



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: _____

Inside City limits? Yes No

Property address(es): _____

Site P.I.N.(s): _____

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s):

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder

Company: _____ Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

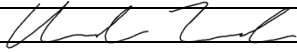
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

Administrative Site Review

Issued for	Review
Date Issued	September 23, 2024
Latest Issue	September 23, 2024

Calyx Senior Living at Southall

3104 Southall Road
Raleigh, NC 27604



Sheet Index

No.	Drawing Title	Latest Issue
C0.01	Legend and General Notes	September 23, 2024
C1.00	Existing Conditions & Demolition Plan	September 23, 2024
C2.00	Overall Site Plan	September 23, 2024
C2.01	ADA Accessibility Plan	September 23, 2024
C2.02	Truck Movement Plan	September 23, 2024
C3.00	Grading & Drainage Plan	September 23, 2024
C4.00	Utility Plan	September 23, 2024
C4.01	Apparatus Plan	September 23, 2024
C7.00	Site Details (1 of 2)	September 23, 2024
C7.01	Site Details (2 of 2)	September 23, 2024

Reference Drawings

No.	Drawing Title	Latest Issue
1 of 2 and 2 of 2	Topographic Survey	July 2, 2024
L-1 and L-2	LANDSCAPE PLAN	September 20, 2023
A4.1	EXTERIOR BUILDING ELEVATIONS	August 21, 2024

TRAFFIC CONTROL AND PEDESTRIAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL PRIOR TO THE START OF WORK. THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (INFA 13R) OR 250 FEET (INFA13). TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCFCS03.1.1). FIRE HYDRANT SHALL BE LOCATED WITHIN 300' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFCS03.1.1).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFCS03.1.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 NCFCS, SECTION 507.3

TREE CONSERVATION AND STORMWATER NOTES

- TREE CONSERVATION PLAN IS PROVIDED WITH SUB-0039-2024
- STORMWATER MANAGEMENT IS PROVIDED WITH SUB-0039-2024

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- THIS PROJECT HAS DUMPSTER FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

REFERENCES

- PRELIMINARY SUBDIVISION PLAN SUB-0039-2024.

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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Civic <input type="checkbox"/> Frequent Transit Development Option
	Subdivision case #: 248-039-2024 Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: 241-1988 Design Alternate #: _____

GENERAL INFORMATION

Development name: Calyx Senior Living at Southall
 Inside City limits? Yes No
 Property address(es): 3104 Southall Road, Raleigh, NC 27604
 Site P.I.N.(s): 1735114651
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
 Development of an approximately 48,000 square foot assisted living facility and associated infrastructure

Current Property Owner(s): Robert C. White Title: President
 Address: 9921 Waterview Road, Raleigh, NC 27604
 Phone #: _____ Email: _____
 Applicant Name (if different from owner. See "who can apply" in instructions): Charles Townsend
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: VHB Address: 940 Main Campus Drive, Suite 500, Raleigh NC 27606

Phone #: 919.741.5567 Email: ctownsend@vhb.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Marcos Vidal
 Company: Carillon Assisted Living Title: Vice President
 Address: 4901 Waters Edge Drive, Suite 200
 Phone #: 919.600.6416 Email: Marcos.vidal@carillonassistedliving.com

Applicant Name: Charles Townsend
 Company: VHB Raleigh Address: 940 Main Campus Drive, Suite 500, Raleigh, NC 27606
 Phone #: 919.741.5567 Email: ctownsend@vhb.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning (districts) (please provide the acreage of each): OX-3-CU: 5.72 AC	Existing gross floor area (not to be demolished): 0 SF
Gene site acreage: 5.72 AC	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 64	New gross floor area: 48,245 SF
Max # of parking permitted (7.1.2.C): N/A	Total # of gross (to remain and new): 48,245 SF
County District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Congregate Care	Proposed # of basement levels (UDO 1.6.7.A): 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing (sf) = _____ Proposed total (sf) 29,357	Impervious Area for Compliance (includes ROW): Existing (sf) = _____ Proposed total (sf) 29,327

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: # of bedroom units: 1br 2br 3br 4br or more	Total # of hotel bedrooms: # of lots: _____
Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	A frequent transit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Continue to Applicant Signature Block on Page 4.

SITE DATA TABLE FOR CALYX SENIOR LIVING AT SOUTHALL			
DATE: 9/3/2024			
EXISTING ADDRESS(ES)	3104 Southall Road Raleigh, NC 1735114651		
PINS:	OX-3-CU		
ZONING(S)	OX-3-CU		
OVERLAY DISTRICT	N/A		
SITE GROSS ACREAGE	249,098 SF	5.72 AC	
EXISTING IMPERVIOUS AREA	0.00 SF	0.00 AC	
EXISTING USE	Vacant		
PROPOSED PRINCIPAL USE	Congregate Care		
Assisted Living	48,245 GSF		
Civic Building GSF	48,245 GSF		
UDO Art. 2.2 Conventional Development OX-3-CU			
A SITE			
A1 AREA (MIN)	10,000 SF	846,104 SF	
B OPEN SPACE			
B1 REQUIRED (MIN)	20% OR 1 ACRE (WHICHEVER IS GREATER)	N/A SF	N/A SF (As labeled & includes TCA)
B2 WIDTH (MIN)	N/A FT	N/A FT	
C TREE CONSERVATION AREA (TCA)			
C1 REQUIRED (MIN)	10%	24910 SF	80232 SF
UDO Sec. 2.2.5 Civic Building			
A LOT DIMENSIONS			
A1 AREA (MIN)	10,000 SF	249,098 SF	
A2 WIDTH (MIN)	65 FT	423 FT	
B BUILDING/STRUCTURE SETBACKS			
B1 FROM PRIMARY STREET (MIN)	20 FT	20 FT	
B2 FROM SIDE STREET (MIN)	20 FT	20 FT	
B3 FROM SIDE LOT LINE (MIN)	10 FT	10 FT	
B4 FROM REAR LOT LINE (MIN)	30 FT	30 FT	
C PARKING SETBACKS			
C1 FROM PRIMARY STREET (MIN)	20 FT	20 FT	
C2 FROM SIDE STREET (MIN)	10 FT	10 FT	
C3 FROM SIDE LOT LINE (MIN)	10 FT	10 FT	
C3 FROM REAR LOT LINE (MIN)	10 FT	10 FT	
D MAX HEIGHT			
D1 PRINCIPAL BUILDING (MAX)	40' (3 Stories)	28.5 FT	
D2 ACCESSORY STRUCTURE (MAX)	26 FT	N/A FT	
D3 RESIDENTIAL INFILL RULES MAY APPLY	YES		
UDO Art. 7.1 PARKING			
RESIDENTIAL (Congregate Care / Nursing Home)			
No Maximum Vehicle Parking			
TOTAL VEHICLE PARKING REQUIRED (MAX)	0 SP	64 SP	
ADA PARKING REQUIRED (MIN)			
2% OF TOTAL PARKING PROVIDED	2.00% X	64 = 1.3 SP	4 SP
ADA VAN ACCESSIBLE PARKING REQUIRED (MIN)			
16.7% OF TOTAL ADA PARKING SPACES	16.70% X	4 = 0.7 SP	4 SP
SHORT-TERM BICYCLE PARKING (No Maximum)			
TOTAL SHORT-TERM BICYCLE PARKING REQUIRED	0 SP	0 SP	
LONG-TERM BICYCLE PARKING (No Maximum)			
TOTAL LONG-TERM BICYCLE PARKING REQUIRED	0 SP	0 SP	

REZONING CONDITIONS

- FOR REIMBURSEMENT PURPOSES, RIGHT-OF-WAY FOR RALEIGH BOULEVARD AND SOUTHWALL ROAD SHALL REMAIN AT R-4 VALUES.
- UPON DEVELOPMENT, THE RATE OF STORMWATER RUNOFF WILL COMPLY WITH CR-7107.
- VOLUNTARY CONDITIONS APPLICABLE TO PARCEL A OF THE SUBJECT PROPERTY (PIN #1735.17.11.4397) AS SHOWN ON EXHIBIT A ATTACHED, (BY THE JOHN R. MACADAMS COMPANY, DATED 10/9/98).
 - ALL BUILDINGS SHALL BE RESTRICTED TO A MAXIMUM THREE (3) STORES IN HEIGHT AND A MAXIMUM OF FIFTY (50) IN HEIGHT.
 - NO MORE THAN (2) ACCESS POINTS SHALL BE PERMITTED FROM RALEIGH BOULEVARD AND NOT MORE THAN (2) ACCESS POINTS SHALL BE PERMITTED FROM SOUTHWALL ROAD.
 - NO MULTI-FAMILY DWELLING DEVELOPMENT WILL BE PERMITTED ON THIS PARCEL.
 - THE TRANSITIONAL PROTECTIVE YARD ON THE SUBJECT PROPERTY (PIN #1735.17.11.4397) SHALL BE TWENTY-FIVE FEET (25') IN WIDTH WHERE ADJACENT TO PARCEL #1735.22.1837 AND PARCEL #1735.32.2085.
 - THE TWENTY FEET (20') NEAREST THE COMMON PROPERTY LINE SHALL REMAIN UNDISTURBED AND ACTIVELY PROTECTED WITH THE EXCEPTIONS THAT: 1) PLANTING MATERIALS MAY BE PLACED WITHIN THIS UNDISTURBED AREA WHEN SUCH MATERIALS ARE NEEDED TO AUGMENT THE EXISTING VEGETATION IN ORDER TO SATISFY THE MINIMUM QUANTITY AND SIZE PLANTING REQUIREMENTS OF A TWENTY FEET (20') TRANSITIONAL PROTECTIVE YARD WITHOUT FENCES IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS OF THE CITY OF RALEIGH, AND 2) DRAINAGE UTILITIES WHEN REQUIRED BY THE CITY OF RALEIGH.
 - THE REMAINING FIVE FEET (5') OF THE TRANSITIONAL PROTECTIVE YARD MAY BE DISTURBED AS NEEDED FOR PERMITTED GRADING AND CONSTRUCTION ACTIVITY AND IF DISTURBED SHALL BE LANDSCAPED WITH PLANTING MATERIALS IN QUANTITIES AND SIZES THAT MEET THE CITY OF RALEIGH STANDARDS FOR TRANSITIONAL PROTECTIVE YARDS WITHOUT FENCES.
 - A TRANSITIONAL PROTECTIVE YARD TWENTY-FIVE (25') IN WIDTH SHALL BE PROVIDED ON THE SUBJECT PROPERTY (PIN #1735.17.11.4397) WHERE ADJACENT TO REMAINDER PARCEL C OF THE SUBJECT PROPERTY, AS SHOWN ON EXHIBIT A ATTACHED HERETO.
 - THE TWENTY-FIVE FEET (25') NEAREST THE COMMON ZONING LINE SHALL REMAIN UNDISTURBED AND ACTIVELY PROTECTED WITH THE EXCEPTIONS THAT IF A ROADWAY AND ROADWAY RIGHT-OF-WAY IS REQUIRED BY THE CITY OF RALEIGH FOR THE PROVISION OF ROADWAY AND/OR UTILITY ACCESS TO PARCEL #1735.22.1837 THEN THERE SHALL BE PROVIDED A PLANTED TRANSITIONAL PROTECTIVE YARD OF TWENTY-FIVE FEET (25') IN WIDTH LOCATED ON THE SOUTHERN SIDE OF SUCH ROADWAY. THIS TRANSITIONAL PROTECTIVE YARD SHALL SATISFY THE MINIMUM QUANTITY AND SIZE PLANTING REQUIREMENTS OF A TWENTY FEET (20') TRANSITIONAL PROTECTIVE YARD WITHOUT FENCES IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS OF THE CITY OF RALEIGH.
 - A SIX (6) TO EIGHT (8) FEET HIGH CLOSED FENCE WILL BE INSTALLED ON THE SUBJECT PROPERTY AT A DISTANCE OF TWENTY FEET (20') FROM THE COMMON PROPERTY LINE SHARED BY PARCEL #1735.17.11.4397 AND PARCEL #1735.22.1837. A FINISHED SIDE SHALL FRONT PARCEL #1735.22.1837.
 - A PERIMETER POLE LIGHTING WITHIN FORTY-FIVE FEET (45') OF PARCEL #1735.22.1837, PARCEL #1735.32.2085, AND PARCEL C OF THE SUBJECT LOT AS SHOWN ON EXHIBIT A ATTACHED TO THIS LIST OF VOLUNTARY USE CONDITIONS SHALL NOT EXCEED TWELVE FEET (12') IN HEIGHT AND SHALL MEET THE REQUIREMENTS FOR SHIELDING RESIDENTIAL PROPERTY FROM THE EFFECTS OF NON-RESIDENTIAL LIGHTING CONTAINED IN SECTION 10-2089 OF THE DEVELOPMENT REGULATIONS OF THE CITY OF RALEIGH.
 - THE REMAINING CONDITIONS APPLICABLE TO PARCEL B OF THE SUBJECT PROPERTY (PIN #1735.17.11.4397) AS SHOWN ON EXHIBIT A ATTACHED, (BY THE JOHN R. MACADAMS COMPANY, DATED 10/9/98).
 - ALL BUILDINGS SHALL BE RESTRICTED TO A MAXIMUM OF TWO (2) STORES IN HEIGHT AND A MAXIMUM OF THIRTY FEET (30') IN HEIGHT.
 - NO MORE THAN ONE (1) ACCESS POINT SHALL BE PERMITTED FROM RALEIGH BOULEVARD AND NO MORE THAN TWO (2) ACCESS POINTS SHALL BE PERMITTED FROM SOUTHWALL ROAD.
 - NO MULTI-FAMILY DWELLING DEVELOPMENT WILL BE PERMITTED ON THIS PARCEL.
 - NO BUILDING SHALL BE LOCATED CLOSER THAN ONE HUNDRED TEN FEET (110') TO ADJOINING PARCEL #1735.01.5288.
 - PAVED SURFACES FOR USE BY MOTOR VEHICLES SHALL BE DESIGNED AND LANDSCAPED WITH PLANT MATERIALS SO THAT THEY ARE NOT VISIBLE FROM PARCEL #1735.01.5288 OR PARCEL #1735.01.7727.
 - PERIMETER POLE LIGHTING WITHIN 100 FEET (100') OF PARCEL #1735.01.5288 OR PARCEL #1735.01.7727 OR WITHIN 45 FEET (45') OF PARCEL C OF THE SUBJECT LOT AS SHOWN ON EXHIBIT A ATTACHED HERETO SHALL NOT EXCEED TWELVE (12') IN HEIGHT AND SHALL MEET THE REQUIREMENTS FOR SHIELDING RESIDENTIAL PROPERTY FROM THE EFFECTS OF NON-RESIDENTIAL DEVELOPMENT LIGHTING CONTAINED IN SECTION 10-2089 OF THE DEVELOPMENT REGULATIONS OF THE CITY OF RALEIGH.
 - A TRANSITIONAL PROTECTIVE YARD ON THE SUBJECT PROPERTY (PIN #1735.17.11.4397) SHALL BE TWENTY-FIVE (25') IN WIDTH WHERE ADJACENT TO REMAINDER PARCEL C OF THE SUBJECT PROPERTY AS SHOWN ON EXHIBIT A ATTACHED HERETO.
 - THE TWENTY FEET (20') NEAREST THE COMMON PROPERTY LINE SHALL REMAIN UNDISTURBED AND ACTIVELY PROTECTED WITH THE EXCEPTIONS THAT: 1) PLANTING MATERIALS MAY BE PLACED WITHIN THIS UNDISTURBED AREA WHEN SUCH MATERIALS ARE NEEDED TO AUGMENT THE EXISTING VEGETATION IN ORDER TO SATISFY THE MINIMUM QUANTITY AND SIZE PLANTING REQUIREMENTS OF A TWENTY FEET (20') TRANSITIONAL PROTECTIVE YARD WITHOUT FENCES IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS OF THE CITY OF RALEIGH, AND 2) DRAINAGE UTILITIES WHEN REQUIRED BY THE CITY OF RALEIGH.
 - THE REMAINING FIVE FEET (5') OF THE TRANSITIONAL PROTECTIVE YARD MAY BE DISTURBED AS NEEDED FOR PERMITTED GRADING AND CONSTRUCTION ACTIVITY AND IF DISTURBED SHALL BE LANDSCAPED WITH PLANTING MATERIALS IN QUANTITIES AND SIZES THAT MEET THE CITY OF RALEIGH STANDARDS FOR TRANSITIONAL PROTECTIVE YARDS WITHOUT FENCES.

Applicant

Marcos Vidal
4901 Waters Edge Drive
Suite 200
Raleigh, NC 27606
Telephone: 919.600.6416

Landscape Architect

TMTLA Associates
5011 Southpark Drive
Suite 200
Durham, NC 27713
919.484.8880

Owner

Robert C. White
The Macaw Group LLC
9921 Waterview Road
Raleigh, NC 27615

Engineer

VHB Engineering NC, P.C.
940 Main Campus Drive
Suite 500
Raleigh, NC 27606
Contact: Charles Townsend
Telephone: 919.741.5567
Email: ctownsend@vhb.com

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



Know what's below.
Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

vhb.com



VHB Engineering NC, P.C.
940 Main Campus Drive
Suite 500
Raleigh, NC 27606
919.829.0328
Corp. # C-3705



VHB Engineering NC, P.C.
940 Main Campus Drive
Suite 500
Raleigh, NC 27606
919.829.0328
Corp. # C-3705

Legend

Legend table with columns for Exist. and Prop. symbols and descriptions for various site features like property lines, pavements, curbs, catch basins, and utilities.

Abbreviations

Abbreviations table listing symbols and names for general items (ABAN, ACR, ADJ, etc.) and utility items (CB, CMP, CO, etc.).

Notes

- Notes 1-14 detailing contractor responsibilities, safety requirements, and site conditions.

Utilities

- Utilities 1-5 detailing requirements for existing utilities, conflicts, and installation standards.

Layout and Materials

- Layout and Materials 1-6 detailing dimensions, curbing, and construction layout requirements.

Demolition

- Demolition 1-5 detailing removal of existing features and site preparation requirements.

Erosion Control

- Erosion Control 1-5 detailing erosion control measures and sequencing requirements.

Existing Conditions Information

- Existing Conditions Information 1-2 detailing base plan and topography information.

Document Use

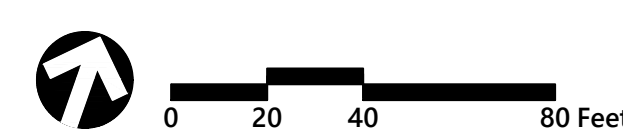
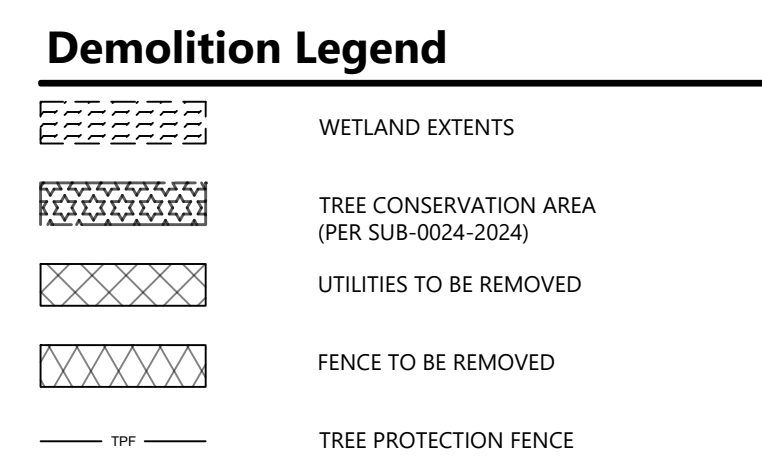
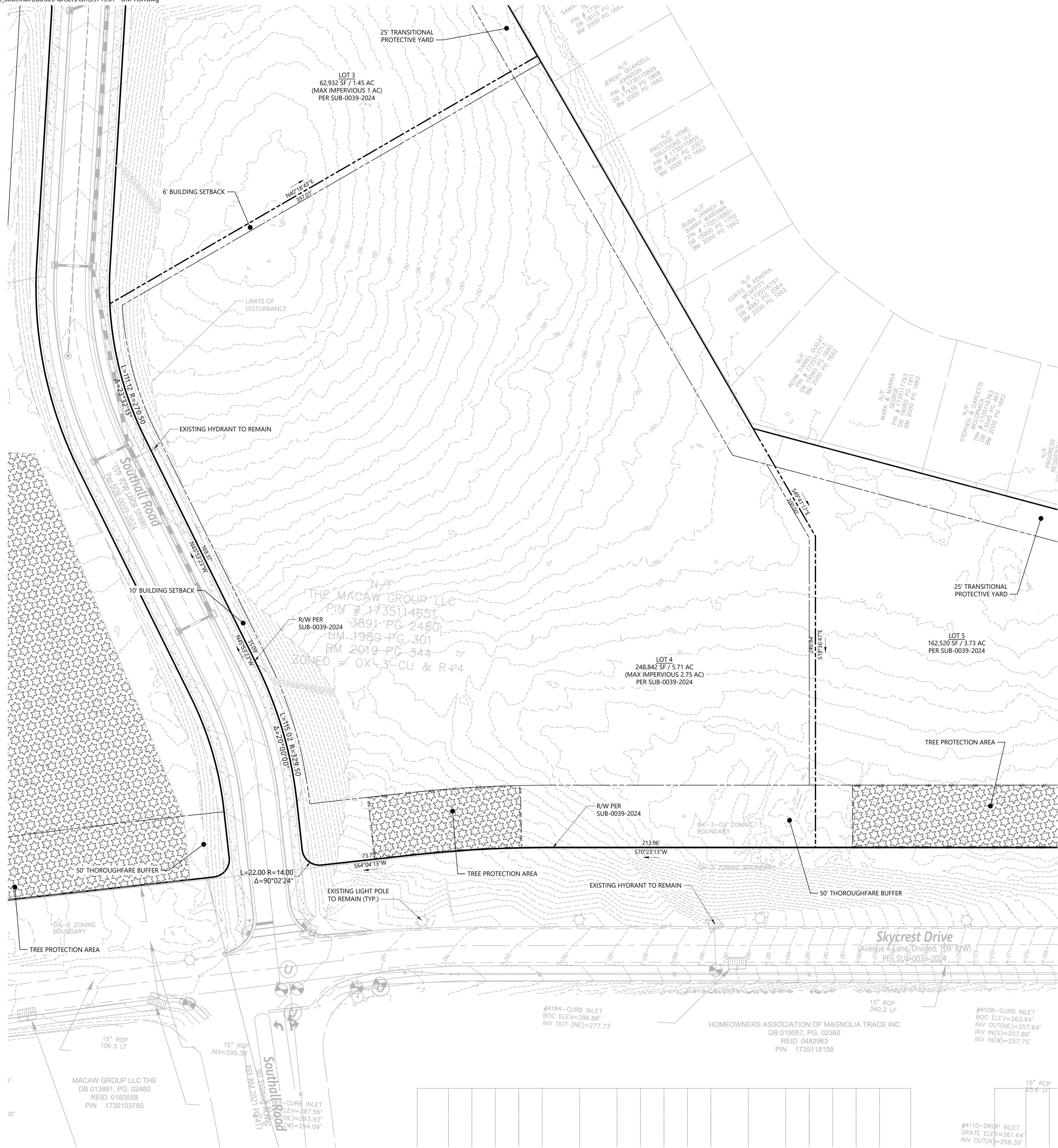
- Document Use 1-3 detailing the use of CADD documents and project features.

Calyx Senior Living
at Southall
3104 Southall Road
Raleigh, NC

Table with columns: No., Revision, Date, Apprd.

Designed by: REVIEW
Checked by: 09/23/2024

NOT FOR CONSTRUCTION
Legend & General Notes



Calyx Senior Living at Southall
 3104 Southall Road
 Raleigh, NC

No.	Revision	Date	App'd.

Designed by **DDH** Checked by **CT**
 Issued for **REVIEW** Date **09/23/2024**

NOT FOR CONSTRUCTION
 Drawing Title
Existing Conditions & Demolition Plan

Drawing Number
C1.00
 Sheet **3** of **11**
 Project Number
39715.01

Saved Wednesday, September 11, 2024 5:42:22 PM WSHERRILL Plotted Tuesday, September 24, 2024 1:46:42 PM Will Sherrill

General Notes

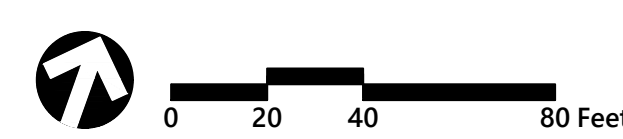
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY THE CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
5. PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY CANOY SURVEYING, THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY CANOY SURVEYING, ON MARCH 17, 2024.
6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
7. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
10. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
11. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
12. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
13. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
14. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
15. THE MINIMUM CORNER CLEARANCE FORM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAYS. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
16. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
17. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANS STANDARDS.
18. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
19. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
20. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
21. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
22. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
24. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
25. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

Legend

- CONCRETE SIDEWALK
- BUILDING PAD
- CONCRETE ADA SPACES
- TREE CONSERVATION AREA (PER SUB-0024-2024)
- SCM MAINTENANCE & ACCESS EASEMENT
- PUBLIC UTILITY EASEMENT
- STORM DRAINAGE EASEMENT
- TREE PROTECTION FENCE
- FIRE DEPARTMENT VEHICLE ACCESS LANE

Sign Summary

Number	Specification		Desc.
	Width	Height	
R1-1	30"	30"	
R7-8	12"	18"	
R7-8P	12"	6"	



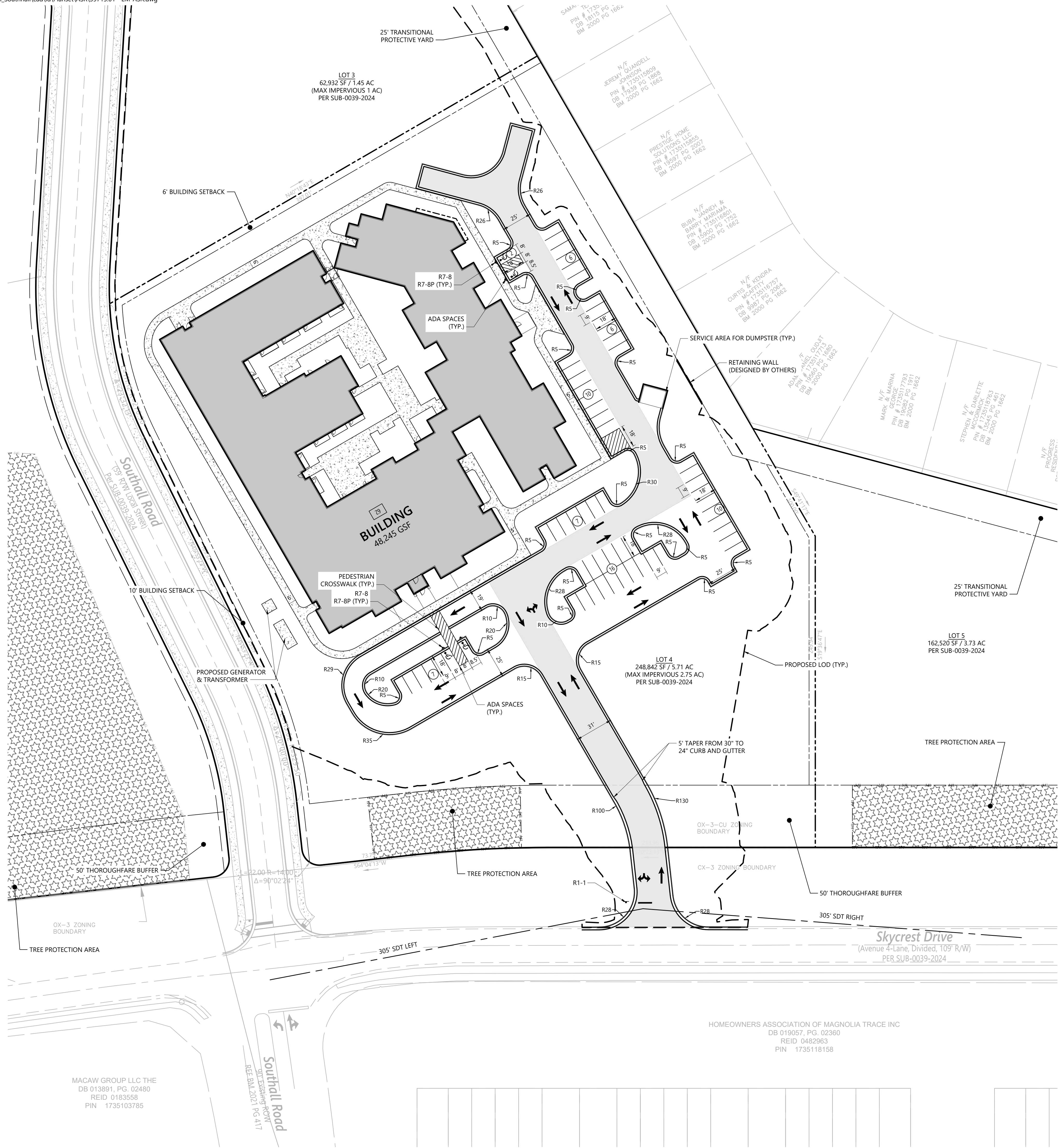
Calyx Senior Living at Southall
3104 Southall Road
Raleigh, NC

No.	Revision	Date	App'd.

Designed by: KH, WS, MW Checked by: CT
Issued for: REVIEW Date: 09/23/2024

NOT FOR CONSTRUCTION
Drawing Title: Overall Site Plan
Drawing Number: C2.00

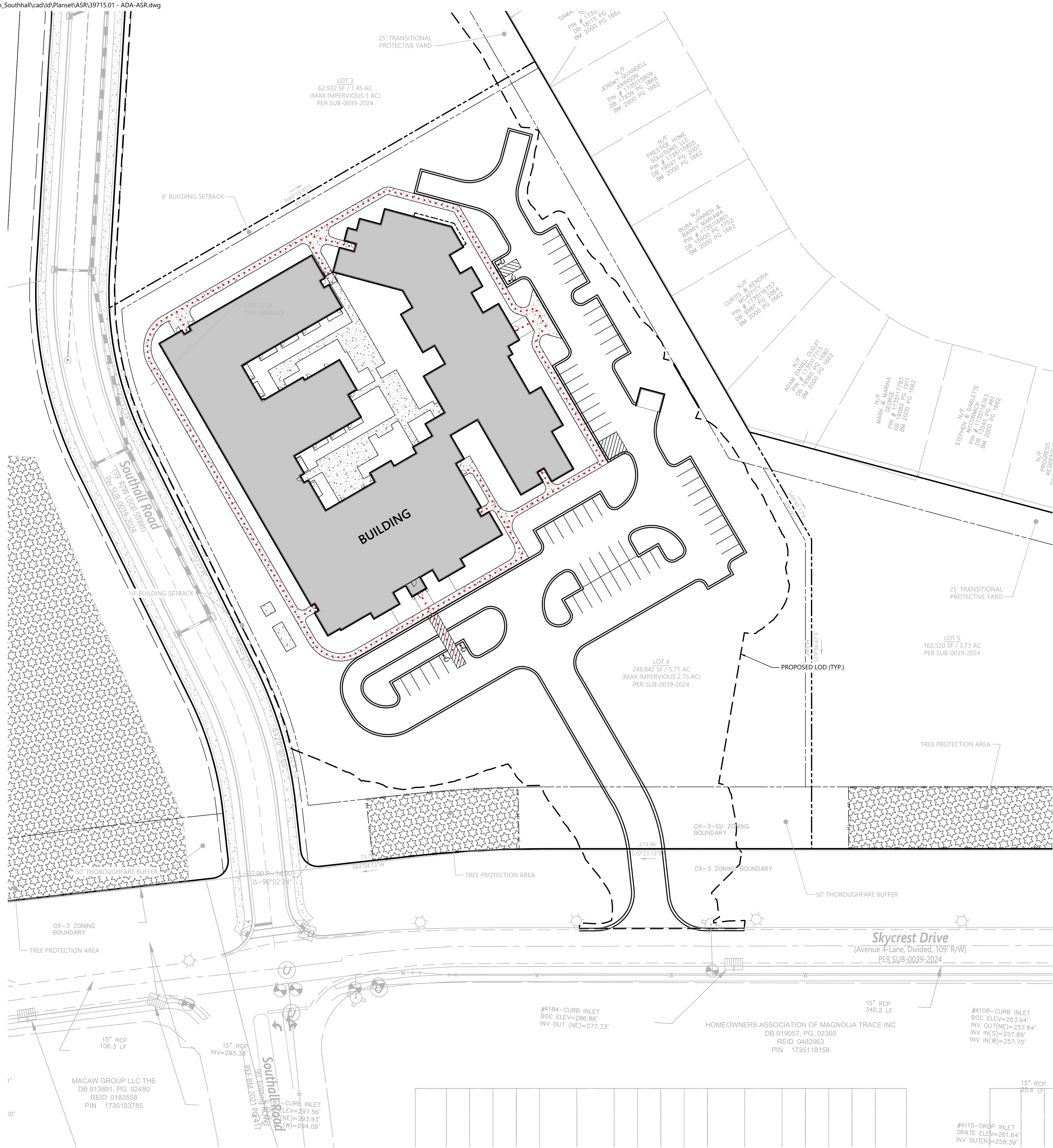
Sheet 4 of 11
Project Number: 39715.01



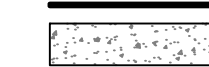



Saved Tuesday, September 24, 2024 1:41:43 PM WSHERRILL Plotted Tuesday, September 24, 2024 1:47:53 PM Will Sherrill

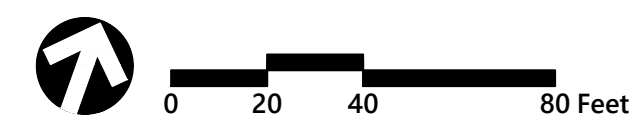
MACAW GROUP LLC THE
DB 013891, PG. 02480
REID 0183558
PIN 1735103785

HOMEOWNERS ASSOCIATION OF MAGNOLIA TRACE INC
DB 019057, PG. 02360
REID 0482963
PIN 1735118158



Legend

-  CONCRETE SIDEWALK
-  BUILDING PAD
-  TREE PROTECTION FENCE
-  ACCESSIBILITY ROUTE



**Calyx Senior Living
 at Southall**
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 Raleigh, NC

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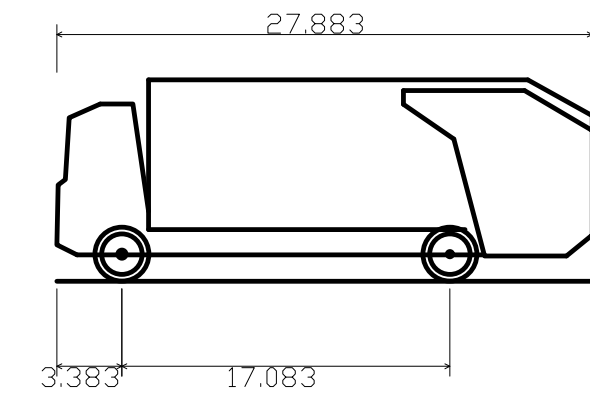
NOT FOR CONSTRUCTION

ADA Accessibility Plan

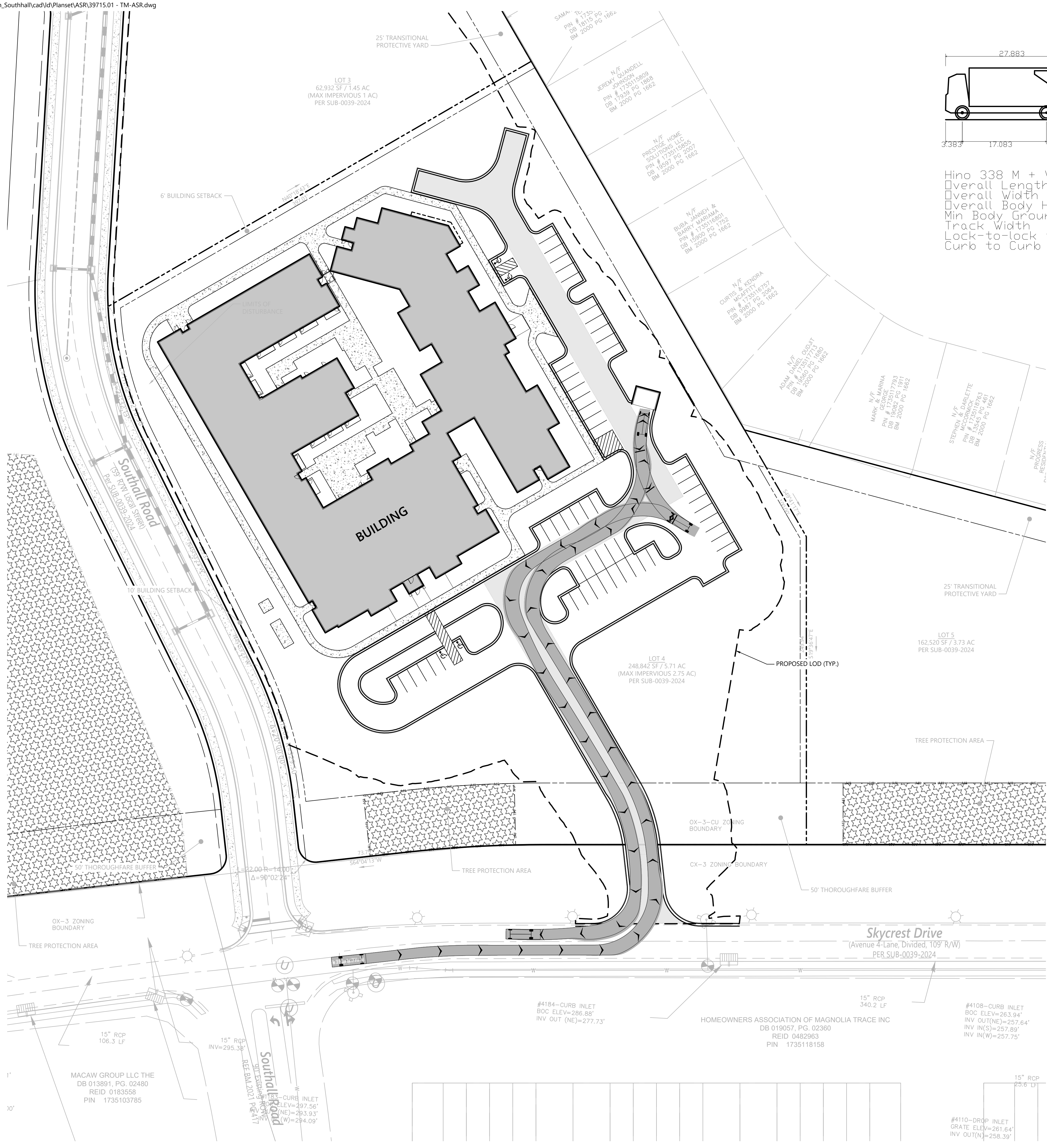
Drawing Number
C2.01
 Sheet 5 of 11
 Project Number
 39715.01



VHB Engineering NC, P.C.
 940 Main Campus Drive
 Suite 500
 Raleigh, NC 27606
 919.829.0328
 Corp. # C-3705

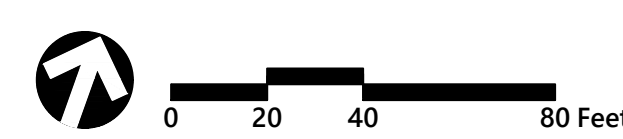


Hino 338 M + Wayne Royal GT14 Refuse Truck
 Overall Length 27.883ft
 Overall Width 8.042ft
 Overall Body Height 10.488ft
 Min Body Ground Clearance 1.318ft
 Track Width 8.042ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 27.400ft



Legend

	CONCRETE SIDEWALK
	BUILDING PAD
	TREE CONSERVATION AREA
	TREE PROTECTION FENCE
	FIRE DEPARTMENT VEHICLE ACCESS LANE



Calyx Senior Living at Southall
 3104 Southall Road
 Raleigh, NC

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NOT FOR CONSTRUCTION
 Drawing Title
Truck Movement Plan

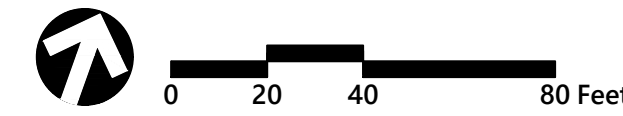
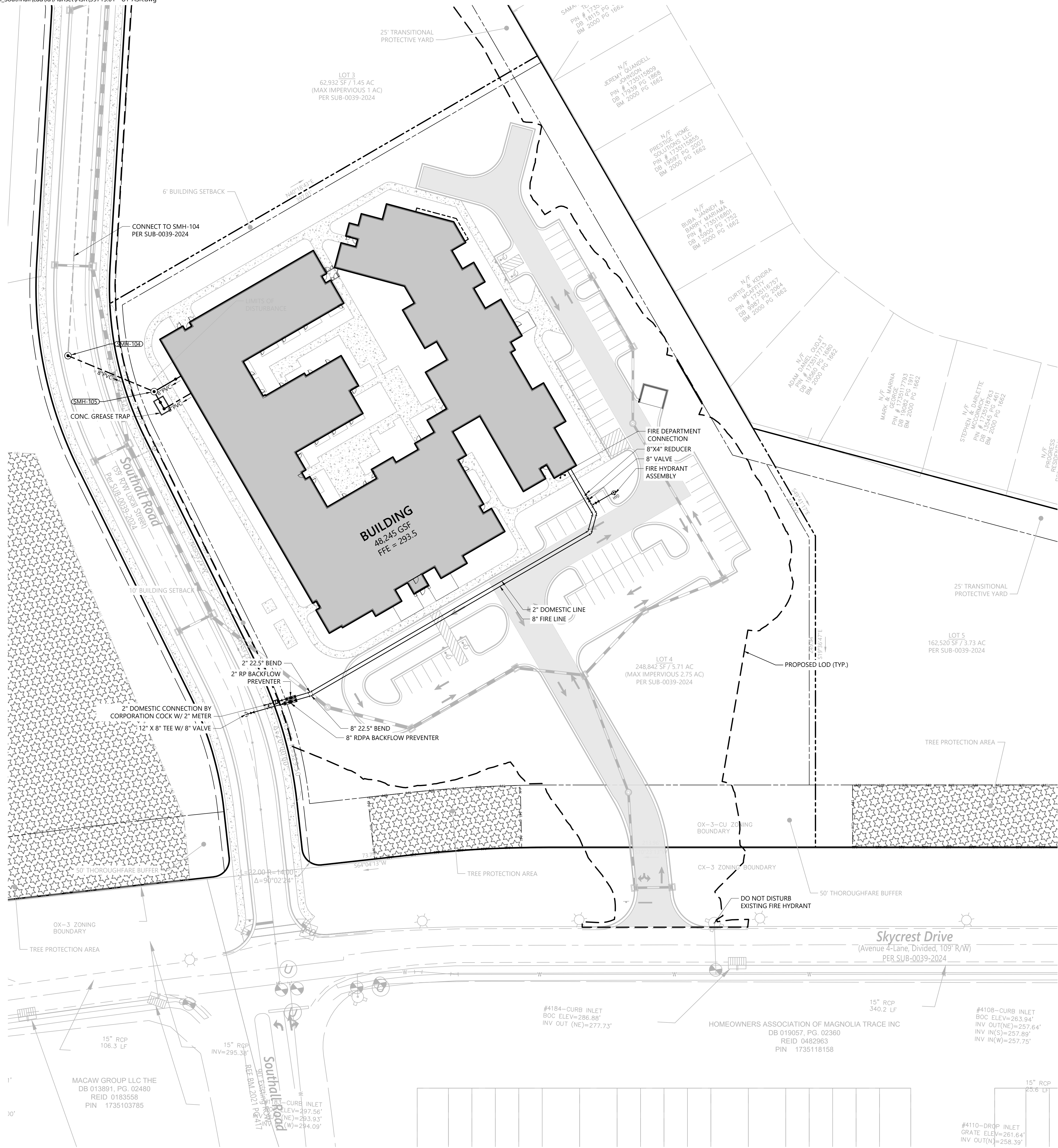
Drawing Number
C2.02
 Sheet 6 of 11
 Project Number
 39715.01



VHB Engineering NC, P.C.
940 Main Campus Drive
Suite 500
Raleigh, NC 27606
919.829.0328
Corp. # C-3705

Standard Utility Notes (As Applicable):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
3. UTILITY SEPARATION REQUIREMENTS:
4. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPROTECTED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS, HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
5. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
6. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
7. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
8. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
9. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
10. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
11. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
12. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
13. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
14. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
15. INSTALL 2" DUCTILE IRON® WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
16. INSTALL 8" PVC SEWER SERVICES @ .5% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
17. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MAN-HOLE
18. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
19. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
20. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION
21. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION



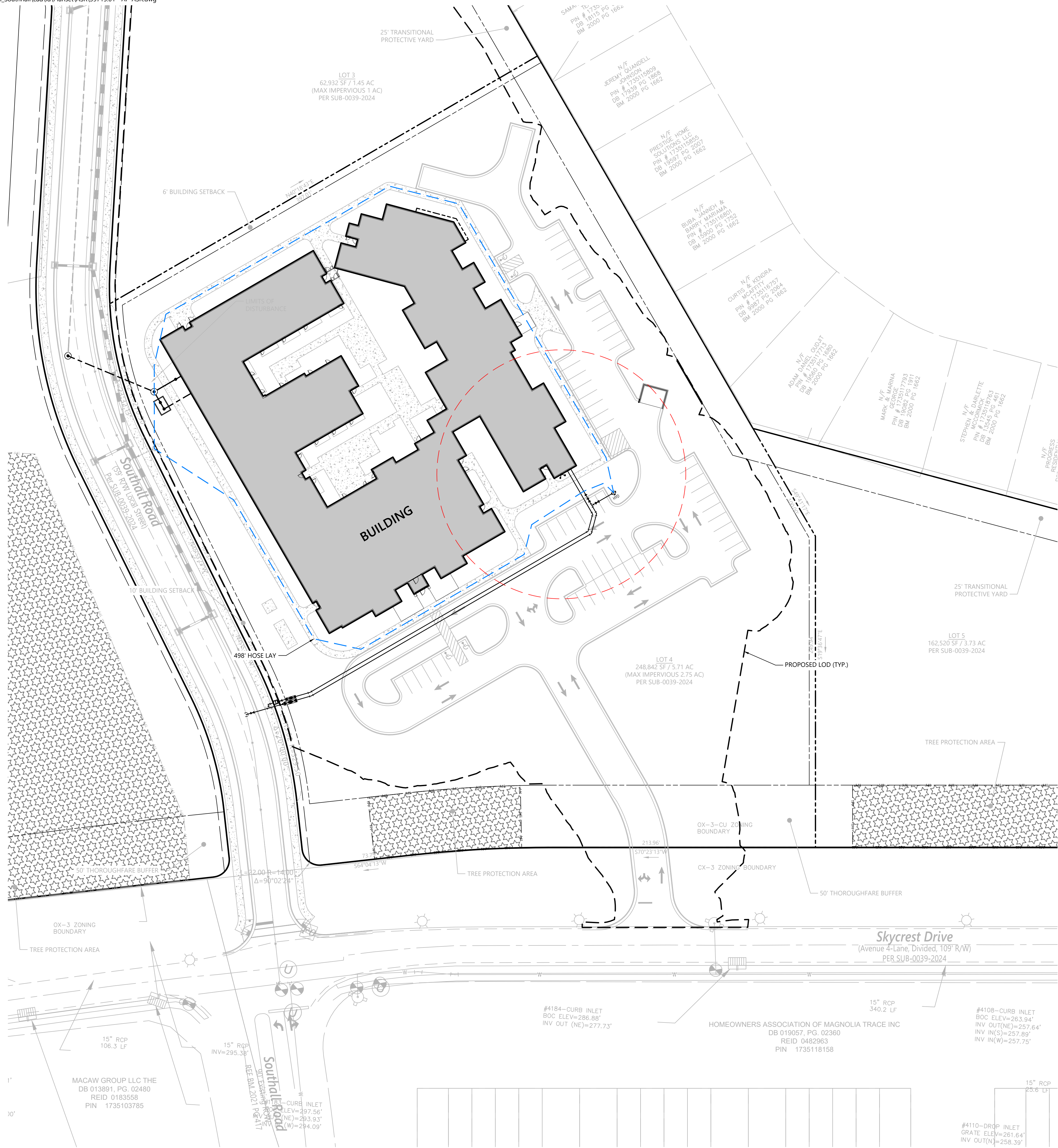
**Calyx Senior Living
at Southall**
3104 Southall Road
Raleigh, NC

No.	Revision	Date	App'd

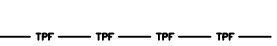


Designed by **KH, WS, MW** Checked by **CT**
Issued for **REVIEW** Date **09/23/2024**

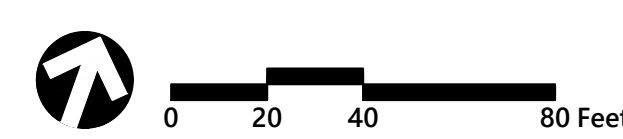
NOT FOR CONSTRUCTION
Drawing Title
Utility Plan
Drawing Number

C4.00
Sheet **8** of **11**
Project Number
39715.01



Legend

-  TREE PROTECTION FENCE
-  HOSE LAY
-  100' RADIUS AROUND FDC TO FHA



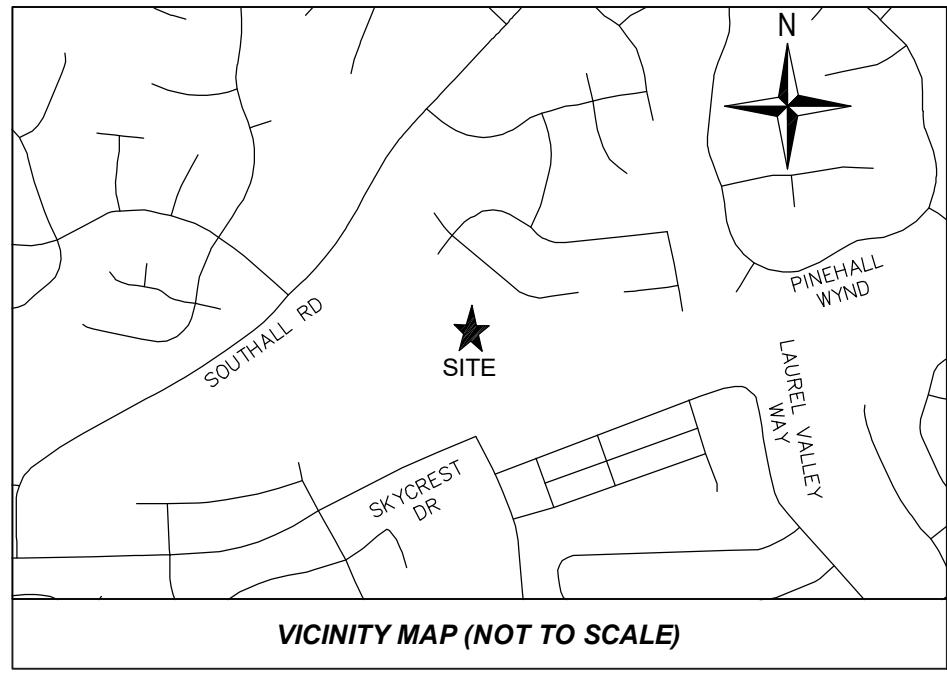
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 3104 Southall Road
 Raleigh, NC

No.	Revision	Date	App'd.

Designed by: KH, WS, MW Checked by: CT
 Issued for: REVIEW Date: 09/23/2024

NOT FOR CONSTRUCTION
 Drawing Title: **Apparatus Plan**
 Drawing Number: **C4.01**

Sheet **9** of **11**
 Project Number: **39715.01**



ABBREVIATION LEGEND

- IRF IRON REBAR FOUND
- IPF IRON PIPE FOUND
- N/F NOW OR FORMERLY
- CP COMPUTED POINT
- DB DEED BOOK
- BM BOOK OF MAPS

LINE LEGEND

- PROPERTY LINE (PL)
- - - PL NOT SURVEYED
- TIE LINE
- EDGE OF CONCRETE
- - - EASEMENT
- - - EDGE OF GRAVEL
- - - EDGE OF RIPRAP
- - - CHAIN-LINK FENCE
- - - WOODEN FENCE
- - - WIRE FENCE
- - - CENTERLINE OF ROAD
- - - CHAIN-LINK FENCE
- - - OVERHEAD UTILITY LINE
- - - STORM DRAINAGE PIPE
- - - RIGHT-OF-WAY
- - - CONTOUR MAJOR
- - - CONTOUR MINOR
- - - ZONING BOUNDARY LINE

SYMBOL LEGEND

- ☐ MAILBOX
- ⊕ ELECTRIC METER
- ⊕ WATER METER
- ⊕ SEWER CLEAN OUT
- ⊕ HVAC
- ⊕ TELEPHONE PEDESTAL
- ⊕ STORM MANHOLE
- ⊕ UTILITY POLE
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ CURB INLET
- ⊕ DROP INLET
- ⊕ FIBEROPTIC HANDHOLE
- ⊕ SIGN
- ⊕ LIGHT POLE
- ⊕ ELECTRIC TRANSFORMER
- ⊕ UNKNOWN MANHOLE

- GPS GRID TIE NOTES**
- 1) CLASS OF SURVEY: CLASS B
 - 2) HORIZONTAL POSITIONAL ACCURACY: 1.20'
 - 3) GPS FIELD PROCEDURE: REAL TIME NETWORK (VRS)
 - 4) DATE OF GPS SURVEY: 5/28/2024
 - 5) DATUM DESCRIPTION: NC STATE PLANE COORDINATE SYSTEM NAD83 (2011)
 - 6) PUBLISHED / FIXED CONTROL USED: CORS(NC RTN)
 - 7) GEIOD MODEL: GEIOD 18
 - 8) UNIT OF MEASUREMENT: U.S. SURVEY FOOT
 - 9) ROOT MEAN SQUARE ERROR AT 95% CONFIDENCE LEVEL USED TO CHECK CCURACY

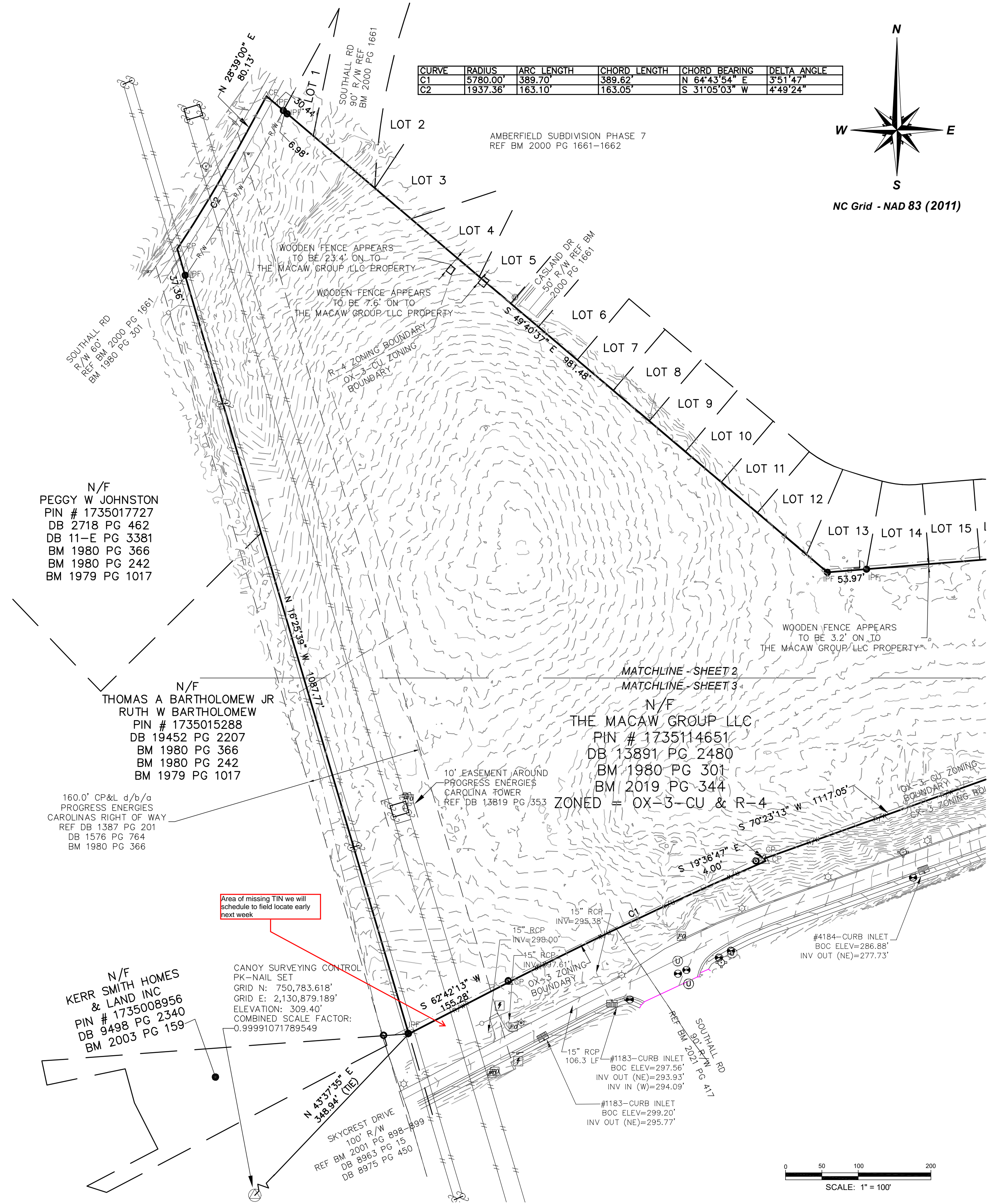
I CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95% CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A STANDARD AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS A STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED ON 5/28/2024; THAT THE SURVEY WAS COMPLETED ON 6/9/2024; THAT CONTOURS SHOWN MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON 'NAD 83' AND REALIZATION (2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88 GEIOD 18.

THIS _____ DAY OF _____ 2023

PLAT

FOR CONVEYANCES OR SALES;

FOR REVIEW PURPOSES ONLY



CANOY SURVEYING
 P-1938
 1154 SHONELE LANE
 STEM, NC 27581
 PHONE (984) 377-2626

TOPOGRAPHIC SURVEY
3104 SOUTHALL RD
 PREPARED FOR: CALYX SENIOR LIVING
 3104 SOUTHALL RD RALEIGH - WAKE COUNTY
 ST MATTHEWS TOWNSHIP - RALEIGH, NORTH CAROLINA

DATE OF SURVEY: 07/2/2024

SCALE: 1" = 100'

DRAWN BY: DAD

CHECKED BY: ARC

PROJECT: 3104SOUTHALLRD

SHEET: 1 / 2

PLANT LIST

KEY	QUANTITY	SCIENTIFIC NAME	COMMON NAME	MIN. CALIPER	MIN. HEIGHT	ROOT	LOCATION
CANOPY TREES							
QR	10	QUERCUS RUBRA	NORTHERN RED OAK	3"	10'	B&B	STREET TREES
ZS	14	ZELKOVA SERRATA	JAPANESE ZELKOVA	3"	10'	B&B	VUA
IO	8	ILEX OPACA	AMERICAN HOLLY	3.5"	14'	B&B	TRANSITIONAL
AB	43	ABERBUERGERANUM	TRIDENT MAPLE	3.5"	14'	B&B	PROTECTIVE
BN	34	BETULA NIGRA	RIVER BIRCH	3.5"	14'	B&B	YARD
UNDERSTORY TREES							
FH	32	ILEX ATTENUATA VAR. 'FOSTERI'	FOSTER HOLLY	1.5"	6'	B&B	TRANSITIONAL
SB	31	AMELANCHIER X GRANDIFLORA	SERVICEBERRY	1.5"	6'	B&B	PROTECTIVE
SHRUBS							
NP	75	ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	-	24"	3 GAL.	VUA SCREENING
BH	10	ILEX 'EMILY BRUNER'	EMILY BRUNER HOLLY	-	36"	7 GAL.	DUMPSTER SCREENING
AG	88	ABELIA GRANDIFLORA	GLOSSY ABELIA	-	24"	3 GAL.	
LC	86	LOROPETALUM CHINENSIS VR. 'RUBY'	RUBY LOROPETALUM	-	24"	3 GAL.	TRANSITIONAL
LJ	86	LIGUSTRUM JAPONICUM 'ROTUNDFOLI'	CURLY LEAF PRIVET	-	24"	3 GAL.	PROTECTIVE
IC	88	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	-	24"	3 GAL.	YARD
EJ	86	EUONYMUS JAPONICUS 'GREEN SPIRE'	GREENSPIRE EUONYMUS	-	24"	3 GAL.	

LANDSCAPE CALCULATIONS

STREET TREES:
 STREET TREES ALONG TWO LANE AVENUE REQUIRED IN PLANTING STRIP @ 40' O.C. AVG.
 LENGTH OF STREET FRONTAGE - 381 LF ALONG SKYCREST ROAD
 NUMBER OF STREET TREES REQUIRED - 381/40 = 10
 NUMBER OF STREET TREES PROVIDED - 10

TRANSITION YARD BUFFER:
 25' TRANSITION YARD BUFFER (20' UNDISTURBED BUFFER WITH 5 CANOPY TREES, 4 UNDERSTORY TREES AND 30 SHRUBS FOR EVERY 100 LINEAR FEET + 5' BUFFER YARD WITH NECESSARY DISTURBANCES FOR GRADING AND CONSTRUCTION ACTIVITY) REQUIRED ALONG ALL EDGES EXCEPT THE EDGE ALONG SKYCREST DRIVE.

25' TRANSITION YARD BUFFER PROVIDED ALONG ALL EDGES EXCEPT THE EDGE ALONG SKYCREST DRIVE.
 TOTAL LENGTH OF 25' BUFFER - 1478 LF
 59 CANOPY TREES + 47 UNDERSTORY TREES + 350 SHRUBS PROVIDED FOR 1169 LF OF BUFFER.

50' THOROUGHFARE BUFFER (6 CANOPY TREES + 5 UNDERSTORY TREES + 60 SHRUBS FOR EVERY 100 LINEAR FEET) REQUIRED ALONG SKYCREST DRIVE.

50' THOROUGHFARE BUFFER PROVIDED ALONG SKYCREST DRIVE.
 TOTAL LENGTH OF 50' BUFFER - 260 LF
 26 CANOPY TREES + 16 UNDERSTORY TREES + 84 SHRUBS PROVIDED FOR 260 LF OF BUFFER.

VEHICULAR SURFACE AREA LANDSCAPING:
 ONE SHADE TREE FOR EVERY 10 PARKING SPACES WITH A MINIMUM OF ONE SHADE TREE PER LANDSCAPE ISLAND - REQUIRED.
 TOTAL NUMBER OF PARKING SPACES - 57
 NUMBER OF SHADE TREES REQUIRED - 57/10 = 5.7
 NUMBER OF SHADE TREES PROVIDED - 14

SCREENING SHRUBS REQUIRED ALONG PARKING SPACES THAT ARE VISIBLE FROM RIGHT OF WAY.
 SCREENING SHRUBS PROVIDED ALONG PARKING SPACES THAT ARE VISIBLE FROM RIGHT OF WAY.

LANDSCAPE PLAN NOTES

- ALL PLANT MATERIAL ON THIS SITE MUST MEET MINIMUM CITY OF RALEIGH UDO REQUIREMENTS FOR SIZE, HEIGHT, AND SPACING. PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS WITHIN THIS PLAN SET.
- PLANTING STOCK SHALL MEET ALL STANDARDS WITHIN THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK." ALL PLANTS SHALL BE VIGOROUS, HEALTHY MATERIAL FREE FROM PESTS AND DISEASE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIARIZE WITH ACTUAL FIELD CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK. THE CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT THE SITE AND PERFORM THE WORK SPECIFIED INCLUDING THE FINE GRADING AND INCORPORATION OF TOPSOIL INTO PLANTING AREAS. WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATIONS FROM GRADES AND CONDITIONS SHOWN WEATHER SURFACE OR SUBSURFACE. IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY AND PRIOR TO ORDERING MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS TO PERFORM THE WORK.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GROUND AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (1-800-432-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL. THE CONTRACTOR MAY ALSO NEED TO ENGAGE A PRIVATE UTILITY LOCATING FIRM AT THEIR OWN COST TO EFFICIENTLY HAVE ALL UTILITIES LOCATED.
- ANY DAMAGE TO EXISTING IMPROVEMENTS OUTSIDE OF THE PROJECT LIMITS, INCLUDING CURB AND GUTTER, SIDEWALKS, PAVED OR TURF AREAS SHALL BE REPAIRED TO ORIGINAL CONDITIONS BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE DEVELOPER.
- PLANT QUANTITIES TO BE VERIFIED BY LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE PLANS AS COMPARED TO THE PLANT LIST THE CONTRACTOR SHALL PROVIDE THE QUANTITY SHOWN ON THE PLANS.
- CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OR MODIFICATIONS TO THE LANDSCAPE PLANS. THIS MAY REQUIRE A MODIFICATION TO THE APPROVED PLANS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES ON THE PLANS.
- ALL ABOVE GROUND MECHANICAL EQUIPMENT, ELECTRICAL TRANSFORMERS, DUMPSTERS, BACKFLOW PREVENTERS, AND VALVE BOXES SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND RIGHT-OF-WAY WHILE MAINTAINING REQUIRED ACCESS TO LOCAL CODE STANDARDS AND REQUIREMENTS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTIONS BETWEEN TWO FEET AND EIGHT FEET IN HEIGHT ABOVE THE NEAREST VEHICLE SURFACE OR ADJACENT CURB LINE SHALL BE ALLOWED.
- ALL UNPAVED AREAS SHALL BE TOPSOILED AND SEEDED / SODDED OR MULCHED TO THE LIMITS OF CONSTRUCTION BASED ON ACTUAL FIELD CONDITIONS BEYOND THE APPROVED PLANS.
- ALL SOD TO BE REBEL FESCUE IV, TURF GEM, LESCO OR EQUAL. ALL SEED TO BE REBEL FESCUE IV, TURF GEM, LESCO OR EQUAL @ 6 LBS. PER 1000 S.F. IN LAWN AREAS 3" TOPSOIL SHALL BE FILLED INTO THE TOP 6" OF GROUND PRIOR TO SEEDING.
- SLOPES GREATER THAN 3:1 SHALL REQUIRE HYDRO-SEEDING. SLOPES GREATER THAN 2:1 SHALL BE SODDED WITH CENTIPEDE GRASS. ADDITIONAL STABILIZATION MEASURES MAY BE REQUIRED FOR SLOPES GREATER THAN 3:1 TO ENSURE SOIL STABILIZATION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
- INTERIOR MULCH SHALL BE DOUBLE SHREDDED PINE BARK TO A DEPTH OF 4". BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS.
- PINE STRAW SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONSISTING OF EXTERIOR COMBUSTIBLE CONSTRUCTION.
- CONTRACTOR SHALL LEVEL AND SMOOTH ALL DISTURBED AREAS AND REMOVE ALL ROCKS AND CONSTRUCTION DEBRIS PRIOR TO SEEDING, SOD OR PLANT INSTALLATION.
- NOTE THAT WITHIN LANDSCAPED AREAS SURROUNDING BUILDING, THE GRADES SHOWN ON THE GRADING SHEET ARE TOP OF MULCH OR TOP OF TOPSOIL. CONTRACTOR SHALL ENSURE POSITIVE FINISHED DRAINAGE (MIN. 2%) AWAY FROM ALL BUILDINGS AND COORDINATE WITH THE LANDSCAPE PLAN TO LEAVE SURGRADE LOW ENOUGH TO MAINTAIN THESE SPOTS AS FINISHED GRADE.
- OWNER SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
- TREE PLANTING AND SITE LIGHTING SHALL BE SEPARATED BY AT LEAST 20 FEET.
- HVAC UNITS SHALL BE LOCATED ON THE ROOF.

LANDSCAPE SCOPE OF WORK

- FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK INCLUDING INSTALLATION OF ALL TREES, SHRUBS, GROUND COVER, ANNUALS, SEED, SOD AND MULCH.
- MATERIALS AND WORK: THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK, WHICH IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT.
- PLANT MATERIALS: ALL PLANT MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IN THE FIELD, NATURALLY SHAPED, WELL BRANCHED, FULLY FOLIATED WHEN IN LEAF WITH FULLY DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS MUST BE FREE OF DISEASE, INSECT INFESTATION OR THEIR EGGS AND SHALL HAVE BEEN GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- PLANT SIZE: SPECIFIED SIZES INDICATES THE MINIMUM ALLOWABLE SIZE AT PLANTING, WHERE CONTAINER AND HEIGHT/SPREADS ARE INDICATED FOR A SINGLE SPECIES. BOTH SIZE REQUIREMENTS SHALL BE MET WHEN ONLY PLANT HEIGHT OR SPREAD ARE INDICATED. CONTAINER SIZE SHALL BE BASED ON "AMERICAN STANDARDS FOR NURSERY STOCK" STANDARDS.
- ORGANIC MATTER: ACED MANURE, COMPOST OR PINE BARK FINES, AT THE OPTION OF THE CONTRACTOR. MATERIAL SHALL BE AIR DRIED, FINELY SHREDDED AND SUITABLE FOR HORTICULTURAL PURPOSES AND SHALL CONTAIN NO MORE THAN 35% MOISTURE CONTENT BY WEIGHT.
- PINE BARK MULCH: ALL PINE BARK MULCH SHALL BE CLEAN, DOUBLE GROUND, FINE TEXTURED NUGGET MULCH WITH MINIMAL AMOUNTS OF SAPWOOD CONTENT.
- TURF AREAS: PRIOR TO ANY SEEDING OR SOD APPLICATION, VERIFY THAT ALL TRENCHING AND LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED. ENSURE ALL AREAS ARE FREE OF STONES, LARGE SOIL CLOUDS AND ANY OTHER CONSTRUCTION DEBRIS.

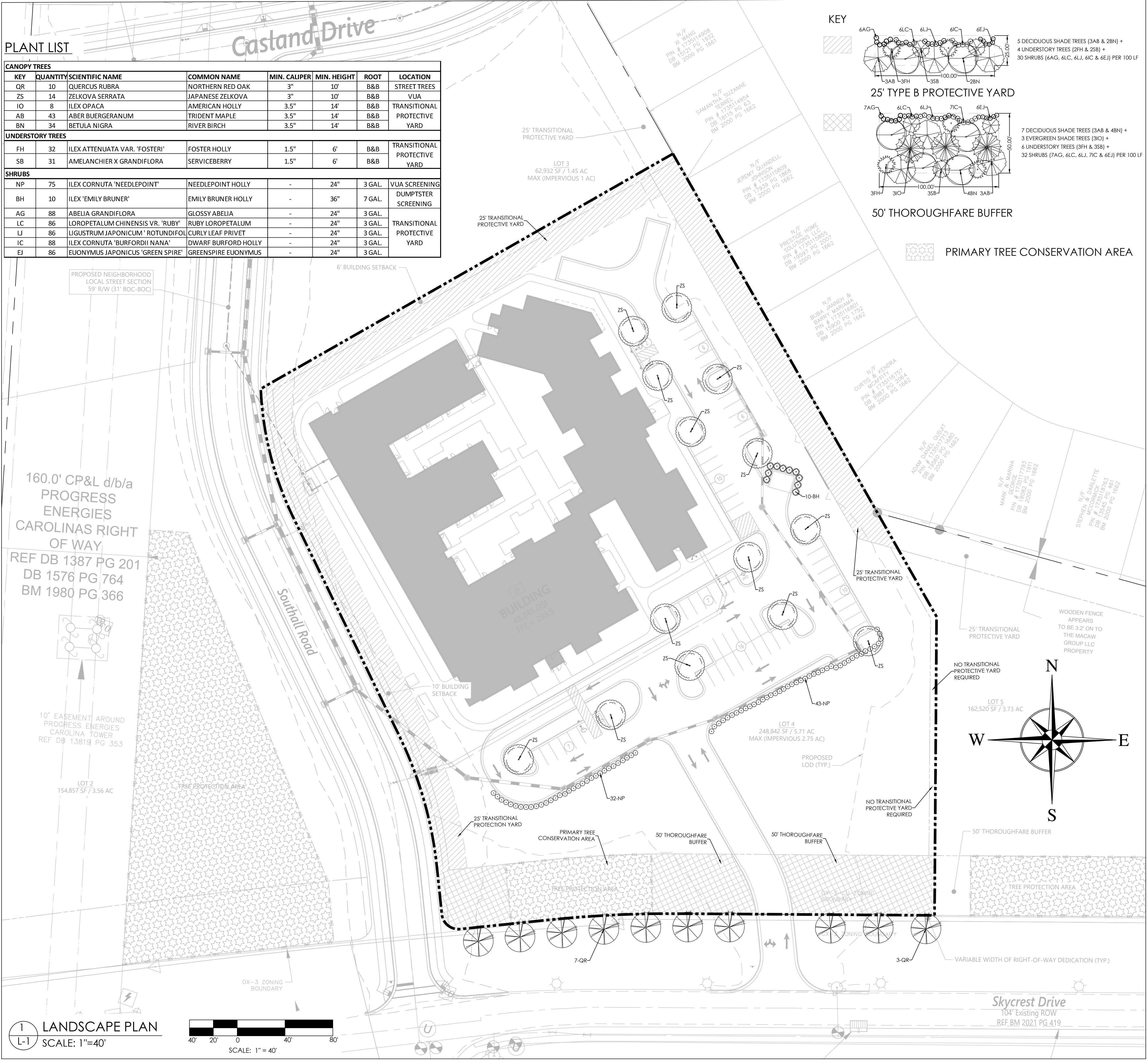


NOT FOR CONSTRUCTION

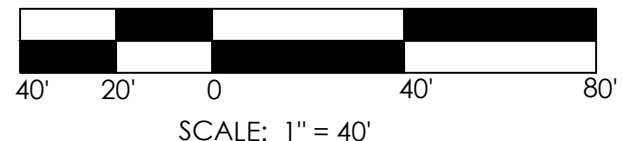
REVISIONS:

LANDSCAPE PLAN
CALYX SOUTHALL
 3104 SOUTHALL RD
 RALEIGH, NC 27604

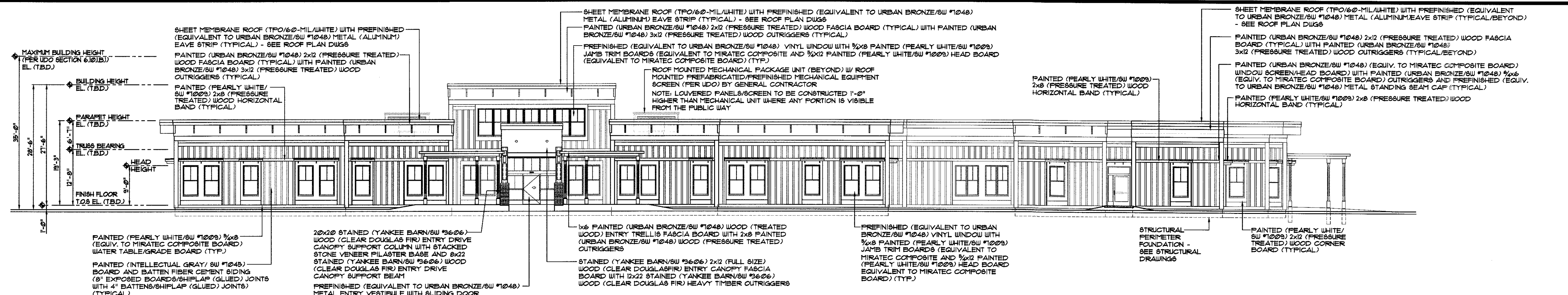
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LANDSCAPE PLAN
 SCALE: 1"=40'

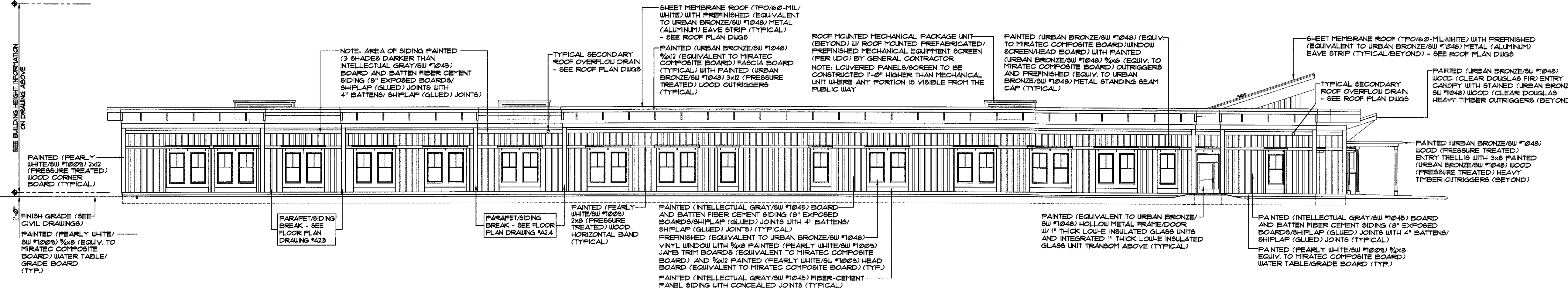


CALYX ASSISTED LIVING OF RALEIGH / SOUTHWALL - 3104 SOUTHWALL ROAD, RALEIGH NORTH CAROLINA 27604



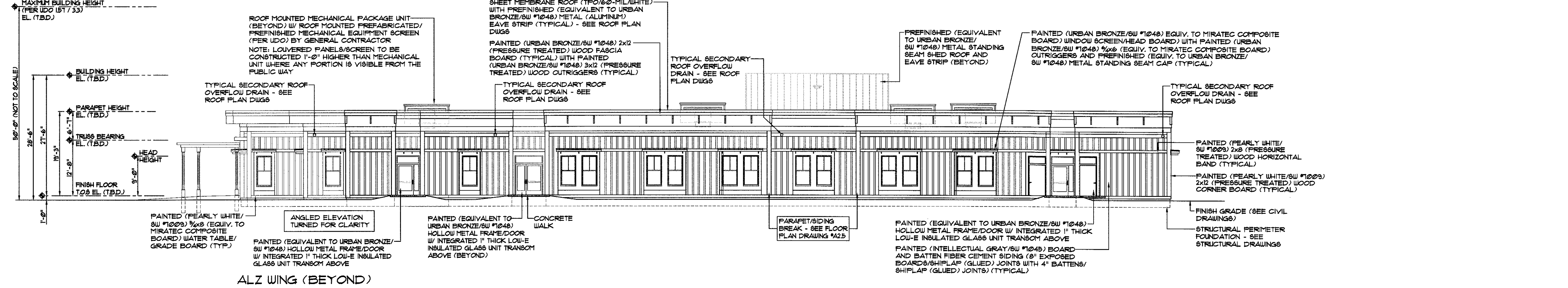
FRONT/SOUTHEAST - ALF WING - ELEVATION A

ALZ WING (BEYOND)



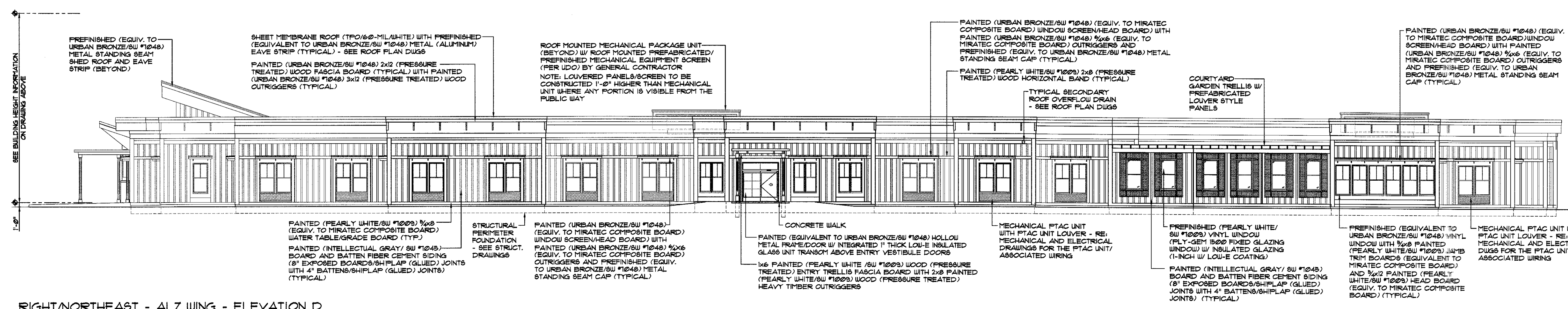
LEFT SIDE/SOUTHWEST - ALF WING - ELEVATION B

ALZ WING (BEYOND)



REAR/NORTHWEST - ALF WING - ELEVATION C

ALZ WING (BEYOND)



RIGHT/NORTHEAST - ALZ WING - ELEVATION D

EXTERIOR BUILDING ELEVATIONS

SCALE: N.T.S.

BUILDING HEIGHT CHART:
POST DEVELOPMENT AVERAGE GRADE: 1'-0" (ELEV. T.B.D.) BELOW FINISH FLOOR
BUILDING HEIGHT AVERAGE POST DEVELOPMENT GRADE: 19'-3" (TYPICAL) < 35'-0"

FOR SITE PLAN REVIEW ONLY
NOT FOR CONSTRUCTION