

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____

GENERAL INFORMATION

Development name: Warehouse/Office Building

Inside City limits? ☒ Yes ☐ No

Property address(es): **3001 Jones Sausage Road**

Site P.I.N.(s): 1722-73-3257

Please describe the scope of work. Include any additions, expansions, and change of use.
Warehouse/Office building for multiple different businesses.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: The Stephens Center, INC

Title: Owner

Address: 319 Chapanoke Road

Phone #: 919-779-1855

Email: mattstephens@bellsouth.net

Applicant Name: Matt Stephens

Company: The Stephens Center

Address: 319 Chapanoke Road

Phone #: 919-779-1855

Email: mattstephen@bellsouth.net

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 10.00	New gross floor area: 80,000
# of parking spaces required: 49	Total sf gross (to remain and new): 80,000
# of parking spaces proposed: 72	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1 Story
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Warehouse & Distribution	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 1.24 Square Feet: 54,092	Proposed Impervious Surface: Acres: 5.31 Square Feet: 231304
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide: _____	
Alluvial soils: Wo _____	
Flood study: N/A _____	
FEMA Map Panel #: 1722 _____	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No


RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

I hereby designate MICHAEL STEWART to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: 	Date: 9/3/2020
Printed Name: Matthew Stephens	

ADMINISTRATIVE
SITE REVIEW
THE STEPHENS CENTER
WAREHOUSE/DISTRIBUTION BUILDING

OWNER/DEVELOPER: THE STEPHENS CENTER, INC.

319 CHAPANOKE RD.
RALEIGH, NORTH CAROLINA 27603
PHONE # (919)779-1855



VICINITY MAP
SCALE: 1"=500'

INDEX TO PLANS

- SHEET 1 COVER SHEET
SHEET 2 EXISTING CONDITIONS AND DEMOLITION PLAN
SHEET 3 SITE PLAN
SHEET 4 UTILITY PLAN
SHEET 5 GRADING AND STORMWATER MANAGEMENT PLAN
SHEET 6 LANDSCAPING PLAN
SHEET 7 TREE SURVEY AND CONSERVATION AREA
SHEET 7A TREE SURVEY/GRADING PLAN
SHEET 8 UTILITY DETAILS
SHEET 9 TRANSPORTATION
SHEET 10 SITE LIGHTING PLAN
A2 ARCHITECT PLANS

BLOCK PERIMETER NOTE:
THE BLOCK PERIMETER REQUIREMENT WILL
NOT BE REQUIRED FOR THIS SITE DUE
TO TC-6-19 UDO CHANGES.
REFERENCE SECTION 8.3.2A.1B.iv.vi

NOTE:
THE SITE IS .003% OF THE TOTAL
DRAINAGE AREA FOR THE STREAM
AND THEREFORE STORMWATER IS
EXEMPT PER 10% RULE

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF
WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE
FOR CONTACTING AND THE PUBLIC UTILITIES DEPARTMENT AT
(919)996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING
ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF
BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF
MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR
SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION
FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWN STREAM PLUG,
HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF
CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE
EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

GENERAL SITE NOTES:

ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF RALEIGH
DESIGN AND CONSTRUCTION STANDARDS
ALL NECESSARY APPROVALS, STATE AND LOCAL, SHALL BE OBTAINED
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
ALL NECESSARY ENCROACHMENT AGREEMENTS SHALL BE OBTAINED
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION
OF THIS PROJECT CAN BEGIN. ALSO, ALL DEVELOPMENT FEES
(ACREAGE, FEE-IN-LIEU OF ASSESSMENT, AND INSPECTION FEES)
ARE DUE PRIOR TO FINAL CONSTRUCTION DRAWING APPROVAL
CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION
OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION
CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY CONFLICTING
CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR
TO THE START OF CONSTRUCTION
NOTE - A SIGN PERMIT IS REQUIRED PRIOR TO INSTALLATION
OF ANY SIGNAGE.

SITE DATA

TOTAL TRACT SIZE:	491,792 S.F. 11.29 AC.
EXISTING USE:	VACANT
PROPOSED USE:	WAREHOUSE/DISTRIBUTION
ZONING:	IX-3
PROPOSED BUILDING SIZE:	80,000 S.F.
PROPOSED BUILDING HEIGHT:	1 STORY
OFFICE SPACE:	16,000 S.F.
WAREHOUSE SPACE:	64,000 S.F.
PARKING SPACES REQUIRED:	27 SPACES
(OFFICE 16,000/600)	
PARKING SPACES REQUIRED:	22 SPACES
(WAREHOUSE 64,000/3000)	
TOTAL PARKING SPACES REQUIRED:	49 SPACES
BICYCLE PARKING REQUIRED:	4 SPACES
BICYCLE PARKING PROVIDED:	4 SPACES
PARKING SPACES PROVIDED (INCL. 2 HC.):	72 SPACES
EXISTING IMPERVIOUS AREA:	54,092 S.F. 11.0%
PROPOSED IMPERVIOUS AREA:	233,988 S.F. 47.6%
DENUDED AREA:	261,360 S.F. 6.0 AC.
WAKE COUNTY P.I.N.:	1722-73-3257
SITE ADDRESS:	3001 JONES SAUSAGE RD.
OUTDOOR AMENITY REQUIRED (10%):	1.13 AC.
OUTDOOR AMENITY PROVIDED:	1.33 AC.
BUILDING SETBACK:	
FRONT:	3'
SIDE:	0' OR 6'
REAR:	0' OR 6'
PARKING SETBACK:	
FRONT:	10'
SIDE:	0' OR 3'
REAR:	0' OR 3'

FOR REVIEW ONLY-
NOT FOR CONSTRUCTION

PLAN IS SUBJECT TO REVISIONS DURING
THE CONSTRUCTION APPROVAL PROCESS

NO.	REVISION	DATE
1.	PER COR COMMENTS	05-27-22

SP

STEWART-PROCTOR
ENGINEERING and SURVEYING
(LICENSE CERTIFICATE P-0148)
319 CHAPANOKE ROAD
RALEIGH, NC 27603
TEL: 919 779-1855 FAX 919 779-1661

DATE 07-08-2020

SURVEYED BY

JOB

SCALE

DRAWN BY

DWG. NO.

REVISIONS

PROJECT CASE #ASR-0075-2020 SHEET 1

COVER SHEET
THE STEPHENS CENTER
WAREHOUSE/DISTRIBUTION BUILDING

ST. MARY'S TOWNSHIP

NORTH CAROLINA

WAKE COUNTY

OWNER

ZONED: IX-3

P.I.N. 1722-73-3257

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Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Administrative Alternate #:	

GENERAL INFORMATION

Development name: The Stephens Center Warehouse/Distribution Building

Inside City limits? ☒ Yes ☐ No

Property address(es): 3001 Jones Sausage Road

Site P.I.N.(s): 1722-73-3257

Please describe the scope of work. Include any additions, expansions, and change of use.
Construction of a Warehouse/Distribution building with parking and associated utility and storm
drainage infrastructure.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: The Stephens Center, INC Title: President

Address: 319 Chapanoke Road

Phone #: 919-779-1855

Email: mattstephens@bellsouth.net

Applicant Name: Matt Stephens

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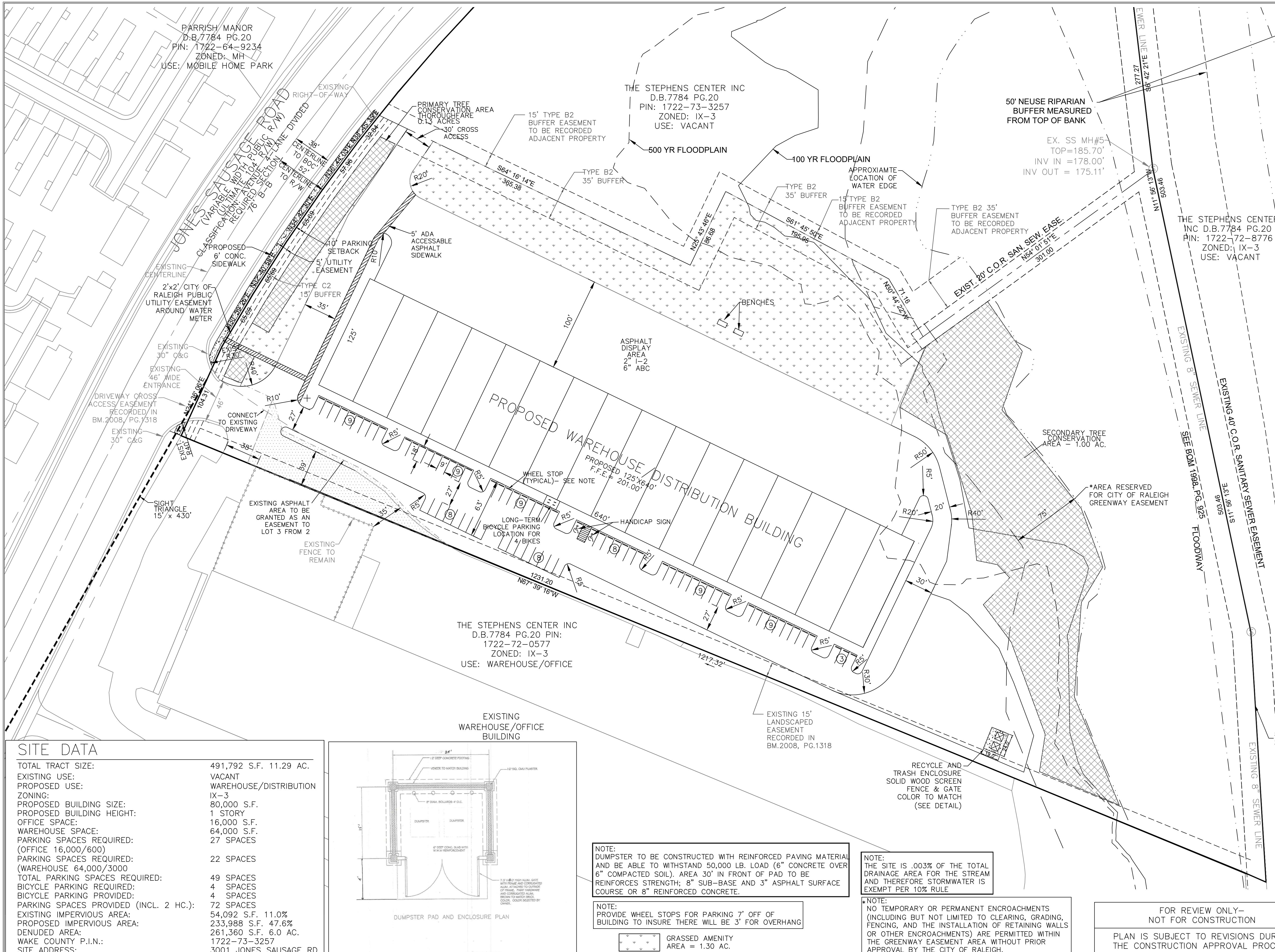
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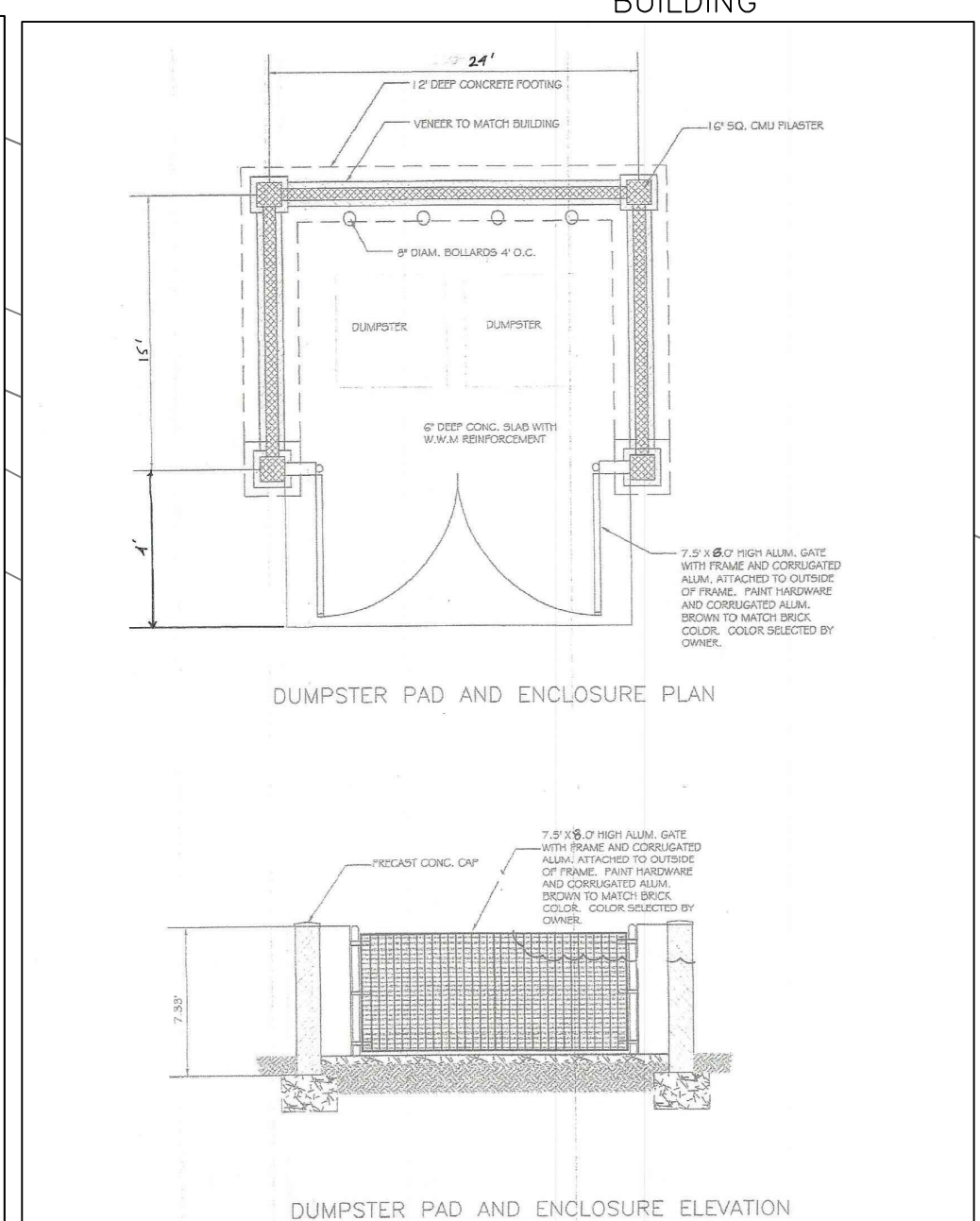
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Signature: [Signature]
Printed Name: Matt Stephens

Date: 9/3/2020

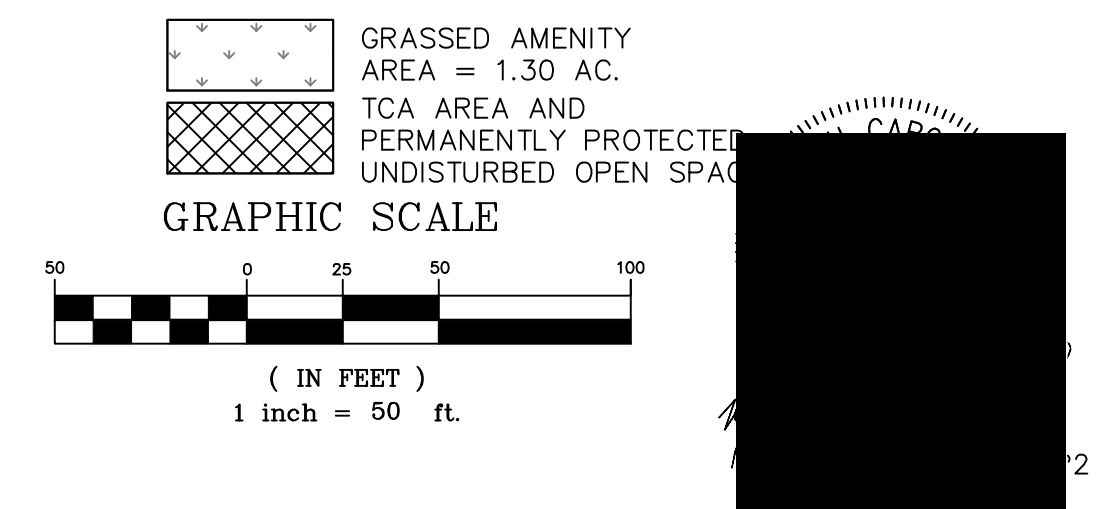


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REAR:	0' OR 6'
PARKING SETBACK:	
FRONT:	10'
SIDE:	0' OR 3'
REAR:	0' OR 3'



NOTE:
DUMPSTER TO BE CONSTRUCTED WITH REINFORCED PAVING MATERIAL AND BE ABLE TO WITHSTAND 50,000 LB. LOAD (6\"/>

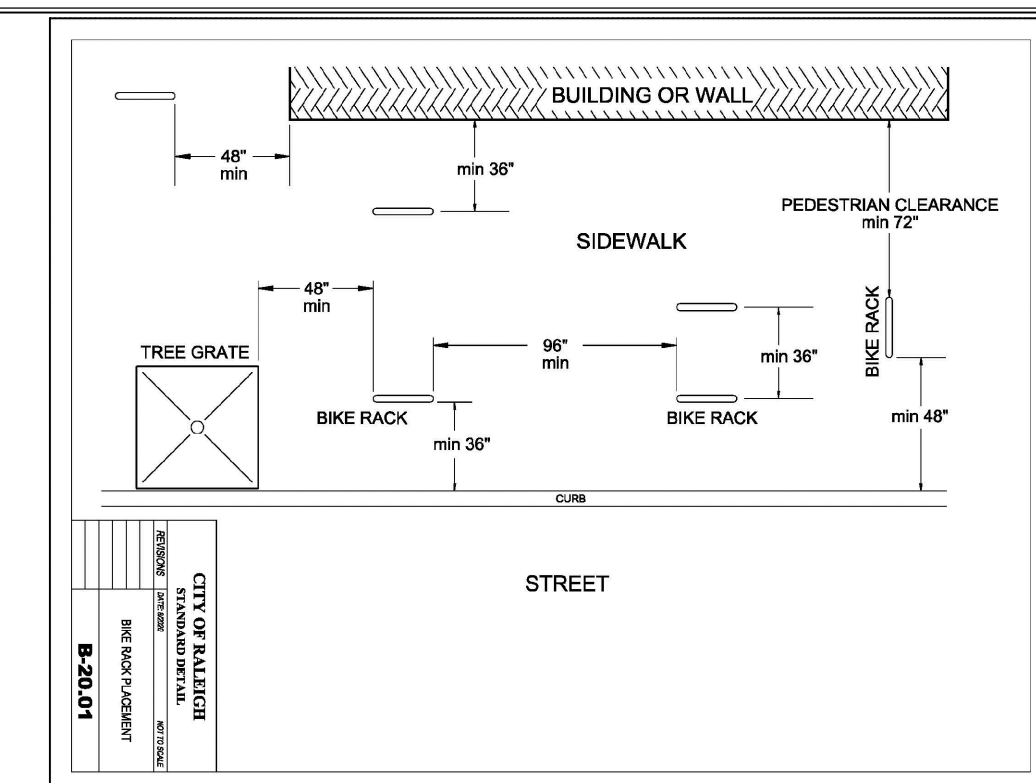
NOTE:
PROVIDE WHEEL STOPS FOR PARKING 7' OFF OF BUILDING TO INSURE THERE WILL BE 3' FOR OVERHANG



NOTE:
THE SITE IS .003% OF THE TOTAL DRAINAGE AREA FOR THE STREAM AND THEREFORE STORMWATER IS EXEMPT PER 10% RULE

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER ENCROACHMENTS) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

FOR REVIEW ONLY-
NOT FOR CONSTRUCTION
PLAN IS SUBJECT TO REVISIONS DURING THE CONSTRUCTION APPROVAL PROCESS



Sec. 3.2.5. General Building			
A. Lot Dimensions		D. Height	
A1. Area (sq. ft.)	10,000	D1. Principal building (feet)	Set by district
A2. Area (sq. ft.)	10,000	D2. Accessory structure (feet)	Set by district
A3. Width (feet)	100	E. Floor Heights	
A4. Depth (feet)	100	F1. Ground story height, floor to floor (feet)	11'
B. Building Structure Setbacks		F2. Upper story height, floor to floor (feet)	11'
B1. From primary street (feet)	5'	F3. Ground story height, floor to floor (feet)	11'
B2. From side street (feet)	5'	F4. Upper story height, floor to floor (feet)	11'
B3. From rear lot line (feet)	5'	F5. Ground story height, floor to floor (feet)	11'
B4. From rear lot line (feet)	5'	F6. Upper story height, floor to floor (feet)	11'
B5. From rear lot line (feet)	5'	F7. Blank wall area (feet)	50'
B6. From rear lot line (feet)	5'		
C. Parking Setbacks		G. Allowed Building Elements	
C1. From primary street (feet)	10'	Roofing	
C2. From side street (feet)	10'	Roofing	
C3. From rear lot line (feet)	10'	Roofing	
C4. From rear lot line (feet)	10'	Roofing	

GENERAL SITE NOTES:

ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION TO BE PER CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

ALL NECESSARY APPROVALS, STATE AND LOCAL, SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

ALL NECESSARY ENCROACHMENT AGREEMENTS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION OF THIS PROJECT CAN BEGIN. ALSO, ALL DEVELOPMENT FEES (ACREAGE, FEE-IN-LIEU OF ASSESSMENT, AND INSPECTION FEES) ARE DUE PRIOR TO FINAL CONSTRUCTION DRAWING APPROVAL.

CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY CONFLICTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY.

CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.

NOTE - A SIGN PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY SIGNAGE.

THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG ALL PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES. THE DEVELOPER SHALL CONTACT CAROLINA POWER AND LIGHT COMPANY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS."

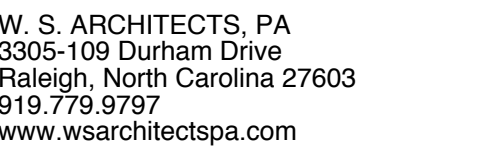
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS), LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF DEVELOPMENT SERVICES.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.
- ALL DUMPSTER AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
- WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS THE REQUIRED BUFFER TYPE, (I.E. TYPE A,B,C, AND 100 FOOT THROUGH-FARE CORRIDOR BUFFER) THE RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON THE ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.
- THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
- THE PROJECT MAY REQUIRE A PRE-CONSTRUCTION CONFERENCE BEFORE THE GRADING PERMIT IS ISSUED.
- CUT AND FILL SLOPES WILL BE STABILIZED WITHIN 15 DAYS OF ANY PHASE OF GRADING.
- FIRE LANE TO BE CAPABLE OF SUPPORTING A LOAD OF FIRE APPARATUS WEIGHING AT LEAST 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (NC FIRE CODE 503.2.3).
- SIGNAGE IS REQUIRED AT THE ACCESSIBLE PARKING SPACE. SIGNAGE TO COMPLY WITH 2012 NCBC SECTION 1110.1 AND ANSI/ICC A117.1-2009 SECTION 502.7.
- THE SITE TO HAVE A PRIVATE SOLID WASTE CONTRACTOR.

NO.	REVISION	DATE
1.	PER COR COMMENTS	05-27-22



STEWART-PROCTOR ENGINEERING and SURVEYING (LICENSE CERTIFICATE P-0148) 319 CHAPANOKE ROAD RALEIGH, NC 27603 TEL: 919 779-1855 FAX 919 779-1661	DATE 07-08-2020 SURVEYED BY	JOB
SCALE 1"=50'	DRAWN BY	DWG. NO.
REVISIONS		

SITE PLAN THE STEPHENS CENTER WAREHOUSE/DISTRIBUTION BUILDING	
ST. MARY'S TOWNSHIP	NORTH CAROLINA
WAKE COUNTY	OWNER
ZONED: IX-3	P.I.N. 1722-73-3257



**FOR PERMIT
PROCESS ONLY**

PROJECT TITLE
THE STEPHENS CENTER

3001 JONES SAUSAGE RD.
RALEIGH, NORTH CAROLINA

PROJECT NO.
2103d

DRAWING TITLE
ELEVATIONS

SHEET 0 OF 0

A 2

PLOT DATE	1/18/2
REVISION	---

This original sheet is 24" x 36"; other dimensions indicate it has been altered.

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