

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input type="checkbox"/>		
Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: Z-19-2010
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: _____		
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Property address(es): 3312 New Bern Avenue, Raleigh NC		
Site P.I.N.(s): 1724447360; 1724449824		
Please describe the scope of work. Include any additions, expansions, and change of use. The proposed development consists of approximately 192-unit apartment development and 310 surface parking spaces with associated infrastructure and amenities.		
Current Property Owner/Developer Contact Name: William Wood		
NOTE: please attach purchase agreement when submitting this form.		
Company: Greystone Affordable Development LLC		Title: _____
Address: 4025 Lake Boone Trail, Suite 209 Raleigh, North Carolina 27607		
Phone #: _____		Email: _____
Applicant Name: Adam Pike		
Company: McAdams		Address: 1 Glenwood Avenue, Suite 201 Raleigh NC 27603
Phone #: 919-823-4300		Email: pike@mcadamsco.com

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-CU	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 18.71	New gross floor area: 214,387 SF
# of parking spaces required: 276	Total sf gross (to remain and new): 243,360 SF
# of parking spaces proposed: 310	Proposed # of buildings: 7
Overlay District (if applicable): SHOD-1	Proposed # of stories for each: 3/4 split or 3 stories
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Multi family living	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.1 Square Feet: 264	Proposed Impervious Surface: Acres: 5.51 ac Square Feet: 240,120 SF
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: 3720172400 K (UPDATED JULY 19, 2022)	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 192	Total # of hotel units:
# of bedroom units: 1br 7 2br 81 3br 39 4br or more	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Adam Pike will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Adam Pike Date: 9/2/21

Printed Name: Adam Pike

NEW BERN CROSSINGS

ADMINISTRATIVE SITE REVIEW

3312 NEW BERN AVENUE
RALEIGH, NORTH CAROLINA 27610

CITY OF RALEIGH ASR CASE #: ASR-077-2021
PROJECT NUMBER: 2020110075

SEPTEMBER 13, 2022

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<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
Site Transaction History	
Subdivision case #: _____	
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Page 1 of 2

REVISION 02.19.21

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If yes, please provide: Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: 3720172400K (UPDATED JULY 19, 2022)	
Neuse River Buffer	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetlands
	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
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# of bedroom units: 1br 7	2br 81
	3br 39
	4br or more _____
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Printed Name: Adam Pike	

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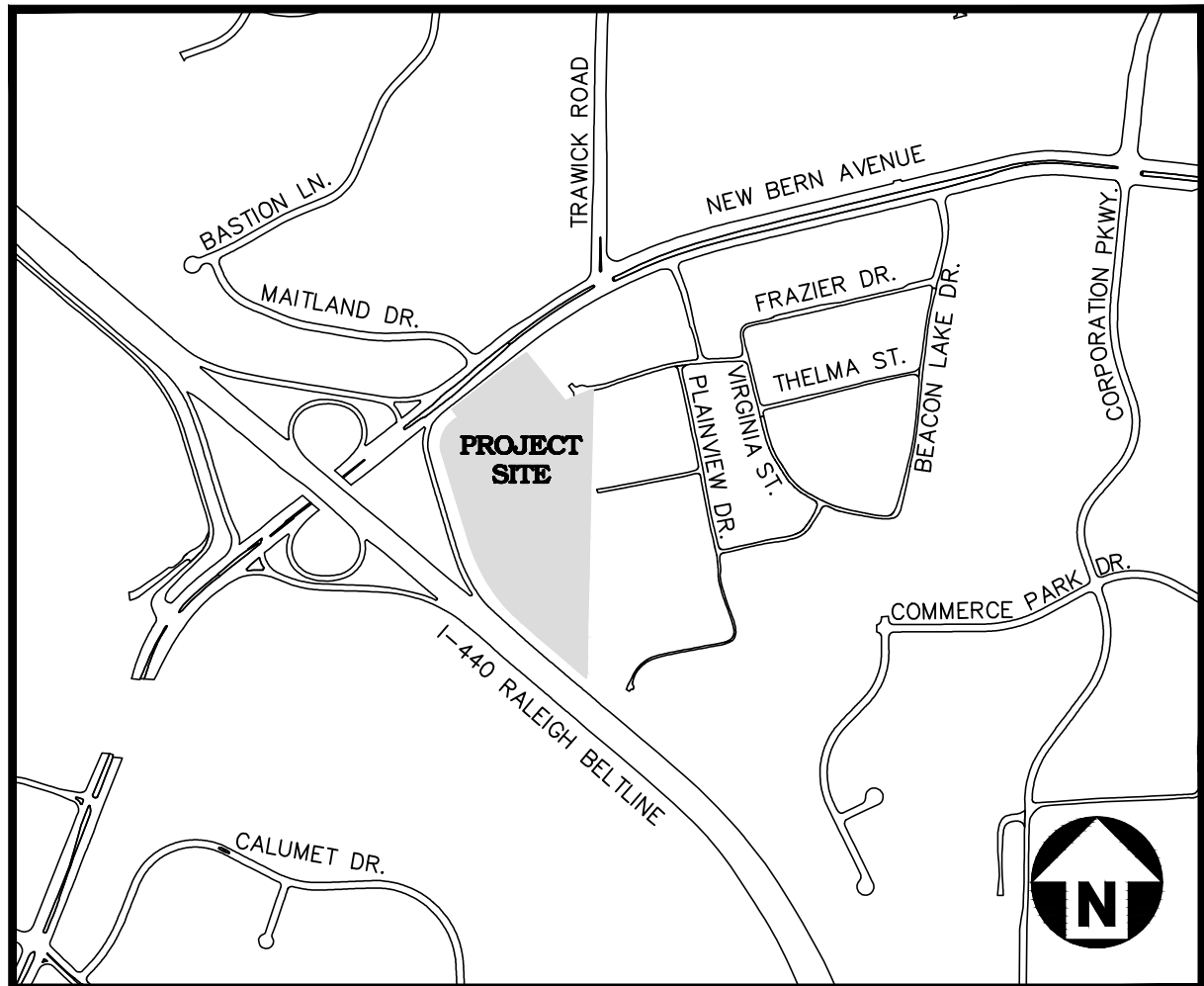
SITE DATA	
SITE ADDRESS/PIN NUMBER	3312 NEW BERN AVE RALEIGH, NORTH CAROLINA, 27610 / 1724447360 3600 NEW BERN AVE RALEIGH, NORTH CAROLINA, 27610 / 1724449824
EXISTING ZONING:	CX-3-CU (COMMERCIAL MIXED USE - 3 STORY - SHOD-1)
OVERLAY DISTRICT:	SPECIAL HIGHWAY OVERLAY DISTRICT (SHOD-1)
BLOCK PERIMETER:	N/A
WATER SUPPLY WATERSHED:	NEUSE-RICHLAND CREEK
FLOODPLAIN/FIRM PANEL:	3720172400K / ZONE X (ADOPTED JULY 19, 2022)
TOTAL SITE AREA:	20.10 AC. OR 875,607 SF
EXISTING USE:	VACANT
PROPOSED USE:	APARTMENT (192 DWELLING UNITS)
BUILDING + PARKING SETBACK:	BUILD-TO PER UDO SECTION 3.4.1, WHERE THERE IS A CONFLICT BETWEEN THE BASE DIMENSIONAL STANDARDS AND THE FRONTAGE REQUIREMENTS, THE FRONTAGE REQUIREMENTS CONTROL. AS SUCH, THE PARKWAY FRONTAGE CONTROLS OVER THE BASE APARTMENT BUILD-TO REQUIREMENTS AND NO BUILD-TO IS REQUIRED. PARKING SETBACK PRIMARY STREET: 10' (HILLCREST DRIVE) ¹ SECONDARY STREET: 10' (I-440) SIDE LOT LINE: 3' REAR LOT LINE: 3' (N/A)
BUILDING HEIGHT:	MAXIMUM ALLOWED: 3 STORIES (50') PROPOSED: 3 & 4 STORY BUILDINGS (45') ²
TREE CONSERVATION	REQUIRED: 2.01 AC. OR 87,361 SF (100% NET SITE AREA) PROPOSED: 3.42 AC. OR 148,862 SF (17.0% NET SITE AREA)
IMPERVIOUS AREA	EXISTING: 0.10 AC. (264 SF) PROPOSED: 6.04 AC. (263,070 SF) DELTA: +5.94 AC. (262,806 SF)

- PER TEXT CHANGE TC-6-19 SECTION 1.A.1.b.vii - BLOCKS RECORDED ON OR BEFORE SEPTEMBER 1, 2013, WHOSE BLOCK PERIMETER LENGTH DOES NOT EXCEED 150% OF THE MAXIMUM ESTABLISHED IN SEC. 8.3.2.a.2.b. SINCE THIS BLOCK WAS PLATTED PRIOR TO SEPTEMBER 1, 2013 AND 150% OF THE MAXIMUM ESTABLISHED IN THE SECTION WOULD BE 4,500' (3,000' * 1.5) WHICH IS LARGER THAN THE EXISTING BLOCK PERIMETER OF 3,250' THIS BLOCK IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.
- PER UDO SEC. 1.5.7.A.3 ANY BUILDING THAT IS ZONED FOR A MAXIMUM OF THREE STORIES, WHERE A LOT SLOPES DOWNWARD FROM ANY PRIMARY STREET, ONE STORY THAT IS ADDITIONAL TO THE SPECIFIED MAXIMUM NUMBER OF STORIES MAY BE BUILT ON THE LOWER PORTION OF THE LOT.
- PER UDO SEC.1.5.4.C.4, "A LIMITED ACCESS HIGHWAY SHALL NEVER SERVE AS A PRIMARY STREET." DUE TO ACCESS LIMITATIONS FOR NEW BERN AVENUE, WE ARE SEEKING APPROVAL FOR HILLCREST DRIVE TO SERVE AS THE PRIMARY STREET.

PARKING + BUILD-TO DATA	
BUILDING BREAKDOWN: 192 TOTAL UNITS 72 - 1 BEDROOM UNITS 81 - 2 BEDROOM UNITS 39 - 3 BEDROOM UNITS	
APARTMENT BUILDING 1: 24 UNITS, 28,161 SF APARTMENT BUILDING 2: 28 UNITS, 30,192 SF APARTMENT BUILDING 3: 28 UNITS, 30,192 SF APARTMENT BUILDING 4: 28 UNITS, 30,805 SF APARTMENT BUILDING 5: 42 UNITS, 45,921 SF APARTMENT BUILDING 6: 42 UNITS, 45,921 SF CLUBHOUSE: 3,195 SF	
PARKING DATA:	VEHICLE PARKING REQUIRED (PER UDO): 283 TOTAL SPACES APARTMENTS: 273 TOTAL SPACES (1.5 SPACES/1 BEDROOM UNIT) X 72 UNITS = 72 SPACES (1.5 SPACES/2 BEDROOM UNIT) X 81 UNITS = 122 SPACES (2 SPACES/3 BEDROOM UNIT) X 39 UNITS = 78 SPACES CLUBHOUSE: 11 TOTAL SPACES (1 SPACE/300 SF) X 3,195 SF = 11 SPACES NCHFA HAS REVIEWED THE PRELIMINARY SITE PLAN FOR NEW BERN AVENUE TAX CREDIT APPLICATION AND HAVE APPROVED YOUR PARKING REQUEST WAIVER. THE AGENCY WILL ANTICIPATE THE INSTALLATION OF 303 SPACES AT A MINIMUM THAT AREA DEDICATED TO YOUR NEW RESIDENTS PROVIDED: 332 SPACES
	ACCESSIBLE PARKING REQUIRED: 8 TOTAL ACCESSIBLE SPACES; 2 VAN SPACES PROVIDED: 22 TOTAL ACCESSIBLE SPACES; 2 VAN SPACES
	BIKE PARKING (SHORT-TERM) REQUIRED (PER UDO): 14 TOTAL SPACES APARTMENTS: 10 TOTAL SPACES (1 SPACE/20 UNITS; 4 MIN.) CLUBHOUSE: 4 TOTAL SPACES (1 SPACE/5,000 SF; 4 MIN.) PROVIDED: 16 SPACES (8 RACKS; 2 SPACES EACH RACK)
	BIKE PARKING (LONG-TERM) REQUIRED (PER UDO): 0 TOTAL SPACES (NONE REQUIRED) APARTMENTS: 0 TOTAL SPACES (NONE REQUIRED) CLUBHOUSE: 0 TOTAL SPACES (NONE REQUIRED) PROVIDED: 0 SPACES

RIGHT-OF-WAY OBSTRUCTION NOTES

- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO rightofwayservices@raleighnc.gov AT www.raleighnc.gov KEYWORD "RIGHT-OF-WAY SERVICES".
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.



VICINITY MAP

1"=1000'



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SHEET INDEX

C0.00	PROJECT NOTES
1 OF 3	EXISTING CONDITIONS (BY OTHERS)
2 OF 3	EXISTING CONDITIONS (BY OTHERS)
3 OF 3	EXISTING CONDITIONS (BY OTHERS)
C2.00	OVERALL SITE PLAN
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C4.00	OVERALL UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	WATER DETAILS
C8.04	STORM DRAINAGE DETAILS
C8.05	SEWER DETAILS
L2.00	TREE CONSERVATION PLAN
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE DETAILS
L6.00	OVERALL LIGHTING PLAN
A3.1	EXTERIOR ELEVATIONS (BUILDING 1)
A3.2	EXTERIOR ELEVATIONS (BUILDING 1)
A3.3	EXTERIOR ELEVATIONS (BUILDING 2)
A3.4	EXTERIOR ELEVATIONS (BUILDING 2)
A3.5	EXTERIOR ELEVATIONS (BUILDING 3)
A3.6	EXTERIOR ELEVATIONS (BUILDING 3)
A3.7	EXTERIOR ELEVATIONS (BUILDING 4)
A3.8	EXTERIOR ELEVATIONS (BUILDING 4)
A3.9	EXTERIOR ELEVATIONS (BUILDING 5)
A3.10	EXTERIOR ELEVATIONS (BUILDING 5)
A3.11	EXTERIOR ELEVATIONS (BUILDING 6)
A3.12	EXTERIOR ELEVATIONS (BUILDING 6)
A3.13	EXTERIOR ELEVATIONS (COMMUNITY BUILDING)

SURVEYOR TO PROVIDE A SEALED LETTER CERTIFYING THAT "THE BOUNDARIES OF ALL NATURAL RESOURCE BUFFER YARDS, ANY OPEN SPACE AREAS, ANY RIPARIAN SURFACE WATER BUFFERS, AND ANY TREE PROTECTION AREAS ADJACENT TO OR ENCOMPASSING A WORK SITE HAVE BEEN CLEARLY AND ACCURATELY DEMARKED BY A PROTECTIVE FENCE IN THE FIELD", PRIOR TO ISSUANCE OF GRADING PERMIT.

TOTAL LIMITS OF DISTURBANCE = 10.50 AC.

MAX ONSITE ALLOWABLE IMPERVIOUS TO SCM = 4.74 AC.
MAX OFFSITE ALLOWABLE IMPERVIOUS TO SCM=1.94 AC.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

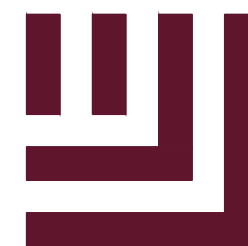
ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty-four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 201
Raleigh, NC 27603
phone 919. 823. 4300
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CONTACT

ADAM PIKE, PE
pike@mcadamsco.com
PHONE: 919.287.0813

CLIENT

GREYSTONE AFFORDABLE DEVELOPMENT LLC
4025 LAKE BOONE TRAIL
SUITE 209
RALEIGH, NORTH CAROLINA 27607

PROJECT DIRECTORY

DEVELOPER
Madison Capital Group
6805 Morrison Blvd, Suite 250
Charlotte, NC 28211
PHONE: 315. 480. 2883

ENGINEER + LANDSCAPE ARCHITECTURE
MCADAMS COMPANY
ONE GLENWOOD AVENUE, SUITE 201
RALEIGH, NORTH CAROLINA, 27603
PHONE: 919. 823. 4300

ARCHITECT
SGA/NARMOURWRIGHT DESIGN
1815 S. TRYON ST, SUITE A
CHARLOTTE, NORTH CAROLINA 28203
PHONE: 704. 332. 5668

WALL ENGINEER
FROEHLING & ROBERTSON, INC
310 HUBERT STREET
RALEIGH, NORTH CAROLINA
919-828-3441

REVISIONS

NO. DATE

ADMINISTRATIVE SITE REVIEW PLANS FOR:

NEW BERN AVENUE APARTMENTS
3312 NEW BERN AVENUE
RALEIGH, NC 27610
PROJECT NUMBER: 2020110075



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NEW BERN CROSSINGS

ADMINISTRATIVE SITE REVIEW

3312 NEW BERN AVENUE
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REVISIONS

NO. DATE

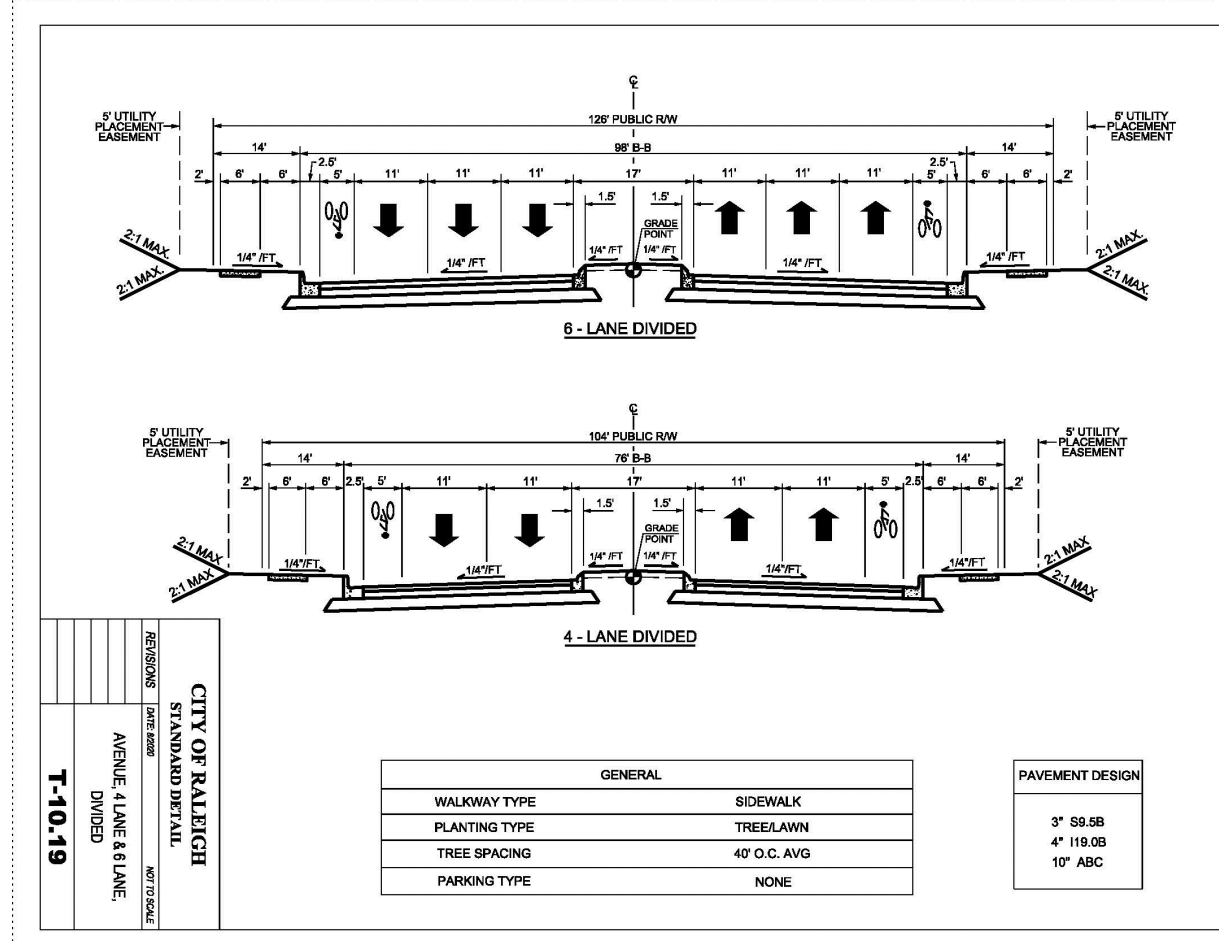
PLAN INFORMATION

PROJECT NO. 2020110075
FILENAME 2020110075-ASR-OAS1
CHECKED BY MDS
DRAWN BY MEM/SME
SCALE 1" = 60'
DATE 09.03.2021

SHEET

OVERALL SITE PLAN

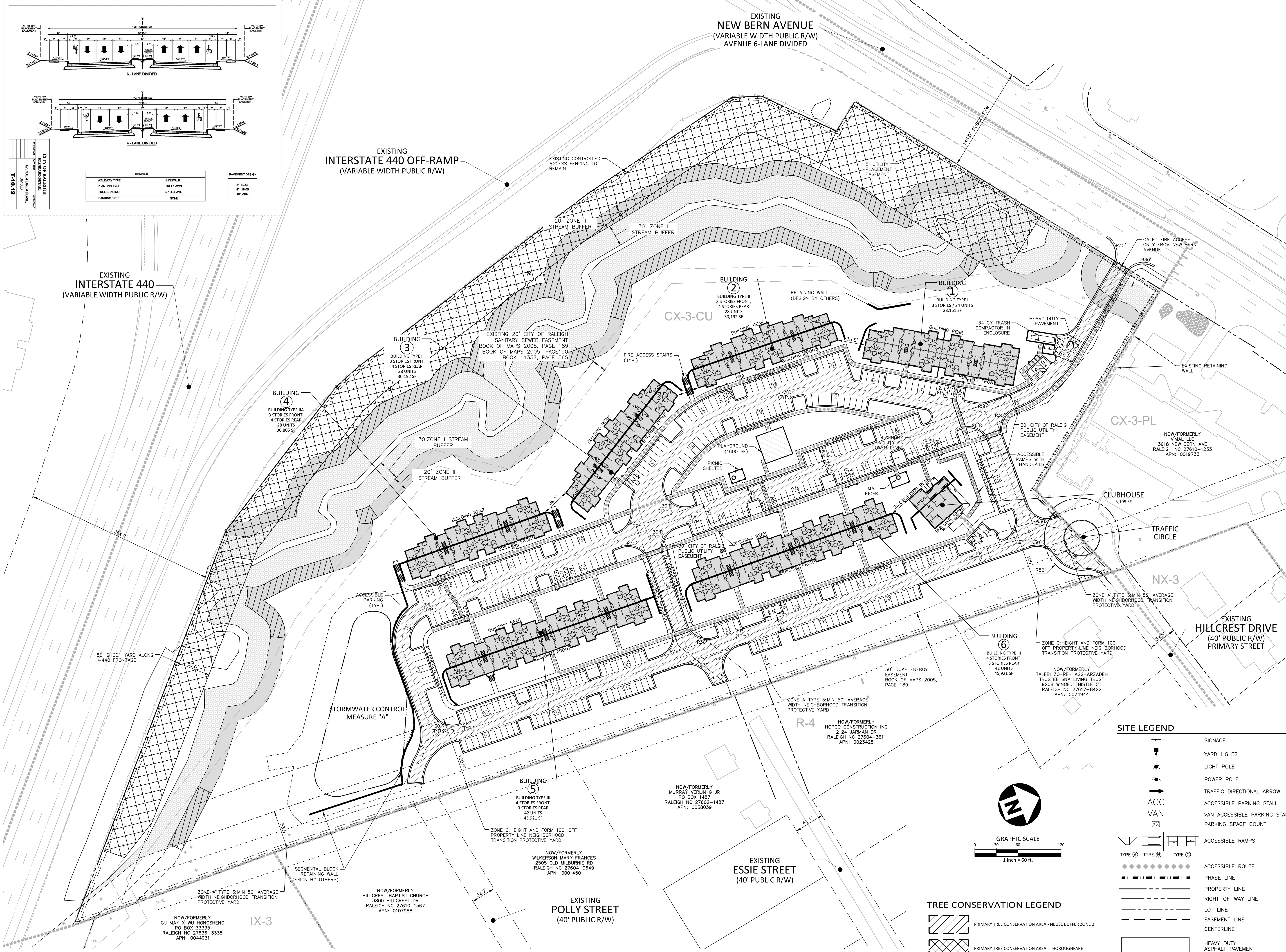
C2.00



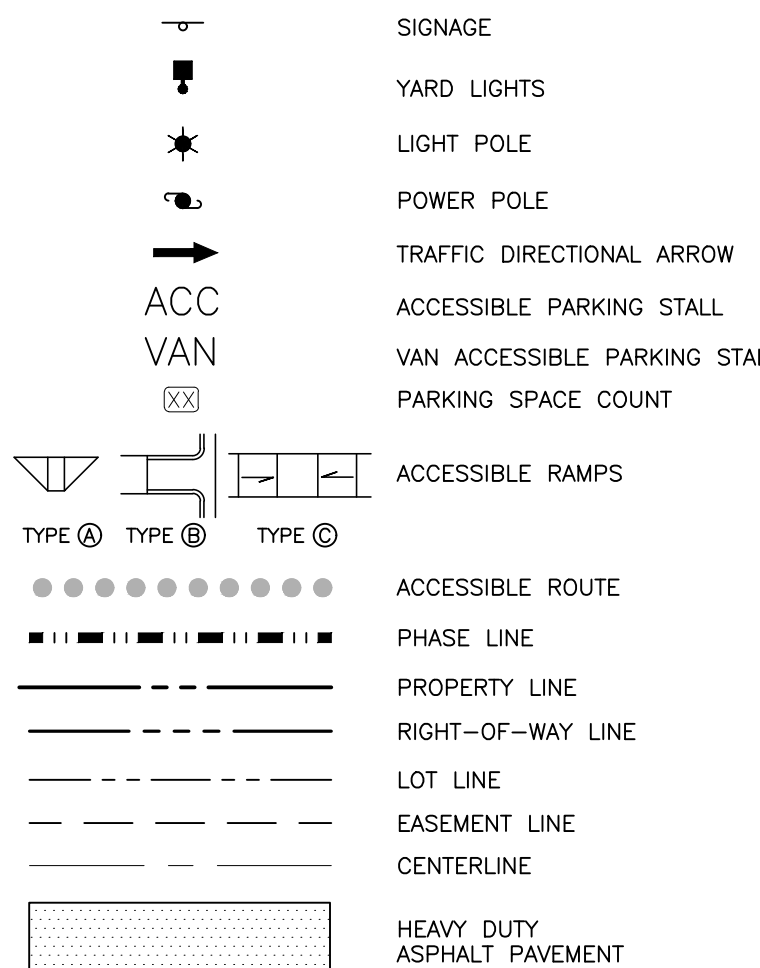
EXISTING
NEW BERN AVENUE
(VARIABLE WIDTH PUBLIC R/W)
AVENUE 6-LANE DIVIDED

EXISTING
INTERSTATE 440 OFF-RAMP
(VARIABLE WIDTH PUBLIC R/W)

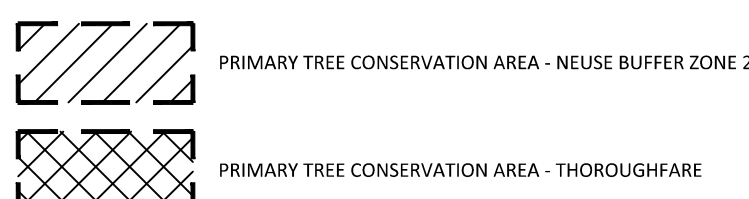
EXISTING
INTERSTATE 440
(VARIABLE WIDTH PUBLIC R/W)



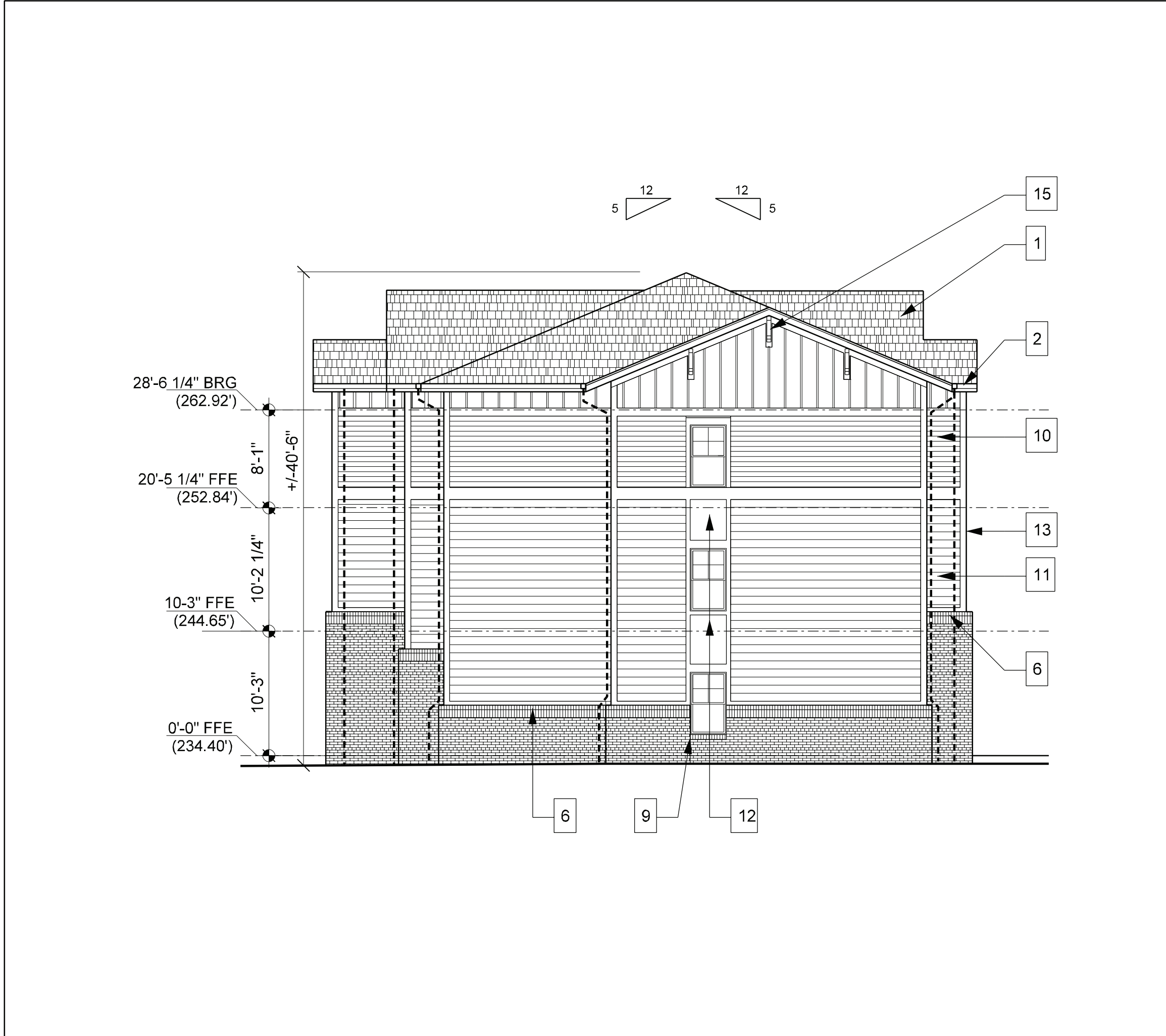
SITE LEGEND



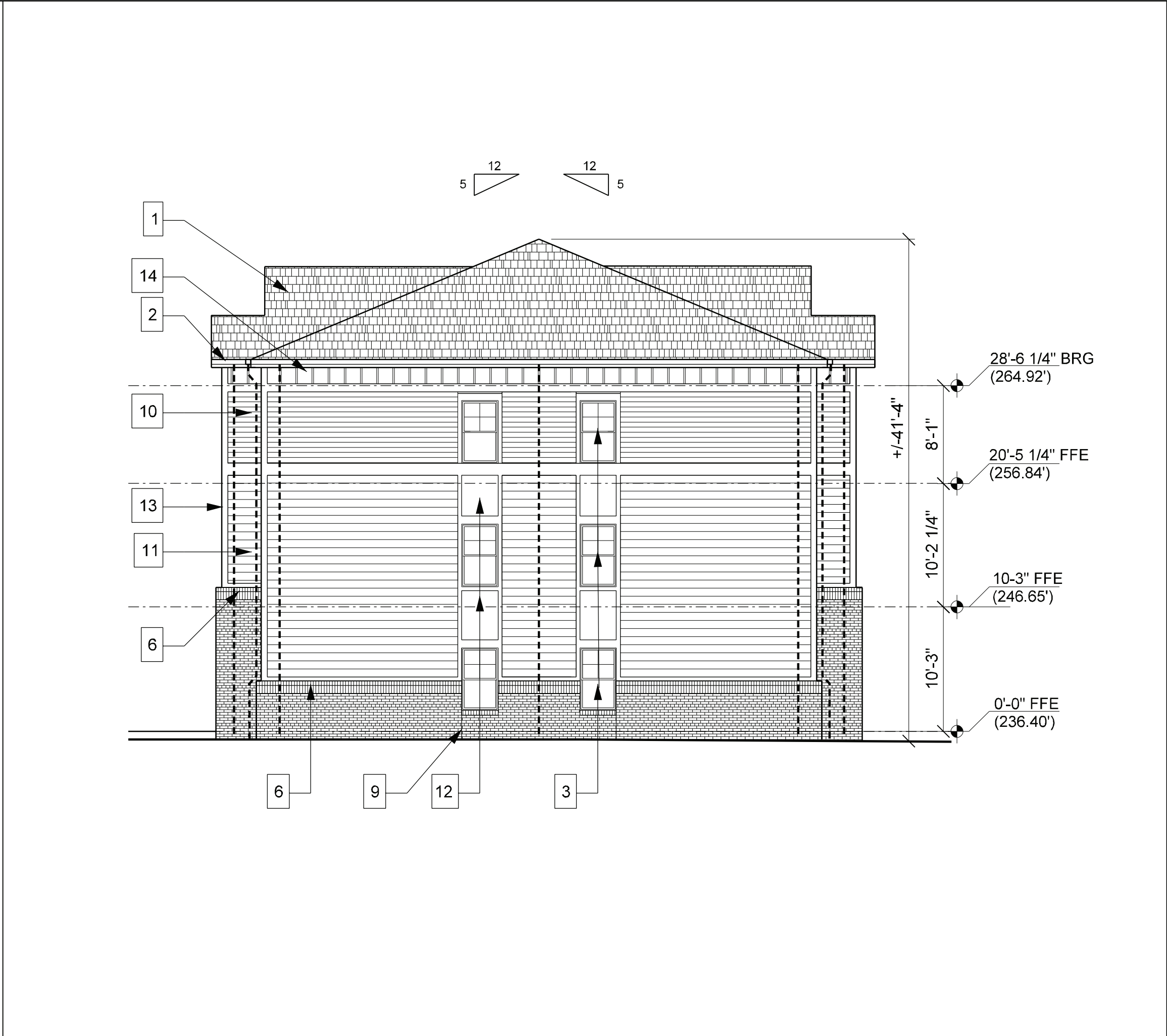
TREE CONSERVATION LEGEND



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



Elevation – SIDE – Building No. 1
Scale: 1/16" = 1'-0"



Elevation – SIDE – Building No. 1
Scale: 1/16" = 1'-0"

AGP CALCULATIONS

Average Grade Plane Calculator				
Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)	Elevation Total
A	235.90	235.90	52.00	12266.80
B	235.90	235.90	115.00	49755.50
C	233.90	233.90	41.00	9589.90
D	233.90	233.90	210.00	49329.00
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
Totals	-	-	535.00	120984.50
Average Grade Plane = (Elevation Total/Total Segment Length)				
Average Grade Plane = 234.92 ft.				
Minimum Grade Elevation at Any Point = 233.9 ft.				
Is the level in question a story above grade plane?				
Elevation of Level in Question (ft):			236.40	
Elevation of Level Above (ft):			234.90	
IBC Criteria			Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?			YES	234.92 < 236.4
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?			NO	234.4 - 234.92 < 6
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior wall?			NO	234.4 - 233.9 < 12
The level in question is a story above grade plane.				

ELEVATION KEY NOTES	
1	FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
2	PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS
3	VINYL WINDOW(S) - SEE SCHEDULE
4	SCHEDULED DOOR / FRAME - SEE A9.1
5	BRICK VENEER, RUNNING BOND PATTERN
6	STACKED DECORATIVE BRICK COURSE / ACCENT BAND
7	BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN
8	BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS
9	MASONRY CONTROL JOINT (CJ). C.J.'S TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
10	CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1
11	CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2
12	CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
13	CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.
14	CEMENTITIOUS BOARD AND BATTEN SIDING
15	DECORATIVE PVC BRACKET, TYP.
16	PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
17	EXTERIOR STAIRS, TYP.

LEGEND	
1	DOWNSPOUT, TYP. SEE ROOF PLAN. VERIFY LOCS. IN-FIELD PRIOR TO INSTALL



Elevation – FRONT – Building No. 1
Scale: 1/8" = 1'-0"

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New Bern
Crossings
Apartments

Raleigh, NC

Job Number: 0000

Date: 2022_0908

Revisions:

Exterior Elevations
Building No. 1

Sheet

A3.1

AGP CALCULATIONS

Average Grade Plane Calculator				
Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)	Elevation Total
A	235.90	235.90	52.00	12266.80
B	235.90	235.90	212.00	49798.80
C	233.90	233.90	41.00	9589.90
D	230.90	230.90	1020.00	49329.00
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
Totals	-	-	515.00	120984.50

Average Grade Plane = (Elevation Total/Total Segment Length)

Average Grade Plane = 234.92 ft.

Minimum Grade Elevation at Any Point = 233.9 ft.

Is the level in question a story above grade plane?

Elevation of Level in Question (ft):	236.40	
Elevation of Level Above (ft):	234.40	
JBC Criteria	Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?	YES	234.92 < 236.4
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?	NO	234.4 - 234.92 < 6
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior walls?	NO	234.4 - 233.9 < 12

The level in question is a story above grade plane.

ELEVATION KEY NOTES

1

FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY

2

PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS

3

VINYL WINDOW(S) - SEE SCHEDULE

4

SCHEDULED DOOR / FRAME - SEE A9.1

5

BRICK VENEER, RUNNING BOND PATTERN

6

STACKED DECORATIVE BRICK COURSE / ACCENT BAND

7

BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN

8

BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS

9

MASONRY CONTROL JOINT (CJ). CJS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.

10

CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1

11

CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2

12

CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM

13

CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.

14

CEMENTITIOUS BOARD AND BATTEN SIDING

15

DECORATIVE PVC BRACKET, TYP

16

PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES

17

EXTERIOR STAIRS, TYP.

LEGEND

!

DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL.

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28'-6 1/4" BRG
(264.92')

20'-5 1/4" FFE
(256.84')

10'-3" FFE
(246.65')

0'-0" FFE
(236.40')

8'-1"

4'-39'-8"

10'-2 1/4"

10'-3"

28'-6 1/4" BRG
(262.92')

20'-5 1/4" FFE
(254.84')

10'-3" FFE
(244.65')

0'-0" FFE
(234.40')

8'-1"

4'-39'-8"

10'-2 1/4"

10'-3"

8

16

Elevation – REAR – Building No. 1

Scale: 1/8" = 1'-0"

1

New Bern
Crossings
Apartments

Raleigh, NC

Job Number:

0000

Date:

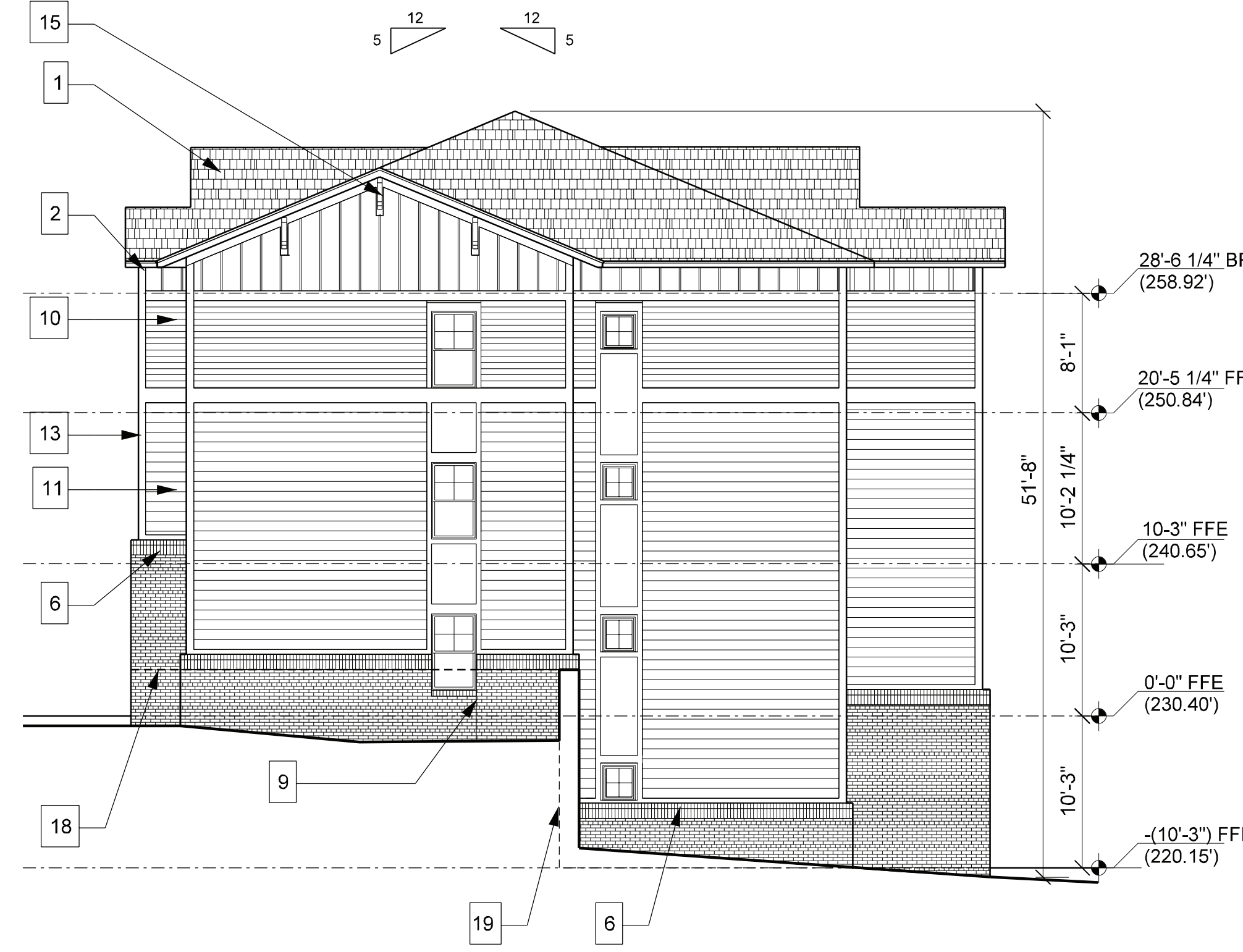
2022_0908

Revisions:

Exterior Elevations
Building No. 1

Sheet

A3.2



Elevation – SIDE – Building No. 2

Scale: 1/16" = 1'-0"

- 1 FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
- 2 PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT. TYP. - REFER TO ROOF PLAN FOR LACS
- 3 VINYL WINDOW(S) - SEE SCHEDULE
- 4 SCHEDULED DOOR / FRAME - SEE A9.1
- 5 BRICK VENEER, RUNNING BOND PATTERN
- 6 STACKED DECORATIVE BRICK COURSE / ACCENT BAND
- 7 BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN
- 8 BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS
- 9 MASONRY CONTROL JOINT (C.J.). C.J.'S TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
- 10 CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1
- 11 CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2
- 12 CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
- 13 CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.
- 14 CEMENTITIOUS BOARD AND BATTEN SIDING
- 15 DECORATIVE PVC BRACKET, TYP
- 16 PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
- 17 EXTERIOR STAIRS, TYP.
- 18 SITE RETAINING WALL. SEE CIVIL FOR EXENT.
- 19 LINE OF BUILDING BEYOND.

! DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL

Scale: $1/8" = 1'-0"$

AGP CALCULATIONS

Average Grade Plane Calculator				
Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)	Elevation Total
A	219.05	225.90	47.00	9215.78
B	225.90	225.90	309.00	46899.60
C	225.90	219.05	43.00	9215.78
D	219.05	219.05	309.00	43490.70
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
Totals	-	-	484.00	108821.85
Average Grade Plane = (Elevation Total/Total Segment Length)				
Average Grade Plane = 224.84 ft.				
Minimum Grade Elevation at Any Point = 219.05 ft.				

Is the level in question a story above grade plane?

Elevation of Level in Question (ft):	220.15	
Elevation of Level Above (ft):	220.40	
IBC Criteria	Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?	NO	224.84 > 220.15
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?	NO	230.4 - 224.84 < 6
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior walls?	NO	230.4 - 219.05 < 12
The level in question is not a story above grade plane.		

ELEVATION KEY NOTES

- 1 FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
- 2 PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS
- 3 VINYL WINDOW(S) - SEE SCHEDULE
- 4 SCHEDULED DOOR / FRAME - SEE A9.1
- 5 BRICK VENEER, RUNNING BOND PATTERN
- 6 STACKED DECORATIVE BRICK COURSE / ACCENT BAND
- 7 BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN
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- 9 MASONRY CONTROL JOINT (CJ). CJS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
- 10 CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1
- 11 CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2
- 12 CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
- 13 CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.
- 14 CEMENTITIOUS BOARD AND BATTEN SIDING
- 15 DECORATIVE PVC BRACKET, TYP
- 16 PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
- 17 EXTERIOR STAIRS, TYP.
- 18 SITE RETAINING WALL. SEE CIVIL FOR EXTENT.

LEGEND

- ! DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL.

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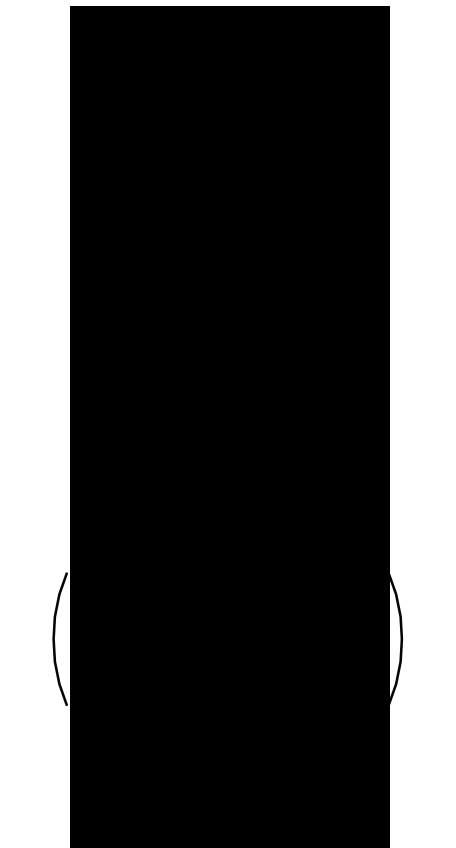
New Bern
Crossings
Apartments

Raleigh, NC

Job Number: 0000

Date: 2022_0908

Revisions:



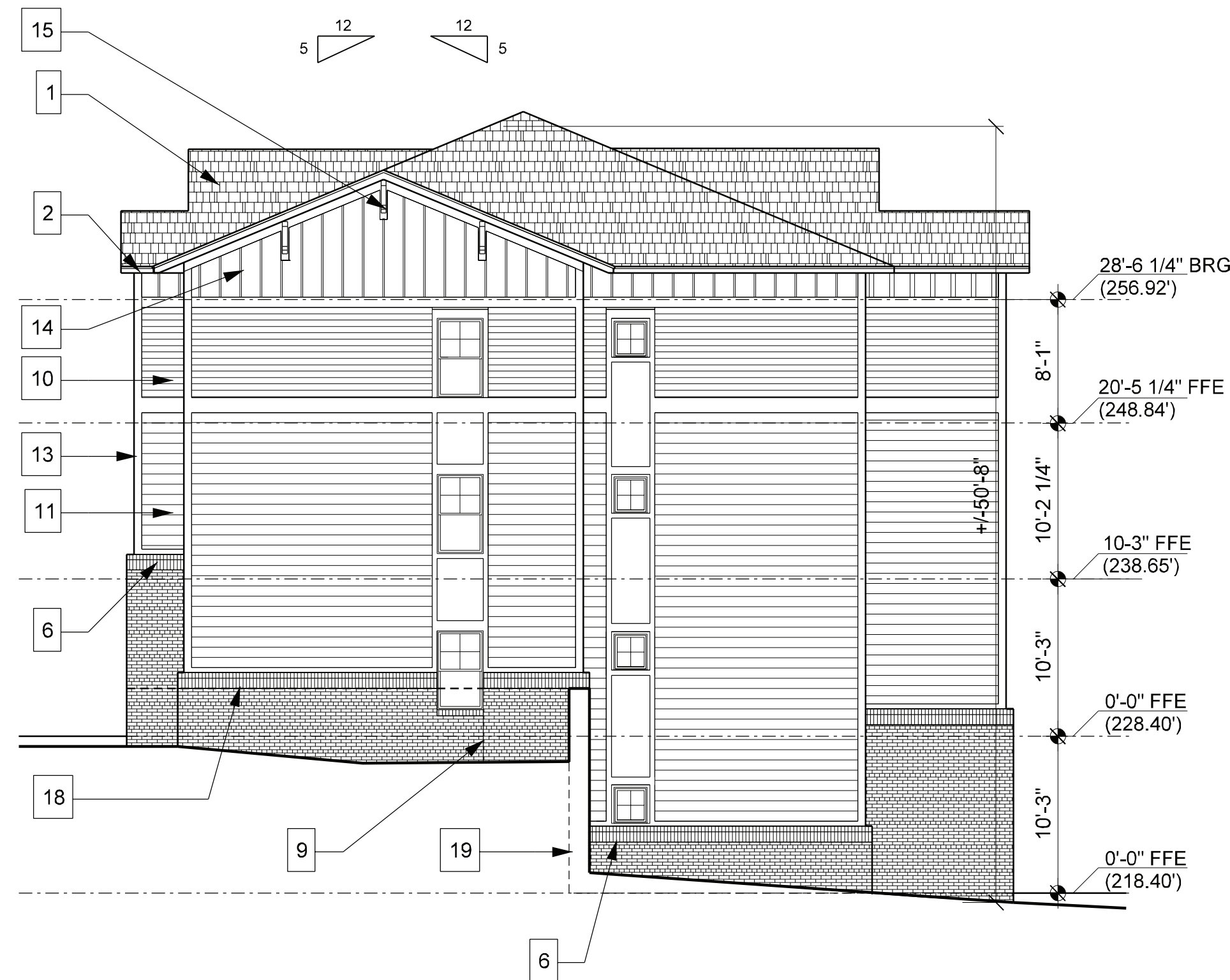
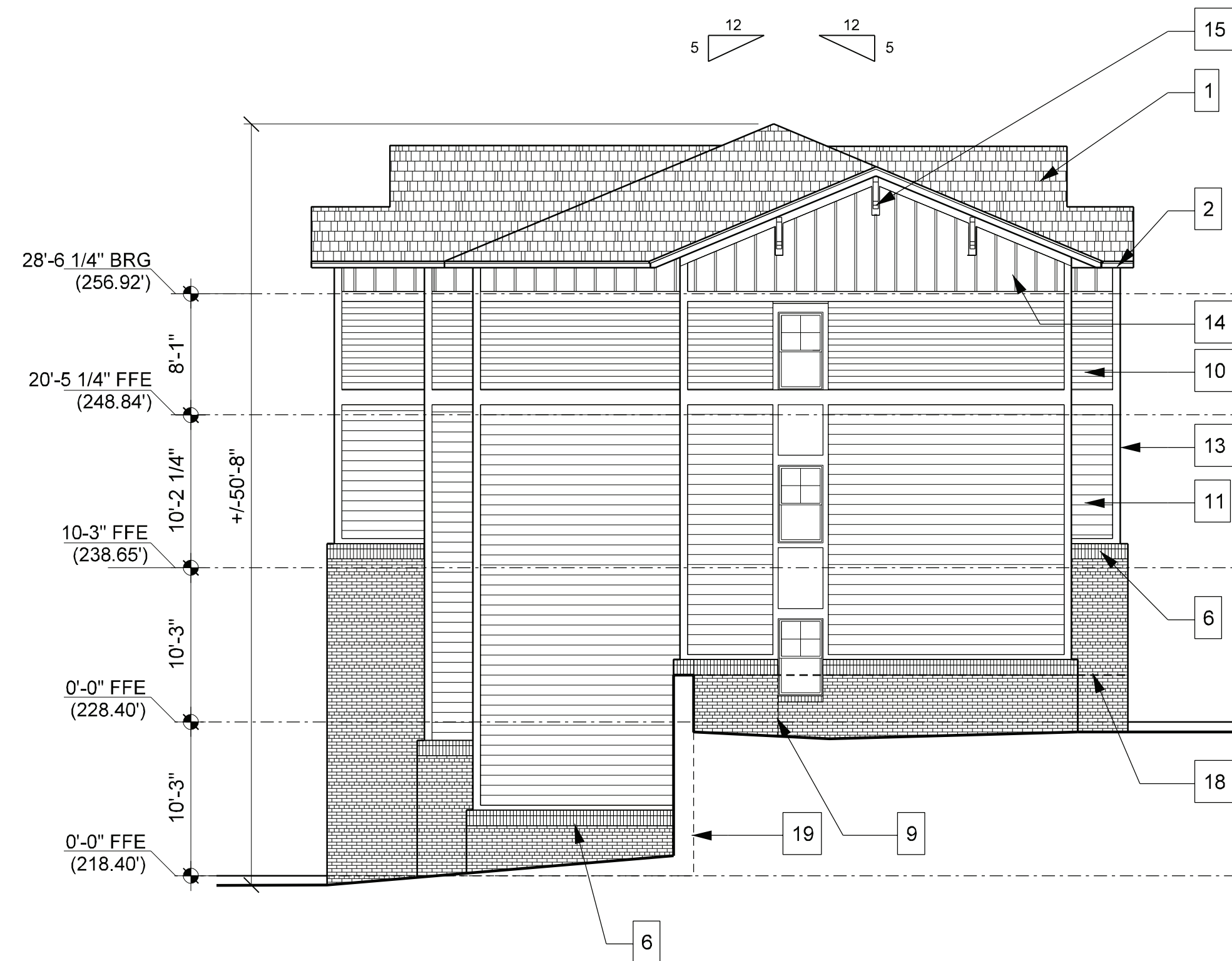
Exterior Elevations
Building No. 2

Sheet

A3.4

Elevation – REAR – Building No. 2

Scale: 1/8" = 1'-0"



Elevation – SIDE – Building No. 3

Elevation – SIDE – Building No. 3

AGP CALCULATIONS

Average Grade Plane Calculator				
Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)	Elevation Total Avg. Elev * Length
A	272.90	272.90	204.00	-66481.60
B	297.90	217.65	45.00	9132.75
C	217.65	217.65	198.00	-43094.70
D	233.90	233.90	80.00	9132.75
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
Totals	-	-	484.00	107853.85

Is the level in question a story above grade plane?

Elevation of Level in Question (ft):	218.15	
Elevation of Level Above (ft):	228.60	
IBC Criteria	Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?	NO	228.64 > 218.15
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?	NO	228.4 > 228.64
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior walls?	NO	228.4 > 217.65
The level in question is not a story above grade plane.		

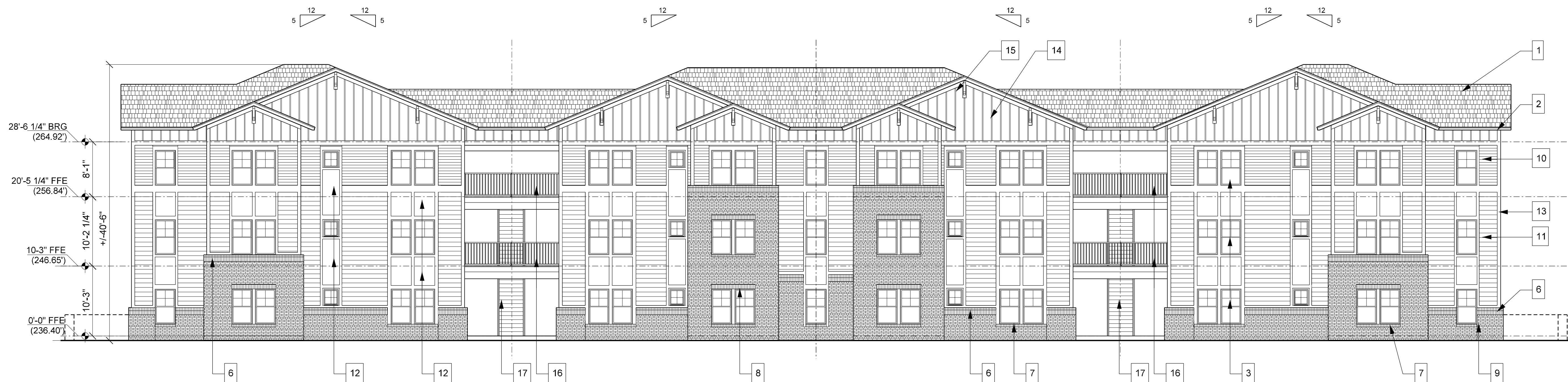
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ELEVATION	KEY NOTES
-----------	-----------

- 1 FIBERGLASS-REINFORCED ARCHITECTURAL
ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
- 2 PREFIN SEAMLESS METAL GUTTER OR
DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCUS
- 3 VINYL WINDOW(S) - SEE SCHEDULE
- 4 SCHEDULED DOOR / FRAME - SEE A9.1
- 5 BRICK VENEER, RUNNING BOND PATTERN
- 6 STACKED DECORATIVE BRICK COURSE / ACCENT BAND
- 7 BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN
- 8 BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW
AND DOOR HEADS
- 9 MASONRY CONTROL JOINT (C.J.). C.J.'S TO BE PROVIDED
AT ALL INSIDE CORNERS, TYP.
- 10 CEMENTITIOUS LAP SIDING, 5" EXPOSURE - COLOR 1
- 11 CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2
- 12 CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
- 13 CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW
AND DOOR SURROUNDS, TYP.
- 14 CEMENTITIOUS BOARD AND BATTEN SIDING
- 15 DECORATIVE PVC BRACKET, TYP.
- 16 PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP.
AT BALCONIES
- 17 EXTERIOR STAIRS, TYP.
- 18 SITE RETAINING WALL. SEE CIVIL FOR EXTENT.
- 19 LINE OF BUILDING BEYOND.

LEGEND

! DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL



Elevation – FRONT – Building No. 3

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New Bern Crossings Apartments

Raleigh, NC

Job Number: 0000

■ Date: 2022_0908

■ Revisions:

Exterior Elevations Building No. 3

Sheet

A3.5

AGP CALCULATIONS

Average Grade Plane Calculator

Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)	Elevation Total
A	217.29	217.29	124.00	46491.40
B	217.56	217.56	45.00	9133.78
C	217.45	217.45	198.00	43094.70
D	217.56	217.56	85.00	9133.78
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
Totals			484.00	107853.85

Average Grade Plane = (Elevation Total/Total Segment Length)

Average Grade Plane = 222.84 ft.

Minimum Grade Elevation at Any Point = 217.65 ft.

Is the level in question a story above grade plane?

Elevation of Level in Question (ft):	218.15	
Elevation of Level Above (ft):	218.40	
IBC Criteria	Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?	NO	222.84 > 218.15
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?	NO	228.4 - 222.84 < 6
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior walls?	NO	228.4 - 217.65 < 12
The level in question is not a story above grade plane.		

ELEVATION KEY NOTES

1

FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY

2

PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS

3

VINYL WINDOW(S) - SEE SCHEDULE

4

SCHEDULED DOOR / FRAME - SEE A9.1

5

BRICK VENEER, RUNNING BOND PATTERN

6

STACKED DECORATIVE BRICK COURSE / ACCENT BAND

7

BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN

8

BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS

9

MASONRY CONTROL JOINT (CJ). C.J.'S TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.

10

CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1

11

CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2

12

CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM

13

CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.

14

CEMENTITIOUS BOARD AND BATTEN SIDING

15

DECORATIVE PVC BRACKET, TYP

16

PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES

17

EXTERIOR STAIRS, TYP.

18

SITE RETAINING WALL, SEE CIVIL FOR EXTENT.

19

LINE OF BUILDING BEYOND.

LEGEND

!

DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL.

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New Bern
Crossings
Apartments

Raleigh, NC

Job Number: 0000

Date: 2022_0908

Revisions:

Exterior Elevations
Building No. 3

Sheet

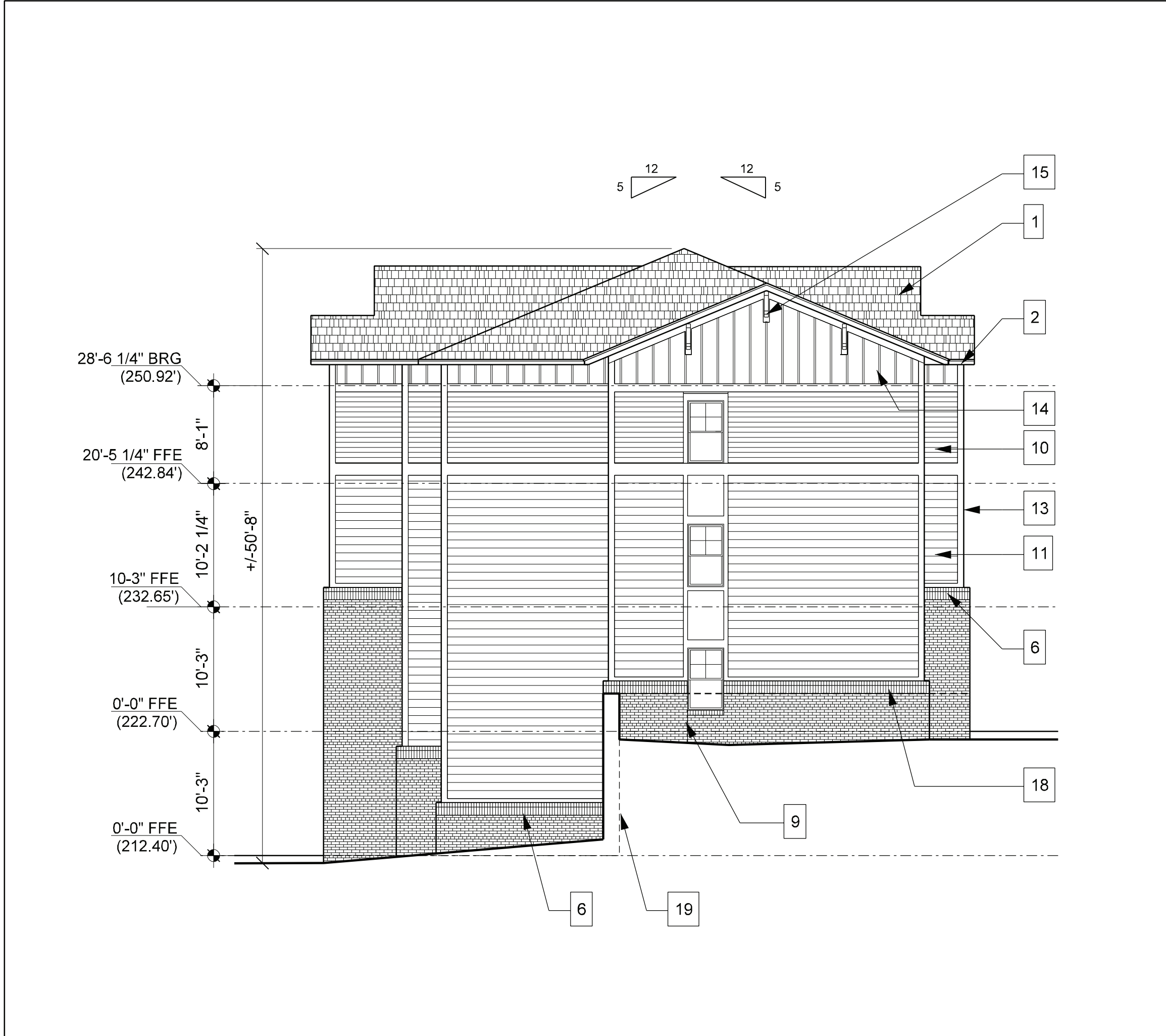
A3.6



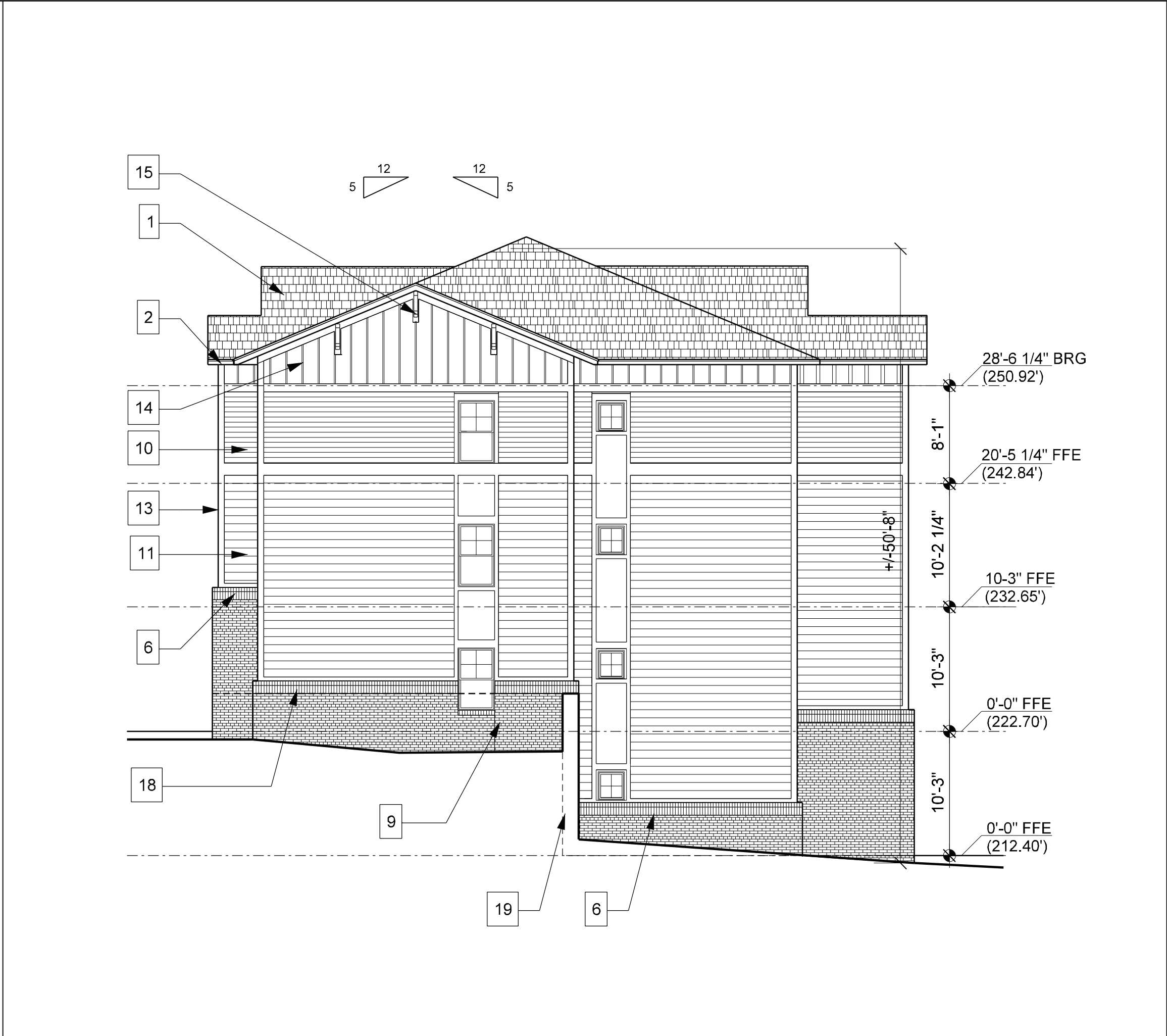
Elevation – REAR – Building No. 3

Scale: 1/8" = 1'-0"

1



Elevation – SIDE – Building No. 4
Scale: 1/16" = 1'-0"



Elevation – SIDE – Building No. 4
Scale: 1/16" = 1'-0"

AGP CALCULATIONS

Average Grade Plane Calculator			
Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)
A	272.75	272.75	204.00
B	250.92	250.92	48.00
C	211.95	211.95	198.00
D	250.92	250.92	48.00
E			
F			
G			
H			
I			
J			
K			
L			
M			
N			
Totals			484.00

Average Grade Plane = (Elevation Total/Total Segment Length)
Average Grade Plane = 217.14 ft.
Minimum Grade Elevation at Any Point = 211.95 ft.

Is the level in question a story above grade plane?

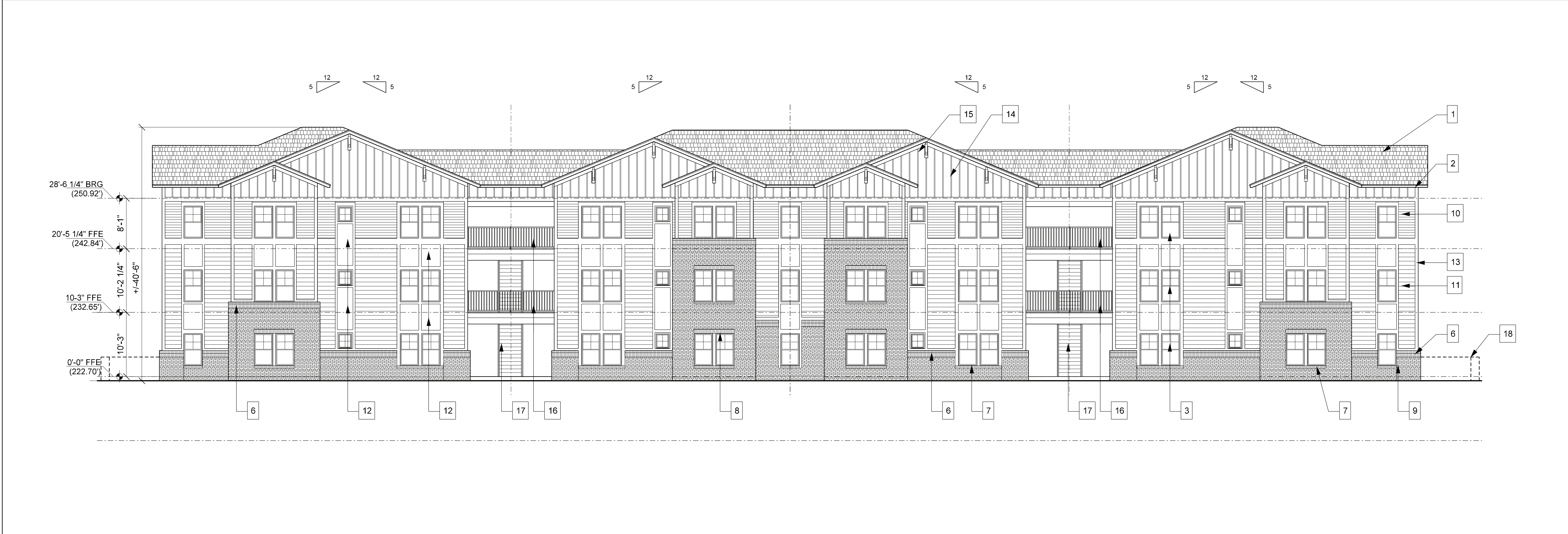
Elevation of Level in Question (ft):	212.45	
Elevation of Level Above (ft):	222.70	
IBC Criteria	Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?	NO	217.14 > 212.45
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?	NO	222.7 - 217.14 < 6
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior walls?	NO	222.7 - 211.95 < 12

The level in question is not a story above grade plane.

- ELEVATION KEY NOTES
- FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
 - PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS
 - VINYL WINDOW(S) - SEE SCHEDULE
 - SCHEDULED DOOR / FRAME - SEE A9.1
 - BRICK VENEER, RUNNING BOND PATTERN
 - STACKED DECORATIVE BRICK COURSE / ACCENT BAND
 - BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN
 - BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS
 - MASONRY CONTROL JOINT (C.J.). C.J.'S TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
 - CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1
 - CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2
 - CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
 - CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.
 - CEMENTITIOUS BOARD AND BATTEN SIDING
 - DECORATIVE PVC BRACKET, TYP.
 - PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
 - EXTERIOR STAIRS, TYP.
 - SITE RETAINING WALL. SEE CIVIL FOR EXTENT.
 - LINE OF BUILDING BEYOND.

LEGEND

! DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL.



Elevation – FRONT – Building No. 4
Scale: 1/8" = 1'-0"

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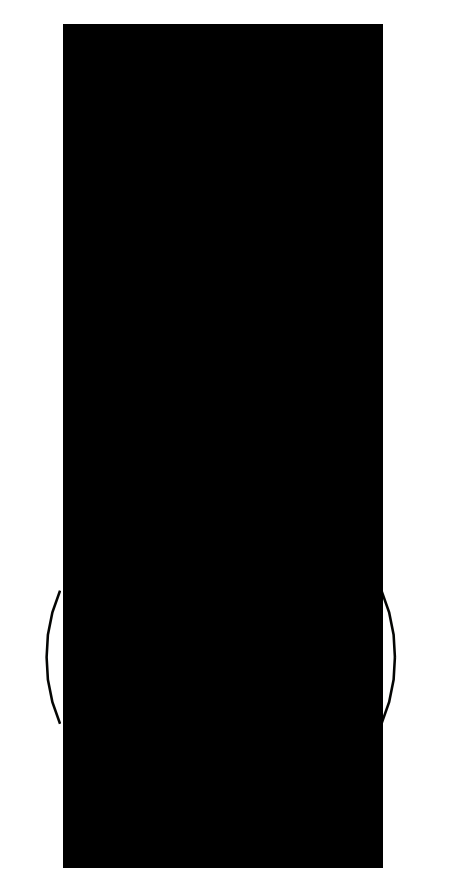
New Bern
Crossings
Apartments

Raleigh, NC

Job Number: 0000

Date: 2022_0908

Revisions:



Exterior Elevations
Building No. 4

Sheet

A3.7

AGP CALCULATIONS

Average Grade Plane Calculator				
Segment	Point 1 Elevation (IN)	Point 2 Elevation (IN)	Segment Length (IN)	Elevation Total
A	222.20	222.20	204.00	43328.80
B	222.20	211.95	41.00	8900.08
C	211.95	211.95	150.00	43965.10
D	212.20	211.95	12.00	8900.08
E				
F				
G				
H				
I				
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L				
M				
N				
Totals	-	-	484.00	105095.05
Average Grade Plane = (Elevation Total/Total Segment Length)				
Average Grade Plane = 217.14 ft.				
Minimum Grade Elevation at Any Point = 211.95 ft.				

Is the level in question a story above grade plane?

Elevation of Level In Question (ft):	212.45	
Elevation of Level Above (ft):	222.20	
IBC Criteria	Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?	NO	217.14 > 212.45
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?	NO	222.7 - 217.14 < 6
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior walls?	NO	222.7 - 211.95 < 12
The level in question is not a story above grade plane.		

ELEVATION KEY NOTES

1

FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY

2

PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS

3

VINYL WINDOW(S) - SEE SCHEDULE

4

SCHEDULED DOOR / FRAME - SEE A9.1

5

BRICK VENEER, RUNNING BOND PATTERN

6

STACKED DECORATIVE BRICK COURSE / ACCENT BAND

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BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN

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BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS

9

MASONRY CONTROL JOINT (CJ). CJS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.

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CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1

11

CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2

12

CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM

13

CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.

14

CEMENTITIOUS BOARD AND BATTEN SIDING

15

DECORATIVE PVC BRACKET, TYP

16

PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES

17

EXTERIOR STAIRS, TYP.

18

SITE RETAINING WALL. SEE CIVIL FOR EXTENT.

LEGEND

!

DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL.

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11

6

18

9

6

12

6

8

17

16

8

6

7

17

16

3

28'-6 1/4" BRG
(250.92')

20'-5 1/4" FFE
(242.84')

10'-3" FFE
(232.65')

0'-0" FFE
(222.70')

0'-0" FFE
(212.40')

8'-1"

10'-2 1/4"

+/-50'-8"

10'-3"

10'-3"

6

12

6

8

17

16

8

6

7

17

16

3

8

16

Elevation – REAR – Building No. 4

Scale: 1/8" = 1'-0"

1

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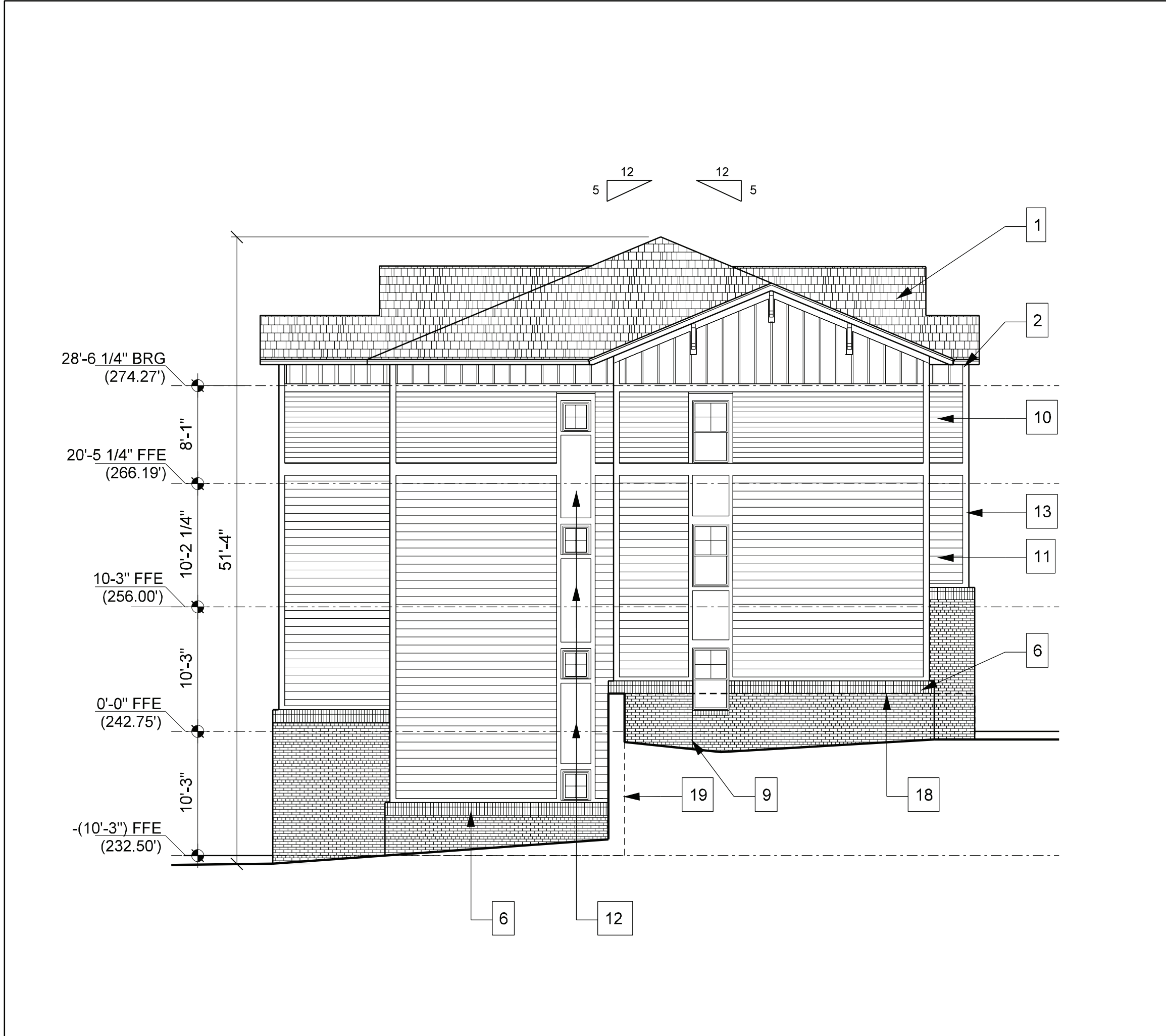
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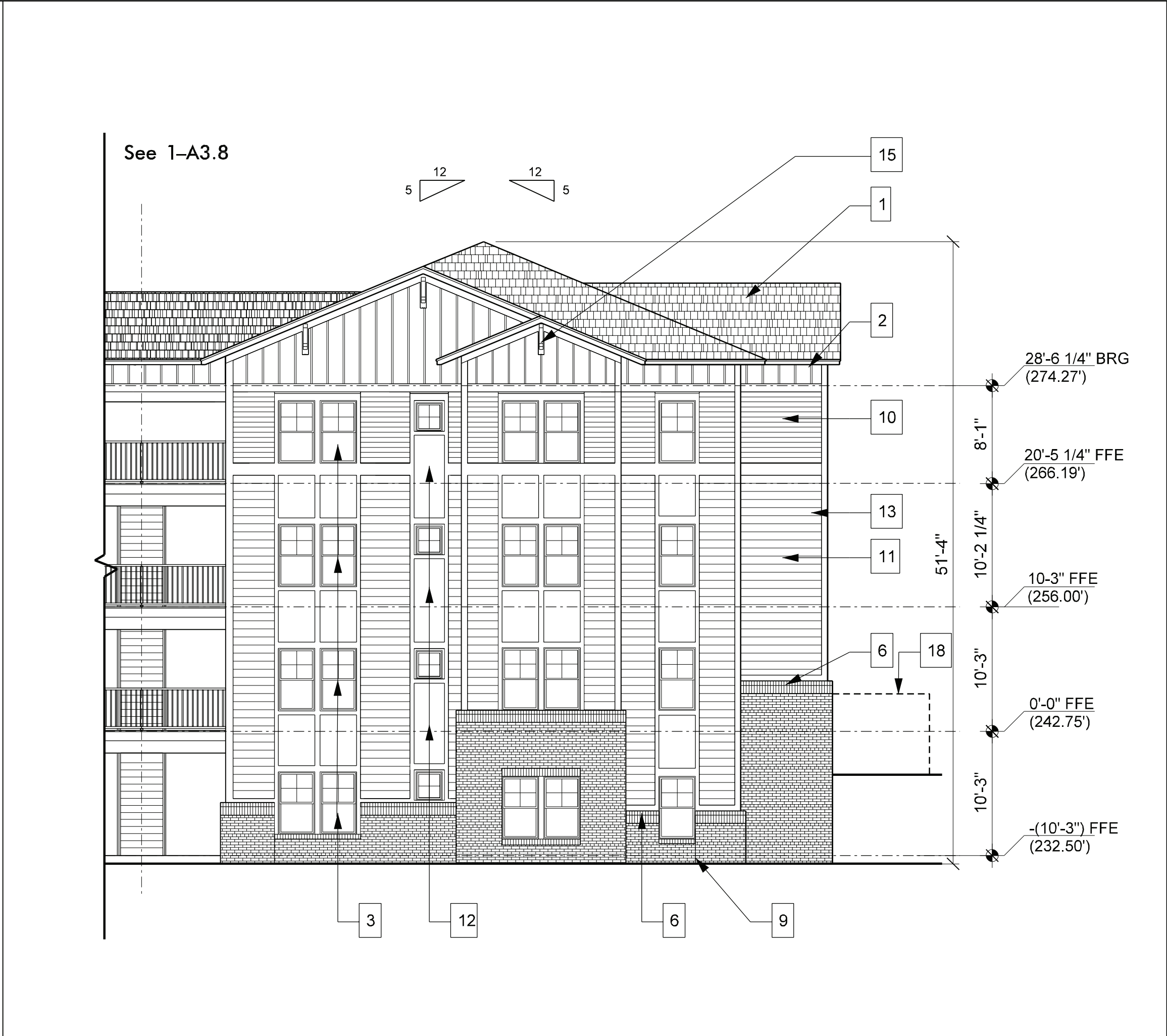
Exterior Elevations
Building No. 4

Sheet

A3.8



Elevation - SIDE - Building No. 5
Scale: 1/16" = 1'-0"



Elevation - REAR - Building No. 5
Scale: 1/16" = 1'-0"

AGP CALCULATIONS

Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)	Elevation Total
A	274.27	274.27	270.00	66130.00
B	266.19	266.19	48.00	10169.50
C	256.00	256.00	780.00	63288.00
D	242.75	242.75	84.00	10169.50
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
Totals			648.00	149769.00

Average Grade Plane = (Elevation Total / Total Segment Length)
Average Grade Plane = 231.13 ft.
Minimum Grade Elevation at Any Point = 226 ft.

Is the level in question a story above grade plane?

Elevation of Level in Question (ft):	Answer	Explanation
226.19	NO	231.13 > 226.19
231.13	NO	231.13 > 231.13 < 6
236.75	NO	236.75 > 231.13 < 12

The level in question is not a story above grade plane.

- ELEVATION KEY NOTES
- FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
 - PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOC.
 - VINYL WINDOW(S) - SEE SCHEDULE
 - SCHEDULED DOOR / FRAME - SEE A9.1
 - BRICK VENEER, RUNNING BOND PATTERN
 - STACKED DECORATIVE BRICK COURSE / ACCENT BAND
 - BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN
 - BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS
 - MASONRY CONTROL JOINT (CJ), CJS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
 - CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1
 - CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2
 - CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
 - CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.
 - CEMENTITIOUS BOARD AND BATTEN SIDING
 - DECORATIVE PVC BRACKET, TYP.
 - PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
 - EXTERIOR STAIRS, TYP.
 - SITE RETAINING WALL. SEE CIVIL FOR EXTENT.
 - LINE OF BUILDING BEYOND.

LEGEND

! DOWNSPOUT. VERIFY LOC. IN FIELD PRIOR TO INSTALL



Elevation - FRONT - Building No. 5
Scale: 1/8" = 1'-0"

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New Bern
Crossings
Apartments

Raleigh, NC

Job Number: 0000

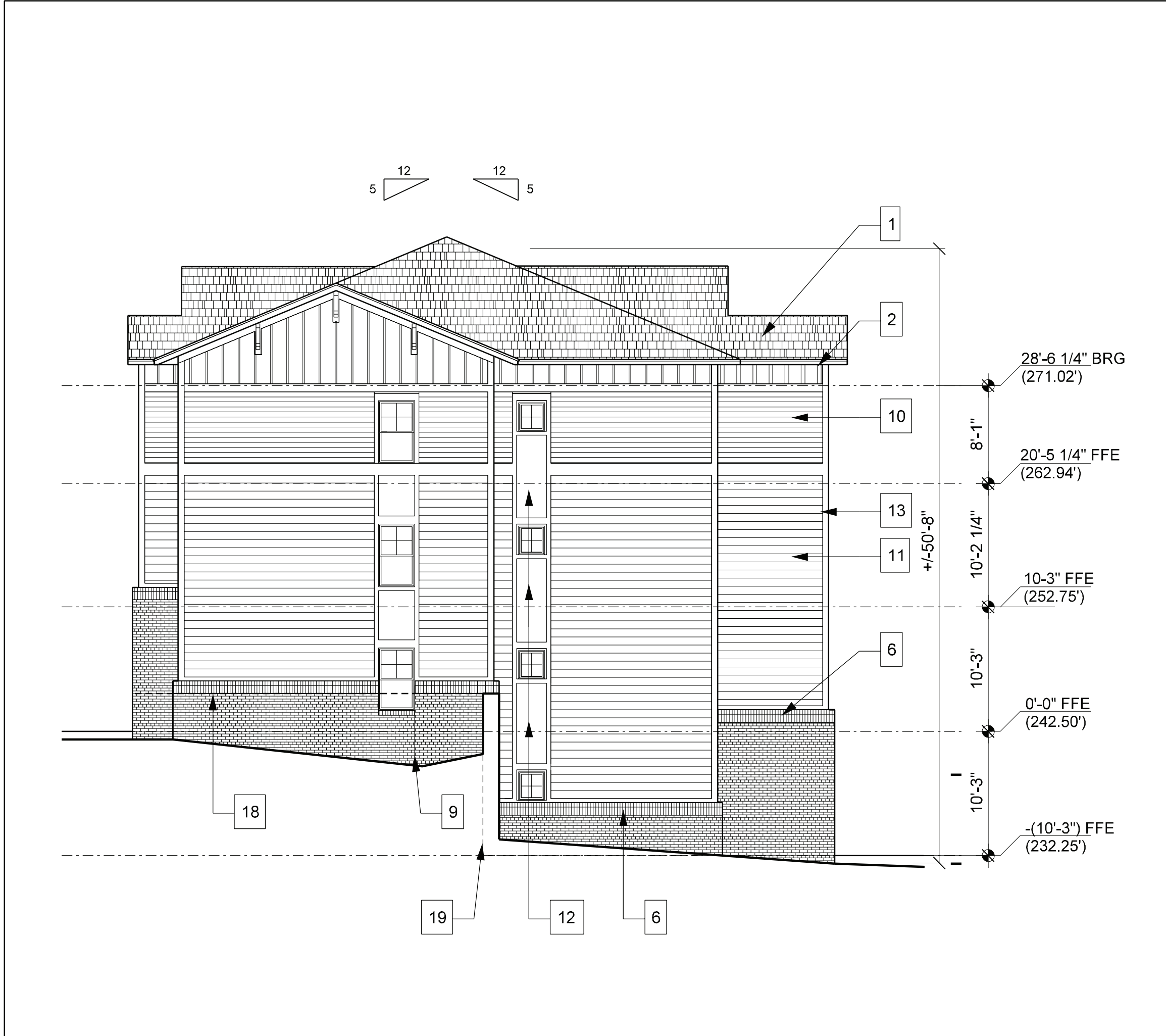
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Exterior Elevations
Building No. 5

Sheet

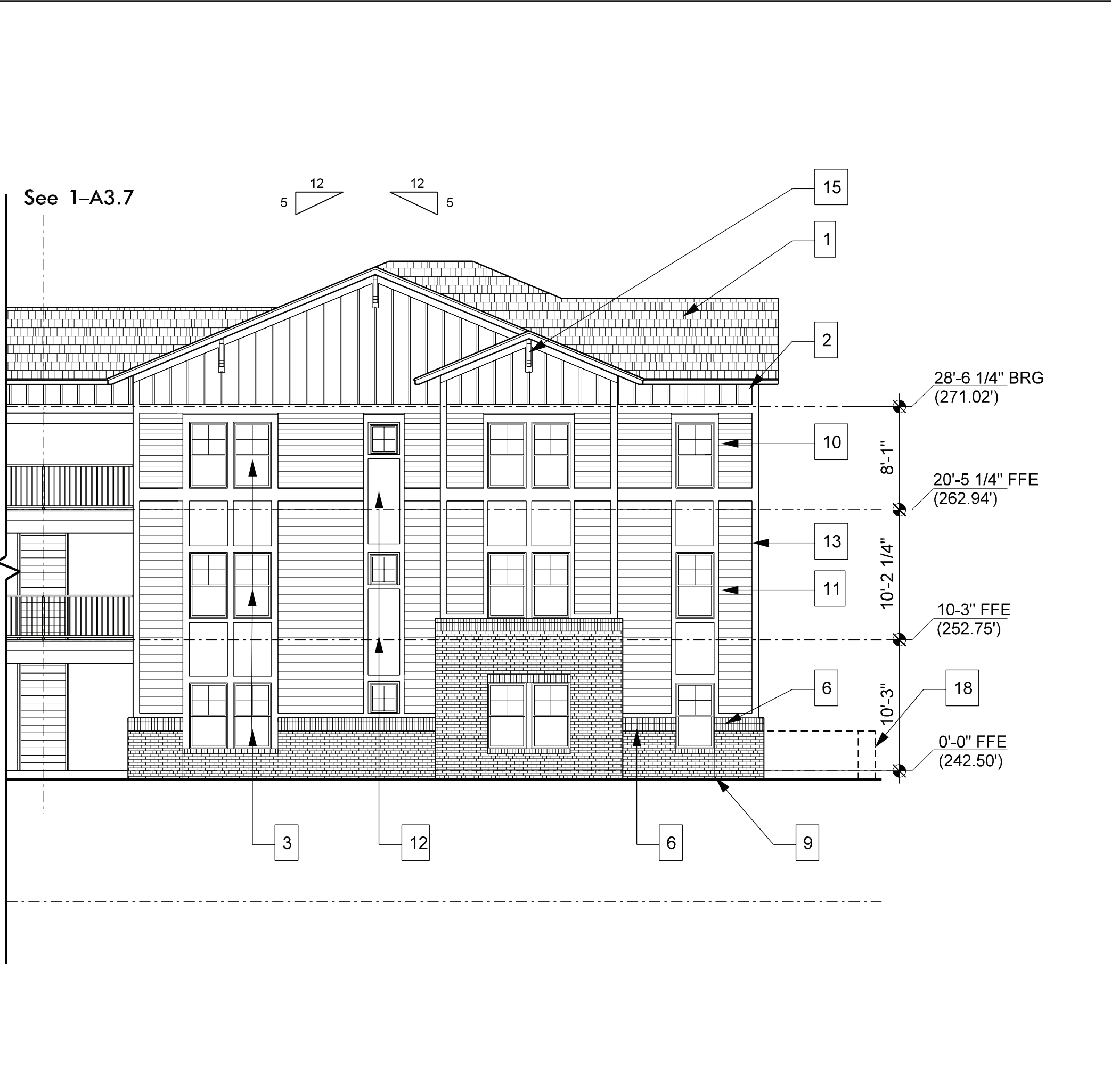
A3.10



Elevation – SIDE – Building No. 6

Scale: 1/16" = 1'-0"

3



Elevation – FRONT – Building No. 6

Scale: 1/16" = 1'-0"

2

AGP CALCULATIONS

Average Grade Plane Calculator				
Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)	Elevation Total
A	242.25	242.25	200.00	48450.00
B	242.25	232.00	66.00	10433.50
C	232.00	232.00	200.00	46400.00
D	242.25	232.00	66.00	10433.50
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
Totals	-	-	648.00	113857.00
Average Grade Plane = (Elevation Total/Total Segment Length)				237.13 ft.
Minimum Grade Elevation at Any Point = 232 ft.				

Is the level in question a story above grade plane?

Elevation of Level in Question (ft):	232.50	
Elevation of Level Above (ft):	242.75	
IBC Criteria	Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?	NO	237.13 > 232.5
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?	NO	242.75 - 237.13 < 6
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior walls?	NO	242.75 - 232 < 12
The level in question is not a story above grade plane.		

- ELEVATION KEY NOTES
- FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
 - PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS
 - VINYL WINDOW(S) - SEE SCHEDULE
 - SCHEDULED DOOR / FRAME - SEE A9.1
 - BRICK VENEER, RUNNING BOND PATTERN
 - STACKED DECORATIVE BRICK COURSE / ACCENT BAND
 - BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN
 - BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS
 - MASONRY CONTROL JOINT (CJ), CJS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
 - CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1
 - CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2
 - CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
 - CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.
 - CEMENTITIOUS BOARD AND BATTEN SIDING
 - DECORATIVE PVC BRACKET, TYP
 - PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
 - EXTERIOR STAIRS, TYP.
 - SITE RETAINING WALL. SEE CIVIL FOR EXTENT.
 - LINE OF BUILDING BEYOND.

- LEGEND
- ! DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL



Elevation – FRONT – Building No. 6

Scale: 1/8" = 1'-0"

1

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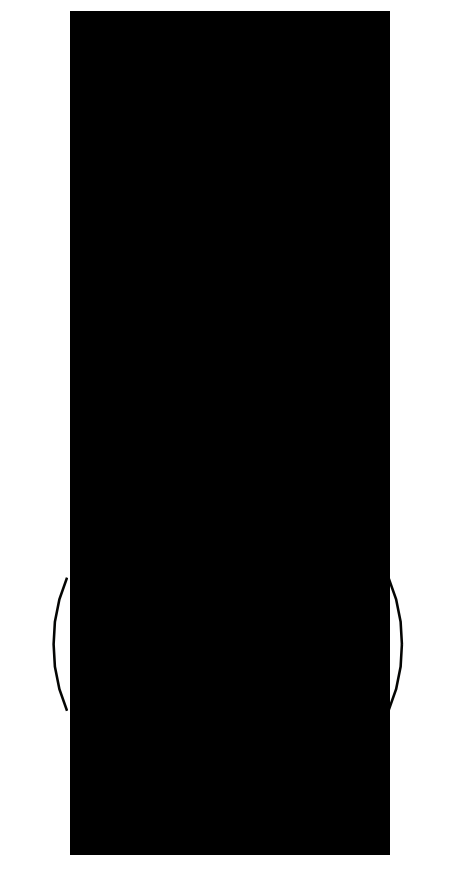
New Bern
Crossings
Apartments

Raleigh, NC

Job Number: 0000

Date: 2022_0908

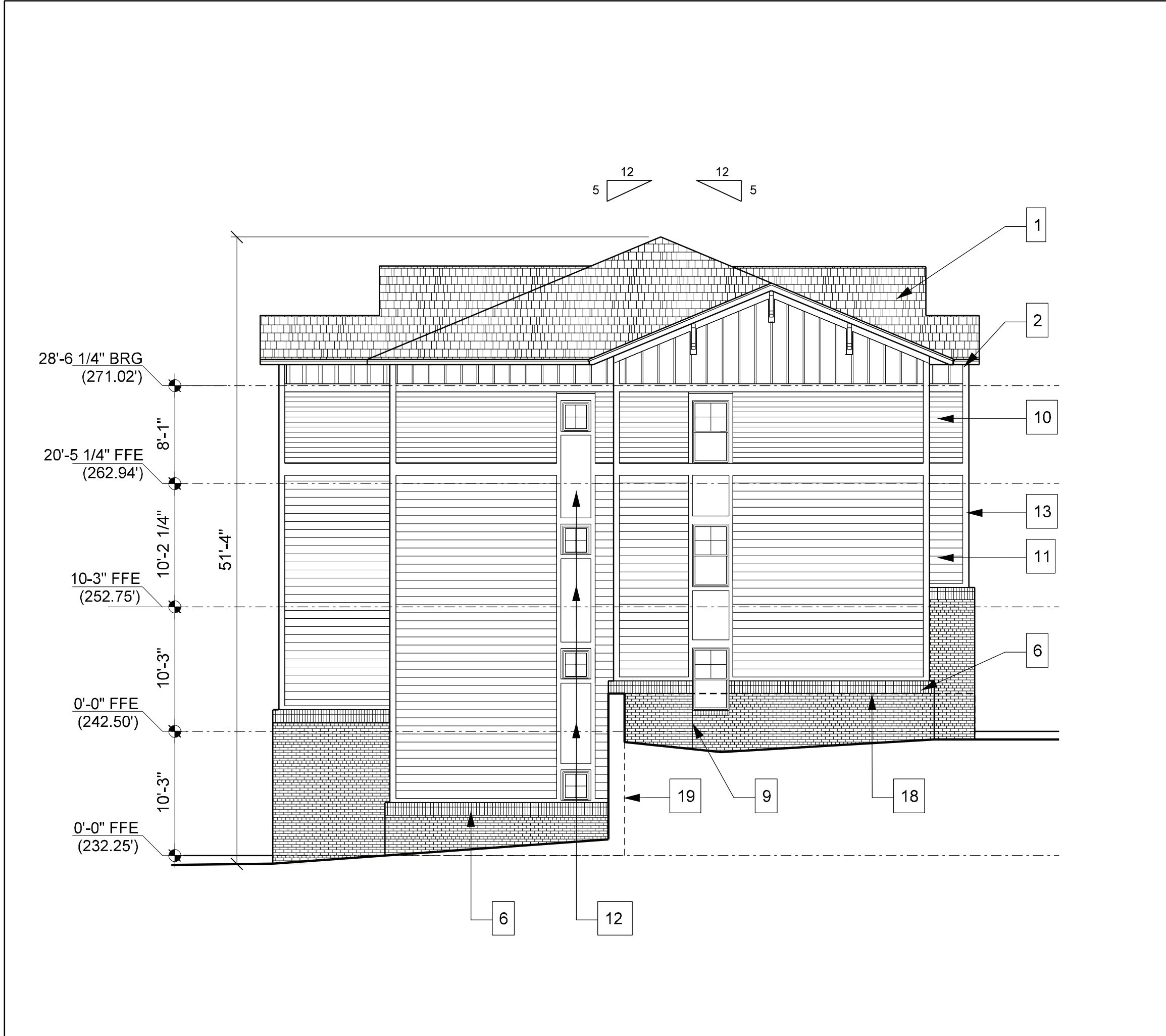
Revisions:



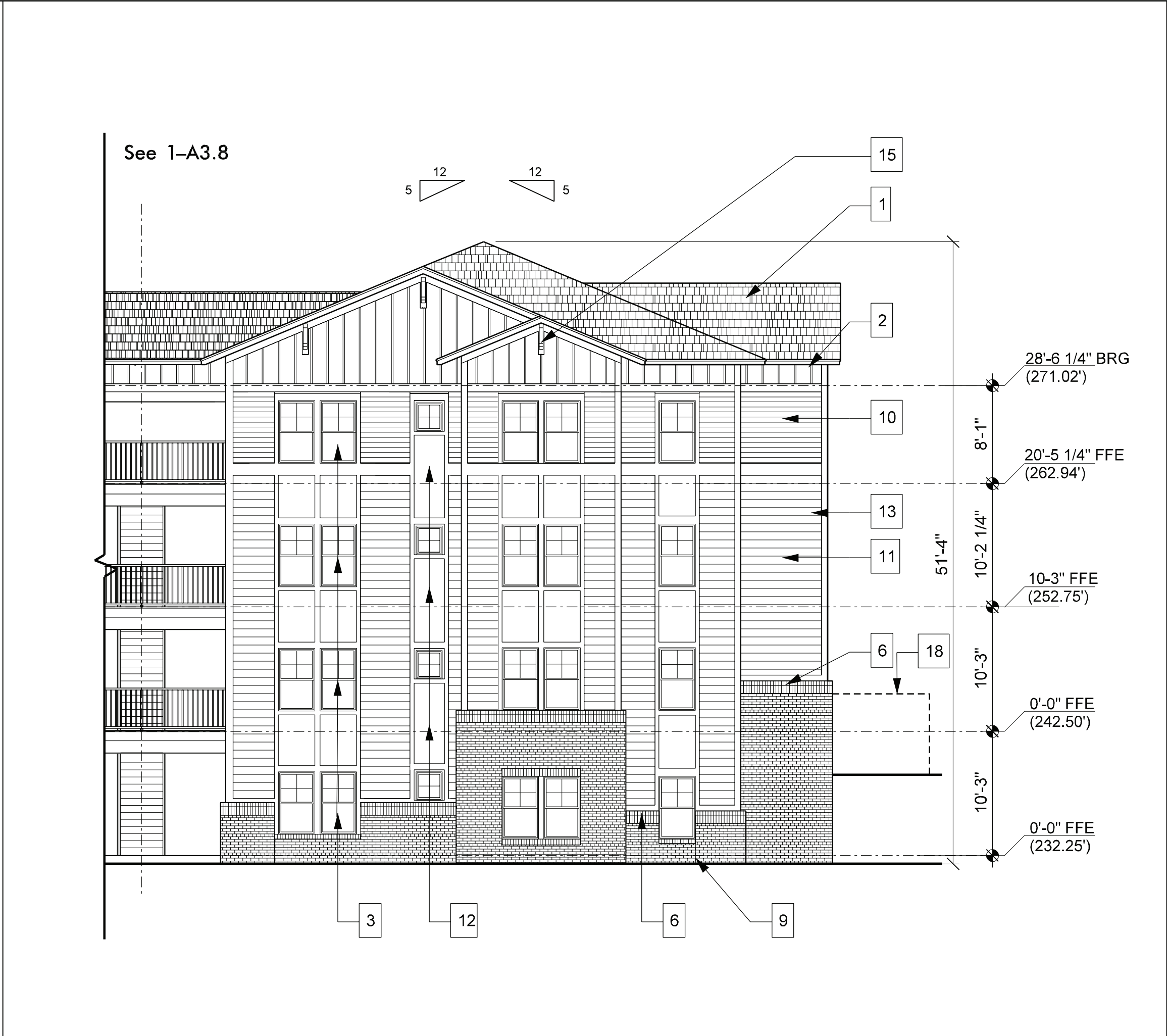
Exterior Elevations
Building No. 6

Sheet

A3.11



Elevation – SIDE – Building No. 3
Scale: 1/16" = 1'-0"



Elevation – REAR – Building No. 6
Scale: 1/16" = 1'-0"

AGP CALCULATIONS

Average Grade Plane Calculator			
Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)
A	271.25	271.25	200.00
B	262.94	262.94	48.00
C	252.75	252.75	200.00
D	242.50	242.50	24.00
E			
F			
G			
H			
I			
J			
K			
L			
M			
N			
Totals			648.00

Average Grade Plane = (Elevation Total/Total Segment Length)
Average Grade Plane = 237.13 ft.
Minimum Grade Elevation at Any Point = 232 ft.

Is the level in question a story above grade plane?

Elevation of Level in Question (ft)	Answer	Explanation
237.50	YES	
237.13	NO	237.13 > 232.5
242.75	NO	242.75 > 237.13 < 6
242.75	NO	242.75 > 232 < 12

The level in question is not a story above grade plane.

- ELEVATION KEY NOTES
- 1

FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
- 2

PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOC.
- 3

VINYL WINDOW(S) - SEE SCHEDULE
- 4

SCHEDULED DOOR / FRAME - SEE A9.1
- 5

BRICK VENEER, RUNNING BOND PATTERN
- 6

STACKED DECORATIVE BRICK COURSE / ACCENT BAND
- 7

BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN
- 8

BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS
- 9

MASONRY CONTROL JOINT (CJ), CJS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
- 10

CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1
- 11

CEMENTITIOUS LAP SIDING, 8" EXPOSURE - COLOR 2
- 12

CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
- 13

CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.
- 14

CEMENTITIOUS BOARD AND BATTEN SIDING
- 15

DECORATIVE PVC BRACKET, TYP.
- 16

PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
- 17

EXTERIOR STAIRS, TYP.
- 18

SITE RETAINING WALL. SEE CIVIL FOR EXTENT.
- 19

LINE OF BUILDING BEYOND.
- LEGEND
- ↓

DOWNSPOUT. VERIFY LOC. IN FIELD PRIOR TO INSTALL



Elevation – REAR – Building No. 6
Scale: 1/8" = 1'-0"

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New Bern
Crossings
Apartments

Raleigh, NC

Job Number: 0000

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Exterior Elevations
Building No. 6

Sheet

A3.12

AGP CALCULATIONS

Average Grade Plane Calculator				
Segment	Point 1 Elevation (ft)	Point 2 Elevation (ft)	Segment Length (ft)	Elevation Total
A	245.25	245.25	50.00	12262.50
B	231.00	245.25	50.00	12839.75
C	234.00	234.00	50.00	13800.00
D	248.00	245.25	50.00	11022.75
E				
F				
G				
H				
I				
J				
K				
L				
M				
N				
Totals			200.00	50033.00

Average Grade Plane = (Elevation Total/Total Segment Length)
Average Grade Plane = 239.38 ft.
Minimum Grade Elevation at Any Point = 234 ft.

Is the level in question a story above grade plane?

Elevation of Level in Question (ft):

234.50

Elevation of Level Above (ft):

239.38

IBC Criteria	Answer	Explanation
Is the floor surface of the story in question located entirely above the grade plane elevation?	NO	239.38 > 234.5
Is the floor surface of the floor above the story in question located more than 6 feet above the grade plane elevation?	YES	245.75 - 239.38 > 6
Is the floor surface of the floor above the story in question located more than 12 feet above any of the grade measurements at any point along the building exterior wall?	NO	245.75 - 234 < 12

The level in question is a story above grade plane.

ELEVATION KEY NOTES

1

FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY

2

PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS

3

VINYL WINDOW(S) - SEE SCHEDULE

4

SCHEDULED DOOR / FRAME - SEE A9.1

5

BRICK VENEER, RUNNING BOND PATTERN

6

STACKED DECORATIVE BRICK COURSE / ACCENT BAND

7

BRICK VENEER ROWLOCK SILL, SLOPED TO DRAIN

8

BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS

9

MASONRY CONTROL JOINT (CJ). CJS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.

10

CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1

11

CEMENTITIOUS LAP SIDING, 7" EXPOSURE - COLOR 2

12

CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM

13

CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.

14

CEMENTITIOUS BOARD AND BATTEN SIDING

15

DECORATIVE PVC BRACKET, TYP

16

PREFINISHED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES

17

EXTERIOR STAIRS, TYP.

18

2'-0" x 3'-0" PVC ATTIC VENT WITH INSECT SCREEN

19

EXTERIOR ADA COMPLIANT LIGHT FIXTURE

20

BUILDING OR EQUIPMENT BEYOND, TYP.

21

8'-0"W x 7'-0"H ROLLING DOOR

LEGEND

↓

DOWNSPOUT. VERIFY LOCS. IN FIELD PRIOR TO INSTALL.

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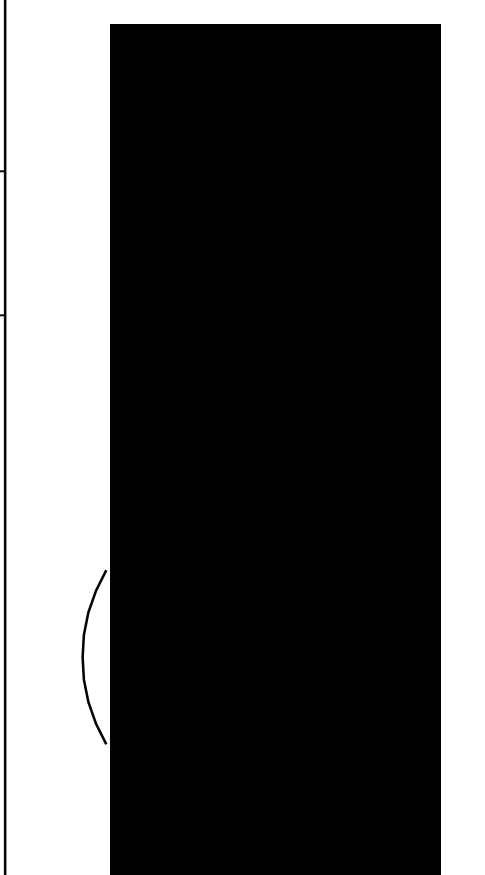
New Bern
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Raleigh, NC

Job Number: 0000

Date: 2022_0908

Revisions:



Exterior Elevations
Community Building

Sheet

A3.13

Elevation – SIDE – Community Building

Scale: 1/16" = 1'-0"

4

Elevation – SIDE – Community

Scale: 1/16" = 1'-0"

3

Elevation – REAR – Community Building

Scale: 1/16" = 1'-0"

2

Elevation – FRONT – Community Building

Scale: 1/16" = 1'-0"

1

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