

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type	
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic
Site Transaction History	
Subdivision case #: SUB-S-55-2018	
Scoping/sketch plan case #: 56004 (Subdivision)	
Certificate of Appropriateness #: _____	
Board of Adjustment #: A-70-19 (subdivision) & A-120-19	
Zoning Case #: Z-027F-14	
Administrative Alternate #: Comp Plan: CP-4-19 (Subdivision)	
GENERAL INFORMATION	
Development name: Sumner Pointe I - Phase 3/Lot 1	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): 3900 Sumner Blvd, Raleigh, NC 27616	
Site P.I.N.(s): 1726682647	
Please describe the scope of work. Include any additions, expansions, and change of use. Development of One Affordable Congregate Care Building with Amenity Area, Retaining Walls, and Tree Conservation Areas.	
Current Property Owner/Developer Contact Name: Mark Tipton	
NOTE: please attach purchase agreement when submitting this form.	
Company: Carolina Project Equities, LLC	Title: Managing Member
Address: 2013 Rolling Rock Road, Wake Forest, NC 27587	
Phone #: 919-435-1597	Email: mark.tipton@whistlerinvestmentgroup.com
Applicant Name: Ken Thompson	
Company: JDavis Architects	Address: 510 S Wilmington Street, Raleigh, NC 27601
Phone #: 919-612-6997	Email: kent@jdavisarchitects.com

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-5-UL-CU	Existing gross floor area (not to be demolished): 0 SF
	Existing gross floor area to be demolished: 0 SF
Gross site acreage: 4.66 AC	New gross floor area: 120,034 SF
# of parking spaces required: 41	Total sf gross (to remain and new): 120,034 SF
# of parking spaces proposed: 69	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 4 Stories
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Congregate Care	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: <u>0 AC</u> Square Feet: <u>0 SF</u>		Proposed Impervious Surface: Acres: <u>1.91 AC</u> Square Feet: <u>83,257 SF</u>	
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If yes, please provide: _____			
Alluvial soils: _____			
Flood study: _____			
FEMA Map Panel #: _____			
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		Wetlands Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 90		Total # of hotel units: 0	
# of bedroom units: 1br 34	2br 56	3br 0	4br or more 0
# of lots: 1		Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Ken Thompson will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: <u>KD</u>	Date: 08.19.2021
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Printed Name: Ken Thompson, RLA, Senior Associate, JDavis Architects

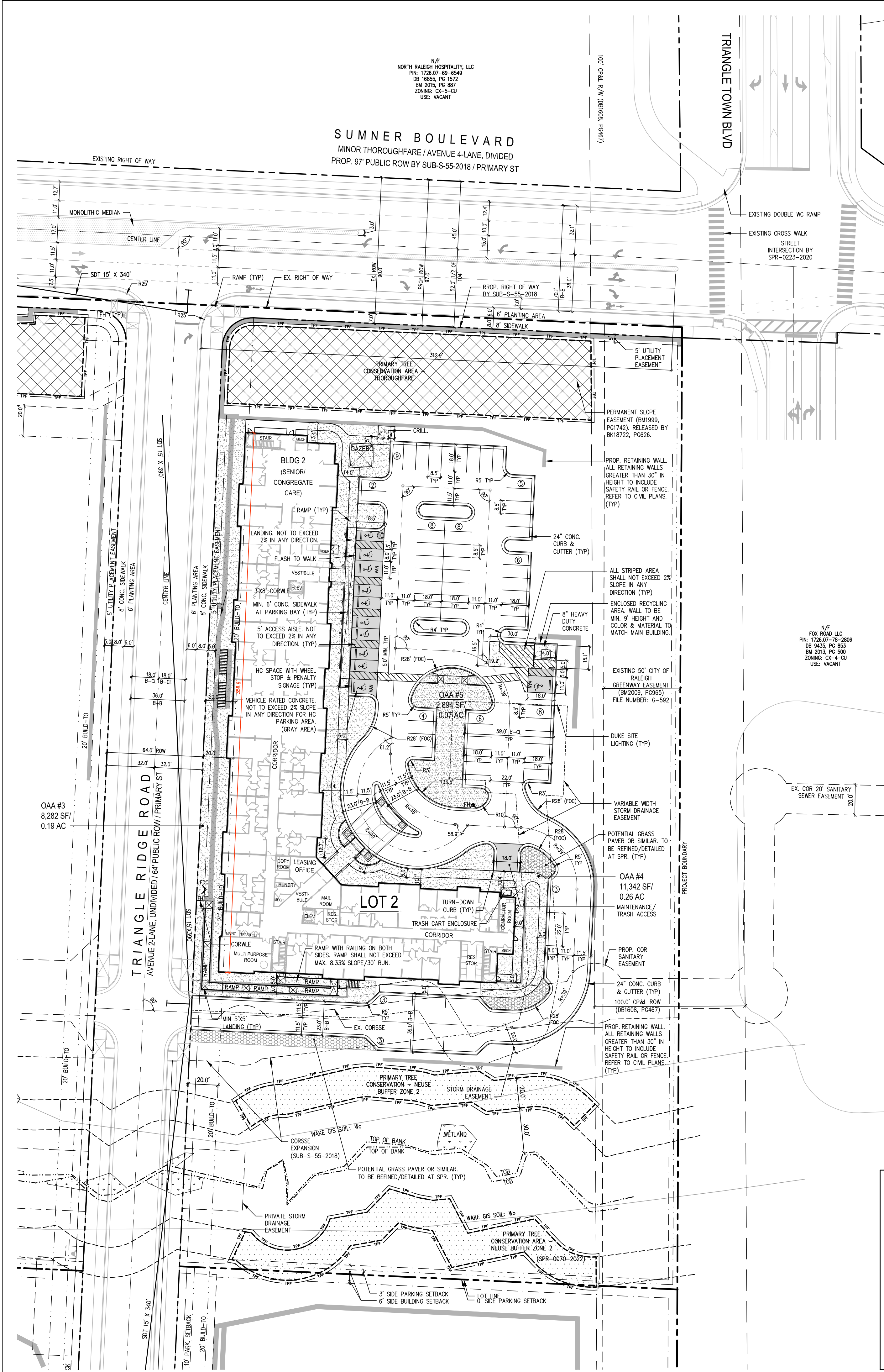


ASR-0075-2021

3rd Submittal: July 26, 2022

3900 Sumner Boulevard, Raleigh, North Carolina 27616

0.0





1. NC HOUSING FINANCE AGENCY AWARDED LOW-INCOME HOUSING TAX CREDIT ALLOCATIONS TO THIS PROJECT. ALL UNITS AT THIS SITE WILL BE RESTRICTED TO HOUSEHOLDS WITH INCOMES AT OR BELOW 60% OF THE AREA MEDIAN INCOME FOR 30 YEARS AS REQUIRED BY THE LOW-INCOME HOUSING TAX CREDIT PROGRAM. COMPLIANCE IS MONITORED BY NC HOUSING FINANCE AGENCY AND OTHERS.
2. ALL AFFORDABLE UNITS TO BE COMPLIANCE WITH DEFINITION OF "AFFORDABLE HOUSING" PER UDO 12.2 DEFINED TERMS.

1. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE

1. ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
2. POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.













SEE LS1.1 FOR DETAILS

1. ALL INTERSECTIONS OF ACCESSIBLE ROUTE SHALL HAVE MINIMUM 5'X5' MINIMUM.
2. MINIMUM LANDINGS AT ACCESS AISLE FOR HC PARKING SPACE SHALL BE 4' X 4'.
3. ALL LANDINGS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
4. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
5. ALL ACCESSIBLE ROUTE SHALL NOT EXCEED 2% CROSS PITCH. MAXIMUM RAMP RUN TO BE 8.3% RAMP MUST HAVE BETWEEN 34" & 38" HEIGHT HANDRAILS ON BOTH SIDES IF THE SLOPE IS GREATER THAN 5%. AND MINIMUM 5'X5' LANDING SHALL BE PROVIDED EVERY 30' MAXIMUM RUN. MINIMUM 5'X5' LANDING IS REQUIRED AT THE TOP & BOTTOM OF THE RAMP. MINIMUM 5'X5' TURN PLATFORM/LANDING IS REQUIRED.
6. ALL CROSS WALK SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
8. ACCESSIBLE ENTRANCES SHALL BE PROVIDED WITH GRADING FLOOR SURFACE SLOPES/STAIRS SLOPES AT 2% MAXIMUM IN ANY DIRECTION.
9. REFER TO GRADING PLAN FOR ACCESSIBLE ROUTE.

-  PRIMARY TREE CONSERVATION AREA -
NEUSE BUFFER ZONE 2
-  TREE CONSERVATION AREA - THOROUGHFARE

	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
BUILDING 2	Triangle Ridge Road	308.00	306.00	307.00
GAZEBO	Triangle Ridge Road	308.00	308.00	308.00

- Per section 15.7.A.21(a)-(4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.
- Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.

- | | |
|---------------------------------------------------------------------------------------|-------------------------------------------------|
|  | LANDING FOR RAMP |
|  | HC PARKING W/ WHEEL STOP AND
PENALTY SIGNAGE |
|  | PROJECT BOUNDARY |
|  | EX. ADJACENT PROPERTY LINE |
|  | EX. RIGHT OF WAY LINE |
|  | EASEMENT |
|  | TOP OF BANK |
|  | RIPIARIAN BUFFER |
|  | PROP. TREE CONSERVATION AREA |
|  | BUFFER TO
PROP. TREE PROTECTION FENCE |
|  | PROP. OUTDOOR AMENITY AREA |
|  | OUTDOOR OPEN SPACE/PARK AREA |

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
4. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND TAKE ALL NECESSARY PREVENTIVE MEASURES TO AVOID DAMAGES.
5. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
6. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES/ENGINEERING INSPECTORS AT (919) 966-2409.
7. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
8. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
9. ALL SURVEY INFORMATION PROVIDED TO JDJVS ARCHITECTS BY JOHN A. EDWARDS AND COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN AUGUST 18 A 2018 FEBRUARY 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WANE COUNTY GIS IN AUGUST 2018.
10. WITHIN THE TRIANGLE SHAPES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
11. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 25 MINIMUM.
12. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
13. TRASH AND CARBOODD DUMPSTERS/ ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND COLOR OF THE CURB.
14. GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF C.S. 7.2.5.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
15. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO CALL AT 811 FOR FIELD LOCATE OF UNDERGROUND UTILITIES.
16. HANDICAP PARKING SPACES) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
17. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
18. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
19. THE MINIMUM CURB CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL BE LOCATED ON THIS MINIMUM CORNER CLEARANCE.
20. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
21. ALL RAMPS AND HANDRAILS SHALL BE COMPLY WITH CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
22. SWINGING DOORS AND GATE SHALL HAVE MANEUVERING CLEARANCE COMPLYING WITH CURRENT ANSI STANDARDS.
23. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEGS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HUBBOX, ETC) SHALL BE SCREENED WITH A NEWLY PERMANENTLY EVERGREEN SHRUBS, FENCE, OR WALL.
24. ALL HVAC EQUIPMENTS OF THIS PROJECT TO BE LOCATED ON THE ROOF OF BUILDINGS AND SCREENED WITH PARASOL.
25. UTILITY PLACEMENT EASEMENTS IS FOR INSTALLATION OF PRIVATE UTILITIES.
26. REQUIRED PARKING FOR AN AFFORDABLE HOUSING DEVELOPMENT MAY BE REDUCED TO A RATE OF ONE (1) PARKING SPACE FOR EACH UNIT AS PER USD 7.1.4.B.
27. POOL IS NOT PROPOSED OR PLANNED ON THIS SITE. SPECIAL USE PERMIT REQUIRED FOR POOLS WITH ANY LINEAR DIMENSION GREATER 66 FEET OR WITH ANY AREA IN EXCESS OF 4,000 SF.

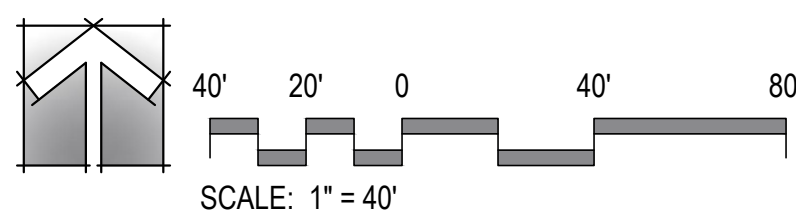
1. THE STREET WITH THE HIGHEST STREET CLASSIFICATION;	X	TRIANGLE RIDGE
2. THE ESTABLISHED ORIENTATION OF THE BLOCK;		X
3. THE STREET ABUTTING THE LONGEST FACE OF THE BLOC		X
4. THE STREET PARALLEL TO AN ALLEY WITHIN THE BLOCK; AND	N/A	N/A
5. THE STREET THAT THE LOT TAKES ITS ADDRESS FROM		X
BASE ON THE ABOVE, THE PRIMARY STREET IS OAK FOREST AND SIDE STREET IS TOWN PARK FOR LOT 6	SIDE STREET	PRIMARY STREET

Project: Summer II - Phase 4 / Lot 2			Date: 08.17.2021 (updated 07.22.2022)	
1	Zoning		CX-S-UL-CU	
2	Section 3.2.7 Civic Building Base Dimensional Standards			
	A. Site Dimensions			
	A1 Area (min)		n/a	
	A1 Area (max)		n/a	
	A2 Width (min)		n/a	
	A3 Outdoor amenity area		10 %	
	B. Building / structure setbacks			
	B1 From primary street (min)		10 FT	
	B2 From side street (min)		10 FT	
	B3 From side lot line (min)		0 or 6 FT	
	B4 From rear lot line (min)		0 or 6 FT	
	B4 From alley (min)		5 FT	
	C. Parking setbacks			
	C1 From primary street (min)		10 FT	
	C2 From side street (min)		10 FT	
	C3 From side lot line (min)		0 or 3 FT	
	C4 From rear lot line (min)		0 or 3 FT	
	C4 From alley (min)		5 FT	
	D. Height			
	D1 Primary building (max)	2-27'F+14' (62' max)	4 Story	
	D2 Accessory structure (max)		25 FT	
	F. Allowed building elements			
	Balcony			
	Gallery / awning			
	Frontage requirements (sec. 3.4.7)		UL (Urban Limited)	
	C. Building			
	C1 Primary street build-to (min/max)		0 to 10 FT	
	C2 Building width in primary building-to (min)		50 %	
	C3 Side street build-to (min/max)		0 to 20 FT	
	C4 Building width in side building-to (min)		25 %	
	D. Additional parking limitations			
	D1 No on-site parking or vehicular surface permitted between building and the street			
	E. Pedestrian access			
	E1 Primary street-facing entrance required		yes	
	E1 Street-facing entrance spacing		75 FT	
	F. Streetscape requirement		see Sec. 8.5.2 B Mixed Use	
	G. Streetscape requirements (sec. 8.5.2 B)		Mixed Use	
	A Streetscape width (max.)		35 FT	
	B Streetscape width (sec. 8.5.2 B)			
	E Sidewalk (min)		8 FT	
	F Planting area (min)		6 FT	
	General			
	Walkway type		Sidewalk	
	Planting type		Tree grade / lawn	
	Tree spacing		40.0 C.U.	
5	Use standards (UDO sections 6.2.2 C)			
	- Provide open space or park area at a rate of 10% or 218 SF per dwelling unit, which ever is greater		see Sec. 6.2.2 C.g	
5	Site Data		Lot #2	
7	Tract area			
	Lot #1 SUB-S-55-B		4.66 AC	
	Less right of way dedication		0.00 AC	
	Net acreage		4.66 AC	
8	Proposed use		Congregate care	
9	Proposed Congregate Care units			
	1 bedroom		34 DU	
	2 bedroom		56 DU	
	Total units proposed		90 DU	
10	Proposed density	90 / 4.66 =	19.31 DU/AC	
	Gross square footage			
	Building 1		120,034 SF	
	Proposed FAR	120,034 / 4.66 =	59.1%	
	Building lot coverage	30,315 / 4.66 =	14.9%	
11	Outdoor amenity area (sec. 3.2.3 A.3)			
	Required - 10% of net acreage	4.66 x 10% =	0.47 AC	
	Required - 10% of net acreage in SF		20,299 SF	
	Provided			
	OAA #3	8,282 SF	4.1%	
	OAA #4	11,342 SF	5.6%	
	OAA #5	2,894 SF	1.4%	
	Total provided	22,518 SF	11.1%	
12	Open space or Park Area (sec. 6.2.2 C.g)			
	Required - 218 SF per unit	90 x 218 =	19,620 SF	
	Required - in acreage		0.45 AC	
	Provided			
	OAA #3	8,282 SF	4.1%	
	OAA #4	11,342 SF	5.6%	
	OAA #5	2,894 SF	1.4%	
	Total provided	22,518 SF	11.1%	
13	Building height			
	Allowed height	2-27'F+14' (62' max)	4 Story	
	Proposed height - See elevations for building heights		4 Story	
14	Build-to			
	C1 Primary street build-to (min/max)		Triangle Ridge Road	
	Required	50' x 632 =	316.0 LF	
	Provided			
	Building		88.4%	
	Total		558.9 LF	
	C2 Side street build-to (min/max)		Summer Boulevard	
	Required	25' x 305 =	76.3 LF	
	Provided (See note #3)			
	Building		13.5%	
	Total		41.3 LF	
15	Required (See note #3) (2 Congregate Care)			
	Units (1 space per 3 units)	90 / 3 =	30 SP	
	Staff (1 Space per 400 SF of work area)	10,808 / 400 =	27 SP	
	Total required		57 SP	
	Parking provided			
	Surface			
	Standard space		64 SP	
	HC space (3 van accessible)		11 SP	
	Total surface spaces provided		75 SP	
	Surface/parking percentage	75 / 57 =	131.5%	
16	Required bicycle parking (sec. 7.1.2)			
	Long Term		n/a	
	Short term (No min)		n/a	
	Bicycle parking provided		0 SP	
17	Impervious area			
	Existing (Allocated per SPR-0206-2021)		4,333 SF 0.10 AC	
	Proposed (ASR-0075-2021)		84,829 SF 1.95 AC	
	Total		89,162 SF 2.05 AC	
18	Notes			
	#1 A-102-19 for Primary Street Building			
	#1 A-102-19 for Pedestrian Access, sec. 3.4.7 E1 & E2			
	#2 The site complies with UDO that includes 5th supplement dated March, 2018 that was in place at the timeline initial Title Transfer Subdivision (SUB-S-55-2018) application was submitted on October 12, 2018 Summer Blvd/Side Street Build-to: Per code section 1.5.6 C.4, Build-to requirement, pre-established and recorded Tree Conservation Areas and portions of property encumbered by existing easement/encumbrance lines related to transmit 230 kv shall not be considered when calculating the build-to percentage or build-to range.			

REFERENCE:
G965; SUB-S-55-18; SPR-0206-2021;
G-592; ANNEX-0004-2022
& A-102-19; REZN-0019-2021;
SPR-0070-2022

ASR-0075-2021

SITE PLAN



PROJECT:	JAE-18048/18057	DATE
ISSUE:	Administrative Site Review	08.17.2021
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VISIONS:	1st Review Comments	04.28.2022
	2nd Review Comments	07.22.2022
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	.	.
DRAWN BY:	SB	
CHECKED BY:	KT	
CONTENT:	SITE PLAN	
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BUILDING ELEVATIONS				
	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
BUILDING 2	Triangle Ridge Road	308.00	306.00	307.00
GAZEBO	Triangle Ridge Road	308.00	308.00	308.00

- Per section 1.5.7.A.2 (TC-4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.
- Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.



CSBO architecture P.C.
1589 Skeet Club Rd. Suite 102-172
Hight Point, NC 27265

**CAROLINA PROJECT
EQUITIES, LLC**
2013 Rolling Rock Rd.
Wake Forest, NC 27587

STATUS:
NOT FOR CONSTRUCTION

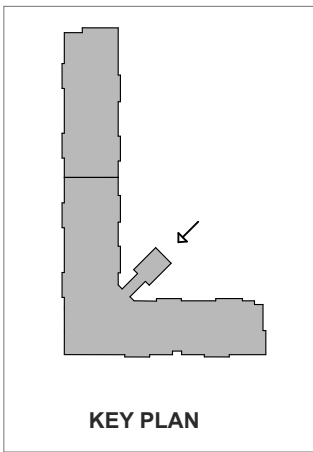
**SUMNER POINTE II
(PHASE 4 / LOT 2)**
3900 SUMNER BLVD
RALEIGH, NC 27...

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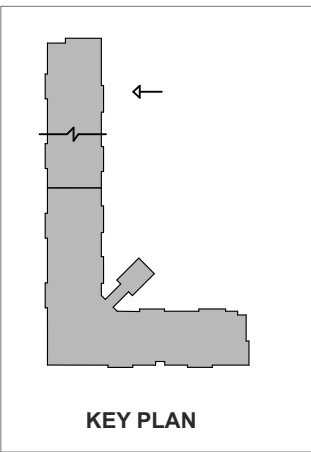
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07-20-2022
PROJECT NUMBER:
190170
SHEET TITLE:
BUILDING ELEVATIONS

SHEET:

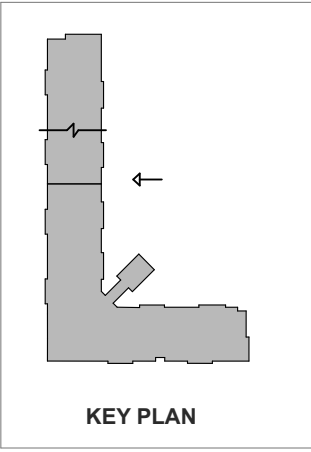
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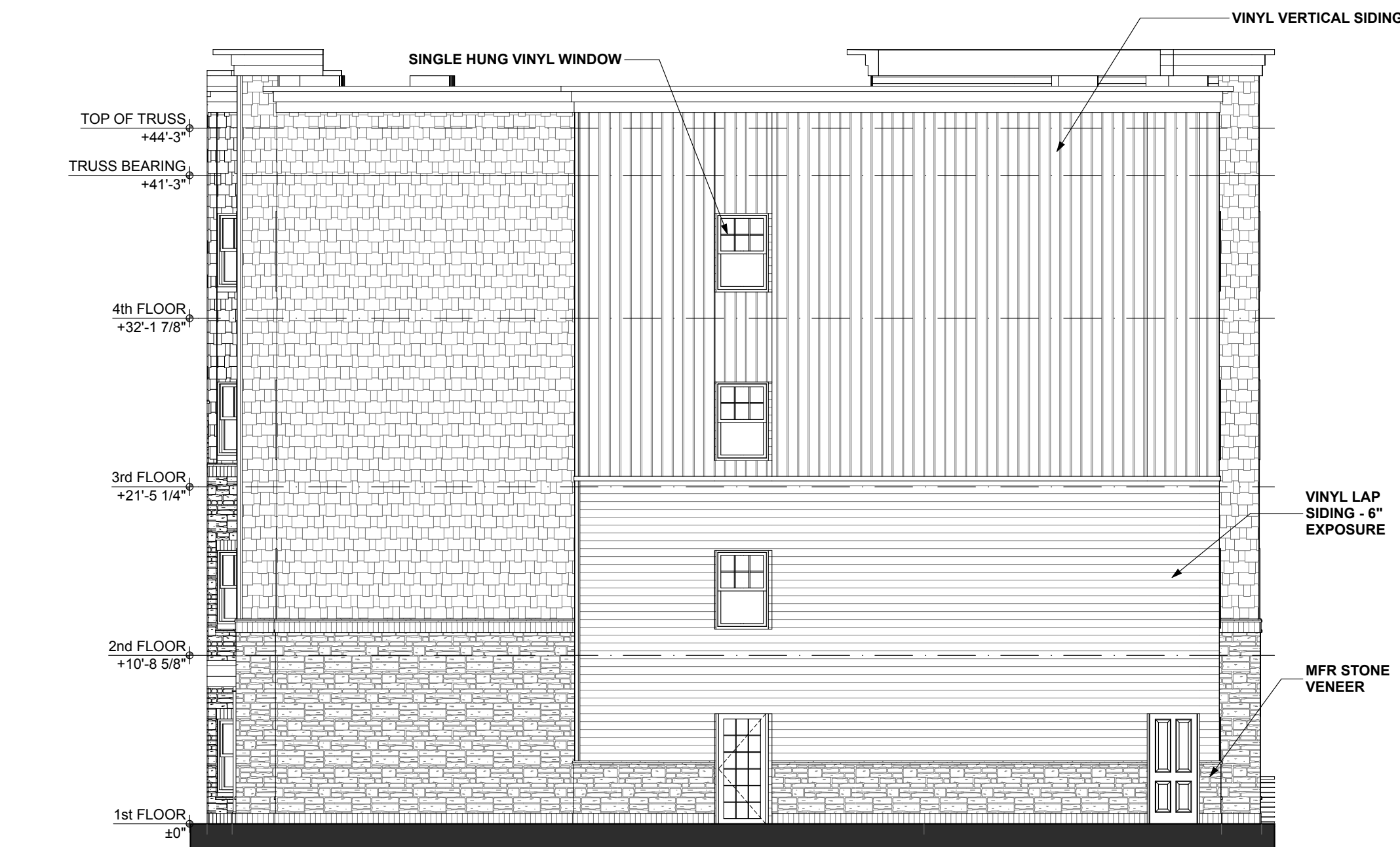
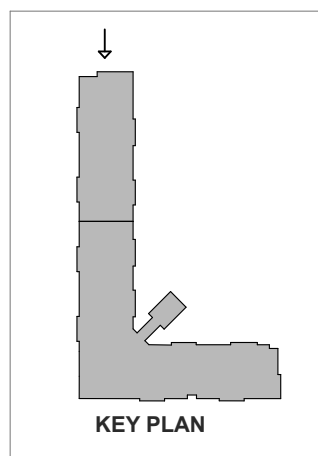
E1 MAIN ENTRY ELEVATION
SCALE: 1/8" = 1'-0"



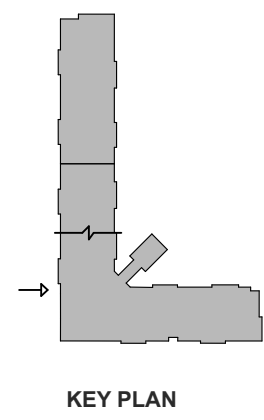
E6 PLAN EAST ELEVATION CONT.
SCALE: 1/8" = 1'-0"



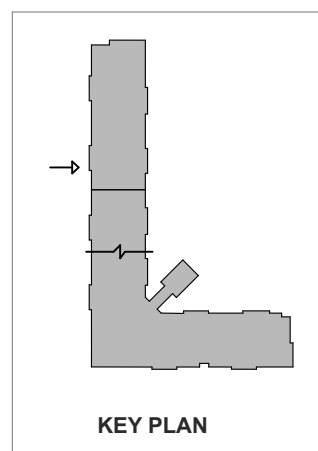
A1 PLAN EAST ELEVATION
SCALE: 1/8" = 1'-0"



E1 NORTH WEST CORNER ELEVATION
SCALE: 1/8" = 1'-0"



E5 PLAN WEST ELEVATION CONT.
SCALE: 1/8" = 1'-0"



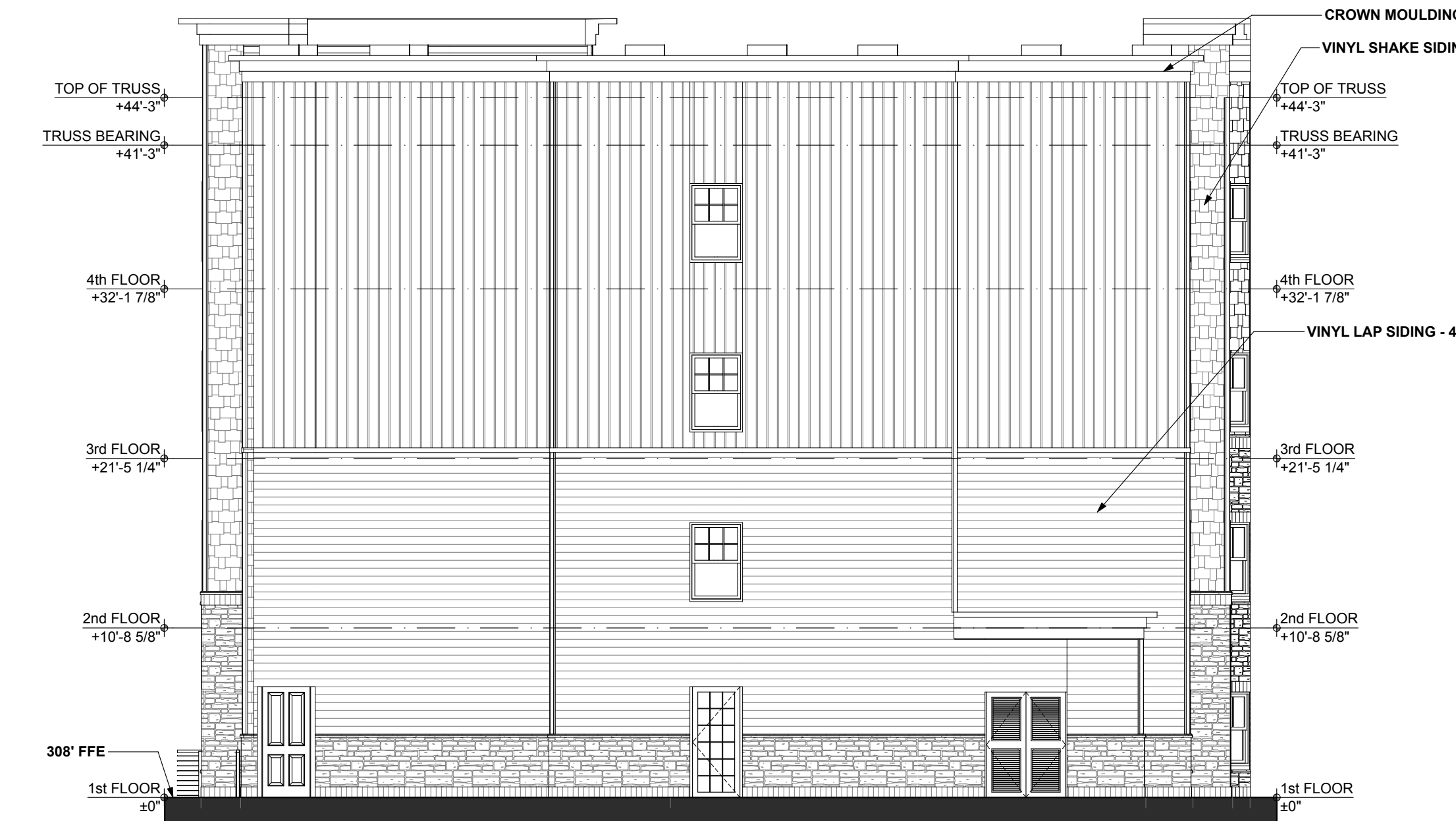
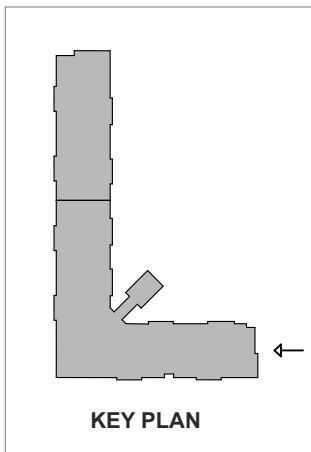
A1 PLAN WEST ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS				
	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
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GAZEBO	Triangle Ridge Road	308.00	308.00	308.00

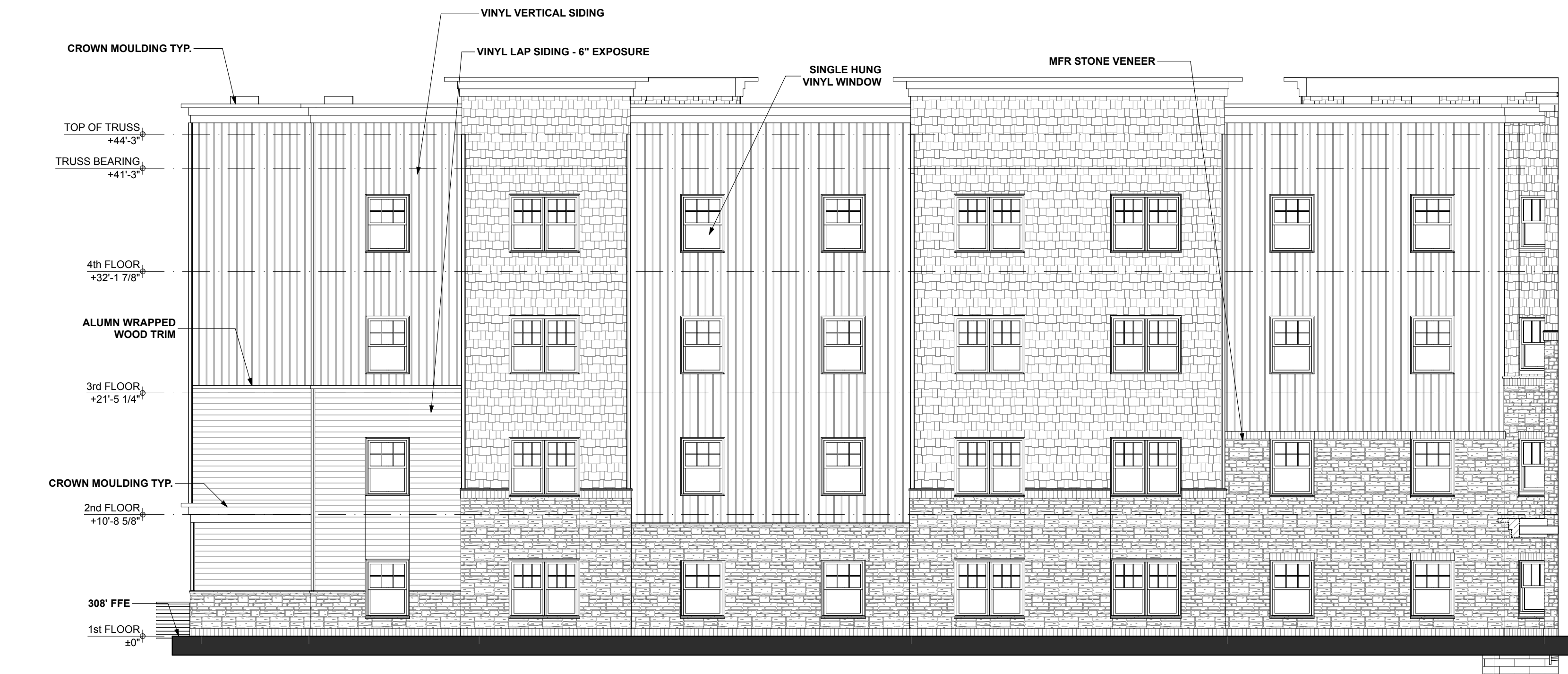
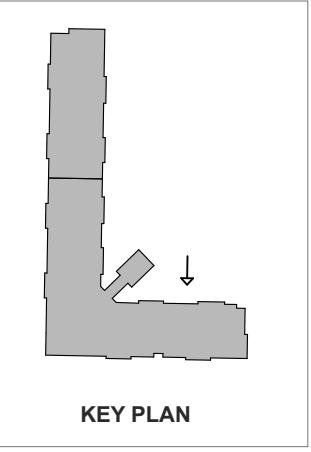
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BUILDING ELEVATIONS				
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BUILDING 2	Triangle Ridge Road	308.00	306.00	307.00
GAZEBO	Triangle Ridge Road	308.00	308.00	308.00

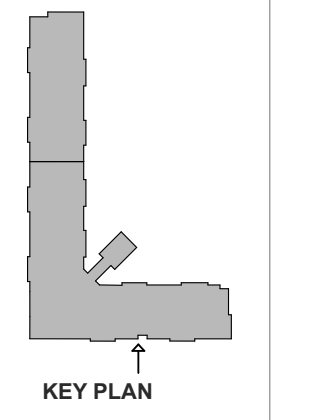
- Per section 1.5.7.A.2 (TC-4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.
- Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.



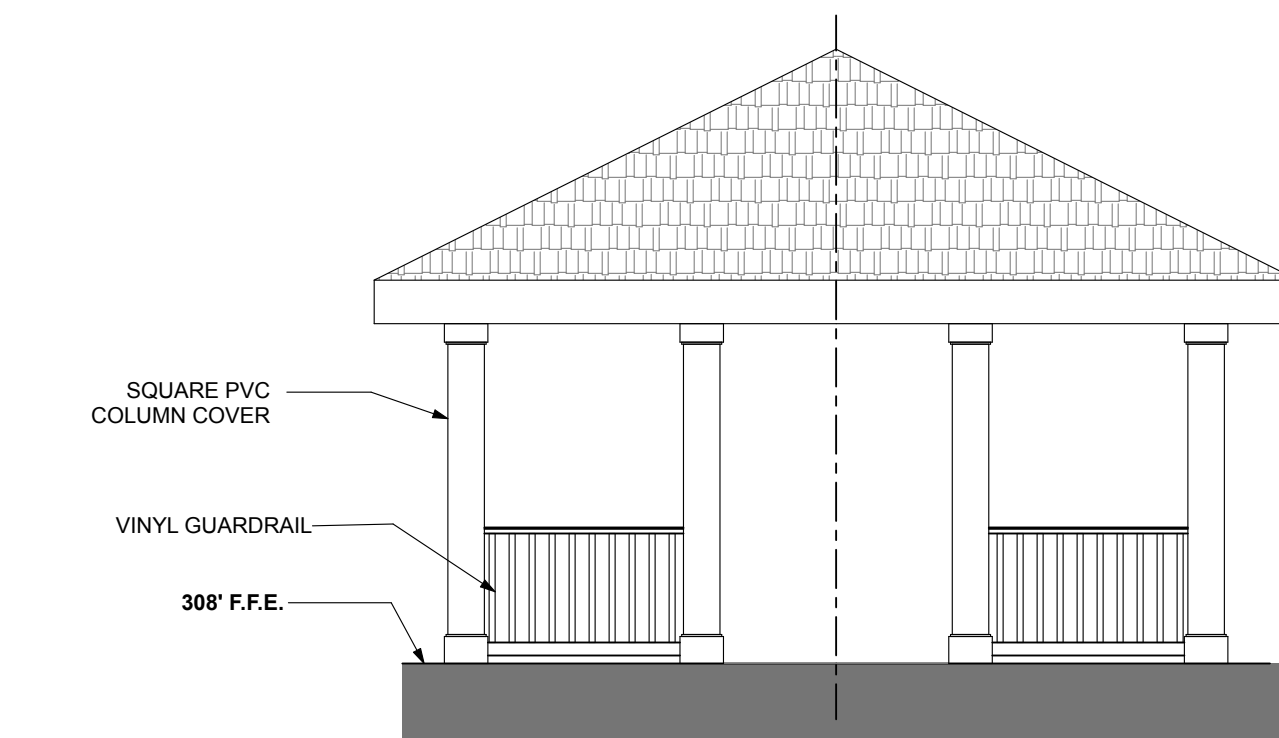
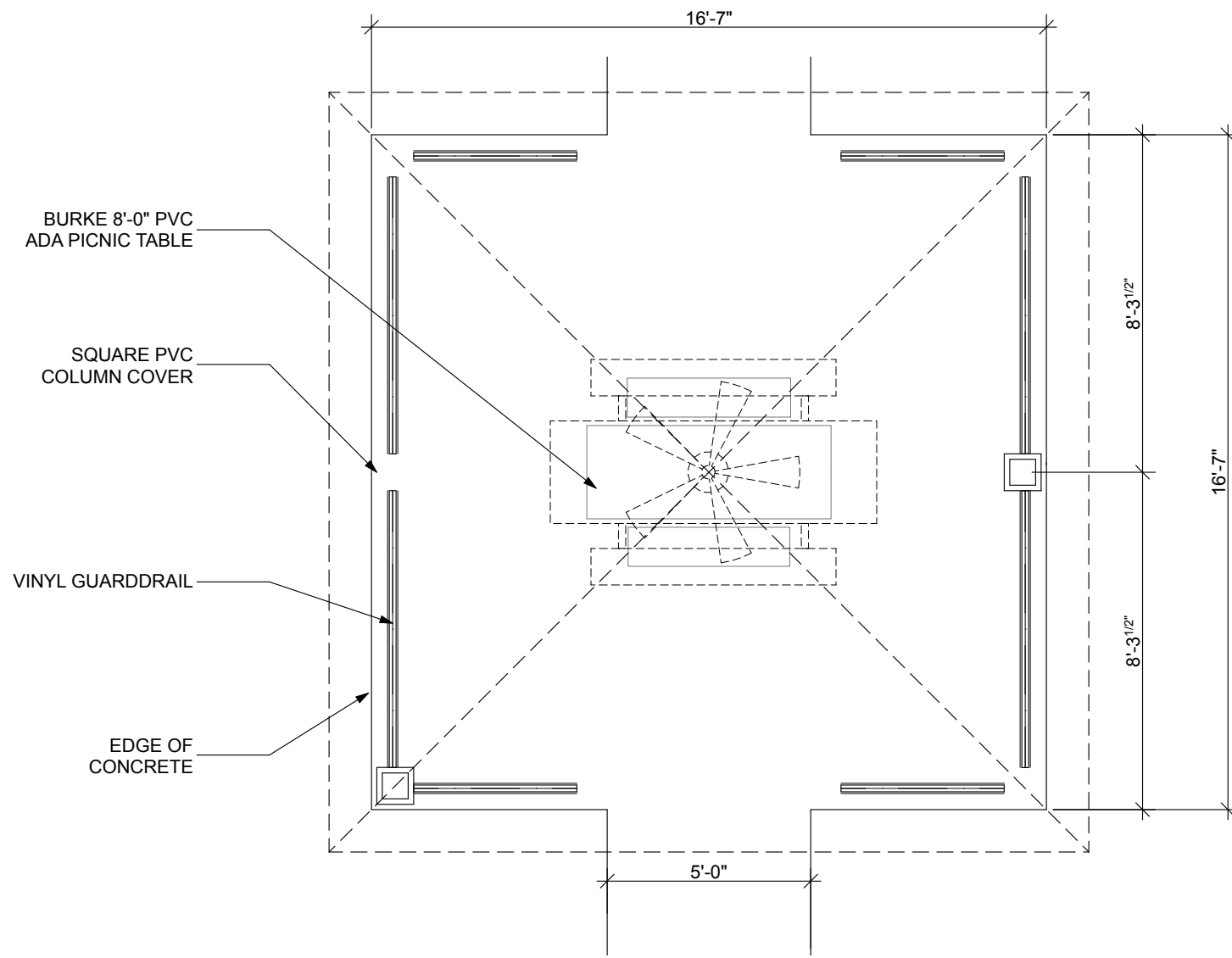
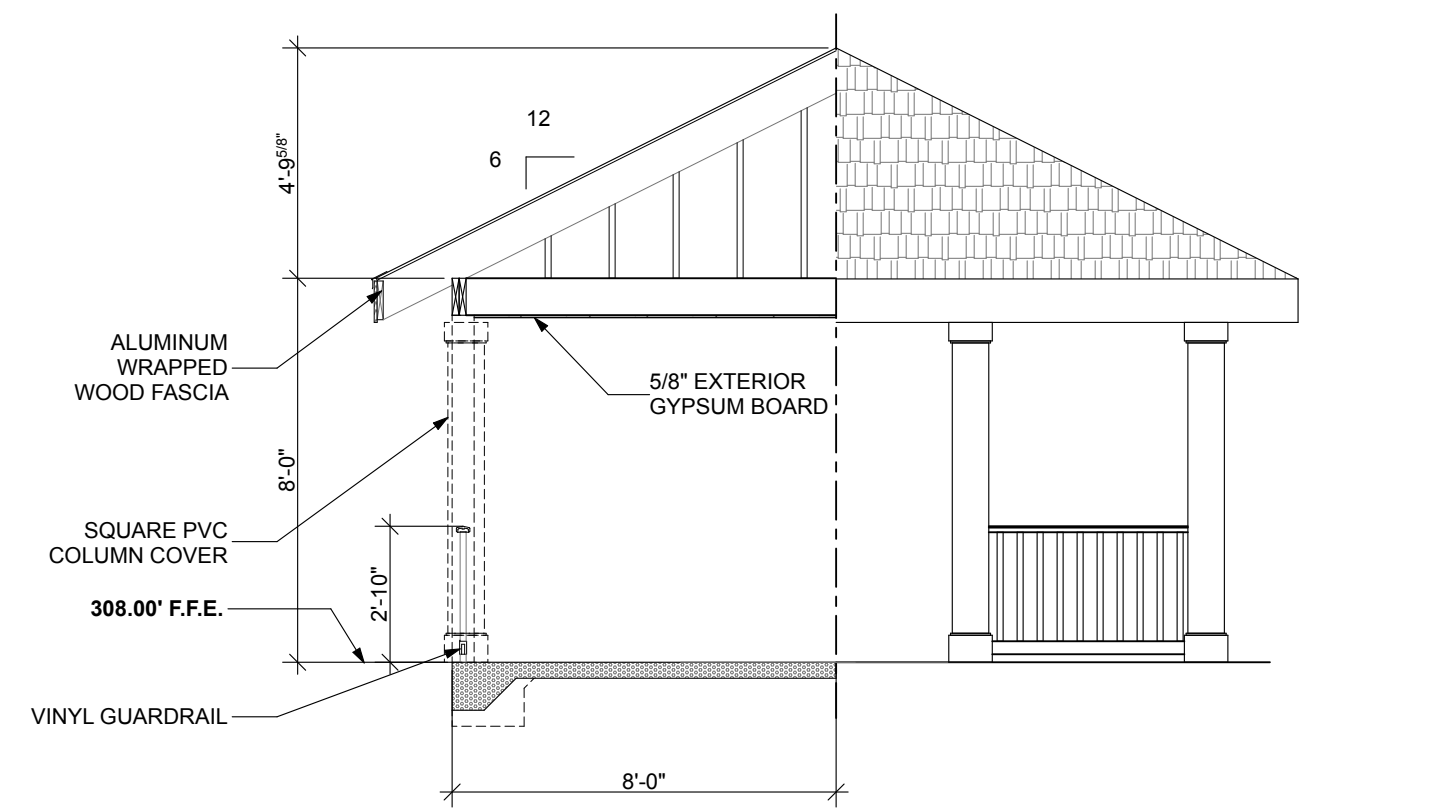
E1 SOUTH EAST CORNER ELEVATION
SCALE: 1/8" = 1'-0"



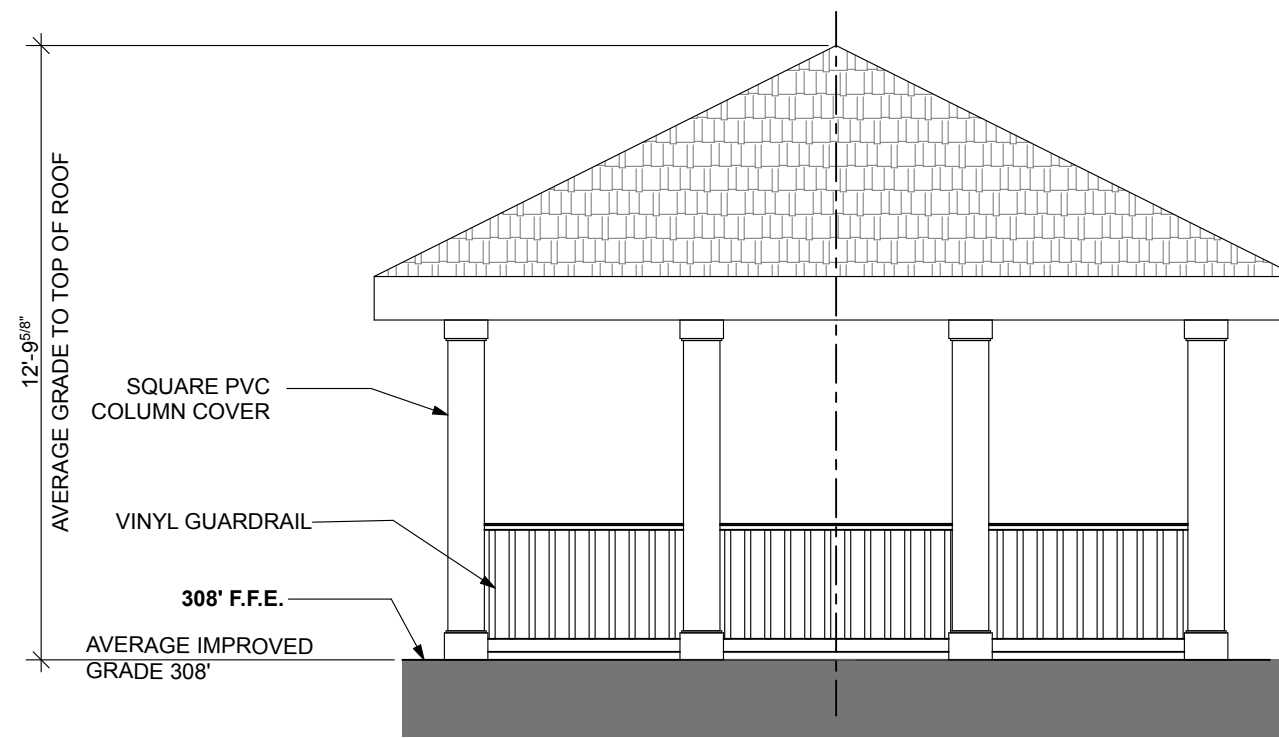
E5 PLAN NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 PLAN SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

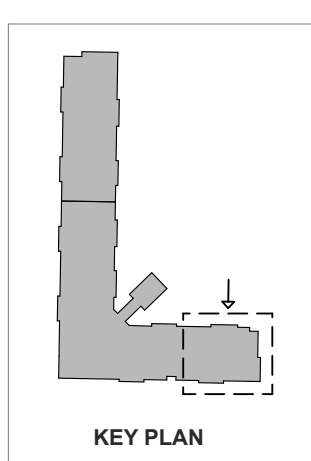


ELEVATION FACING
SUMNER BOULEVARD



ELEVATION FACING
TRIANGLE RIDGE ROAD

A1 GAZEBO FLOOR PLAN - ELEVATIONS AND SECTION
SCALE: 1/4" = 1'-0"



CROWN MOULDING TYP.

TOP OF TRUSS
+44'-3"
TRUSS BEARING
+41'-3"

4th FLOOR
+32'-1 7/8"

ALUMN WRAPPED
WOOD TRIM

3rd FLOOR
+21'-5 1/4"

CROWN MOULDING TYP.

2nd FLOOR
+10'-8 5/8"

308' FFE
1st FLOOR
±0"

A5 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING ELEVATIONS				
	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
BUILDING 2	Triangle Ridge Road	308.00	306.00	307.00
GAZEBO	Triangle Ridge Road	308.00	308.00	308.00

- Per section 1.5.7.A.2 (TC-4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.
- Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.

