



Administrative Approval Action

Case File / Name: ASR-0076-2022
DSLCL - WEST END II

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Western Boulevard, north of W. Cabarrus Street, at 400 & 430 S. West St.

REQUEST: Development of a vacant 2.07 acre/90,304 sf tract zoned IX-7-UL. A proposed right-of-way dedication of 1.99 acres/3,492 sf leaving a net area of 2.07 acres/86,812 sf. A new mixed-use 7 story building, 397,755 sf, including retail uses, a 271 parking deck space enclosure and residential living of 241 total units (182 1-bedrooms, 54 2-bedrooms & 5 3-bedrooms).

DA-25-2022 400/430 S. West St Design Alternate: Effective 2/3/23 - i). a design alternate to the required 200'ft min distance between driveways set forth in UDO Sec.8.3.5.C.3.c to allow the two driveway along S. West Street to be located 120'ft apart and ii). a design alternate to required 150'ft min distance between intersection set forth in RSDM Section 9.5 to allow the southern most driveway on S. West Street to be located 131'ft from the intersection of S. West Street and W. Cabarrus St.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0107-2023: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 14, 2023 by Mcadams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Regarding the upcoming West St project by the City it is also anticipated that there will potentially be significant changes in elevation of Cabarrus Street that also includes the frontage of this site. There will also be the work on West Street itself where continued coordination with those elevations and the project elevations will need to take place. Therefore detailed dialogue will need to occur at site permitting review as to any potential edits to the elevations of the 401 West Street project.
2. The retaining wall proposed at the end of West Street is currently shown' approximately 2' from the railroad right of way. Should the wall encroach onto the railroad property an encroachment from the railroad ownership will be required.



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3. A recorded plat copy of RCMP-0043-2021 is inserted into the site civil plans set at SPR submittal review.
4. Under the building data section, the square footage amounts for those "Personal Services" uses shown on the eastern elevation, along S. West Street, in addition to the retail sf amount shown, is updated on the data table.
5. Required bike parking data is updated and data table is revised for parking maximums, building data sf, for the Personal Services uses proposed along S. West St per UDO Sec.7.1.2.C.
6. Sheets A00.12A, A00.12B, revise all transparency tables, removing/revising the 'provided wall area @ 3'-8"' label references, and label as well provide the "sf area between 3'-8'ft" per the required transparency design requirements in Sec.1.5.9.B.
7. Sheets A05.01, A05.02, per the post-development averages shown, a building height dimension is provided and drawn for the east and south façade wall side elevations
8. All proposed seating and outdoor seating areas areas, in the retail and pool areas, are removed from the landscaping sheet L7. These features will be permitted separately at permit design review. Sheet L7, the proposed reference design planters, being referenced along the elevations, are shown and outlined along building front entrance on W. Cabarrus St.

Engineering

9. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
10. An encroachment submittal for retaining wall within the public right-of-way shall be approved by City Council. The executed encroachment agreement shall be filed with the Development Services Department for the approval by City and returned to the Owner. The Owner is responsible to record the executed encroachment agreement with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Stormwater

11. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
12. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
13. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
<input checked="" type="checkbox"/>	Public Access Deed of Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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4. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
5. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

6. Infrastructure Construction Plans (SPR submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
9. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
10. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
11. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry



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12. A public infrastructure surety for 5 street trees (Tree Grate) along West Cabarrus Street and 6 street trees (Tree Grate) along S. West Street shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing site into a single tract.
2. A demolition permit shall be obtained.

Engineering

3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for the proposed recombination.

Stormwater

5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees (Tree Grate) along West Cabarrus Street and 6 street trees (Tree Grate) along S. West Street.

The following are required prior to issuance of building occupancy permit:

General



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1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
4. Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater

5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: April 14, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 04/14/2023
Development Services Dir./Designee

Staff Coordinator: Jermont Purifoy

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 400 • Raleigh, NC 27601 | 919-996-2000



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>
Building Type	Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #:
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #:
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #:
		Administrative Alternate #:

GENERAL INFORMATION

Development name: West End II

Inside City limits? Yes ☒ No ☐

Property address(es): **400 S West Street, 430 S West Street**

Site P.I.N.(s): 1703477250, 1703478178

Please describe the scope of work. Include any additions, expansions, and change of use.
Mixed used building with associated parking deck and utilities.

Current Property Owner/Developer Contact Name: KL West End Phase II LLC

NOTE: please attach purchase agreement when submitting this form.

Company Kane Realty Title Managing Member

Address 4321 Lassiter at North Hills Ave

Phone # 919.833.7755 Email amccollum@kanerealtycorp.com

Applicant Name Jonathan Balderson

Company McAdams Address 1 Glenwood Ave Suite 201, Raleigh NC

Phone # 919.361.5000 Email balderson@mcadamsco.com

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DEVELOPMENT TYPE • SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-7-UL: Industrial Mixed Use, 7-story urban limited Gross site acreage: 2.09 acres # of parking spaces proposed: 478 # of parking spaces proposed: 271 Overlay District (if applicable): N/A Existing use (UDO 6.1.4): Commercial Proposed use (UDO 6.1.4): Retail, Restaurant/Club/Ent., and parking facility	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 7,048 New gross floor area: 397,755 Total of gross (to remain and new): Proposed # of buildings: 1 Proposed # of stories for each: 7

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 3.24 Square Feet: 53,965	Proposed Impervious Surface: Acres: 91.031 Square Feet: 2,09
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: 03	
Alluvial soils: n/a	
Flood study: 03	
FEMA Map Panel #: n/a	
Neuse River Buffer	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 241	Total # of hotel units: N/A
# of bedroom units: 1br 182 2br 54 3br 5	4br or more: n/a
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in the application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

Jonathan Balderson will serve as the agent regarding this application, and will receive and respond to administrative comments, respond to plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I, here have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will require after 180 days of inactivity.

Signature: *Jonathan Balderson* Date: 8/31/2022

Printed Name: John M. Kane

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WEST END II

400 S WEST STREET RALEIGH, NORTH CAROLINA 27601 ADMINISTRATIVE SITE REVIEW CITY OF RALEIGH CASE# ASR-0076-2022 PROJECT NUMBER: KAN-22001 DATE: AUGUST 19, 2022

SITE DATA

PHYSICAL ADDRESS:	400 S WEST STREET, RALEIGH NORTH CAROLINA 27601
PARCEL PIN:	1703477250, 1703478178
ZONING:	IX-7-UL
OVERLAY DISTRICT:	NONE
WATERSHED:	WALNUT CREEK
SITE AREA:	GROSS: 90,304 SF / 2.07 AC NET: 86,821 / 1.99 AC (3,492 SF OF H/W DEDICATION)
FLOODWAY/FLOODPLAIN:	NONE
PROPOSED USE:	MIXED USE BUILDING WITH MULTI-LEVEL PARKING FACILITY, RETAIL, AND RESIDENTIAL
BUILDING DATA:	RESIDENTIAL: 241 TOTAL UNITS, 181 1-BEDROOM, 54 2-BEDROOM, 5 3-BEDROOM RETAIL: 4,812 SF PARKING/DECK: 123,484 SF RESIDENTIAL: 241 UNITS TOTAL: 387,755 SF

PARKING DATA:	VEHICLE PARKING
REQUIRED:	0 SPACES (PER UDO SEC. 7.1.3.1.A) (413 MAX.) RETAIL: 0 SPACES (PER UDO SEC. 7.1.3.1.A) (513 MAX.) OVERALL REQUIRED PARKING: 0 SPACES (426 MAX, 413 + 23)
PROPOSED:	271 TOTAL SPACES 256 (STANDARD) (5 COMPACT) (4 RV) (4 VAN)
ACCESSIBLE PARKING	REQUIRED: 7 SPACES 2 VAN PROPOSED: 30 SPACES (8 ADA SPACES & 2 VAN)
BIKE PARKING	REQUIRED: 40 LONG TERM SPACES, 17 SHORT TERM SPACES RETAIL: LONG TERM: 0 SPACES (NONE) SHORT TERM: 4 SPACES (15,000 SF, 4 MIN.) RESIDENTIAL: LONG TERM: 44 SPACES (17,000 SQ. FT.) SHORT TERM: 13 SPACES (2,200 UNIT SF, 4 MIN.)
PROPOSED:	44 LONG TERM SPACES, 85 SHORT TERM SPACES

BUILDING - PARKING SETBACKS	REQUIRED: CAMARRUS STREET (PRIMARY STREET): 100.50' (35% OF 287.30') WEST STREET (PRIMARY STREET): 140.95' (50% OF 281.90')
PROVIDED:	CAMARRUS ST (PRIMARY STREET): 115.8' IF (115.80'/287.30' - 40.39%) WEST ST (PRIMARY STREET): 238.02' IF (238.02'/281.90' - 84.46%) *PER UDO SEC. 15.4.C.1, 100% REDUCTION OF REQ. DIM. BUILT-TO-RENT (50% MIN.)

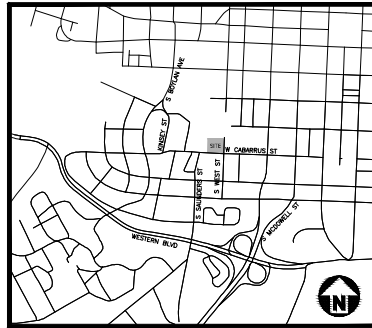
PARKING SETBACK	W CAMARRUS ST (PRIMARY STREET): 10' (PER UDO SECTION 3.2.6.C.) WEST ST (PRIMARY STREET): 10' (PER UDO SECTION 3.2.6.C.) SEAR & WEST LOT LINE: 10' (PER UDO SECTION 3.2.6.C.)
ADDITIONAL PARKING LIMITATIONS:	NO ON-STREET PARKING OR VEHICULAR SURFACE AREA PERMITTED BY WHEN THE BUILDING AND THE STREET
PEDESTRIAN ACCESS	PRIMARY STREET FACING ENTRANCE REQUIRED: YES

EXISTING IMPERVIOUS:	1.18 AC (13,444 SF)
PROPOSED IMPERVIOUS ALLOCATION:	1.99 AC (86,812 SF)
BUILDING HEIGHT	MAXIMUM ALLOWED: 7 STORIES (PRINCIPAL BUILDING) PROPOSED: 7 STORIES (187'-2.18')

REQUIRED BUILDING/STRUCTURE SETBACKS:	FROM PRIMARY STREET (MIN): 5' FROM SIDE STREET (MIN): 5' FROM SIDE LOT LINE (MIN): 5' OR 6' FROM REAR LOT LINE (MIN): 5' OR 6' FROM ALLEY: 5'
PROVIDED BUILDING/STRUCTURE SETBACKS:	FROM PRIMARY STREET: 5' FROM SIDE STREET (MIN): 5'

REQUIRED FLOOR HEIGHTS:	GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN): 13' UPPER STORY HEIGHT, FLOOR TO FLOOR (MIN): 10'
PROVIDED FLOOR HEIGHTS:	GROUND STORY HEIGHT, FLOOR TO FLOOR: 13' UPPER STORY HEIGHT, FLOOR TO FLOOR: 10'

TREE CONSERVATION	REQUIRED: 16,658 SF (MIN. OF LOT AREA) PROPOSED: NO QUALIFYING TREES
OUTDOOR AMENITY AREA	REQUIRED: 8,481 SF (0.20 AC) 15-16 AC (MIN. 15 AC, 30.00% OF 1.99 AC (39,300 SF)) PROVIDED: 8,481 SF (0.20 AC) AMENITY AREA ON GRADE: 1,334 SF AMENITY AREA ON PAVING: 1,344 SF



VICINITY MAP N.T.S.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

SHEET INDEX

C0.00	PROJECT NOTES
C0.01	FORMS AND APPLICATIONS
C1.00	EXISTING CONDITIONS
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C2.00	SITE PLAN
C2.01	SIGHT DISTANCE TRIANGLE PLAN
C2.02	PAVEMENT PLAN
C2.03	EASEMENT AND ROW PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	STORM DRAINAGE DETAILS
C8.03	STORM DRAINAGE DETAILS
C8.04	SANITARY SEWER DETAILS
C8.05	WATER DETAILS
C8.06	WATER DETAILS
C9.00	SCM DETAILS
C9.01	SCM DETAILS

BY OTHERS

L7.00	PLANTING PLAN
L7.90	PLANTING & SOILS DETAILS
A00.12	ZONING INFORMATION
A00.12A	ZONING ELEVATIONS CABARRUS STREET
A00.12B	ZONING ELEVATIONS WEST STREET
A02.01	OVERALL LEVEL 1
A02.02	OVERALL LEVEL 2
A02.03	OVERALL LEVEL 3
A05.00	BUILDING PERSPECTIVES
A05.01	OVERALL BUILDING ELEVATIONS
A05.02	OVERALL BUILDING ELEVATIONS
A05.03	OVERALL BUILDING ELEVATIONS
A07.75	PARKING GARAGE DETAILS

SOLID WASTE COMPLIANCE STATEMENT:

1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
3. REFUSE WILL BE COLLECTED IN ROLL-OUT TRASH AND RECYCLING CARTS THAT WILL BE BROUGHT OUT CURB SIDE FOR PICKUP. PICKUP WILL BE PROVIDED TWICE A WEEK.

NOTES:

1. PER TC-5A-18 & SEC. 15.4.C, THE PRIMARY STREET DESIGNATION SHALL BE W. CAMARRUS & S. WEST STREETS.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 586-2469, and the Public Utilities Department at (919) 596-4540 at least **business four (4) business days** prior to beginning any of their construction. Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a **120-day and Possible Exclusion** from future work in the City of Raleigh.



CONTACT

JONATHAN BALDERSON
balderson@mcadamsco.com
PHONE: 919.287.0815

CLIENT

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVE, SUITE 250
RALEIGH, NORTH CAROLINA 27609
PHONE: 919.833.7755

PROJECT DIRECTORY

TYPE
NAME
ADDRESS
ADDRESS

REVISIONS

NO.	DATE	1ST RESPONSE TO ASR COMMENTS	2ND RESPONSE TO ASR COMMENTS	3RD RESPONSE TO ASR COMMENTS
1.	2022.01.07			
2.	2022.01.20			
3.	2022.01.14			



[illegible]

1. OWNER RESERVES THE RIGHT TO ADJUST SITE IMPROVEMENTS AND MODIFY BUILDING FOOTPRINTS FROM THOSE SHOWN ON THIS PLAN.
2. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS, ENGINEERING INSPECTION DEPARTMENT (215) 996-8824, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER.
3. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE SITE CONTRACTOR. AFTER PERMISSION BY EROSION CONTROL INSPECTOR.
4. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND ENGINEER IMMEDIATELY.

2. ALL STAIN DRAININGS MUST BE TO BE GLASS OR REINFORCED CONCRETE PIPE UNLESS NOTED OTHERWISE.
3. ALL CONCRETE SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF RALEIGH AND NORTH CAROLINA SPECIFICATIONS.
4. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
5. ALL PIPE IN STAIN DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INCHES W/ALL.
6. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE I FLEXIBLE PAVE. GASKETS UNLESS OTHERWISE NOTED.
7. THE INTERIOR SURFACES OF ALL STAIN DRAIN STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO A FINISH THAT MEETS STANDARD SPECIFICATIONS FOR FINISHES.
8. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL, OR OTHER OBSCURABLE MATERIAL, AND MATERIAL SHALL BE CAPABLE OF BEING COMPACTED TO A MINIMUM OF 95% OF THE STANDARD SPECIFICATION FOR THE BELLEVUE PLAIN MASSIVE UNFILL (TAPPING BLOWING OR PULLING).
9. MATERIALS DEVELOPED BY THE OWNER'S REPRESENTATIVE OR GEOTECHNICAL ENGINEER AS UNSUITABLE FOR THE PROJECT SHALL BE REJECTED.
10. BACKFILLING OF STRUCTURES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAYED. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE BY THE STANDARD PROCTOR TEST. THE TOP BLOW BLOW SHALL BE CONNECTED TO 200 PSI STANDARD PROCTOR.
11. UNLESS OTHERWISE SPECIFIED, WATER BE INCHES SHALL BE UNEXPANDED FLEXIBLE PAVE FOR PIPE.

1. THE INFORMATION SHOWN WAS TAKEN FROM FIELD CONDUITS AND FIELD SURVEY WHEREVER POSSIBLE. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL STRUTS, EASEMENTS, AND DIMENSIONS ON THIS PLAN, HEREIN BEFORE BEGINNING CONSTRUCTION.

2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES WITH THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

3. ALL DEMOLITION MATERIAL WILL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER LOCATION AND METHOD AS DESIGNATED BY THE LOCAL AUTHORITIES.

4. CONTRACTOR SHALL NOTIFY NCEM (1-800-452-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO OBTAIN A UTILITY LOCATING SERVICE FROM AN UTILITY LOCATING SERVICE (INDEPENDENT OF NCEM). REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

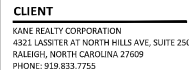
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (M.C., POWER POLES, TELEPHONE/TELEVISION, WATER METERS, ETC.).

6. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES AND ADJACENT ROADSWAYS FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR DEBRIS CAUSED BY HIM, HIS EMPLOYEES OR HIS WORK. ALL DEBRIS AND WASTE MATERIALS SHALL BE REMOVED FROM THE SITE IMMEDIATELY.

1. ALL DEMOLITIONS AND GROUND SHOWING ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR DEMOLITIONS (TITLE 29, PART 1926, SUBPART J) APPLIES TO ALL DEMOLITIONS EXCEEDING FIVE FEET IN DEPTH AND FIVE FEET IN WIDTH. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
3. ALL STRUCTURE SHALL BE IN ACCORDANCE WITH THE CODE OF BUILDING AND ANNOTED STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
4. CONTRACTOR SHALL NOTIFY "KTC" (PHONE 410-462-4944) AT LEAST 1 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR DEMOLITION. ENGINEER'S UTILITIES LOCATION NOTICE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A MEETING WITH THE ENGINEER, THE DESIGNER, THE OWNER, THE LOCAL AND REGIONAL PLANNING COMMISSION, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
6. SOIL UNDER BRIDGES, PAVEMENT AREAS AND WITHIN SOME DISTANCE (NOT LESS THAN 3 FEET) SHALL BE APPROVED, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

[illegible][illegible]

1. WATER TO BE USED DURING CONSTRUCTION SHALL HAVE A PERMANENT PAT INSTALLED THROUGH A NEW SERVICE TAP HUB, OR A REPLACEMENT HUB. HUB WATER SHALL BE SECURED THROUGHOUT, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PUBLIC PROPERTY THROUGHOUT.
2. WATER DESIGN:
 - a. PUBLIC WATER SYSTEMS SHALL CONFORM TO PUBLIC UTILITY REGULATION SYSTEM STANDARDS.
 - b. WATER MAINS SHALL BE 12" OR LARGER AND SHALL BE MADE OF DUCTILE IRON PIPE WITH A MINIMUM WALL THICKNESS OF 0.1875".
 - c. ALL 8" & 10" WATERLINES SHALL BE DUCTILE IRON PIPE CLASS 350 PER CITY OF HALLOWELL STANDARDS.
 - d. ALL WATERLINES SHALL HAVE A COVER.
3. ALL MAINS SHALL HAVE A MINIMUM COVER.
4. ALL MAINS SHALL HAVE A LAYLINE CONNECTIONS (GEOTECHNICAL EVALUATION AND COMPARISON REPORTS SHALL BE PROVIDED TO ENGINEER WITH AS-BUILT) AND A SURFACE PRESSURE OF 300 PSI.
5. ALL MAINS SHALL HAVE A WORKING PRESSURE OF 150 PSI AND A SURFACE PRESSURE OF 300 PSI.
6. SERVICE CONNECTIONS CAN ONLY BE MADE TO A PRESSURIZED PIPE UP TO 12" PER CITY OF HANNOVER.
7. REFER TO CONVEYOR HANDBOOK FOR TESTING AND APPROVAL PROCEDURE PRIOR TO ACCEPTANCE.
8. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 12" IN DIAMETER.
9. ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AND DEPTHS PRIOR TO BEGINNING CONSTRUCTION.



NO.	DATE	
1.	2022.11.07.	1ST RESPONSE TO ASR COMMENTS
2.	2023.01.20.	2ND RESPONSE TO ASR COMMENTS
3.	2023.06.14.	3RD RESPONSE TO ASR COMMENTS

PROJECT NO.	KAN21002
FILENAME	KAN22001-ASR-N1
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	N/A
DATE	08. 19. 2022
SHEET	

C0.00



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT
AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION
OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE
THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



January 6, 2023

Allen McCollum
4321 Lassiter at North Hills Ave #250
Raleigh, NC 27609

RE: "Will Serve" Letter for Solid Waste and Recycling for West End II

In response to your request, this letter serves as confirmation that GFL Environmental is able to provide waste and recycling services at the proposed West End II project, located at 400 S West Street, Raleigh, North Carolina.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

Sincerely,

Represented by


Melissa Dixon
National Accounts Sales Executive
GFL Environmental
melissa.dixon@gflenv.com

3301 Benson Drive, Suite 601, Raleigh, NC 27609
Tel: 919-325-3000 | gflenv.com

**400 AND 430 S. WEST STREET, RALEIGH, NC
DESIGN ALTERNATE APPROVALS
CASE DA-25-2022**

**RALEIGH APPEARANCE COMMISSION
FINDINGS OF FACT AND CONCLUSIONS OF LAW**

This application for a design alternate from the City of Raleigh Unified Development Ordinance (the "UDO") Section 8.3.5.C.3.c, and a design alternate from the Raleigh Street Design Manual (the "RSDM") Section 9.5 came before the Raleigh Appearance Commission (the "Commission") on January 5, 2023 for an evidentiary hearing. Based on the testimony of the witnesses, the documentary evidence, the Design Alternate Application and related materials, the exhibits and other evidence presented at the January 5, 2023 hearing, the Commission finds that the Design Alternates should be granted, and in support thereof, makes the following Findings of Fact and Conclusions of Law:

FINDINGS OF FACT

1. The Property at issue (the "Property") consists of a two (2) parcel of land, totally 2.09 acres in size. The Property is located at 400 and 430 S. West Street (PINs: 1703477250 and 1703478178) in Raleigh.
2. The Property is zoned Industrial Mixed-Use; 7 stories maximum; Urban Limited Frontage (IX-7UL).
3. The Property Owner is KL West End Phase II LLC (the "Property Owner").
4. The Property is located at the northeast corner of W. Cabarrus Street and S. West Street.
5. The Property Owner wishes to construct at the Property a new, 7-story, mixed-use building with structured parking for commercial and residential use (the "Project"). S. West Street extends along the Property's eastern property line and the Project includes two driveways along S. West Street. One driveway is located at the northwest corner of the Property and extends along the Property's northern property line, providing emergency service access and access to a loading and trash entry area. The other driveway is located off S. West Street, approximately midway along the Property's eastern property line, and provides ingress and egress to the second level of the parking deck.
6. There is an existing private driveway that currently extends along the Property's western property line. The Project includes an access point (ingress and egress) to the ground floor of the parking deck from the northeastern portion of the existing private driveway.
7. Pursuant to UDO Section 8.3.5.C.3.c, driveways along S. West Street must be spaced 200 feet apart centerline to centerline.

away from the W. Cabarrus Street/S. West Street unsignalized intersection that vehicles will not stack in front of this access point.

CONCLUSIONS OF LAW

Pursuant to the foregoing FINDINGS OF FACT and UDO Section 10.2.17, the Commission makes the following Conclusions of Law:

1. The Design Alternate Requests should be granted.
2. With respect to the Design Alternate Request from UDO Section 8.3.5.C.3.c, the Property Owner / Applicant submitted competent, material and substantial evidence to establish that:
 - i. The approved design alternate is consistent with the intent of UDO Section 8.3.5.C.3.c;
 - ii. The approved design alternate does not increase congestion or compromise safety;
 - iii. The approved design alternate does not conflict with an approved or built roadway construction project adjacent to or in the vicinity of the site; and
 - iv. The design alternate is deemed reasonable due to one or more of the following:
 1. Given the existing physical environment, compliance is not physically feasible;
 2. Compliance would not meaningfully improve connectivity;
 3. Compliance is not compatible with adjacent uses; or
 4. The burden of compliance is not reasonable given the size of the site or intensity of the development.
3. With respect to the Design Alternate Request from the RSDM, the Property Owner / Applicant submitted competent, material and substantial evidence to establish that:
 - i. The approved design alternate is consistent with the intent of RSDM Section 9.5;
 - ii. The approved design alternate does not increase congestion or compromise safety;
 - iii. The approved design alternate does not create additional maintenance responsibilities for the City;

-3-

8. Pursuant to RSDM Section 9.5, driveways must be spaced at least 150 feet from the intersection of S. West Street and W. Cabarrus Street.

9. In order to construct the Project, the Design Alternate Application requests the following design alternates:

- i) a design alternate to the required 200' minimum distance between driveways set forth in UDO Section 8.3.5.C.3.C to allow the two driveway along S. West Street to be located 120 feet apart; and
- ii) a design alternate to the required 150' minimum distance between a driveway and intersection set forth in RSDM Section 9.5 to allow the southern most driveway on S. West Street to be located 131 feet from the intersection of S. West Street and W. Cabarrus Street

(the "Design Alternate Requests"). The Design Alternate Requests require approval from the Commission, pursuant to the UDO.

10. The Design Alternate Requests are needed to allow the southern most driveway on S. West Street, which provides ingress and egress to the second floor of the parking deck. Because of the Property's limited amount of frontage on S. West Street (approximately 275'), it is not possible to locate two driveways on S. West Street in compliance with both the UDO driveway-to-driveway spacing requirements and the RSDM driveway-to-intersection spacing requirements.

11. Pedestrian access to the building will be on W. Cabarrus Street, which will be the main entrance and lobby for the Project. There is no vehicular access to the Project from W. Cabarrus Street, which minimizes the potential for conflict between pedestrians and vehicles accessing the Property.

12. Due to the number of units included in the Project, pursuant to the UDO, the parking deck is required to have two entrances.

13. There is an approximately 22' grade change along the Property's frontage to S. West Street, which dictates the location of the parking deck entrance/exit on S. West Street.

14. The Property includes an existing access drive on S. West Street (to be removed) that is located closer to the intersection of S. West Street and W. Cabarrus Street than the new, southern most driveway on S. West Street will be located.

15. Vehicle stacking/queuing is not currently an issue with the existing access drive on S. West Street and the new, southern most driveway on S. West Street, which will be located further away from the intersection of S. West Street and W. Cabarrus Street, is in a location that is far enough

-2-

iv. The approved design alternate has been designed and certified by a professional engineer, or such other design professional licensed to design, seal, and certify the alternate;

v. The approved design alternate will not adversely impact stormwater collection and conveyance; and

vi. The design alternate is deemed reasonable due to one or more of the following:

- a. Given the existing physical environment, including but not limited to the following, compliance is not physically feasible;
 - i. An existing building would impede roadway expansion; or
 - ii. Transitioning from a different street section; or
- b. The burden of compliance is not reasonable given the size of the site or intensity of the development.

ACCORDINGLY, based on the foregoing FINDINGS OF FACT and CONCLUSIONS OF LAW, the Commission hereby grants the Design Alternate Requests, as set forth above.

February 3, 2023

This the ____ day of February, 2023.

Represented by

Chris Roberts
AC Chair

-4-



McADAMS

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PHONE: 919.833.7755

**WEST END II
ADMINISTRATIVE SITE REVIEW
400 S WEST STREET
RALEIGH, NC**



REVISIONS

NO.	DATE	1ST RESPONSE TO ASR COMMENTS
1.	2023.11.07	1ST RESPONSE TO ASR COMMENTS
2.	2023.01.20	2ND RESPONSE TO ASR COMMENTS
3.	2023.03.14	3RD RESPONSE TO ASR COMMENTS

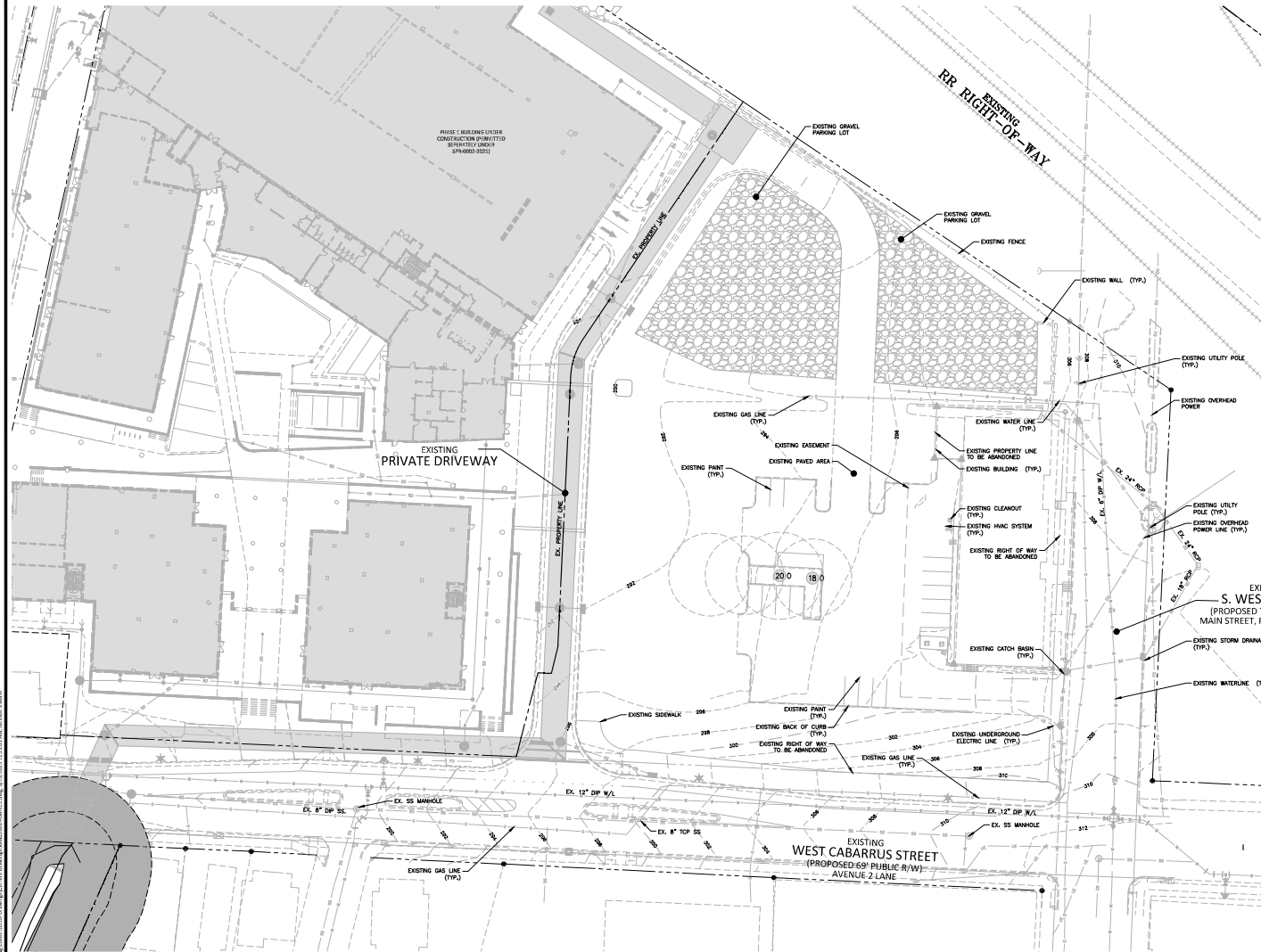
PLAN INFORMATION

PROJECT NO. KAN21002
FILENAME KAN220001-ASR-N1
CHECKED BY JLB
DRAWN BY JCS
SCALE N/A
DATE 08.19.2022

SHEET

**FORMS AND
APPLICATIONS**

C0.01



LEGEND

●	EXISTING IRON PIPE	⊕	ACCESSIBLE PARKING
○	IRON PIPE SET	⊕	IRRIGATION CONTROL VALVE
▲	CALCULATED POINT	⊕	FLOOD LIGHT
⊕	BORE HOLE	⊕	MAIL BOX
⊕	SANITARY SEWER MANHOLE	⊕	MONITORING WELL
⊕	SANITARY SEWER CLEANOUT	⊕	SIAMOSE CONNECTION
⊕	WATER VALVE	⊕	SIGN
⊕	WATER METER	⊕	WELL
⊕	FIRE HYDRANT	⊕	WATER MANHOLE
⊕	TELEPHONE PEDESTAL	⊕	LIGHT SINGLE
⊕	TELEPHONE MANHOLE	⊕	LIGHT DOUBLE
⊕	ELECTRIC BOX	⊕	CABLE BOX
⊕	LIGHT POLE	⊕	FIBER OPTIC VAULT
⊕	POWER POLE	⊕	SPRINKLER HEAD
⊕	CURB INLET	—SD—	STORM DRAIN PIPE
⊕	STORM DRAINAGE MANHOLE	—OU—	OVERHEAD UTILITY LINES
⊕	YARD INLET	—W—	WATER LINE
⊕	AIR CONDITIONER	—SS—	SANITARY SEWER LINE
XXXX	ADDRESS BOX	—T—	TELEPHONE LINE
●	BOLLARD	—G—	GAS LINE
⊕	FIRE CONNECTION	—UE—	UNDERGROUND ELECTRIC
⊕	FIBER OPTIC MARKER	—UT—	UNDERGROUND TELEPHONE
⊕	GREASE PIT	—X—	FENCE LINE

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PHONE: 919.833.7755

WEST END II ADMINISTRATIVE SITE REVIEW 400 S WEST STREET RALEIGH, NC

REVISIONS

NO.	DATE	DESCRIPTION
1.	2022.11.07	1ST RESPONSE TO ASR COMMENTS
2.	2023.01.20	2ND RESPONSE TO ASR COMMENTS
3.	2023.01.14	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION

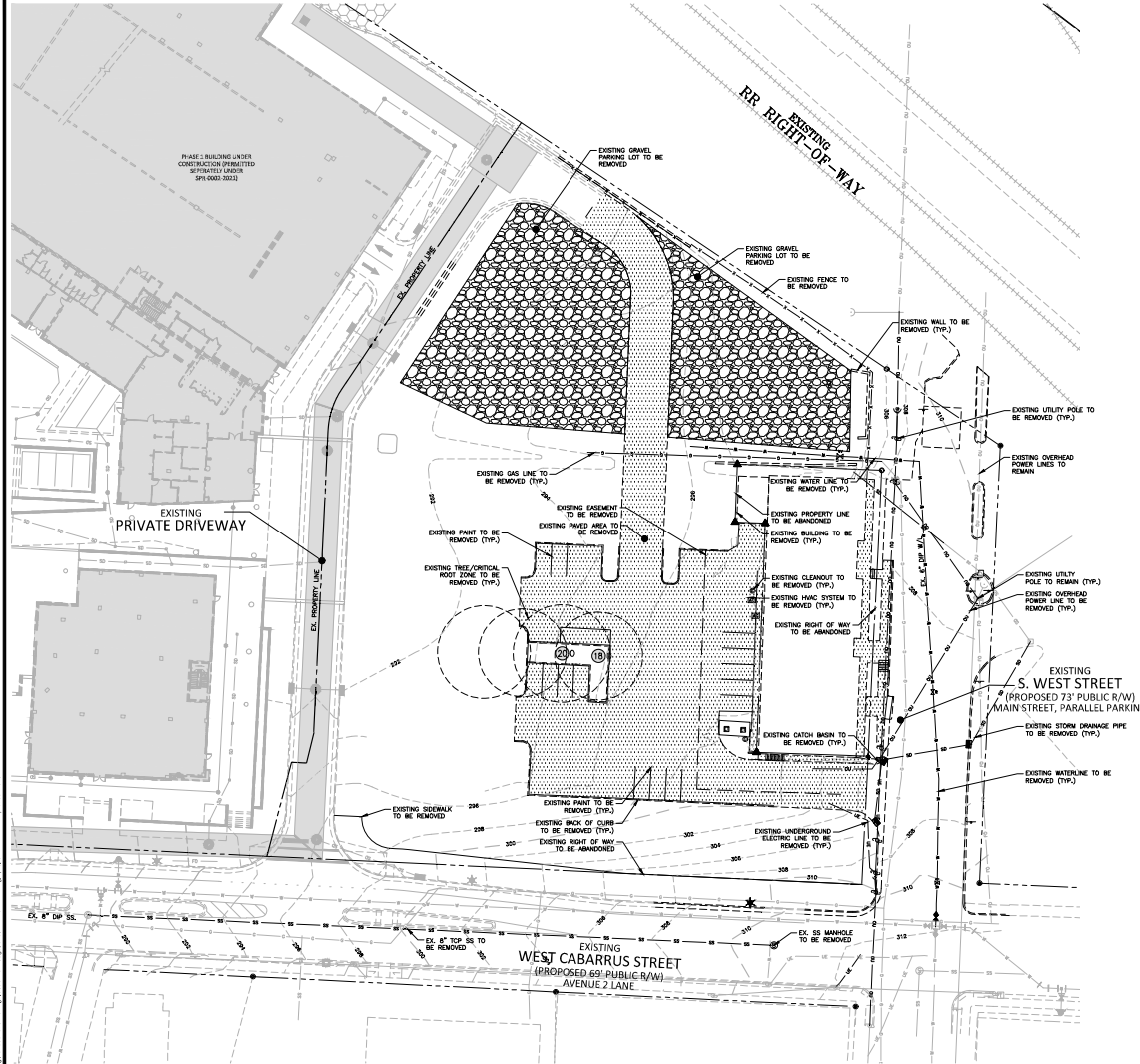
PROJECT NO.	KAN21002
FILENAME	KAN21002-ASR-XCL
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	1"=30'
DATE	08.19.2022

EXISTING CONDITIONS
C1.00

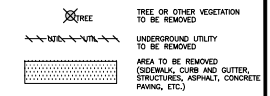
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



DEMOLITION LEGEND



NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



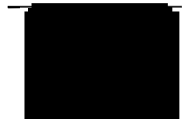
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WEST END II ADMINISTRATIVE SITE REVIEW 400 S WEST STREET RALEIGH, NC



REVISIONS

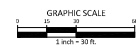
NO.	DATE	DESCRIPTION
1.	2022.11.07	1ST RESPONSE TO ASR COMMENTS
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3.	2023.01.14	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION

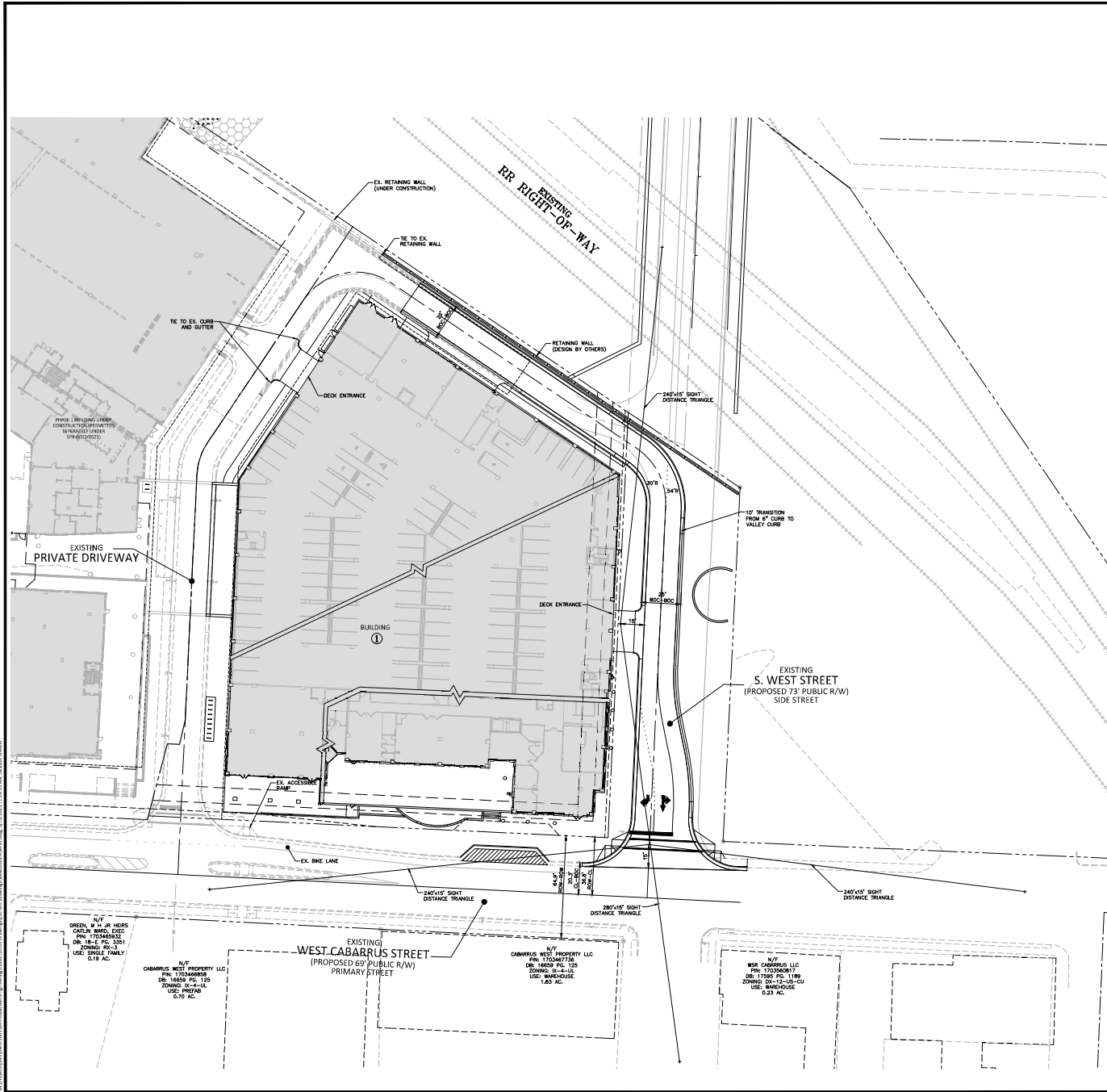
PROJECT NO. KAN21002
FILENAME KAN21002-ASR-DM1
CHECKED BY JLB
DRAWN BY JCS
SCALE 1"=30'
DATE 08.19.2022
SHEET

DEMOLITION PLAN C1.01

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

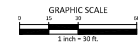


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



SITE LEGEND	
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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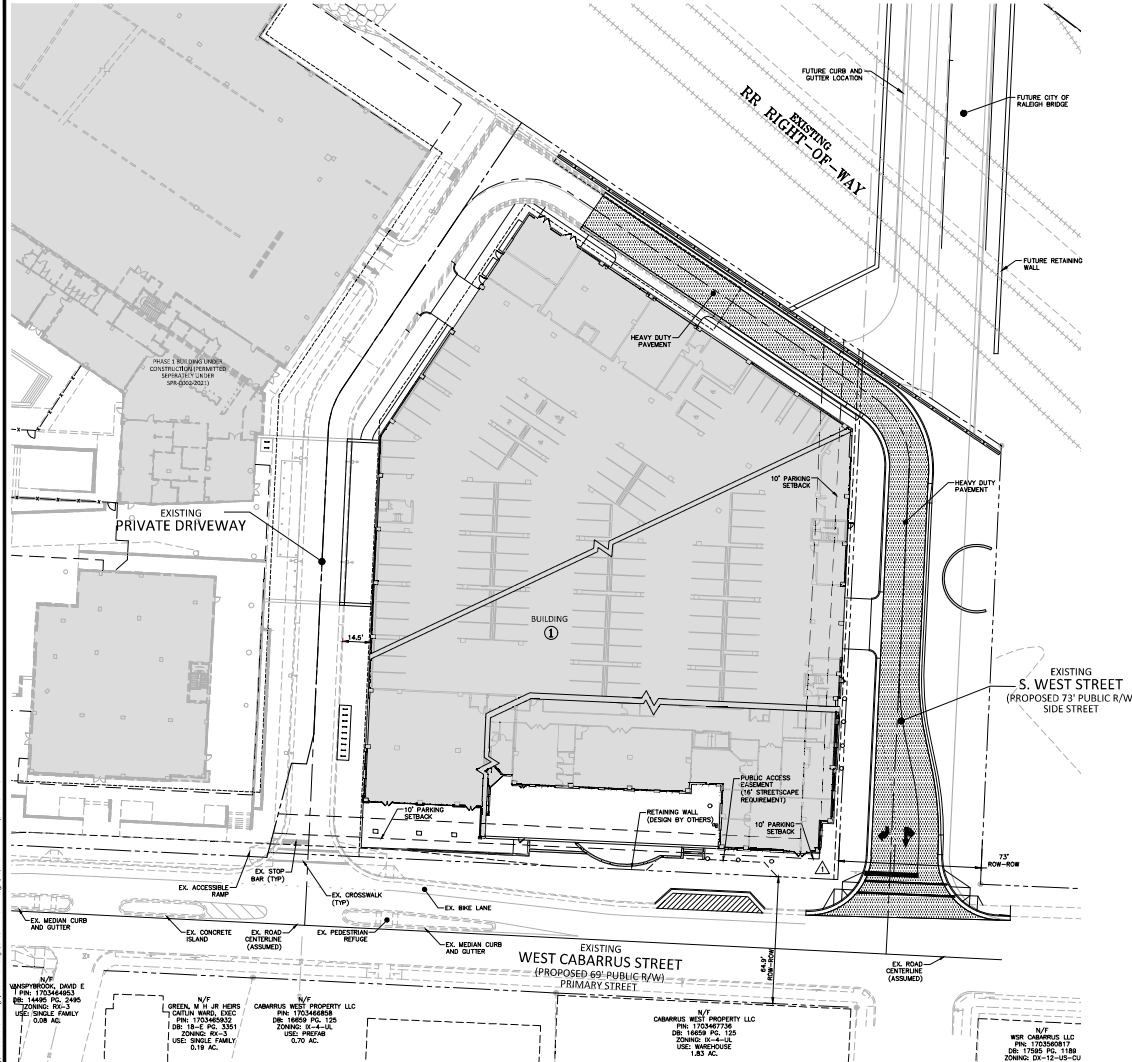
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3.	2023.01.14	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION	
PROJECT NO.	KAN21002
FILENAME	KAN21002-ASR-S1
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	1"=30'
DATE	08.19.2022

SIGHT DISTANCE TRIANGLE PLAN C2.01



SITE LEGEND	
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE

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WEST END II ADMINISTRATIVE SITE REVIEW 400 S WEST STREET RALEIGH, NC

REVISIONS		
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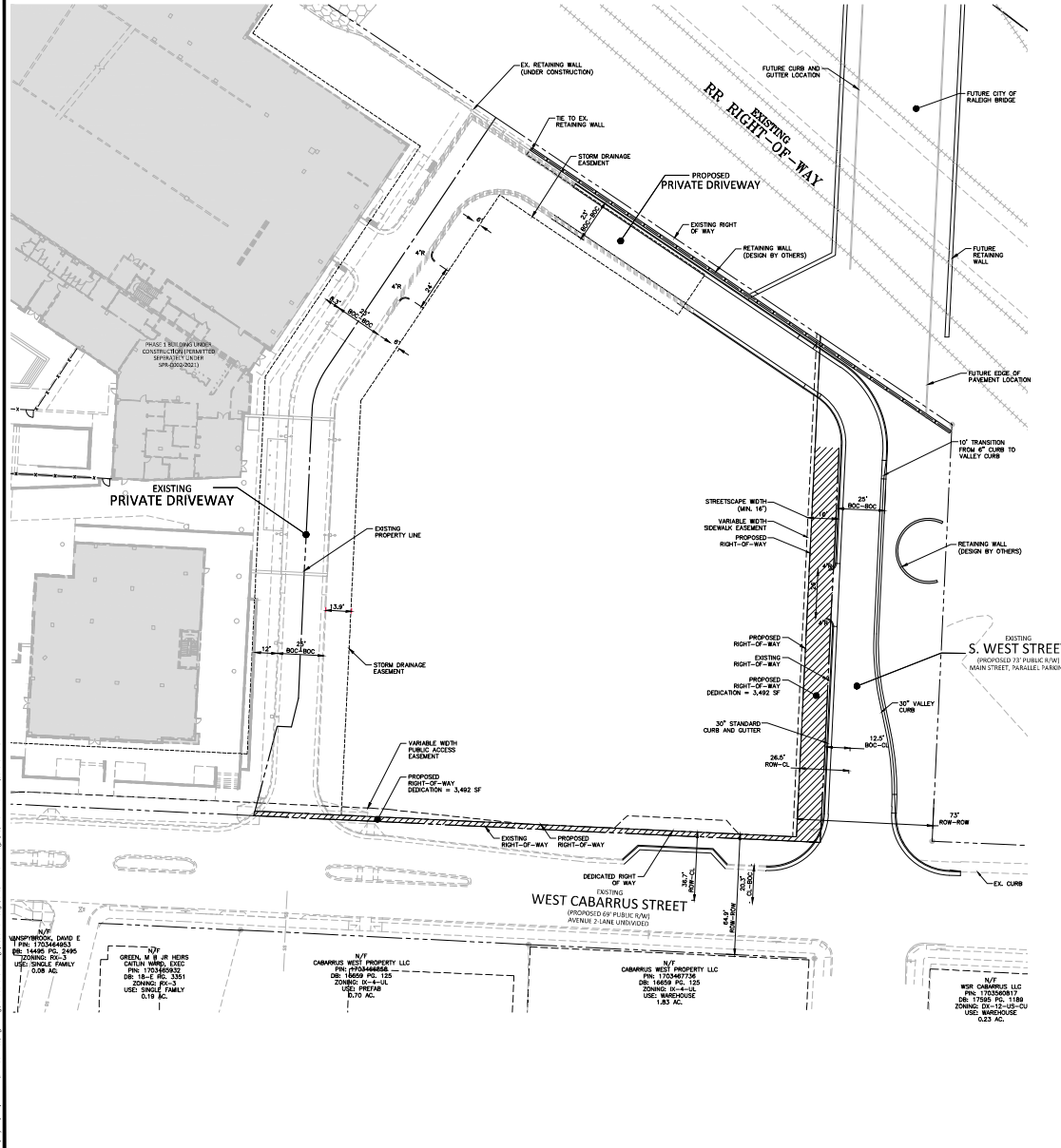
PLAN INFORMATION	
PROJECT NO.	KAN21002
FILENAME	KAN21002-ASR-S1
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	1"=30'
DATE	08.19.2022
SHEET	

**PAVEMENT PLAN
C2.02**

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT CITY OF
RALEIGH ENGINEERING DESIGN AND
CONSTRUCTION STANDARDS



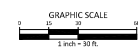
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



SITE LEGEND	
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	RIGHT-OF-WAY DEDICATION

SITE DATA	
PHYSICAL ADDRESS:	400 & 305 WEST STREET, RALEIGH NORTH CAROLINA 27601
PARCEL PIN:	1100477026, 1700481118
ZONING:	DC-7 UL
OVERLAY DISTRICT:	NONE
VALUABLES:	NO VALUABLES
SITE AREA:	GROSS: 90,504 SF / 2.07 AC NET: 66,832 / 1.99 AC (3,492 SF OF R/W DEDICATION)
FLOODWAY/DOCKPLAIN:	NONE
PROPOSED USES:	MIXED USE BUILDING WITH MULTI-LEVEL PARKING FACILITY, RETAIL, AND RESIDENTIAL
BUILDING DATA:	RESIDENTIAL: 241 TOTAL UNITS, 187 1-BEDROOM, 54 2-BEDROOM, 53 3-BEDROOM RETAIL: 4,882 SF PARKING DECK: 123,462 SF TOTAL: 206,462 SF REQUIRED: 271 TOTAL SPACES (156 STANDARD) (5 CONTRACT) (8 ADA & 2 VAN) (40 CV)
PARKING DATA:	VEHICLE PARKING: RESIDENTIAL UNITS: 0 SPACES (PER UDO SEC. 7.3.3.3.1.A) (413 MAX.) RETAIL: 0 SPACES (PER UDO SEC. 7.3.3.3.1.A) (23 MAX.) OVERALL REQUIRED PARKING: 0 SPACES (888 MAX. 413 + 23) PROPOSED: 271 TOTAL SPACES (156 STANDARD) (5 CONTRACT) (8 ADA & 2 VAN) (40 CV) ACCESSIBLE PARKING: REQUIRED: 7 SPACES 2 VAN 10 SPACES (8 ADA SPACES & 2 VAN) BIKE PARKING: REQUIRED: 44 LONG TERM SPACES; 17 SHORT TERM SPACES RETAIL: LONG TERM: 0 SPACES (MINUS) SHORT TERM: 4 SPACES (17,000 SF, 4 MIN.) RESIDENTIAL: LONG TERM: 44 SPACES (17 BEDROOMS) SHORT TERM: 13 SPACES (17,000 UNIT SP, 4 MIN.) PROPOSED: 44 LONG TERM SPACES; 18 SHORT TERM SPACES
BUILDING & PARKING SETBACKS:	BUILD-TO: REQUIRED: CARABARRUS STREET (PRIMARY STREET): 100.50' (50' OF 281.30') WEST STREET (PRIMARY STREET): 140.95' (106' OF 281.30') PROVIDED: CARABARRUS ST (PRIMARY STREET): 115.8' (115.80' / 287.30' + 40.74') WEST ST (PRIMARY STREET): 228.02' (1238.02' / 281.90' + 86.96') *FIRST LND SEC. 3.3.4.C.1, 30% REDUCTION OF REQ. SRN BOLD TO 100% (UP SIDEWALK) PARKING SETBACK: W CARABARRUS ST (PRIMARY STREET): 30' (VA LND SECTION 3.2.4.C.1) WEST ST (PRIMARY STREET): 30' (VA LND SECTION 3.2.4.C.1) W AB & SIDE LOT (MIN): 0' OR 5' ADDITIONAL PARKING: NO ON STREET PARKING OR VEHICULAR SURFACE AREA PERMITTED BETWEEN THE BUILDINGS AND THE STREET LIMITATIONS: PRIMARY STREET FACING ENTRANCE REQUIRED: YES PEDESTRIAN ACCESS: 1.38 AC (53,448 SF) PROPOSED IMPROVISED ALLOCATION: 1.99 AC (86,812 SF) BUILDING HEIGHT: MAXIMUM ALLOWED: 7 STORIES (PRINCIPAL BUILDING) PROPOSED: 7 STORIES (67'-4.13') REQUIRED BUILDING/STRUCTURE SETBACKS: FROM PRIMARY STREET (MIN): 5' FROM SIDE STREET (MIN): 5' OR 6' FROM SIDE LOT LINE (MIN): 5' OR 6' FROM ALLEY: 5' PROVIDED BUILDING/STRUCTURE SETBACKS: FROM PRIMARY STREET: 5' FROM SIDE STREET (MIN): 5' REQUIRED FLOOR HEIGHTS: GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN): 13' UPPER STORY HEIGHT, FLOOR TO FLOOR (MIN): 9' PROVIDED FLOOR HEIGHTS: GROUND STORY HEIGHT, FLOOR TO FLOOR: 13' UPPER STORY HEIGHT, FLOOR TO FLOOR: 9' TREE CONSERVATION: REQUIRED: 16,615 SF (13.3% OF LOT X AREA) PROPOSED: NO QUALIFYING TREES OUTDOOR AMENITY AREA: REQUIRED: 0.68' (9' (20 AC)) 0.19 ACRES (848.58' (10' OF 1.99 ACRES)) PROVIDED: 8,698 SF (6.20 AC) AMENITY AREA ON GRADE: 5,334 SF AMENITY AREA ON PEDIUM: 1,364 SF

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McADAMS
The John R. McAdams Company, Inc.
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fax 919. 361. 2269
license number: C-02953, C-187
www.mcadamsco.com

CLIENT
KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVE, SUITE 250
RALEIGH, NORTH CAROLINA 27609
PHONE: 919.833.7755

WEST END II
ADMINISTRATIVE SITE REVIEW
400 S WEST STREET
RALEIGH, NC

REVISIONS		
NO.	DATE	DESCRIPTION
1.	2022.11.07	1ST RESPONSE TO ASR COMMENTS
2.	2023.01.20	2ND RESPONSE TO ASR COMMENTS
3.	2023.01.14	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION
PROJECT NO. KAN21002
FILENAME KAN22003-ASR-51
CHECKED BY JLB
DRAWN BY JCS
SCALE 1"=30'
DATE 08.19.2022

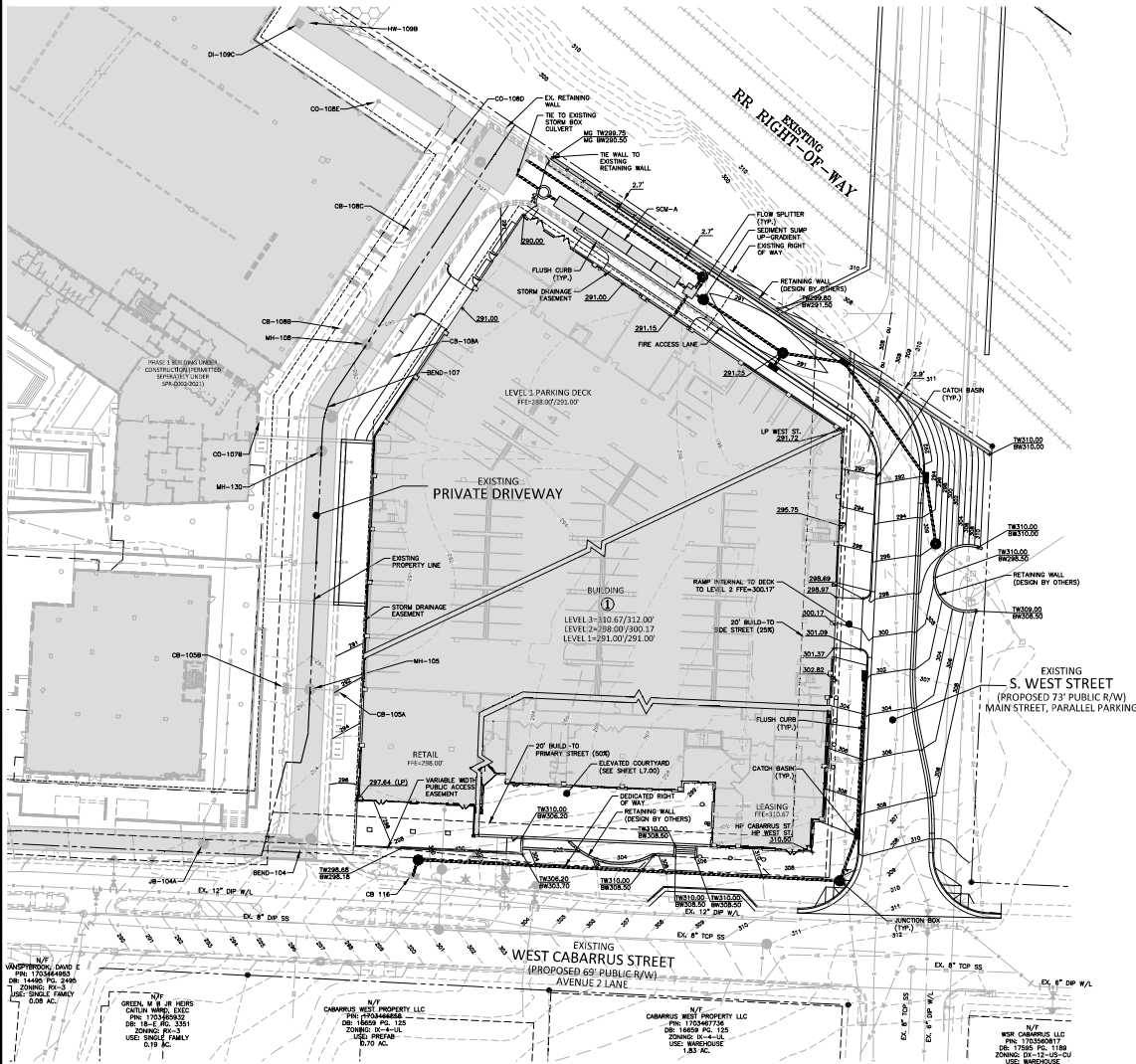
EASEMENT AND ROW PLAN
C2.03

BUILDING #1 AVERAGE GRADE PLANE

	HIGH	LOW	AVERAGE
WEST CABARRUS STREET	330.50	297.64	304.07
S. WEST STREET	330.50	293.72	305.11

GRADING LEGEND

- FLARED END SECTION
- CHWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
- NON-PERFORATED TUBING OR EQUAL, 1.0% MIN. SLOPE 3' MIN. COVER (PVC SCHEDULE 40 IN TRAFFIC AREAS)
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE



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WEST END II
 ADMINISTRATIVE SITE REVIEW
 400 S WEST STREET
 RALEIGH, NC

- REVISIONS**
- | | | |
|-----|------------|------------------------------|
| NO. | DATE | DESCRIPTION |
| 1. | 2022.11.07 | 1ST RESPONSE TO ASR COMMENTS |
| 2. | 2023.01.20 | 2ND RESPONSE TO ASR COMMENTS |
| 3. | 2023.01.14 | 3RD RESPONSE TO ASR COMMENTS |

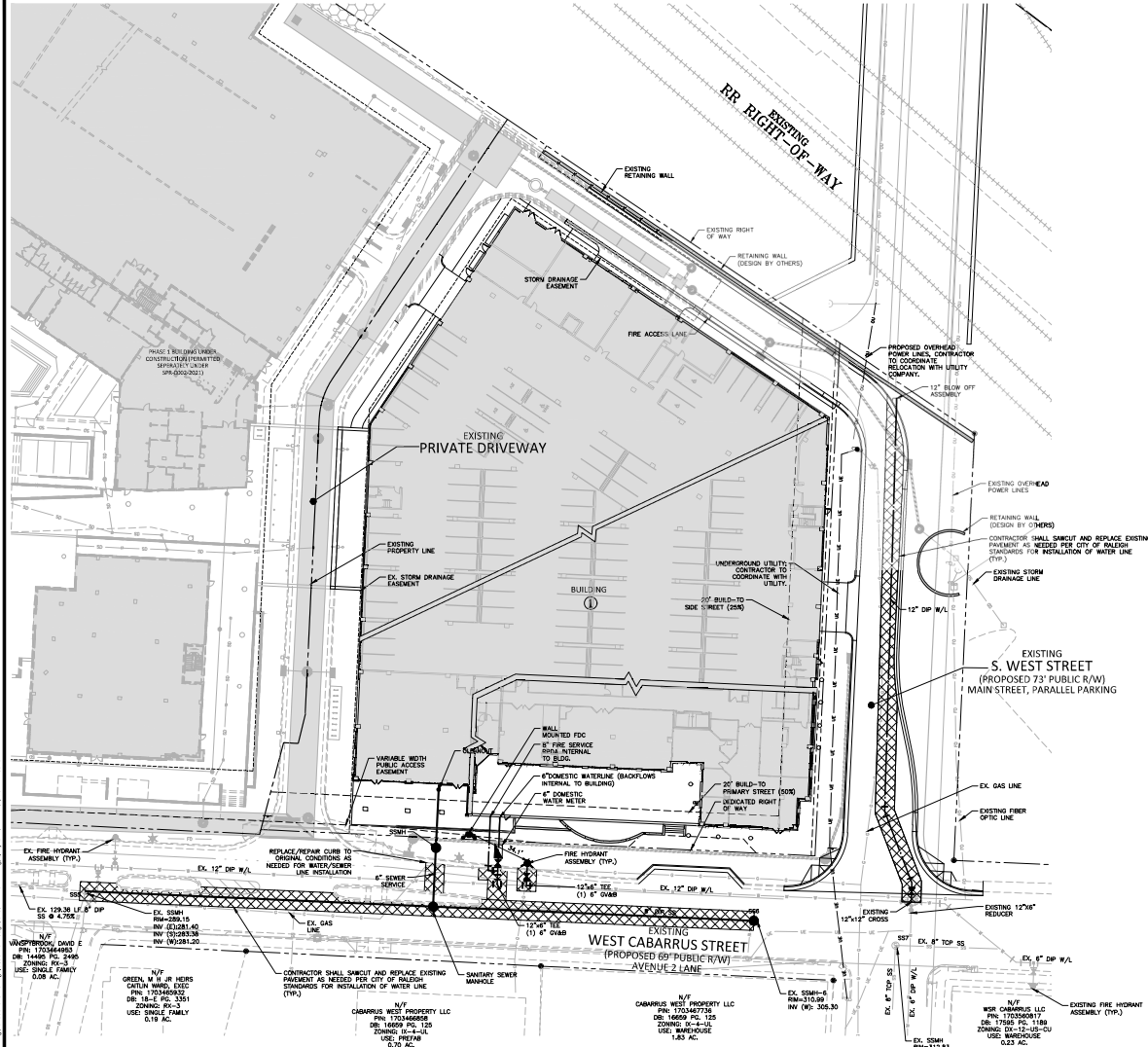
PLAN INFORMATION

PROJECT NO. KAN21002
 FILENAME KAN21002-ASR-01
 CHECKED BY JLB
 DRAWN BY JCS
 SCALE 1"=30'
 DATE 08.19.2022

SHIELD
GRADING & STORM DRAINAGE PLAN
C3.00



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



UTILITY LEGEND	
	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE



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WEST END II
ADMINISTRATIVE SITE REVIEW
400 S WEST STREET
RALEIGH, NC

REVISIONS		
NO.	DATE	DESCRIPTION
1.	2022.11.07	1ST RESPONSE TO ASR COMMENTS
2.	2023.01.20	2ND RESPONSE TO ASR COMMENTS
3.	2023.01.14	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION	
PROJECT NO.	KAN21002
FILENAME	KAN21002-ASR-U1
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	1"=30'
DATE	08.19.2022
SHEET	

OVERALL UTILITY PLAN
C4.00

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT CITY OF
RALEIGH ENGINEERING DESIGN AND
CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

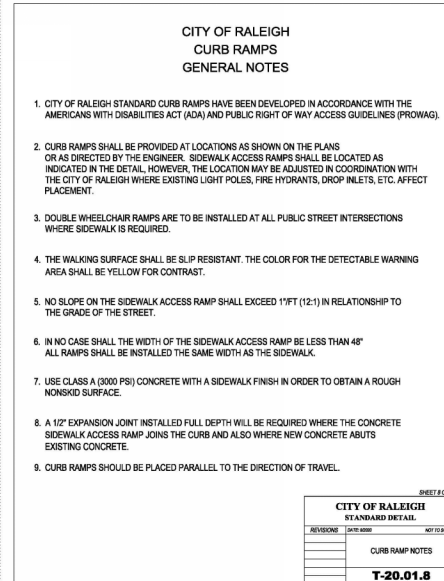
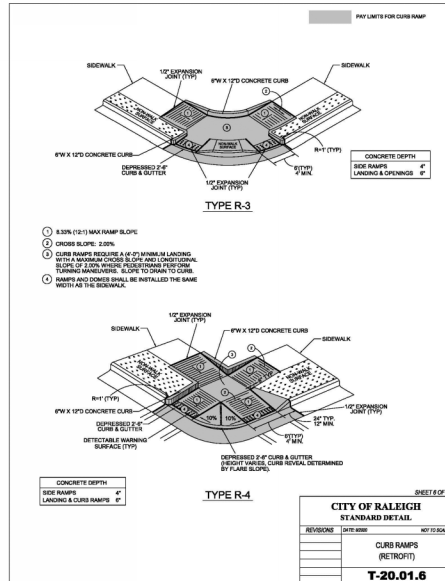
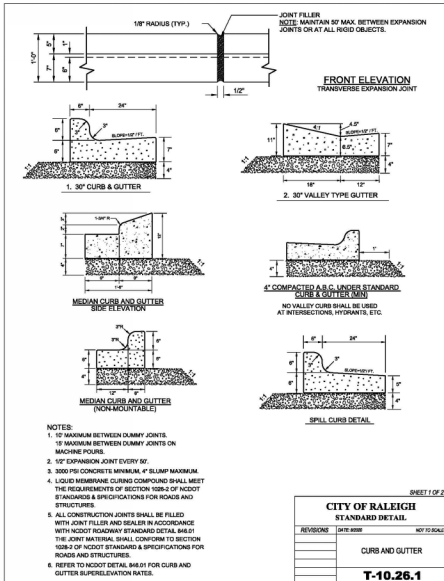
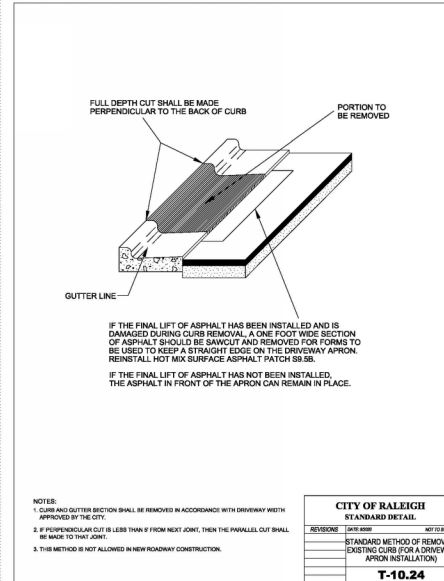
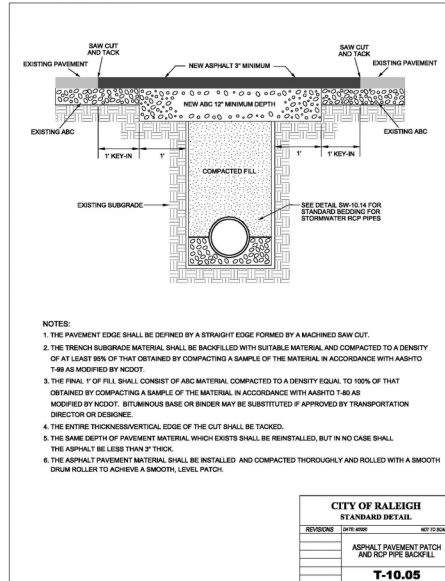
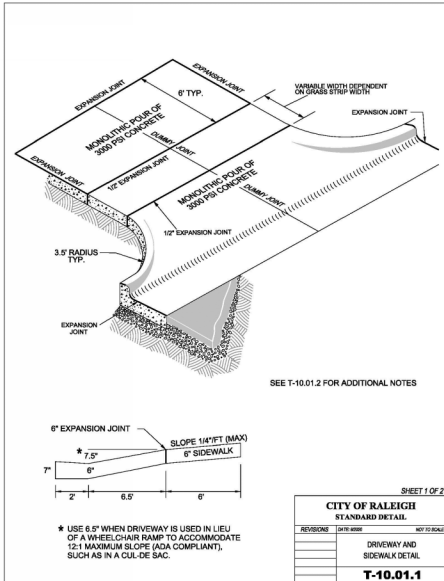
REVISIONS			
NO.	DATE	BY	DESCRIPTION
1.	2022.01.07	JLB	1ST RESPONSE TO ASR COMMENTS
2.	2023.01.20	JCS	2ND RESPONSE TO ASR COMMENTS
3.	2023.01.14	BHO	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION			
PROJECT NO.	KAN21002		
FILENAME	KAN21001.ASR.D1		
CHECKED BY	JLB		
DRAWN BY	JCS		
SCALE	N/A		
DATE	08.19.2022		
SHEET			

SITE DETAILS

C8.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





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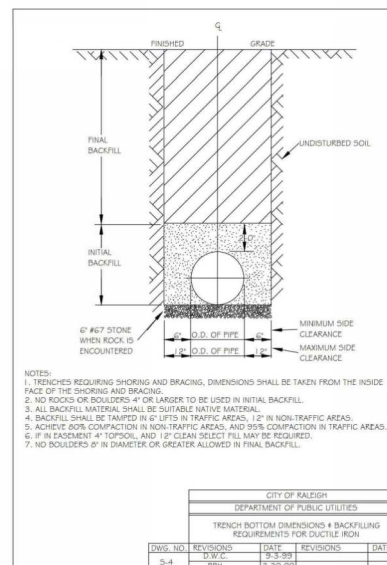
WEST END II
ADMINISTRATIVE SITE REVIEW
400 S WEST STREET
RALEIGH, NC

NO.	DATE	
1.	2022. 11. 07.	1ST RESPONSE TO ASR COMMENT
2.	2023. 01. 20.	2ND RESPONSE TO ASR COMMENT
3.	2023. 03. 14.	3RD RESPONSE TO ASR COMMENT

PROJECT NO.	KAN21002
FILENAME	KAN22001-ASR-D1
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	N/A
DATE	08.19.2022

STORM DRAINAGE DETAILS

C8.02





CLIENT

WEST END II
ADMINISTRATIVE SITE REVIEW
400 S WEST STREET
RALEIGH, NC

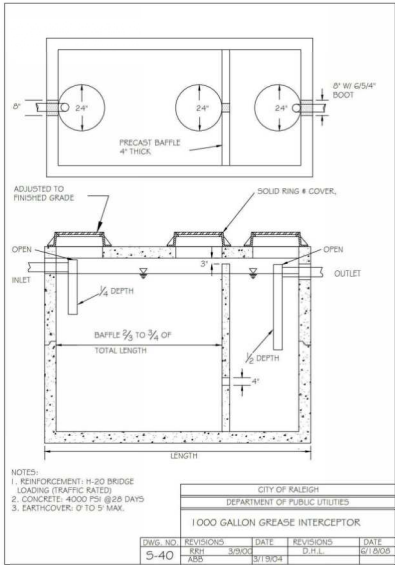
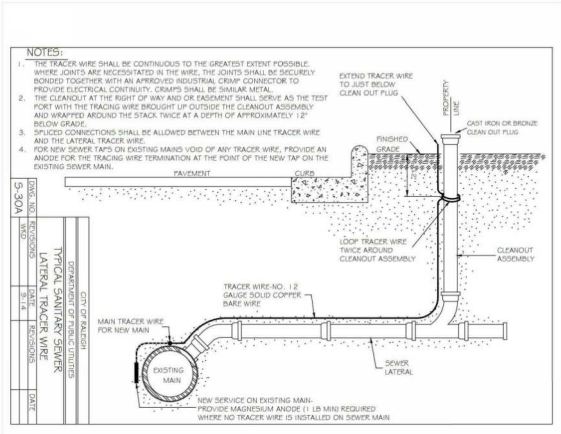
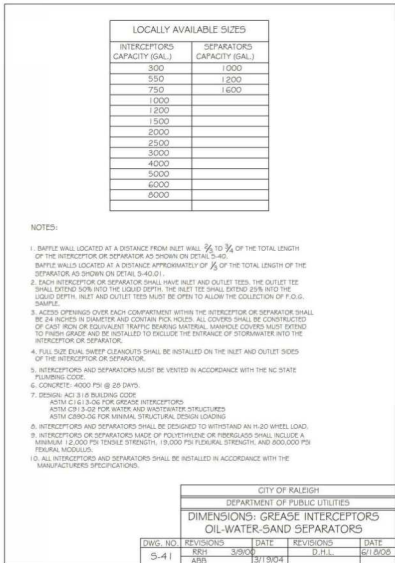
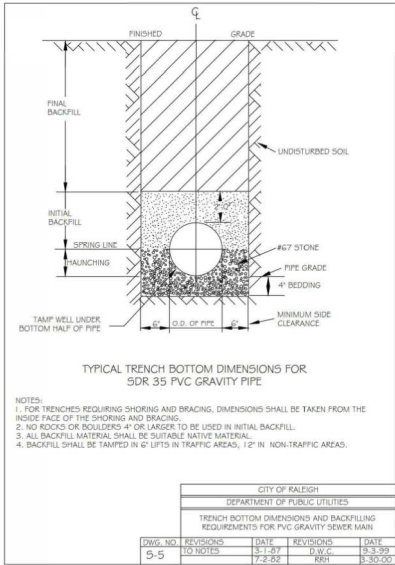
NO.	DATE	
1.	2022. 11. 07.	1ST RESPONSE TO ASR COMMENTS
2.	2023. 01. 20.	2ND RESPONSE TO ASR COMMENTS
3.	2023. 03. 14.	3RD RESPONSE TO ASR COMMENTS

PROJECT NO.	KAN21002
FILENAME	KAN22001-ASR-D1
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	N/A
DATE	08.19.2022

STORM DRAINAGE DETAILS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





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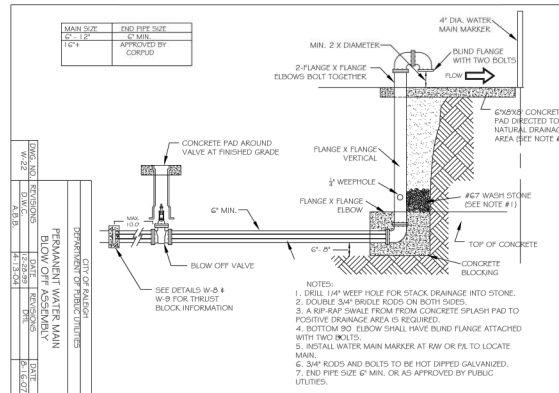
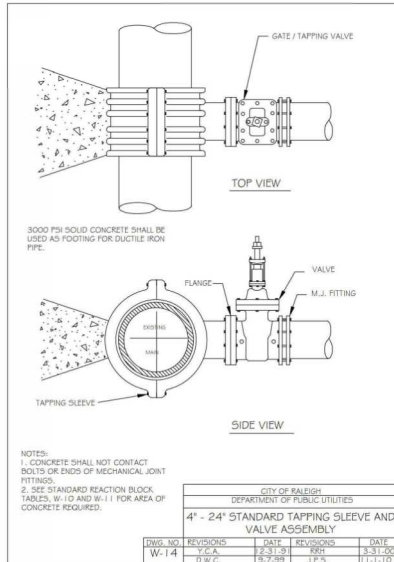
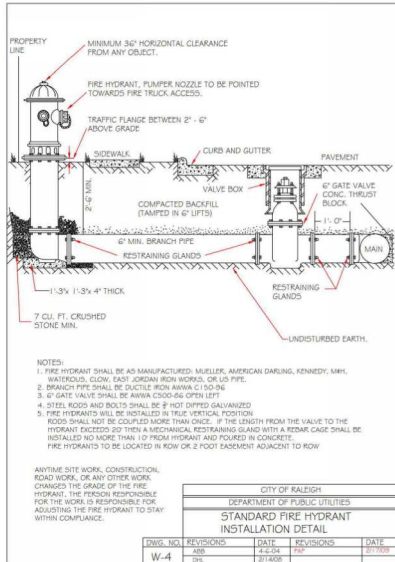
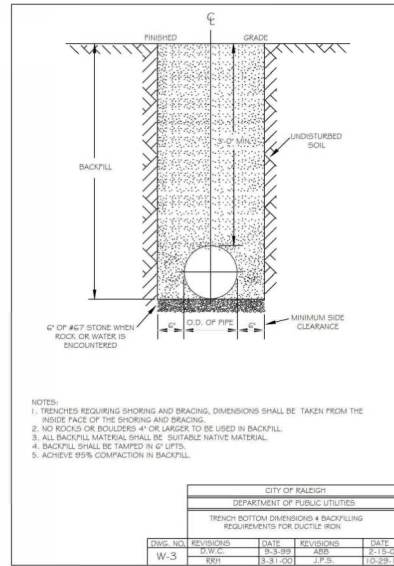
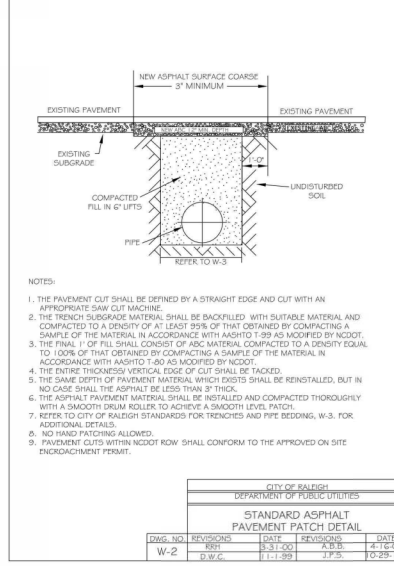
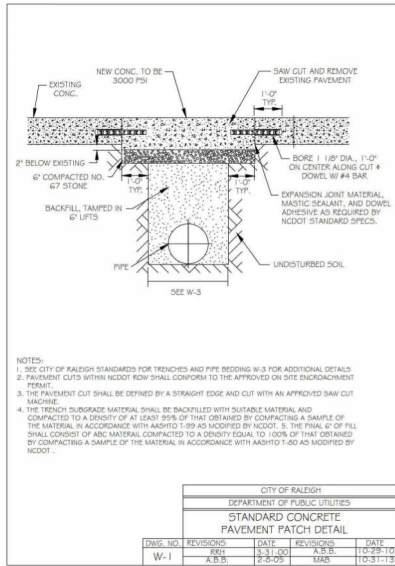
REVISIONS

NO.	DATE	DESCRIPTION
1.	2022.11.07	1ST RESPONSE TO ASR COMMENTS
2.	2023.01.20	2ND RESPONSE TO ASR COMMENTS
3.	2023.01.14	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION

PROJECT NO.	KAN21002
FILENAME	KAN21001-ASR-D1
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	N/A
DATE	08.19.2022

SHEET
SANITARY SEWER DETAILS
C8.04



REVISIONS

NO.	DATE	DESCRIPTION
1.	2022.11.07	1ST RESPONSE TO ASR COMMENTS
2.	2023.03.20	2ND RESPONSE TO ASR COMMENTS
3.	2023.04.14	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION

PROJECT NO.	KAN21002
FILENAME	KAN21001-ASR-D1
CHECKED BY	JLB
DRAWN BY	JCS
SCALE	N/A
DATE	08.19.2022

SHEET

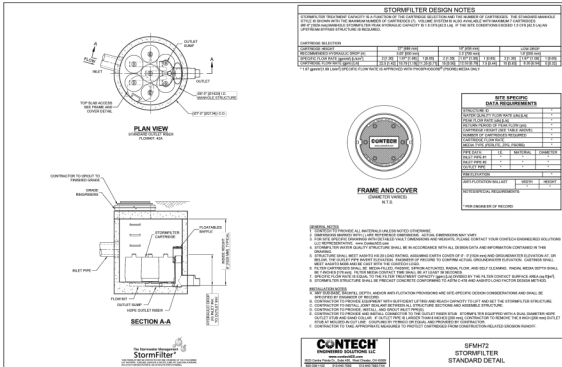
WATER DETAILS

C8.05

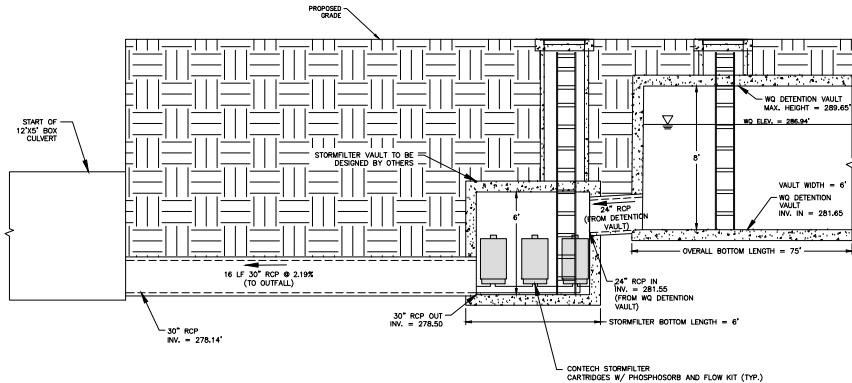
STORMWATER MANAGEMENT FACILITY 'A' CONSTRUCTION SPECIFICATIONS

GENERAL NOTES

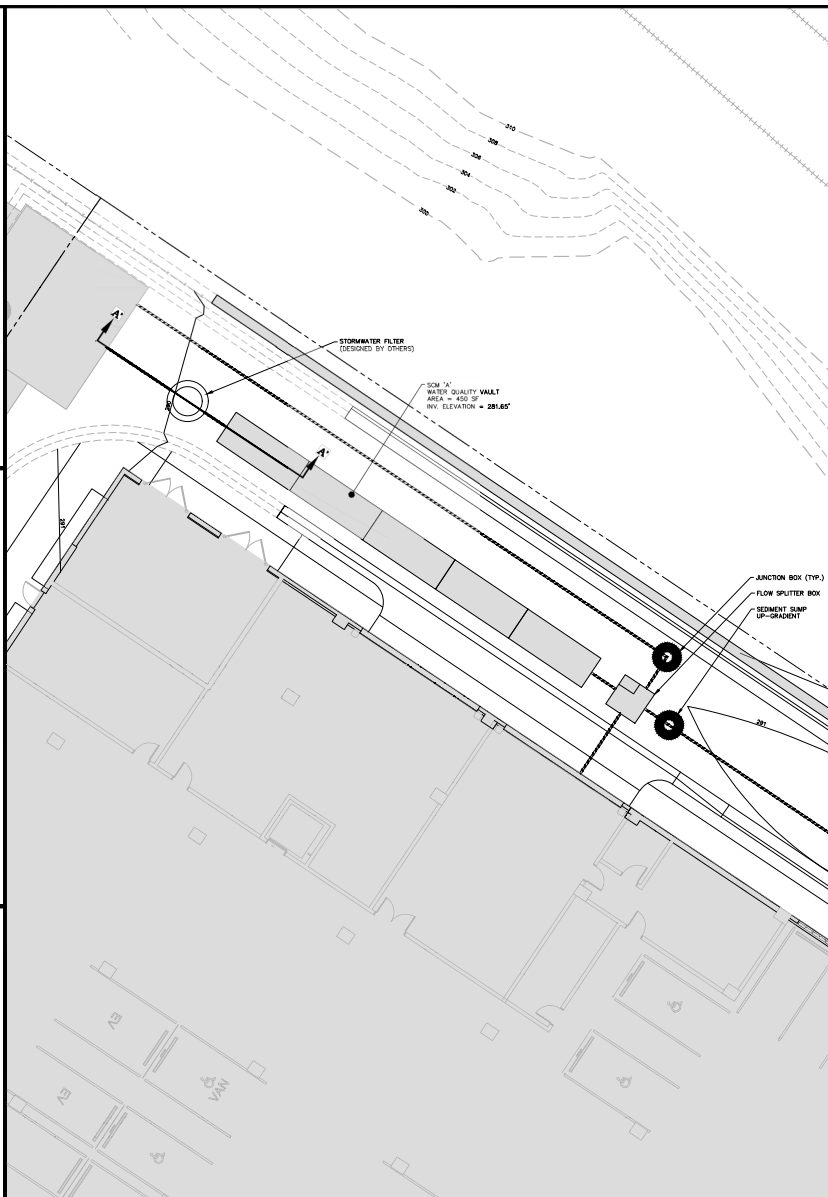
1. PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
2. PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ONSITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SCM WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SURFACE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SCM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED (TO THE ENGINEER'S AND GEOTECHNICAL ENGINEER'S APPROVAL) AT THE CONTRACTOR'S EXPENSE.
3. THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (I.E. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
4. PRIOR TO PLACING STORMFILTER CARTRIDGES WITHIN THE UNDERGROUND SYSTEM, THE CONTRACTOR SHALL REQUEST AN ONSITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO ENSURE THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED (I.E. GOOD VEGETATIVE COVER). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL EXCAVATE/REPLACE, AS NECESSARY, THE COMPONENTS NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT THIS /HER OPENING SHOULD THE STORMFILTER CARTRIDGES NOT FUNCTION PROPERLY (I.E. WILL NOT DRAIN DUE TO SEDIMENT DISPOSITION) DUE TO AN UNSTABILIZED UPSTREAM DRAINAGE AREA.
5. ONCE CONSTRUCTED, THE STORMFILTER CARTRIDGES SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE UNDERGROUND SYSTEM HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
6. ALL COMPONENTS OF THE UNDERGROUND SCM SYSTEM (STORMFILTER VAULT, JOINT / RISER CONNECTIONS, FLOCSAPS, ACCESS MAN-HOLES, ETC.) SHALL BE DESIGNED BY OTHERS. ANY VARIATIONS OR CHANGES MADE FROM THESE SPECIFICATIONS AND DRAWINGS DURING THE ORDERING AND/OR INSTALLATION OF ALL COMPONENTS MUST BE APPROVED BY THE DESIGN ENGINEER. THE STRUCTURAL DESIGN OF THE UNDERGROUND SCM, ALONG WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. MCADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SCM SYSTEM.
7. ALL PIPE / RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE UNDERGROUND SCM SYSTEM SHALL BE WATER TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
8. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE UNDERGROUND SCM SYSTEM SITE. IF IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY FOR THE EXCAVATION AREAS DURING PLACEMENT OF FILL WITHIN THIS AREA (OR OTHER AREAS AS NECESSARY), THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE SLICK DURING ENGINEER WALK-THROUGH INSPECTION.
10. ALL PIPE PENETRATIONS THROUGH A CONCRETE OR CMP STRUCTURE (I.E. STORMFILTER CARTRIDGE / DETENTION SYSTEM, STORM DRAINAGE MANHOLES, ETC.) SHALL BE MADE WATERTIGHT USING NON-SHRINK CEMENTITIOUS GROUT.
11. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
12. STORM STRUCTURES IMMEDIATELY UPSTREAM OF THE CMP STORAGE PIPES MUST HAVE A MINIMUM 2-FOOT DEEP SEDIMENT STORAGE SURGE.



STORMFILTER VAULT
NTS

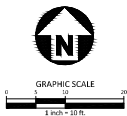


CROSS SECTION A-A'
N.T.S.



STORMWATER MANAGEMENT FACILITY 'A' PLAN VIEW

1" = 10'



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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WEST END II
ADMINISTRATIVE SITE REVIEW
400 S WEST STREET
RALEIGH, NC

REVISIONS

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3.	2023.01.14	3RD RESPONSE TO ASR COMMENTS

PLAN INFORMATION

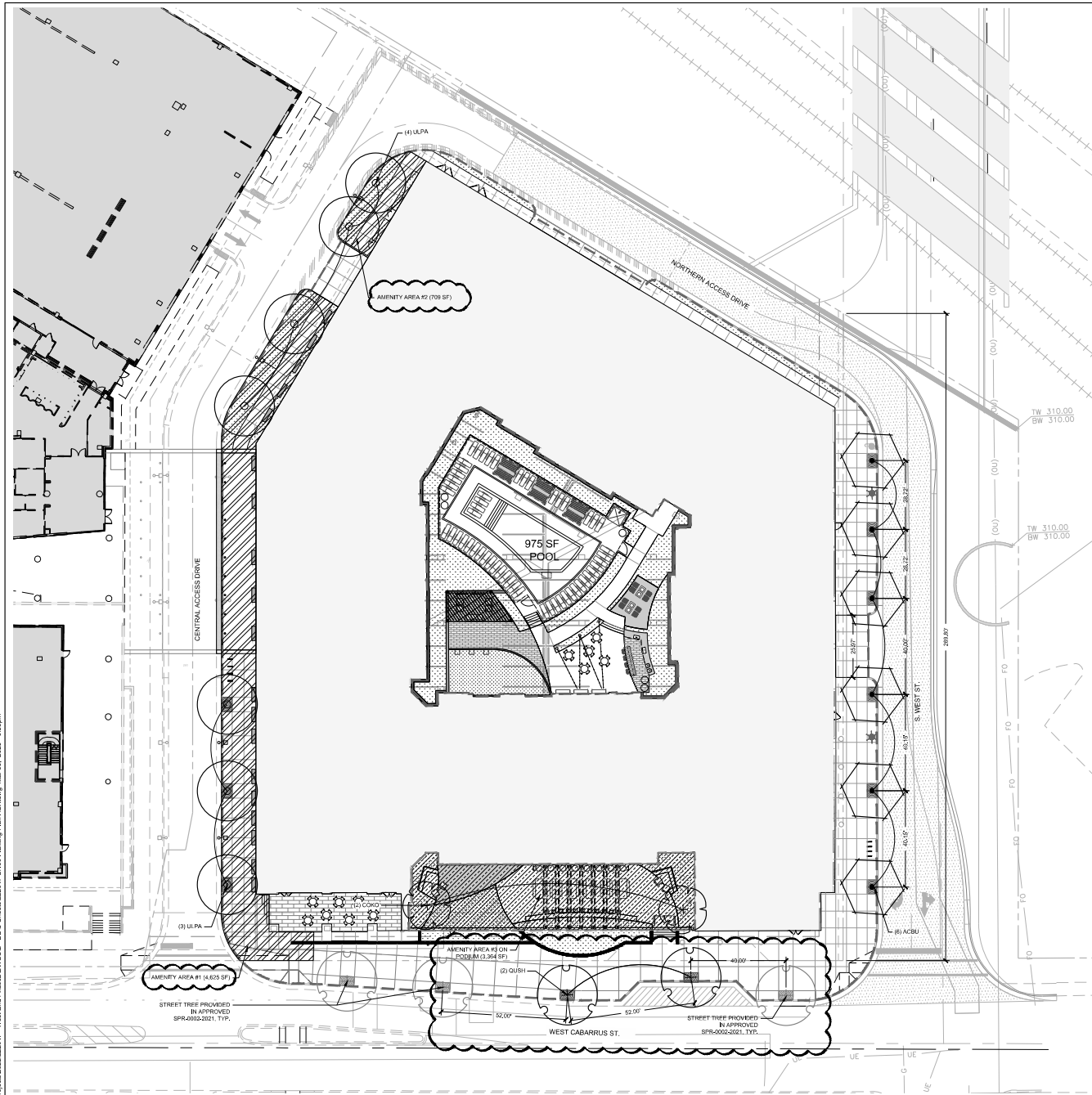
PROJECT NO. KAN21002
FILENAME KAN21001-ASR-SW
CHECKED BY JLB
DRAWN BY JCS
SCALE 1"=10'
DATE 08.19.2022

SHEET

STORMWATER CONTROL
MEASURE 'A' PLAN VIEW

C9.00

L:\Projects\2024\22047 - West End Phase\DWG\DWG22047-1-00 Planting Plan ASP.dwg, Mar 05, 2023 - 6:58am



LANDSCAPE NOTES:

1. VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
2. LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
3. THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE LANDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
4. LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.
5. ALL TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
6. TREE PROTECTION NOTE: TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE, OR EXCAVATION OF A GRADING PROJECT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TREE PASSING TREE PROTECTION AREA PROHIBIDO ENTRAR" / "ZONA PROTECTORA PARA LOS ARBOLES".
7. PROTECTION OF EXISTING VEGETATION AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRASS AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TREE PASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
8. ROOT ZONE PROTECTION AREA: VARIES BASED ON LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
9. SEED BED PREPARATION: ALL AREAS TO BE SEEDBED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. ALL DEBRIS, ROCKS, ETC. LARGER THAN 1/4" ARE TO BE REMOVED. ALL LARGE CONCENTRATIONS OF GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.
10. ALL PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.
11. SOIL SHOULD BE TESTED AND AMENDED WITH LIME AND FERTILIZER FOR HARDWOOD TREES ACCORDING TO NCDA PROCEDURES. SCARIFY PLANT PIT WALLS. CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE COMPLIANCE.
12. SWEETWOOD HARDWOOD MULCH 1" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE AT CROWN SHOULD BE REVEALED. BACKFILL CONSISTS OF THOROUGHLY BROKEN UP NATIVE SOIL. TOTAL VOLUME OF BACKFILL SHOULD BE AMOUNTED WITH UP TO ONE THIRD FINE BARK MULCH. TREES SHOULD BE NO LARGER THAN WHAT PASSES THROUGH A ONE INCH SIEVE. IF ADDITIONAL SOIL IS REQUIRED FOR BACKFILL DUE TO DETRIMENTAL SUBSOIL DRAINAGE CONDITIONS, USE SOIL SIMILAR TO EXISTING NATIVE SOIL. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SLOTER HEIGHT 6.6 INCHES.
13. TOP OF ROOTBALL TO BE RAISED 2-3 INCHES ABOVE EXISTING GRADE.
14. FOR B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TURNED DOWN BY 1/3 TOTAL HEIGHT OF ROOT BALL. PLASTIC TREE BURLAP AND WIRE BASKETS SHOULD BE REMOVED TO 2/3 OF TOTAL HEIGHT OF ROOT BALL.
15. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE WARRANTY PERIOD. IF STABILIZATION IS NECESSARY (SEE STAKING IN TREE DETAIL), GRASS FLAGGING TAPE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHOULD BE REMOVED BY CONTRACTOR AT END OF ONE YEAR WARRANTY PERIOD.
16. USE STANDARD "GATOR" BAGS FOR WATERING TREES IN AREAS NOT UNDER IRRIGATION. INCORPORATE TERRA-SCREEN (OR EQUAL) AS PER MANUFACTURER'S RECOMMENDATIONS. FOR AREAS NOT UNDER IRRIGATION.
17. USE "BIO-BARRIER" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES THAT WILL BE PLANTED WITHIN 10' OF PAVEMENT.
18. LANDSCAPING C.O. STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

PLANTING NOTES

1. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED BY LANDSCAPE ARCHITECT. STAKING IS REQUIRED FOR TREES PLANTED ON SLOPES.
2. WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, FILL IN SOIL AMENDMENTS TO A DEPTH OF 4" OVER THE ENTIRE AREA.
3. FOR CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TIPS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL AWAY ANY ROOTS CIRCULATING THE PERIMETER OF THE CONTAINER.
4. FOR FIELD GROWN TREES, CUT BURLAP, ROPE AND WIRE BASKET AWAY FROM TOP AND SIDES OF ROOT BALL.
5. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT UNPOTTED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
6. DO NOT WRAP TRUNK MARK NORTH SIDE OF TREE IN THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
7. WIDTH OF PLANTING HOLE IS 3X ROOT BALL AT THE SURFACE, SLOPING TO 2X THE ROOT BALL DIAMETER AT THE DEPTH OF THE ROOT BALL.
8. BEFORE PLANTING, ADD 3-4" OF WELL COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST AND TILL INTO TOP OF PREPARED SOIL. ADD COMPOST AT 30-35% BY VOLUME TO BACKFILL.
9. PERFORM PERCOLATION TEST FOR EACH TREE PIT TO DETERMINE THAT WATER DRAINAGE OUT OF THE PROVIDE GRAVEL SUMP FILTER PIPING & VENT PIPE IF NECESSARY. DO NOT OCCUR WITHIN 48 HOURS. INCLUDE ALL SUMPS IN BASE INS. SHOULD SUMPS NOT BE NECESSARY AFTER PERCOLATION TEST, PROVIDE CHANGE ORDER DEDUCT TO OWNER.
10. IF PLANTING HOLES ARE DUG WITH A LARGE AUGER BREAKING DOWN THE SOIL WITH A SHOVEL CAN ELIMINATE GLAZING AND CREATE THE PREFERRED SLOPING SIDE.
11. TREES SHALL HAVE SINGLE LEADERS. TREES WITH 2 LEADERS WILL BE REJECTED.
12. DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
13. PROVIDE GATOR BAGS FOR ALL TREES WHERE IRRIGATION IS NOT PROVIDED.
14. FOR ALL STREET TREES LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, 800 CUBIC FEET OF HIGH QUALITY SUBSURFACE STRUCTURAL TOP SOIL SHALL BE PLACED WITHIN THE IMMEDIATE AREA WHERE THE TREE IS TO BE PLACED PER THE CITY OF RALEIGH STREET ORDER MANUAL.
15. TREES PLANTED WITHIN THE RIGHT DISTANCE TRIANGLE MUST BE LIMBED UP 6'.

PLANTING CALCULATIONS

STREET TREE CALCULATIONS (1 TREE / 40' REQUIRED):		AMENITY AREA CALCULATIONS (10% OF TOTAL SITE AREA)	
• SOUTH WEST ST	• TOTAL SITE AREA: 8,612 SF	• REQUIRED AMENITY AREA: 8,612 SF	• REQUIRED AMENITY AREA ON GRADE: 5,324 SF
• 269.8' OF TOTAL FRONTAGE / 40' L = 6.7	• 6 TREES REQUIRED	• PROPOSED AMENITY AREA ON PODIUM: 3,288 SF	• TOTAL PROPOSED AMENITY AREA: 8,612 SF
• 6 TREES PROVIDED			
• W. CABARRUS STREET		AMENITY TREE CALCULATIONS (1 TREE / 40' REQUIRED):	
• PUBLIC STREET APPROVED SPR-2002-2021	• IN APPROVED SPR-2002-2021, TYP.	• REQUIRED AMENITY AREA: 1,702 SF	• REQUIRED AMENITY AREA: 1,702 SF
• NOTE THAT THIS PROPOSED PLAN ADJUST THE LOCATION OF TWO OF THOSE APPROVED TREES		• PROPOSED AMENITY AREA: 1,702 SF	• PROPOSED AMENITY AREA: 1,702 SF

PLANT SCHEDULE

TREE	SYMBOL	QUANTITY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	NOTES
ACBU	+	8	ACER BURGERPIPER MAPLE	86B	3 IN	14 TO 18 FT	SINGLE-STEM
COCK	+	2	CORNUS KOLBA	86B	3 IN	8 TO 10 FT	3-5 STEMS
QUST	+	2	QUERCUS SHUMARDII	86B	3.5 IN	12 TO 14 FT	
ULPA	+	7	ULMUS PARVIFOLIUS ALLEE	86B	3.5 IN	12 TO 14 FT	

AMENITY AREA - ON PODIUM AMENITY AREA - ON GRADE PLANTING AREA



STEWART
221 S. WEST ST. #1100
RALEIGH, NC 27603
T 919.980.8790
FIRM ADDRESS: 10-1001
www.stewartinc.com
PROJECT # L22047

Client:
KANE REALTY CORPORATION
4321 LASKER BL AT NORTH HILLS AVE SUITE
250 RALEIGH, NC 27609

Consultants:
MCADAMS
ONE GLENWOOD AVENUE SUITE 201
RALEIGH, NC 27609
PHONE 919.823.4300

Vicinity map:
A vicinity map showing the project location within the city of Raleigh, North Carolina.

Scale:
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SCALE: 1" = 20'

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USE FOR CONSTRUCTION

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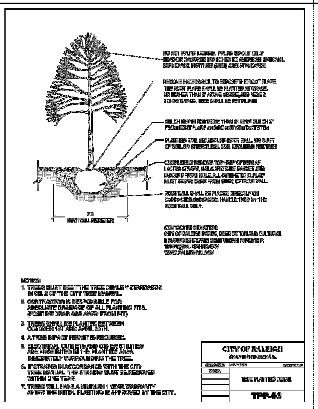
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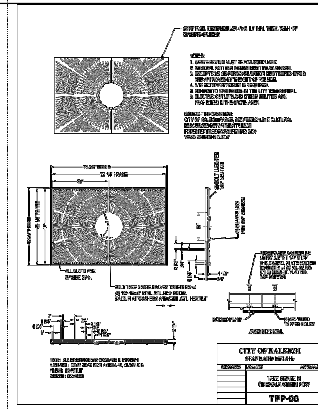
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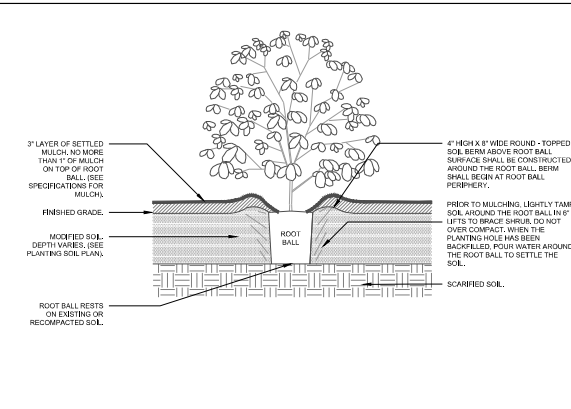
1 CITY OF RALEIGH TREE PLANTING DETAIL

NTS



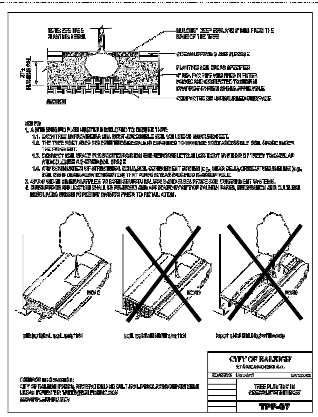
2 CITY OF RALEIGH TREE GRATE DETAIL

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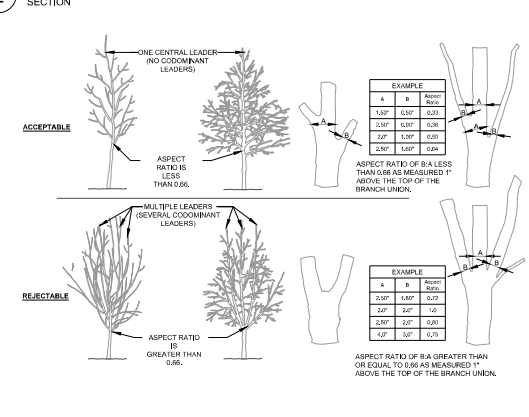
3 SHRUB (TYPICAL)

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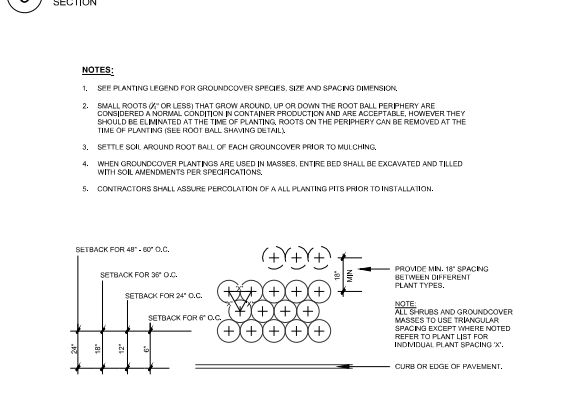
4 CITY OF RALEIGH TREE PLANTING IN SIDEWALK DETAIL

NTS



5 CROWN OBSERVATIONS - HIGH BRANCHED

NTS



6 GROUNDCOVER PLANTING (TYPICAL)

NTS

221 S. WEST ST., #1100
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TEAM LICENSE # 000001
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PHONE #919.823.4300

Vicinity map:

Scale:
PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Project:
WEST END II

Issued for:
ADMINISTRATIVE SITE
REVIEW

No.	Date	Description
1	11.06.2022	1ST CITY OF RALEIGH COMMENTS
2	01.05.2023	2ND CITY OF RALEIGH COMMENTS
3	03.13.2023	3RD CITY OF RALEIGH COMMENTS
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Title:
PLANTING & SOILS
DETAILS

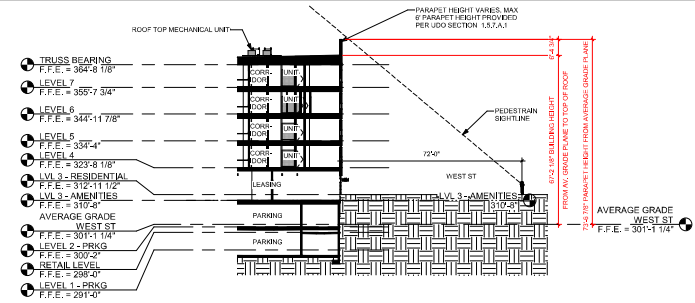
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Issued Date: 03.13.2023

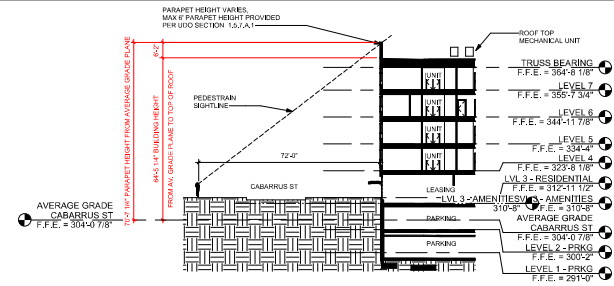
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Approved by: CR

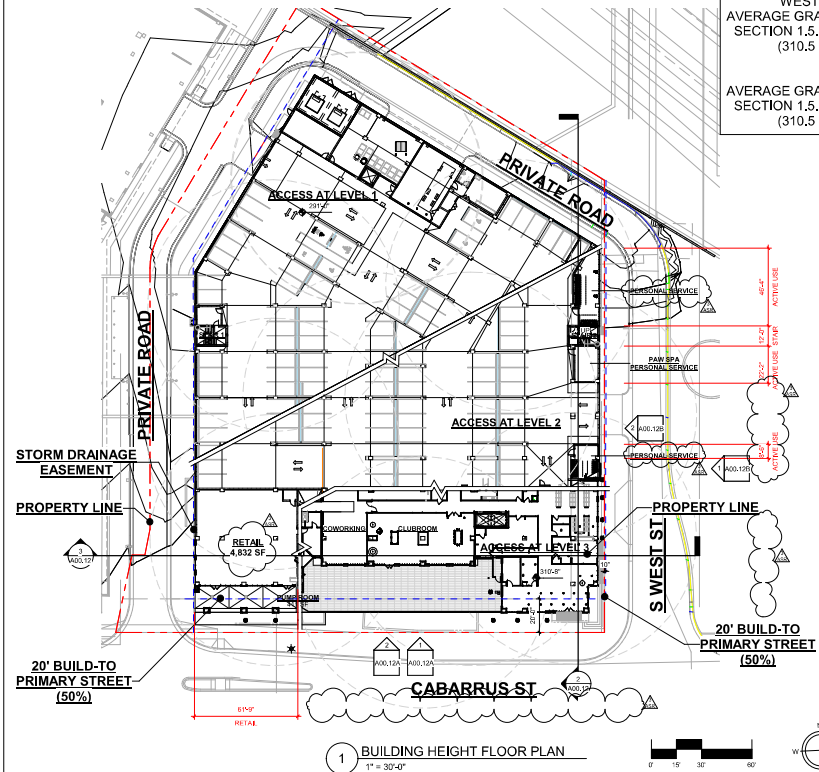
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3 ROOF TOP VISIBILITY DIAGRAM (WEST ST)



2 ROOF TOP VISIBILITY DIAGRAM (CABARRUS ST)
1" = 20'-0"

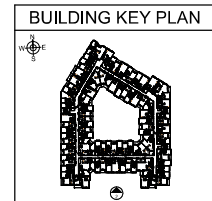




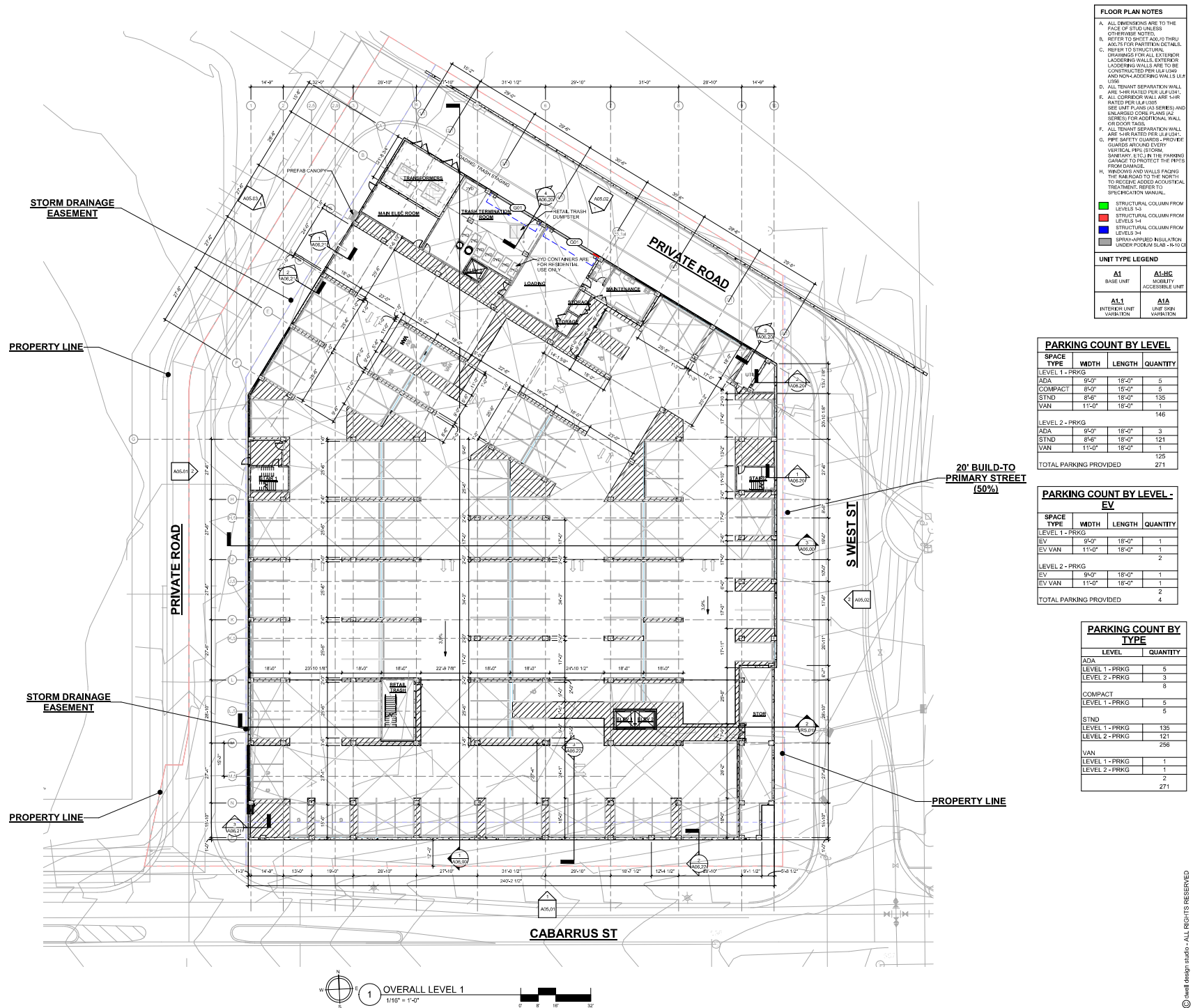
SHEET SPECIFIC NOTES:

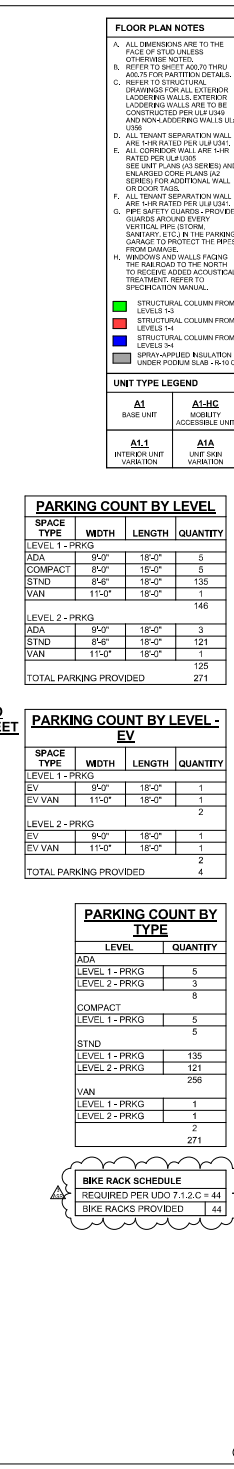
1. THE RETAINING WALL WILL HAVE PLANTERS WITH LANDSCAPING IN FRONT OF THE WALL TO ACHIEVE THE REQUIREMENT OF NO MORE THAN 8' OF BLANK WALL PER UDO 7.2.8.E.4.a, 1.5.10, AND 3.2.6.F1
2. BLUE LINES, NOTES, AND DIMENSIONS DELINEATE NON-RESIDENTIAL GROUND STORY.

= 309 SF (61'-9" X 5')
 = 155 SF (309 SF X 50%)
 = 223 SF 72% (223 SF / 309 SF)









STORM DRAINAGE
EASEMENT

PROPERTY LINE

STORM DRAINAGE
EASEMENT

PROPERTY LINE

20' BUILD-TO
PRIMARY STREET
(50%)

PRIVATE ROAD

PRIVATE ROAD

S WEST ST

20' BUILD-TO
PRIMARY STREET
(50%)

PROPERTY LINE

CABARRUS ST



1 OVERALL LEVEL 3
1/16" = 1'-0"



FLOOR PLAN NOTES

A. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED.
B. REFER TO SHEET A02.10 THRU A02.15 FOR PARTITION DETAILS.
C. REFER TO STRUCTURAL DRAWINGS FOR ALL EXTERIOR LOADBEARING WALLS. EXTERIOR LOADBEARING WALLS ARE TO BE CONSTRUCTED PER IBC 1805 AND NON-LOADBEARING WALLS PER IBC 1805.2.
D. ALL TENANT SEPARATION WALLS ARE SHOWN FOR SUGGESTED RATED PER IBC 1805.2. SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORP PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
E. ALL CORRIDOR WALLS ARE 1/2" RATED PER IBC 1805.2. SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORP PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
F. ALL TENANT SEPARATION WALLS ARE SHOWN FOR SUGGESTED RATED PER IBC 1805.2. SEE UNIT PLANS (A3 SERIES) AND ENLARGED CORP PLANS (A2 SERIES) FOR ADDITIONAL WALL OR DOOR TAGS.
G. PIPE SAFETY GUARDS: PROVIDE GUARDS AROUND EVERY VERTICAL PIPE (STORM, SANITARY, ETC.) IN THE FARRING CHAMBER TO PROTECT THE PIPES FROM DAMAGE.
H. WINDOWS AND WALLS FACING THE ROAD TO THE NORTH TO RECEIVE ADDED ACoustICAL TREATMENT. REFER TO SPECIFICATION MANUAL.

UNIT TYPE LEGEND

A1 BASE UNIT	A1-LHC ACCESSIBLE UNIT
A1.1 INTERIOR UNIT VARIATION	A1A UNIT DRIN VARIATION

STRUCTURAL COLUMN FROM LEVELS 1-3
STRUCTURAL COLUMN FROM LEVELS 1-4
STRUCTURAL COLUMN FROM LEVELS 1-4
SPRAY-APPLIED INSULATION UNDER FLOOR SLAB - 18" R-10

dwell design studio

1280 HIGHTOWER TRAIL
ATLANTA, GA 30355
PHONE: 770.854.1025
dwell@dwelldesign.com

WEST END PHASE 2
400 S WEST STREET
NATLEIGH, NC

KANE REALTY CORPORATION

ISSUE

NO.	DATE	DESCRIPTION
1	01/11/2023	ISSUED FOR PERMIT

REVISION

NO.	DATE	DESCRIPTION
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OVERALL LEVEL 3

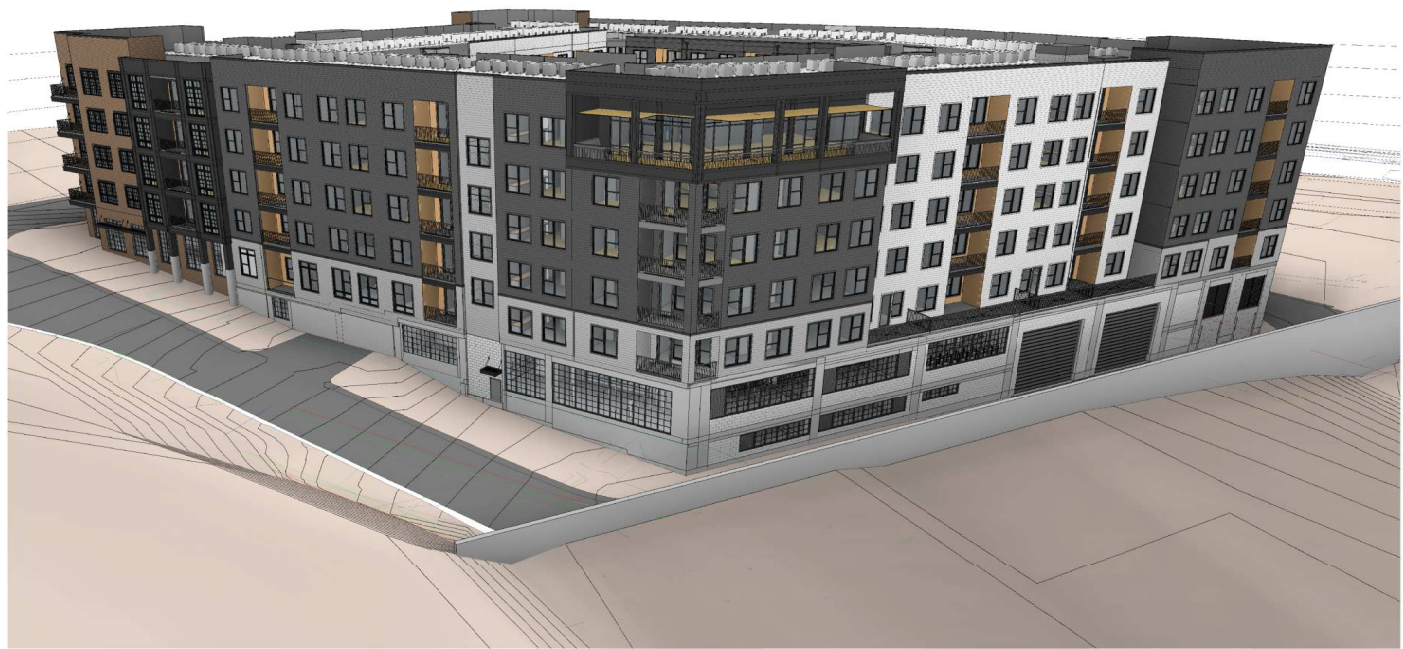
DESIGN DEVELOPMENT

JOB NUMBER: 220301

DRAWN BY: CHK'D BY:

Author: Checker:

A02.03

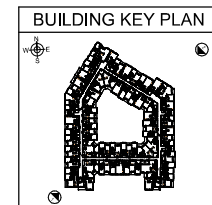


2 3D VIEW - NORTHEAST



PLANTER SHOWN ON
SHEET L7.00 OF
LANDSCAPE PLANS

1 3D VIEW - SOUTHWEST



ISSUE	DATE	BY

REVISION	DATE	BY

BUILDING PERSPECTIVES

DESIGN DEVELOPMENT

JOB NUMBER: 220301

DRAWN BY: Author
CHECKED BY: Checker

A05.00

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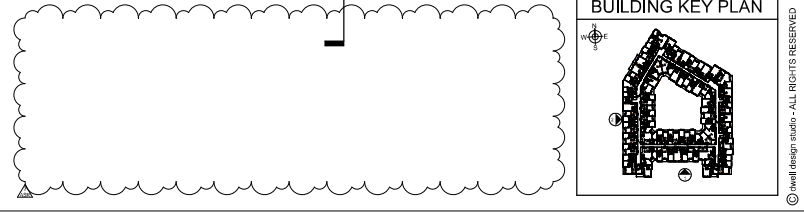
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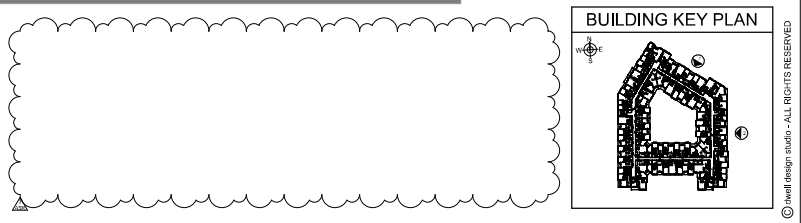
2 OVERALL BUILDING ELEVATION - WEST (PRIVATE DR)
1/8" = 1'-0"



1 OVERALL BUILDING ELEVATION - SOUTH (CABARRUS ST)
1/8" = 1'-0"



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REVISION	DATE	BY	APP
1	03/10/23	dwells	

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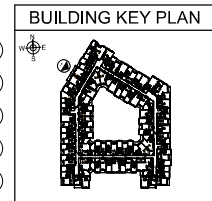
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1 OVERALL BUILDING ELEVATION - NORTHWEST
1/8" = 1'-0"



ISSUE	DATE	BY	APP
1.00	08/11/2021	Author	
1.01	08/11/2021	Checker	
1.02	08/11/2021	Reviewer	
1.03	08/11/2021	Approver	

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