEW OF EXISTING CEDAR AND TRIDENT MAPLE. IMPACTED CRITICAL ROOT ZONE BY PARKING AREA AND OUTDOOR STORAGE. OLD FENCING UNDER SHRUBS BISECTING CRITICAL ROOT ZONES.



VIEW OF EXISTING PINES OFF GRAND AVENUE. CRITICAL ROOT ZONES IMPACTED BY HOUSE, FENCE, PARKING AREA, AND UNDERGROUND UTILITIES.

- SD1 INV IN(NE)=482.50' 12"CPP
- SD2 INV IN(SE)=482.34' 15"CPP
- SD3 INV OUT(NW)=482.06' 18"CMP
- SD4 INV IN(SW)=473.51' 18"RCP
- SD5 INV OUT(NE)=473.30' 18"RCP
- SD6 TOP=488.29' FULL OF DEBRIS/GRAVEL

NORTH CAROLINA STATE OF
DB 1002-0-1
P/N 0784444678
2204 GORCAS ST
ZONING: R-10
USE: SINGLE FAMILY



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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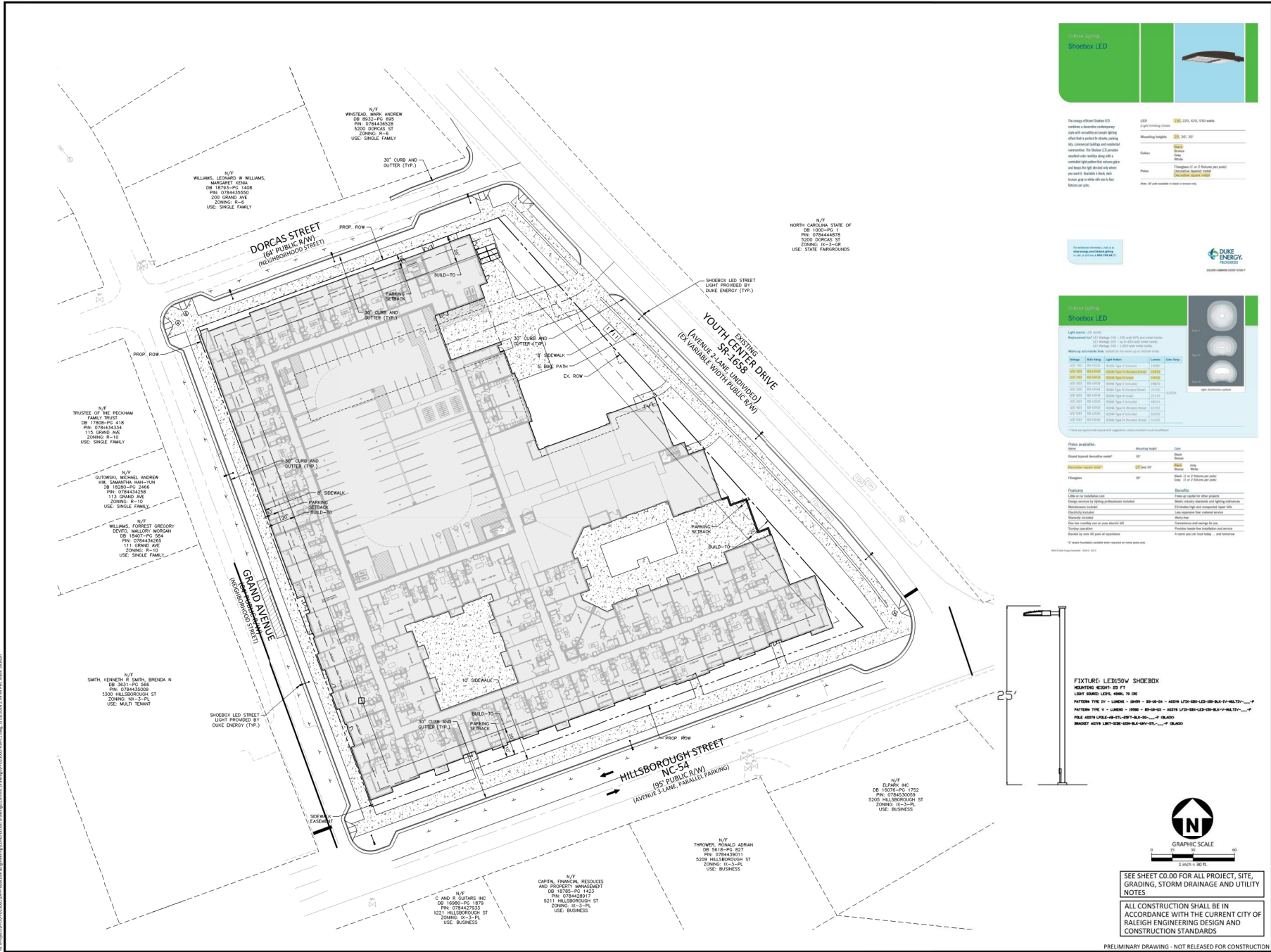
**5200 HILLSBOROUGH ST
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REVISIONS

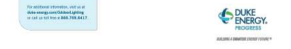
NO.	DATE	REVISION
1	05.29.2024	REVISED PER OUR 1ST REVISION COMMENTS
2	05.15.2024	REVISED PER OUR 2ND REVISION COMMENTS

PLAN INFORMATION
PROJECT NO. FFD-23001
FILENAME FFD23001-ASR-TC1
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=30'
DATE 10.27.2023

SHEET
**TREE CONSERVATION
AREA EXHIBIT
L5.02**

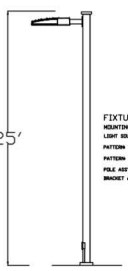


The energy efficient Shoobox LED fixture is designed to provide uniform lighting with excellent beam spread. It is available in multiple mounting heights and is suitable for use in a variety of applications. The fixture is made of die-cast aluminum and is available in multiple colors. It is also available in multiple mounting heights and is suitable for use in a variety of applications.



Mounting Height	Beam Spread	Light Output	Color
10 FT	120°	10,000 LM	5000K
12 FT	120°	12,000 LM	5000K
15 FT	120°	15,000 LM	5000K
20 FT	120°	20,000 LM	5000K
25 FT	120°	25,000 LM	5000K
30 FT	120°	30,000 LM	5000K
35 FT	120°	35,000 LM	5000K
40 FT	120°	40,000 LM	5000K
45 FT	120°	45,000 LM	5000K
50 FT	120°	50,000 LM	5000K

Mounting Height	Beam Spread	Light Output	Color
10 FT	120°	10,000 LM	5000K
12 FT	120°	12,000 LM	5000K
15 FT	120°	15,000 LM	5000K
20 FT	120°	20,000 LM	5000K
25 FT	120°	25,000 LM	5000K
30 FT	120°	30,000 LM	5000K
35 FT	120°	35,000 LM	5000K
40 FT	120°	40,000 LM	5000K
45 FT	120°	45,000 LM	5000K
50 FT	120°	50,000 LM	5000K



FIXTURE: LED150W SHOBOX
 MOUNTING HEIGHT: 35 FT
 LIGHT OUTPUT: 35,000 LM
 BEAM SPREAD: 120°
 COLOR: 5000K
 MOUNTING HEIGHT: 35 FT
 LIGHT OUTPUT: 35,000 LM
 BEAM SPREAD: 120°
 COLOR: 5000K



GRAPHIC SCALE
 1 inch = 30 ft.

SEE SHEET C-00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.

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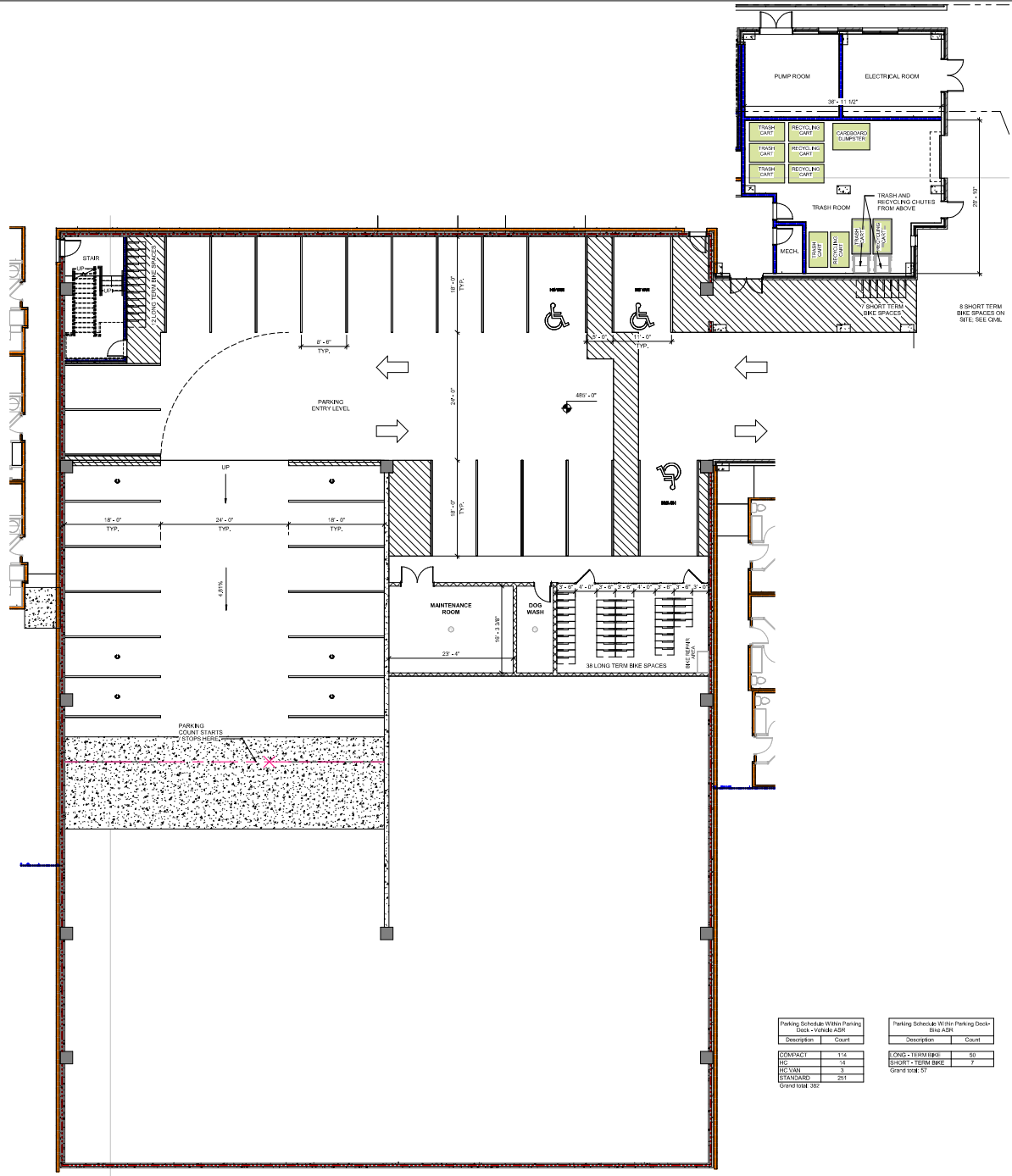
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REVISIONS

NO.	DATE	REVISION
1	05.25.2024	REVISED FOR COR 1ST REVIEW COMMENTS
2	05.15.2024	REVISED FOR COR 2ND REVIEW COMMENTS

PLAN INFORMATION
 PROJECT NO. FFD-23001
 FILENAME FFD23001-ASR-L1
 CHECKED BY DB
 DRAWN BY JJ
 SCALE 1"=30'
 DATE 10.27.2023

LIGHTING PLAN
L6.00



Parking Schedule With Parking Deck - Vehicle ASR	
Description	Count
COMPACT	114
HS	15
HS VAN	3
STANDARD	251
Grand Total	383

Parking Schedule With Parking Deck - Bike ASR	
Description	Count
LONG TERM BIKE	38
SHORT TERM BIKE	7
Grand Total	45

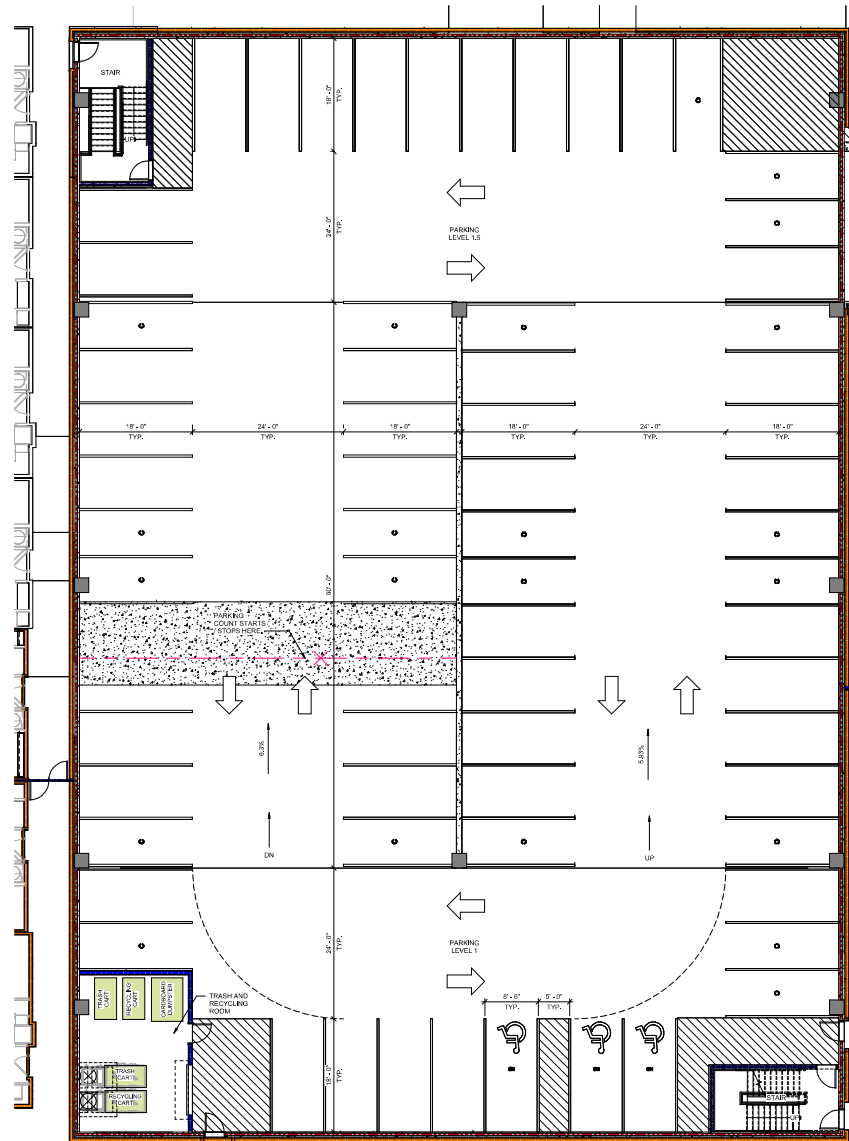
NOT FOR CONSTRUCTION

ASR SUBMITTAL

PROJECT: 02384
 DATE: 3.15.2024
 REVISIONS: DATE

DRAWN BY: JD, CC
 CHECKED BY: LY

PARKING PLAN - ENTRY



NOT FOR CONSTRUCTION

ASR
SUBMITTAL

PROJECT: 02384
DATE: 3.15.2024
REVISIONS: _____ DATE: _____

DRAWN BY: JD, CC
CHECKED BY: LK

PARKING PLAN -
FIRST-FOURTH FLOOR

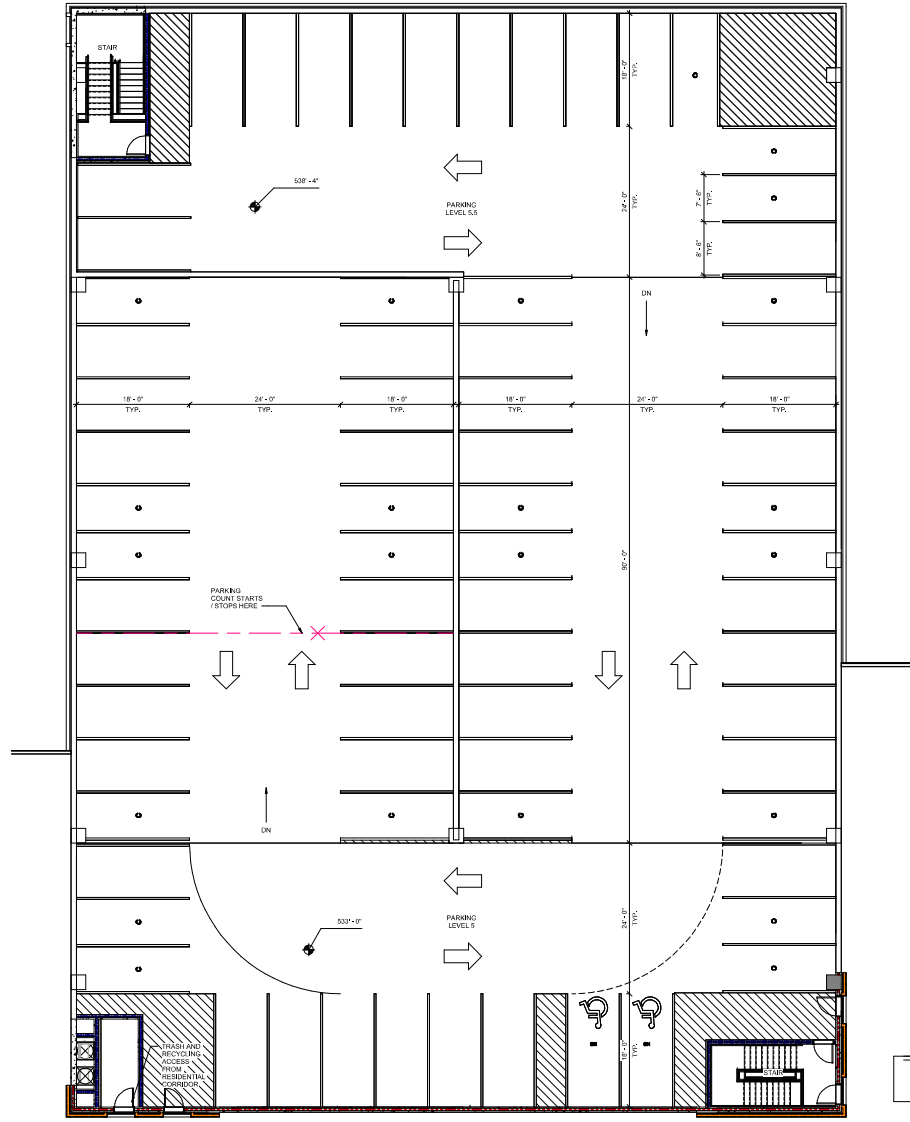
NOT FOR CONSTRUCTION

ASR
SUBMITTAL

PROJECT: 02384
DATE: 3.15.2024
REVISIONS: DATE

DRAWN BY: JD, CC
CHECKED BY: LY

PARKING PLAN - FIFTH FLOOR



05 PARKING PLAN - FIFTH FLOOR 1
1/8" = 1'-0"



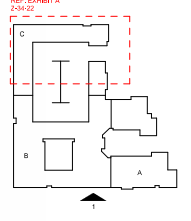
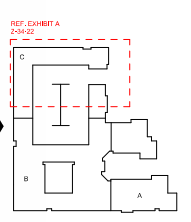
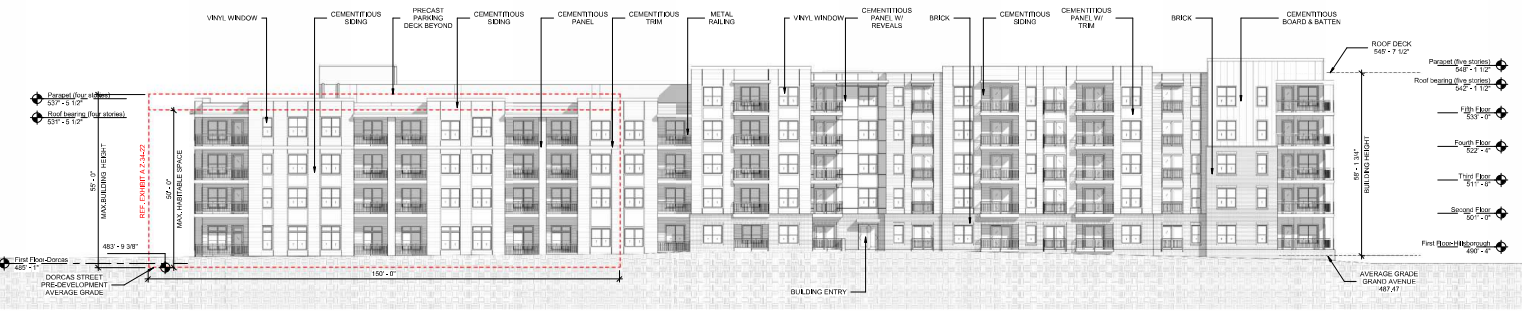
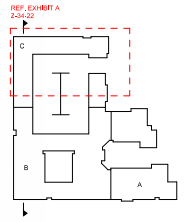
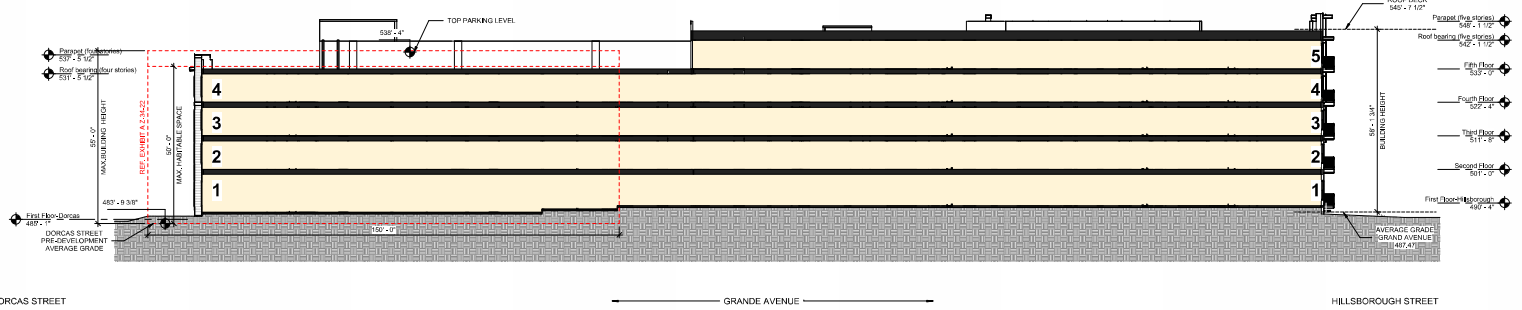
NOT FOR
CONSTRUCTION

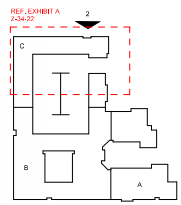
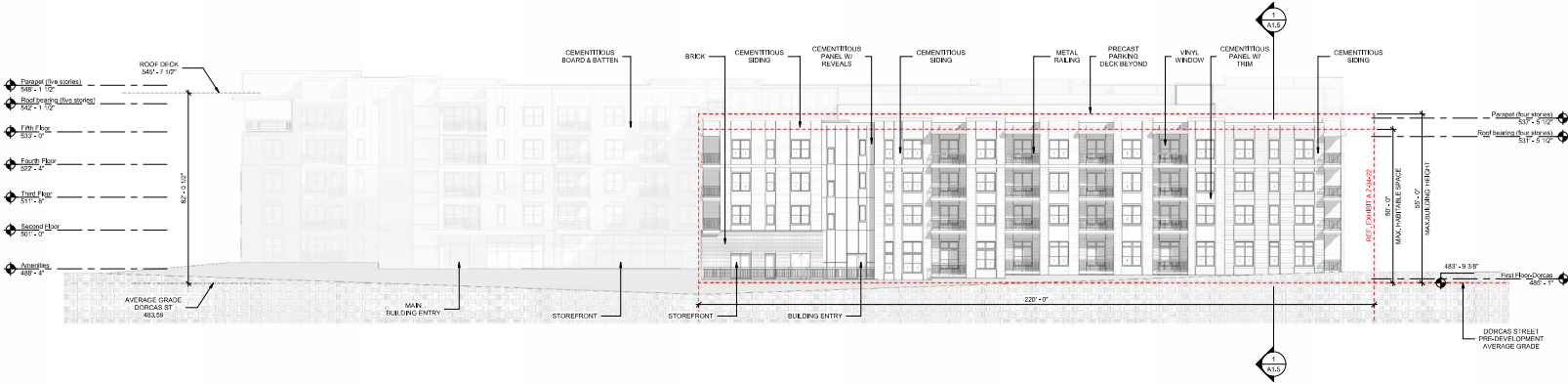
ASR
SUBMITTAL

PROJECT:	023844
DATE:	3.15.2024
REVISIONS:	DATE

DRAWN BY: JD
CHECKED BY: LK

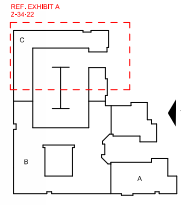
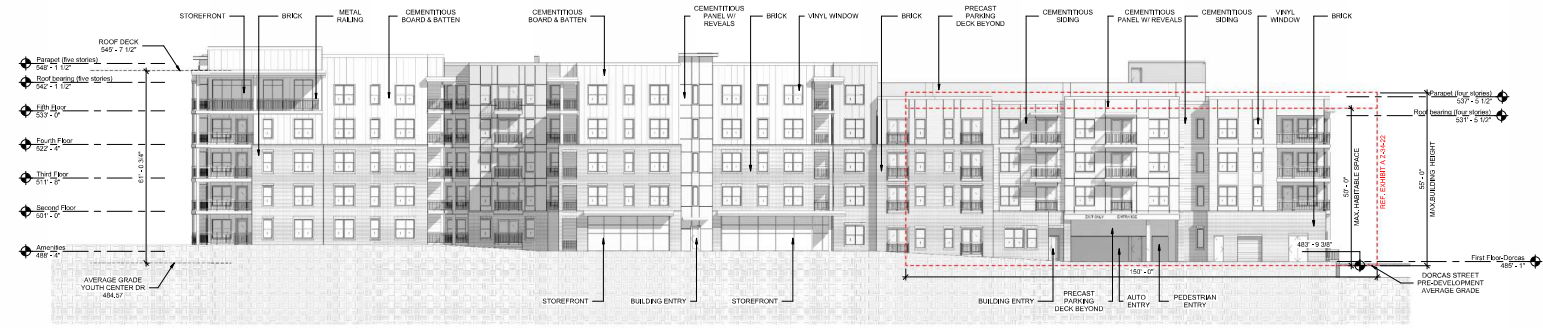
GROUND LEVEL





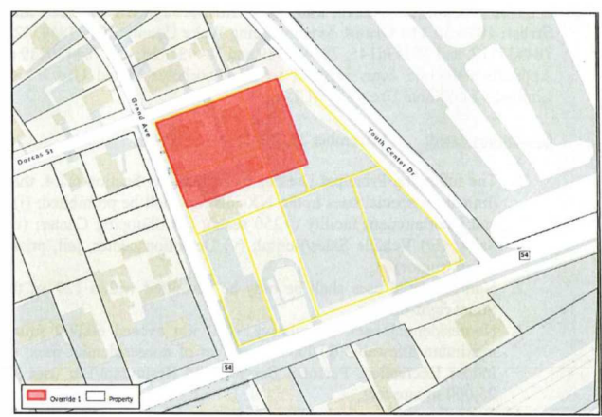
KEY PLAN
Dorcas Street Elevation
1/16" = 1'-0"

1



KEY PLAN
Youth Center Drive Elevation
1/16" = 1'-0"

2



Z-34-22 - Exhibit A

FAIRFIELD RESIDENTIAL
5200 Hillsborough
RALEIGH, NC

NOT FOR CONSTRUCTION

ASR
SUBMITTAL

PROJECT: 023844
DATE: 3.15.2024
REVISIONS: DATE

DRAWN BY: MC, KW, SM
CHECKED BY: LY

ELEVATIONS

A1.6