



# Administrative Approval Action

Case File / Name: ASR-0073-2023  
Hawkins Townes

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 0.50 acre site is generally located at the southwest corner of Hawkins Street and Norwood Street, between South King Charles Road and Poole Road, and identified as 2208 Hawkins Street. It is zoned R-10 and located in a Frequent Transit Area. The site has a house on it which will be demolished.

**REQUEST:** This proposed development includes 4 townhouse type buildings, each 3 stories, with 3 residential dwellings in each for a total of 12 dwellings with a gross size of 14,208 square feet. This project utilizes the Frequent Transit Development Option and includes 12 on-site parking spaces, outdoor amenity area, and other site improvements.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 25, 2024 by CMS ENGINEERING PLLC.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

1. Plan shall show compliance with the City of Raleigh Solid Waste Services Design Manual and provide approval from Solid Waste Services for the intent to service this project with roll-out carts.
2. Prior to Site Permit Review (SPR) approval, plans shall show the correct setbacks for the building type utilizing the frequent transit development option (FTDO) on the cover sheet and all applicable sheets.

### Engineering

3. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

### Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

**Engineering**

1. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
  
2. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
  
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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## Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. A demolition permit shall be obtained.

## Engineering

3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Urban Forestry

5. A public infrastructure surety for 4 street trees along Hawkins St and 7 street trees along Norwood St shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure
6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Hawkins St and 7 street trees along Norwood St.

*The following are required prior to issuance of building occupancy permit:*

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.



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2. Final inspection of all right of way street trees by Urban Forestry Staff.
3. All street lights and street signs required as part of the development approval are installed.
4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

### Stormwater

5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** June 11, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_ Date: 06/11/2024  
Development Services Dir/Designer

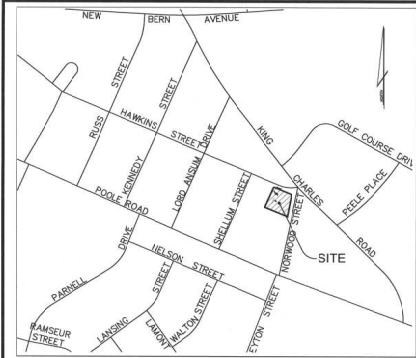
Staff Coordinator: Jessica Gladwin



# Hawkins Townhomes

## Administrative Site Review

### ASR-0073-2023



VICINITY MAP  
SCALE: 1"=500'

**INDEX**

TITLE SHEET ..... ASR-1

EXISTING CONDITIONS & DEMOLITION ..... ASR-2

INFILL COMPATIBILITY ..... ASR-3

SITE & GRADING PLAN ..... ASR-4

UTILITY PLAN ..... ASR-5

LANDSCAPE PLAN ..... ASR-6

LIGHTING PLAN ..... ASR-7

ARCHITECTURAL ELEVATIONS BLDG 1 ..... A2.1

ARCHITECTURAL ELEVATIONS BLDG 2 ..... A2.2

ARCHITECTURAL ELEVATIONS BLDG 3 ..... A2.3

ARCHITECTURAL ELEVATIONS BLDG 4 ..... A2.4

Phone #: (919) 210-5899 Email: patli.consm@gmail.com  
 NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.  
 Developer Contact: James Moss  
 Company: Moss Construction & Design LLC Title: Member Manager  
 Address: 7105 Mary Dee Court, Raleigh, NC 27614  
 Phone #: (919) 210-5899 Email: jmossm@mcdraleigh.com  
 Applicant Name: Patli Hrdeth  
 Company: CMS Engineering PLLC Address: 9320 St. John's Church Road, Zebulon, NC 27597  
 Phone #: (919) 210-5889 Email: patli.consm@gmail.com

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning district (please provide the acreage of each): R-10, 0.50 ac	Existing gross floor area (not to be demolished): 2,204 sf
Does the site have: 0.50 ac	Existing gross floor area to be demolished: 2,204 sf
# of parking spaces proposed: 12	New gross floor area: 14,208 sf
Max # of parking permitted (7.1.2.C)	Total # of gross (existing and new): 14,208 sf
Overhead utility (if applicable): N/A	Proposed # of buildings: 4
Existing use (UDO 6.1.4): residential	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): residential	Proposed # of basement levels (UDO 1.5.7.A.5): 0

STORMWATER INFORMATION	
Impervious Area (Percent): Existing (in): 4,033 sf	Proposed total (in): 12,271 sf
Impervious Area for Compliance (includes ROW): Existing (in): 4,033 sf	Proposed total (in): 14,178 sf

Continue to Applicant Signature Block on Page Three.

Page 2 of 3

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

N.C. UNDERGROUND UTILITIES

3 DAYS BEFORE DIGGING CALL 811  
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

- LEGEND**
- Existing Iron Pipe
  - Fire Hydrant
  - Utility Pole
  - Sanitary Sewer Manhole
  - Water Valve
  - Proposed Water Meter
  - Proposed Sewer Clean Out
  - Existing Water Meter
  - Existing Sewer Clean Out

#### Administrative Site Review Application

Planning and Development Customer Service Center • One Estuary Place, Suite 400, Raleigh, NC 27601 (919) 998-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 12.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # \_\_\_\_\_ Planer (print): \_\_\_\_\_

Please review UDO Section 12.2.8 to determine the site plan fee. If assistance determining a Site Plan Fee is needed, a Site Plan Fee Verification request can be submitted online via the UDO Self-Service Center. Note: There is a fee for this verification service.

Site Plan Fee:	Tier Two Site Plan	Tier Three Site Plan	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	<input type="checkbox"/> Subdivision case # _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	<input type="checkbox"/> Rezone/overlay case # _____	
<input checked="" type="checkbox"/> Townhouse	<input type="checkbox"/> Historic	<input type="checkbox"/> Certificate of Appropriateness # _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Board of Adjustment # _____	
<input type="checkbox"/> Triplex	<input type="checkbox"/> Frequent Transit Development Option	<input type="checkbox"/> Zoning Case # _____	
<input type="checkbox"/> Open lot		<input type="checkbox"/> Design Alternative # _____	

GENERAL INFORMATION	
Development name:	2208 Hawkins Street
Inside City limits?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Property address:	2208 Hawkins Street
Site P.L.N. #:	1713-67-8995

Please describe the scope of work, include any additions, repairs, and uses (UDO 1.4).

Development of existing home, construction of 12 townhouse style condominium units with parking

Current Property Owner(s): James Moss  
 Company: Moss Construction & Design LLC Title: Member Manager  
 Address: 7105 Mary Dee Court, Raleigh, NC 27614  
 Phone #: (919) 210-5899 Email: jmossm@mcdraleigh.com  
 Applicant Name (if different from owner): See "who necessary" in instructions  
 Relationship to owner:  Lessee or co-located purchaser  Owner's authorized agent  Easement holder  
 Company: CMS Engineering PLLC Address: 9320 St. John's Church Road, Zebulon, NC 27597

Page 1 of 3

**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(b)), applications for development approvals may be made by the landowner, a lessee or agent holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An authorized holder may also apply for development approval for such development as is authorized by the owner.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in opening the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 142-752(d)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to a request for additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations that apply at the time permit processing is resumed shall apply to the new application.

Signature: \_\_\_\_\_ Date: 1/9/23  
 Printed Name: James Moss

PUBLIC IMPROVEMENT QUANTITIES	
Phase Number(s)	1
Number of Lots(s)	1
Lot Number(s) by Phase	1
Number of Units	12
Liveable Buildings	4
Open Space?	Yes
Number of Open Space Lots	0
Public Water (LF)	0
Public Sewer (LF)	120
Public Street (LF) - FULL	0
Public Street (LF) - PARTIAL	0
Public Sidewalk (LF)	250
Street Signs (LF)	4
Water Service Stubs	12
Sewer Service Stubs	12

Page 3 of 3

**PLAN SUMMARY**

Address: 2208 Hawkins Street  
 Wake Co. PINs: 1713-67-8695  
 Reference: BM 2004 PG 1278  
 DB 17836 PG 2134  
 Moss Construction & Design LLC  
 7105 Mary Dee Court  
 Raleigh, NC 27614  
 jmossm@mcdraleigh.com

**PROPOSED TOWNHOME SITE DATA**

Zoning: R-10, Frequent Transit Area  
 Lot Area: 0.50ac/21,843 sf  
 RW Dedication: 0.038 ac/1,646 sf  
 Other Dedications: 0.00 ac  
 Net Lot Area: 0.46 ac/20,197 sf  
 Proposed Use - Multi Unit Townhomes UDO 2.2.3  
 R-10 NET SITE AREA/UNIT (MIN -3,000 SF) UDO 2.2.3.A1  
 20,197/3,000 SF = 6.73 Units  
 Frequent Transit Development UDO 2.7.1.C.C3  
 Net Site Area/Unit (Min. 800 sf/Unit) UDO 2.2.3.A1  
 20,197/800 = 25.24 Units  
 No. of Townhome Units Proposed: 12  
 No. of Bedrooms per unit: 2  
 Total No. of Bedrooms: 24

**PRIMARY STREET**

UDO 1.5.4.C.2  
 UDO 1.5.4.B  
 Primary Street is Norwood Street  
 Both streets meet criteria, Norwood is a through street to Polee Rd. and there is a bus stop at corner of Norwood & Polee

**SOLID WASTE SERVICES**

- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- SOLID WASTE SERVICE WILL BE PROVIDED AT PUBLIC STREET BY INDIVIDUAL 96-GAL. STANDARD CITY OF RALEIGH RESIDENTIAL SOLID WASTE CART PER CITY OF RALEIGH WASTE DESIGN MANUAL.

**BLOCK PERIMETER EXEMPTION**

UDO 8.3.2.A.2.d  
 MINIMUM SITE AREA APPLICABLE IS 5 ACRES, THIS SITE IS EXEMPT

**STORMWATER EXEMPTION**

UDO 9.2.2.A.2.b.ii - This lot is less than 0.5 ac and therefore exempt from active stormwater control measures and subject to further review upon placement of impervious surface.

**TREE CONSERVATION**

THIS SITE IS LESS THAN 2 ACRES AND THEREFORE IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS.

**TOWNHOME DEVELOPMENT REQUIREMENTS**

SITE DIMENSIONS -	UDO 2.2.3.A	10% OF 20,197sf = 2,020 sf
OUTDOOR AMENITY AREA REQUIRED	UDO 2.2.3.A.3	2,495 sf = 12.4%
OUTDOOR AMENITY AREA PROVIDED	UDO 2.2.3.A.3	N/A
MIN. LOT AREA	UDO 2.2.3.B.1	N/A
MIN. LOT WIDTH	UDO 2.2.3.B.2	N/A

**PRINCIPLE BUILDING/STRUCTURE SETBACK - UDO 2.2.3.C**

FROM PRIMARY STREET	UDO 2.2.3.C.1	10 FEET
FROM SIDE SITE BOUNDARY LINE <td>UDO 2.2.3.C.3</td> <td>10 FEET</td>	UDO 2.2.3.C.3	10 FEET
FROM REAR SITE BOUNDARY LINE <td>UDO 2.2.3.C.4</td> <td>20 FEET</td>	UDO 2.2.3.C.4	20 FEET
BUILDING SEPARATION <td>UDO 2.2.3.C.6</td> <td>10 FEET</td>	UDO 2.2.3.C.6	10 FEET

**PARKING SETBACKS - UDO 2.2.3.D**

FROM PRIMARY STREET	UDO 2.2.3.D.1	20 FEET
FROM SIDE LOT LINE <td>UDO 2.2.3.D.3</td> <td>0 FEET</td>	UDO 2.2.3.D.3	0 FEET
FROM REAR LOT LINE <td>UDO 2.2.3.D.4</td> <td>3 FEET (MIN.)</td>	UDO 2.2.3.D.4	3 FEET (MIN.)

**HEIGHT - UDO 2.2.3.E**

MAXIMUM BUILDING HEIGHT	UDO 2.2.3.E.1	45 FEET/3 STORIES
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**PARKING - MINIMUM PARKING REQUIRED UDO 7.1.2.C**

MAXIMUM PARKING ALLOWED	UDO 7.1.2.C	NO MAXIMUM
PARKING PROVIDED	12	
BICYCLE PARKING REQUIRED	UDO 7.1.2.C	NONE
Short Term Bicycle Parking Provided	12	

**Setback Information**  
 Required for R-10 Zoning:

Standard Min. Front - 10'; Ex. Median to  $\leq$  54.0'; Allowed + 25%, 67.5'; - 25%, 40.5'  
 Proposed to  $\leq$  46.5'  
 Side Street Min. 10', Side - 5' Bulding, Rear - 15' Building

Existing Building Square Footage: 2,204 sf  
 Proposed Building Square Footage: 1,184 sf/unit x 3 units/ldg x 4 bldgs = 14,208 sf  
 Increase in Square Footage: 12,004 sf  
 Building Height Max. - 40' (3 Stories)  
 Infill Bldg. Height - 22' wall height or avg. of 2 abutting neighbors, + 1' for each additional foot of setback over minimum required

- NOTES:**
- BOUNDARY & TOPOGRAPHIC SURVEY BY JOHNY, PHELPS, PLS.
  - ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CITY OF RALEIGH DEVELOPMENT STANDARDS AND SPECIFICATIONS.
  - DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
  - A SURETY OF 125% OF ESTIMATED CONSTRUCTION COST IS REQUIRED FOR THE CONSTRUCTION COSTS OF ALL PUBLIC IMPROVEMENTS WHICH ARE NOT COMPLETE AT THE TIME OF BUILDING PERMIT.
  - RESIDENTIAL INFILL RULES APPLY (SEC.2.2.7) AND PROPOSED SETBACKS AND BUILDING HEIGHTS ARE BASED ON SAID RULES.
  - IMPERVIOUS LIMIT TO BE RECORDED ON PLAN PRIOR TO BUILDING PERMITS.
  - INFRASTRUCTURE CONSTRUCTION PLANS (SITE PERMITTING REVIEW) MUST BE APPROVED BY THE CITY OF RALEIGH FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS. ALL WATER, SANITARY SEWER AND REUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE.

- Traffic Control and Pedestrian Plan (TCPPD) Notes:**
- Prior to any work that impacts the right-of-way, closing or detouring of any street, lane, or driveway, the contractor must apply for a permit with Right-of-Way Services. Please direct any questions to rightofwayservices@raleigh.gov.
  - The street, lane, sidewalk, closure permit is required for any closure on city streets and all INCDOT streets within Raleigh's jurisdiction.
  - A permit request with a TCPPD Plan shall be submitted to Right-of-Way Services through the City of Raleigh Permit and Development Portal.
  - Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspection Center to review the specific components of the approved plan, and ensure all permits are issued.
  - ALL TCPPD Plans shall comply with all Local, State, and Federal requirements and standards, including but not limited to:
    - Manual on Uniform Traffic Control Devices (MUTCD);
    - Public Right-of-Way Accessibility Guidelines (PROWAG);
    - American Disability Act (ADA) requirements;
    - Raleigh Street Design Manual (SDM).
  - All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be consistent with the Public Right-of-Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
  - All permits must be available and visible on site during the operation.

CMS Engineering, PLLC  
 9320 St. John's Church Road  
 Zebulon, NC 27597  
 PHONE: (919) 210-5899  
 EMAIL: patli.consm@gmail.com

2208 HAWKINS STREET  
 TOWNHOMES  
 ADMINISTRATIVE SITE REVIEW  
 RALEIGH, NC

REVISIONS

REV.02/14/24 PER COR COMMENTS

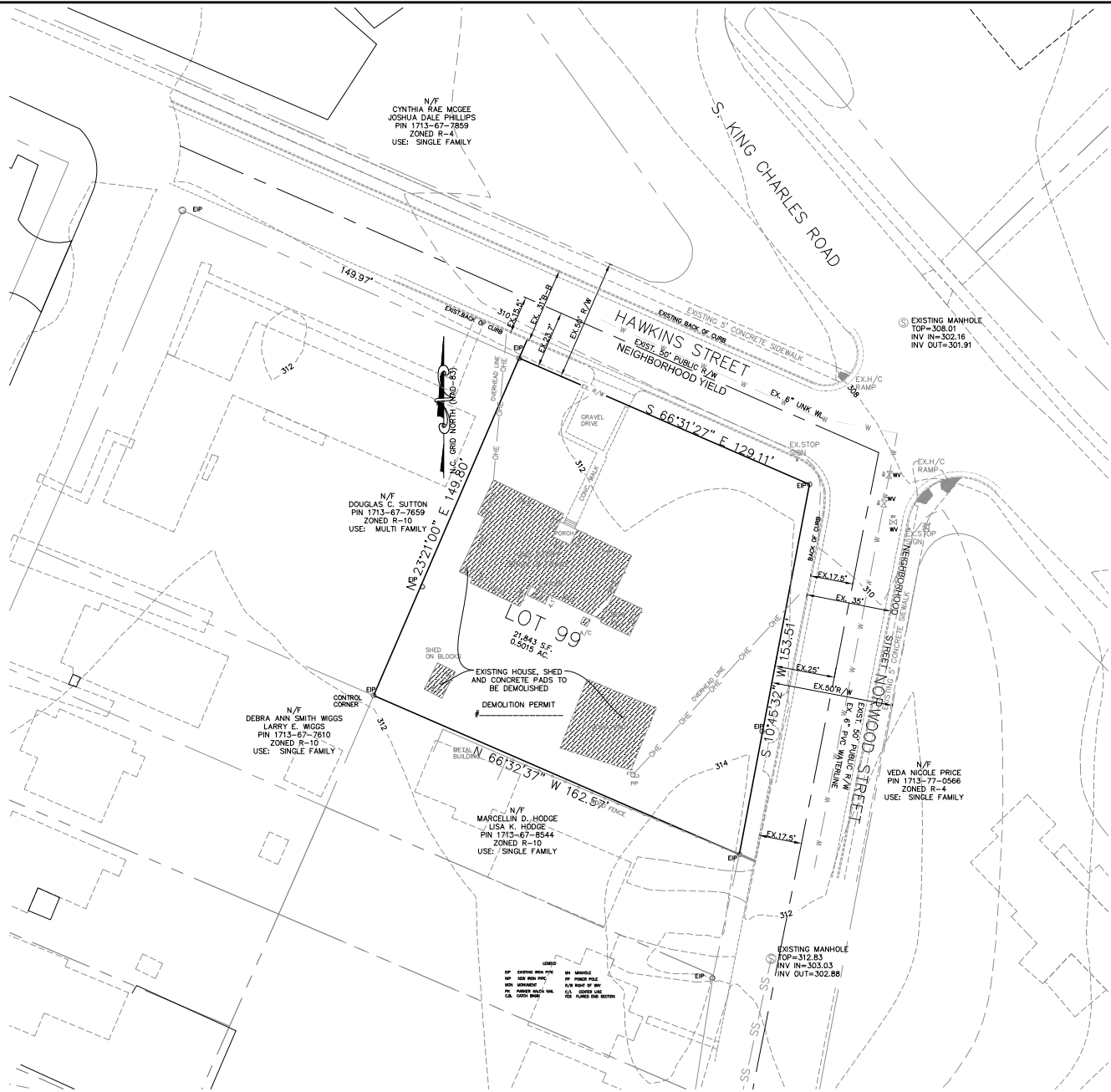
REV.03/25/24 PER COR COMMENTS

TITLE SHEET

DWG NAME:  
 2208HAWKINS ASR1  
 DRAWN: PDH  
 CHECKED: PDH  
 PLAN DATE: 10/18/23  
 DATE ISSUED: 03/25/24  
 SCALE: NTS

Former Approvals:  
 SUB-0068-2020; SPR-0221-2021

ASR-1



**LEGEND**

- Existing Iron Pipe
- ⊕ Fire Hydrant
- ⊕ Utility Pole
- ⊕ Sanitary Sewer Manhole
- ⊕ Water Valve
- ⊕ Proposed Water Meter
- ⊕ Proposed Sewer Clean Out
- ⊕ Existing Water Meter
- ⊕ Existing Sewer Clean Out

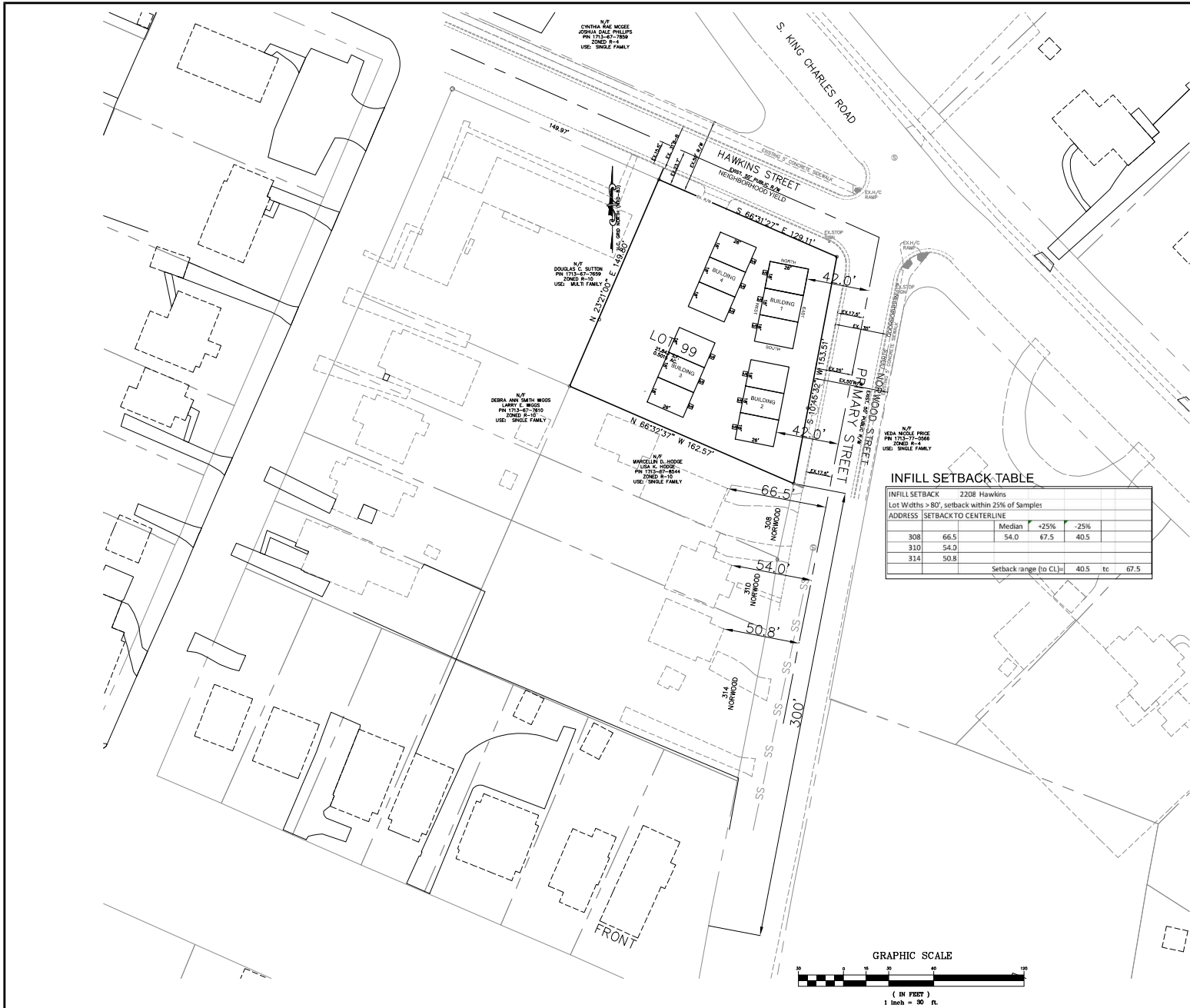
CMS Engineering, PLLC  
 9320 St. John's Church Road  
 Zebulon, NC 27597  
 PHONE: 919.486.9999  
 EMAIL: info@cmseng.com

2208 HAWKINS STREET  
 TOWNHOMES  
 ADMINISTRATIVE SITE REVIEW  
 RALEIGH, NC

REVISIONS

EXISTING CONDITIONS

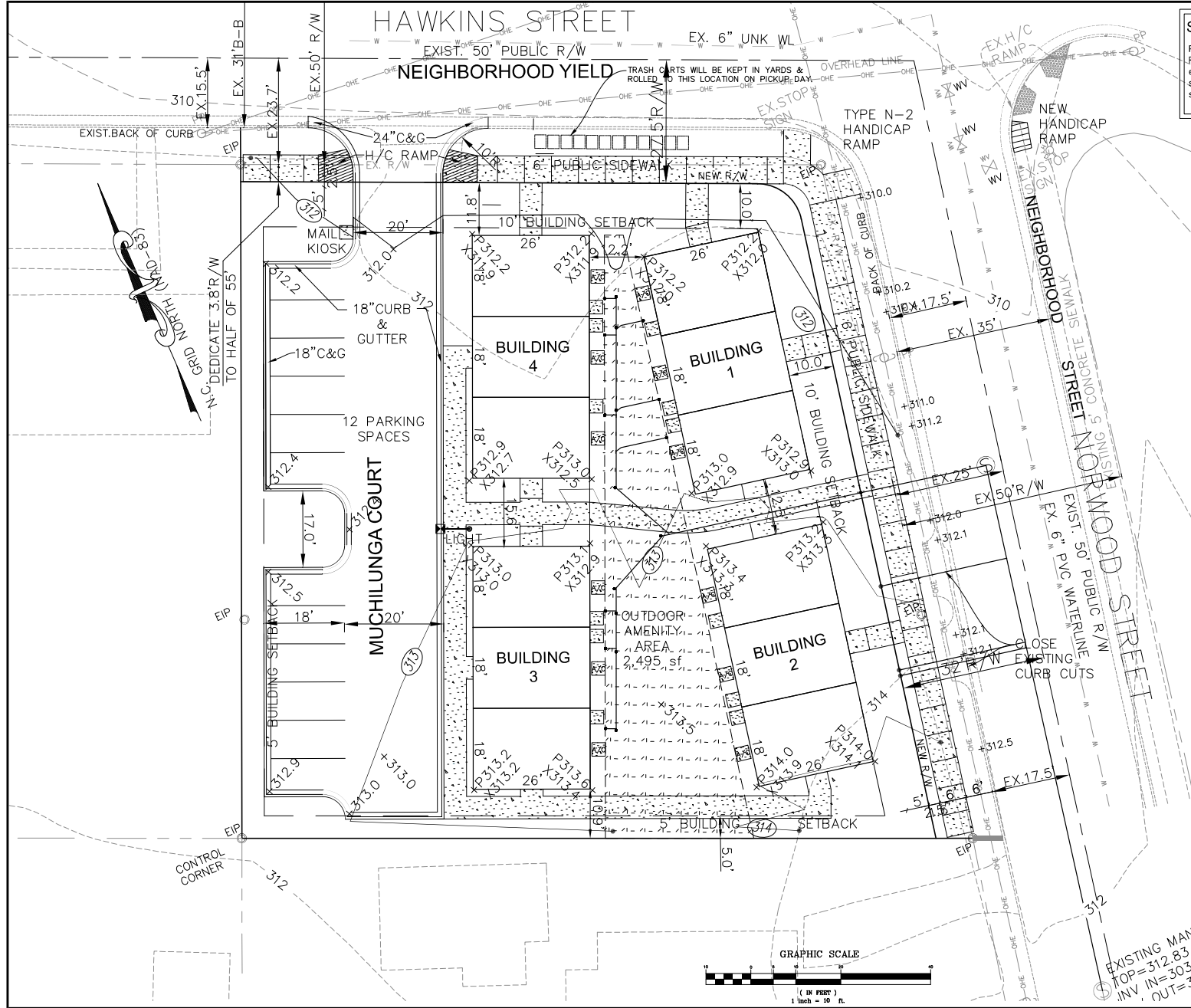
DWG NAME: 2208HAWKINS 0201  
 DRAWN: PDH  
 CHECKED: PDH  
 PLAN DATE: 10/18/23  
 DATE ISSUED: 03/25/24  
 SCALE: 1"=20'  
 ASR-2



INFILL SETBACK TABLE

INFILL SETBACK		2208 Hawkins		
ADDRESS		Setback within 25% of Sampler		
ADDRESS	SETBACK TO CENTERLINE	Median	+25%	-25%
308	66.5	54.0	67.5	40.5
310	54.0			
314	50.8			
		Setback range (to CL)	40.5	tc 67.5





**STORMWATER EXEMPTION:**  
 Per section 9.2.2.A.2.b.ii subject to 4.a. of the Part 10A Raleigh Unified Development Ordinance, these lots are exempt from active stormwater control measures and subject to further review upon placement of impervious surface.

2208 Hawkins Street	
Lot Area	21,843 sf
<b>Existing Impervious</b>	
House & Porches	2,204 sf
Deck @ 50%	79 sf
Shed	98 sf
DW/SW/Conc	1,652 sf
<b>Total</b>	<b>4,033 sf</b>

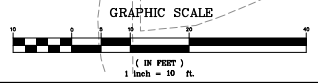
Proposed Building	
% Impervious	56.5%
Lot Area	21,843 sf

parking	4,737 sf
bldg 1	1,404 sf
bldg 2	1,404 sf
bldg 3	1,404 sf
bldg 4	1,404 sf
on-site sidewalk	1,773 sf
back stoops	108 sf
ac pads	108 sf
mail	9 sf
<b>Total</b>	<b>12,351 sf</b>
max imp 65%	14,198

- LEGEND**
- Computer Print
  - Existing Iron Pipe
  - ⊗ Fire Hydrant
  - ⊕ Utility Pole
  - ⊙ Sanitary Sewer Manhole
  - ⊗ Water Valve
  - ⊙ Proposed Water Meter
  - ⊙ Proposed Sewer Clean Out

**N.C. UNDERGROUND UTILITIES**  
 3 DAYS BEFORE DIGGING CALL 811  
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



EXISTING MANHOLE  
 TOP=312.85  
 INV. IN=303.  
 OUT=31

**CMS Engineering, PLLC**  
 9320 St. John's Church Road  
 Zebulon, NC 27597  
 PHONE: (919) 210-5699  
 EMAIL: patt.clements@gmail.com

2208 HAWKINS STREET  
 TOWNHOMES  
 ADMINISTRATIVE SITE REVIEW  
 RALEIGH, NC

**REVISIONS**  
 REV 02/24 PER COR COMMENTS  
 REV 03/25/24 PER COR COMMENTS

**SITE & GRADING PLAN**

DWG NAME: 2208HAWKS 0891  
 DRAWN: PDH  
 CHECKED: PDH  
 PLAN DATE: 10/18/23  
 DATE ISSUED: 03/25/24  
 SCALE: 1"=20'

ASR-4

# HAWKINS STREET

NEIGHBORHOOD YIELD

**STORMWATER EXEMPTION:**  
 Per section 9.2.2.A.2.b.ii subject to 4.a. of the Part 10A Raleigh Unified Development Ordinance, these lots are exempt from active stormwater control measures and subject to further review upon placement of impervious surface.

**LEGEND**

- Concrete Point
- Existing Iron Pipe
- Exc. Hydrant
- Exc. Utility Pipe
- Sanitary Sewer Manhole
- Water Valve
- Water Proposed Meter Meter
- Proposed Sewer Clean Out

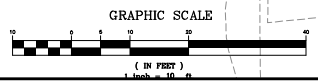
**CMS Engineering, PLLC**  
 9320 St. John's Church Road  
 Zebulon, NC 27597  
 PHONE: (919) 210-5899  
 EMAIL: paul.cmsengr@gmail.com

8667

- STANDARD UTILITY NOTES (as applicable):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
  - Utility separation requirements:
    - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 2' from a private well or 50' from a public well
    - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main is a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
    - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
    - 3.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
    - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
    - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
  - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
  - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
  - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
  - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
  - Install 1/2" copper\* water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. *NOTE: it is the applicant's responsibility to properly size the water service for each connection and provide adequate flow & pressure.*
  - Install 4" PVC\* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
  - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
  - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
  - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
  - Grade Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 250-7825 or [timothy.beasley@raleighnc.gov](mailto:timothy.beasley@raleighnc.gov) for more information
  - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Helvey at (919) 212-5923 or [joanie.helvey@raleighnc.gov](mailto:joanie.helvey@raleighnc.gov) for more information

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**N.C. UNDERGROUND UTILITIES**  
 3 DAYS BEFORE DIGGING CALL 811  
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY



EXISTING MANHOLE  
 TOP=312.83  
 INV IN=303.03  
 INV OUT=302.88

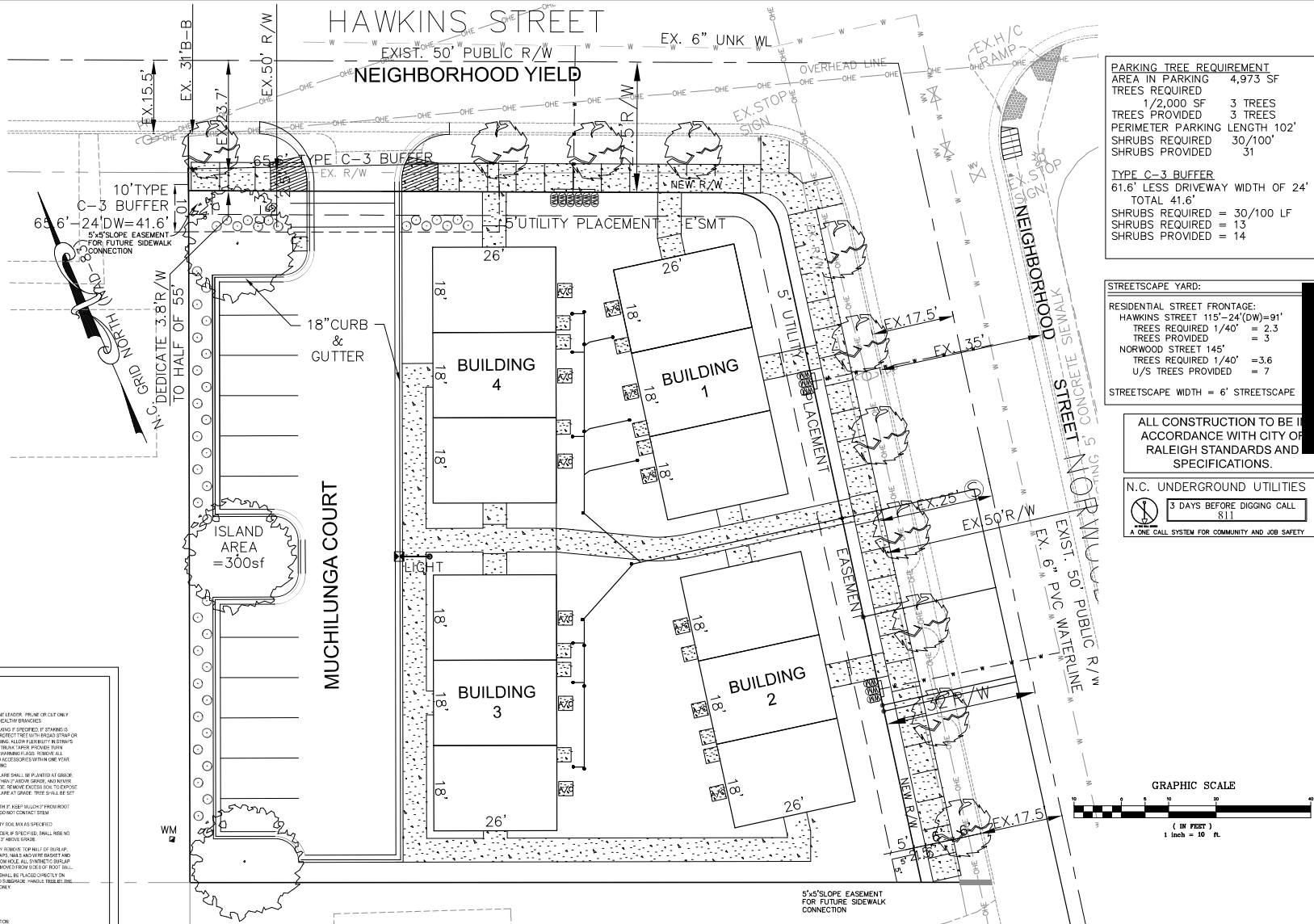
2208 HAWKINS STREET  
 TOWNHOMES  
 ADMINISTRATIVE SITE REVIEW  
 RALEIGH, NC

**REVISIONS**

REV 02/14/24	PER COR COMMENTS
REV 03/25/24	PER COR COMMENTS

**UTILITY PLAN**

DWG NAME:	2208HAWKINS ASR1
DRAWN:	PDH
CHECKED:	PDH
PLAN DATE:	10/18/23
DATE ISSUED:	03/25/24
SCALE:	1"=10'
ASR-5	



**PARKING TREE REQUIREMENT**

AREA IN PARKING	4,973 SF
TREES REQUIRED	1/2,000 SF
TREES PROVIDED	3 TREES
PERIMETER PARKING LENGTH 102'	3 TREES
SHRUBS REQUIRED	30/100'
SHRUBS PROVIDED	31

**TYPE C-3 BUFFER**

61.6' LESS DRIVEWAY WIDTH OF 24'  
TOTAL 41.6'

SHRUBS REQUIRED =	30/100 LF
SHRUBS PROVIDED =	13
SHRUBS PROVIDED =	14

**STREETSCAPE YARD:**

**RESIDENTIAL STREET FRONTAGE:**

HAWKINS STREET 115'-24'(DW)=91'	
TREES REQUIRED 1/40' =	2.3
TREES PROVIDED	3

**NORWOOD STREET 145'**

TREES REQUIRED 1/40' =	3.6
U/S TREES PROVIDED	7

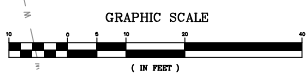
**STREETSCAPE WIDTH = 6' STREETSCAPE**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**N.C. UNDERGROUND UTILITIES**

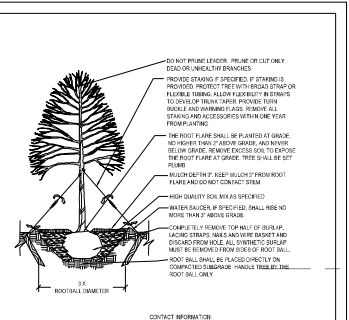
3 DAYS BEFORE DIGGING CALL 811

A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY



**LEGEND**

Computer Point	Existing Iron Pipe
Fire Hydrant	Utility Pole
Sanitary Sewer Manhole	Water Valve
Proposed Water Meter	Proposed Sewer Clean Out



CONTRACT INFORMATION  
CITY OF RALEIGH, PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT, URBAN FORESTRY, TREE@RALEIGH.GOV  
WWW.RALEIGH.GOV

**CITY OF RALEIGH**

PLANTING SCHEDULE

DATE	APPROVED
DATE	APPROVED

TREE PLANTING SHEET  
**TPP-03**

**LANDSCAPE PLANTING SCHEDULE**

QTY	COMMON	SCIENTIFIC	SIZE @ PLANTING	MATURE HT / CROWN SPREAD
3	SUGAR MAPLE or approved equal	ACER SACCHARUM	3" CAL 10' HT	50-75' / 30-40'
11	FLOWERING DOGWOOD SINGLE STEM or approved equal	CORNUS FLORIDA	1.5" CAL 6-8 HT	15-30' HT / 15-20' SPREAD
45	SOFT TOUCH JAPANESE HOLLY or approved equal	ILEX CRENATA 'SOFT TOUCH'	18"	3' / 3'

**PLANTING STANDARDS:**

- ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
  - AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300, AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42nd STREET, NEW YORK, N.Y. 10036
  - AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z660.1, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET, NW, SUITE 500, WASHINGTON, DC 20005
  - HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM, 1976, MCMILLAN PUBLISHING CO., NEW YORK

**NOTES:**

- THIS PARCEL IS LESS THAN 2 ACRES THEREFORE COMPLIANCE WITH ARTICLE 9.1 TREE CONSERVATION IS NOT REQUIRED.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

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EMAIL: patti.cmseng@gmail.com

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**REVISIONS**

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**LANDSCAPE PLAN**

DWG NAME:  
2208HAWKINS ADR1

DRAWN:  
PDH

CHECKED:  
PDH

PLAN DATE:  
10/18/23

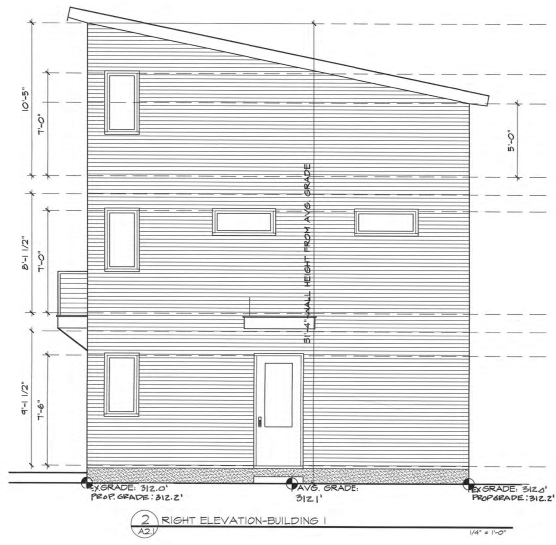
DATE ISSUED:  
03/25/24

SCALE: 1"=10'

ASR-6







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**Hawkins Street  
Condominiums**

date 11.24.21  
drafter D.A.S.  
checked by C.L.B.  
proj. no. T-20047.1  
revisions date

Elevations  
Building 1

**A2.1**



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**Hawkins Street  
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drafter D.A.S.  
checked by C.L.B.  
proj. no. T-20047.1  
revisions date

Elevations  
Building 2

**A2.2**



2208 Hawkins Street  
Raleigh, NC

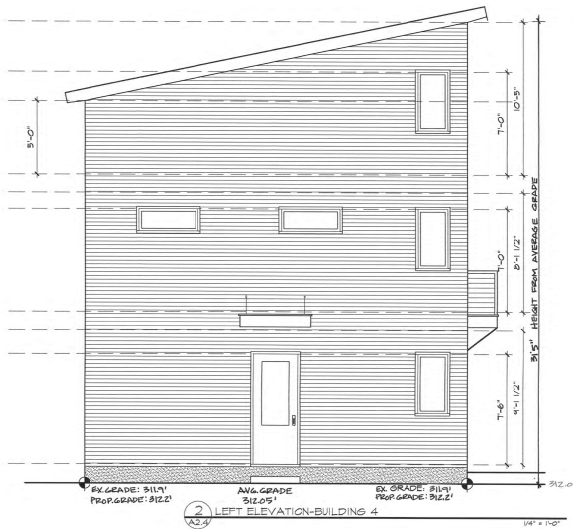
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**Hawkins Street  
Condominiums**

date	10.13.23
drafter	D.A.S.
checked by	C.L.B.
proj. no.	T-23039.1
revisions	date

Elevations  
Building 3

A2.3



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proj. no. T-23039.1  
revisions date

Elevations  
Building 4

**A2.4**