## **Administrative Site Review Application**



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting. Office Use Only: Case #: Planner (print): Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.) Site Plan Tier: Tier Two Site Plan Tier Three Site Plan **Building and Development Type Site Transaction History** (Check all that apply) Detached General Subdivision case #: Scoping/sketch plan case #: Attached Mixed use Certificate of Appropriateness #: Townhouse Civic Board of Adjustment #: Apartment **Cottage Court** Zoning Case #: \_\_\_\_\_ Tiny house Frequent Transit Design Alternate #: \_\_\_\_\_ **Development Option** Open lot **GENERAL INFORMATION** Development name: Inside City limits? Yes No Property address(es): Site P.I.N.(s): Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). **Current Property Owner(s):** Title: Company: Address: Phone #: Email: Applicant Name (If different from owner. See "who can apply" in instructions): Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder Company: Address:

Phone #:	Email:			
NOTE: please attach purchase agreement	nt or contract, lease or easement when submitting this form.			
Developer Contact:				
Company:		Title:		
Address:				
Phone #:	Email:			
Applicant Name:				
Company:	Address:			
Phone #:	Email:			
		PE + SITE DATE TABLE all developments)		
SITE DATA	ppiicable it	BUILDING DATA		
-		Existing gross floor area (not to be demolished):		
Gross site acreage:		Existing gross floor area to be demolished:		
# of parking spaces proposed:		New gross floor area:		
		Total sf gross (to remain and new):		
Overlay District (if applicable):		Proposed # of buildings:		
Existing use (UDO 6.1.4):		Proposed # of stories for each:		
Proposed use (UDO 6.1.4):		Proposed # of basement levels (UDO 1.5.7.A.6)		
S	TORMWAT	ER INFORMATION		
Imperious Area on Parcel(s):  Existing (sf) Proposed total (sf)		Impervious Area for Compliance (includes ROW):		
- 1 Toposed total (51)		Existing (sf) Proposed total (sf)		
DECIDENTIAL	OVEDNIC	HT LODGING DEVELOPMENTS		
Total # of dwelling units:	x OVERNIG	HT LODGING DEVELOPMENTS  Total # of hotel bedrooms:		
# of bedroom units: 1br 2br	3br			
# of lots:		Is your project a cottage court? Yes No		

Continue to Applicant Signature Block on Page 4.

A frequent transit development?

) No

) Yes

#### APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

# Calyx Senior Living at Southall

3104 Southall Road Raleigh, NC 27604

Refere	nce Drawings	
No.	Drawing Title	Latest Issue
1 of 2 and 2 of 2	Topographic Survey	July 2, 2024
L-1 and L-2	LANDSCAPE PLAN	September 20, 2023
A4.1	EXTERIOR BUILDING ELEVATIONS	August 21, 2024



Latest Issue

September 23, 2024

		DATE 0/2/2024					
		DATE: 9/3/2024					
FXI	STING ADDRESS(ES)	3104 Southall Road					
L) (10	7 ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) (	Raleigh, NC					
PII	N(S)	1735114651					
	VING(S)	OX-3-CU					
	ERLAY DISTRICT	N/A	A.C.				
	GROSS ACREAGE	<u>`</u>	AC AC				
	STING IMPERVIOUS AREA STING USE	Vacant	AC				
	PPOSED/PRINCIPAL USE	Congregate Care					
	sisted Living	congregate care					
	Civic Building GSF	48,245 GSF					
		15,212					
	UDO Art. 2.2 Conventional Development Ox	(-3-CU			·		
	SITE						
	AREA (MIN)		10,000	SF	846,10	4 SF	
В	OPEN SPACE						
В1	REQUIRED (MIN)	20% OR 1 ACRE	., N/A	SF	N/A	SF	(As la
	· · ·	(WHICHEVER IS GREATE	:K)				includ
	WIDTH (MIN)		N/A	FT	N/A	FT	
	TREE CONSERVATION AREA (TCA)	100/	24010	SF	90222	SF	
C1	REQUIRED (MIN)  UDO Sec. 2.2.5 Civic Building	10%	24910	3F	80232	3F	
A	LOT DIMENSIONS						
	AREA (MIN)		10,000	SF	249,09	8 SE	
	WIDTH (MIN)		65	FT	423	FT	
	BUILDING/STRUCTURE SETBACKS				723	- ' '	
	FROM PRIMARY STREET (MIN)		20	FT	20	FT	
	FROM SIDE STREET (MIN)		20	FT	20	FT	
	FROM SIDE LOT LINE (MIN)		10	FT	10	FT	
B4	FROM REAR LOT LINE (MIN)		30	FT	30	FT	
C	PARKING SETBACKS						
	FROM PRIMARY STREET (MIN)		20	FT	20	FT	
	FROM SIDE STREET (MIN)		10	FT	10	FT	
	FROM SIDE LOT LINE (MIN)		10	FT	10	FT	
	FROM REAR LOT LINE (MIN)		10	FT	10	FT	
	MAX HEIGHT		10/ 10 5	. ,			
	PRINCIPAL BUILDING (MAX)		40' (3 Sto		28.5	FT	
	ACCESSORY STRUCTURE (MAX)	YES	26	FT	N/A	FT	
υs	RESIDENTIAL INFILL RULES MAY APPLY  UDO Art. 7.1 PARKING	1153					
	RESIDENTIAL (Congregate Care / Nursing H	lome)					
	No Maximum Vehicle Parking	ome)					
	TOTAL VEHICLE PARKING REQUIRED (MAX	)	0	SP	64	SP	
	ADA PARKING REQUIRED (MIN)	,			- 10,		
	2% OF TOTAL PARKING PROVIDED	2.00% X 64	= 1.3	SP	4	SP	
	ADA VAN ACCESSIBLE PARKING REQUIRED						
	16.7% OF TOTAL ADA PARKING SPACES	· · · · · · · · · · · · · · · · · · ·	= 0.7	SP	4	SP	
	SHORT-TERM BICYCLE PARKING (No Maximum	n)					
	TOTAL SHORT-TERM BICYCLE PARKING RE	QUIRED	0	SP	0	SP	
	LONG-TERM BICYCLE PARKING (No Maximum)	)					
		UIRED	0	SP	0	SP	



**Applicant** 

VHB Engineering NC, P.C. 940 Main Campus Drive Suite 500 Raleigh, NC 27606 919.829.0328 Corp. # C-3705

- FOR REIMBURSEMENT PURPOSES, RIGHT-OF-WAY FOR RALEIGH BOULEVARD AND SOUTHALL ROAD SHALL REMAIN AT R-4 VALUES UPON DEVELOPMENT. THE RATE OF STORMWATER RUNOFF WILL COMPLY WIT
- 3. VOLUNTARY CONDITIONS APPLICABLE TO PARCEL A OF THE SUBJECT PROPERTY (PIN #1735 17 11 4397) AS SHOWN ON EXHIBIT A ATTACHED, (BY THE JOHN R
- 3.A. ALL BUILDINGS SHALL BE RESTRICTED TO A MAXIMUM THREE (3) STORIES I HEIGHT AND A MAXIMUM OF FIFTY (50') IN HEIGHT. 3.B. NO MORE THAN (2) ACCESS POINTS SHALL BE PERMITTED FROM RALEIGH BOULEVARD AND NOT MORE THAN (2) ACCESS POINTS SHALL BE PERMITTED FROM SOUTHALL ROAD.
- 3.C. NO MULTI-FAMILY DWELLING DEVELOPMENT WILL BE PERMITTED ON THIS 3.D. THE TRANSITIONAL PROTECTIVE YARD ON THE SUBJECT PROPERTY (PIN
- #1735.17 11 4397) SHALL BE TWENTY-FIVE FEET (25') IN WIDTH WHERE ADJACENT TO PARCEL #1735.22 1837 AND PARCEL #1735.32 2085. 3.D.1. THE TWENTY FEET (20") NEAREST THE COMMON PROPERTY LINE SHALL REMAIN UNDISTURBED AND ACTIVELY PROTECTED WITH THE EXCEPTIONS THAT: 1) PLANTING MATERIALS MAY BE PLACED WITHIN THIS UNDISTURBED AREA WHEN SUCH MATERIALS ARE NEEDED TO

AUGMENT THE EXISTING VEGETATION IN ORDER TO SATISFY THE

MINIMUM QUANTITY AND SIZE PLANTING REQUIREMENTS OF A

- TWENTY FEET (20') TRANSITIONAL PROTECTIVE YARD WITHOUT FENCES IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS OF THE CITY OF RALEIGH, AND 2) DRAINAGE UTILITIES WHEN REQUIRED BY THE CITY OF RALEIGH. CONSTRUCTION ACTIVITY AND IF DISTURBED SHALL BE LANDSCAPED MCADAMS COMPANY, DATED 10/9/98)
- 3.E. A TRANSITIONAL PROTECTIVE YARD TWENTY-FIVE (25') IN WIDTH SHALL BE PROVIDED ON THE SUBJECT PROPERTY (PIN #1735.17 11 4397) WHERE

CITY OF RALEIGH STANDARDS FOR TRANSITIONAL PROTECTIVE YARDS

- SHOWN ON EXHIBIT A ATTACHED HERETO
- REQUIRED BY THE CITY OF RALEIGH FOR THE PROVISION OF ROADWAY TWENTY-FIVE FEET (25') IN WIDTH LOCATED ON THE SOUTHERN SIDE OF SUCH ROADWAY. THIS TRANSITIONAL PROTECTIVE YARD SHALL SATISEY THE MINIMUM OLIANTITY AND SIZE PLANTING REQUIREMENTS OF A TWENTY FEET (20') TRANSITIONAL PROTECTIVE YARD WITHOUT
- FENCES IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS OF A SIX (6) TO EIGHT (8) FEET HIGH CLOSED FENCE WILL BE INSTALLED ON THE SUBJECT PROPERTYAT A DISTANCE OF TWENTY FEET (20') FROM THE COMMON PROPERTY LINE SHARED BY PARCEL #1735.17 11 4397 AND PARCEL #1735.22 1837. A FINISHED SIDE SHALL FRONT PARCEL #1735.22
- 3.G. PERIMETER POLE LIGHTING WITHIN FORTY-FIVE FEET (45') OF PARCEL #1735.22 1837, PARCEL #1735.32 2085, AND PARCEL C OF THE SUBJECT LOT AS SHOWN ON EXHIBIT A ATTACHED TO THIS LIST OF VOLUNTARY USE CONDITIONS SHALL NOT EXCEED TWELVE FEET (12') IN HEIGHT AND SHALL MEET THE REQUIREMENTS FOR SHIELDING RESIDENTIAL PROPERTY FROM THE EFFECTS OF NON RESIDENTIAL DEVELOPMENT LIGHTING CONTAINED IN SECTION 10-2089 OF THE DEVELOPMENT REGULATIONS OF THE CITY OF
- THE REMAINING FIVE FEET (5') OF THE TRANSITIONAL PROTECTIVE 4. VOLUNTARY CONDITIONS APPLICABLE TO PARCEL B OF THE SUBJECT PROPERTY YARD MAY BE DISTURBED AS NEEDED FOR PERMITTED GRADING AND (PIN #1735.17 11 4397) AS SHOWN ON EXHIBIT A ATTACHED, (BY THE JOHN R.

BE PERMITTED FROM SOUTHALL ROAD.

WITH PLANTING MATERIALS IN QUANTITIES AND SIZES THAT MEET THE 4.A. ALL BUILDINGS SHALL BE RESTRICTED TO A MAXIMUM OF TWO (2) STORIES IN HEIGHT AND A MAXIMUM OF THIRTY FEET (30') IN HEIGHT. 4.B. NO MORE THAN ONE (1) ACCESS POINT SHALL BE PERMITTED FROM RALEIGH BOULEVARD AND NO MORE THAN TWO (2) ACCESS POINTS SHALL

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made

by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an

By submitting this application, the undersigned applicant acknowledges that they are either the property owner

or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project

application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period

Date: September 23, 2024

described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit

of six consecutive months or more, then the application review is discontinued, and a new application is

authorized agent must be made available to the City of Raleigh upon request.

agent of the landowner. An easement holder may also apply for development approval for such developmen

- 4.C. NO MULTI-FAMILY DWELLING DEVELOPMENT WILL BE PERMITTED ON THIS
- 4.D. NO BUILDING SHALL BE LOCATED CLOSER THAN ONE HUNDRED TEN FEET (110') TO ADJOINING PARCEL #1735.01 5288 LANDSCAPED WITH PLANT MATERIALS SO THAT THEY ARE NOT VISIBLE
- THE SUBJECT LOT AS SHOWN ON EXHIBIT A ATTACHED HERETO SHALL NOT EXCEED TWELVE (12') IN HEIGHT AND SHALL MEET THE REQUIREMENTS FOR SHIELDING RESIDENTIAL PROPERTY FROM THE EFFECTS OF NON-RESIDENTIAL DEVELOPMENT LIGHTING CONTAINED IN SECTION 10-2089 OF THE DEVELOPMENT REGULATIONS OF THE CITY OF RALEIGH. 4.G. A TRANSITIONAL PROTECTIVE YARD ON THE SUBJECT PROPERTY (PIN
- #1735.17 11 4397) SHALL BE TWENTY-FIVE (25') IN WIDTH WHERE ADJACENT TO REMAINDER PARCEL C OF THE SUBJECT PROPERTY AS SHOWN ON EXHIBIT A ATTACHED HERETO.
- THE TWENTY FEET (20') NEAREST THE COMMON PROPERTY LINE SHALL REMAIN UNDISTURBED AND ACTIVELY PROTECTED WITH HE EXCEPTIONS THAT: 1) PLANTING MATERIALS MAY BE PLACED WITHIN THIS UNDISTURBED AREA WHEN SUCH MATERIALS ARE NEEDED TO AUGMENT THE EXISTING VEGETATION IN ORDER TO SATISFY THE MINIMUM QUANTITY AND SIZE PLANTING REQUIREMENTS OF A TWENTY FEET (20') TRANSITIONAL PROTECTIVE YARD WITHOUT FENCES IN ACCORDANCE WITH THE DEVELOPMENT REGULATIONS OF THE CITY OF RALEIGH, AND 2) DRAINAGE UTILITIES WHEN REQUIRED BY THE CITY
- THE REMAINING FIVE FEET (5') OF THE TRANSITIONAL PROTECTIVE YARD MAY BE DISTURBED AS NEEDED FOR PERMITTED GRADING AND CONSTRUCTION ACTIVITY AND IF DISTURBED SHALL BE LANDSCAPED WITH PLANTING MATERIALS IN QUANTITIES AND SIZES THAT MEET THE CITY OF RALEIGH STANDARDS FOR TRANSITIONAL PROTECTIVE YARDS

WITHOUT FENCES.

- Marcos Vidal 4901 Waters Edge Drive Suite 200 PERIMETER POLE LIGHTING WITHIN 100 FEET (100') OF PARCEL #1735.0' 5288 OR PARCEL #1735.01 7727 OR WITHIN 45 FEET (45') OF PARCEL C OF
  - Raleigh, NC 27606 Telephone: 919.600.6416
    - **Landscape Architect**
    - 5011 Southpark Drive Suite 200 Durham, NC 27713 919.484.8880

## Owner

Robert C. White The Macaw Group LLC 9921 Waterview Road Raleigh, NC 27615

**TMTLA Associates** 

## **Engineer**

VHB Engineering NC, P.C. 940 Main Campus Drive Suite 500 Raleigh, NC 27606 Contact: Charles Townsend Telephone: 919.741.5567 Email: ctownsend@vhb.com

# Know what's below.

Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

## TRAFFIC CONTROL AND PEDESTRIAN (TCPED) NOTES:

- . PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION. B. A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL. 4. PRIOR TO THE START OF WORK. THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION
- MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE 5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL
- REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO: MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD); PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG); AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
- RALEIGH STREET DESIGN MANUAL (RSDM). 6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM
- 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

## **FIRE DEPARTMENT NOTES**

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCFC503.1.1). FIRE HYDRANT SHALL BE LOCATED WITHIN 300; AS MEASURED ALONG
- THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1). 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS
- ROAD (NCFC 507.5.1) 3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION. 4. FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF

BUILDING PERMITS PER THE 2012 NCFC, SECTION 507.3

## TREE CONSERVATION AND STORMWATER

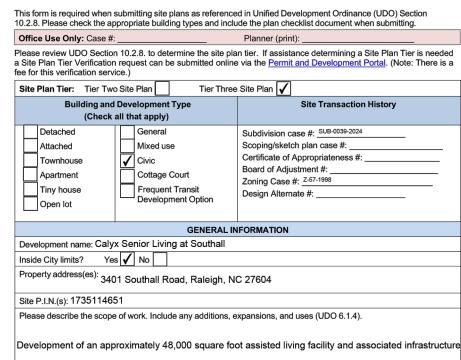
TREE CONSERVATION PLAN IS PROVIDED WITH SUB-0039-2024 2. STORMWATER MANAGEMENT IS PROVIDED WITH

## SOLID WASTE INSPECTION STATEMENT

- 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE 2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS
- SET FORTH IN THE SOLID WASTE MANUAL 3. THIS PROJECT HAS DUMPSTER FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

## **REFERENCES**

1. PRELIMINARY SUBDIVISION PLAN SUB-0039-2024.



**Drawing Title** 

Overall Site Plan

**Utility Plan** 

Apparatus Plan

Site Details (1 of 2)

Site Details (2 of 2)

Administrative Site Review Application

C3.00

C4.00

C4.01

**ADA Accessibility Plan** 

Truck Movement Plan

Grading & Drainage Plan

Legend and General Notes

Existing Conditions & Demolition Plan

iside City illilitis: Tes 🔻 140		
roperty address(es): 3401 Southall Road	, Raleigh, NO	C 27604
ite P.I.N.(s): 1735114651		
lease describe the scope of work. Include a	ny additions, ex	xpansions, and uses (UDO 6.1.4).
evelopment of an approximately 48,00	)0 square foc	ot assisted living facility and associated infrastructure
current Property Owner(s): Robert C. Wh	nite	
company: The Macaw Group LLC		Title: President
ddress: 9921 Waterview Road, Raleigh	ı, NC 27604	
bana #	Emoils	

<sup>es):</sup> 3401 Southall Road	l, Raleigh, N	C 27604
5114651		
e scope of work. Include a	ny additions, e	xpansions, and uses (UDO 6.1.4).
an approximately 48,00	00 square foo	ot assisted living facility and associated infrastructure
Owner(s): Robert C. Wh	nite	
acaw Group LLC		Title: President
aterview Road, Raleigh	n, NC 27604	
	Email:	
If different from owner. S	See "who can	apply" in instructions): Charles Townsend
ner: Lessee or contract	purchaser 🗹	Owner's authorized agent
	Address: 940	Main Campus Drive, Suite 500, Raleigh NC 27606
		Revision 03.01.24 raleighnc.go

Developer Contact: Marcos Vidal				
Company: Carillon Assisted Living		Title: Vice President		
Address: 4901 Waters Edge Drive, S	uite 200			
Phone #: 919.600.6416	Email: Marcos.vidal@carillonassistedliving.com			
Applicant Name: Charles Townsend				
Company: VHB Raleigh	Address:	940 Main Campus Drive, Suite 500, Raleigh, NC 27		
Phone #: 919.741.5567	Email: cto	ownsend@vhb.com		
DEV	EL ODMENT T	YPE + SITE DATE TABLE		
DEVI		o all developments)		
SITE DATA		BUILDING DATA		
Zoning district(s) (please provide the acre OX-3-CU: 5.72 AC	age of each):	Existing gross floor area (not to be demolished):  0 SF		
Gross site acreage: 5.72 AC		Existing gross floor area to be demolished:  0 SF		
# of parking spaces proposed: 64		New gross floor area: 48,245 SF		
Max # parking permitted (7.1.2.C): N/A		Total sf gross (to remain and new): 48,245 SF		
Overlay District (if applicable): N/A		Proposed # of buildings: 1		
Existing use (UDO 6.1.4): Vacant		Proposed # of stories for each: 1		
Proposed use (UDO 6.1.4): Congregate	Care	Proposed # of basement levels (UDO 1.5.7.A.6) 0		
	STORMWA	TER INFORMATION		
Imperious Area on Parcel(s):  Existing (sf)   Proposed total	(sf) 105,977	Impervious Area for Compliance (includes ROW):  Existing (sf)  Proposed total (sf)  108,327		
	L O OVERNIC	DUT LODGING DEVELOPMENTS		
Total # of dwelling units:	L & OVERNIC	HT LODGING DEVELOPMENTS  Total # of hotel bedrooms:		
# of bedroom units: 1br 2br	3br _			
# of lots:		Is your project a cottage court? ( ) Yes ( ) No		

Email: ctownsend@vhb.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Continue to Applicant Signature Block on Page 4.

Revision 03.01.24

Signature: // Charles Townsend

ATTENTION CONTRACTORS The *Construction Contractor* responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

:			
•			
$\frac{1}{2}$			
: I			
;			
2			
,			
5			
5			
5			
5			
5			
,			
:			
•			
:			
:			
1			
1			
•			
5			
,			

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE	4-34-4-4		CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK	27.35 TC V	27.35 TC×	TOD OF CURR FLEWATION
10+00	10+00	BASELINE	27.35 TC× 26.85 BC×	27.35 TC x 26.85 BC×	TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT			BOTTOM OF CURB ELEVATION
		ZONING LINE	132.75 × 45.0 TW 38.5 BW	132.75 × 45.0 TW 38.5 BW	SPOT ELEVATION
		TOWN LINE	38.5 BW ^	$\triangle$	TOP & BOTTOM OF WALL ELEVATION BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
<u>&amp;</u>		WETLAND LINE WITH FLAG	<b>₽</b> MW	■ MW	MONITORING WELL
		FLOODPLAIN			WONTONING WELL
			——UD——	——UD——	UNDERDRAIN
BLSF		BORDERING LAND SUBJECT TO FLOODING	12"D	12″D—►	DRAIN
BZ		WETLAND BUFFER ZONE	6"RD		ROOF DRAIN
NDZ—		NO DISTURB ZONE	12"S	12"S	SEWER
200'RA—		200' RIVERFRONT AREA	FM	<u>FM</u>	FORCE MAIN
		CDAVEL BOAD	OHW	——— OHW ———	OVERHEAD WIRE
— — — EOP		GRAVEL ROAD	6"W	6"W	WATER
BB	BB	EDGE OF PAVEMENT BITUMINOUS BERM	4"FP	4"FP	FIRE PROTECTION
BC	BC		44	——2"DW——	DOMESTIC WATER
CC	CC	BITUMINOUS CURB	3"G	——-G——	GAS
	CG	CURR AND CUTTER		—— <u> </u>	ELECTRIC
CC	ECC	CURB AND GUTTER  EXTRUDED CONCRETE CURB	——————————————————————————————————————	——— STM——	STEAM
CC	MCC	MONOLITHIC CONCRETE CURB	———FA———	——	TELEPHONE
CC	PCC	PRECAST CONC. CURB	—— CATV——	——CATV——	FIRE ALARM
SGE	SGE	SLOPED GRAN. EDGING			CABLE TV
VGC	VGC	VERT. GRAN. CURB			CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
	<u> </u>		_		DOUBLE CATCH BASIN ECCENTRIC
11111111		BUILDING	<b></b>	<b>=</b>	GUTTER INLET
](	<b>]</b> ⊲EN	BUILDING ENTRANCE	(1)	•	DRAIN MANHOLE CONCENTRIC
]		LOADING DOCK	(1)		DRAIN MANHOLE ECCENTRIC
•		BOLLARD	=TD=		TRENCH DRAIN
D	D	DUMPSTER PAD	CO	co	PLUG OR CAP
0	•	SIGN		•	CLEANOUT
	<b>=</b>	DOUBLE SIGN		<b>P</b>	FLARED END SECTION
					HEADWALL
т т	I	STEEL GUARDRAIL	(\$)	ledot	SEWER MANHOLE CONCENTRIC
0 0		WOOD GUARDRAIL	(\$)	lacksquare	SEWER MANHOLE ECCENTRIC
		DATU	CS	CS ●	CURB STOP & BOX
		PATH	₩V	₩V •	WATER VALVE & BOX
γ γ )	~~~~	TREE LINE WIRE FENCE	TSV	TSV	TAPPING SLEEVE, VALVE & BOX
		FENCE	<b>→</b>	<b>→</b>	FIRE DEPARTMENT CONNECTION
	-	STOCKADE FENCE	HYD	HYD <b>⊙</b>	FIRE HYDRANT
00000		STONE WALL	WM	WM ⊡	WATER METER
		RETAINING WALL	PIV	PIV ●	POST INDICATOR VALVE
			(1)	<b>@</b>	WATER WELL
		STREAM / POND / WATER COURSE			
		STREAM / POND / WATER COURSE  DETENTION BASIN	GG	260	GAS GATE
			GM	GG GM	GAS GATE  GAS METER
	X	DETENTION BASIN	© GM □	GM ⊡	GAS METER
—×——		DETENTION BASIN HAY BALES	GM □	<b>GM</b> ⊡ EMH	
—×——	×	DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE	© GM □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □	GM ⊡	GAS METER
—×—— ::::::> ·		DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE MINOR CONTOUR	GM E E	©M □ EMH EM □	GAS METER  ELECTRIC MANHOLE
	×	DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE	© GM □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □	GM ⊡ EMH EM	GAS METER  ELECTRIC MANHOLE  ELECTRIC METER
		DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE MINOR CONTOUR	© GM □ E E	©M □ EMH EM □	GAS METER  ELECTRIC MANHOLE  ELECTRIC METER  LIGHT POLE
		DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE MINOR CONTOUR MAJOR CONTOUR	© GM □ EM □ T	EMH EM EM TMH	GAS METER  ELECTRIC MANHOLE  ELECTRIC METER  LIGHT POLE  TELEPHONE MANHOLE  TRANSFORMER PAD
		DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE  MINOR CONTOUR MAJOR CONTOUR  PARKING COUNT	© GM □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □ □	EMH EM EM TMH	ELECTRIC MANHOLE ELECTRIC METER LIGHT POLE TELEPHONE MANHOLE TRANSFORMER PAD UTILITY POLE
		DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE  MINOR CONTOUR MAJOR CONTOUR  PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE	© GM © EM © T	EMH EM  TMH  T	ELECTRIC MANHOLE ELECTRIC METER LIGHT POLE TELEPHONE MANHOLE TRANSFORMER PAD UTILITY POLE GUY POLE
		DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE  MINOR CONTOUR MAJOR CONTOUR  PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE STOP LINE	© GM © EM © T	CM EMH EM TMH T  ←  HH	ELECTRIC MANHOLE ELECTRIC METER LIGHT POLE TELEPHONE MANHOLE TRANSFORMER PAD UTILITY POLE GUY POLE GUY WIRE & ANCHOR
420 10  DYL SL		DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE  MINOR CONTOUR MAJOR CONTOUR  PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE STOP LINE CROSSWALK	© GM : EM :	EMH EM  T  HH PB	GAS METER  ELECTRIC MANHOLE  ELECTRIC METER  LIGHT POLE  TELEPHONE MANHOLE  TRANSFORMER PAD  UTILITY POLE  GUY POLE
		DETENTION BASIN HAY BALES SILT FENCE SILT SOCK / STRAW WATTLE  MINOR CONTOUR MAJOR CONTOUR  PARKING COUNT COMPACT PARKING STALLS DOUBLE YELLOW LINE STOP LINE	© GM © EM © \$	©M □ EMH EM  □ TMH  T  HH	ELECTRIC MANHOLE ELECTRIC METER LIGHT POLE TELEPHONE MANHOLE TRANSFORMER PAD UTILITY POLE GUY POLE GUY WIRE & ANCHOR

## **Abbreviations**

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
∧ DDD ∩ V	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EV	ELECTRIC VEHICLE CHARGING SPACE
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MINI	
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CATCH BASIN
СМР	CORRUGATED METAL PIPE
CMP CO	CORRUGATED METAL PIPE CLEANOUT
СМР	CORRUGATED METAL PIPE
CMP CO	CORRUGATED METAL PIPE CLEANOUT
CMP CO DCB	CORRUGATED METAL PIPE CLEANOUT DOUBLE CATCH BASIN
CMP CO DCB DMH	CORRUGATED METAL PIPE CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE
CMP CO DCB DMH CIP	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT
CMP CO DCB DMH CIP COND	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE
CMP CO DCB DMH CIP COND DIP FES	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION
CMP CO DCB DMH CIP COND	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE
CMP CO DCB DMH CIP COND DIP FES	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION
CMP CO DCB DMH CIP COND DIP FES FM	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN
CMP CO DCB DMH CIP COND DIP FES FM F&G	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I=	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT  INVERT ELEVATION
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE CONDUIT  DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT  INVERT ELEVATION  LIGHT POLE  METAL END SECTION
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE CONDUIT  DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT  INVERT ELEVATION  LIGHT POLE  METAL END SECTION
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT  INVERT ELEVATION  LIGHT POLE  METAL END SECTION  POST INDICATOR VALVE
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV	CORRUGATED METAL PIPE  CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT  INVERT ELEVATION  LIGHT POLE  METAL END SECTION  POST INDICATOR VALVE  PAVED WATER WAY
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE CONDUIT  DUCTILE IRON PIPE FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT  INVERT ELEVATION  LIGHT POLE  METAL END SECTION  POST INDICATOR VALVE  PAVED WATER WAY  POLYVINYLCHLORIDE PIPE  REINFORCED CONCRETE PIPE
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R=	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE CONDUIT  DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE RIM ELEVATION
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R= RIM=	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT  INVERT ELEVATION  INVERT ELEVATION  LIGHT POLE  METAL END SECTION  POST INDICATOR VALVE  PAVED WATER WAY  POLYVINYLCHLORIDE PIPE  REINFORCED CONCRETE PIPE  RIM ELEVATION  RIM ELEVATION  RIM ELEVATION  RIM ELEVATION  RIM ELEVATION  RIM ELEVATION
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R=	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE CONDUIT  DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE REINFORCED CONCRETE PIPE RIM ELEVATION
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R= RIM=	CORRUGATED METAL PIPE CLEANOUT  DOUBLE CATCH BASIN  DRAIN MANHOLE  CAST IRON PIPE  CONDUIT  DUCTILE IRON PIPE  FLARED END SECTION  FORCE MAIN  FRAME AND GRATE  FRAME AND COVER  GUTTER INLET  GREASE TRAP  HIGH DENSITY POLYETHYLENE PIPE  HANDHOLE  HEADWALL  HYDRANT  INVERT ELEVATION  INVERT ELEVATION  LIGHT POLE  METAL END SECTION  POST INDICATOR VALVE  PAVED WATER WAY  POLYVINYLCHLORIDE PIPE  REINFORCED CONCRETE PIPE  RIM ELEVATION  RIM ELEVATION  RIM ELEVATION  RIM ELEVATION  RIM ELEVATION  RIM ELEVATION
CMP CO DCB DMH CIP COND DIP FES FM F&G F&C GI GT HDPE HH HW HYD INV I= LP MES PIV PWW PVC RCP R= RIM= SMH	CORRUGATED METAL PIPE CLEANOUT DOUBLE CATCH BASIN DRAIN MANHOLE CAST IRON PIPE CONDUIT DUCTILE IRON PIPE FLARED END SECTION FORCE MAIN FRAME AND GRATE FRAME AND COVER GUTTER INLET GREASE TRAP HIGH DENSITY POLYETHYLENE PIPE HANDHOLE HEADWALL HYDRANT INVERT ELEVATION LIGHT POLE METAL END SECTION POST INDICATOR VALVE PAVED WATER WAY POLYVINYLCHLORIDE PIPE RIM ELEVATION RIM ELEVATION RIM ELEVATION RIM ELEVATION SEWER MANHOLE

UTILITY POLE

## Notes

#### General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND
- LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

  4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES
- 5. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.

(BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE [##] INCHES LOAM AND SEED.

- 5. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 7. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT
- 8. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 9. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S
- 10. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 11. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 12. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 13. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 14. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA.

#### Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
  - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
  - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
  - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
  - A. WATER PIPES SHALL BE DUCTILE IRON PIPE (DIP)
  - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
  - C. STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP)
  - D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

#### **Layout and Materials**

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- 2. CURB RADII ARE 28 FEET UNLESS OTHERWISE NOTED.
- 3. CURBING SHALL BE 30" WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

#### Demolition

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
- 2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY
- 3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
- 4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK
- 5. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

## **Erosion Control**

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- 2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- 3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- 4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- 5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

## **Existing Conditions Information**

- 1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY CANOY SURVEYING. THE TOPOGRAPHY AND PHYSICAL FEATURES DATED JULY 2, 2024, ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY CANOY SURVEYING, ON ILINE 9, 2024
  - A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: [WHOM] ENGINEERING CONSULTING SERVICES (ECS)
  - B. FLAGS MARKING THE WETLANDS WERE LOCATED BY: ECS
- 2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD88 GEOID18.

## Document Use

- 1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
- 2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- 3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



VHB Engineering NC, P.C.

940 Main Campus Drive

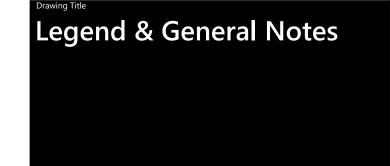
## Calyx Senior Living at Southall

3104 Southall Road Raleigh, NC

Designed by	Charled by

	REVIEW	09/23/202
Designed by Checked by	Issued for	Date
	Designed by	Checked by

## NOT FOR CONSTRUCTION



C0.01





940 Main Campus Drive Suite 500 Raleigh, NC 27606 919.829.0328 Corp. # C-3705

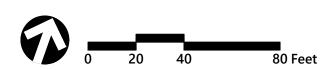
## **Demolition Legend**

WETLAND EXTENTS

TREE CONSERVATION AREA (PER SUB-0024-2024)
UTILITIES TO BE REMOVED

FENCE TO BE REMOVED

TREE PROTECTION FENCE



# Calyx Senior Living at Southall

3104 Southall Road Raleigh, NC

Designed by DDH CT

Issued for Date

REVIEW 09/23/2024

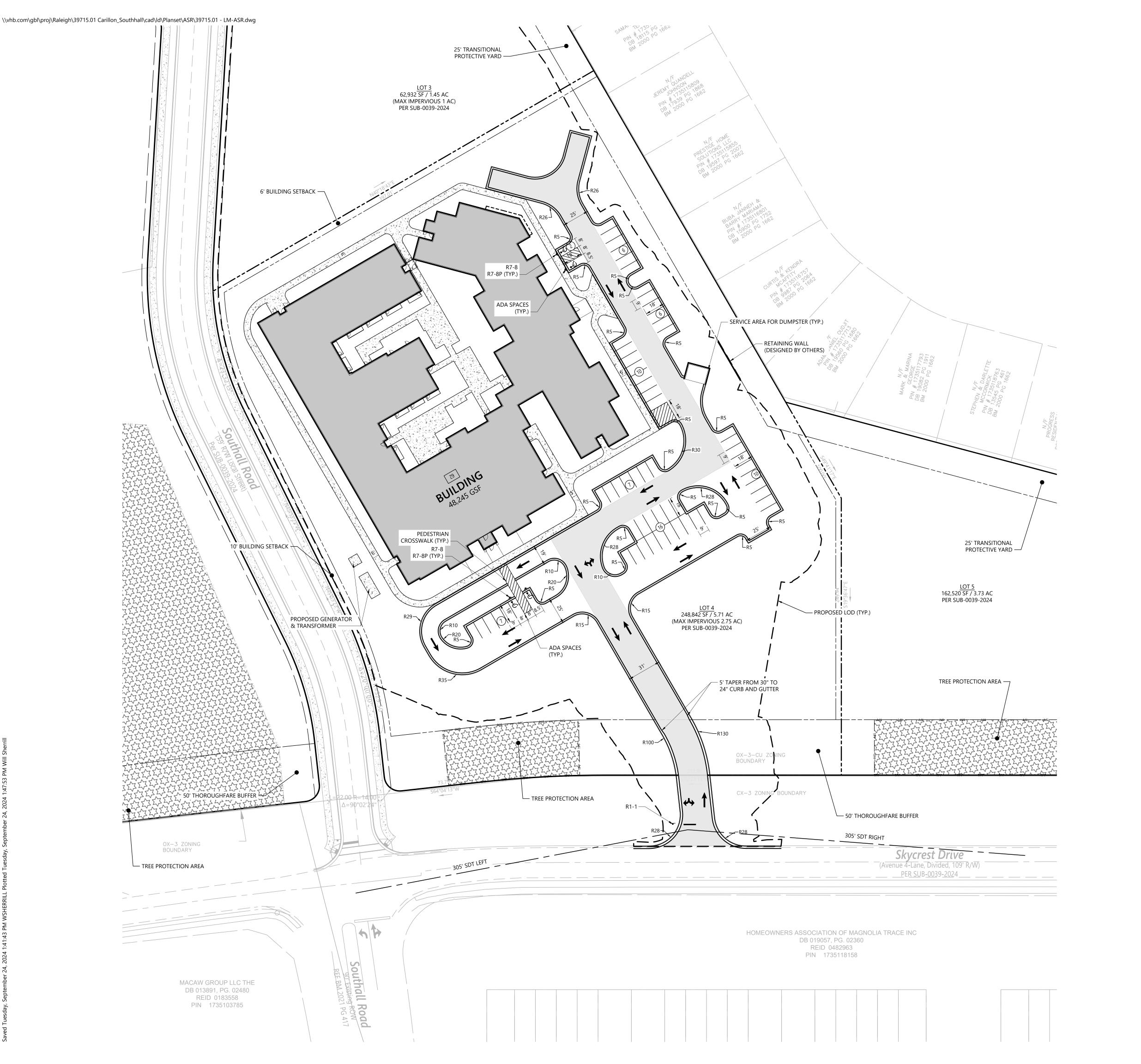
NOT FOR CONSTRUCTION

Existing Conditions & Demolition Plan

Drawing Numb

C1.00

Sheet of 3 11



- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE. 2. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH
- REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. 3. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON
- THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OPR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- 4. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY THE CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- 5. PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY CANOY SURVEYING. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY CANOY SURVEYING, ON MARCH
- 6. ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS. 7. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- 8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- 9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM. 10. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- 11. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES. 12. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN
- TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS. 13. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS. 14. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- 15. THE MINIMUM CORNER CLEARANCE FORM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAYS. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER
- 16. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC
- WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS. 17. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS. 18. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE
- AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL. 19. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND
- ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 20.IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR
- FURTHER GUIDANCE. 21.PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE
- 22. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL IMPACT TO TRAFFIC.

PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT

ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.

- 23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- 24. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 25.PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN

## Sign Summary

	11111111	ıı y		
NI. walaa w	Specification		D	
Number	Width	Height	Desc.	
R1-1	30"	30"	STOP	
R7-8	12"	18"	RESERVED PARKING	
			VAN	



VHB Engineering NC, P.C. 940 Main Campus Drive Suite 500 Raleigh, NC 27606 919.829.0328 Corp. # C-3705

## CONCRETE SIDEWALK

Legend

**BUILDING PAD** 

CONCRETE ADA SPACES TREE CONSERVATION AREA

— — STORM DRAINAGE EASEMENT

(PER SUB-0024-2024) ——— SCM MAINTENANCE & ACCESS EASEMENT

PUBLIC UTILITY EASEMENT

—— TPF —— TPF —— TREE PROTECTION FENCE

FIRE DEPARTMENT VEHICLE ACCESS LANE

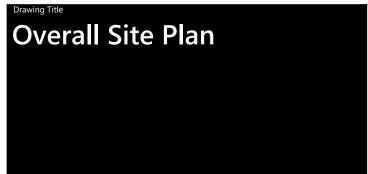


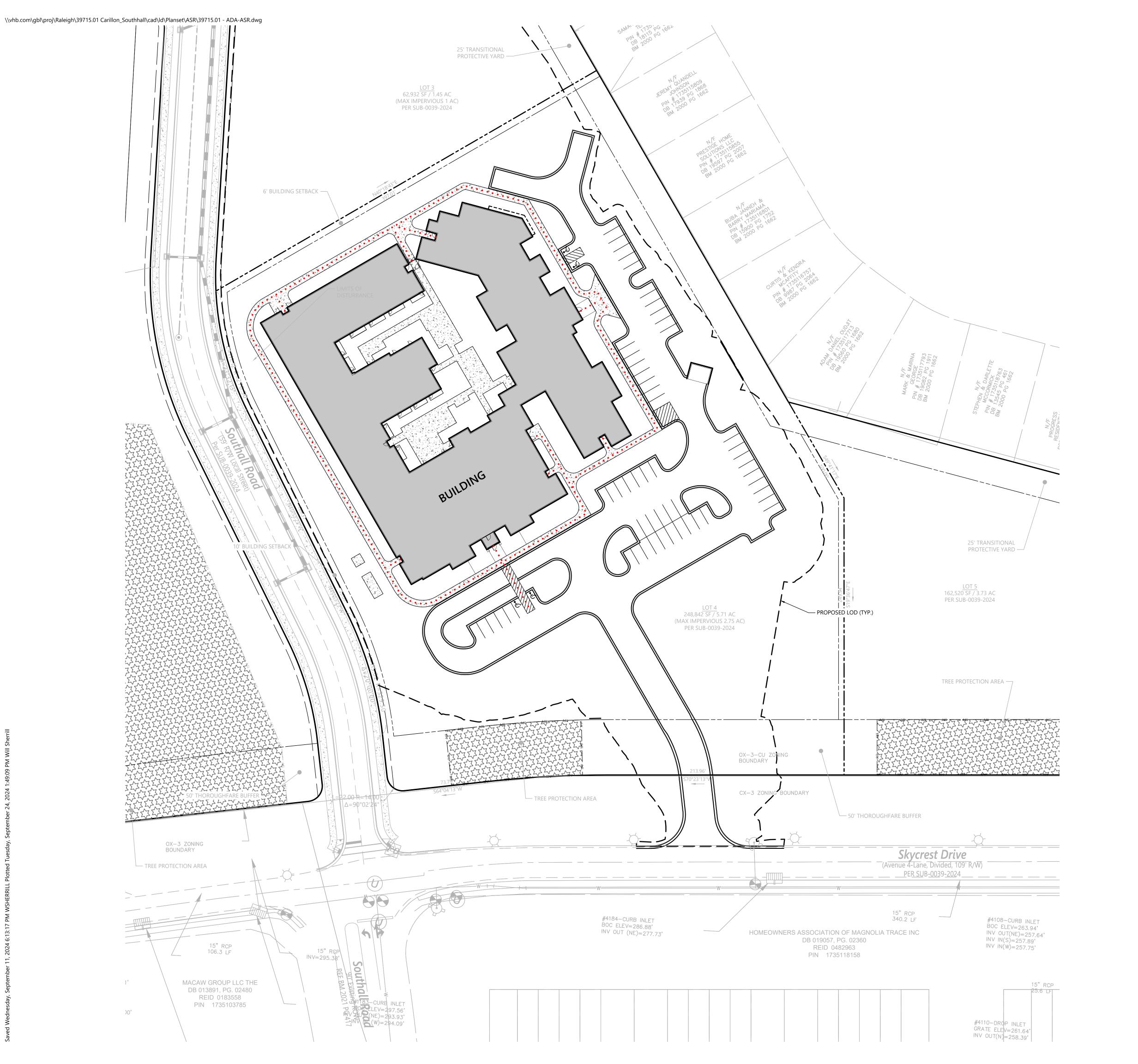
## **Calyx Senior Living** at Southall

3104 Southall Road Raleigh, NC

Designed by KH, WS, MW	Checked by CT	
Issued for	Date	
REVIEW	09/23/2024	

NOT FOR CONSTRUCTION

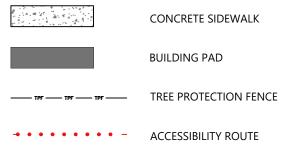


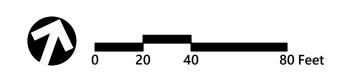




VHB Engineering NC, P.C. 940 Main Campus Drive Suite 500 Raleigh, NC 27606 919.829.0328 Corp. # C-3705







# Calyx Senior Living at Southall

3104 Southall Road Raleigh, NC

Designed by KH, WS, MW CT

Issued for Date

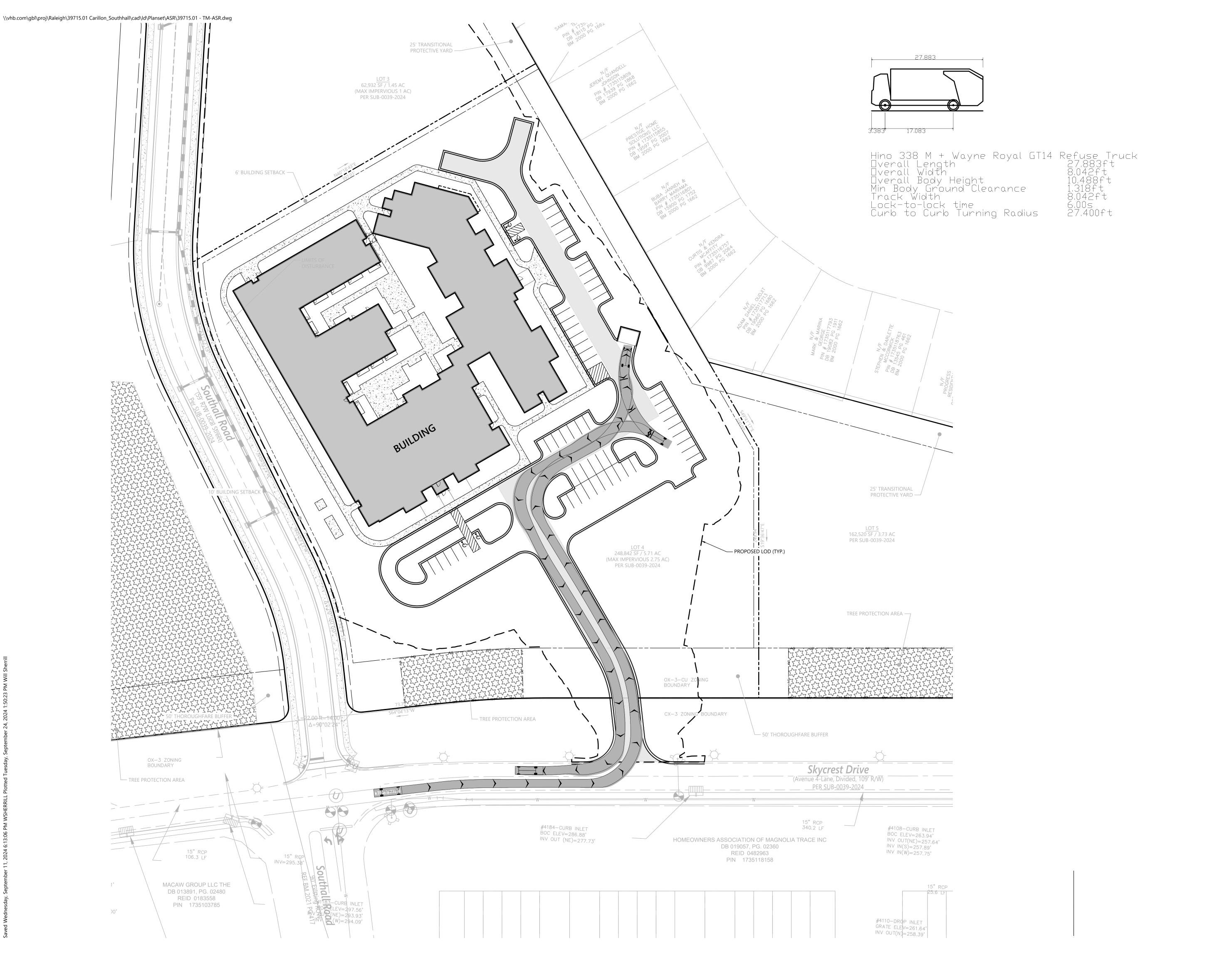
REVIEW 09/23/2024

NOT FOR CONSTRUCTION

ADA Accessibility Plan

C2.01

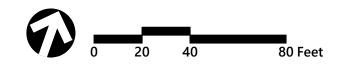
of 5 11





VHB Engineering NC, P.C. 940 Main Campus Drive Suite 500 Raleigh, NC 27606 919.829.0328 Corp. # C-3705

# CONCRETE SIDEWALK BUILDING PAD TREE CONSERVATION AREA TREE PROTECTION FENCE FIRE DEPARTMENT VEHICLE ACCESS LANE



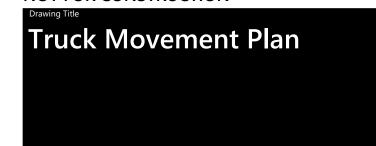
# Calyx Senior Living at Southall

3104 Southall Road Raleigh, NC

NO. REVISION Date Appvo

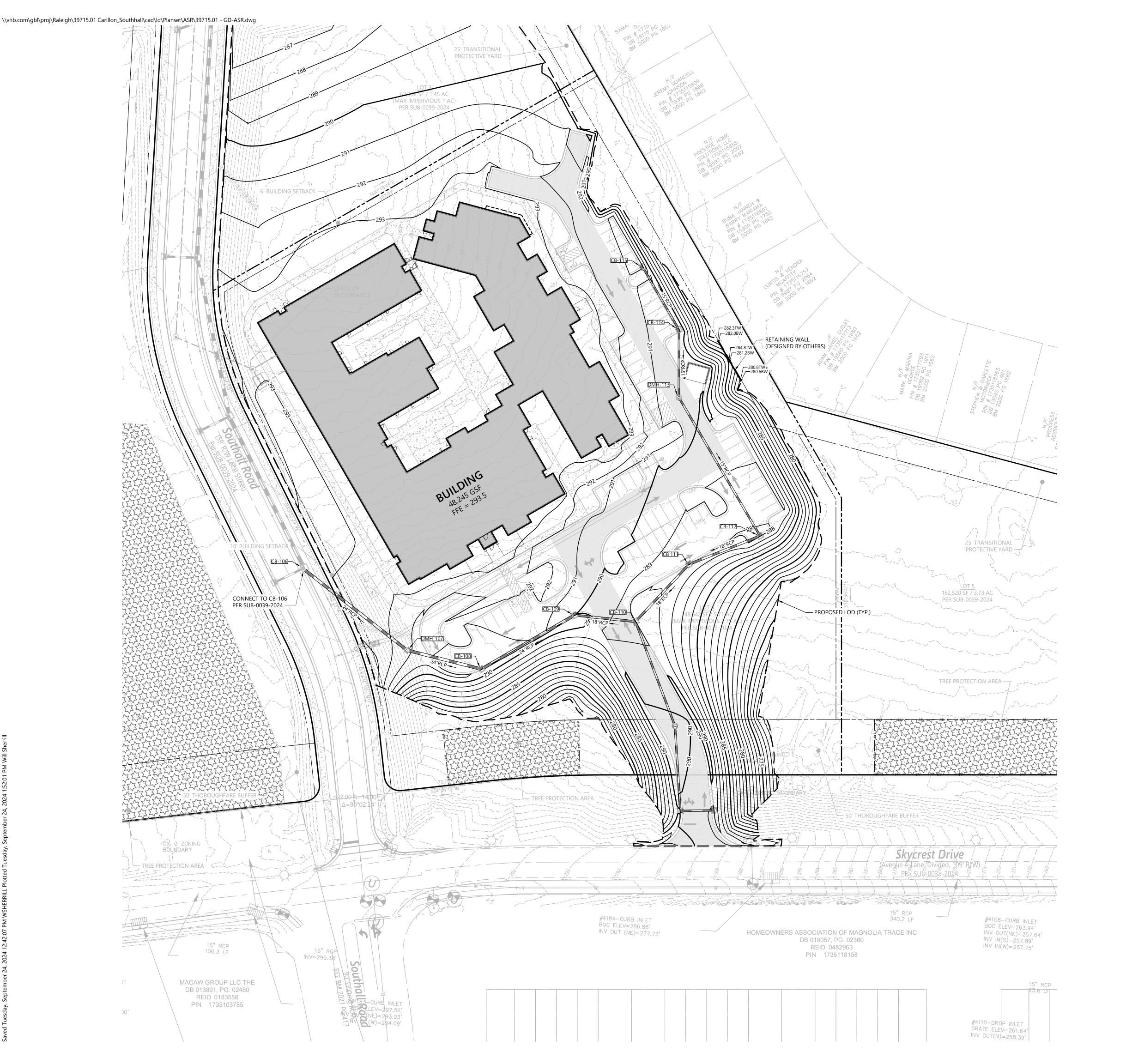
Designed by KH, WS, MW	Checked by CT
Issued for	Date
REVIEW	09/23/2024

NOT FOR CONSTRUCTION



C2.02

of 6 11



#### **GRADING NOTES**

- 1. ALL SPOT ELEVATIONS ALONG PAVEMENT REPRESENT FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.
- 2. ALL PROPOSED STORM PIPE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.
- 3. CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY MARKS, SCRAPES, GOUGES, TIRE MARKS, ETC. CAUSED DURING
- 4. DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.

#### **STORM DRAINAGE NOTES**

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- 2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
- 3. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
- 4. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM OF 1 FOOT TO THE PIPE IN NON-TRAFFIC AREAS.
- 5. MAINTAIN 18" VERTICAL SEPARATION AT ALL WATERMAIN AND REINFORCED CONCRETE PIPE (RCP) STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER AND RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS AND A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49).
- 7. STORM SEWER SHALL BE RCP CONFORMING TO ASTM C76, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS

6. MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.

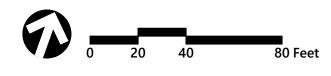
- SS-S-00210, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.
- 8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
- 9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
- 10. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL STORM SEWER DISCHARGE POINTS. A FABRIC OR WASHED STONE BARRIER SHALL BE INSTALLED BETWEEN THE DISSIPATION PAD AND THE NATURAL GROUND. ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED.
- 11. THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT 919-890-3430 TO SCHEDULE CONSTRUCTION INSPECTIONS.
- 12. STORM PIPE TRENCH EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.

#### **CONSTRUCTION NOTES**

- 1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL INCONVENIENCE TO TRAFFIC.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT
- 3. NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT TH ECITY PUBLIC WORKS DEPT.-TRANSPORTATION OPERATIONS DIVISION AT 919-996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-516-2495 TO OBTAIN A STREET CUT PERMIT.
- 5. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE
- 6. THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS
- ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- 7. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREET TO EXISTING CONDITION OR BETTER.
- 8. IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCD OR THE NCDOT STANDARD DRAWINGS 11101.02 (SHEET 1), 11101.04 AND 11101.11.
- 9. TOTAL DISTURBED AREA IS 268,677 SF (6.17 ACRES).



VHB Engineering NC, P.C. 940 Main Campus Drive Suite 500 Raleigh, NC 27606 919.829.0328 Corp. # C-3705



## **Calyx Senior Living** at Southall

3104 Southall Road Raleigh, NC

KH, WS, MW **REVIEW** 09/23/2024

NOT FOR CONSTRUCTION

**Grading & Drainage Plan** 

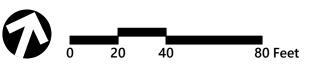
39715.01

#### **Standard Utility Notes (As Applicable):**

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- 2. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- 3. UTILITY SEPARATION REQUIREMENTS:
- 4. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
- 5. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
- 6. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE
- 7. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- 8. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
- 9. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- 10. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- 11. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING
- 12. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 13. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- 14. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- 15. INSTALL 2" DUCTILE IRON\* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- 16. INSTALL 8" PVC SEWER SERVICES @ .5% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- 17. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- 18. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- 19. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- 20. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR FOG@RALEIGHNC.GOV FOR MORE INFORMATION
- 21.CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION



VHB Engineering NC, P.C. 940 Main Campus Drive Suite 500 Raleigh, NC 27606 919.829.0328 Corp. # C-3705



## **Calyx Senior Living** at Southall

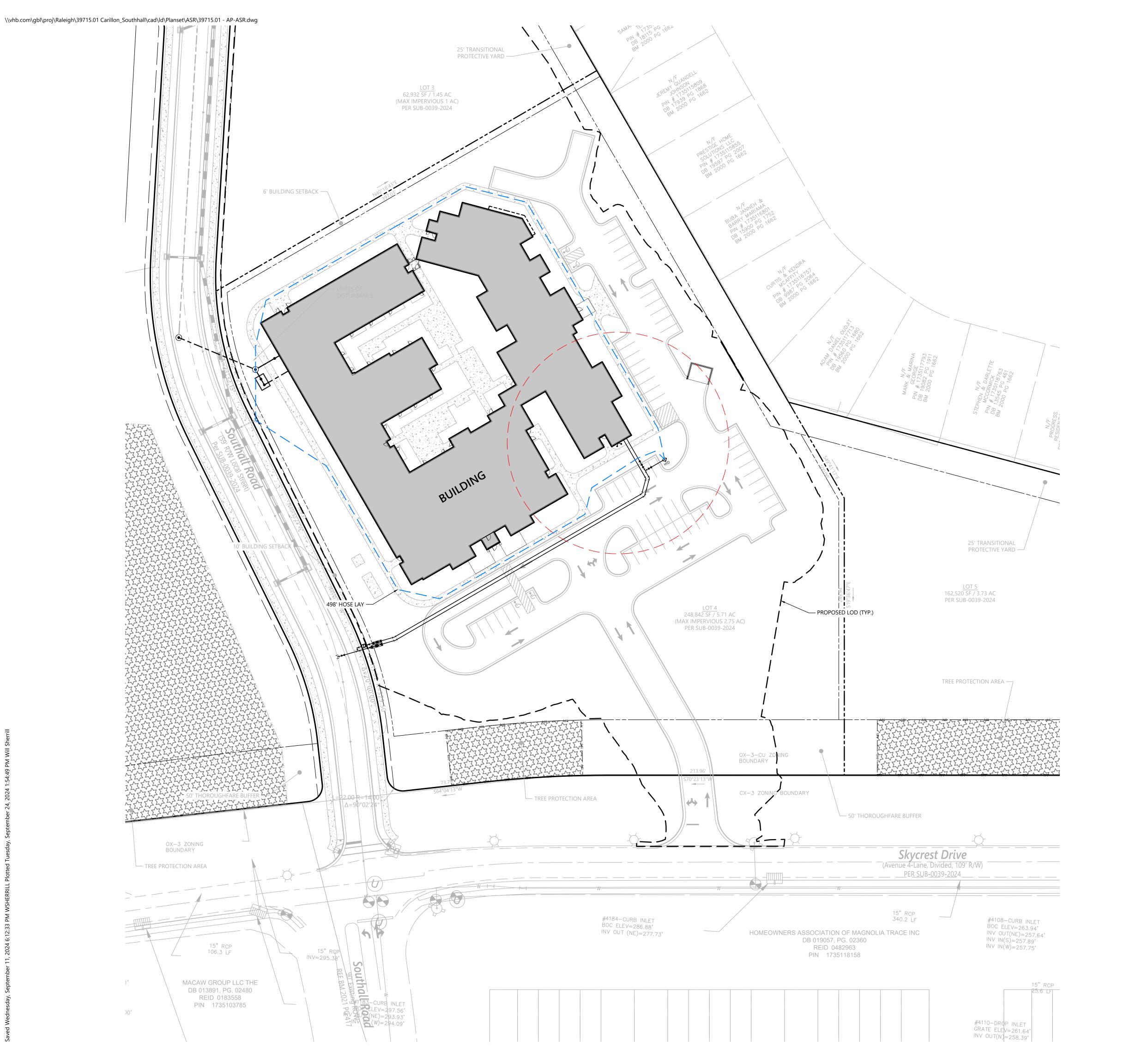
3104 Southall Road Raleigh, NC

esigned by	Checked by

KH, WS, MW **REVIEW** 09/23/2024

NOT FOR CONSTRUCTION

**Utility Plan** 





Suite 500

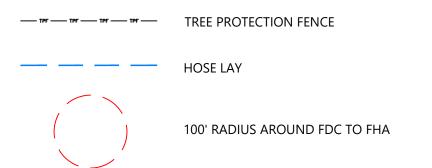
919.829.0328

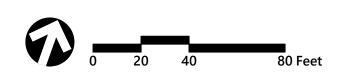
Corp. # C-3705

940 Main Campus Drive

Raleigh, NC 27606

## Legend





# Calyx Senior Living at Southall

3104 Southall Road Raleigh, NC

signed by Checked by

Designed by KH, WS, MW CT

Issued for Date

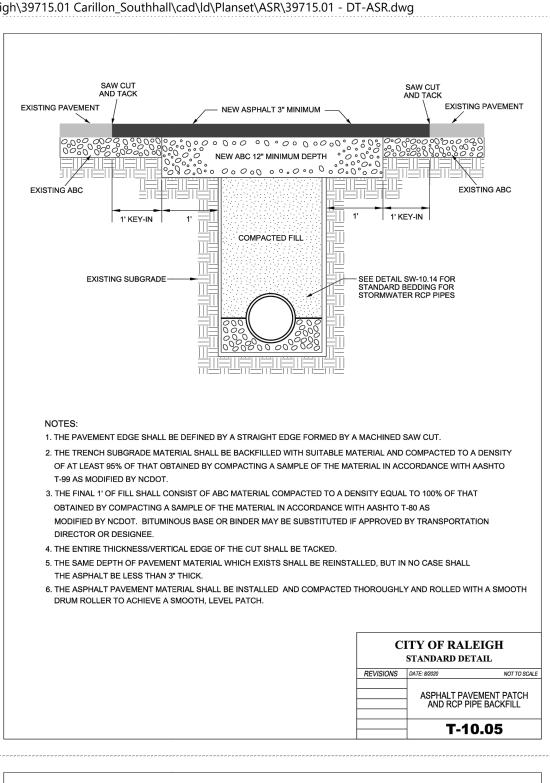
REVIEW 09/23/2024

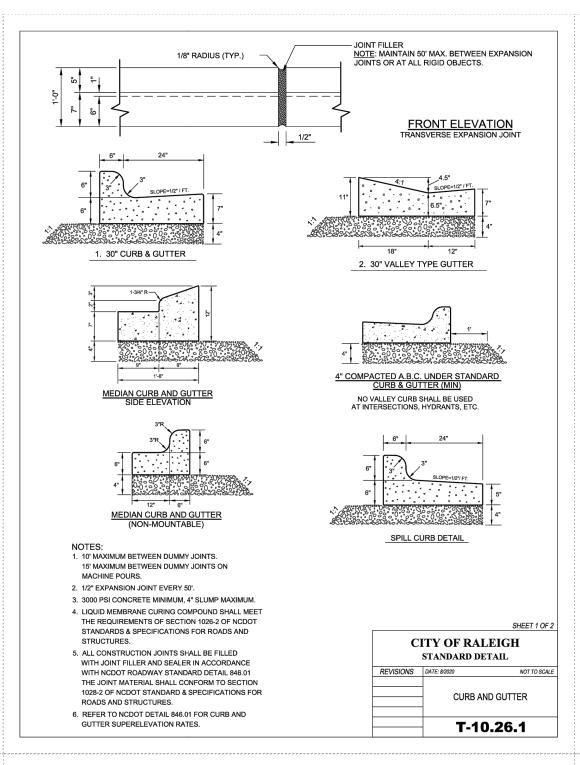
NOT FOR CONSTRUCTION

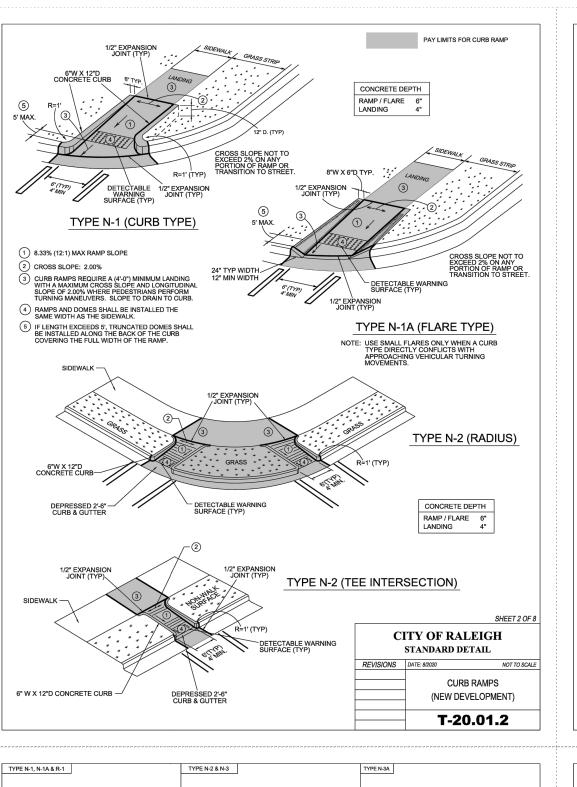
Apparatus Plan

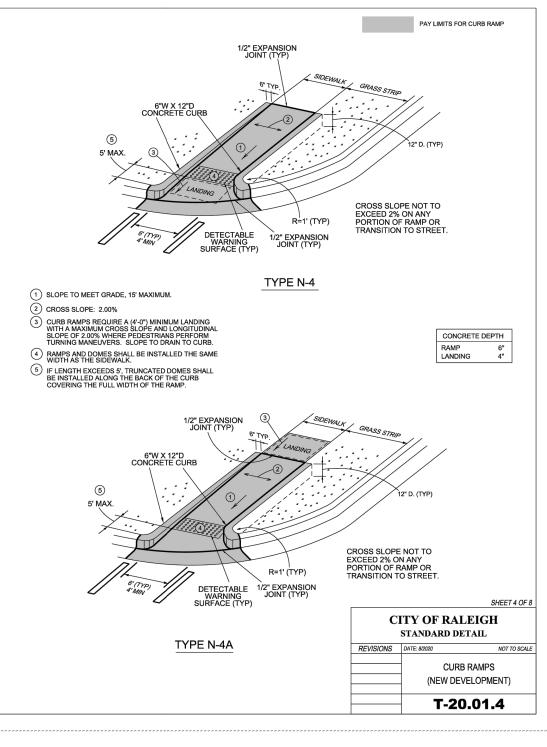
C4.01

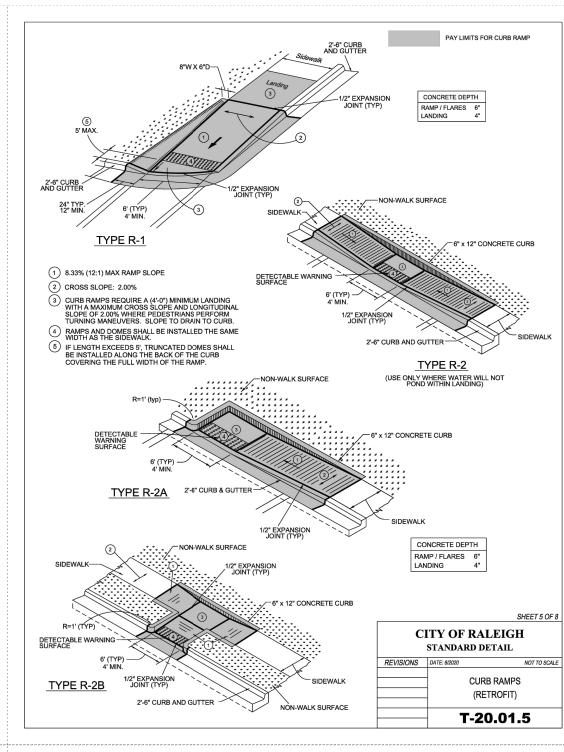
Sheet of 9 11

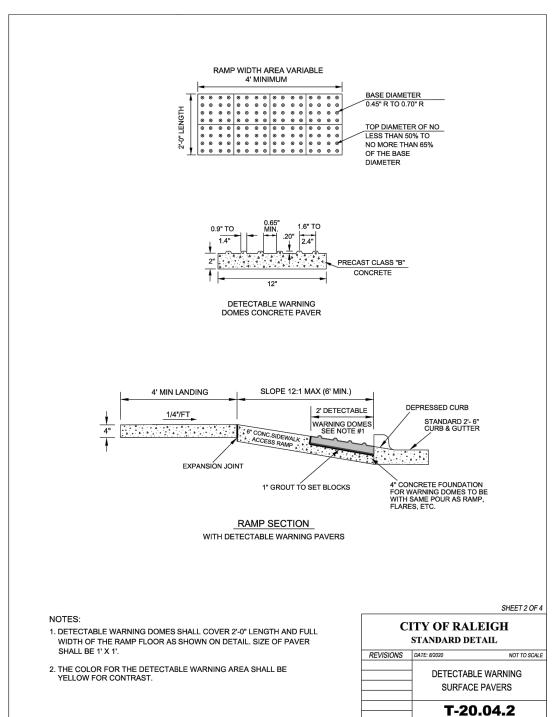


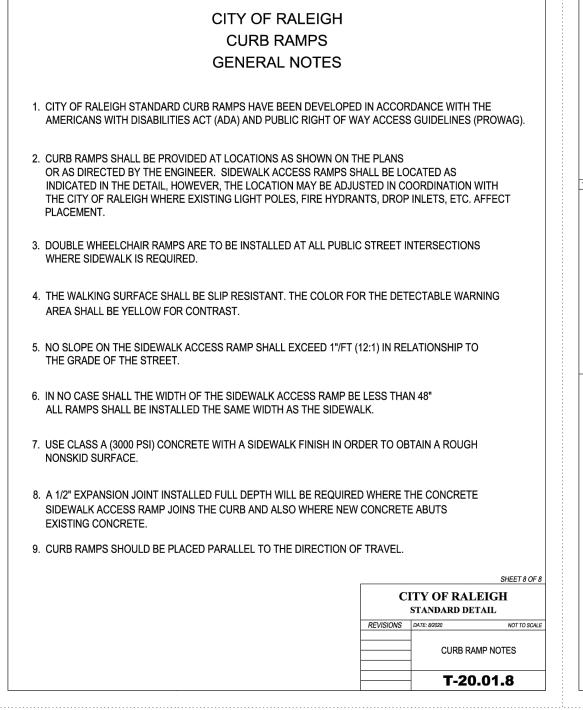


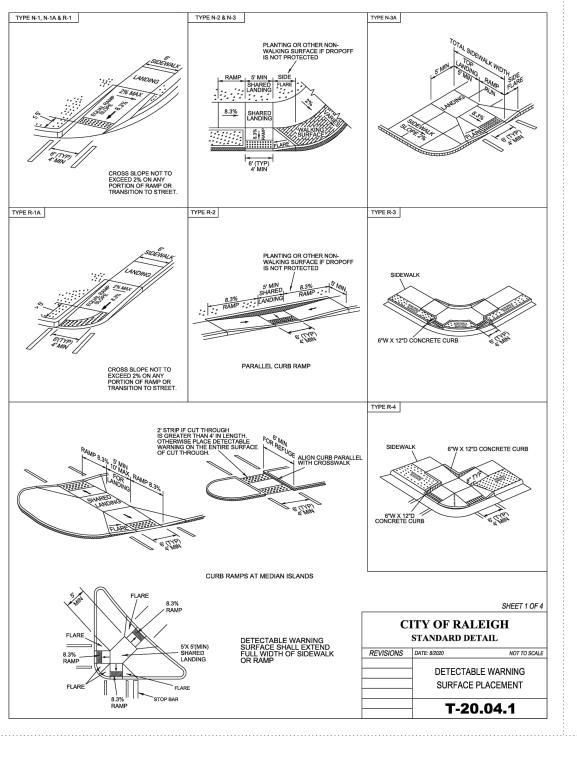


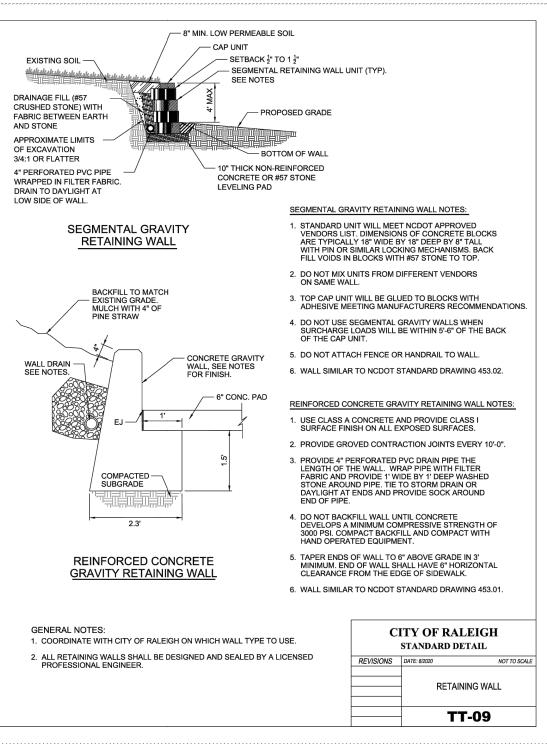


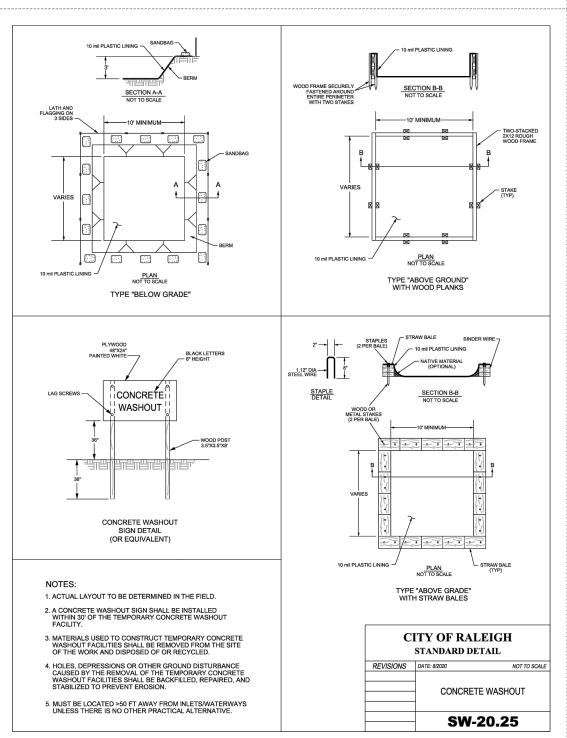


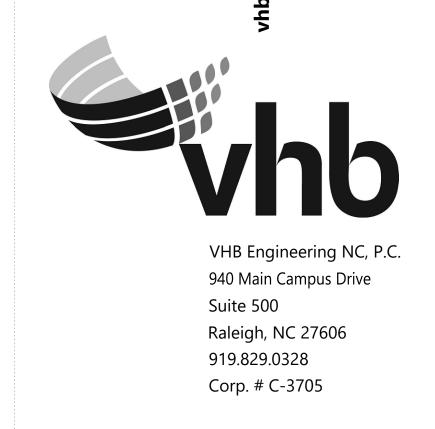






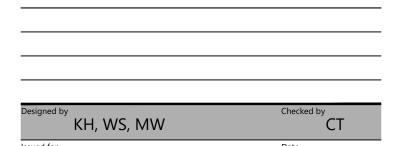






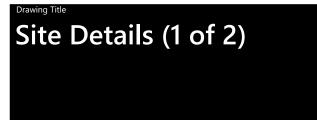
## **Calyx Senior Living** at Southall

3104 Southall Road Raleigh, NC

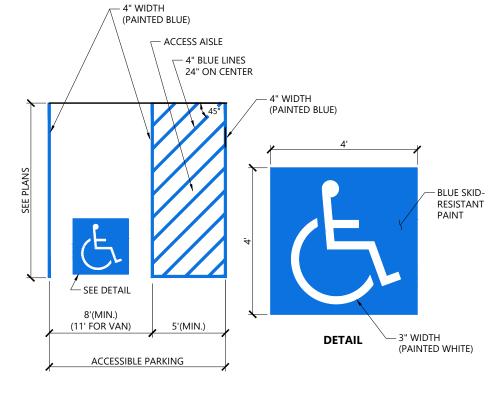


09/23/2024 **REVIEW** 

NOT FOR CONSTRUCTION

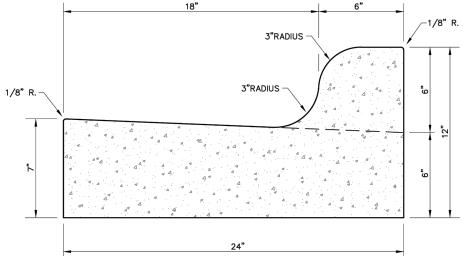


Project Number 39715.01



1. ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING.

2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.



**Accessible Parking Space** 

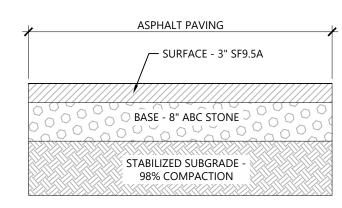
LD\_552A

24" Curb and Gutter

#### NOTES

- FOR ADDITIONAL INFORMATION ON RAMPS SEE SECTION 405 RAMPS OF THE DEPARTMENT OF JUSTICE 2010 STANDARDS.
- EDGE PROTECTION TO BE PROVIDED BY EXTENDING THE RAMP SURFACE
   12 INCHES BEYOND THE INSIDE FACE OF THE HANDRAIL OR PROVIDING
   A BOTTOM RAIL WITH THE BOTTOM OF THE RAIL TO BE NO HIGHER
   THAN 4 INCHES ABOVE THE RAMP SURFACE.
- 3. REFER TO SIDEWALK DETAIL FOR SIDEWALK CONSTRUCTION.

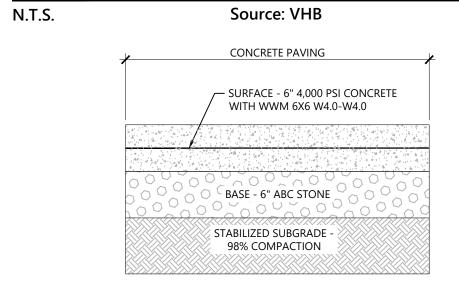
Concrete Ramp with Handrails			2/20
N.T.S.	Source: VHB	REV	LD_764



## OTES:

- 1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION SPECIFICATIONS.
- 2. THE DESIGN IS CONTINGENT UPON THE PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.

## **Asphalt Pavement Detail**

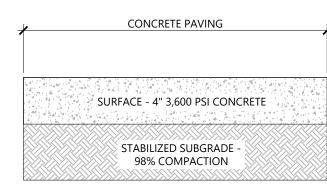


#### NOTES:

- 1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION SPECIFICATIONS.
- 2. THE DESIGN IS CONTINGENT UPON THE PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.

## **Dumpster Pad Concrete Pavement Detail**

N.T.S. Source: VHB

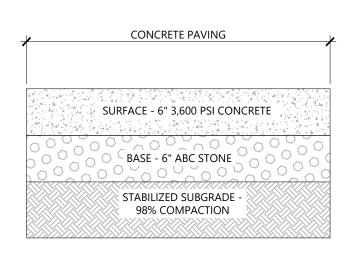


## NOTES:

- 1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION SPECIFICATIONS.
- 2. THE DESIGN IS CONTINGENT UPON THE PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.

## **Concrete Sidewalk Pavement Detail**

N.T.S. Source: VHB

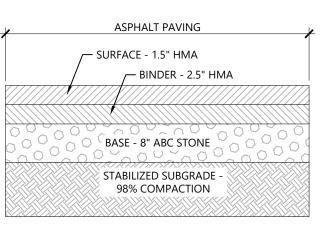


#### NOTES

- 1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION SPECIFICATIONS.
- 2. THE DESIGN IS CONTINGENT UPON THE PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.

## **Concrete ADA Spaces Detail**

N.T.S. Source: VHB



## NOTES:

- 1. ALL MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION SPECIFICATIONS.
- 2. THE DESIGN IS CONTINGENT UPON THE PROPER CONSTRUCTION, INSPECTION, AND MAINTENANCE.

## **Heavy Duty Asphalt Pavement Detail**

N.T.S. Source: VHB

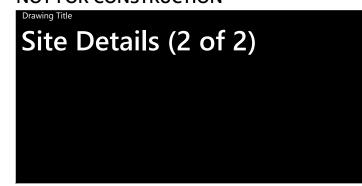


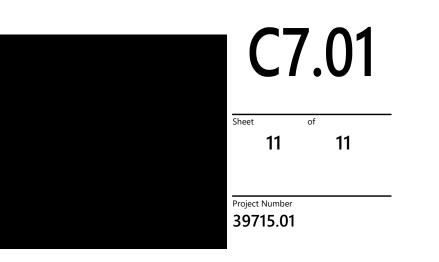
# Calyx Senior Living at Southall

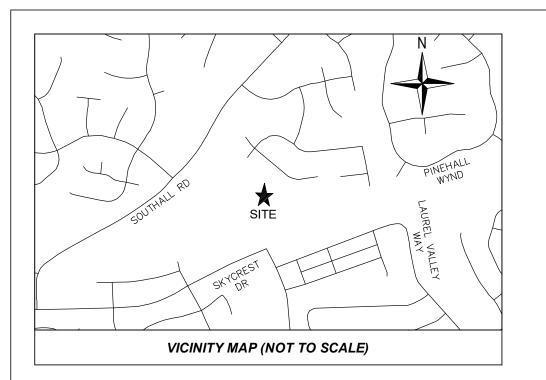
3104 Southall Road Raleigh, NC

Designed by	Checked by
KH, WS, MW	CI
Issued for	Date
REVIEW	09/23/2024

NOT FOR CONSTRUCTION







#### ABBREVIATION LEGEND

- IRF IRON REBAR FOUND
  IPF IRON PIPE FOUND
  N/F NOW OR FORMERLY
  CP COMPUTED POINT
  DB DEED BOOK
  BM BOOK OF MAPS

## LINE LEGEND

PROPERTY LINE (PL) PL NOT SURVEYED TIE LINE
EDGE OF CONCRETE
EASEMENT
EDGE OF GRAVEL
WOODEN FENCE
—x——x— WIRE FENCE

— CENTERLINE OF ROAD — CHAIN—LINK FENCE

— OVERHEAD UTILITY LINE RIGHT-OF-WAY - CONTOUR MAJOR

--- CONTOUR MINOR

--- ZONING BOUNDARY LINE

FO FIBEROPTIC HANDHOLE C LIGHT POLE F ELETRIC TRANSFORMER UNKNOWN MANHOLE

DROP INLET

SYMBOL LEGEND

TELEPHONE PEDESTAL

STORM MANHOLE

UTILITY POLE FIRE HYDRANT

₩ATER VALVE

CURB INLET

M MAILBOX ELECTRIC METER

W WATER METER SEWER CLEAN OUT

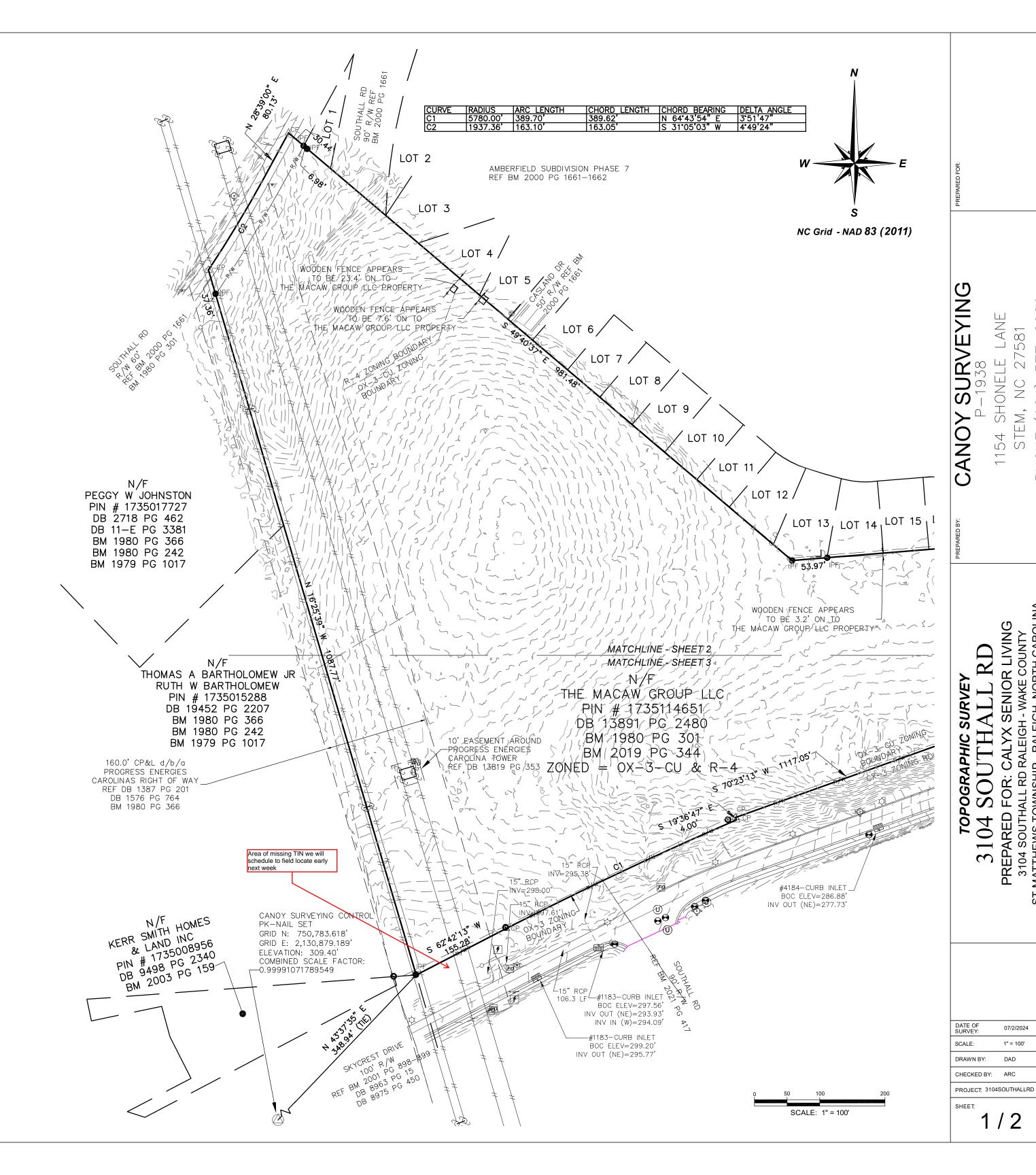
■ HVAC

#### **GPS GRID TIE NOTES**

- 1) CLASS OF SURVEY: CLASS B
- 2) HORIZONTAL POSITIONAL ACCURACY: 1.20' 3) GPS FIELD PROCEDURE: REAL TIME NETWORK (VRS)
- 4) DATE OF GPS SURVEY: 5/28/2024
- NC STATE PLANE COORDINATE SYSTEM
- NAD83 (2011) 6) PUBLISHED / FIXED CONTROL USED:
- CORS(NC RTN)
- 7) GEIOD MODEL: GEIOD 18
- 8) UNIT OF MEASUREMENT: U.S. SURVEY FOOT
- 9) ROOT MEAN SQUARE ERROR AT 95%
- CONFIDENCE LEVEL USED TO CHECK CCURACY

I CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95% CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A STANDARD AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS A STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED ON STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED ON 5/28/2024; THAT THE SURVEY WAS COMPLETED ON 6/9/2024; THAT CONTOURS SHOWN MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON 'NAD 83' AND REALIZATION (2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88 GEOID 18.

DAM E. CANDYERCH NIGERS OR SALES: R REVIEW PURPOSES ONLY



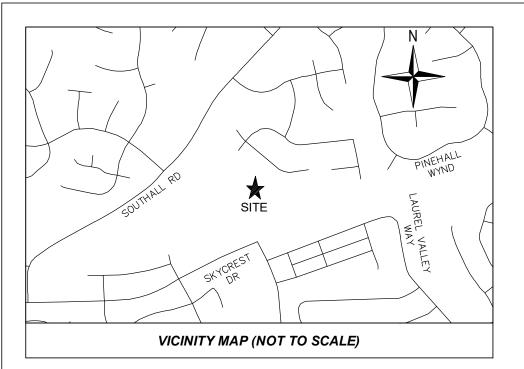
LYX SENIOR LIVING LEIGH - WAKE COUNTY RALEIGH, NORTH CAROLINA

PREPARED I 3104 SOUTH

07/2/2024

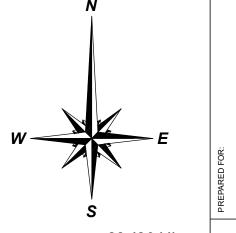
1" = 100'

DAD



## GENERAL NOTES

- THIS IS A TOPOGRAPHIC SURVEY OF AN EXISTING PARCEL(S) OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD83 (2011). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- AREA BY COORDINATE GEOMETRY. REFERENCES: DB 13891 PG 2480; BM 1980 PG 301; BM 2003, PG 159; BM 1980, PG 366; BM 2000, PG 1661-1662; BM 1999, PG 310; BM 1991, PG 1198; BM 2021, PG 417-419; BM 2001, PG 898. OF THE WAKE COUNTY REGISTRY. PIN: 1735114651
- 5. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- 6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3720173500K
- 7. NO NCGS MONUMENTS FOUND WITHIN 2000 FEET.
  8. NO ENVIRONMENTAL FEATURES LOCATED, OR CONSIDERED AT THE TIME OF THIS SURVEY.



NC Grid - NAD 83 (2011)

#### ABBREVIATION LEGEND

- IRF IRON REBAR FOUND IPF IRON PIPE FOUND N/F NOW OR FORMERLY

- CP COMPUTED POINT
  DB DEED BOOK
  BM BOOK OF MAPS

#### LINE LEGEND

- PROPERTY LINE (PL)
  PL NOT SURVEYED
- EDGE OF CONCRETE — — EASEMENT
- ---- EDGE OF GRAVEL ----- EDGE OF RIPRAP — CHAIN-LINK FENCE
- ------ WOODEN FENCE - CENTERLINE OF ROAD
- CHAIN-LINK FENCE --//---- OVERHEAD UTILITY LINE ---- STORM DRAINAGE PIPE
- RIGHT-OF-WAY ---- CONTOUR MAJOR --- CONTOUR MINOR

--- ZONING BOUNDARY LINE

## SYMBOL LEGEND

- M MAILBOX
- ELECTRIC METER W WATER METER SEWER CLEAN OUT
- HVAC
- TELEPHONE PEDESTAL STORM MANHOLE
- S. UTILITY POLE
- FIRE HYDRANT
- WATER VALVE
- CURB INLET DROP INLET
- FO FIBEROPTIC HANDHOLE ⊸ SIGN
- LIGHT POLE
- F ELETRIC TRANSFORMER (U) UNKNOWN MANHOLE

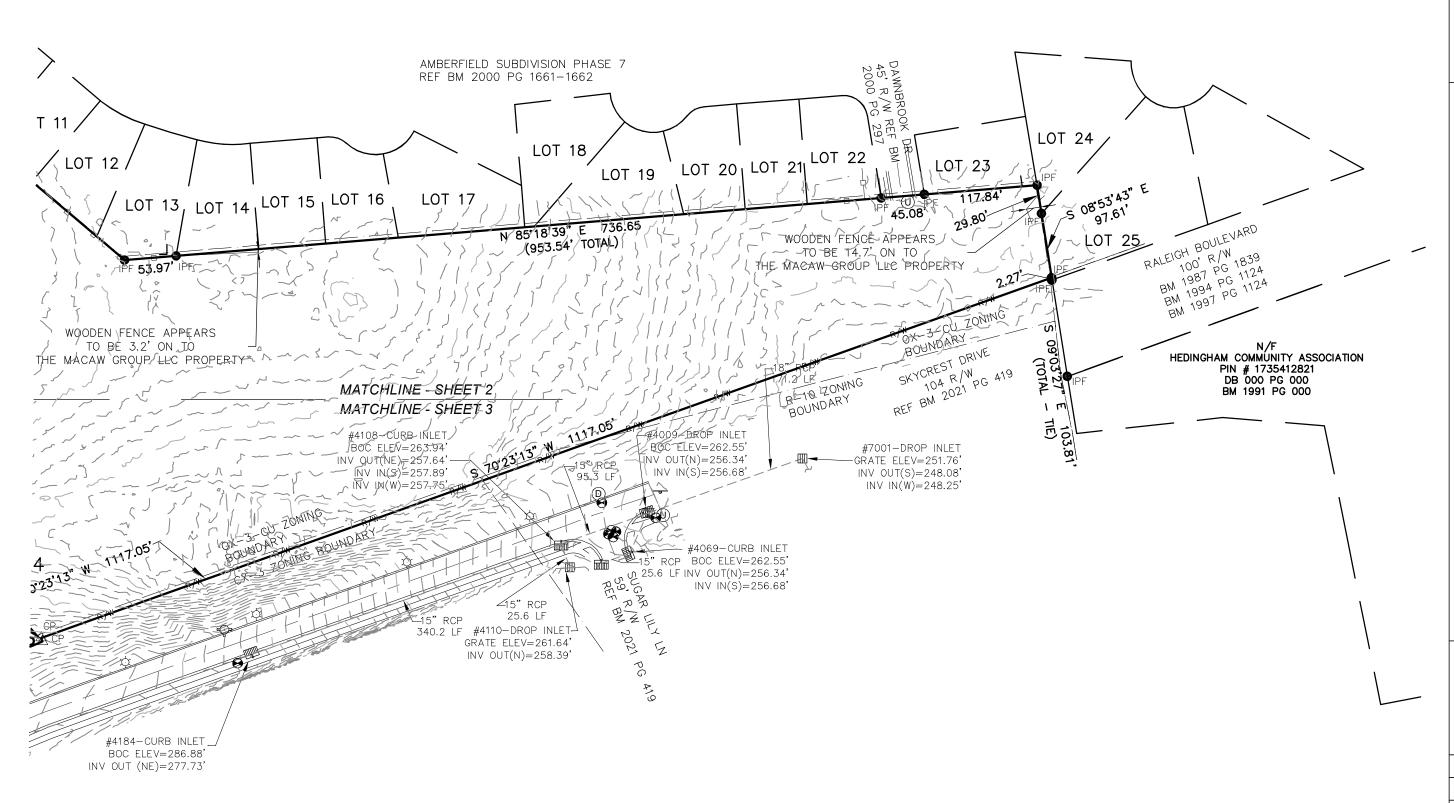
## GPS GRID TIE NOTES

- 1) CLASS OF SURVEY: CLASS B
- 2) HORIZONTAL POSITIONAL ACCURACY: 1.20'
- 3) GPS FIELD PROCEDURE: REAL TIME NETWORK (VRS)
- 4) DATE OF GPS SURVEY: 5/28/2024
- NC STATE PLANE COORDINATE SYSTEM NAD83 (2011)
- 6) PUBLISHED / FIXED CONTROL USED: CORS(NC RTN)
- 7) GEIOD MODEL: GEIOD 18
- 8) <u>UNIT OF MEASUREMENT</u>: U.S. SURVEY FOOT
- 9) ROOT MEAN SQUARE ERROR AT 95% CONFIDENCE LEVEL USED TO CHECK CCURACY

I CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95% CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A STANDARD AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS A

STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED ON 5/28/2024; THAT THE SURVEY WAS COMPLETED ON 6/9/2024; THAT CONTOURS SHOWN MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON 'NAD 83' AND REALIZATION (2011) AND ALL FLEVATIONS ARE BASED ON NAVD 88 GEOID 18

ON, CONVEYANCES OR SALES, RACHEW PURPOSES ONLY



SURVEYING -1938 LANE CANOY 

62

 $\infty$ 

POGRAPHIC SURVEY

) FOR: CALYX SENIOR LIVING HALL RD RALEIGH - WAKE COUNTY OWNSHIP - RALEIGH, NORTH CAROLINA SOUTHALL RD PREPARED I 3104 SOUTH 104

6/29/2024 SCALE: 1" = 100'

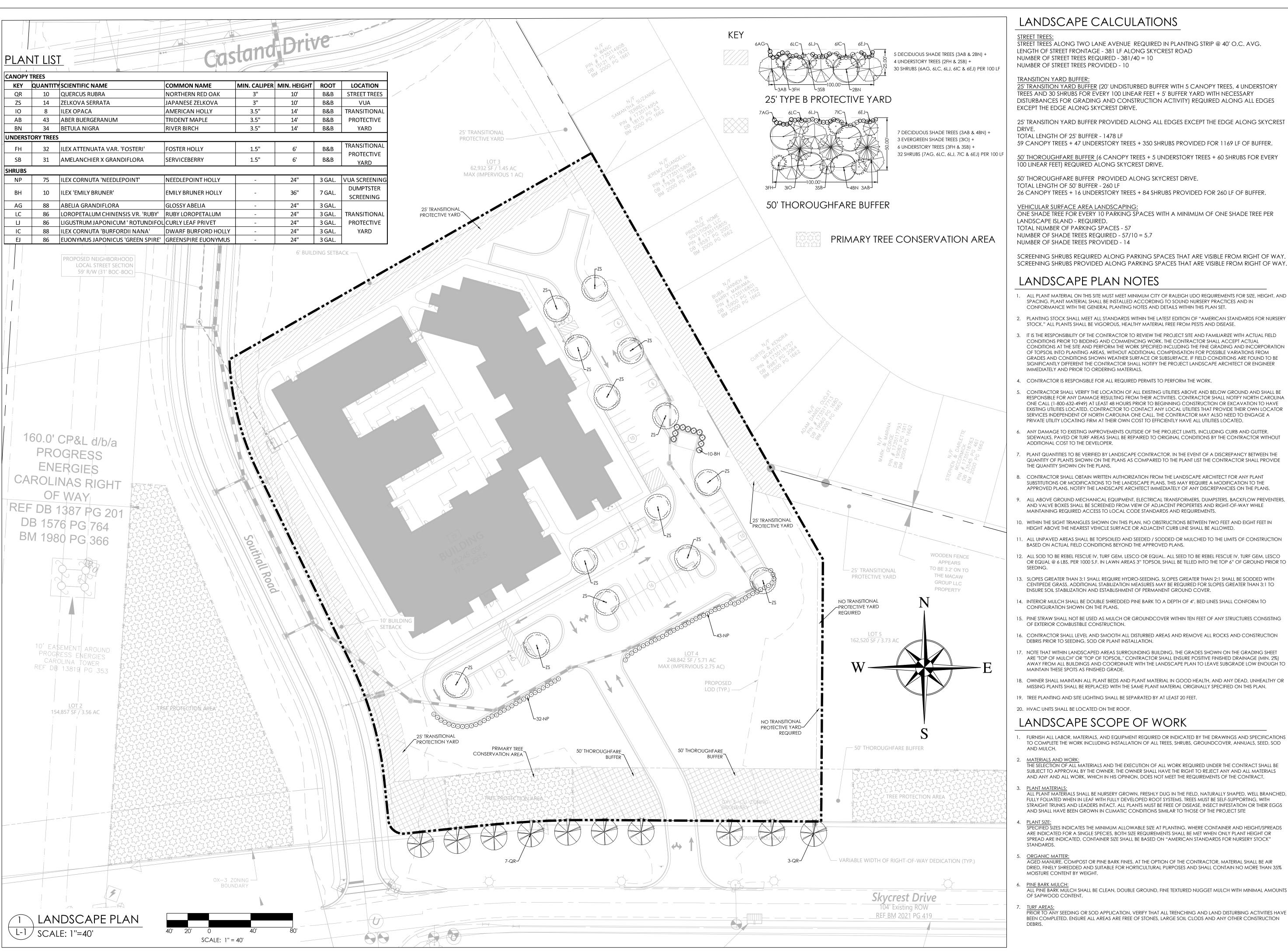
DAD

CHECKED BY: ARC PROJECT: 3104SOUTHALLRD

DRAWN BY:

SCALE: 1" = 100'

SHEET: 2/2



## LANDSCAPE CALCULATIONS

STREET TREES ALONG TWO LANE AVENUE REQUIRED IN PLANTING STRIP @ 40' O.C. AVG. LENGTH OF STREET FRONTAGE - 381 LF ALONG SKYCREST ROAD NUMBER OF STREET TREES REQUIRED - 381/40 = 10

NUMBER OF STREET TREES PROVIDED - 10

TRANSITION YARD BUFFER

25' TRANSITION YARD BUFFER (20' UNDISTURBED BUFFER WITH 5 CANOPY TREES, 4 UNDERSTORY TREES AND 30 SHRUBS FOR EVERY 100 LINEAR FEET + 5' BUFFER YARD WITH NECESSARY DISTURBANCES FOR GRADING AND CONSTRUCTION ACTIVITY) REQUIRED ALONG ALL EDGES EXCEPT THE EDGE ALONG SKYCREST DRIVE.

25' TRANSITION YARD BUFFER PROVIDED ALONG ALL EDGES EXCEPT THE EDGE ALONG SKYCREST

59 CANOPY TREES + 47 UNDERSTORY TREES + 350 SHRUBS PROVIDED FOR 1169 LF OF BUFFER.

50' THOROUGHFARE BUFFER (6 CANOPY TREES + 5 UNDERSTORY TREES + 60 SHRUBS FOR EVERY 100 LINEAR FEET) REQUIRED ALONG SKYCREST DRIVE.

50' THOROUGHFARE BUFFER PROVIDED ALONG SKYCREST DRIVE.

26 CANOPY TREES + 16 UNDERSTORY TREES + 84 SHRUBS PROVIDED FOR 260 LF OF BUFFER.

VEHICULAR SURFACE AREA LANDSCAPING: ONE SHADE TREE FOR EVERY 10 PARKING SPACES WITH A MINIMUM OF ONE SHADE TREE PER LANDSCAPE ISLAND - REQUIRED.

NUMBER OF SHADE TREES REQUIRED - 57/10 = 5.7

SCREENING SHRUBS REQUIRED ALONG PARKING SPACES THAT ARE VISIBLE FROM RIGHT OF WAY. SCREENING SHRUBS PROVIDED ALONG PARKING SPACES THAT ARE VISIBLE FROM RIGHT OF WAY.

## LANDSCAPE PLAN NOTES

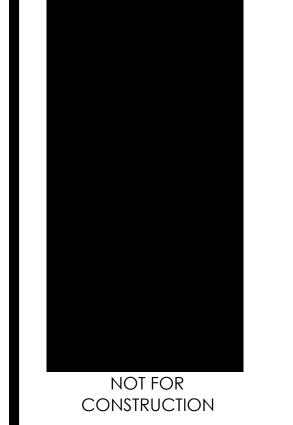
- I. ALL PLANT MATERIAL ON THIS SITE MUST MEET MINIMUM CITY OF RALEIGH UDO REQUIREMENTS FOR SIZE, HEIGHT, AND SPACING. PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS WITHIN THIS PLAN SET.
- 2. PLANTING STOCK SHALL MEET ALL STANDARDS WITHIN THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK." ALL PLANTS SHALL BE VIGOROUS, HEALTHY MATERIAL FREE FROM PESTS AND DISEASE.
- 3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIARIZE WITH ACTUAL FIELD CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK, THE CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT THE SITE AND PERFORM THE WORK SPECIFIED INCLUDING THE FINE GRADING AND INCORPORATION OF TOPSOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATIONS FROM GRADES AND CONDITIONS SHOWN WEATHER SURFACE OR SUBSURFACE. IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY AND PRIOR TO ORDERING MATERIALS.
- 4. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS TO PERFORM THE WORK.
- 5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GROUND AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL. THE CONTRACTOR MAY ALSO NEED TO ENGAGE A PRIVATE UTILITY LOCATING FIRM AT THEIR OWN COST TO EFFICIENTLY HAVE ALL UTILITIES LOCATED.
- ANY DAMAGE TO EXISTING IMPROVEMENTS OUTSIDE OF THE PROJECT LIMITS, INCLUDING CURB AND GUTTER, SIDEWALKS, PAVED OR TURF AREAS SHALL BE REPAIRED TO ORIGINAL CONDITIONS BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE DEVELOPER.
- 7. PLANT QUANTITIES TO BE VERIFIED BY LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE PLANS AS COMPARED TO THE PLANT LIST THE CONTRACTOR SHALL PROVIDE THE QUANTITY SHOWN ON THE PLANS.
- 8. CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OR MODIFICATIONS TO THE LANDSCAPE PLANS. THIS MAY REQUIRE A MODIFICATION TO THE APPROVED PLANS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES ON THE PLANS.
- 9. ALL ABOVE GROUND MECHANICAL EQUIPMENT, ELECTRICAL TRANSFORMERS, DUMPSTERS, BACKFLOW PREVENTERS, AND VALVE BOXES SHALL BE SCREENED FROM VIEW OF AD JACENT PROPERTIES AND RIGHT-OF-WAY WHILL MAINTAINING REQUIRED ACCESS TO LOCAL CODE STANDARDS AND REQUIREMENTS.
- 10. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTIONS BETWEEN TWO FEET AND EIGHT FEET IN HEIGHT ABOVE THE NEAREST VEHICLE SURFACE OR ADJACENT CURB LINE SHALL BE ALLOWED.
- ALL UNPAVED AREAS SHALL BE TOPSOILED AND SEEDED / SODDED OR MULCHED TO THE LIMITS OF CONSTRUCTION BASED ON ACTUAL FIELD CONDITIONS BEYOND THE APPROVED PLANS.
- 12. ALL SOD TO BE REBEL FESCUE IV, TURF GEM, LESCO OR EQUAL. ALL SEED TO BE REBEL FESCUE IV, TURF GEM, LESCO OR EQUAL @ 6 LBS. PER 1000 S.F. IN LAWN AREAS 3" TOPSOIL SHALL BE TILLED INTO THE TOP 6" OF GROUND PRIOR TO
- 13. SLOPES GREATER THAN 3:1 SHALL REQUIRE HYDRO-SEEDING. SLOPES GREATER THAN 2:1 SHALL BE SODDED WITH CENTIPEDE GRASS. ADDITIONAL STABILIZATION MEASURES MAY BE REQUIRED FOR SLOPES GREATER THAN 3:1 TO
- ENSURE SOIL STABILIZATION AND ESTABLISHMENT OF PERMANENT GROUND COVER. 14. INTERIOR MULCH SHALL BE DOUBLE SHREDDED PINE BARK TO A DEPTH OF 4". BED LINES SHALL CONFORM TO
- 15. PINE STRAW SHALL NOT BE USED AS MULCH OR GROUNDCOVER WITHIN TEN FEET OF ANY STRUCTURES CONSISTING
- OF EXTERIOR COMBUSTIBLE CONSTRUCTION. 16. CONTRACTOR SHALL LEVEL AND SMOOTH ALL DISTURBED AREAS AND REMOVE ALL ROCKS AND CONSTRUCTION
- DEBRIS PRIOR TO SEEDING, SOD OR PLANT INSTALLATION. 17. NOTE THAT WITHIN LANDSCAPED AREAS SURROUNDING BUILDING, THE GRADES SHOWN ON THE GRADING SHEET ARE 'TOP OF MULCH" OR 'TOP OF TOPSOIL." CONTRACTOR SHALL ENSURE POSITIVE FINISHED DRAINAGE (MIN. 2%)
- 18. OWNER SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
- 19. TREE PLANTING AND SITE LIGHTING SHALL BE SEPARATED BY AT LEAST 20 FEET.
- 20. HVAC UNITS SHALL BE LOCATED ON THE ROOF.

## LANDSCAPE SCOPE OF WORK

- FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK INCLUDING INSTALLATION OF ALL TREES, SHRUBS, GROUNDCOVER, ANNUALS, SEED, SOD
- MATERIALS AND WORK:
  THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK, WHICH IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT.
- PLANT MATERIALS:
  ALL PLANT MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IN THE FIELD, NATURALLY SHAPED, WELL BRANCHED, FULLY FOLIATED WHEN IN LEAF WITH FULLY DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS MUST BE FREE OF DISEASE, INSECT INFESTATION OR THEIR EGGS
- SPECIFIED SIZES INDICATES THE MINIMUM ALLOWABLE SIZE AT PLANTING. WHERE CONTAINER AND HEIGHT/SPREADS ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS SHALL BE MET WHEN ONLY PLANT HEIGHT OR SPREAD ARE INDICATED, CONTAINER SIZE SHALL BE BASED ON "AMERICAN STANDARDS FOR NURSERY STOCK"
- AGED MANURE, COMPOST OR PINE BARK FINES, AT THE OPTION OF THE CONTRACTOR, MATERIAL SHALL BE AIR DRIED, FINELY SHREDDED AND SUITABLE FOR HORTICULTURAL PURPOSES AND SHALL CONTAIN NO MORE THAN 35% MOISTURE CONTENT BY WEIGHT.
- PINE BARK MULCH:
  ALL PINE BARK MULCH SHALL BE CLEAN, DOUBLE GROUND, FINE TEXTURED NUGGET MULCH WITH MINIMAL AMOUNTS OF SAPWOOD CONTENT.

PRIOR TO ANY SEEDING OR SOD APPLICATION, VERIFY THAT ALL TRENCHING AND LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED. ENSURE ALL AREAS ARE FREE OF STONES, LARGE SOIL CLODS AND ANY OTHER CONSTRUCTION

PLANNING 27713 LAND RHAM, NC ARCHITECTURE SOUTHPARK DRIVE, STE.2 p: (919) 484-8880 e: i LANDSCAPE 5011

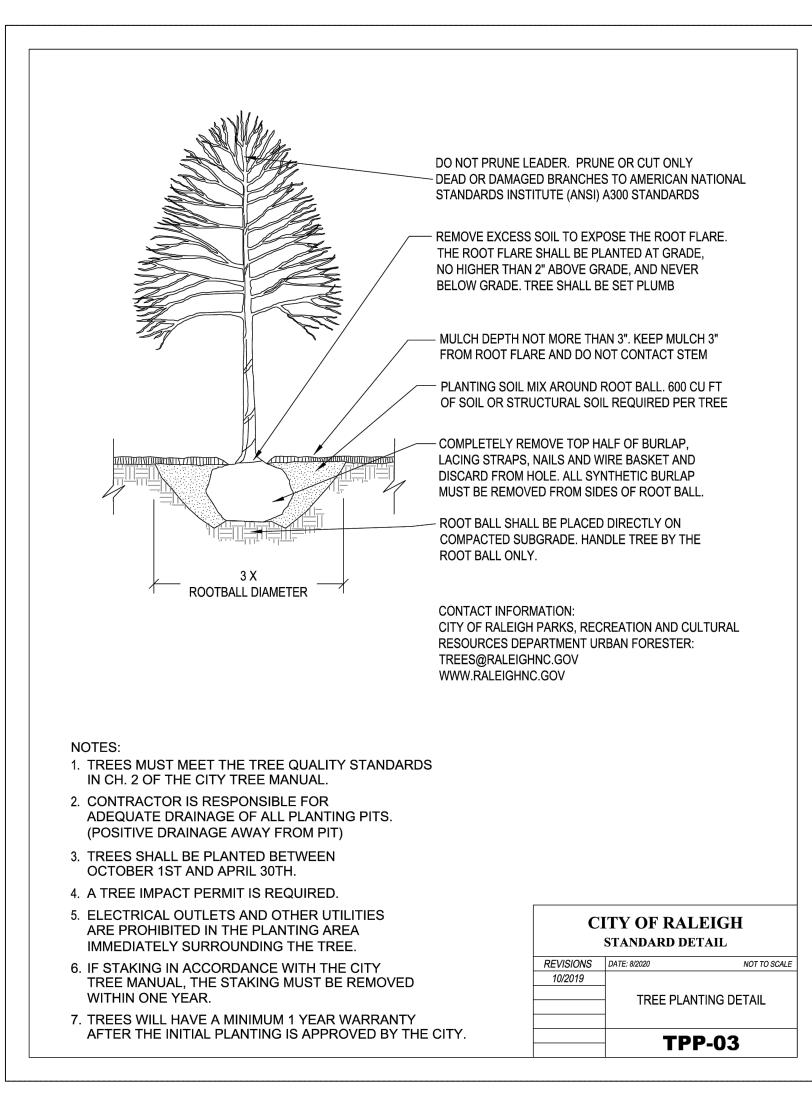


| REVISIONS:

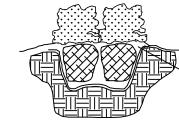
CLAN OUTH,

SCALE: AS NOTED DRAWN BY: PMP & MK PROJECT # 24063 DATE: 09/20/2024

SHEET







3" min. mulch layer —set top of root ball 2" above grade prepare and amend planting soil per soil test report.

SHRUB OR PERENNIAL BED PLANTING

PLANTING DETAILS

## GENERAL PLANTING NOTES

- 1. VERIFICATION OF TOTAL QUANITIES AS SHOWN SHALL BE THE
- RESPONSIBILITY OF THE PLANTING CONTRACTOR. 2. ALL TREES, SHRUBS, AND BEDDING PLANTS SHALL CONFORM TO THE ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 3. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING
- 4. SET TOP OF TREE ROOT BALL 4" ABOVE GRADE, SHRUBS 2" ABOVE GRADE.
- PLANT MATERIAL SHALL CARRY A ONE YEAR WARRANTY AND REPLACEMENT GUARANTEE. AMEND PLANTING SOIL WITH FERTILIZE AND/OR LIME PER SOIL TEST REPORT AT
- THE RECOMMENDED MANUFACTURERS APPLICATION RATE.
- GUYING AND STAKING, IF NECESSARY, SHALL BE REMOVED AFTER ONE GROWING SEASON. 8. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- 9. ALL TREES HAVE BEEN LOCATED WITH RESPECT TO KNOWN OR EXISTING FACILITIES OR STRUCTURES, COORDINATE FIELD ADJUSTMENT WITH PROJECT OWNER OR AGENT.
- 10. ALL PLANT BEDS AND PLANT MATERIAL SHALL BE MAINTAINED IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH LOCALLY ADAPTED VEGETATION WHICH CONFORMS TO THE INITIAL PLANTING STANDARDS OF THE LANDSCAPE ORDINANCE.
- 11. REPORT ANY DESCREPANCIES TO THE PROJECT OWNER OR AGENT.
- 12. SUBSTITUTIONS OR ALTERATIONS SHALL NOT BE MADE WITHOUT PRIOR WRITTEN NOTIFICATION BY THE OWNER AND PERMITTING AUTHORITY.
- 13. APPLY 3 INCHES OF DOUBLE SHREDDED HARDWOOD MULCH TO ALL PLANTING AREAS. 14. ADD COMPOST TO PLANTING SOIL TO ACHIEVE 5-10% ORGANIC CONTENT.
- 15. ALL MULCH BEDS ARE TO BE SPADE-CUT EDGED WHEN ADJACENT TO TURF AREAS.

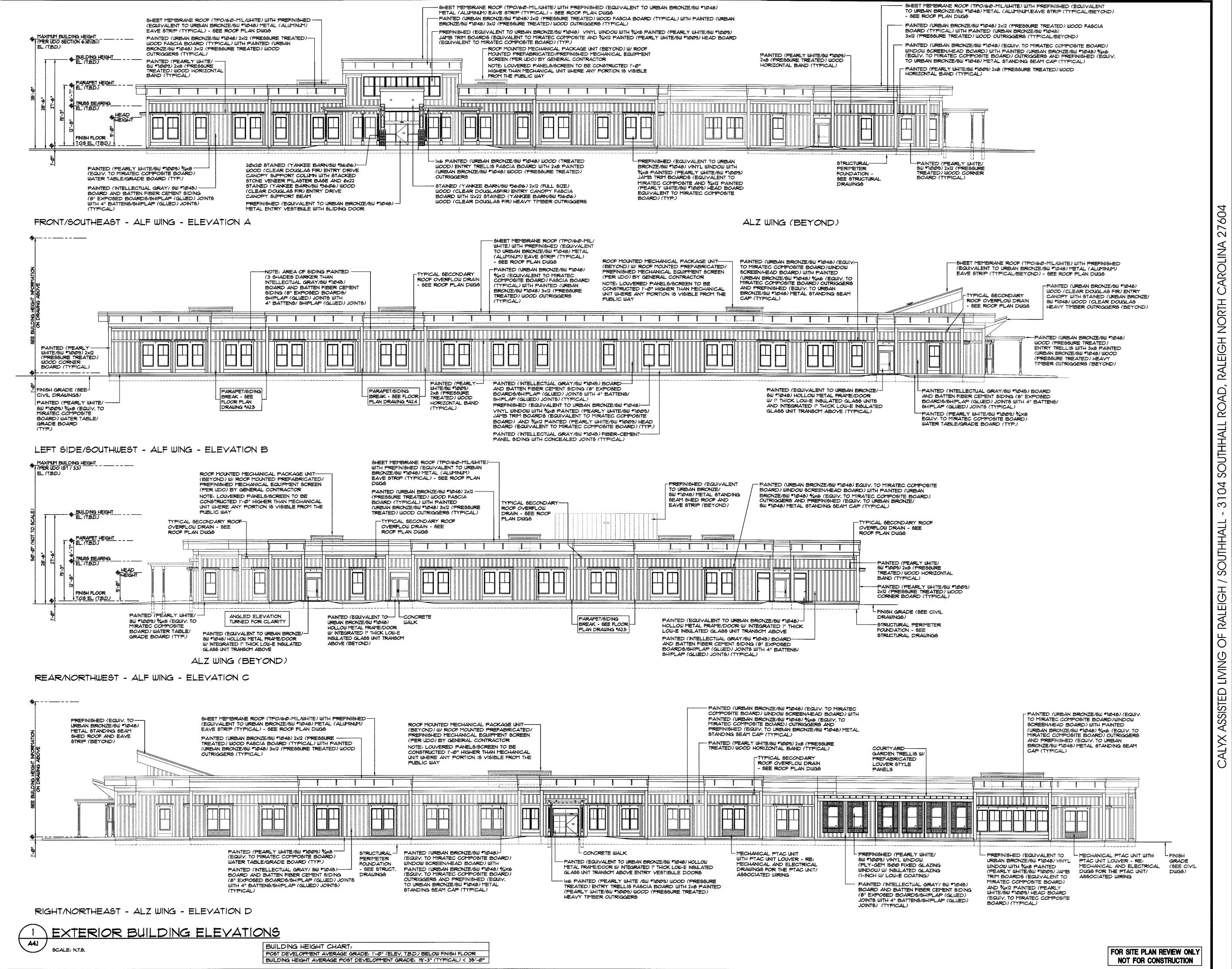




| REVISIONS:

SCALE: AS NOTED DRAWN BY: PMP & MK PROJECT # 24063 DATE: 09/20/2024

SHEET



H R ASSOCIATES PA ARCHITECTURE PLANNING INTERIOR DESIGN

2202 WRIGHTSVILLE AVENUE SUITE 212 WILMINGTON, NC 28403 T. 910.343.6008

CALYX ASSISTED LIVING OF RALEIGH / SOUTHHALL, LLC 4901 WATERS EDGE DRIVE SUITE 200 RALEIGH, NORTH CAROLINA 27606

PROJECT ARCHITECT JOHN W. FARABOW, JR. AIA PROJECT MANAGER GEORGE GALLOP CHECKED BY JOHN W. FARABOW, JR. AIA DRAWN BY

GEORGE GALLOP ISSUE DATE

8/21/2024 PLANNING SUBMITTAL DRAWINGS

REVISIONS

PROJECT NUMBER 152024.00

DRAWING NUMBER **EXTERIOR** BUILDING **EELVATIONS**