Administrative Site Review Application

Office Use Only: Case #:



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Planner (print): _

Please review UDO Section 10.2.8. as amended by text change case <u>TC-14-19</u> to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the <u>Permit and Development Portal</u> . (Note: There is a fee for this verification service.)						
Site Plan Tier: Tier Two Site Plan	Tier Three Site Plan ✔					
Building Type Site Transaction History						
Detached Attached Apartment Townhouse	General Subdivision case #: SUB-S-55-2018 Scoping/sketch plan case #: 56004 (Subdivision) Certificate of Appropriateness #: Open lot Board of Adjustment #: A-70-19 (subdivision) & A-120-19 Zoning Case #: Z-027F-14 Administrative Alternate #: Comp Plan: CP-4-19 (Subdivision)					
	GENERAL INFORMATION					
Development name: Sumner Pointe I - Phase	3/Lot 1					
Inside City limits? Yes 🗸 No						
Property address(es): 3900 Sumner Blvd, Raleigh, NC 27616						
Site P.I.N.(s): 1726682647						
	ny additions, expansions, and change of use. gate Care Building with Amenity Area, Retaining Walls, and					
Current Property Owner/Developer Contact I NOTE: please attach purchase agreement	•					
Company: Carolina Project Equities, LLC	Title: Managing Member					
Address: 2013 Rolling Rock Road, Wake Fore	st, NC 27587					
Phone #: 919-435-1597	Email: mark.tipton@whistlerinvestmentgroup.com					
Applicant Name: Ken Thompson						
Company: JDavis Architects	Address: 510 S Wilmington Street, Raleigh, NC 27601					
Phone #: 919-612-6997	Email: kent@jdavisarchitects.com					

Page 1 of 2 REVISION 02.19.21

DEVELOPMENT TYPE	+ SITE DATE TABLE				
(Applicable to all developments)					
SITE DATA	BUILDING DATA				
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished): 0 SF				
CX-5-UL-CU	Existing gross floor area to be demolished: 0 SF				
Gross site acreage: 4.66 AC	New gross floor area: 120,034 SF				
# of parking spaces required: 41	Total sf gross (to remain and new): 120,034 SF				
# of parking spaces proposed: 69	Proposed # of buildings: 1				
Overlay District (if applicable): N/A	Proposed # of stories for each: 4 Stories				
Existing use (UDO 6.1.4): Vacant					
Proposed use (UDO 6.1.4): Congregate Care					
STORMWATER	INFORMATION				
Existing Impervious Surface: Acres: O AC Square Feet: O SF	Proposed Impervious Surface: Acres: 1.91 AC Square Feet: 83,257 SF				
Is this a flood hazard area? Yes No	7.0.00				
If yes, please provide:					
Alluvial soils:					
Flood study:					
FEMA Map Panel #:					
Neuse River Buffer Yes ✓ No _	Wetlands Yes 🗸 No 🗌				
RESIDENTIAL D	EVELOPMENTS				
Total # of dwelling units: 90	Total # of hotel units: 0				
# of bedroom units: 1br 34	4br or more 0				
# of lots: 1	Is your project a cottage court? Yes No				
SIGNATUR	E BLOCK				
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.					
Ken Thompson	erve as the agent regarding this application, and will receive				
and respond to administrative comments, resubmit plans an owner(s) in any public meeting regarding this application.					
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.					
Signature: LOV	Date: 08.19.2021				

Page **2** of **2** REVISION 02.19.21

Printed Name: Ken Thompson, RLA, Senior Associate, JDavis Architects

9. When any portion of the Property is developed, a pedestrian passage that complies

be required if disapproved by North Carolina Department of Transportation.

3900 Sumner Boulevard (PIN 1726.68.1771, DB 003124 PG 00290), Conditions date

1. All other uses than those listed below are limited to a maximum height of four stories

0729.47.3029 DB 012940 PG 00059), & 9745 Fonville Rd. (PIN 1729.47.3118, DB

subdivisions may submit applications for development and plot plans that are compliant with all rovisions contained within the Unified Development Ordinance, but final approval shall be

Unified Development Ordinance, as specified by the applicant. No submittal for development plans and permits under the Part 10 Zoning Code will be permitted on or after the effective date

For such site plans that were submitted prior to the effective date of the Unified Development Ordinance (September 1, 2013), the previous Part 10 Code standards shall apply. For such site plans that were submitted after September 1, 2013, chapters 8, 9 and 10 of the

Unified Development Ordinance shall apply in addition to the Part 10 zoning code regulations.

Section 3. Following the adoption date of this ordinance, the Part 10 zoning code shall be used for those submittals referenced in Section 2 of this ordinance. Where a previouslyapproved zoning conditions reference a term that is defined in the Part 10 code and not defined n the UDO, the Part 10 code definition shall apply. The Part 10 Zoning Code shall be used after the effective date established in Section 2 to provide clarity in interpreting zoning conditions that

Applicants may choose to submit applications for development compliant with the Part

1. Uses prohibited on the properties to be rezoned: vehicle fuel sales facilities

with UDO Section 8.4.8 B shall be located on PIN Number 1724-44-9824 (described in deed recorded in Deed Book 12133, Page 2356), but no pedestrian passage shall



REFERENCE: SUB-S-55-2018, Z-027F-14; BM 2009, PG 965; GREENWAY FILE # G-592; A-70-19; A-102-19; SPR-0206-2021; SPR-0070-2022

ASR-0075-2021

Administrative Site Review

1st Submittal: August 17, 2021 2nd Submittal: May 20, 2022 3rd Submittal: July 26, 2022

Sumner Pointe II - Phase 4/Lot 2

3900 Sumner Boulevard, Raleigh, North Carolina 27616

REFERENCE: UDO SECTION 6.2.2.C C. CONGREGATE CARE

SUMNER POINTE II (THE TOWN CENTER SUBDIVISION PHASE 4/LOT 2) IS A LONG-TERM CARE FACILITY FOR ELDERLY PEOPLE WHO ARE 55 AND OLDER, AND ABLE TO GET AROUND ON THEIR

a. THE FACILITY MUST COMPLY WITH THE HOUSING FOR OLDER PERSONS EXEMPTIONS OF THE FAIR HOUSING ACT (24 C.F.R. SECTIONS 100.300 THROUGH 100.308)

- RESPONSE: THE FACILITY IS AGE RESTRICTED TO SENIORS AGED 55 AND OLDER IN THE R-6 AND R-10 DISTRICTS, A CONGREGATE CARE FACILITY IS ALLOWED A NUMBER OF ROOMING UNITS AND DWELLING UNITS EQUAL TO 2 TIMES THE DENSITY OF TH
- c. EACH ROOMING UNIT OR DWELLING UNIT MAY BE OCCUPIED BY NO MORE THAN 2 PERSONS NOT RELATED BY BLOOD, MARRIAGE OR ADOPTION

- STRUCTURES SHALL DEMONSTRATE A COMPREHENSIVE PEDESTRIAN CIRCULATION PLAN. INCLUDING INTERNAL ACCESSIBLE WALKWAYS. IS SUBMITTED AND APPROVED WITH
- OUTDOOR OPEN SPACE OR PARK AREA MUST BE PROVIDED AT A MINIMUM RATE OF THE GREATER OF EITHER 10% OF THE LAND AREA OF THE FACILITY OR 218 SQUARE FEET PER
- ROOMING UNIT OR DWELLING UNIT, AS APPLICABLE, EXCLUDING PRIVATE DRIVES AND OF-STREET PARKING AREAS. A MAJORITY OF THE OPEN SPACE OR PARK AREA MUST BE LOCATED NO

RESPONSE: AS NOTED ABOVE AND ON THE SITE PLAN, AN ACCESSIBLE OUTDOOR AMENITY AREA HAS BEEN PROVIDED THAT IS 11.% / 22,518 SF OF THE SITE. OUTDOOR AMENITY AREAS ARE LOCATED WITHIN 300' FROM THE CONTROLLED ENTRANCEWAY OF THE FACILITY.

THIS SITE COMPLIES WITH UDO THAT INCLUDES 5TH SUPPLEMENT DATED MARCH 2018 THAT WAS IN PLACE AT THE TIME THE INITIAL TOWN CENTER SUBDIVISION (SUB-S-55-2018) APPLICATION WAS SUBMITTED ON OCTOBER 12, 2018.

OVER	0.0	SITE DETAILS	LS3.1	FIRST FLOOR PLAN	A2.21	ENLARGED UNIT PLANS	A2.55
-70-19 & A-102-19 BOA MINUTES & GFL WILL SERVE LETTER	1.1	UTILITY PLAN	C-2	SECOND FLOOR PLAN	A2.22	BUILDING ELEVATIONS	A3.11
ECORDED MAP (BM2009, PG965)	2.1	FIRE COVERAGE PLAN	C-3	THIRD FLOOR PLAN	A2.23	BUILDING ELEVATIONS	A3.12
XISTING CONDITION PLAN	C-1	STORMWATER & GRADING PLAN	C-4	FOURTH FLOOR PLAN	A2.24	BUILDING ELEVATIONS	A3.13
REE CONSERVATION PLAN (REFERENCE) (SPR-0070-2022)	LT1.1	STORMWATER DETAILS	C-5	ROOF PLAN	A2.31	ENLARGED ELEVATIONS & GAZEBO PLANS	A3.21
REE CONSERVATION AREA METES & BOUNDS (SPR-0070-2022)	LT2.1	LANDSCAPE PLAN	LP1.1	ENLARGED PLAN AT MAIN ENTRY	A2.51	RADON CONSTRUCTION DETAIL	A4.21
TE PLAN	LS1.1	LANDSCAPE NOTES & DETAILS	LP3.1	ENLARGED PLAN AT MAIN ENTRY CONT.	A2.52		
ASTE COLLECTION ACCESS PLAN	LS2.1	SITE LIGHTING PLAN	1	ENLARGED PLANS COMMON AREAS	A2.53		
EDECTRIAN CIRCUII ATIONI DI ANI	1 52 2	SITE LICHTING DI AN	1	ENI APCED LINIT ELOOP DI ANS	Δ2.5/		

Notes

January 12, 2016.

a. Hotel, motel, inn (UDO section 6.4.6.D)

made no earlier than the effective date of this ordinance.

reference a specific Part 10 zoning code section or defined term.

012940 PG 00059). Conditions dated January 21, 2016.

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS. 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC
- WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY JOHN A. EDWARDS AND COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN AUGUST 2018 & FEBRUARY 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST 2018.
- . WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.

Project Team

2013 Rolling Rock Road

Wake Forest, North Carolina 27587

- 13. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING. 14. GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE
- . CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- . HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS. 18. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.

Triangle Town Center Holding, LLC

mark.tipton@whistlerinvestmentgroup.com

19. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB.

Carolina Project Equities, LLC

mark.tipton@whistlerinvestmentgroup.com

2013 Rolling Rock Road

Wake Forest, North Carolina 27587

NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.

- 20. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG
- 21. ALL RAMPS AND HANDRAILS SHALL BE COMPLY WITH CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS
- 22. SWINGING DOORS AND GATE SHALL HAVE MANEUVERING CLEARANCE COMPLYING WITH CURRENT ANSI STANDARD
- 23. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- 24. ALL HVAC EQUIPMENTS OF THIS PROJECT TO BE LOCATED ON THE ROOF OF BUILDINGS AND SCREENED WITH PARAPETS 25. UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.
- 26. REQUIRED PARKING FOR AN AFFORDABLE HOUSING DEVELOPMENT MAY BE REDUCED TO A RATE OF ONE (1) PARKING SPACE FOR EACH UNIT AS PER UDO SEC
- 27. POOL IS NOT PROPOSED OR PLANNED ON THIS SITE. SPECIAL USE PERMIT REQUIRED FOR POOLS WITH ANY LINEAR DIMENSION GREATER 65 FEET OR WITH ANY

FIRE DEPARTMENT NOTES

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST
- 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1) 3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION
- 4. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.

<u>SOLID WASTE INSPECTION STATEM</u>ENTS

1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.

LANDSCAPE ARCHITECT

510 S. Wilmington Street

919.835.1500

919.835.1510 (fax)

Raleigh, North Carolina 27601

JDavis Architects, PLLC

kent@jdavisarchitects.com

- 3. THIS PROJECT HAS A DUMPSTER FOR SINGLE-STREAM RECYCLING. TRASH ROOM IS LOCATED INSIDE OF THE PROPOSED BUILDING. ROLL OUT BIN TO BE ROLLED
- OUT TO A BAY SHOWN ON LS1.1 SITE PLAN ON COLLECTION DAY.

ARCHITECT

CSBO Architecture P.C.

carlos.sanchez@csboinc.com

1589 Skeet Club Rd, Suite 102-172

High Point, North Carolina 27265

THIS PROJECT SITE IS MORE THAN 2 ACRES. TREE CONSERVATION IS REQUIRED PER UDO SEC. 9.1.2. REFER TO RECORDED MAP, BM 2009, PG 965 FOR EXISTING TREE CONSERVATION AREAS AND SPR-0070-2022 FOR APPROVED TREE CONSERVATION AREAS. TREE CONSERVATION AREAS TO BE RECORDED PRIOR TO THE SUBDIVISION (SUB-S-55-2018) SITE PERMIT APPROVAL.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- 5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
- MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD); PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
- AMERICAN DISABLILITY ACT (ADA) REQUIREMENTS;

John A. Edwards & Co.

Raleigh, North Carolina 27605

jon_callahan@jaeco.com

RALEIGH STREET DESIGN MANUAL (RSDM).

ENGINEER

333 Wade Avenue

919.828.4711 (fax)

919.828.4428

ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBLITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

SURVEYOR

919.828.4428

333 Wade Avenue

919.828.4711 (fax)

John A. Edwards & Co.

Raleigh, North Carolina 27605

chris@JAECO.COM

7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION

PROP. FIRE HYDRANT LANDING FOR RAMP PENALTY SIGNAGE

Application

Site Plan Tier: Tier Two Site Plan

Administrative Site Review Application Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting. Office Use Only: Case #:

Please review UDO Section 10.2.8. as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Tier Three Site Plan

Detached Attached Apartment Townhouse	General Mixed use Open lot Civic	Subdivision case #: SUB-S-55-2018 Scoping/sketch plan case #: 56004 (Subdivision) Certificate of Appropriateness #: Board of Adjustment #: A-70-19 (Subdivision) & A-120-19 Zoning Case #: Z-027F-14 Administrative Alternate #: Comp Plan: CP-4-19 (Subdivision)
	GENERAL IN	FORMATION
Development name: Sumner Pointe I - P	hase 3/Lot 1	
Inside City limits? Yes ✔ No		
Property address(es): 3900 Sun	nner Blvd, F	Raleigh, NC 27616
Site P.I.N.(s): 1726682647		
Please describe the scope of work. Incl Development of One Affordable Co Tree Conservation Areas.		expansions, and change of use. uilding with Amenity Area, Retaining Walls, and
Current Property Owner/Developer Cor		
NOTE: please attach purchase agree Company: Carolina Project Equities, LLC	T	Title: Managing Member
Address: 2013 Rolling Rock Road, Wake		5 5
Phone #: 919-435-1597	Email: mark.tip	oton@whistlerinvestmentgroup.com
Applicant Name: Ken Thompson		
Company: JDavis Architects	Address: 510	S Wilmington Street, Raleigh, NC 27601
Phone #: 010,612,6007	Email: kant@i	davisarchitoots com

(Applicable to	o all developments)
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished): 0 SF
CX-5-UL-CU	Existing gross floor area to be demolished: 0 SF
Gross site acreage: 4.66 AC	New gross floor area: 120,034 SF
# of parking spaces required: 57	Total sf gross (to remain and new): 120,034 SF
# of parking spaces proposed: 75	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 4 Stories
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4); Congregate Care	

DEVELOPMENT TYPE + SITE DATE TABLE

Existing Impervious Surface: (ALLOCATED PER SPR-0206-2021)	Proposed Impervious Surface: (ASR-0075-2021))			
Acres: 0.10 AC Square Feet: 4,333 SF	Acres: 1.95 AC Square Feet: 84,829 SF			
Is this a flood hazard area? Yes ☐ No ✓				
If yes, please provide:				
Alluvial soils:				
Flood study:				
FEMA Map Panel #:				
Neuse River Buffer Yes ✓ No No	Wetlands Yes ✓ No ☐			
NOUSC TRYCE BUILD 165 V NO	Woulding 103 V NO			

STORMWATER INFORMATION

RESIDENTIAL DEVELOPMENTS				
Total # of dwelling units: 90			Total # of hotel units:0	
# of bedroom units: 1br 34	2br 56	3br 0	4br or more 0	
# of lots: 1			Is your project a cottage court?	Yes No ✓

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance. will serve as the agent regarding this application, and will receive

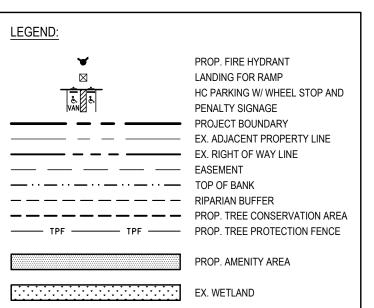
and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property

/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy,

which states applications will expire after 180 days of inactivity. Date: 08.19.2021

nature: ZOY	Date: 08.
ted Name: Ken Thompson, RLA, Senior Associate, JDavis Architects	
NED BLVD, BLUID TO	

THIS SITE COMPLIES WITH UDO THAT INCLUDES 5TH SUPPLEMENT DATED MARCH 2018 THAT WAS IN PLACE AT THE TIME THE INITIAL TOWN CENTER SUBDIVISION (SUB-S-55-2018) APPLICATION WAS SUBMITTED ON OCTOBER 12, 2018. PRIMARY STREET IS TRIANGLE RIDGE ROAD. REFER TO PRIMARY STREET DETERMINATION CHART ON LS1.1 SITE PLAN. SUMNER BOULVARD IS SIDE STREET. PER CODE SECTION 1.5.6.C.4, BUILD-TO REQUIREMENT, PRE-ESTABLISHED AND RECORDED TREE CONSERVATION AREAS AND PORTIONS OF PROPERTY ENCUMBERED BY OVERHEAD ELECTRIC TRANSMISSION LINES RATED TO TRANSMIT 230 KV SHALL NOT BE CONSIDERED WHEN CALCULATING THE BUILD-TO PERCENTAGE OR BUILD-TO

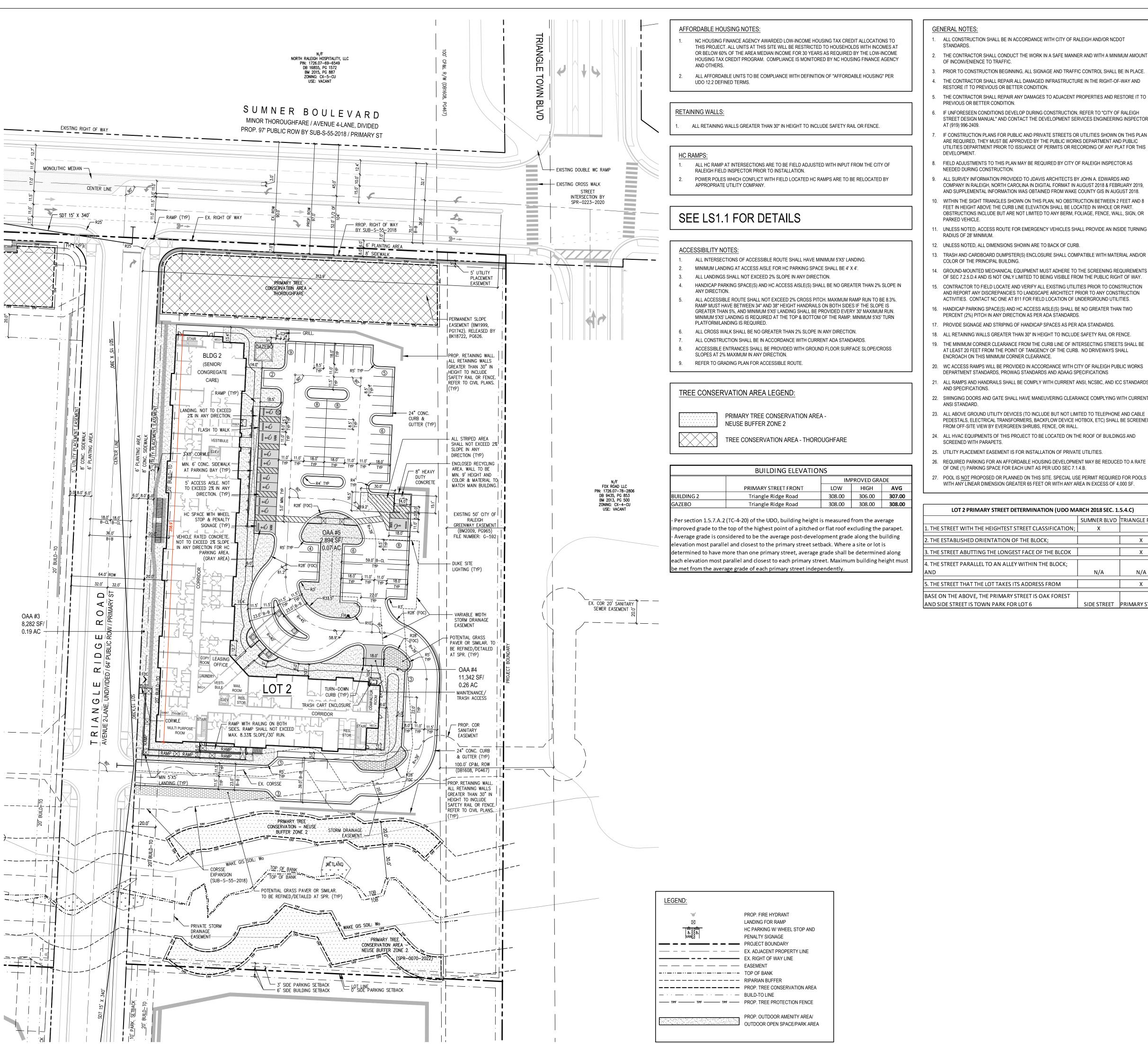


75-202 IB-S-55-2

SITE PROJECT: | JAE-18048/18057

ISSUE: Administrative Site Review 08.17.2021 1st Review Comments DRAWN BY: CHECKED BY:

CONTENT: COVER



- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT
- OF INCONVENIENCE TO TRAFFIC. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- RESTORE IT TO PREVIOUS OR BETTER CONDITION. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO
- PREVIOUS OR BETTER CONDITION.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED. THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY JOHN A. EDWARDS AND COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN AUGUST 2018 & FEBRUARY 2019, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST 2018.
- . WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING
- 2. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- 13. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- 14. GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY. 15. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION
- AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
- 17. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS. 18. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- 19. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
- 0. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- . ALL RAMPS AND HANDRAILS SHALL BE COMPLY WITH CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
- 2. SWINGING DOORS AND GATE SHALL HAVE MANEUVERING CLEARANCE COMPLYING WITH CURRENT
- PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL. 24. ALL HVAC EQUIPMENTS OF THIS PROJECT TO BE LOCATED ON THE ROOF OF BUILDINGS AND
- 25. UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.
- 26. REQUIRED PARKING FOR AN AFFORDABLE HOUSING DEVELOPMENT MAY BE REDUCED TO A RATE OF ONE (1) PARKING SPACE FOR EACH UNIT AS PER UDO SEC 7.1.4.B.
- POOL IS NOT PROPOSED OR PLANNED ON THIS SITE. SPECIAL USE PERMIT REQUIRED FOR POOLS WITH ANY LINEAR DIMENSION GREATER 65 FEET OR WITH ANY AREA IN EXCESS OF 4,000 SF.

LOT 2 PRIMARY STREET DETERMINATION (UDO MARCH 2018 SEC. 1.5.4.C)

	SUMNER BLVD	TRIANGLE RIDGE
. THE STREET WITH THE HEIGHTEST STREET CLASSIFICATION;	Х	
. THE ESTABLISHED ORIENTATION OF THE BLOCK;		Х
. THE STREET ABUTTING THE LONGEST FACE OF THE BLCOK		Х
. THE STREET PARALLEL TO AN ALLEY WITHIN THE BLOCK; .ND	N/A	N/A
. THE STREET THAT THE LOT TAKES ITS ADDRESS FROM		Х
ASE ON THE ABOVE, THE PRIMARY STREET IS OAK FOREST	SIDE STREET	PRIMARY STREET

	Zoning	L	C	X-5-UL-CU	
2	Section 3.2.7 Civic Building Base Dimensional Sta A. Site Dimensions	indards			_
	A1 Area (min)			n/a	_
	A1 Area (max)			n/a	_
	A2 Width (min)			n/a	
	A3 Outdoor amenity area			10 %	
	B. Building / structure setbacks B1 From primary street (min)			10 FT	_
	B2 From side street (min)			10 FT	
	B3 From side lot line (min)			0 or 6 FT	
	B4 From rear lot line (min)			0 or 6 FT	
	B4 From alley (min)			5 FT	
	C. Parking setbacks			40 FT	_
	C1 From primary street (min) C2 From side street (min)			10 FT 10 FT	
	C3 From side lot line (min)			0 or 3 FT	
	C4 From rear lot line (min)			0 or 3 FT	_
	C4 From alley (min)			5 FT	
	D. Height		7.07(E) 44 (2001 > 4 01-	_
	D1 Principal building (max) D2 Accessory structure (max)		Z-27(F)-14 (62' max) 4 Sto 25 FT	
	F. Allowed building elements			2011	_
	Balcony				_
	Gallery / awning				
3	Frontage requirements (sec. 3.4.7) C. Build-to		UL (Urba	an Limited)	_
	C1 Primary street build-to (min/max)			0 to 20 FT	_
	C2 Building width in primary build-to (min)			50 %	_
	C3 Side street build-to (min/max)			0 to 20 FT	_
	C4 Building width in side build-to (min)			25 %	
	D. Additional parking limitations	hatina a haddala		-1	_
	D1 No on-site parking or vehicular surface permitted F. Pedestrian access	between building	and the stree	et	_
	E1 Primary street-facing entrance required			yes	
	E1 Street-facing entrance spacing			75 FT	_
	F. Streetscape requirement	see S	ec. 8.5.2.B [
4	Streetscape requirements (sec. 8.5.2.B)			Mixed Use	_
	A Streetscape width (max.) Streetscape requirements (sec. 8.5.2.B)			35 FT	_
	E Sidewalk (min)			8 FT	_
	F Planting area (min)			6 FT	
	General				_
	Walkway type			Sidewalk	
	Planting type			rate / lawn	
- 5	Tree spacing Use standards (UDO sections 6.2.2.C)		40	O.C. avg.	_
Ū	- Provide open space or park area at a rate of 10%		see Sec	. 6.2.2.C.q	_
	or 218 SF per dwelling unit, which ever is greater				_
	Site Data			Lot #2	
7	Tract area			4.00.40	_
	Lot #1 SUB-S-55-18 Less right of way dedication			4.66 AC 0.00 AC	
	Net acreage			4.66 AC	
8	Proposed use		Congr	egate care	_
9	Proposed Congregate Care units				
	1 bedroom			34 DU	
	2 bedroom Total units proposed			<u>56 DU</u> 90 DU	_
10	Proposed density	90 /	4.66 =	19.31 DU	
	Gross square footage				_
	Building 1			120,034 SF	
	Proposed FAR	120,034 /	4.66 =	59.1%	_
11	Building lot coverage Outdoor amenity area (sec. 3.2.3.A3)	30,315 /	4.66 =	14.9%	_
• • •	Required - 10% of net acreage	4.66 x	10% =	0.47 AC	, –
	Required - 10% of net acreage in SF			20,299 SF	
	Provided				
	OAA #3	8,282 SF	4.1%	0.19 AC	
	OAA #4 OAA #5	11,342 <u>SF</u> 2,894 SF	5.6% 1.4%	0.26 AC 0.07 AC	
	Total provided	22,518 SF	11.1%	0.52 AC	
12	Open space or Park area (Sec. 6.2.2.C.g)	,			_
	Required - 218 SF per unit	90 x	218 =	19,620 SF	
	Required - in acreage Provided			0.45 AC	, —
	OAA #3	8,282 SF	4.1%	0.19 AC	, –
	OAA #4	11,342 <u>SF</u>	5.6%	0.19 AC 0.26 AC	
	OAA #5	2,894 SF	1.4%	0.07 AC	-
	Total provided	22,518 SF	11.1%	0.52 AC	
13	Building height Allowed height		7-27/E\ 14 /	62' max) 4 Sto	<u>-</u>
	Proposed height - See elevations for building heights	<u>I</u> ;	(1 <i>)</i> -14 (62 max) 4 Sto	
14	Build-to				
	C1 Primary street build-to (min/max)			riangle Ridge R	₹
	Required Provided	50% x	632 =	316.0 LF	
	Building		88.4%	558.9 LF	_
	Total		88.4%	558.9 LF	
	C2 Side street build-to (min/max)			Sumner Boule	e Ve
	Required	25% x	305 =	76.3 LF	
	Provided (See note #3) Building		13.5%	41.3 LF	
	Total		13.5%	41.3 LF	_
15	Required parking (sec. 7.1.2 Congregate Care)				_
	Units (1 Space per 3 units)	90 /	3 =	30 SP	
	Staff (1 Space per 400 SF of work area)	10,808 /	400 =	27 SP	
	Total required Parking provided			57 SP	
	Surface				_
	Standard space			64 SP	
	HC space (3 van accessible)			11 SP	_
	Total surface spaces provided	75 '		75 SP	_
16	Surface parking percentage Required bicycle parking (sec. 7.1.2)	75 /	57 =	131.5%	
10	Long Term			n/a	_
	Short term (No min)		<u> </u>	n/a	_
	Bicycle parking provided			0 SP	<u>, </u>
17	Impervious area		4 000 05	0.40.10	_
	Existing (Allocated per SPR-0206-2021) Proposed (ASR-0075-2021)		4,333 SF 84,829 SF		
	Total	1	89,162 SF		
18	Notes:				_
	#1 A-102-19 for Primary Street Build-to #2 A-102-19 for Pedestrian Access, sec. 3.4.7.E1 & E	:2			
	.,∠ , ⊂ 102- 10 to F eucothall ∧66655, 566, 3.4./.ET& E	. _			

Zoning summary Project: Sumner II - Phase 4 / Lot 2

REFERENCE: Z-027F-14; BM2009, PG965; SUB-S-55-18; SPR-0206-2021 GREENWAY: G-592; ANNEX-0004-2022 BOA: A-70-19 & A-102-19; REZN-0019-2021

to percentage or build-to range.

#3 This site complies with UDO that includes 5th supplement dated March, 2018 that was in place at

2018.Sumner Blvd/Side Street Build-to: Per code section 1.5.6.C.4, Build-to requirement, pre-

the timethe initial Town Center Subdivision (SUB-S-55-2018) application was submited on October 12,

established and recorded Tree Conservation Areas and portions of property encumbered by overhead

electric transmission lines rated to transmit 230 kv shall not be considered when calculating the build-

ASR-0075-2021

SPR-0070-2022

SITE PLAN SCALE: 1" = 40'

Equitie 0 **Project** Sumn 3900 S Raleigh, Carolina

.202 S-55-2

0

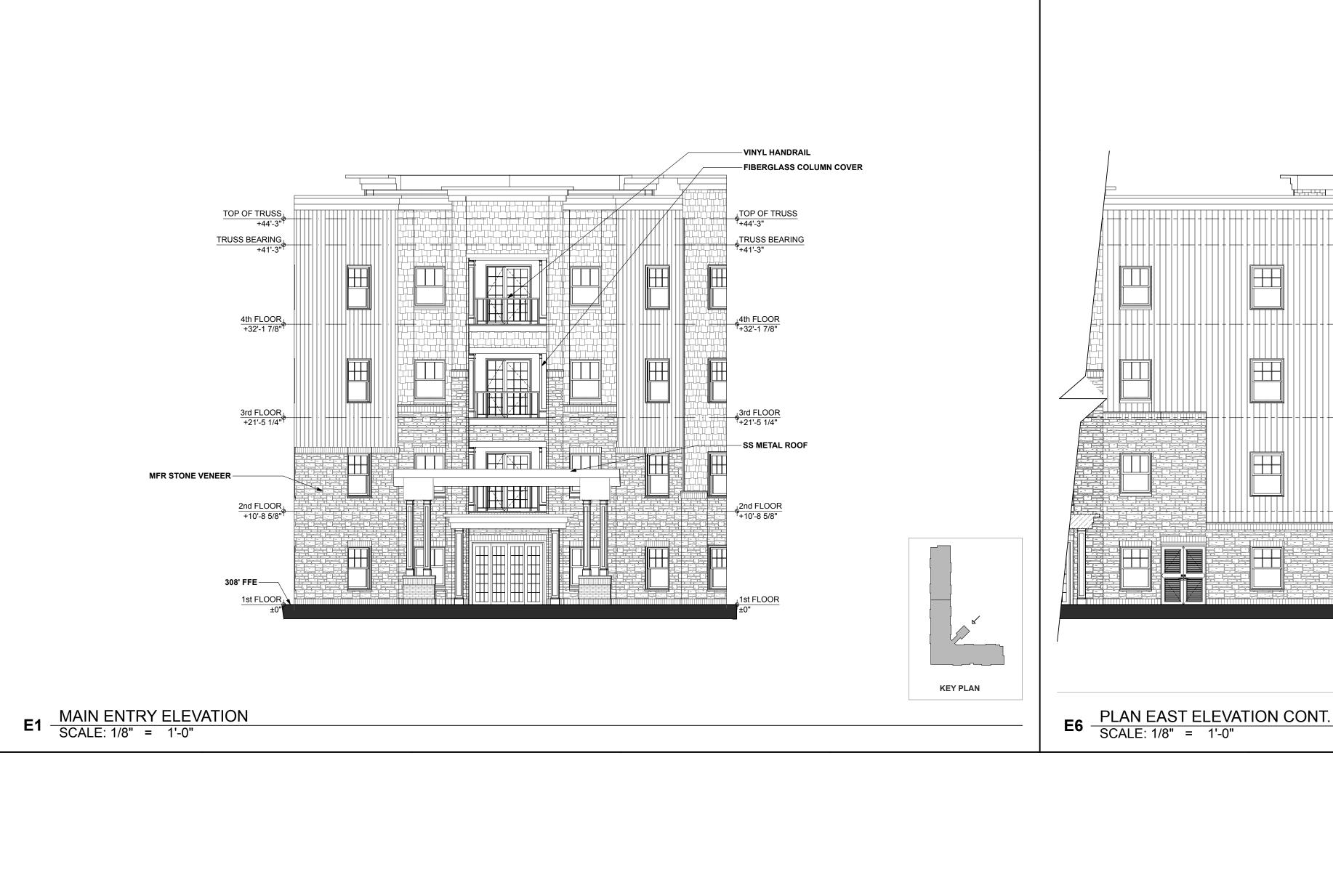
REVIEW SITE **ADMINISTRATIVE** PROJECT: | JAE-18048/18057 ISSUE: Administrative Site Review 08.17.2021 04.28.2022 REVISIONS: 1st Review Comments 2nd Review Comments

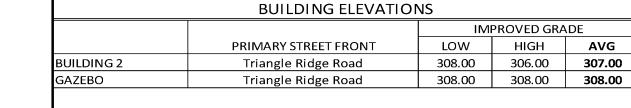
LS1.

DRAWN BY:

CONTENT: SITE PLAN

CHECKED BY



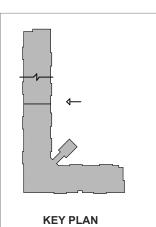


- Per section 1.5.7.A.2 (TC-4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet. - Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.



KEY PLAN

VINYL VERTICAL SIDING -VINYL SHAKES SIDING TRUSS BEARING +41'-3" 4th FLOOR +32'-1 7/8"



architecture P.C.

CSBO architecture P.C. 1589 Skeet Club Rd. Suite 102-172 Hight Point, NC 27265

CAROLINA PROJECT EQUITIES, LLC 2013 Rolling Rock Rd. Wake Forest, NC 27587

NOT FOR CONSTRUCTION

SUMNER POINT
(PHASE 4 / LOT
3900 SUMNER BLVD
RALEIGH, NC 27...

REVISIONS:

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07-20-2022 PROJECT NUMBER: 190170 BUILDING ELEVATIONS

SHEET:

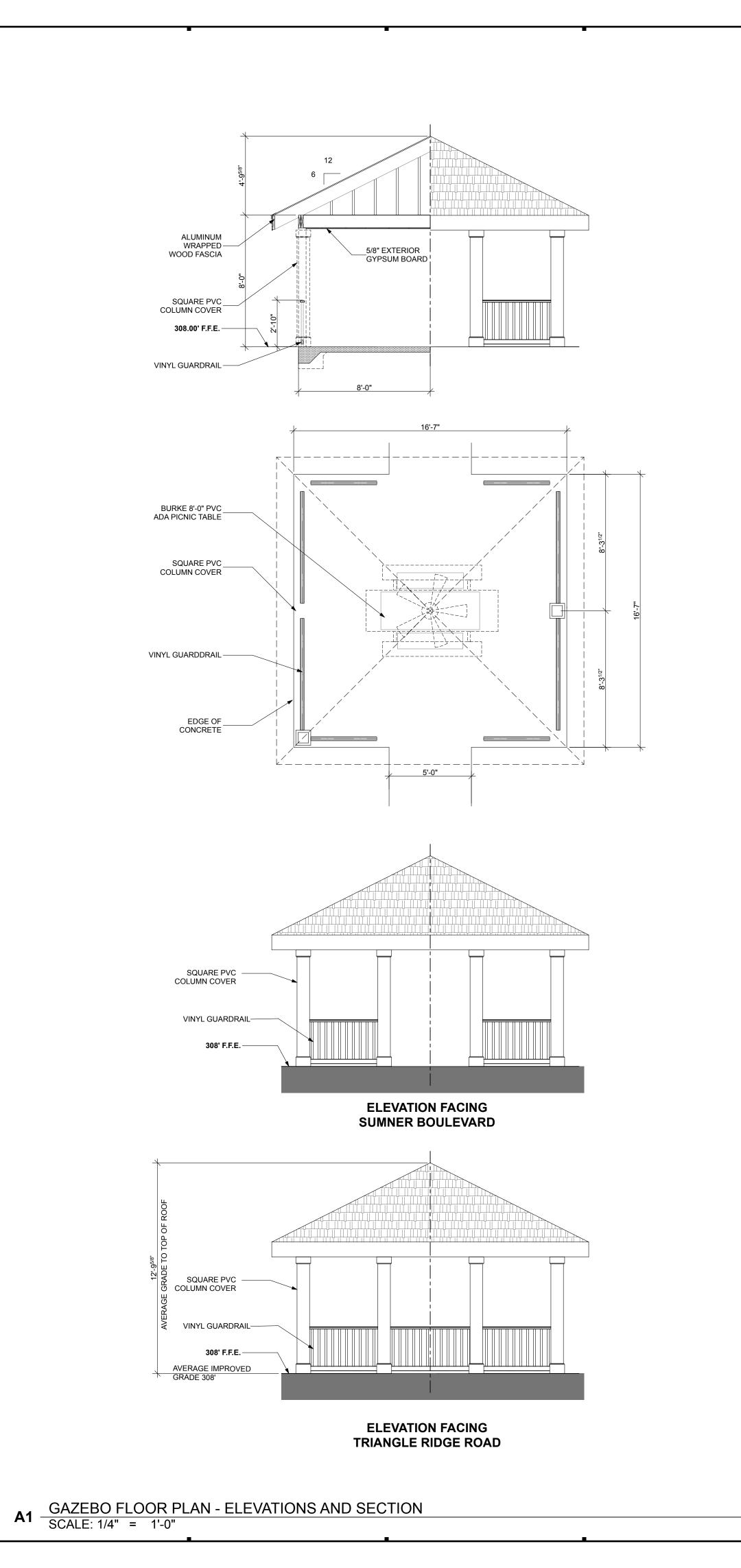
A3.11

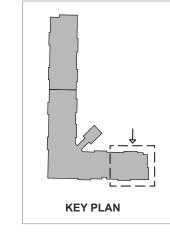
A1 PLAN EAST ELEVATION

SCALE: 1/8" = 1'-0"









A5 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING ELEVATIONS						
	IMPROVED GRADE					
	PRIMARY STREET FRONT	LOW	HIGH	AVG		
BUILDING 2	Triangle Ridge Road	308.00	306.00	307.00		
GAZEBO	Triangle Ridge Road	308.00	308.00	308.00		

- Per section 1.5.7.A.2 (TC-4-20) of the UDO, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.

- Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.

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SUMNER POINTE II
(PHASE 4 / LOT 2)
3900 SUMNER BLVD
RALEIGH, NC 27...

REVISIONS:

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DATE:
07-20-2022

PROJECT NUMBER:
190170

SHEET TITLE:
ENLARGED ELEVATIONS &
GAZEBO PLANS

CUEET:

A3.21

