



Administrative Approval Action

Case File / Name: ASR-0074-2020
Project Smile

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 27.96 acre site zoned IX-3 and IX-3-CU (Z-4-19), consists of multiple parcels on the west side of Freedom Drive and north of Pony Chase Lane in the northwest corner of the intersection of Freedom Drive and Pony Chase Lane.

REQUEST: This development consists of the construction of one building for warehouse, distribution, light industrial and associated office uses along with associated parking and infrastructure. The gross building size proposed totals 129,250 square feet.

In addition to the proposed building construction this development plan includes construction of a public street extension through the site for Bullock Farm Road. The street extension requires recombination of lots and dedication of street right-of-way. The resultant development after recombination of lots and right-of-way dedication will include three lots total.

An Administrative Alternate, a Hardship Variance and a Design Adjustment have been approved by the Planning Director and the Board of Adjustment respectively for this project as noted below.

An Administrative Alternate was approved allowing an alternative design to meet the transparency requirements, blank wall, and service area location (1.5.9) (AAD-22-20).

A Design Adjustment was approved providing relief from the block perimeter requirement (8.3), and allowing an alternative streetscape cross section for Freedom Drive. (DA-3-20).

A Hardship Variance allowing the proposed location of the loading area (7.1.9 B1) (BOA-0071-2020)

Approval of this Administrative Site Review is being done concurrently with the Site Plan Review for this project.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 12, 2021 by Kimley-Horn and Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering



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1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

2. A Water Model in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval prior to concurrent approval.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
<input checked="" type="checkbox"/>	Slope Easement Required

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	City Code Covenant Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.



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2. A Type C2 Street Protective Yard is required for this project and a note shall be placed on the final plat stating this requirement. Prior to recorded map

Engineering

3. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld. This includes the need for a slope easement on private property where the sidewalk stub at Partin Road north of Bullock Farm Road terminates.
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
9. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
11. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.



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12. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

13. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.61 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City. Prior to recorded map
2. The recombination, right-of-way, tree conservation, and easement dedication map in accordance with the approved preliminary plan to create the lots and right-of-way as shown on this site plan shall be reviewed by the City of Raleigh and recorded in the Wake County Register of Deeds. (prior to building permits)
3. A fee in lieu is required for those portions of 6' wide sidewalk not completed on Partin Road and for 1' wide sidewalk along the length of the Freedom Drive frontage.

Engineering

4. A public infrastructure surety for 74 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 2 street trees along Partin Road, 53 street trees along Bullock Farm Road, and 19 street trees along Freedom Drive, for a total of 74 street trees.



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8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
3. All street lights and street signs required as part of the development approval are installed.
4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 30, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

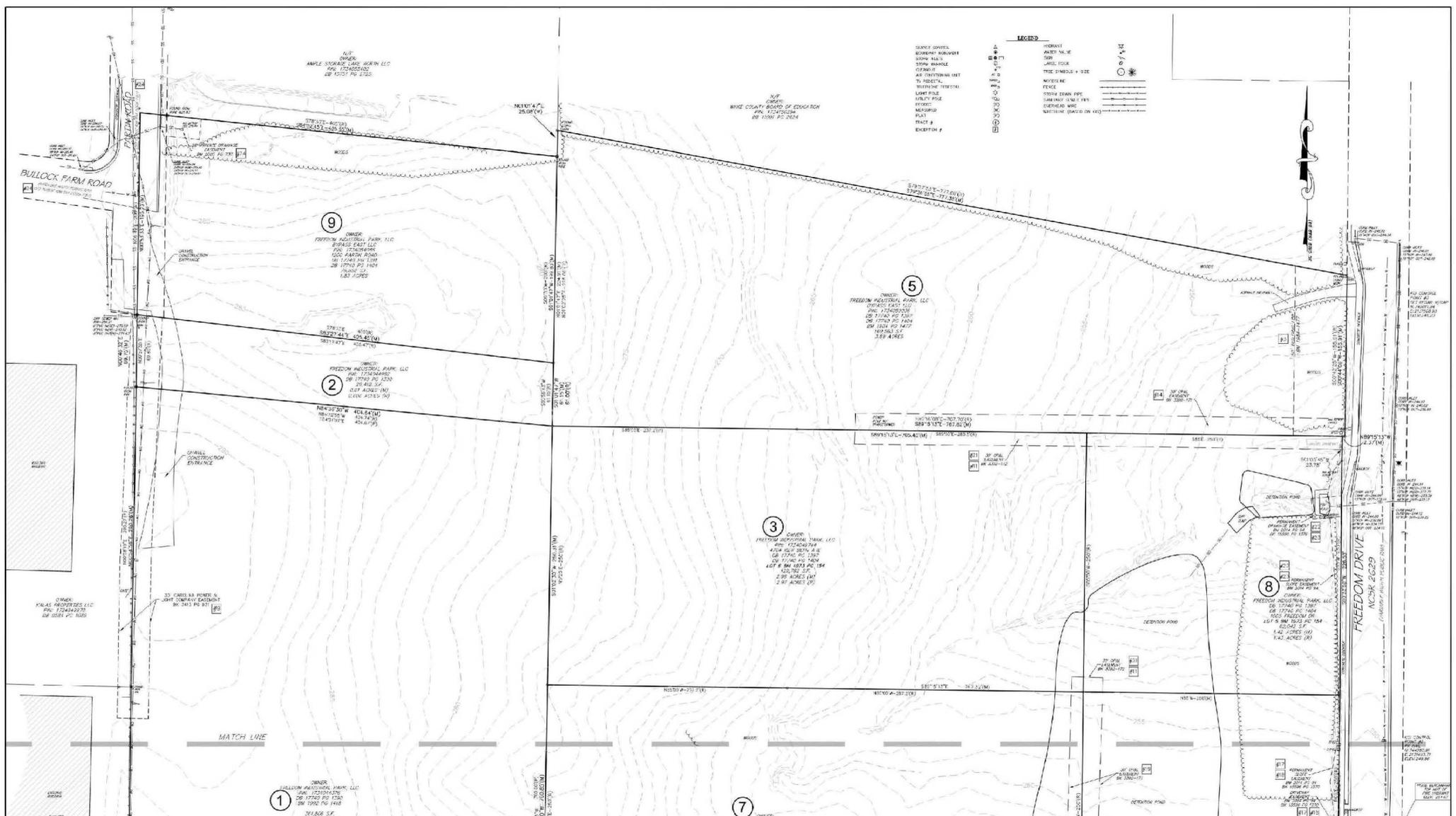
4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysis Bailey Taylor Date: 03/03/2021
Development Services Dir/Designee

Staff Coordinator: Michael Walters



C1.1 - EXISTING CONDITIONS

NOTE: CONTOUR DATA SHOWN HEREON IS FROM 2/20/20.
 SITE IS CURRENTLY BEING MASS GRADED AND CONTOURS
 HAVE CHANGED AT THE TIME OF THIS SURVEY. 09/16/2020



KCI ASSOCIATES OF NC
 ENGINEERS, SURVEYORS AND PLANNERS
 4535 FALLS OF HEDGE ROAD, FLOOR 4
 RALEIGH, NC 27607
 PHONE (919) 753-9214 • FAX (919) 753-9246

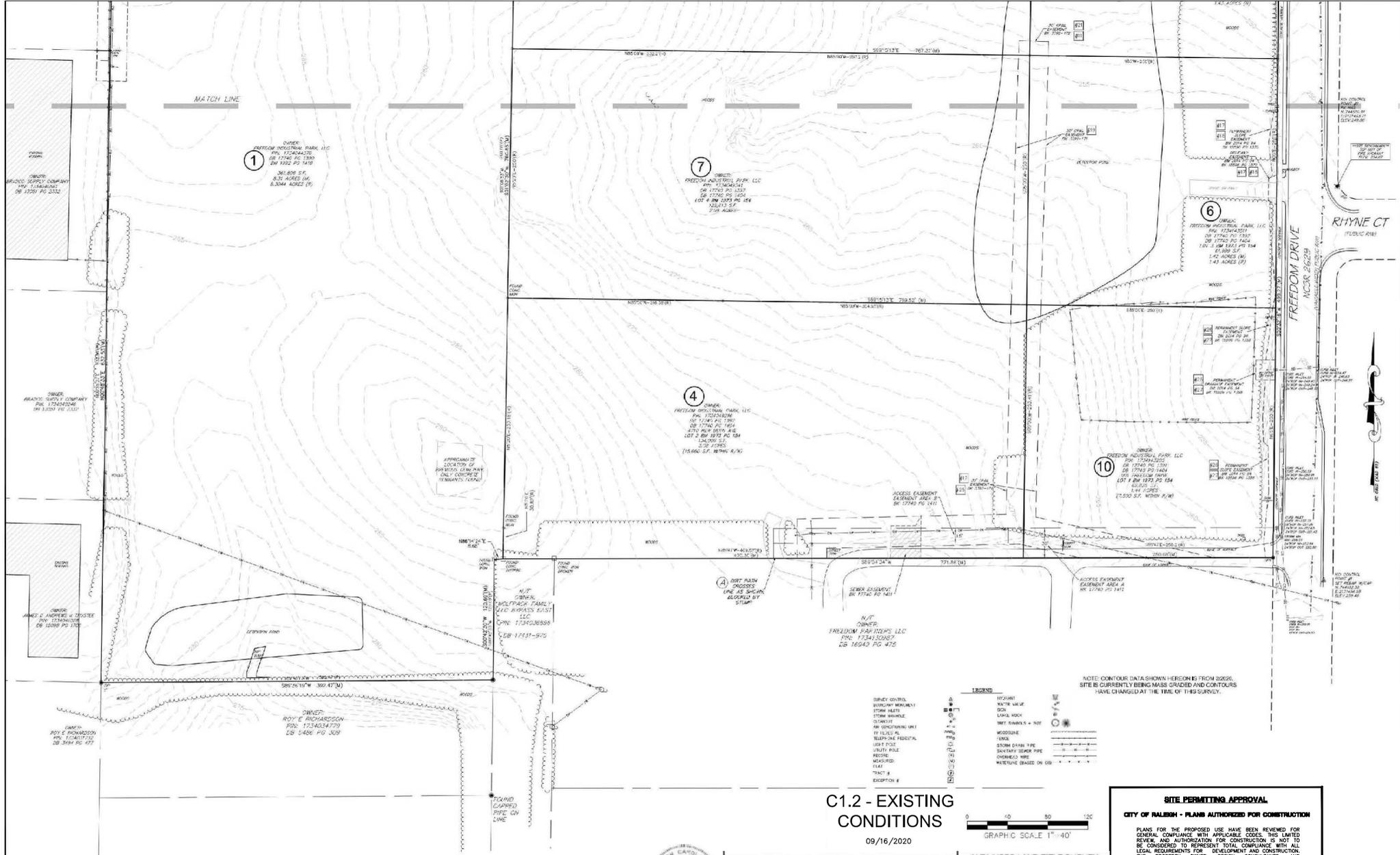
ALTANSPS LAND TITLE SURVEY
 LANDS OWNED BY
FREEDOM INDUSTRIAL PARK LLC
 ST. MATTHEWS TOWNSHIP,
 WAKE COUNTY, NC
 DATE: 8/27/20 SCALE: 1" = 40' SHEET: 2 OF 4

SITE PERMITTING APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSIDERED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAWS. FURTHER CONSTRUCTION MUST BE IN ACCORDANCE WITH THIS DOCUMENT, STATE, AND FEDERAL RULES AND REGULATIONS.
 Date: 2021.03.04 14:36:52-0500

CITY OF RALEIGH DEVELOPMENT APPROVAL



**C1.2 - EXISTING
CONDITIONS**

09/16/2020

LEGEND

▲	ADJACENT
■	WATER VALVE
□	BOX
○	LIQUID ROCK
+	WET HOLE - NOTE
○	WOODPILE
○	LAND
○	STONE DRAIN PIPE
○	SAVITARY SEWER PIPE
○	OVERHEAD WIRE
○	WIRELINE BASED ON OS
○	DISKEY CONTROL
○	SECURITY MONUMENT
○	STEAM VALVE
○	STEAM MANHOLE
○	DISKEY
○	SM SPRING/SHRUB UNIT
○	TELEPHONE FEEDER
○	UTILITY POLE
○	REBAR
○	WEARIED
○	TRAIL
○	TRACT B
○	EXCEPTION #

NOTE: CONTOUR DATA SHOWN HEREON IS FROM 2006. SITE IS CURRENTLY BEING MASS GRADED AND CONTOURS HAVE CHANGED AT THE TIME OF THIS SURVEY.



KCI ASSOCIATES OF NC
ENGINEERS, SURVEYORS AND PLANNERS
455E TALLEY OF WEDGE ROAD, FLOOR 4
RALEIGH, NC 27607
PHONE (919) 952-9244 • FAX (919) 703-9290



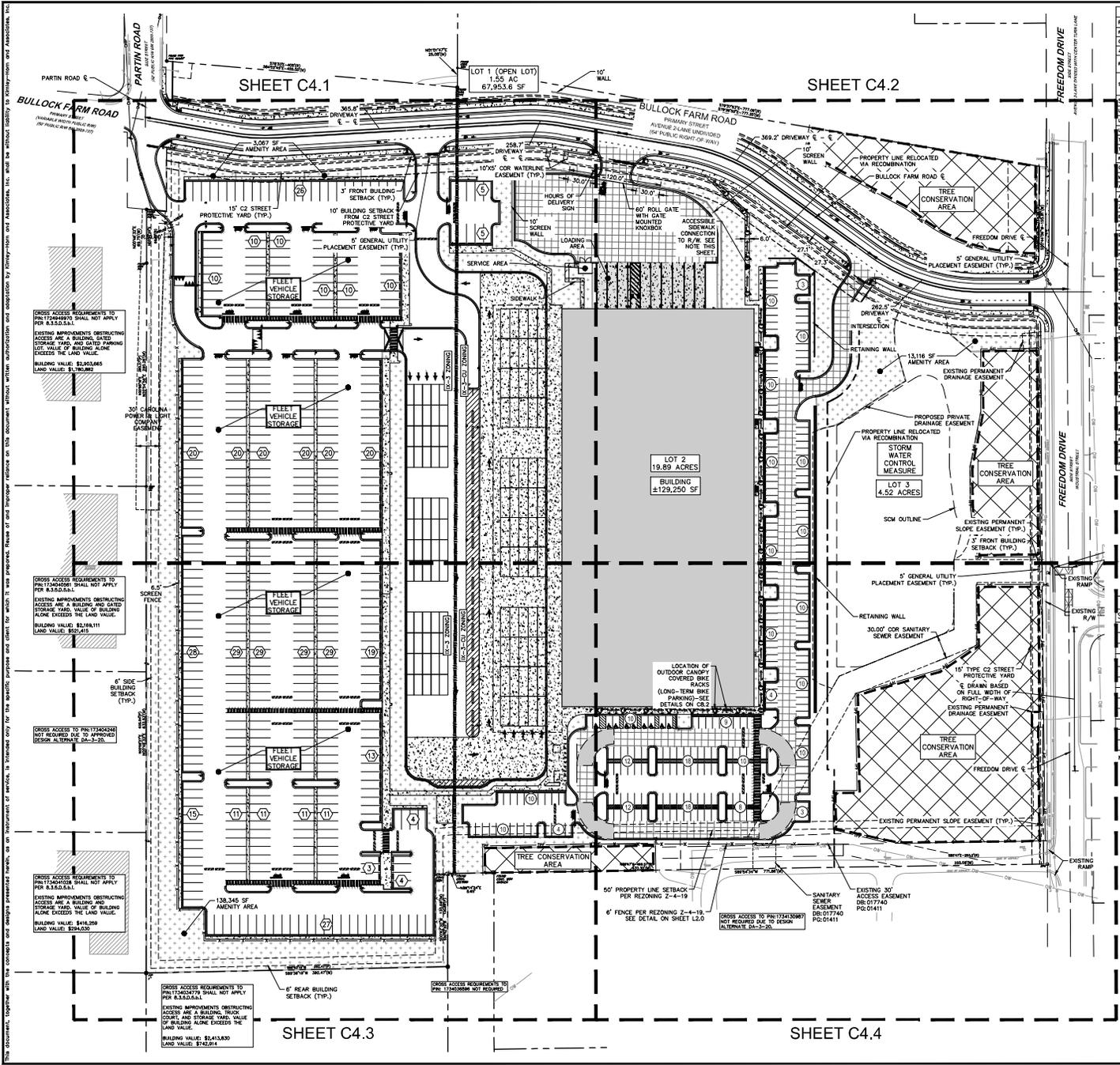
ALTANSPPS LAND TITLE SURVEY
LANDS OWNED BY
FREEDOM INDUSTRIAL PARK LLC
ST. MATTHEWS TOWNSHIP,
WAKE COUNTY, NC

SITE PERMITTING APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED WORK HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT. NOR SHALL BE CONSTRUED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAWS. THIS AUTHORIZATION MUST BE IN REASONABLE ACCORDANCE WITH THIS DOCUMENT AND FEDERAL RULES.

Date: 2021.03.04 14:36:55-0500

CITY OF RALEIGH DEVELOPMENT APPROVAL _____



SITE DATA	
PROJECT INFORMATION	
PROJECT NAME:	FREDOM MULTIFAMILY PARK LLC
CURRENT OWNER:	CITY OF RALEIGH
ARCHITECT:	173404006 173404082 173404076 173404075 173404074 173404073 173404072 173404071 173404070 173404069 173404068 173404067 173440311
PREP BY:	1200 1188 PARTN RD NEW BERN, NC 28562 100% NOT FOR FREEDOM DRIVE PROJECT
SITE SIZE & COVERSAGES	
LOT 1 (OPEN LOT)	1.56 ACRES
LOT 2 (BUILDING)	19.89 ACRES
LOT 3 (BUILDING)	4.52 ACRES
TOTAL SITE AREA	26.00 ACRES
TOTAL TWR DECK AREA	27.96 ACRES
TOTAL TWR DECK AREA	25.96 ACRES
TOTAL BUILDING SQUARE FOOTAGE (PROJECT LIMITED)	170,000 SF
MAXIMUM BUILDING HEIGHT	60'
MAXIMUM SPREAD REQUIRED	±2.80 AC (±11,042 SF)
MAXIMUM SPREAD PROVIDED	±2.54 AC (±10,528 SF)
ZONING	
EXISTING ZONING	OU-3-CU, R-3
PROMISED ZONING	OU-3-CU, R-3
EXISTING USE (WITHIN PROJECT LIMITS)	VACANT LOT, SINGLE FAMILY RESIDENTIAL
PROMISED USE (WITHIN PROJECT LIMITS)	WAREHOUSE & DISTRIBUTION, LIGHT INDUSTRIAL
PERFORMANCE REQUIREMENTS	
PERFORMANCE REQUIREMENTS	N/A
SETBACK REQUIREMENTS	
FRONT PROPERTY LINE	0'
REAR PROPERTY LINE	27'
LEFT SIDEWALK PROPERTY LINE	10'
RIGHT SIDEWALK PROPERTY LINE	10'
SETBACK FROM ADJACENT STREET	20'
BUILDING USE BREAKDOWN	
BUILDING 1 (1,128 SF OFFICE / 112,858 SF ADDITIONAL ROOM AREA = 123,986 SF TOTAL)	OFF-STREET PARKING
REQUIRED PARKING (OFF-STREET)	
REQUIRED PARKING (OFFICE SPACES)	1 SPACE/1,000 SF MINIMUM = 11 SPACES REQUIRED
REQUIRED PARKING (ADDITIONAL ROOM AREA)	1 SPACE/2,000 SF MINIMUM = 57 SPACES REQUIRED
REQUIRED HANDICAP PARKING	7 SPACES (MIN. 2 VAN SPACES)
TOTAL REQUIRED PARKING	65 SPACES TOTAL
PARKING MAXIMUM (BASED ON MIN. REQUIREMENTS)	65 SPACES
PROVIDED PARKING	231 SPACES (MINIMUM 20% SPACES FOR THE PARKING AREA PER DEVELOPMENT LEVEL (1.2, 1.2, 1.2))
PROVIDED HANDICAP PARKING	486 SPACES
PROVIDED FLEET VEHICLE STORAGE	8 SPACES (2 VAN SPACES)
PROVIDED BICYCLE PARKING	SHORT TERM = 5 SPACES LONG TERM = 4 SPACES
PROVIDED BICYCLE PARKING	4 SPACES TO BE PROVIDED EXTERIOR TO BUILDING UNDER ROOF

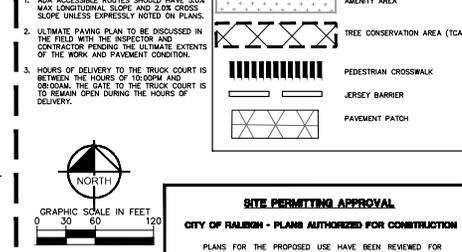
PAVING LEGEND	
[Symbol]	CONCRETE
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	LIGHT DUTY ASPHALT
[Symbol]	HEAVY DUTY ASPHALT

SITE LEGEND	
[Symbol]	PROPERTY LINE
[Symbol]	EASEMENT LINE
[Symbol]	OVERHEAD POWER
[Symbol]	FENCE
[Symbol]	GUARD RAIL
[Symbol]	STANDARD CURB AND GUTTER
[Symbol]	SPILL CURB AND GUTTER
[Symbol]	ZONING LINE
[Symbol]	PARKING SPACE COUNT
[Symbol]	FLEET VEHICLE STORAGE COUNT
[Symbol]	SIGN (SEE PLAN)
[Symbol]	BOLLARD
[Symbol]	ACCESSIBLE PARKING MARKING
[Symbol]	ACCESSIBLE ROUTE
[Symbol]	DIRECTIONAL PAVEMENT ARROWS
[Symbol]	ACCESSIBLE RAMP
[Symbol]	DEPRESSED CURB RAMP
[Symbol]	AMENITY AREA
[Symbol]	TREE CONSERVATION AREA (TCA)
[Symbol]	PEDESTRIAN CROSSWALK
[Symbol]	JERSEY BARRIER
[Symbol]	PAVEMENT PATCH

PRIMARY STREET SELECTION	
STREET FRONTAGES TOTAL # A-D	
PARTIN ROAD	0
BULLOCK FARM ROAD	1
FREEDOM DRIVE	0
PRIMARY STREET CRITERIA	
A. TRANSIT SERVICE	
B. MAIN ST OR URBAN THROUGHFARE	
C. RETAIL STREET	
D. MIXED USE STREET	
BULLOCK FARM ROAD	

NOTES:

- ADA ACCESSIBLE ROUTES SHOULD HAVE 5.0% MAX LONGITUDINAL SLOPE AND 2.0% CROSS SLOPE UNLESS EXPRESSLY NOTED ON PLANS.
- ULTIMATE PAVING PLAN TO BE DISCUSSED IN THE FIELD WITH THE INSPECTOR AND CONTRACTOR PRIOR TO THE ULTIMATE EXTENTS OF THE WORK AND PAVEMENT CONDITION.
- HOURS OF DELIVERY TO THE TRUCK COURT IS BETWEEN THE HOURS OF 10:00PM AND 08:00AM. THE GATE TO THE TRUCK COURT IS TO REMAIN OPEN DURING THE HOURS OF DELIVERY.



SITE PERMITTING APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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Reason for non-compliance with the local, state, and federal laws:

Date: 2021.03.04 14:37:13-0500

CITY OF RALEIGH DEVELOPMENT APPROVAL

Kimley»Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-876-1000
WWW.KIMLEY-HORN.COM
NC LICENSE # 0702

OVERALL SITE PLAN

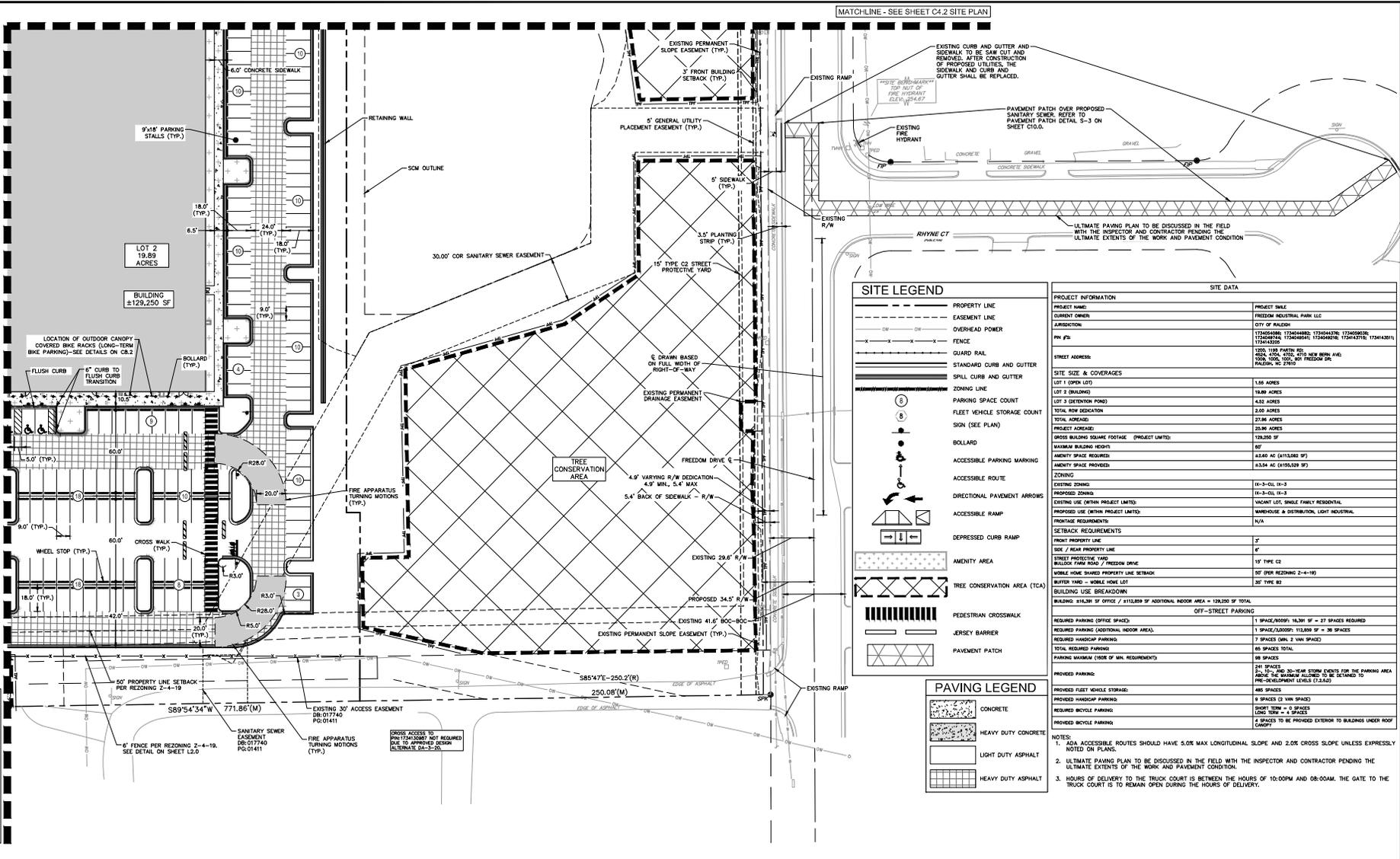
PROJECT SMILE
PREPARED FOR
AL. NEVER

RALEIGH

SHEET NUMBER
C4.0

NO.	DATE	REVISIONS
3	10/16/20	UPDATED PER ASR/SPR COMMENTS
2	12/09/20	UPDATED PER ASR COMMENTS
1	10/16/20	INITIAL DESIGN

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, AS THAT TERM IS DEFINED IN THE PROFESSIONAL SERVICE CONTRACT FOR ARCHITECTURAL AND ENGINEERING SERVICES, INC. AND THE ARCHITECT'S LIABILITY TO KIMBLEY HORN AND ASSOCIATES, INC. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS THE PROPERTY OF KIMBLEY HORN AND ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KIMBLEY HORN AND ASSOCIATES, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF KIMBLEY HORN AND ASSOCIATES, INC. WILL BE SUBJECT TO LEGAL ACTION.



SITE LEGEND

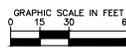
- PROPERTY LINE
- EASEMENT LINE
- OVERHEAD POWER
- FENCE
- QUARD RAIL
- STANDARD CURB AND GUTTER
- SPILL CURB AND GUTTER
- ZONING LINE
- PARKING SPACE COUNT
- FLEET VEHICLE STORAGE COUNT
- SIGN (SEE PLAN)
- BOLLARD
- ACCESSIBLE PARKING MARKING
- ACCESSIBLE ROUTE
- DIRECTIONAL PAVEMENT ARROWS
- ACCESSIBLE RAMP
- DEPRESSED CURB RAMP
- AMENITY AREA
- TREE CONSERVATION AREA (TCA)
- PEDESTRIAN CROSSWALK
- JEERZY BARRIER
- PAVEMENT PATCH

PAVING LEGEND

- CONCRETE
- HEAVY DUTY CONCRETE
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT

SITE DATA

PROJECT INFORMATION		PROJECT NAME	
PROJECT NAME:	FREEDOM INDUSTRIAL PARK LLC	PROJECT NAME:	FREEDOM INDUSTRIAL PARK LLC
CURRENT OWNER:	CITY OF RALEIGH	PROJECT NUMBER:	1734413511
JURISDICTION:	CITY OF RALEIGH	PROJECT DATE:	09/16/2020
PN #:	1734413511	PROJECT SCALE:	AS SHOWN
STREET ADDRESS:	1202, 1188 PATRICK RD, RALEIGH, NC 27601	PROJECT DRAWN BY:	DM
SITE SIZE & COVERAGES:	LOT 1 (OPEN LOT) 1.68 ACRES	PROJECT CHECKED BY:	WJ
LOT 2 (BUILDING)	1.84 ACRES	DATE:	09/16/2020
LOT 3 (DETENTION POND)	4.52 ACRES	SCALE:	AS SHOWN
TOTAL ROW DEDICATION	2.00 ACRES	DESIGNED BY:	DM
TOTAL AREA:	27.06 ACRES	DRAWN BY:	WJ
PROJECT AREA:	23.96 ACRES	CHECKED BY:	WJ
CROSS BUILDING SQUARE FOOTAGE (PROJECT LIMITED):	19,350 SF	DATE:	09/16/2020
MAXIMUM BUILDING HEIGHT:	60'	SCALE:	AS SHOWN
AMENITY SPACE REQUIRED:	±1,840 AC (±113,088 SF)	DESIGNED BY:	DM
AMENITY SPACE PROVIDED:	±2,524 AC (±161,528 SF)	DRAWN BY:	WJ
ZONING:	IND-3-CU, I9-3	CHECKED BY:	WJ
EXISTING ZONING:	IND-3-CU, I9-3	DATE:	09/16/2020
PROPOSED ZONING:	IND-3-CU, I9-3	SCALE:	AS SHOWN
EXISTING USE (WITHIN PROJECT LIMITS):	VACANT LOT, SINGLE FAMILY RESIDENTIAL	DESIGNED BY:	DM
PROPOSED USE (WITHIN PROJECT LIMITS):	WAREHOUSE & DISTRIBUTION, LIGHT INDUSTRIAL	DRAWN BY:	WJ
FRONTAGE REQUIREMENTS:	N/A	CHECKED BY:	WJ
SETBACK REQUIREMENTS:	N/A	DATE:	09/16/2020
FRONT PROPERTY LINE:	3'	SCALE:	AS SHOWN
USE / AREA PROPERTY LINE:	60'	DESIGNED BY:	DM
STREET PROTECTIVE YARD:	10' TYP. CS	DRAWN BY:	WJ
BISSON PARK DRIVE / FREEDOM DRIVE:	50' OVER HEDGING 2-4-19	CHECKED BY:	WJ
MOBILE HOME SHARED PROPERTY LINE SETBACK:	30' TYP. R2	DATE:	09/16/2020
BUFFER YARD - MOBILE HOME LOT:	30' TYP. R2	SCALE:	AS SHOWN
BUILDING USE BREAKDOWN:	BUILDING ±129,250 SF OFFICE / ±112,809 SF ADDITIONAL INDOOR AREA = 129,250 SF TOTAL	DESIGNED BY:	DM
REQUIRED PARKING OFFICE SPACE:	1 SPACE/2,000SF, 16,348 SF = 37 SPACES REQUIRED	DRAWN BY:	WJ
REQUIRED PARKING (ADDITIONAL INDOOR AREA):	1 SPACE/2,000SF, 112,809 SF = 38 SPACES	CHECKED BY:	WJ
REQUIRED HANDICAP PARKING:	7 SPACES (MIN. 2 VAN SPACES)	DATE:	09/16/2020
TOTAL REQUIRED PARKING:	65 SPACES TOTAL	SCALE:	AS SHOWN
PARKING MAXIMUM (USE OF MIN. REQUIREMENTS):	65 SPACES	DESIGNED BY:	DM
PROVIDED PARKING:	241 SPACES	DRAWN BY:	WJ
PROVIDED FLEET VEHICLE STORAGE:	485 SPACES	CHECKED BY:	WJ
PROVIDED HANDICAP PARKING:	9 SPACES (3 VAN SPACES)	DATE:	09/16/2020
REQUIRED BIKE PARKING:	800 FT ² MIN. = 8 SPACES	SCALE:	AS SHOWN
PROVIDED BIKE PARKING:	8 SPACES TO BE PROVIDED EXTERIOR TO BUILDING UNDER ROOF CANOPY	DESIGNED BY:	DM
NOTES:		DRAWN BY:	WJ
1. ADA ACCESSIBLE ROUTES SHOULD HAVE 5.0% MAX LONGITUDINAL SLOPE AND 2.0% CROSS SLOPE UNLESS EXPRESSLY NOTED ON PLANS.		CHECKED BY:	WJ
2. ULTIMATE PAVING PLAN TO BE DISCUSSED IN THE FIELD WITH THE INSPECTOR AND CONTRACTOR PENDING THE ULTIMATE EXTENTS OF THE WORK AND PAVEMENT CONDITION.		DATE:	09/16/2020
3. HOURS OF DELIVERY TO THE TRUCK COURT IS BETWEEN THE HOURS OF 10:00PM AND 08:00AM. THE GATE TO THE TRUCK COURT IS TO REMAIN OPEN DURING THE HOURS OF DELIVERY.		SCALE:	AS SHOWN



SITE PERMITTING APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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Date: 2021.03.04 14:37:29-0500
 CITY OF RALEIGH DEVELOPMENT APPROVAL

Kimley Horn
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 421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601
 PHONE: 919/966-4000
 WWW.KIMBLEY-HORN.COM
 NC LICENSE # 1002

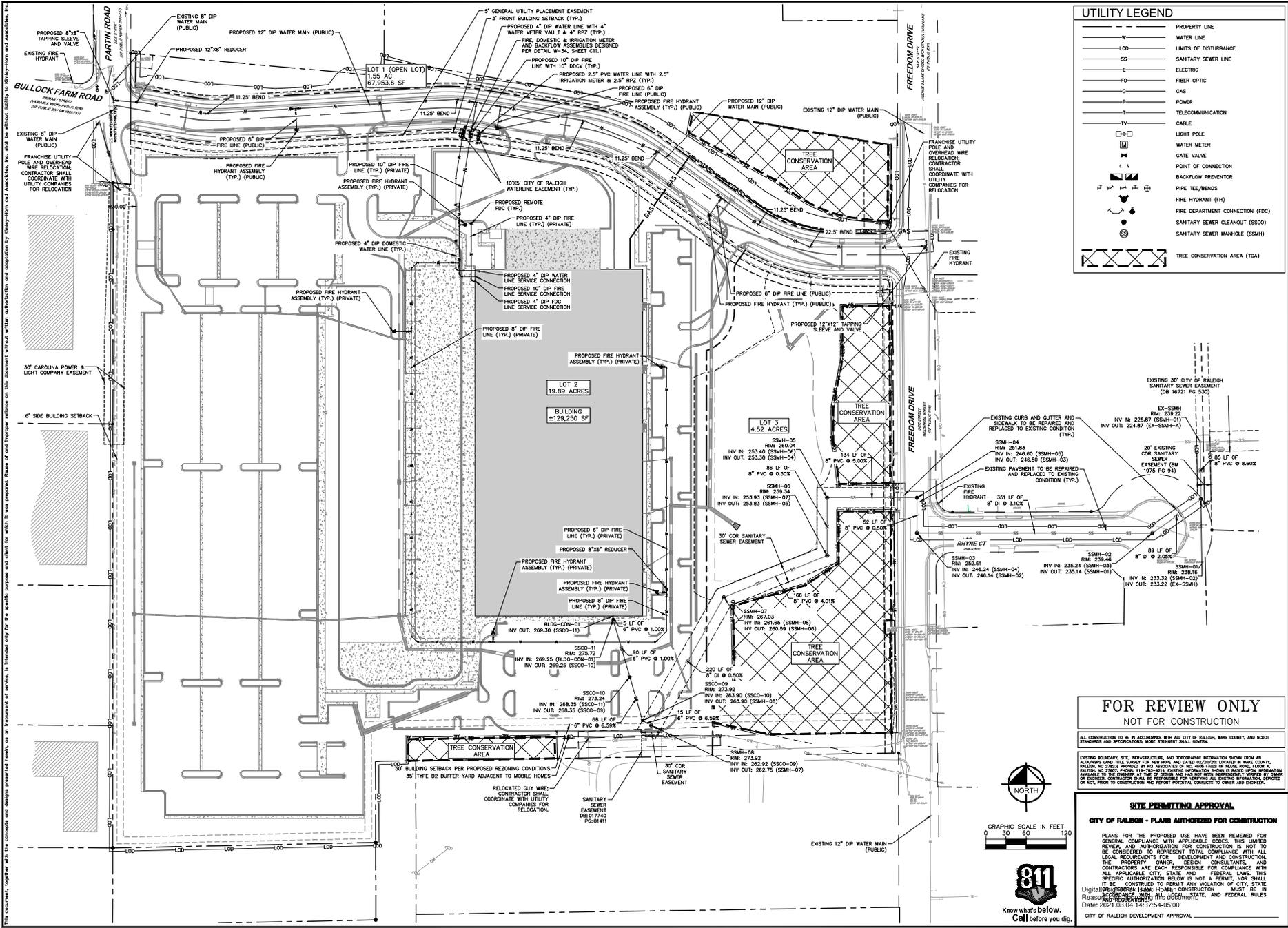
PROJECT SMILE
 PREPARED FOR
AL. NEVER

SITE PLAN

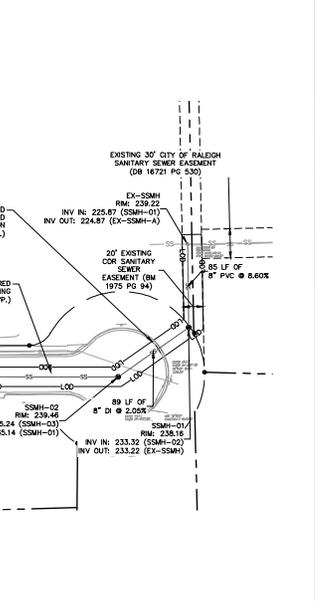
NC PROJECT: 07/15/2020
 DATE: 09/16/2020
 SCALE: AS SHOWN
 DESIGNED BY: DM
 DRAWN BY: WJ
 CHECKED BY: WJ

NO.	REVISIONS	DATE
1	UPDATED PER ASR / SPR COMMENTS	10/16/2020
2	UPDATED PER ASR / SPR COMMENTS	12/09/2020
3	UPDATED PER ASR / SPR COMMENTS	01/12/21

SHEET NUMBER
C4.4



UTILITY LEGEND	
---	PROPERTY LINE
---	WATER LINE
---	LIMITS OF DISTURBANCE
---	SANITARY SEWER LINE
---	ELECTRIC
---	FIBER OPTIC
---	GAS
---	POWER
---	TELECOMMUNICATION
---	CABLE
---	LIGHT POLE
---	WATER METER
---	GATE VALVE
---	POINT OF CONNECTION
---	BACKFLOW PREVENTOR
---	PIPE TEES/BENDS
---	FIRE HYDRANT (FH)
---	FIRE DEPARTMENT CONNECTION (FDC)
---	SANITARY SEWER CLEANOUT (SSCO)
---	SANITARY SEWER MANHOLE (SSMH)
---	TREE CONSERVATION AREA (TCA)



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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, N.C. CODES, ORDINANCES, AND MOST STANDARDS AND SPECIFICATIONS, MORE EXPLICIT SHALL GOVERN.

SITE PERMITTING APPROVAL

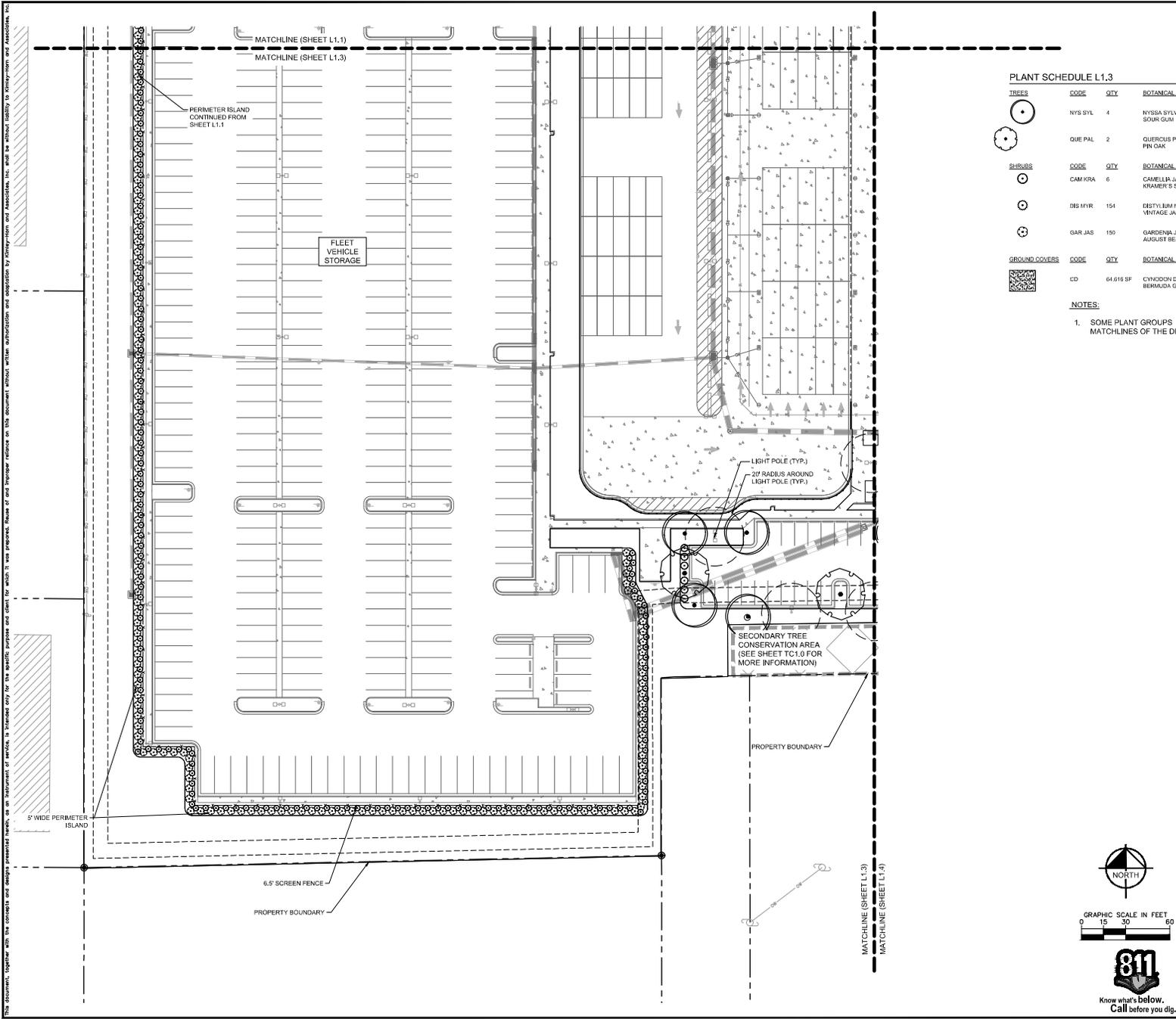
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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Date: 2021.03.04 14:37:54-0500
CITY OF RALEIGH DEVELOPMENT APPROVAL

<p>Kimley»Horn</p> <p>© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919.489.8000 WWW.KIMLEY-HORN.COM NC LICENSE # 0102</p>	<p>UTILITY PLAN</p> <p>PROJECT SMILE PREPARED FOR AL. NEVER</p> <p style="text-align: right;">RALEIGH</p>
<p>KHA PROJECT 07/15/2020 DATE 09/16/2020 SCALE AS SHOWN DESIGNED BY DMH DRAWN BY JZD CHECKED BY WJE</p>	<p>SHEET NUMBER C7.0</p>

THIS DOCUMENT, TOGETHER WITH THE CONCEPT AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS PREPARED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED, THESE OF AND THROUGH REFERENCE TO THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSUMPTION OF LIABILITY BY KIMLEY-HORN AND ASSOCIATES, INC.



PLANT SCHEDULE L1.3

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	PLANTING HEIGHT
	NYS SYL	4	NYSSBA SYLVATICA SOUR GUM	8.68	3" CAL.	10'-12" HT.
	QUE PAL	2	QUERCUS PALUSTRIS PIN OAK	8.68	3" CAL.	10'-12" HT.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HT.	
	CAM KRA	6	CAMELLIA JAPONICA 'KRAMER'S SUPREME' KRAMER'S SUPREME CAMELLIA	3 GAL.	36"	
	DES MYR	154	DISTYLIUM MYRICOIDES 'VINTAGE JADE' VINTAGE JADE DISTYLIUM	3 GAL.	24"	
	GAR JAS	150	GARDENIA JASMINOIDES 'AUGUST BEAUTY' AUGUST BEAUTY GARDENIA	3 GAL.	24"	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.		
	CO	64,616 SF	CYNODON DACTYLON BERMUUDA GRASS	SEED		

NOTES:

- SOME PLANT GROUPS EXTEND BEYOND THE MATCHLINES OF THE DRAWING.

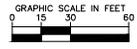
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

ALL CONTRIBUTIONS TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCEM STANDARDS AND SPECIFICATIONS, MORE STRINGENT SHALL GOVERN.

EXISTING BOUNDARY, SITE, INFRASTRUCTURE, AND TOPOGRAPHIC INFORMATION SHOWN FROM ALL PLANS AND FIELD SURVEY FOR NEW LOTS AND LOTS 20-20-000 COVERED BY WAKE COUNTY, RALEIGH, NC. THESE PROVIDED BY AN ASSOCIATES OF NCE 4000 FALLS OF WELLS ROAD, FLOOR 4, RALEIGH, NC 27609. PHONE: 919-250-0916. EXISTING INFORMATION IS SHOWN AS BEST INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF DESIGN AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY OTHER MEANS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, WHETHER OR NOT, PRIOR TO CONSTRUCTION AND VERIFYING POTENTIAL CONFLICTS TO OWNER AND DESIGNER.

SITE PERMITTING APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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Date: 2021.03.04 14:40:09-0500
CITY OF RALEIGH DEVELOPMENT APPROVAL _____



NO.	REVISIONS	DATE
3	UPDATED PER ASB/SR COMMENTS	07/12/21 JDT
2	UPDATED PER ASB/SR COMMENTS	12/09/20 ALB
1	UPDATED PER ASB/SR COMMENTS	10/16/20 JDT

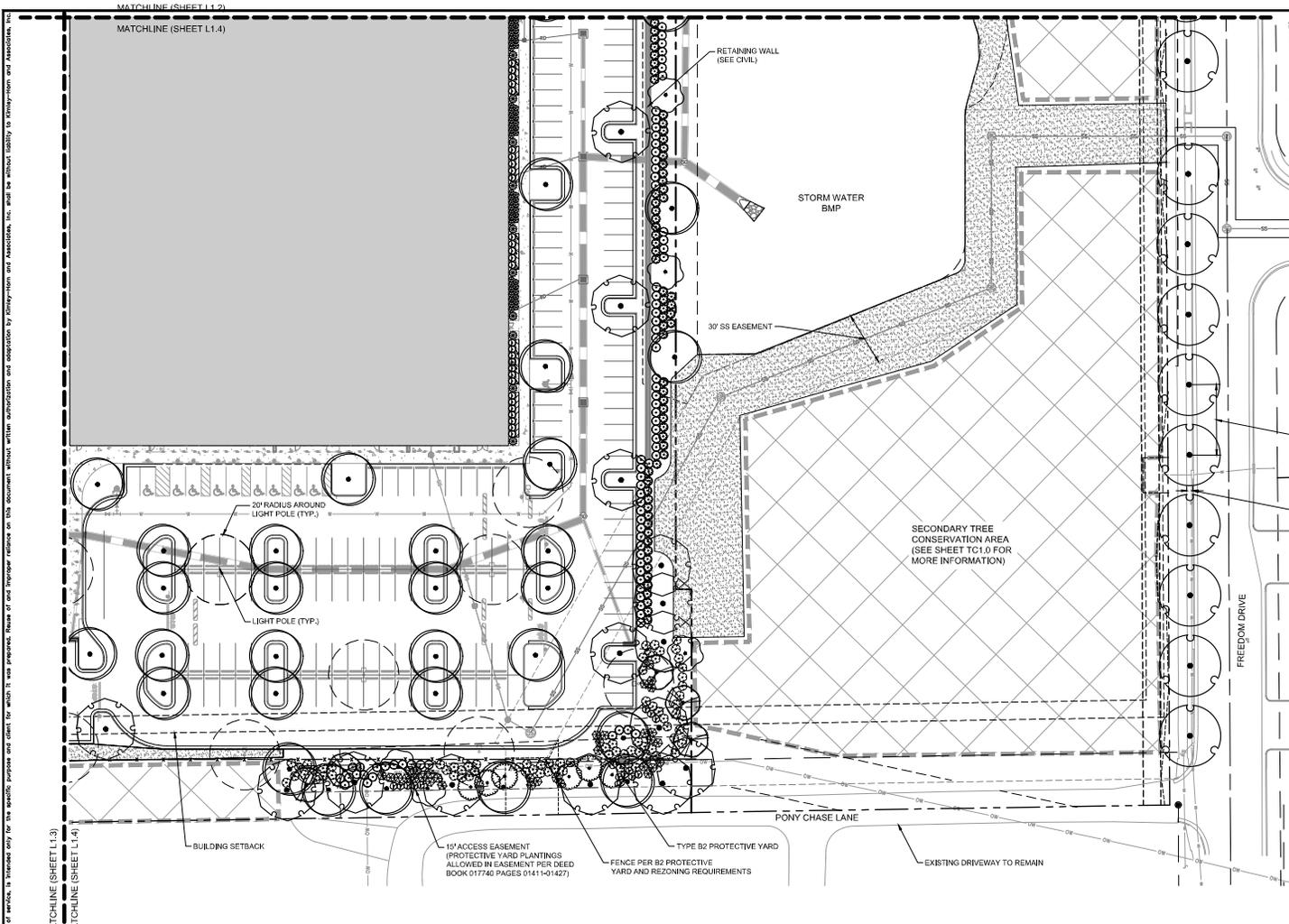
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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-250-0916
WWW.KIMLEY-HORN.COM
NC LICENSE # 0102

CITY PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
013-0000	09/16/2020	AS SHOWN	AWF	AWF	AWF

LANDSCAPE PLAN

PROJECT SMILE
PREPARED FOR
AL. NEVER
RALEIGH, NC

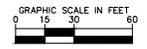
SHEET NUMBER
L1.3



- NOTES:**
- SOME PLANT GROUPS EXTEND BEYOND THE MATCHLINES OF THE DRAWING.

OWNER:
DL RESTORATION LLC
PIN: 1734146.355
ZONING: IX-3
USE: INDUSTRIAL

OWNER:
DUNN, ROBERT C
PIN: 1734146159DB 16949 PG
ZONING: IH
USE: HEAVY INDUSTRIAL



No.	REVISIONS	DATE	BY
3	UPDATED PER ASR/SFR COMMENTS	10/12/21	JDT
2	UPDATED PER ASR/SFR COMMENTS	12/09/20	AJL
1	UPDATED PER ASR COMMENTS	10/16/20	JDT

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PHONE: 919.978.1000
WWW.KIMLEY-HORN.COM
NC LICENSE # 002

KHA PROJECT	07/15/2020
DATE	09/16/2020
SCALE AS SHOWN	AS SHOWN
DESIGNED BY	AWF
DRAWN BY	AWF
CHECKED BY	AWF

LANDSCAPE PLAN

PLANT SCHEDULE L1.4

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CAL	PLANTING HEIGHT	SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HIT	GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.
	ACE BUE	10	ACER BUERGERIANUM 'STREETWISE' TM TRIDENT MAPLE	B&B	3"	10-12' HT.		Aza R33	14	AZALEA X ROBLEG 'PPH2319227' AUTUMN ANGEL AZALEA	3 GAL	24"		CD	44,571 SF	CYNODON DACTYLON BERMUDA GRASS	SEED
	AME CAN	5	AMELANCHER CANADENSIS CANADIAN SERVICEBERRY	B&B	2"	8-10' HT.		CAM KRA	80	CAMELLIA JAPONICA 'KRAMER'S SUPREME' KRAMER'S SUPREME CAMELLIA	3 GAL	36"		EM	35	ERICA X DARLEYENSIS 'MEDITERRANEAN PINK' MEDITERRANEAN PINK DARLEY HEATH	1 GAL
	CAR BET	6	CARPINUS BETULUS 'FASTIGIATA' EUROPEAN HORNBEEAM	B&B	3"	10-12' HT.		CB	10	CHAMAECYPARIS OBTUSA 'ELMWOOD GOLD' ELMWOOD GOLD HIKOKI FALSE CYPRESS	5 GAL	24"					
	MAG X S	5	MAGNOLIA X SOULANGIANA 'GALAXY' GALAXY SAUCER MAGNOLIA	B&B	2"	6-10' HT.		GAR JAS	77	GARDENIA JASMINOIDES 'AUGUST BEAUTY' AUGUST BEAUTY GARDENIA	3 GAL	24"					
	NYS SYL	29	NYSSA SYLVATICA SOUR GUM	B&B	3"	10-12' HT.		HYD PAN	32	HYDRANGEA PANICULATA 'LITTLE LIME' LITTLE LIME HYDRANGEA	3 GAL	24"					
	QUE PAL	15	QUERCUS PALUSTRIS PIN OAK	B&B	3"	10-12' HT.		IFE VIR	52	IFEA VIRGINICA 'LITTLE HENRY' VIRGINIA WILLOW	3 GAL	24"					
								KAL LAT	66	KALMIA LATIFOLIA 'PEPPERMINT' PEPPERMINT MOUNTAIN LAUREL	5 GAL	36"					
								LC	29	LOROPETALUM CHINENSE 'CRIMSON FIRE' CRIMSON FIRE LORDPETALUM	3 GAL	24"					

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EXISTING BOUNDARY, SITE, INFRASTRUCTURE, AND TOPOGRAPHIC INFORMATION SHOWN FROM AN ALLIANCE LAND SURVEY FOR NEW HOME AND LITTLE OLDFIELDS LOCATED IN HARRIS COUNTY, RALEIGH, NC. THESE PLANS PROVIDED BY THE ASSOCIATES OF THE ASSOCIATES OF NEW HOME, FLOOR PLANS, PAVED, AND UNPAVED ARE NOT TO BE USED FOR CONSTRUCTION. THESE PLANS ARE NOT BEING REDRAWN AND ARE NOT BEING REDRAWN. THESE PLANS ARE NOT BEING REDRAWN AND ARE NOT BEING REDRAWN. THESE PLANS ARE NOT BEING REDRAWN AND ARE NOT BEING REDRAWN.

SITE PERMITTING APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

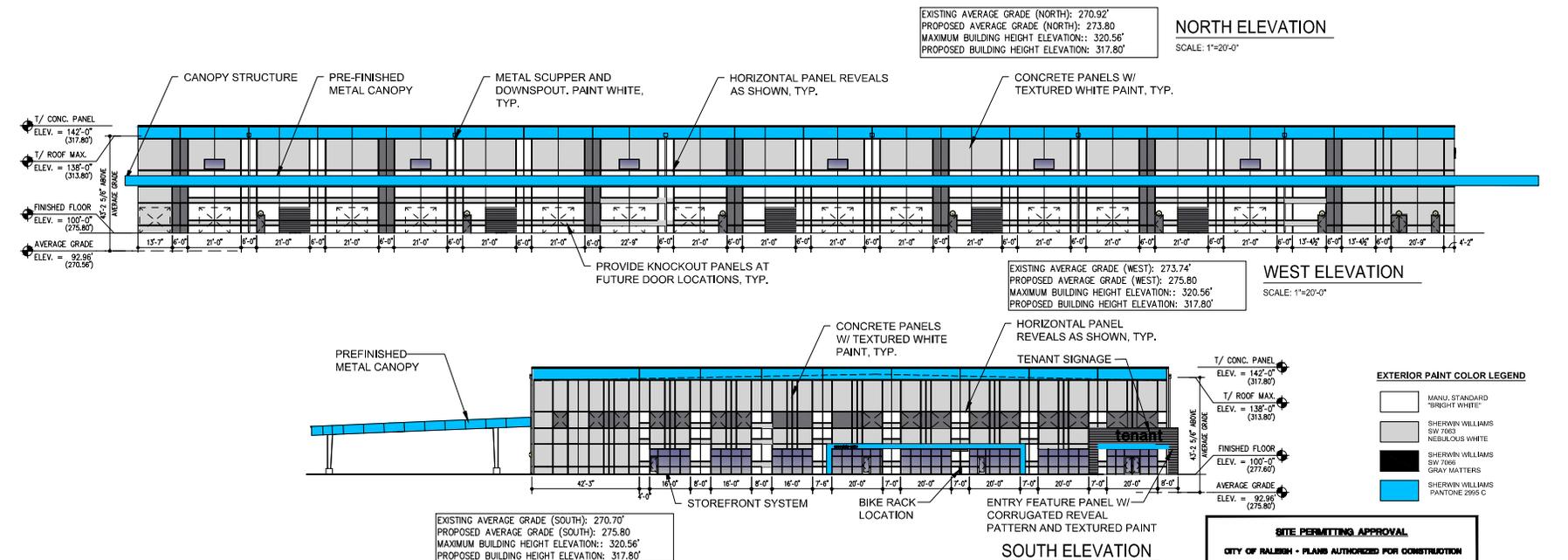
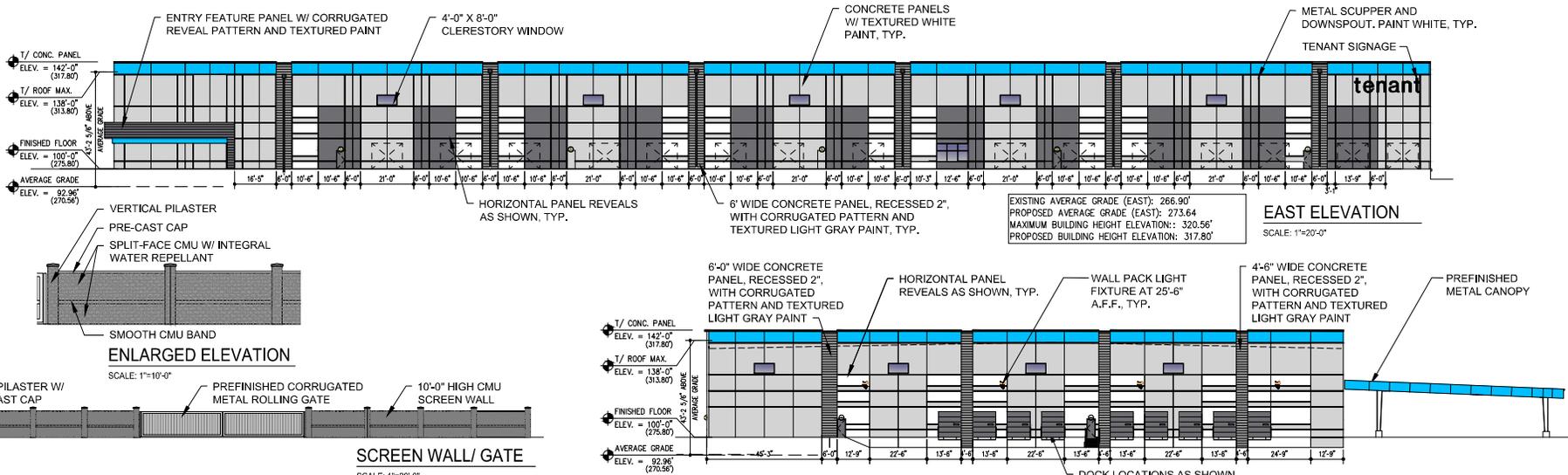
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Date: 2021.03.04 14:40:13-0500
CITY OF RALEIGH DEVELOPMENT APPROVAL



PROJECT SMILE
PREPARED FOR
AL. NEVER
RALEIGH

SHEET NUMBER
L1.4



PROJECT SMILE - FREEDOM DRIVE

RALEIGH INDUSTRIAL



CASE # AAD-22-20
ADMINISTRATIVE ALTERNATE
FOR BUILDING TRANSPARENCY
AND BLANK WALL AREA

JANUARY 12, 2021

SITE PERMITTING APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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Date: 2021.03.04 14:41:00-0500
CITY OF RALEIGH DEVELOPMENT APPROVAL

A3