



# Administrative Approval Action

Case File / Name: ASR-0074-2019  
WAKEFIELD PINES

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site is located on the north side of Falls of Neuse Road. The site is comprised of one lot addressed at 13411 Falls of Neuse Rd, which is inside City limits.

**REQUEST:** Development of a vacant 2.07-acre tract zoned CX-3 and located in the Urban Watershed Protection Overlay District (UWPOD). The plans propose a General Building with 8,475 sq ft of gross floor area for Restaurant/Bar and Retail Sales uses.

Variance A-119-2017 was approved for relief from UWPOD forestation requirements (UDO 9.1.9) and primary tree conservation requirements (UDO 9.1.4.A.8).

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** SPR-0050-2020: DSLC - Site Permitting Review/Major [Signature Set]  
SUB-S-81-2017: DSLC - Preliminary Subdivision/Preliminary Subdivision

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 3, 2020 by KIMLEY HORN.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Stormwater was addressed by meeting the impervious allocations established by the subdivision plan (T#536214). This plan is meeting those requirements.
2. Site permitting plans will provide a Site Lighting Plan which demonstrates compliance with UDO 7.4.
3. Site permitting plans will clearly label "Top of Roof" as defined in UDO 1.5.7.A.1 on the elevations. A dimension will also be provided from the more restrictive average grade to Top of Roof for the proposed building.

### **Urban Forestry**

4. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Provide fire flow analysis.
2. Comply with all conditions of A-119-2017.

## Engineering

3. A cross access agreement between the subject lot identified by PIN 1739086811 and the adjacent lot identified by PIN 1739084642 (Lots 1 and 3, BM 2019 pg 1161) shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

## Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Falls of Neuse Road.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** February 4, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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WAKEFIELD PINES

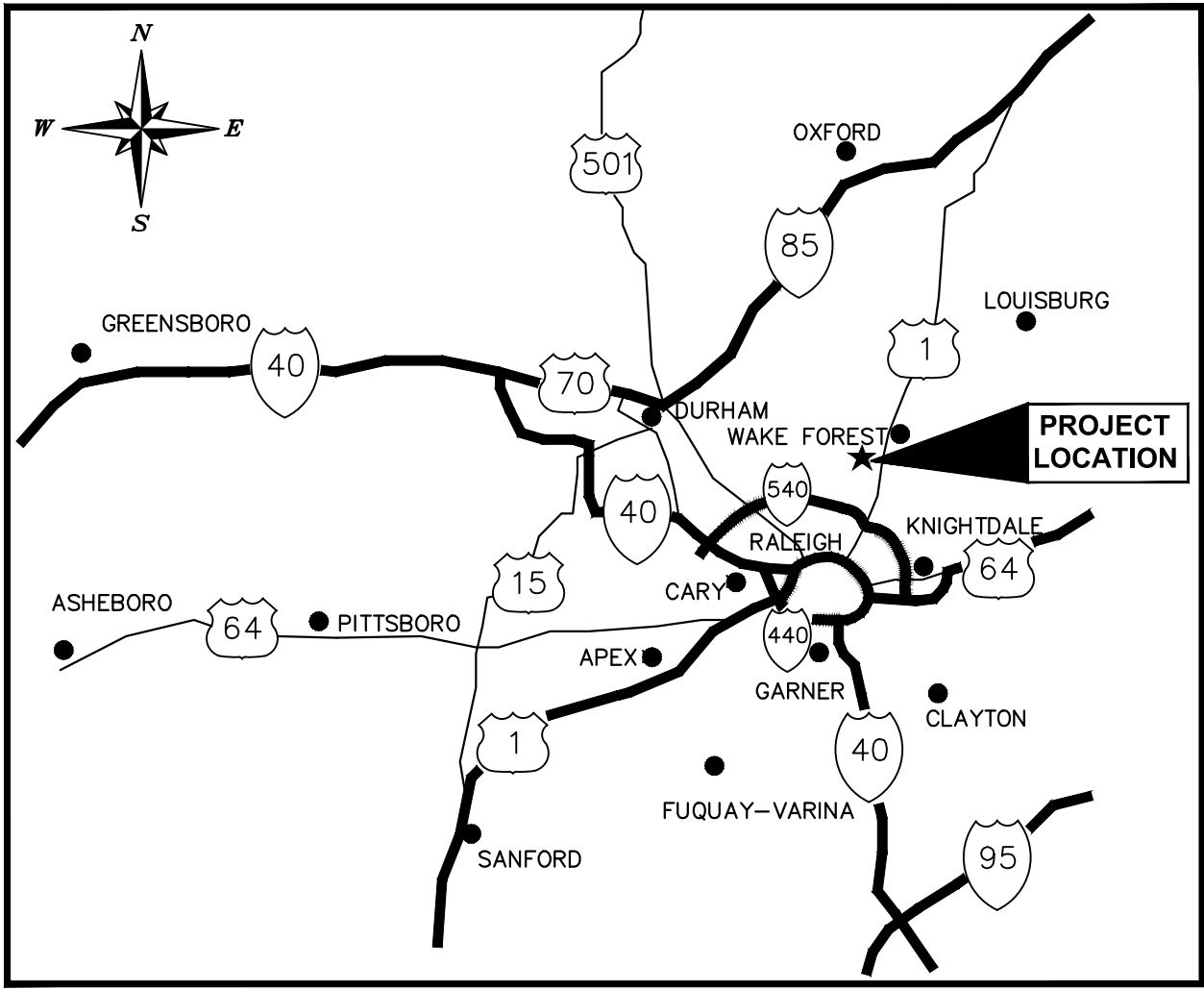
City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

I hereby certify this administrative decision.

Signed: Angie B. Taylor Date: 02/05/2020  
Development Services Dir/Designee  
Staff Coordinator: Ryan Boivin



Plotted By: Carter, Tim Sheet: Set: WAKEFIELD PINES LOT 3 Layout: C0.0 COVER SHEET January 03, 2020 10:13:35am K:\RAL\LD\WV\013031000\_WakefieldPines\15\_CAD\_Files\PlanSheets\LOT 3 PLANSET\PlanSheets\C0.0 COVER SHEET.dwg  
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PROJECT LOCATION  
NTS

CONDITIONS OF APPROVAL

- A-119-17** WHEREAS CK Wakefield Properties, LLC., property owner, requests a complete variance to the 40% forestation standard set forth in Section 5.1.9 of the Unified Development Ordinance as well as a complete variance to the primary tree conservation requirement for an undisturbed area adjoining a thoroughfare set forth in Section 9.1.4.A.8 of the Unified Development Ordinance as applied to the property's frontage along Falls of Neuse Road and Wakefield Pines Drive on a 4.93 acre parcel zoned Commercial Mixed Use -3-Urban Watershed Protection Overlay District and located at 2801 Wakefield Pines Drive.
1. Approved the variance from the 40% forestation.
  2. Approved the complete variance from the primary tree conservation requirement with the following conditions:
    - a. At least 16% tree conservation area shall be provided, as shown on the site plan presented at the hearing;
    - b. A Type C2 street protective yard is provided along Wakefield Pines Drive and Falls of Neuse Road;
    - c. A 20-foot wide building and parking setback is provided along Wakefield Pines Drive and Falls of Neuse Road;
    - d. Dumpsters on the property shall be located at least 70 feet from any single-family lot on Sargas Street or Arneson Street;
    - e. Unless required by the City, the Applicant shall not clear the area within the 20' wide City of Raleigh sanitary sewer easement along the rear of the property as shown on plat recorded in Book of Maps 2001, Page 2359, but exclusive of those areas also within the 20' private drainage easement and 60' private cross access, private drainage and private utility easement as shown on the plat;
    - f. Subject to the consent of the owner of the single-family lot, the Applicant shall, at the sole cost of the Applicant, construct a wood fence where there is no wood fence along the property boundary adjacent to the single-family lots. If agreement cannot be reached with the adjoining owner(s), then the wood fence shall be provided on the other side of the tree conservation area interior to the property in a location that generally corresponds with the common boundary line with that adjoining lot.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27609, PHONE: 919-787-5805 AND DATED OCTOBER 17, 2016 AND WAKEFIELD PINES SUBDIVISION PLANS BY KIMLEY-HORN AND SHEETZ WAKEFIELD SITE PLANS BY KIMLEY-HORN.

PROJECT OWNER AND CONSULTANT

**SITE DEVELOPER:** WAKEFIELD OUTPARCELS, LLC.  
11509 JOHN ALLEN ROAD  
RALEIGH, NORTH CAROLINA 27614  
PHONE: (919) 868-4472  
ATTN: MARLANE KLINTWORTH  
mvkcommercial@gmail.com

**CIVIL ENGINEER:** KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2927  
ATTN: CHRIS BOSTIC, P.E.  
chris.bostic@kimley-horn.com

**LANDSCAPE ARCHITECT:** KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2976  
ATTN: RICHARD BROWN, PLA  
richard.brown@kimley-horn.com

**SURVEYOR:** GSC SURVEYING, INC.  
4072 BARRETT DRIVE  
RALEIGH, NORTH CAROLINA 27609  
PHONE: (919) 787-5805  
ATTN: GREG S. CROWDER, PLS  
greg@gscsurveying.com

ADMINISTRATIVE SITE PLAN SUBMITTAL FOR:  
**WAKEFIELD PINES**  
**LOT 3**

ASR-0074-2019

FOR REFERENCE: S-81-17 (SUBDIVISION)

13411 FALLS OF NEUSE ROAD

RALEIGH, NORTH CAROLINA 27614

A DEVELOPMENT BY: WAKEFIELD OUTPARCELS, LLC.

11509 JOHN ALLEN ROAD

RALEIGH, N.C. 27614

PHONE: (919) 868-4472

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-998-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:	
<b>Building Type</b>		<b>Site Transaction History</b>	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: 530214, S-81-17	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: N/A	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: A-119-17	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: N/A	
		Zoning Case #: N/A	
		Administrative Alternate #:	
<b>GENERAL INFORMATION</b>			
Development name: Wakefield Pines Lot 3			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 13411 Falls of Neuse Road Raleigh, NC			
Site P.I.N.(s): 1739-08-6811			
Please describe the scope of work. Include any additions, expansions, and change of use. Project includes construction of commercial building and associated infrastructure.			
Current Property Owner/Developer Contact Name: Wakefield Outparcels, LLC NOTE: please attach purchase agreement when submitting this form.			
Company: Wakefield Outparcels, LLC		Title: Marlane Klintworth, Managing Member	
Address: 11509 John Allen Road Raleigh, NC 27614			
Phone #: 919-868-4472		Email: mvkcommercial@gmail.com	
Applicant Name: Chris Bostic, P.E.			
Company: Kimley-Horn and Associates		Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601	
Phone #: 919-653-2927		Email: chris.bostic@kimley-horn.com	

Page 1 of 2

REVISION 05.01.19

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DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 2.07	New gross floor area: 8,475 SF
# of parking spaces required: 51	Total sf gross (to remain and new): 8,475 SF
# of parking spaces proposed: 52	Proposed # of buildings: 1
Overlay District (if applicable): UWPOD	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Retail & Restaurant	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.16 Square Feet: 7,144	Proposed Impervious Surface: Acres: 0.91 Square Feet: 39,800
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu: _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

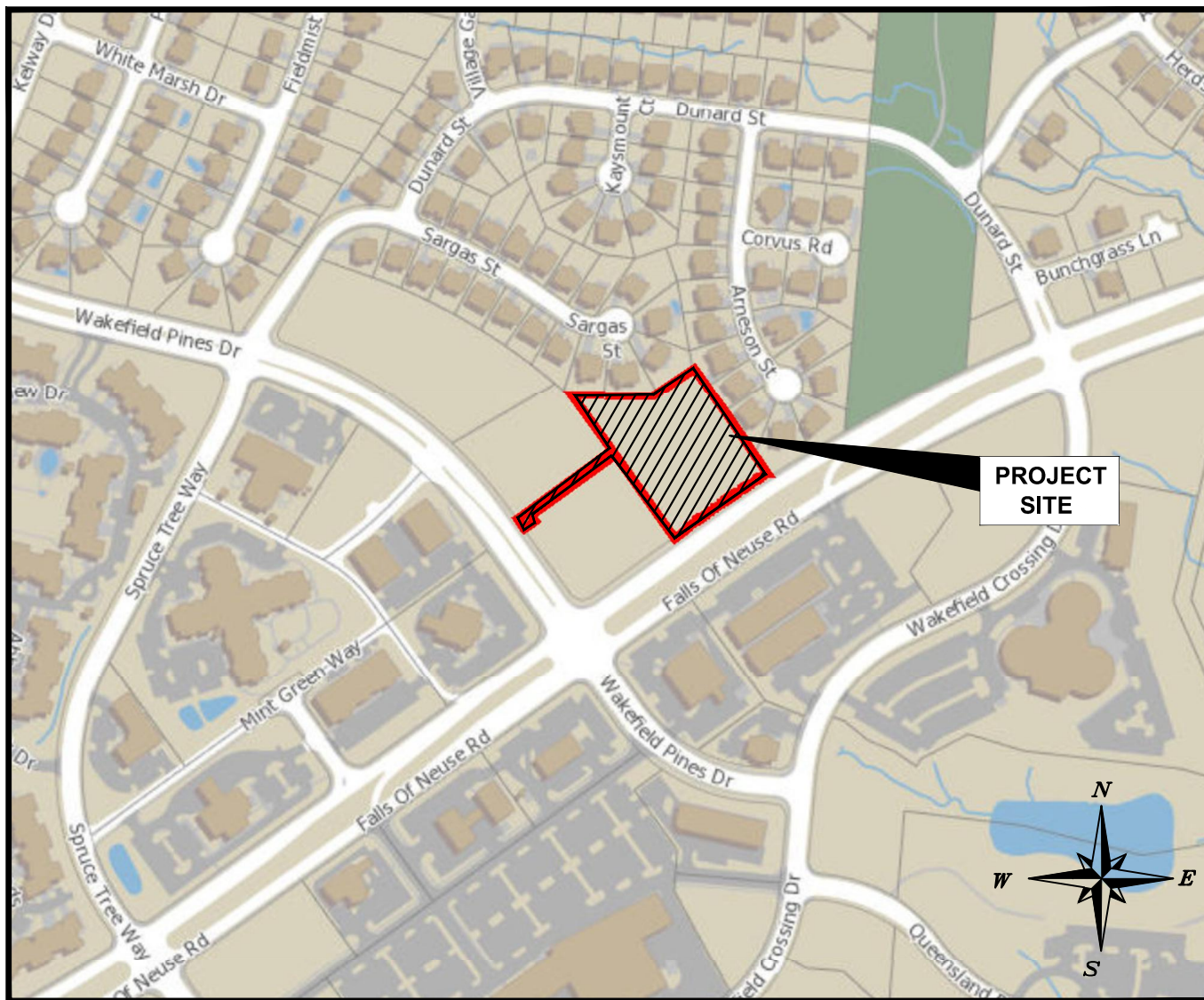
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Kimley-Horn and Associates to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date: 10/6/19
Printed Name: marlane klintworth	

Page 2 of 2

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VICINITY MAP

SCALE: 1" = 500'

NOTE: SITE LIGHTING  
PLAN WITH BE PROVIDED  
WITH THE SPR PLANS

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C1.1	SUBDIVISION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
L1.0	LANDSCAPE PLAN
A1.1-A1.2.1	BUILDING ELEVATIONS

PRELIMINARY  
NOT FOR CONSTRUCTION

COVER SHEET

WAKEFIELD PINES LOT 3  
PREPARED FOR  
WAKEFIELD OUTPARCELS, LLC.

CITY OF RALEIGH NORTH CAROLINA

SHEET NUMBER  
C0.0

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DATE:  
**OCTOBER 04, 2019**

SEAL:

JOB NUMBER:  
**013031001**

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000  
WWW.KIMLEY-HORN.COM

REVISIONS

DATE

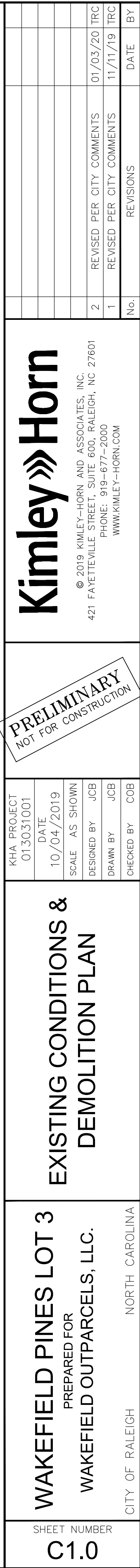
BY

2 REVISED PER CITY COMMENTS 01/03/20 TRC

1 REVISED PER CITY COMMENTS 11/17/19 TRC

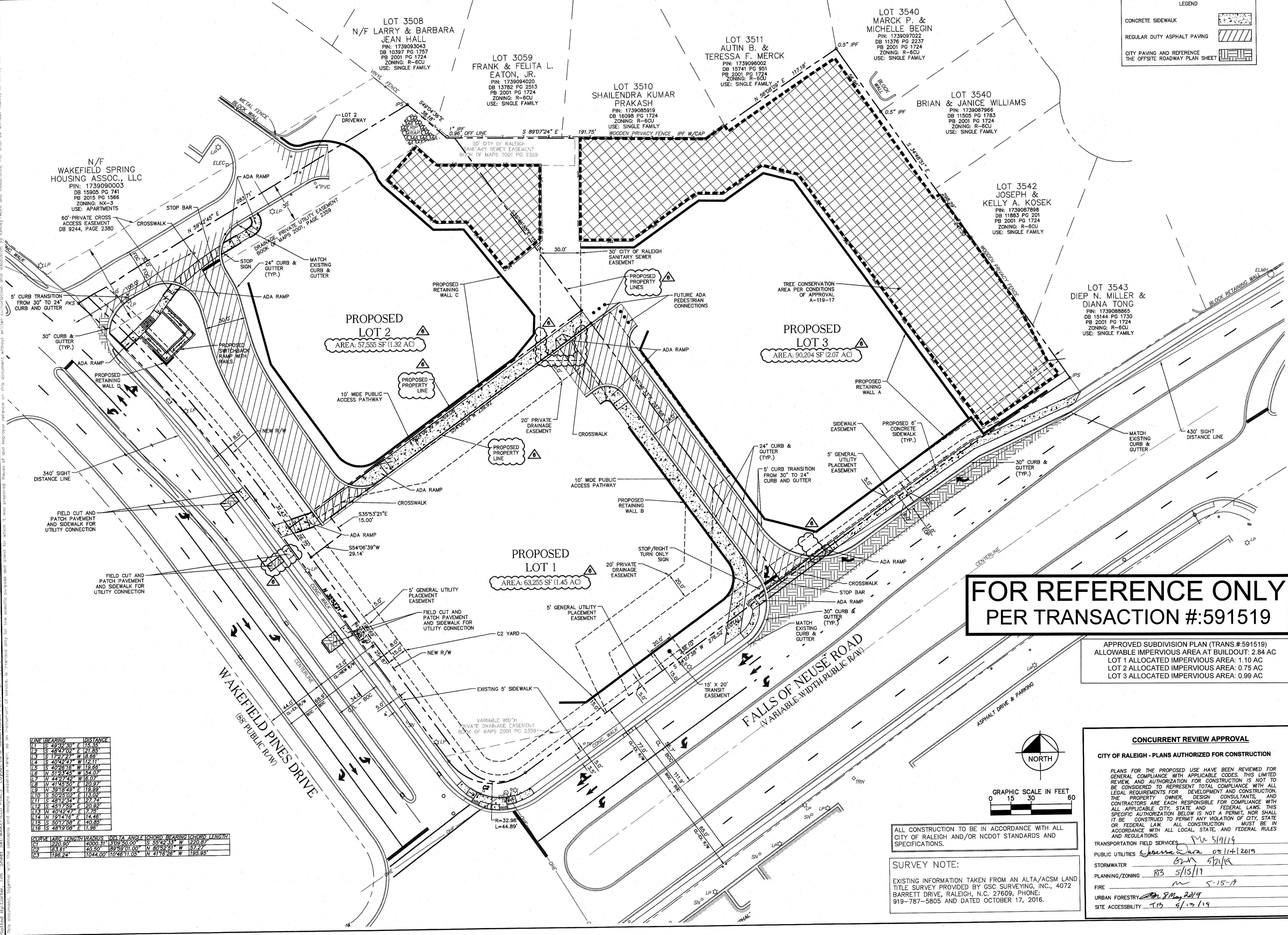
No.







Plotted By: Carter, Inc. Sheet Set: WAKEFIELD PINES, Layout: C2.0 SUBDIVISION PLAN April 30, 2019 05:00:30pm K:\N\AL-DEV\0130310000\_wakefieldpines\0130310000 SUBDIVISION PLAN SUBMITTAL SET\C2.0 SHEET PLAN.DWG



**Kimley»Horn**

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PHONE: 919-677-2000  
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**WAKEFIELD PINES**  
PREPARED FOR  
**WAKEFIELD**  
**OUTPARCELS, LLC**

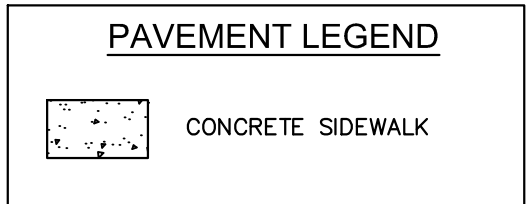
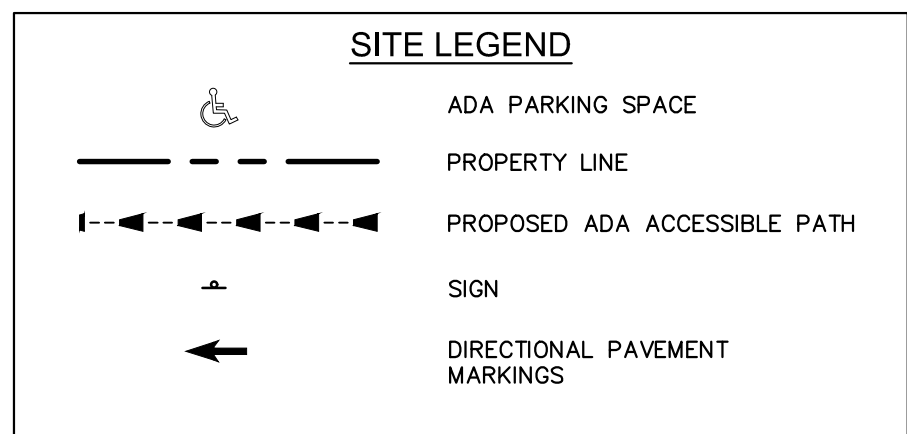
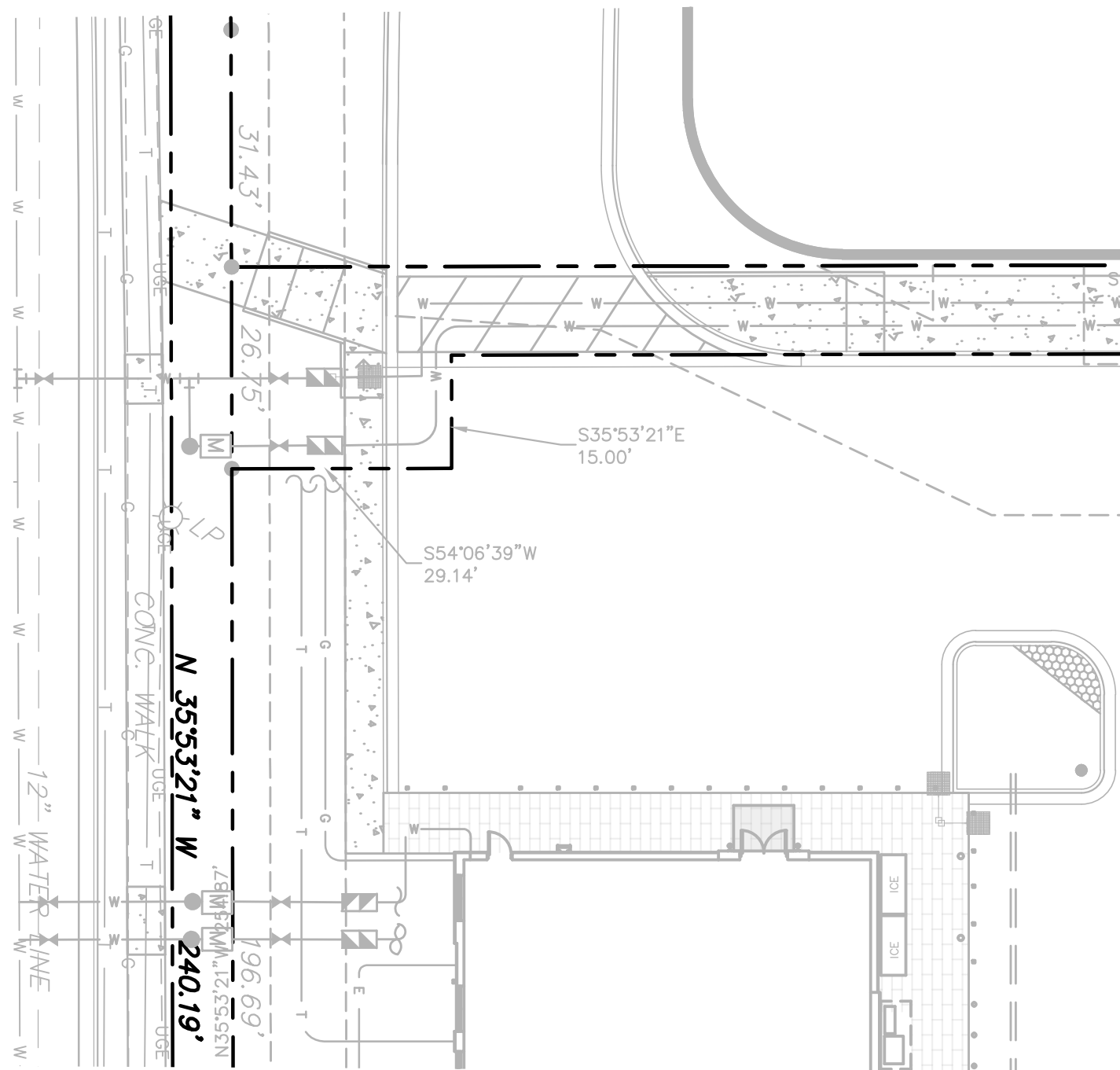
**Subdivision Plan**

**C1.1**

NO.	1	2	3	4	5	6	7
REVISIONS	CITY COMMENTS	CITY COMMENTS	CITY COMMENTS	REVISE SANITARY SEWER	ADD 14" STEEL CASING AT WALL	LOT 3 WATER SERVICE	LOT 2 IRRIGATION
DATE	4/12/18	5/7/18	6/8/18	9/21/18	11/19/18	3/28/19	4/8/19
BY	TRC	TRC	TRC	JCB	JCB	TRC	TRC



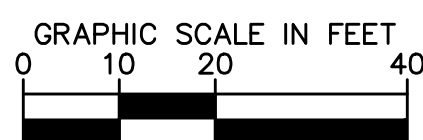
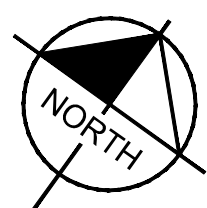
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#### SITE NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. ALL CURB RADIi DIMENSIONS ARE TO FACE OF CURB. ALL CURB RADIi TO BE 3' MINIMUM UNLESS OTHERWISE NOTED.
- ALL TRAFFIC CONTROL SIGNAGE AND STRIPING TO CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NCDOT SUPPLEMENT.
- ALL PAVING CUTS SHALL BE MADE BY SAW CUTS. EXISTING ELEVATIONS SHALL BE FIELD VERIFIED AND MATCHED.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
- ALL SIGNAGE TO BE PERMITTED SEPARATELY.

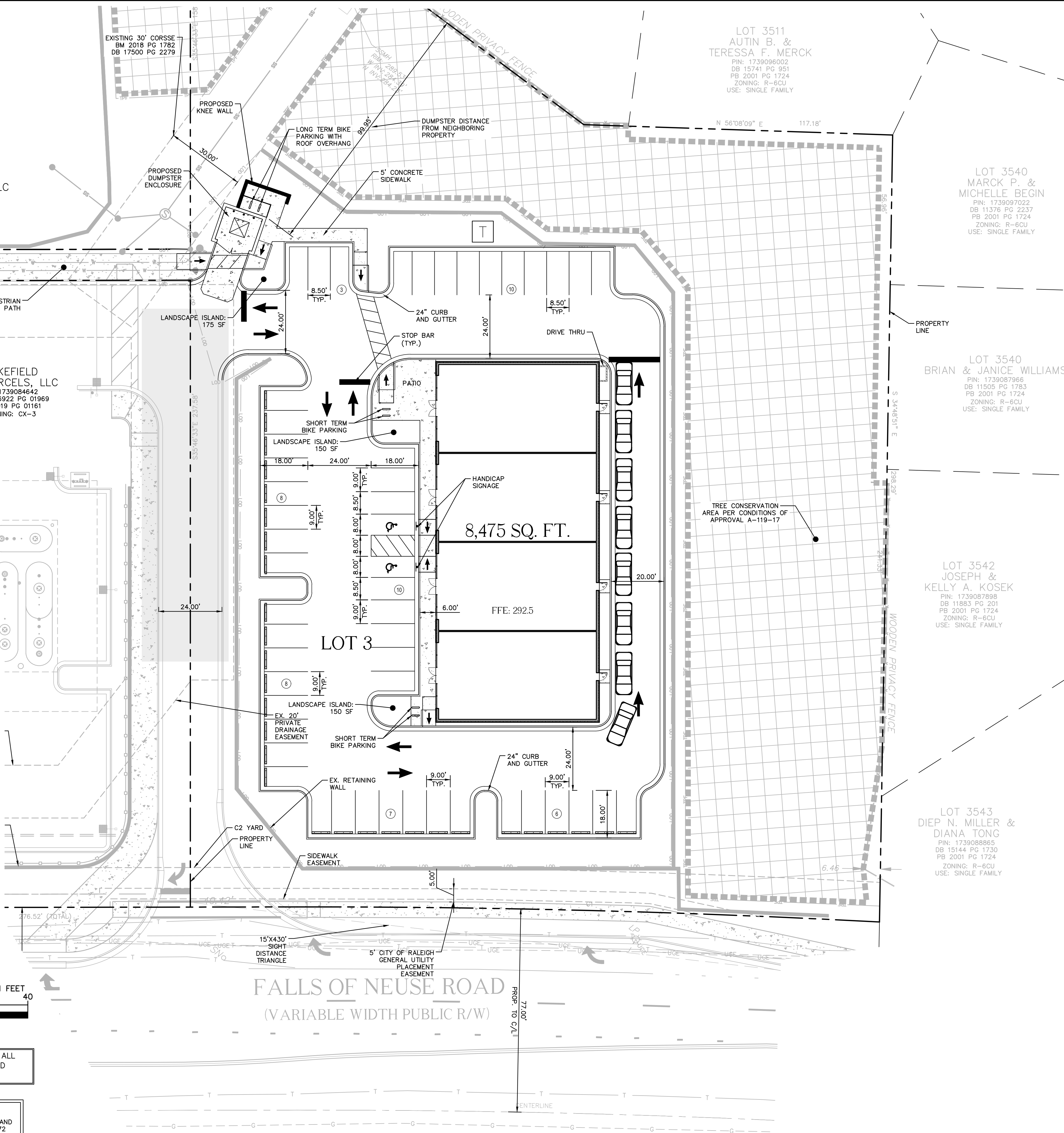
SITE DATA	
EXISTING ZONING:	CX-3
EXISTING USE:	UNDEVELOPED
TOTAL SITE AREA:	2.07 ACRES (90,251 SF)
BUFFERS:	15' PROTECTIVE STREETYARD
PROPERTY SETBACKS:	PRIMARY STREET = 5' SIDE = 0'-6" REAR = 0'-6"
PROJECT DATA	
PROPOSED USE:	RETAIL, RESTAURANT
PIN#	1739-08-6811
PROPOSED # OF BUILDINGS	1 (8,475 GSF TOTAL)
BUILDING LOT COVERAGE:	9.39% (8,475 SF/90,251 SF)
VEHICULAR SURFACE AREA (NEW):	43.34% (28,537 SF/90,251 SF)
GROSS FLOOR AREA PER USE:	RESTAURANT - 6,600 SF RETAIL - 1,875 SF
PARKING:	REQUIRED: (RESTAURANT) 1 SPACE/150 SF 6,600 SF/150 = 44.00 SPACES (RETAIL) 1 SPACE/300 SF 1,875 SF/300 = 6.25 SPACES TOTAL = 51 SPACES PROVIDED: 52 SPACES
ACCESSIBLE PARKING:	VAN: 1 SPACE VEHICLE: 1 SPACE TOTAL: 2 SPACES
BIKE PARKING:	REQUIRED: RESTAURANT - 4 SHORT TERM RETAIL - 4 LONG TERM PROVIDED: 8 SHORT & 4 LONG TERM
PROPOSED BUILDING HEIGHT:	26.17'
SITE IMPERVIOUS AREA:	ALLOWABLE: 48.0% PROPOSED: 44.1% (39,800 SF/90,251 SF)



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

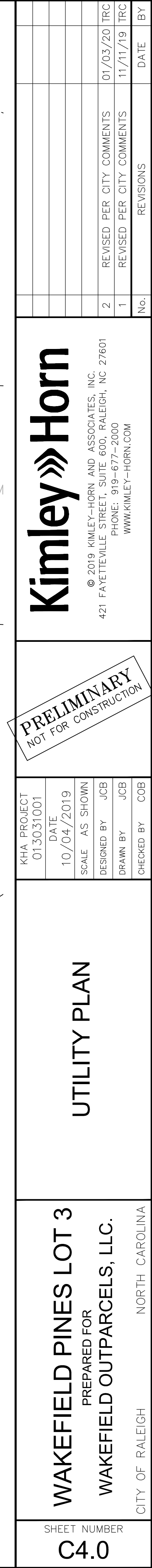
#### EXISTING CONDITION NOTES:

- EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, N.C. 27609. PHONE: 919-787-5805 AND DATED OCTOBER 17, 2016. WAKEFIELD PINES SUBDIVISION PLANS BY KIMLEY-HORN, AND SHEETZ WAKEFIELD SITE PLANS BY KIMLEY-HORN.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720173800J DATED MAY 2, 2006.



WAKEFIELD PINES LOT 3		SHEET NUMBER	
PREPARED FOR		C2.0	
WAKEFIELD OUTPARCELS, LLC.			
CITY OF RALEIGH		NORTH CAROLINA	
KHA PROJECT		DATE	
013031001		10/04/2019	
SCALE AS SHOWN		DESIGNED BY	
		JCB	
		DRAWN BY	
		JCB	
		CHECKED BY	
		COB	
SITE PLAN		PRELIMINARY	
		NOT FOR CONSTRUCTION	
Kimley»Horn		© 2019 KIMLEY-HORN AND ASSOCIATES, INC.	
		421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601	
		PHONE: 919-677-2000	
		WWW.KIMLEY-HORN.COM	
		REVISED PER CITY COMMENTS	
		01/03/20 TRC	
		REVISED PER CITY COMMENTS	
		11/11/19 TRC	
		REVISIONS	
		BY	
		DATE	



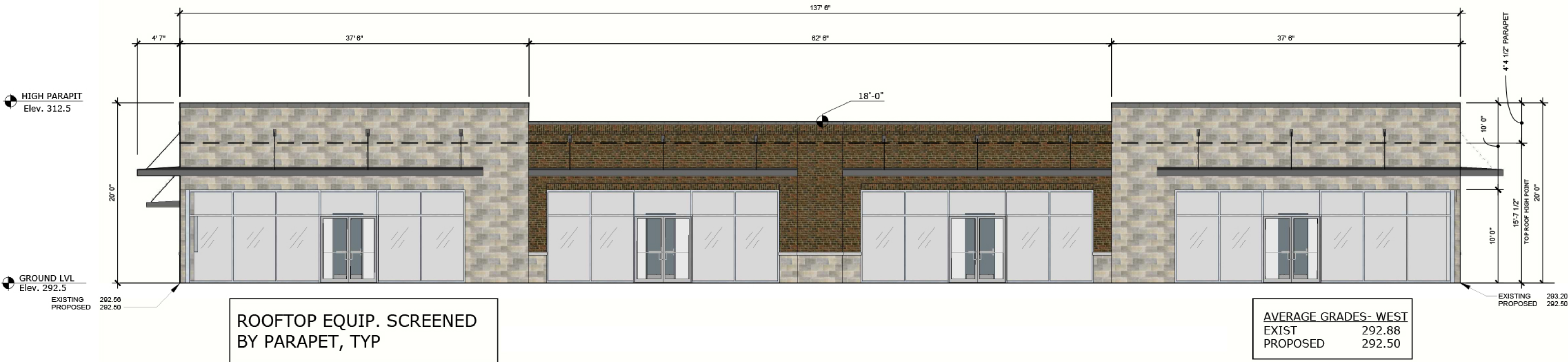






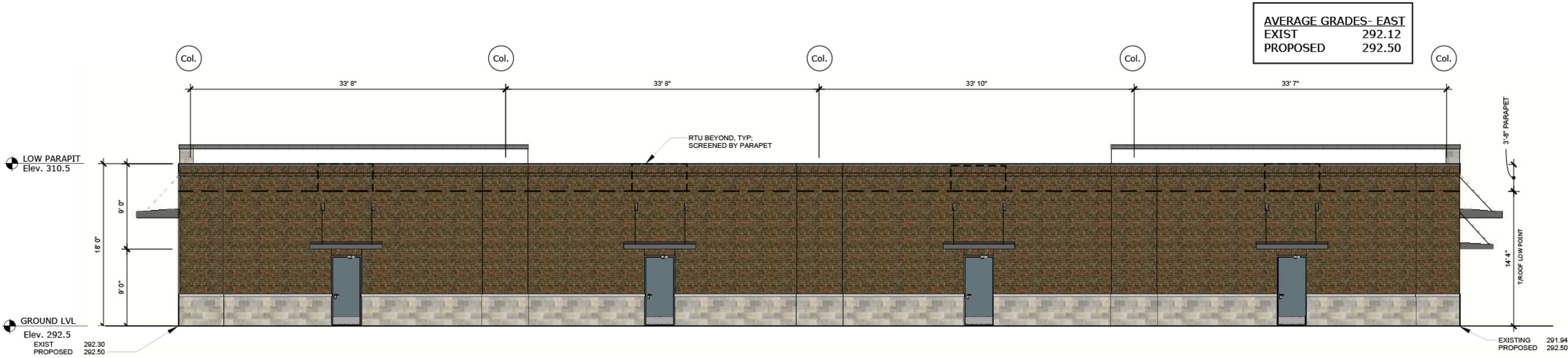


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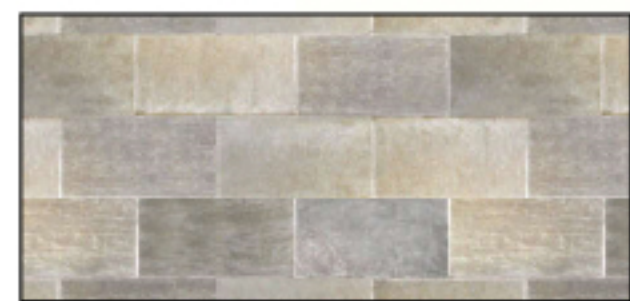
1 WEST ELEVATION

SCALE: 3/16"=1'-0"

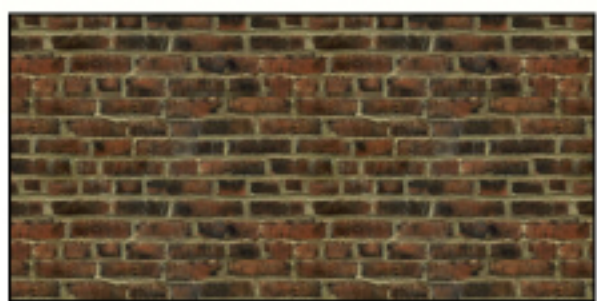


2 EAST ELEVATION

SCALE: 3/16"=1'-0"



Stone Veneer



Brick Veneer



Metal coping  
and canopy



Concrete Sill



Glass Storefront

OVERALL BLDG. AVG. GRADES

	EXISTING	PROPOSED
NORTH	292.25	292.50
WEST	292.88	292.50
SOUTH	292.75	292.50
EAST	292.12	292.50

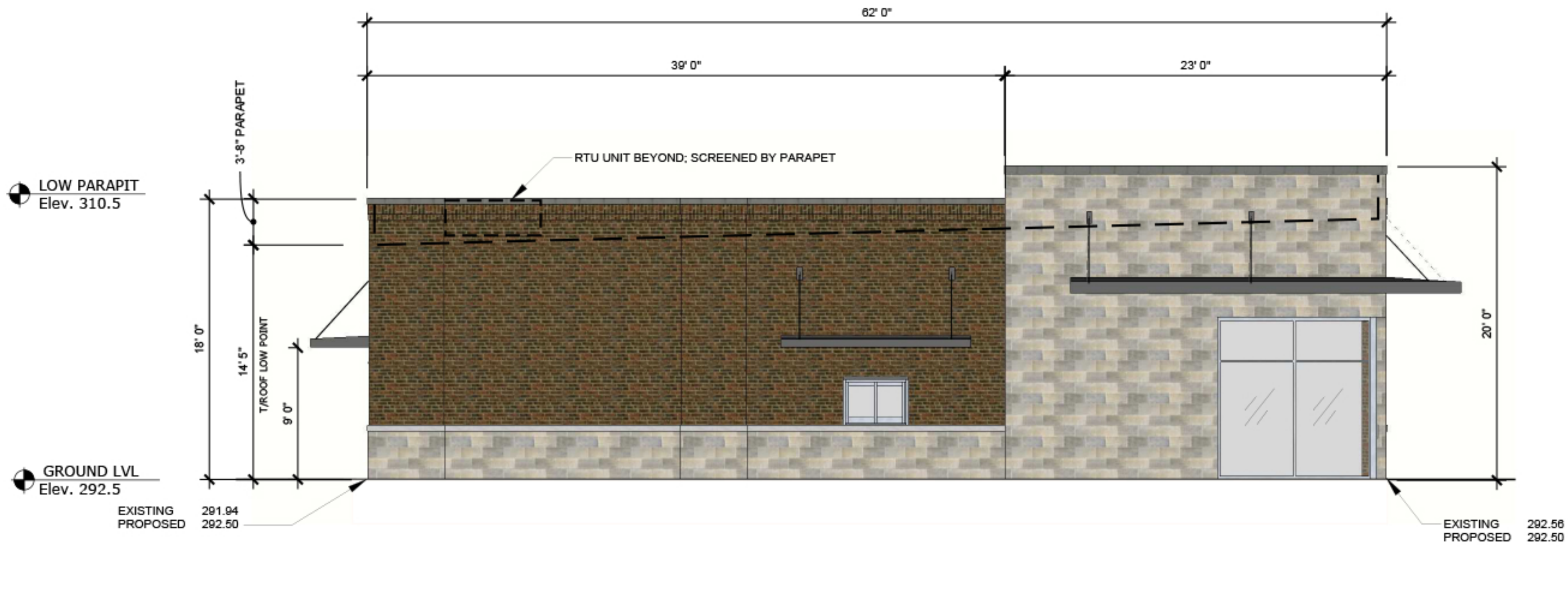
AVG. 292.50 292.50

PROPOSED TALLEST PARAPET= 312.50  
PROPOSED ROOF HEIGHT (HIGH POINT)= 308.125  
(LOW POINT)= 306.83

HIGH PARAPET= 20.0' ABOVE EXIST. AVG. GRADE

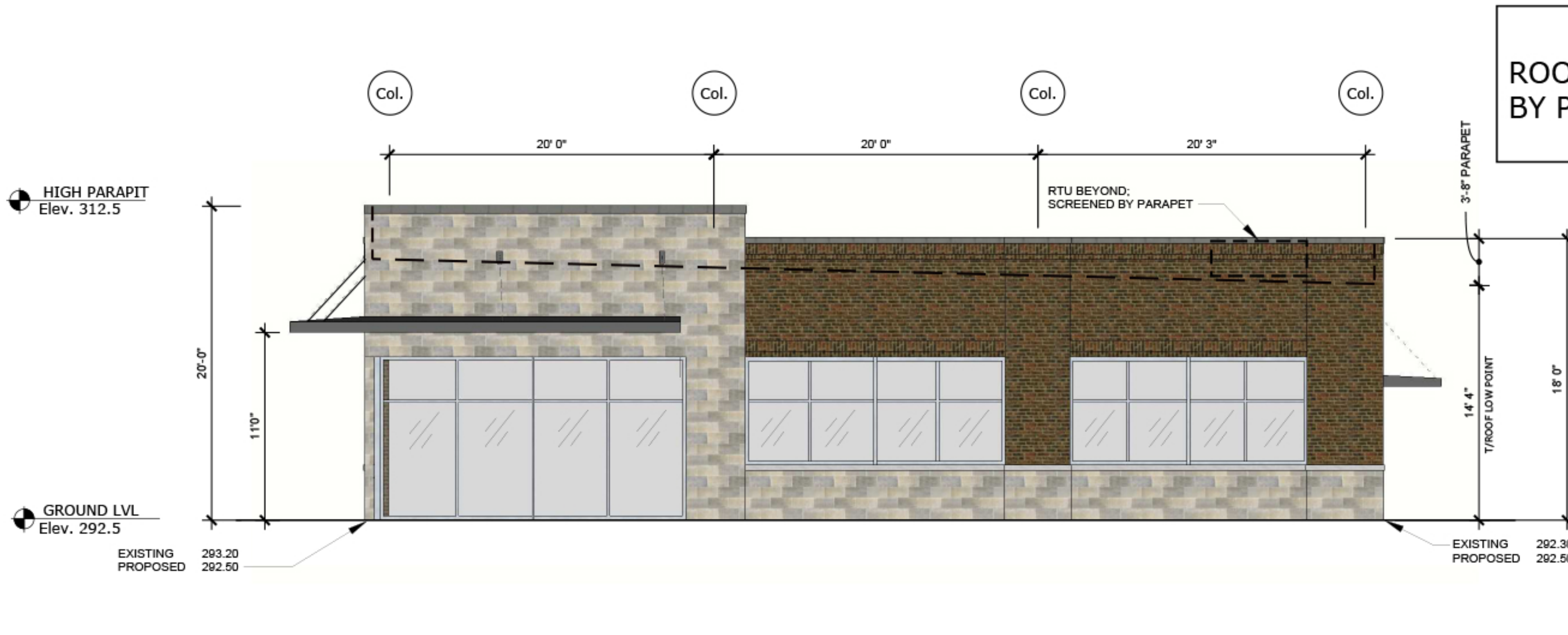
3 FINISH LEGEND





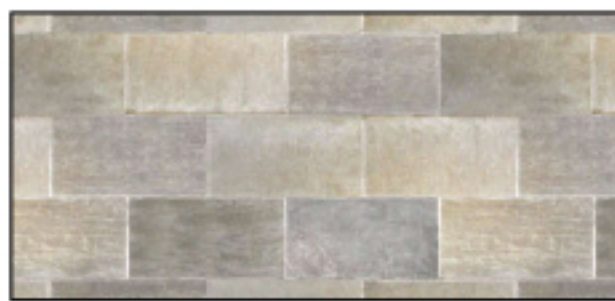
1 NORTH ELEVATION

SCALE: 3/16"=1'-0"



2 SOUTH ELEVATION

SCALE: 3/16"=1'-0"



Stone Veneer



Brick Veneer



Metal coping  
and canopy



Concrete Sill



Glass Storefront

3 FINISH LEGEND

OVERALL BLDG. AVG. GRADES

	EXISTING	PROPOSED
NORTH	292.25	292.50
WEST	292.88	292.50
SOUTH	292.75	292.50
EAST	292.12	292.50

AVG. 292.50 292.50

PROPOSED TALLEST PARAPET= 312.50  
 PROPOSED ROOF HEIGHT (HIGH POINT)= 308.125  
 (LOW POINT)= 306.83

HIGH PARAPET= 20.0' ABOVE EXIST. AVG. GRADE

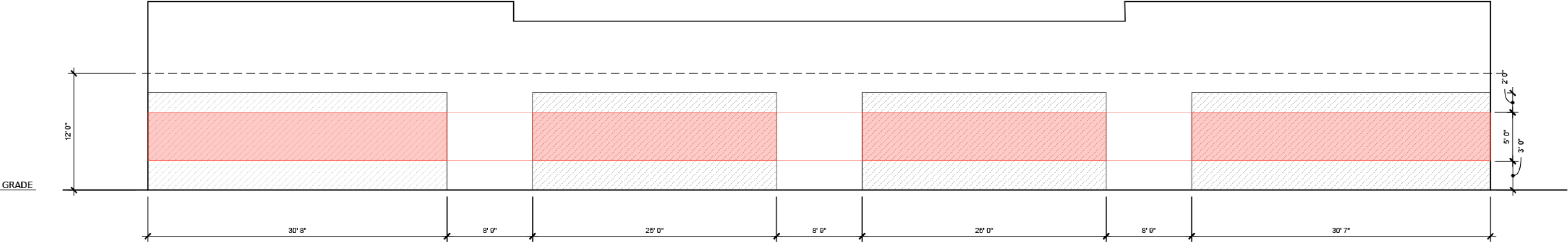


FILE: F:\\_Permit-Hospitality\2019\_Wakefield Pine Outparcel\deliverables\TB.dwg PLOTTED: 12/31/2019 11:04 AM

TRANSPARENCY CALCULATIONS (WEST FACADE):

SURFACE AREA FROM 0' TO 12' =	1650 SF
REQUIRED 50% TRANSPARENCY =	825 SF
REQUIRED 50% TRANSPARENCY BETWEEN 3' AND 8' =	412.5 SF
ACTUAL TOTAL TRANSPARENCY PROPOSED =	890 SF
ACTUAL TOTAL TRANSPARENCY PROPOSED BETWEEN 3' AND 8' =	556.25 SF

ALL GLASS ON WEST  
FACADE TO COMPLY  
WITH UDO 1.5.9.B.4



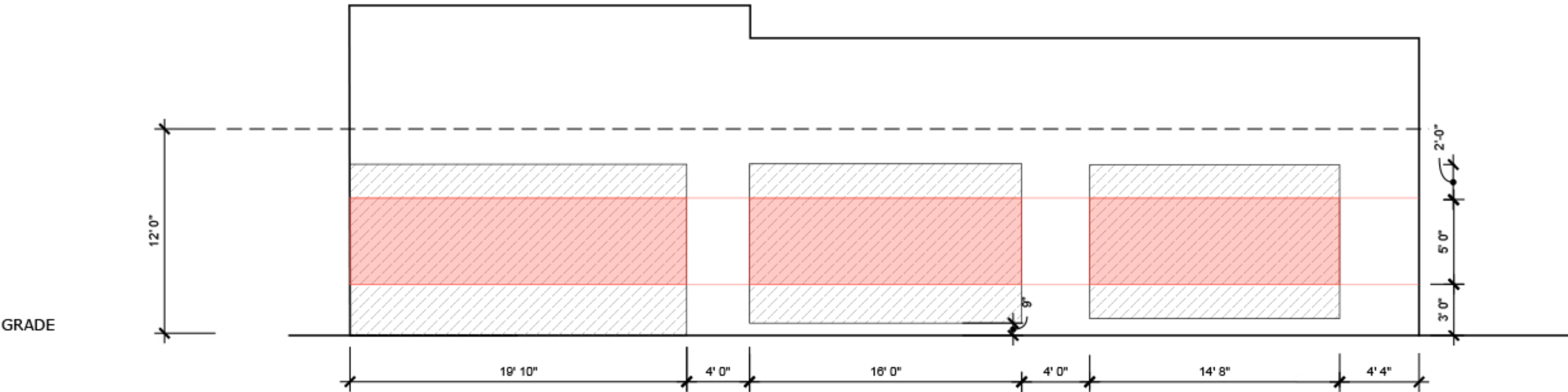
1 WEST ELEVATION

SCALE: 3/16"=1'-0"

TRANSPARENCY CALCULATIONS (SOUTH FACADE):

SURFACE AREA FROM 0' TO 12' =	754 SF
REQUIRED 50% TRANSPARENCY =	377 SF
REQUIRED 50% TRANSPARENCY BETWEEN 3' AND 8' =	188.5 SF
ACTUAL TOTAL TRANSPARENCY PROPOSED =	381 SF
ACTUAL TOTAL TRANSPARENCY PROPOSED BETWEEN 3' AND 8' =	252.5 SF

ALL GLASS ON SOUTH  
FACADE TO COMPLY  
WITH UDO 1.5.9.B.4



2 SOUTH ELEVATION

SCALE: 3/16"=1'-0"