



# Administrative Approval Action

Case File / Name: ASR-0077-2021  
DSLCL - NEW BERN CROSSINGS

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This 20.10 acre tract zoned CX-3 CU (Z-27F-2014) and SHOD-1 is located in the northeast corner of the intersection of New Bern Ave and I-440 Raleigh Beltline.
- REQUEST:** This development is a 192 unit multi-family apartment development consisting of seven buildings totaling 243,360 square feet, parking and associated infrastructure on two parcels to be recombined.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 27, 2023 by McAdams Company.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

1. For developments containing residential uses, a number of units equal to at least twenty percent (20%) of the residential units established in newly allowed stories as the result of this height bonus shall be affordable for households earning sixty percent (60%) of the Area Median Income or less for a period of no less than 30 years from the date of issuance of a certificate of occupancy. (3.7.1 D 5) - Note on plan.

### Stormwater

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
3. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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## Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

|                                     |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Cross Access Agreements Required         |
| <input checked="" type="checkbox"/> | Slope Easement Deed of Easement Required |

|                                     |   |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | Right of Way Deed of Easement Required      |
| <input checked="" type="checkbox"/> | Utility Placement Deed of Easement Required |

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. A cross access agreement among the lots identified as PINs 1724449824 and PIN 1724449959 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Public Utilities

5. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater

6. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
7. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 3.042 acres of tree conservation area.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***



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## General

1. Prior to map recordation or issuance of a building permit, whichever shall first occur, the owner of the property shall cause to be recorded in the Wake County Registry a offer of cross-access establishing vehicular and pedestrian access over the Property in favor of the owner(s) of all or any portion of the property abutting the eastern boundary of the Property with Wake County Parcel Identification Number 1724-44-9959 and is described by deed recorded at Deed Book 8475, Page 607 of the Wake County Registry (Zoning condition #3)
2. A recombination map shall be recorded, recombining the existing lots into a single tract.
3. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Engineering

4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
5. A fee-in-lieu for streetscape updates along New Bern Avenue shall be paid to the City of Raleigh (UDO 8.1.10).

## Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

10. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 23 street trees along New Bern Avenue.
11. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).





Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #, Planner (print), Please review UDO Section 10.2.8, as amended by bill change case 10-14-10 to determine the site plan tier...

Site Plan Tier: Tier Two Site Plan, Tier Three Site Plan. Building Type: Detached, Attached, Apartment, Townhouse. Site Transaction History: Subdivision case #, Scoping/feasibility plan case #, Certificate of Appropriateness #, Board of Adjustment #, Zoning Case #, Administrative Alternate #.

GENERAL INFORMATION: Development name: 3312 New Bern Avenue, Raleigh NC. Property address(es): 3312 New Bern Avenue, Raleigh NC. Site P.I.N.(s): 1724447360, 1724448524.

Current Property Owner/Developer Contact Name: William Wood. Company: Graystone Affordable Development LLC. Address: 4025 Lake Boone Trail, Suite 209 Raleigh, North Carolina 27607.

APPLICANT INFORMATION: Applicant Name: Adam Pike. Company: McAdams. Address: 1 Glenwood Avenue, Suite 201 Raleigh NC 27603. Phone #: 919-823-4300.

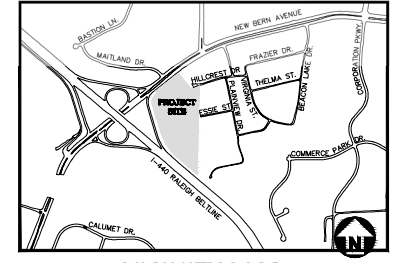
DEVELOPMENT TYPE - SITE DATA TABLE. SITE DATA: Zoning district (CR-3-CU), Existing gross floor area (214,387 SF), Total gross floor area (243,360 SF).

STORMWATER INFORMATION: Existing Impervious Surface: Acres: 0.1. Proposed Impervious Surface: Acres: 5.51 BC. Square Feet: 240,120 SF.

RESIDENTIAL DEVELOPMENTS: Total # of dwelling units: 192. Total # of hotel units: 0. # of bedroom units: 1br 7, 2br 81, 3br 39.

SIGNATURE BLOCK: The undersigned indicates that the property owner is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith...

Signature: Adam Pike. Date: 9/2/21. Printed Name: Adam Pike.



# NEW BERN CROSSINGS

## ADMINISTRATIVE SITE REVIEW

### 3312 NEW BERN AVENUE RALEIGH, NORTH CAROLINA 27610 CITY OF RALEIGH ASR CASE #: ASR-077-2021

### PROJECT NUMBER: 2020110075 DATE: SEPTEMBER 3, 2021 REVISED: SEPTEMBER 13, 2022 REVISED: DECEMBER 14, 2022 REVISED: JANUARY 27, 2023

SPECIAL CONDITIONS OF ASR APPROVAL  
1. NONE. PROJECT IS USING UDO 3.7 FOR BUILDING HEIGHT INCREASE AND MEETS REQUIREMENTS FOR THIS ALLOWANCE.

SHEET INDEX table listing sheets C0.00 through C13.13, including categories like PROJECT NOTES, EXISTING CONDITIONS, SITE DETAILS, and EXTERIOR ELEVATIONS.

SITE DATA table with columns for SITE DATA, BUILDING DATA, and STORMWATER INFORMATION. Includes details on zoning, floor area, and impervious surface.

### ZONING CONDITIONS (Z-27F-2014)

3312 NEW BERN AVENUE (PIN 1724-44-7360 PG 01280) & 3300 NEW BERN AVENUE (PIN 1724-44-8524, DN 012123 PG 02364) CONTAINING SITES MARCH 11, 2016. THESE TWO PROPERTIES WERE ORIGINALLY RECORDED AS CASE NUMBER 0-19-10.

PARKING - BUILD-TO-DATA table. BUILDING INFORMATION: APARTMENT BUILDING 1: 34 UNITS, 28,165 SF. APARTMENT BUILDING 2: 28 UNITS, 20,192 SF. APARTMENT BUILDING 3: 24 UNITS, 19,192 SF. APARTMENT BUILDING 4: 10 UNITS, 8,420 SF. APARTMENT BUILDING 5: 10 UNITS, 8,420 SF.

1. AS USED HEREIN, THE "PROPERTY" REFERS TO THOSE CERTAIN TRACTS OR PARCELS OF LAND CONTAINING APPROXIMATELY 18.7 ACRES LOCATED IN THE SOUTHWEST QUARTER OF THE INTERSECTION OF INTERSTATE 40 AND NEW BERN AVENUE IN RALEIGH, NORTH CAROLINA, HAVING WAKE COUNTY PIN 1724-44-7360 (DESCRIBED AS DEED RECORDED AT DEED BOOK 11840, PAGE 1286) AND 1724-44-8524 (DESCRIBED AS DEED RECORDED AT DEED BOOK 12133, PAGE 2356).

1. STREET, LAKE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSURE OF ANY STREET, LAKE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.

OUTDOOR AMENITY AREA CALCULATIONS table. SITE AREA: 20,192 SQ. FT. (0.46 AC). REQUIRED AMENITY AREA: 1.01 AC OR 27,546 SQ. FT. (0.63 AC). PROVIDED AMENITY AREA: 2.00 AC OR 55,000 SQ. FT. (1.26 AC).

RIGHT-OF-WAY OBSTRUCTION NOTES: 1. STREET, LAKE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSURE OF ANY STREET, LAKE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.

ATTENTION CONTRACTORS: The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 998-2400.

811 logo with text: Know what's below. Call before you dig. CONTRACTOR SHALL NOTIFY 'NC811' (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.

CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF 'NC811'. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NC801 STANDARDS, SPECIFICATIONS AND DETAILS. PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McAdams logo and contact information: The John R. McAdams Company, Inc. 621 Hillsborough Street, Suite 500, Raleigh, NC 27603. phone 919.361.5000, fax 919.361.2269, license number: C-0293, C-187, www.mcadamsco.com

CONTACT: ADAM PIKE, PE, pike@mcadamsco.com, PHONE: 919.287.0813

CLIENT: GRAYSTONE AFFORDABLE DEVELOPMENT LLC, 4025 LAKE BOONE TRAIL, SUITE 209, RALEIGH, NORTH CAROLINA 27607

DEVELOPER: GRAYSTONE AFFORDABLE DEVELOPMENT LLC, 4025 LAKE BOONE TRAIL, SUITE 209, RALEIGH, NORTH CAROLINA 27607. PHONE: 919.561.5000

ARCHITECT: TICE-KISTER ARCHITECTS, 119 E FRANKLIN STREET, SUITE 300, CHAPEL HILL NC 27514, 919.967.0158

ENGINEER: LANDSCAPE ARCHITECTURE, MCDAMAS COMPANY, 621 HILLSBOROUGH STREET, SUITE 500, RALEIGH, NORTH CAROLINA, 27603. PHONE: 919.561.5000

PROJECT DIRECTORY: DEVELOPER, ARCHITECT, ENGINEER, LANDSCAPE ARCHITECTURE.

REVISIONS table with columns for NO., DATE, and REVISION. Includes entries for ASR REVIEW and COR COR ASR REVIEW.

REVISIONS table (continued) with entries for COR COR ASR REVIEW and COR COR ASR REVIEW.

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ADMINISTRATIVE SITE REVIEW PLANS FOR: NEW BERN CROSSINGS, 3312 NEW BERN AVENUE, RALEIGH, NC 27610, PROJECT NUMBER: 2020110075





| ZONING INFORMATION   |                        |                                |
|----------------------|------------------------|--------------------------------|
| STATUS               | REQUIRED               | PROPERTY IS CURRENTLY ZONED TO |
| PERMITTED USE        | REQUIRED               | COMMERCIAL MIXED USE           |
| MIN. LOT AREA        | PARKING HANDICAP       |                                |
| MIN. FRONTAGE        | PARKING TOTAL          |                                |
| MAX. BLDG COVERAGE   | AWAITING ZONING REPORT |                                |
| MIN. SETBACKS FRONT  |                        |                                |
| MIN. SETBACKS SIDE   |                        |                                |
| MIN. SETBACKS REAR   |                        |                                |
| MAX. BUILDING HEIGHT |                        |                                |

**MISCELLANEOUS NOTES**

**N1** THE BASIS OF BEARING FOR THIS SURVEY IS THE TRACT 1/7 TRACT 2 BOUNDARY LINE WHICH BEARS S 38°08'36" E PER GPS COORDINATE OBSERVATIONS STATE PLANE, NC ZONE, NAD83.  
LATITUDE = N35°47'46.5589"  
LONGITUDE = W78°34'45.5989"  
CONVERGENCE ANGLE = 0°14'34.0672"

**N2** DISTANCES SHOWN ON PLAT ARE GRID, COMBINED SCALE FACTOR (GRID TO GROUND) = 1.00008236021107

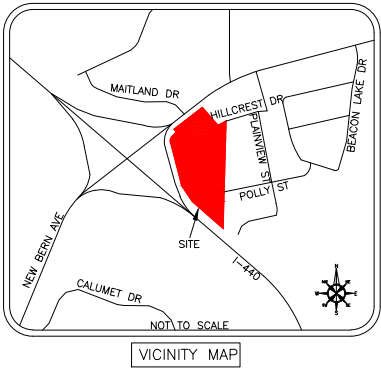
**N3** THE TABLE BELOW DESCRIBES THE TYPE AND NUMBER OF PARKING STALLS ENTIRELY WITHIN PROPERTY BOUNDARY STALLS THAT ARE PARTIALLY WITHIN BOUNDARY ARE LISTED UNDER THE HEADING "PARTIAL". PARTIAL STALLS ARE NOT COUNTED IN THE TOTAL.

| PARKING |          |         |         |       |
|---------|----------|---------|---------|-------|
| REGULAR | HANDICAP | TRAILER | PARTIAL | TOTAL |
| 0       | 0        | 0       | 0       | 0     |

- N4** THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- N5** THERE WERE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND NO SUCH INFORMATION WAS MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- N6** THE DISTANCE TO THE NEAREST INTERSECTING STREET (NEW BERN AVENUE AND MAITLAND DRIVE) IS 200' FROM THE NE CORNER OF THE SUBJECT PROPERTY AND IS DESIGNATED ON SURVEY MAP FOR CLARITY.
- N7** THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO NEW BERN AVENUE, A DEDICATED PUBLIC STREET.
- N8** AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUND.
- N9** THERE WAS EVIDENCE OF DELINEATED WETLAND AREAS, PER THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY WEBSITE. MARKERS FROM A FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST WERE OBSERVED DURING THE COURSE OF THE ALTA SURVEY AND ARE SHOWN ON SURVEY.
- N10** AT THE TIME OF THE ALTA SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF SEPTIC TANKS, NOR SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LAND FILL.
- N11** AT THE TIME OF THE ALTA SURVEY THERE WAS NO OBSERVABLE EVIDENCE OF OIL, GAS, OR MINERAL EXPLORATION OR EXTRACTION ON THE SUBJECT PROPERTY.
- N12** ALL OFFSITE EASEMENTS OR SERVICUTES PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY ARE PLOTTED AND SHOWN HEREON.
- N13** IN REGARDS TO ALTA TABLE A ITEM 10(A), NO VISIBLE CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT, NECESSARY PERMISSIONS WERE NOT PROVIDED.
- N14** NO EVIDENCE THAT THE PROPERTY IS LOCATED WITHIN ANY RIGHT-OF-WAYS WAS OBSERVED WITHIN THE COURSE OF THE ALTA SURVEY.
- N15** ELEVATIONS ESTABLISHED BASED ON NATIONAL GEODETIC SURVEY(NGS) MONUMENT, PID E22543. ELEVATION: 285.97'
- N16** AT THE TIME OF THE SURVEY THERE WERE NO VISIBLE BUILDINGS ON THE SUBJECT PROPERTY.

**INVERT INFORMATION**

| SANITARY SEWER  | SANITARY SEWER   | STORM DRAIN  |
|---|--|--|
| SM #1<br>RM ELEVATION: 235.45'<br>INVERT 6" PVC: 223.71'<br>INVERT 8" (6" PVC): 223.47'<br>INVERT 12" (6" PVC): 220.15' | SM #8<br>RM ELEVATION: 210.17'<br>INVERT 6" PVC: 199.24'<br>SM #9<br>RM ELEVATION: 201.14'<br>INVERT 6" PVC: 194.90'<br>SM #10<br>RM ELEVATION: 228.79'<br>INVERT 6" PVC: 217.76'<br>SM #11<br>RM ELEVATION: 228.65'<br>INVERT 6" PVC: 216.72'<br>SM #12<br>RM ELEVATION: 223.92'<br>INVERT 6" PVC: 215.68'<br>SM #13<br>RM ELEVATION: 221.62'<br>INVERT 6" PVC: 215.66'<br>SM #14<br>RM ELEVATION: 216.56'<br>INVERT 6" PVC: 210.99'<br>SM #17<br>RM ELEVATION: 216.56'<br>INVERT 6" PVC: 204.30' | SI #1<br>RM ELEVATION: 254.58'<br>INVERT 12" RCP: 251.61'<br>SI #2<br>RM ELEVATION: 248.51'<br>INVERT 12" RCP: 226.46'<br>SI #3<br>RM ELEVATION: 241.35'<br>INVERT 15" RCP: 232.95'<br>SI #4<br>RM ELEVATION: 234.61'<br>INVERT 15" RCP: 229.75'<br>SI #5<br>RM ELEVATION: 230.85'<br>INVERT SE 18" RCP: 226.85'<br>INVERT SE 15" RCP: 227.52' |



**BENCHMARKS**

| TEMP #1   | TEMP #2   |
|---|---|
| 600 NAL<br>NORTHING: 743339.2512<br>EASTING: 2125168.3515<br>ELEVATION: 193.75' | 600 NAL<br>NORTHING: 744784.4272<br>EASTING: 2124848.3322<br>ELEVATION: 231.39' |

SEE PAGES 2 & 3 FOR SURVEY DRAWING

**UTILITY NOTE**

**1** THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5. E. I. TOGETHER WITH EVIDENCE FROM PLANS REQUESTED BY THE SURVEYOR AND OBTAINED FROM THE UTILITY COMPANIES, OR PROVIDED BY THE CLIENT AND MARKINGS REQUESTED BY THE SURVEYOR PURSUANT TO A 811 UTILITY LOCATE OR SIMILAR REQUEST.

|         |  |                                      |
|---------|--|--------------------------------------|
| ATT01   | ATT/1 (TRANSMISSION) FIBER OPTIC<br>MARKED<br>ANTONIO J. PEIRANO   | 09/23/20 12:13 PM 20<br>803-261-4551 |
| ATT322* | ATT/D (DISTRIBUTION) PHONE - COPPER OR FIBER<br>NO CONFLICT, UTILITY IS OUTSIDE OF STATED WORK AREA DISPATCH                             | 09/18/20 05:11 PM 10<br>800-778-9140 |
| COR01   | RALEIGH WATER WATER AND SEWER<br>NO CONFLICT, UTILITY IS OUTSIDE OF STATED WORK AREA CITY OF RALEIGH PERSONNEL                           | 09/19/20 06:49 PM 10<br>919-996-2737 |
| CPL10*  | DUKE ENERGY POWER<br>NO CONFLICT, UTILITY IS OUTSIDE OF STATED WORK AREA DISPATCH  | 09/24/20 01:00 PM 10<br>800-778-9140 |
| CV004*  | TIME WARNER CABLE-CHARTER CABLE TV<br>NO CONFLICT, UTILITY IS OUTSIDE OF STATED WORK AREA DISPATCH                                       | 09/24/20 01:00 PM 10<br>800-778-9140 |
| DET01*  | TIME WARNER CABLE-CHARTER FIBER OPTIC<br>NO CONFLICT, UTILITY IS OUTSIDE OF STATED WORK AREA DISPATCH                                    | 09/24/20 01:00 PM 10<br>800-778-9140 |
| DOT05   | NC DEPARTMENT OF TRANSPORTATION TRAFFIC AND FIBER OPTICS<br>NO CONFLICT, UTILITY IS OUTSIDE OF STATED WORK AREA NO CONTACT NUMBER LISTED | 09/21/20 06:04 AM 10                 |
| LCS02   | LAMBERTS CABLE SPLICING COMPANY, LLC FIBER OPTIC<br>MARKED<br>DAVE MCBRIDE   | 09/21/20 12:35 PM 20<br>352-494-0691 |
| MO01    | VERIZON (FORMERLY MCI) FIBER OPTIC<br>NO CONFLICT, UTILITY IS OUTSIDE OF STATED WORK AREA NATIONAL FIBER SECURITY                        | 09/18/20 03:50 PM 10<br>800-288-3427 |
| PAL01*  | SEORA (FORMERLY SPIRIT) FIBER OPTIC<br>MARKED<br>BRIAN ARRINGTON   | 09/24/20 01:42 PM 20<br>919-616-9399 |
| PS001   | DOMINION ENERGY GAS<br>NO CONFLICT, UTILITY IS OUTSIDE OF STATED WORK AREA CUSTOMER SERVICE REP  | 09/23/20 09:50 AM 10<br>877-776-2427 |



**SURVEY RELATED ITEMS CORRESPONDING TO SCHEDULE B TITLE COMMITMENT**

- Easement and Right of Way to Carolina Power and Light Company, its successors, leases and assigns recorded in Book 1277, Page 585, Wake County Registry. (UNABLE TO DETERMINE, SURVEYOR REQUESTS MAP TD9887)
- Right of Way Agreement to State Highway Commission recorded in Book 1545, Page 154, Wake County Registry. (UNABLE TO DETERMINE, BK.1303 PG.623 REFERS TO PRIOR LANDOWNER'S PROPERTY EXTENTS)
- Deed of Easement to the City of Raleigh, a municipal corporation of the State of North Carolina recorded in Book 1931, Page 428, Wake County Registry. (DOES NOT AFFECT SUBJECT PROPERTY)
- Matters set forth on Plat recorded in Book of Maps 1970 Volume 1, Page 8, Wake County Registry. (DOES NOT AFFECT SUBJECT PROPERTY)
- Matters set forth on Plat recorded in Book of Maps 2005, Page 189, Wake County Registry. (AFFECTS, PLOTTED AND SHOWN)
- Matters set forth on Plat recorded in Book of Maps 2005, Page 190, Wake County Registry. (AFFECTS, PLOTTED AND SHOWN)
- Easement to Carolina Power and Light Company, its successors and assigns recorded in Book 2071, Page 593, Wake County Registry. (UNABLE TO DETERMINE, SURVEYOR REQUESTS COMPANY DRAWING NO. RW-D-2311 SHEET 1)
- Deed of Easement to the City of Raleigh, a municipal corporation of the State of North Carolina recorded in Book 6932, Page 498, Wake County Registry. (UNABLE TO DETERMINE, SURVEYOR REQUESTS MAP ENTITLED "3600 NEW BERN AVENUE SANITARY SEWER EASEMENT MAP", DATED 5-22-95, AND RECORDED IN BOOK OF MAPS 1996, PAGE 269)
- Deed of Easement to the City of Raleigh recorded in Book 11357, Page 565, Wake County Registry. (AFFECTS, PLOTTED AND SHOWN)
- Consent Judgment in favor of the State Highway Commission recorded in Book 1596, Page 211, Wake County Registry. (UNABLE TO DETERMINE, SURVEYOR REQUESTS SURVEY STATION MAP)
- Consent Judgment in favor of the State Highway Commission recorded in Book 1963, Page 22, Wake County Registry. (UNABLE TO DETERMINE, SURVEYOR REQUESTS SURVEY STATION MAP)
- Consent Judgment in favor of the Board of Transportation recorded in Book 2391, Page 185, Wake County Registry. (UNABLE TO DETERMINE, SURVEYOR REQUESTS SURVEY STATION MAP)
- Consent Judgment in favor of the Department of Transportation recorded in Book 7107, Page 403, Wake County Registry. (UNABLE TO DETERMINE, SURVEYOR REQUESTS PLAT "PROPERTY DESCRIBED IN CIVIL ACTION ENTITLED STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION VS BEN GOWDIN, ET UX, ET AL, RALEIGH TOWNSHIP, WAKE COUNTY, PROJECT 8.7401706)
- Memorandum of Action recorded in Book 12373, Page 96, Wake County Registry. (AFFECTS, CONTAINS NO PLOTTABLE EXCEPTIONS)
- Consent Judgment recorded in Book 13277, Page 990, Wake County Registry. (AFFECTS, CONTAINS NO PLOTTABLE EXCEPTIONS)

**FLOOD ZONE**

A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREA. ANY FLOOD ZONE LINES DISTINGUISHING BETWEEN FLOOD AREAS ARE GRAPHICALLY PLOTTED FROM FEMA FLOOD INSURANCE RATE MAPS (FIRM). A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE OR VERIFY THE LOCATION OF THE FLOOD AREAS. THE SUBJECT PROPERTY'S COMMUNITY DOES PARTICIPATE IN THE PROGRAM. IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN FLOOD ZONES "X", "X SHADED", AND "AE" AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO. 3702174001 DATED 05/02/2005 AND IS PARTIALLY IN A FLOOD ZONE AREA. THE FLOOD INSURANCE RATE PROGRAM WAS CONTACTED ON 10/01/2020 BY TELEPHONE OR EMAIL (WWW.FEMA.GOV)

**STATEMENT OF ENCROACHMENTS**

ENCROACHMENT (ET) FENCE APPEARS TO CROSS BOUNDARY BY AS MUCH AS 0.6'.

**TITLE LEGAL DESCRIPTION**

The Land referred to herein below is situated in the County of Wake, State of North Carolina, and is described as follows:

TRACT 1: NEW BERN AVE., 18.35 ACRES more or less: BEGINNING AT AN IRON PIPE SET IN THE SOUTHERN RIGHT OF WAY LINE OF NEW BERN AVENUE (US HWY 64), SAID IRON PIPE SET BEING LOCATED AT NORTH CAROLINA STATE PLANE COORDINATES OF N(7)=744,998.63 (USFT) AND E(0)=2,124,747.58 (USFT); RUNS THENCE LEAVING THE SOUTHERN RIGHT OF WAY LINE OF NEW BERN AVENUE SOUTH 38°07'40" EAST 692.51 FEET TO AN EXISTING IRON PIPE; RUNS THENCE SOUTH 07°58'53" WEST 637.05 FEET TO AN EXISTING IRON PIPE; RUNS THENCE SOUTH 01°35'28" WEST 206.22 FEET TO AN EXISTING IRON PIPE; RUNS THENCE SOUTH 00°17'27" EAST 263.91 FEET TO AN EXISTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MONUMENT; RUNS THENCE SOUTH 03°33'09" WEST 311.53 FEET TO AN EXISTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MONUMENT LOCATED IN THE EASTERN LINE OF INTERSTATE 440; RUNS THENCE WITH EASTERN LINE IN INTERSTATE 440 NORTH 48°57'29" WEST 586.36 FEET TO AN EXISTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MONUMENT; CONTINUES THENCE WITH THE EASTERN LINE OF INTERSTATE 440 ALONG ITS EXIT RAMP TO NEW BERN AVENUE THE FOLLOWING COURSES AND DISTANCES: NORTH 32°40'44" WEST 252.42 FEET TO AN IRON PIPE SET, NORTH 21°59'48" WEST 43.24 FEET TO AN IRON PIPE SET, NORTH 17°03'26" WEST 398.77 FEET TO AN IRON PIPE SET, NORTH 13°41'58" WEST 239.84 FEET TO AN EXISTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MONUMENT, NORTH 17°28'23" EAST 41.09 FEET TO AN EXISTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MONUMENT, NORTH 45°07'46" EAST 114.91 FEET TO AN EXISTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MONUMENT, AND NORTH 37°48'44" WEST 48.16 FEET TO AN EXISTING NORTH CAROLINA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MONUMENT LOCATED IN THE SOUTHERN RIGHT OF WAY LINE OF NEW BERN AVENUE; RUNS THENCE WITH THE SOUTHERN RIGHT OF WAY LINE OF NEW BERN AVENUE NORTH 51°29'13" EAST 104.48 FEET TO AN IRON PIPE SET, THE POINT AND PLACE OF BEGINNING, CONTAINING 18.35 ACRES AS SHOWN ON THAT PLAT ENTITLED "PROPERTY OF D2 & SF INVESTMENTS, INC." DATED OCTOBER 13, 2005 AND PREPARED BY NEWCOMB LAND SURVEYORS, LLC.

TRACT 2: NEW BERN AVE., 1.76 ACRES more or less: BEGINNING AT AN EXISTING IRON PIPE LOCATED IN THE SOUTHERN RIGHT OF WAY LINE OF NEW BERN AVENUE, SAID EXISTING IRON PIPE BEING LOCATED SOUTH 56°16'58" WEST 1163.05 FEET FROM NORTH CAROLINA GRID COORDINATES SYSTEM MONUMENT "NUBERN" WITH COORDINATES OF X=2,123,780.55 AND Y=744,339.27; RUNS THENCE LEAVING THE SOUTHERN RIGHT OF WAY LINE OF NEW BERN AVENUE AND WITH THE WESTERN LINE OF THAT PROPERTY NOW OR FORMERLY BELONGING TO VIMAL, LLC SOUTH 38°07'18" EAST 328.74 FEET TO A NEW IRON PIPE; CONTINUES THENCE WITH THE LINE OF THE AFORESAID VIMAL, LLC PROPERTY NORTH 60°51'02" EAST 156.06 FEET TO A NEW PARKER KALAN LAL LOCATED AT THE WESTERN TERMINUS OF HILLCREST DRIVE; RUNS THENCE SOUTH 02°17'12" WEST 385.89 FEET TO AN EXISTING IRON PIPE; RUNS THENCE WITH THE EASTERN LINE OF THAT PROPERTY NOW OR FORMERLY BELONGING TO DEBNAM PROPERTIES LLC NORTH 38°07'44" WEST 662.51 FEET TO AN EXISTING IRON PIPE IN THE SOUTHERN RIGHT OF WAY LINE OF NEW BERN AVENUE; RUNS THENCE WITH THE SOUTHERN RIGHT OF WAY LINE OF NEW BERN AVENUE NORTH 51°29'13" EAST 100.14 FEET TO AN EXISTING IRON PIPE, THE POINT AND PLACE OF BEGINNING, CONTAINING 1.76 ACRES AS SHOWN ON THAT PLAT ENTITLED "PROPERTY OF: DEBNAM PROPERTIES LLC" PREPARED BY JOHN Y. PHELPS, JR., PROFESSIONAL LAND SURVEYOR AND DATED JULY 11, 2006.

THE ABOVE DESCRIBED PARCEL IS THE SAME LAND DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT, NUMBER 3020-1023505, EFFECTIVE OCTOBER 12, 2020 AT 8:00 AM.

**ALTA/NSPS LAND TITLE SURVEY**  
FOR  
**NEW BERN AVENUE - RALEIGH**  
PARTNER PROJECT NUMBER 20-289826 SITE NUMBER 2  
ALTA SURVEY BASED AND RELIED ON FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT, NUMBER 3020-1023505, CONTAINING AN EFFECTIVE DATE AND TIME OF OCTOBER 12, 2020 AT 8:00 AM

**CERTIFICATION**

TO FIRST AMERICAN TITLE INSURANCE COMPANY, AND PARTNER ENGINEERING AND SCIENCE, INC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 6B, 7A, 7B1, 7C, 8, 9, 11, 13, 14, 16, 17, 20 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON 06/18/2021.  
PROPERTY ADDRESS: 3312 AND 3600 NEW BERN AVE, RALEIGH, NORTH CAROLINA

DATE OF PLAT OR MAP:  
MICHAEL D. COOK  
REGISTRATION NUMBER: 4672  
STATE OF NORTH CAROLINA  
LATEST REVISION DATE:

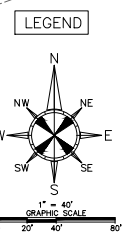
2154 Torrance Boulevard, Suite 200,  
Torrance, CA 90501  
T: 310-622-8861  
Kwalker@partneresi.com



| LINE | BEARING       | DISTANCE |
|------|---------------|----------|
| L1   | S 03°41'54" W | 3124.70  |
| L2   | S 03°15'00" W | 3153.00  |
| L3   | N 21°38'23" W | 4324.00  |
| L4   | N 21°59'48" W | 4324.00  |
| L5   | N 17°21'50" W | 4122.00  |
| L6   | N 17°28'21" W | 4129.00  |
| L7   | N 40°09'10" W | 11430.00 |
| L8   | N 45°07'26" W | 11431.00 |
| L9   | N 37°29'07" W | 4843.00  |
| L10  | N 37°48'42" W | 4819.00  |
| L11  | N 51°45'34" W | 10202.00 |
| L12  | N 51°39'33" W | 10022.00 |

MATCH LINE PAGE 2  
MATCH LINE PAGE 3

- FOUND MONUMENT
- ⊕ TEMPORARY BENCHMARK
- COMPUTED POINT
- BOUNDARY LINE
- EASEMENT LINE
- RIGHT-OF-WAY
- OVERHEAD POWER LINE
- FIBER OPTIC LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- FENCE
- FLOODPLAIN LINE
- CENTERLINE CREEK BED
- APPROX. STREAM EXTENTS
- HANDRAIL
- SANITARY SEWER
- POWER POLE
- WATER VALVE
- TELEPHONE MANHOLE
- GRATED INLET
- LIGHT POLE
- GUY WIRE ANCHOR
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- R/W RIGHT-OF-WAY
- P/B POINT OF BEGINNING
- T/M TEMPORARY BENCHMARK
- SM SEWER MANHOLE
- GI GRATED INLET
- FOV FIBER OPTIC VAULT
- FOF FIBER OPTIC FODSTAL
- ROP REINFORCED CONCRETE PIPE
- CMP CORRUGATED METAL PIPE
- PVC POLYVINYL CHLORIDE PIPE
- B/C BACK OF CURB
- FL FLOW LINE
- NG NATURAL GROUND
- TA TOP OF ASPHALT
- SW SIDEWALK
- TB TOP OF BANK
- BB BOTTOM OF BANK
- EW EDGE OF WATER
- CC CENTERLINE CREEK BED

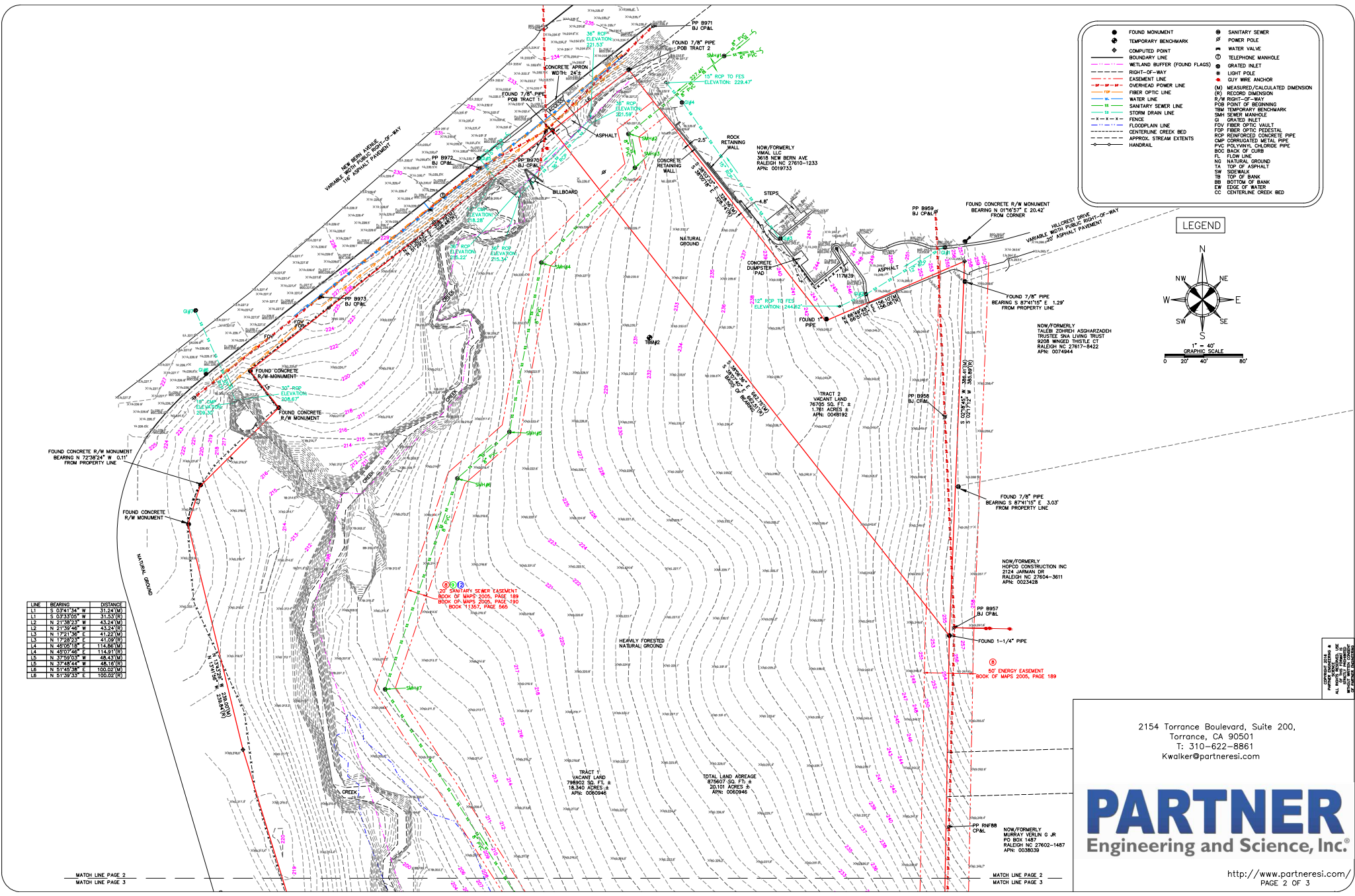


2154 Torrance Boulevard, Suite 200,  
Torrance, CA 90501  
T: 310-622-8861  
Kwalker@partneresi.com

# PARTNER

Engineering and Science, Inc.

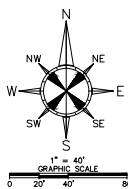
<http://www.partneresi.com/>  
PAGE 2 OF 3



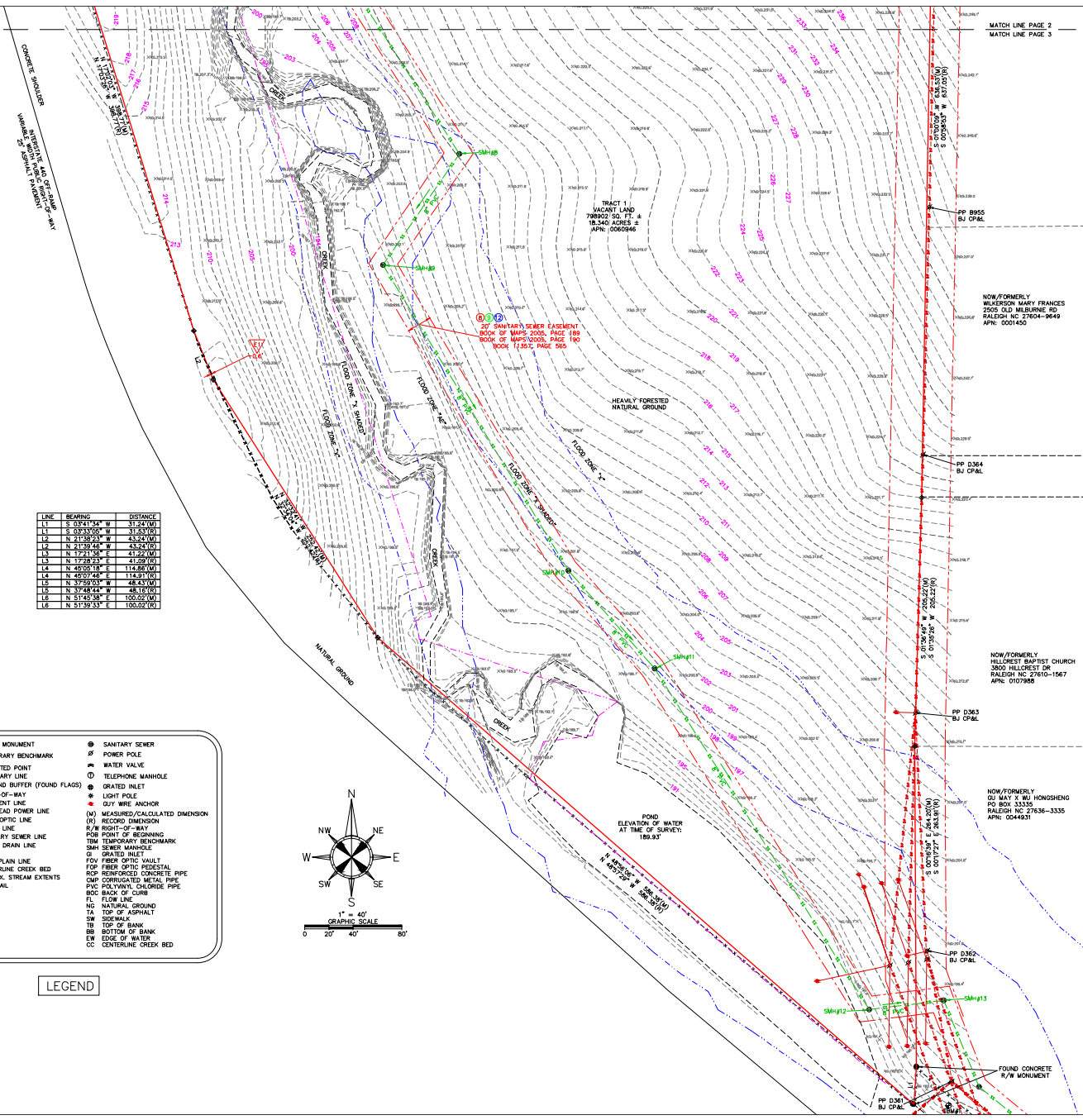
ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED  
DATE: 08/20/2009  
DRAWN BY: [illegible]  
CHECKED BY: [illegible]

| LINE | BEARING       | DISTANCE   |
|------|---------------|------------|
| L1   | S 08°41'54" W | 31.24 (M)  |
| L1   | S 03°33'00" W | 31.53 (M)  |
| L2   | N 21°38'23" W | 43.24 (M)  |
| L2   | N 21°39'44" W | 43.24 (M)  |
| L3   | N 17°21'38" E | 41.92 (M)  |
| L3   | N 17°21'38" E | 41.92 (M)  |
| L4   | N 45°09'18" E | 114.82 (M) |
| L4   | N 45°07'44" E | 114.21 (M) |
| L5   | N 37°59'03" W | 46.43 (M)  |
| L5   | N 37°48'44" W | 46.12 (M)  |
| L6   | N 51°45'08" E | 100.02 (M) |
| L6   | N 51°39'53" E | 100.02 (M) |

- |                                 |                                   |
|---------------------------------|-----------------------------------|
| ● FOUND MONUMENT                | ⊙ SANITARY SEWER                  |
| ⊙ TEMPORARY BENCHMARK           | ⊙ POWER POLE                      |
| ⊙ COMPUTED POINT                | ⊙ WATER VALVE                     |
| — BOUNDARY LINE                 | ⊙ TELEPHONE MANHOLE               |
| --- WETLAND BUFFER (FOUND FLAG) | ⊙ GRATED INLET                    |
| --- RIGHT-OF-WAY                | ⊙ LIGHT POLE                      |
| --- EASEMENT LINE               | ⊙ GUY WIRE ANCHOR                 |
| --- OVERHEAD POWER LINE         | (M) MEASURED/CALCULATED DIMENSION |
| --- FIBER OPTIC LINE            | (D) RECORD DIMENSION              |
| --- WATER LINE                  | R/W RIGHT-OF-WAY                  |
| --- SANITARY SEWER LINE         | PBM POINT OF BEGINNING            |
| --- STORM DRAIN LINE            | TBM TEMPORARY BENCHMARK           |
| --- FENCE                       | SM SEWER MANHOLE                  |
| --- FLOODPLAIN LINE             | GI GRATED INLET                   |
| --- CENTERLINE CREEK BED        | FV FIBER OPTIC VAULT              |
| --- APPROX. STREAM EXTENTS      | FOP FIBER OPTIC PEDESTAL          |
| --- HANDRAIL                    | RCP REINFORCED CONCRETE PIPE      |
|                                 | CMP CORRUGATED METAL PIPE         |
|                                 | P/C POLYETHYLENE GLASS FIBER PIPE |
|                                 | B/C BACK OF CURB                  |
|                                 | NC NATURAL GROUND                 |
|                                 | TA TOP OF ASPHALT                 |
|                                 | SW SUBGRADE                       |
|                                 | TB TOP OF BANK                    |
|                                 | BB BOTTOM OF BANK                 |
|                                 | EW EDGE OF WATER                  |
|                                 | CC CENTERLINE CREEK BED           |



LEGEND



2154 Torrance Boulevard, Suite 200,  
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# PARTNER

Engineering and Science, Inc.

<http://www.partneresi.com/>  
PAGE 3 OF 3





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

GREYSTONE AFFORDABLE DEVELOPMENT LLC  
4025 LAKE ROONE TRAIL  
SUITE 209  
RALEIGH, NORTH CAROLINA 27607

**NEW BERN CROSSINGS**

ADMINISTRATIVE SITE REVIEW  
3312 NEW BERN AVENUE  
RALEIGH, NORTH CAROLINA 27610

**REVISIONS**

| NO. | DATE       | REVISION                       |
|-----|------------|--------------------------------|
| 1   | 08.13.2022 | REVISED FOR 1ST CON-A/R REVIEW |
| 2   | 12.14.2022 | REVISED FOR 2ND CON-A/R REVIEW |
| 3   | 01.18.2023 | REVISED FOR 3RD CON-A/R REVIEW |

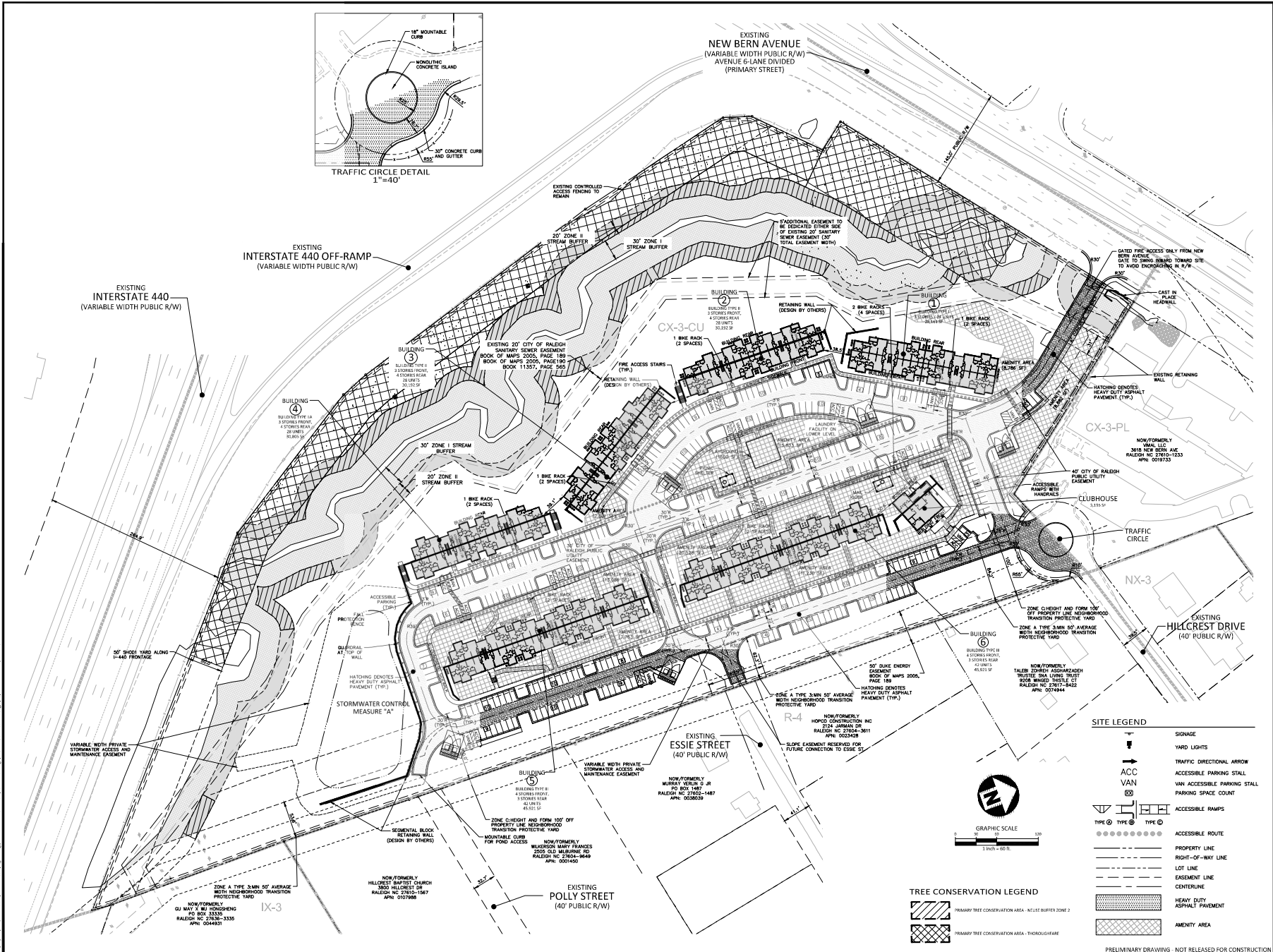
**PLAN INFORMATION**

|             |                     |
|-------------|---------------------|
| PROJECT NO. | 2020110075          |
| FILENAME    | 2020110075-ASR-GAS1 |
| CHECKED BY  | MDS                 |
| DRAWN BY    | MEM/SME             |
| SCALE       | 1" = 60'            |
| DATE        | 12.14.2022          |

**SHEET**

**OVERALL SITE PLAN**

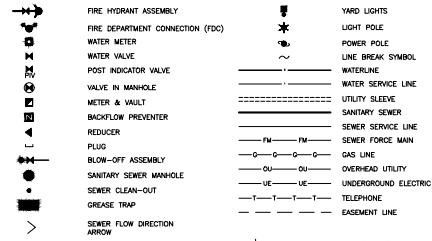
**C2.00**



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UTILITY LEGEND

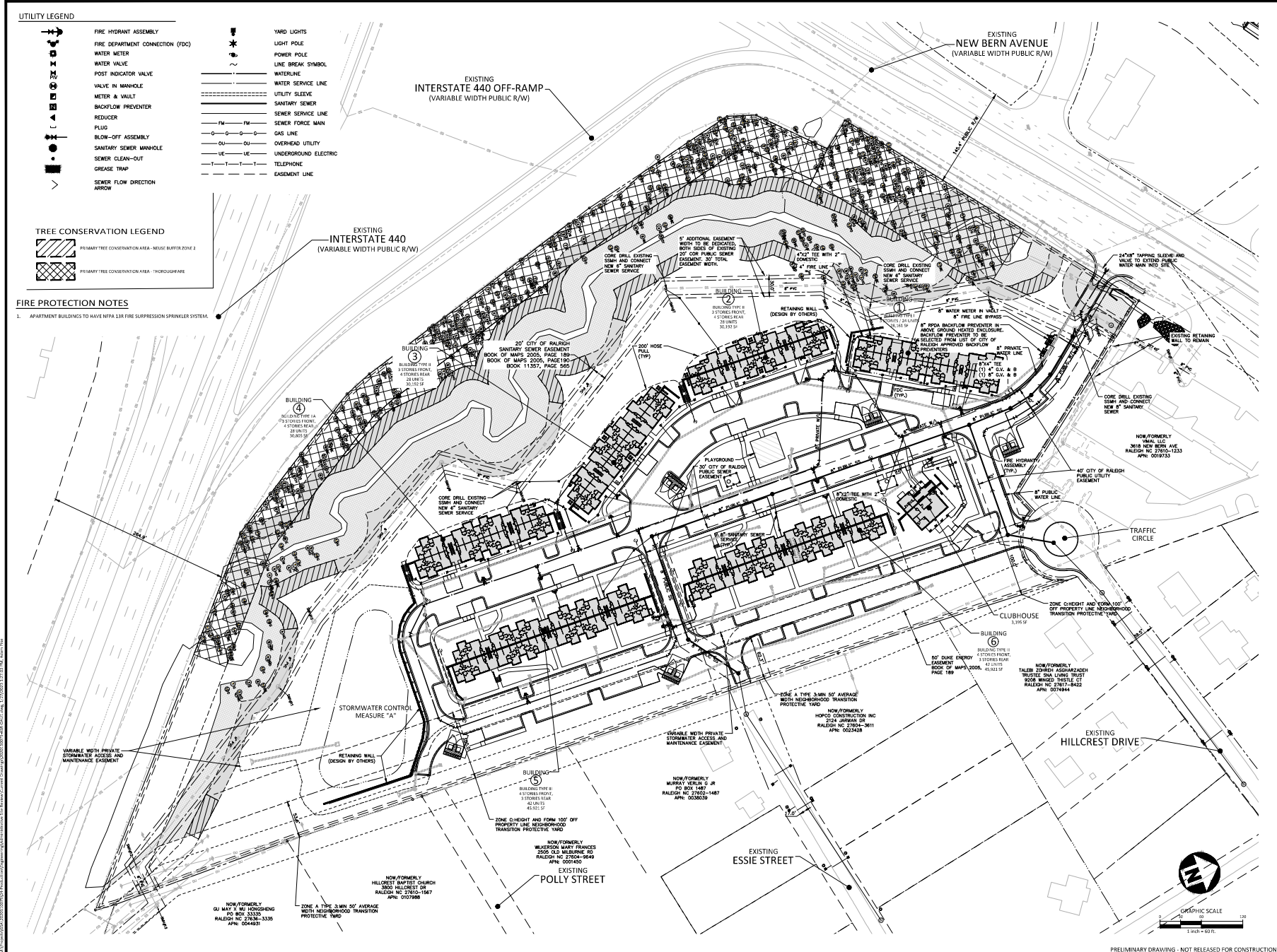


TREE CONSERVATION LEGEND



FIRE PROTECTION NOTES

1. APARTMENT BUILDINGS TO HAVE NFPA 13A FIRE SUPPRESSION SPRINKLER SYSTEM.



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RALEIGH, NORTH CAROLINA 27607

**NEW BERN CROSSINGS**  
ADMINISTRATIVE SITE REVIEW  
3312 NEW BERN AVENUE  
RALEIGH, NORTH CAROLINA 27610

**REVISIONS**

| NO. | DATE       | DESCRIPTION                    |
|-----|------------|--------------------------------|
| 1   | 05.13.2022 | REVISED PER 1ST CON-ASA REVIEW |
| 2   | 12.14.2022 | REVISED PER 2ND CON-ASA REVIEW |
| 3   | 01.18.2023 | REVISED PER 3RD CON-ASA REVIEW |

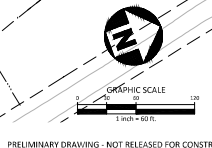
**PLAN INFORMATION**

PROJECT NO. 2020110075  
FILENAME 2020110075-ASR-CAU1  
CHECKED BY ACP  
DRAWN BY XXX  
SCALE 1" = 60'  
DATE 12.14.2022

**SHEET**

**OVERALL UTILITY PLAN**

**C4.00**



**PLANT SCHEDULE**

| DECIDUOUS CANOPY TREES     | CODE | COMMON NAME                        | BOTANICAL NAME                     |
|----------------------------|------|------------------------------------|------------------------------------|
|                            | ACB  | Southern Sugar Maple               | Acer barbatum                      |
|                            | NYS  | Sour Gum                           | Nyssa sylvatica "Black Tupelo"     |
|                            | QIA  | White Oak                          | Quercus alba                       |
|                            | QUL  | Overcup Oak                        | Quercus lyrata                     |
|                            | QNU  | Nuttall Oak                        | Quercus nuttallii                  |
|                            | QUP  | Willow Oak                         | Quercus phellos                    |
|                            | UAP  | American Elm                       | Ulmus americana "Princeton"        |
| DECIDUOUS UNDERSTORY TREES | CODE | COMMON NAME                        | BOTANICAL NAME                     |
|                            | CFP  | Forest Panicle Redbud              | Cercis canadensis "Forest Panicle" |
| EVERGREEN CANOPY           | CODE | COMMON NAME                        | BOTANICAL NAME                     |
|                            | CEK  | Kaohink Cedar                      | Cedrus deodora "Kaohink"           |
|                            | MAG  | Southern Magnolia                  | Magnolia grandiflora               |
| EVERGREEN UNDERSTORY       | CODE | COMMON NAME                        | BOTANICAL NAME                     |
|                            | JR1  | Eastern red cedar                  | Juniperus virginiana               |
|                            | MGL  | Little Gem Dwarf Southern Magnolia | Magnolia grandiflora "Little Gem"  |
| SHRUBS                     | CODE | COMMON NAME                        | BOTANICAL NAME                     |
|                            | ICDB | Dwarf Burford Holly                | Ilex cornuta "Dwarf Burford"       |
|                            | ICSS | Steeds Japanese Holly              | Ilex crenata "Steeds"              |
|                            | ICH  | Hibiscary                          | Ilex glabra                        |
|                            | MCW  | Wax Myrtle                         | Myrica cerifera                    |
|                            | OFSO | Sweet Olive                        | Olea europaea                      |
|                            | RHAZ | Azalea                             | Rhododendron azalea                |
|                            | RHW  | Fragrant Sumac                     | Rhus aromatica                     |

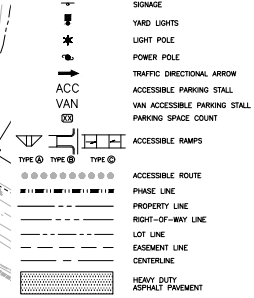
**NOTES:**

- STREET TREES SHALL BE RETAINED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- STREET TREES SHALL BE LOCATED TO CLEAR TRUCK TRAIL FROM STOP SIGNS, 30' ON EITHER SIDE OF STREET TYPE, 20' FROM DRIVEWAY, 10' FROM A SIDE WALKWAY, AND 20' FROM ANY LIGHT POLES. SEE SPECIFICATIONS FOR TREE SPACING AND ADDITIONAL INFORMATION ON CHAPTERS 2 AND 3 OF THE CITY TREE MANUAL.
- CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING STREET TREES WHICH ARE DAMAGED OR DESTROYED BY CONSTRUCTION WITH AN 8" DIA. SPACING AND 10' TO BE APPROVED BY LANDSCAPE ARCHITECT AND CITY ENGINEER AND REPORT TO THE MANAGER AT THE END OF EACH PROJECT.
- ALL EXISTING STREET TREES AND NEW PLANTINGS SHALL BE PROTECTED TO THE MAXIMUM EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- ALL TREES LOCATED WITHIN LIGHT EXPOSURE TRIANGLES SHALL BE LINED UP TO A MINIMUM OF 8' DIA. THROUGH DRIVE.
- A TREE IMPACT REPORT IS REQUIRED FROM THE SUBMITTER OR SOLE AGENT OF ALL TREES LOCATED WITHIN LIGHT EXPOSURE TRIANGLES TO BE LINED UP WITH THE PUBLIC RIGHT-OF-WAY.

**TREE CONSERVATION LEGEND**



**SITE LEGEND**



SEE SHEET L5.01 FOR LANDSCAPE REQUIREMENTS TABLE

EXISTING INTERSTATE 440 (VARIABLE WIDTH PUBLIC R/W)

50' SHOOT YARD ALONG 1140' FRONTAGE

STORMWATER CONTROL MEASURE

SEMENTAL BLOCK RETAINMENT WALL

NOW/FORMERLY: SU WAY N, BU HONDSBERG, PO BOX 3333, RALEIGH, NC 27610-3335, ZONING: R-4, APL# 004831

NOW/FORMERLY: HILLCREST BAPTIST CHURCH, P.L.# 1724-53-5811, ADDRESS: 3002 HILLCREST DR, RALEIGH, NC 27610-1067, ZONING: R-4, APL# 010798

WILKERSON MARY FRANCES, D.B. 008610, P.O. 02449, P.L.# 1724-44-2022, ADDRESS: 2905 OLD MILLBURN RD, RALEIGH, NC 27614-1814, ZONING: R-4, APL# 000450

MURRAY KELIN G JR, D.B. 005554, P.O. 00018, P.L.# 1724-44-2022, ADDRESS: PO BOX 1487, RALEIGH, NC 27602-1487, ZONING: R-4, APL# 000608

EXISTING ESSIE STREET (40' PUBLIC R/W)

EXISTING POLLY STREET (40' PUBLIC R/W)

EXISTING NEW BERN AVENUE (VARIABLE WIDTH PUBLIC R/W) AVENUE 6-LANE DIVIDED

EXISTING INTERSTATE 440 OFF-RAMP (VARIABLE WIDTH PUBLIC R/W)

EXISTING 20' CITY OF RALEIGH SANITARY SEWER EASEMENT, BOOK OF MAPS 2006, PAGE 189, BOOK OF MAPS 2006, PAGE 190, BOOK OF MAPS 11357, PAGE 142

NOW/FORMERLY: M&M, LLC, 3016 NEW BERN AVE, RALEIGH, NC 27610-1233, ZONING: O-1, APL# 001933

NOW/FORMERLY: TALEB ZOHRA ASHRAZADA TRUSTEE, ONE LINDSEY TRUST, 9228 BRIDGE TRUSTE CT, RALEIGH, NC 27617-9622, ZONING: R-4, APL# 07194

USE A TYPE 3 MIN 36" AVERAGE WITH NEIGHBORHOOD TRANSITION PROTECTIVE YARD

NOW/FORMERLY: HOWARD CONSTRUCTION INC, 2124 JARMAN DR, RALEIGH, NC 27611, ZONING: R-4, APL# 002438



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
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**CLIENT**  
GREYSTONE AFFORDABLE DEVELOPMENT LLC  
4025 LAKE BOONE TRAIL  
SUITE 209  
RALEIGH, NORTH CAROLINA 27607

**NEW BERN CROSSINGS**  
ADMINISTRATIVE SITE REVIEW  
3312 NEW BERN AVENUE  
RALEIGH, NORTH CAROLINA 27610

**REVISIONS**

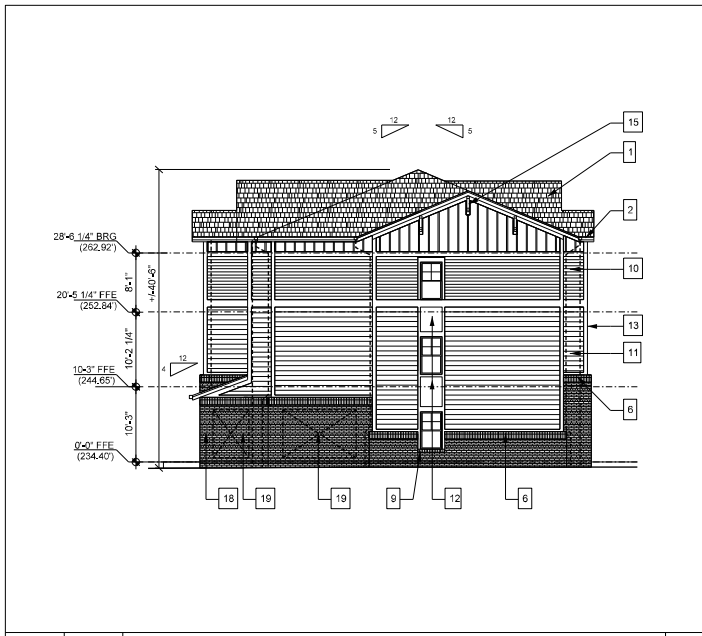
| NO. | DATE       | DESCRIPTION                     |
|-----|------------|---------------------------------|
| 1   | 05.13.2022 | REVISED FOR 1ST CON AREA REVIEW |
| 2   | 12.14.2022 | REVISED FOR 2ND CON AREA REVIEW |
| 3   | 01.18.2023 | REVISED FOR 3RD CON AREA REVIEW |

**PLAN INFORMATION**

PROJECT NO.: 2020110075  
FILENAME: 2020110075-ASR-L51  
CHECKED BY: JGY  
DRAWN BY: PH  
SCALE: 1" = 60'  
DATE: 12.14.2022

**SHEET**  
**LANDSCAPE PLAN**  
**L5.00**

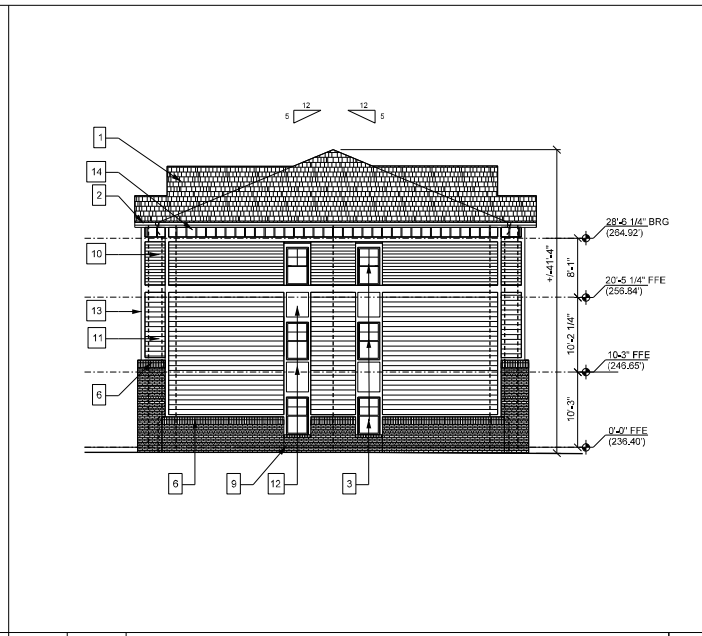




Elevation - SIDE - Building No. 1

Scale: 1/4" = 1'-0"

3

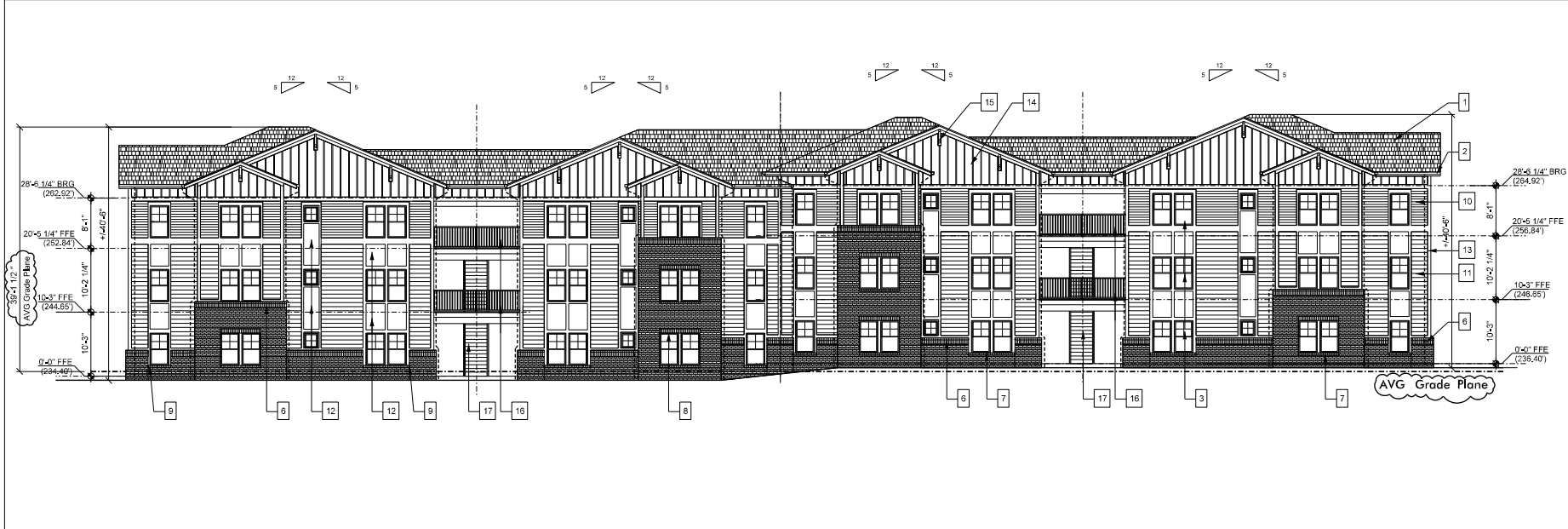
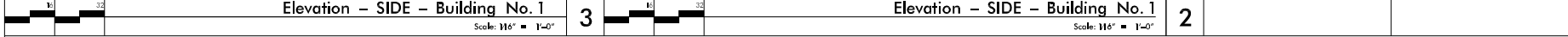


Elevation - SIDE - Building No. 1

Scale: 1/4" = 1'-0"

2

| AGP CALCULATIONS                             |            |           |         | ELEVATION KEY NOTES |   |
|--|------------|-----------|---------|---------------------|---|
| AVERAGE GRADE PLANE CALCULATIONS             |            |           |         | 1                   | REF GLASS/ENFORCED ARCHITECTURAL WINDOW ASSESSMENT FOR LEAKS, CONDENSATION WARRANTY |
| BUILDING #                                   | HIGH ELEV. | LOW ELEV. | AVERAGE | 2                   | FRONT SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOGS        |
| 1  | 236.4      | 233.9     | 235.15  | 3                   | WYLL WINDOWS - SEE SCHEDULE   |
| 2  | 219.65     | 219.65    | 219.65  | 4                   | SCHEDULED DOOR, FRAME - SEE AIA   |
| 3  | 217.65     | 217.65    | 217.65  | 5                   | BRICK VENEER, RUNNING BOND PATTERN  |
| 4  | 211.95     | 211.95    | 211.95  | 6                   | STACKED DECORATIVE BRICK COURSE - ACCENT BAND                                       |
| 5  | 236.5      | 226       | 236.25  | 7                   | BRICK VENEER ROWLOCK (M.L. SLOPED TO DRIP)  |
| 6  | 231.5      | 232       | 232.25  | 8                   | BRICK VENEER ROWLOCK (M.L. SLOPED TO DRIP)  |
| CLUBHOUSE                                    | 244.25     | 234       | 239.125 | 9                   | MASONRY CONTROL JUNT (C.J.) CAS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.          |
|  |            |           |         | 10                  | CEMENTITIOUS LAP SIDING, 5' EXPOSURE - COLOR 1                                      |
|  |            |           |         | 11                  | CEMENTITIOUS LAP SIDING, 5' EXPOSURE - COLOR 2                                      |
|  |            |           |         | 12                  | CEMENTITIOUS SOLID PANEL WITH COEMENTITIOUS TRIM                                    |
|  |            |           |         | 13                  | CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.           |
|  |            |           |         | 14                  | CEMENTITIOUS BOARD AND BATTEN SIDING  |
|  |            |           |         | 15                  | DECORATIVE PVC BRACKET, TYP.  |
|  |            |           |         | 16                  | PRE-ENGINEERED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BRACKETS                   |
|  |            |           |         | 17                  | EXTERIOR STAIRS, TYP.   |
|  |            |           |         | 18                  | SPRINKLER ROOM  |
|  |            |           |         | 19                  | ELECTRICAL EQUIPMENT, SEE ELECTRICAL  |
| <b>LEGEND</b>                                |            |           |         |                     |   |
| ↓ DOWNSPOUT, TYP. SEE ROOF PLAN, VERIFY LOGS |            |           |         |                     |   |
| ■ FIELD PRIOR TO INSTALL                     |            |           |         |                     |   |



Elevation - FRONT - Building No. 1

Scale: 1/8" = 1'-0"

1



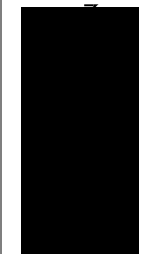
119 E Franklin St, Suite 300  
Chapel Hill, NC 27514  
Tel. 919.967.0158  
Fax 919.967.0159  
www.tisekiester.com

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New Bern Crossings  
Apartments

Raleigh, NC

Job Number: 0000  
Date: 2022\_0127  
Revisions:



Exterior Elevations  
Building No. 1  
Sheet

A3.1

DATE PLOTTED

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**New Bern Crossings Apartments**

Raleigh, NC  
 Job Number: 0000  
 Date: 2023\_0127  
 Revisions:



Exterior Elevations  
 Building No. 1  
 Sheet

**A3.2**

| AGP CALCULATIONS  |            |                   | ELEVATION KEY NOTES |  |
|---|------------|-------------------|---------------------|--|
| AVERAGE GRADE PLANE CALCULATIONS                                      |            |                   | 1                   | REFLECT GLASS/ENFORCED ARCHITECTURAL WINDOW AS APPLICABLE TO BUILDING CODES AND WARRANTY |
| BUILDING #  | HIGH ELEV. | LOW ELEV. AVERAGE | 2                   | FRONT SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOTS             |
| 1   | 236.4      | 233.9 235.15      | 3                   | W/CL WINDOWS - SEE SCHEDULE  |
| 2   | 219.65     | 219.65 219.65     | 4                   | SCHEDULED DOOR / FRAME - SEE AIA   |
| 3   | 217.65     | 217.65 217.65     | 5                   | BRICK VENER, RUNNING BOND PATTERN  |
| 4   | 211.95     | 211.95 211.95     | 6                   | STACKED DECORATIVE BRICK COURSE - ACCENT BAND  |
| 5   | 226.5      | 226 226.25        | 7                   | BRICK VENER ROW LOOK (M.L. SLOPED TO DRAIN)  |
| 6   | 232.5      | 232 232.25        | 8                   | BRICK VENER ROW LOOK (M.L. SLOPED TO DRAIN) AND DOOR HEAD                                |
| CLUBHOUSE   | 244.25     | 234 239.125       | 9                   | MASONRY CONTROL JOINT (C.J.) CAS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.              |
|   |            |                   | 10                  | CEMENTITIOUS LAP SIDING, 5" EXPOSURE - COLOR 1   |
|   |            |                   | 11                  | CEMENTITIOUS LAP SIDING, 6" EXPOSURE - COLOR 2   |
|   |            |                   | 12                  | CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM  |
|   |            |                   | 13                  | CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.                |
|   |            |                   | 14                  | CEMENTITIOUS BOARD AND BATTEN SIDING   |
|   |            |                   | 15                  | DECORATIVE PVC BRACKET, TYP.   |
|   |            |                   | 16                  | PRE-ENGINEERED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES                       |
|   |            |                   | 17                  | EXTERIOR STAIRS, TYP.  |
|   |            |                   | 18                  | CONTINUOUS ADA CANE DETECTION PAIR   |
|   |            |                   | 19                  | SPRINKLER ROOM   |
| <b>LEGEND</b>   |            |                   |                     |  |
| ↓ DOWNSPOUT, TYP. SEE ROOF PLAN, VERIFY LOCAL<br>■ BUILDING FOOTPRINT |            |                   |                     |  |



Elevation - REAR - Building No. 1  
 Scale: 1/8" = 1'-0"

DATE: 10/10/23

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**New Bern Crossings Apartments**

Raleigh, NC

Job Number: 0000  
 Date: 2023\_0127  
 Revisions:

Exterior Elevations  
 Building No. 2  
 Sheet

**A3.3**

**AGP CALCULATIONS**

**AVERAGE GRADE PLANE CALCULATIONS**

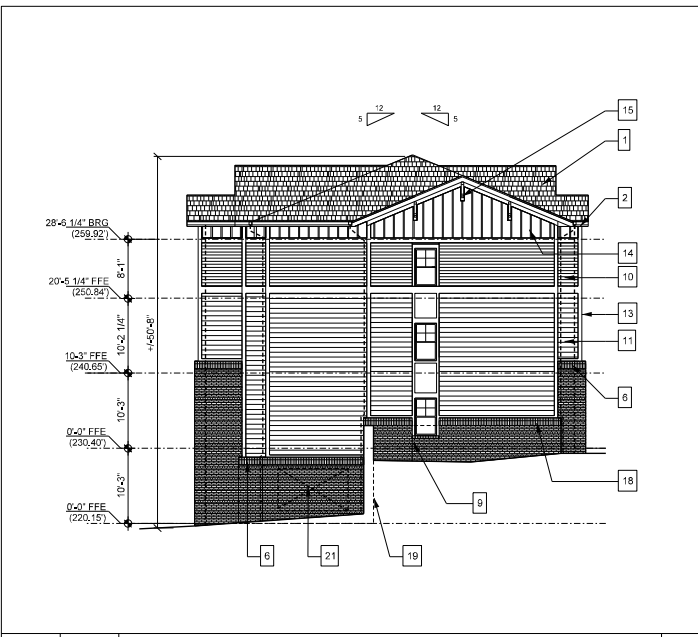
| BUILDING #       | HIGH ELEV.    | LOW ELEV.  | AVERAGE        |
|------------------|---------------|------------|----------------|
| 1                | 236.4         | 233.9      | 235.15         |
| 2                | 219.65        | 219.65     | 219.65         |
| 3                | 217.65        | 217.65     | 217.65         |
| 4                | 211.95        | 211.95     | 211.95         |
| 5                | 236.5         | 226        | 236.25         |
| 6                | 232.5         | 232        | 232.25         |
| <b>CURBHOUSE</b> | <b>244.25</b> | <b>234</b> | <b>239.125</b> |

**ELEVATION KEY NOTES**

- 1 REINFORCED GLASS PANELS FOR ARCHITECTURAL AND TECHNICAL ASPECTS TO BE SUPPLIED BY OTHER WARRANTY
- 2 FINISH SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LIDS
- 3 VINYL WINDOWS - SEE SCHEDULE
- 4 SCHEDULED DOOR / FRAME - SEE AIA
- 5 BRICK VENEER, RUNNING BOND PATTERN
- 6 STACKED DECORATIVE BRICK COURSE - ACCENT BAND
- 7 BRICK VENEER ROWS (LOOK IN), SLIP TO OPEN
- 8 BRICK SOLIDER COURSE (LITEL, TYP. AT WINDOW AND DOOR HEADS
- 9 MASONRY CONTROL JUNT (C.J.) CAS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
- 10 CEMENTITIOUS LAP SIDING, 1" EXPOSURE - COLOR 1
- 11 CEMENTITIOUS LAP SIDING, 6" EXPOSURE - COLOR 2
- 12 CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM
- 13 CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.
- 14 CEMENTITIOUS BOARD AND BATTEN SIDING
- 15 DECORATIVE PVC BRACKET, TYP.
- 16 PRE-ENGINEERED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
- 17 EXTERIOR STAIRS, TYP.
- 18 SETS RETAINING WALLS, SEE C.O.B. FOR EXTENT.
- 19 LINE OF BUILDING BEYOND
- 20 SPINFLOR ROOM
- 21 ELECTRICAL EQUIPMENT, SEE ELECTRICAL.

**LEGEND**

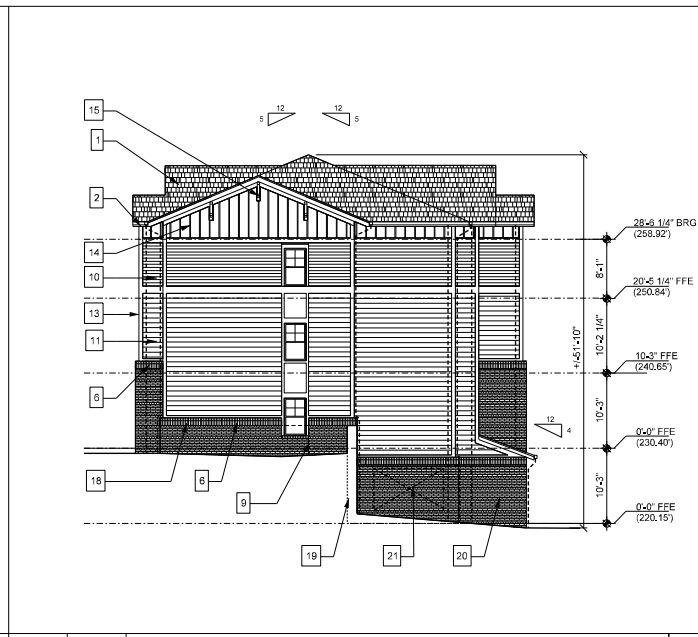
- ↓ DOWNSPOUT, TYP. - SEE ROOF PLAN, VERIFY LIDS, FIELD PRIOR TO INSTALL



Elevation - SIDE - Building No. 2

Scale: 1/16" = 1'-0"

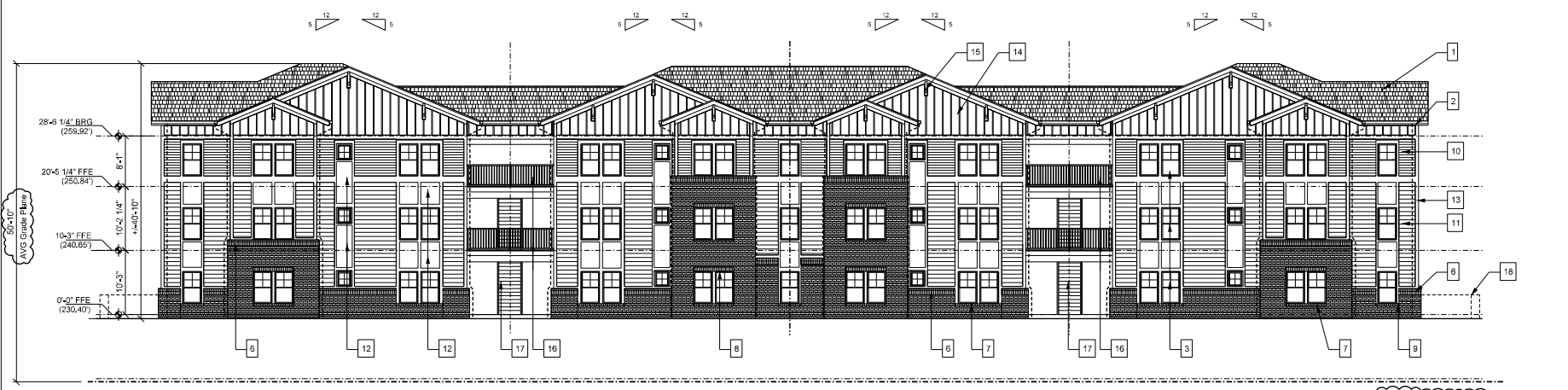
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Elevation - SIDE - Building No. 2

Scale: 1/16" = 1'-0"

2



Elevation - FRONT - Building No. 2

Scale: 1/8" = 1'-0"

1

DATE: 8 10

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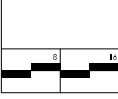
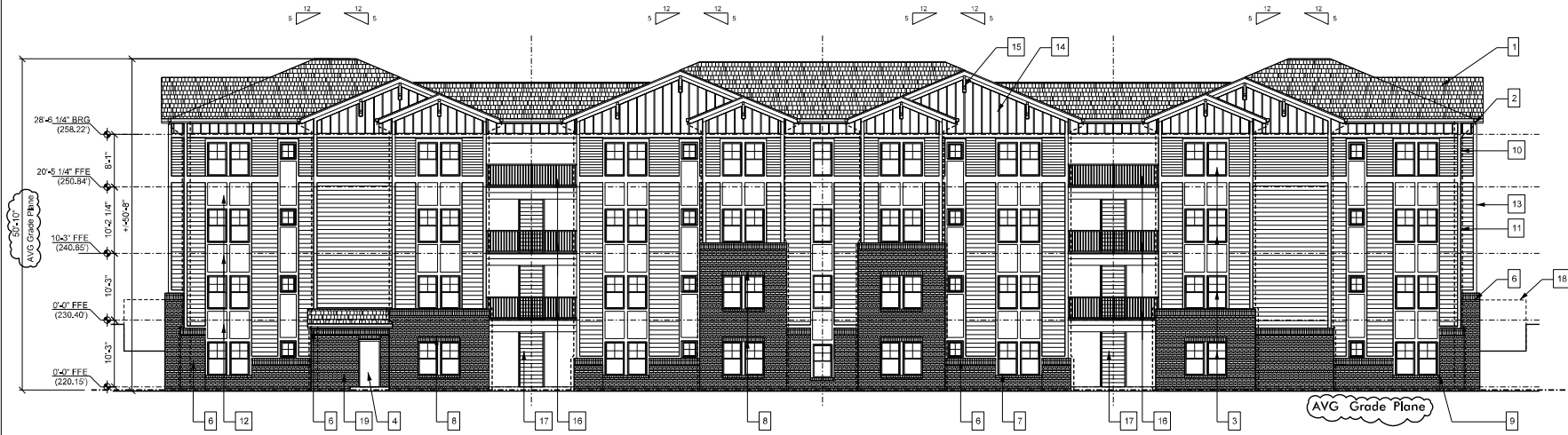
**New Bern Crossings Apartments**

Raleigh, NC  
 Job Number: 0000  
 Date: 2022\_1209  
 Revisions:

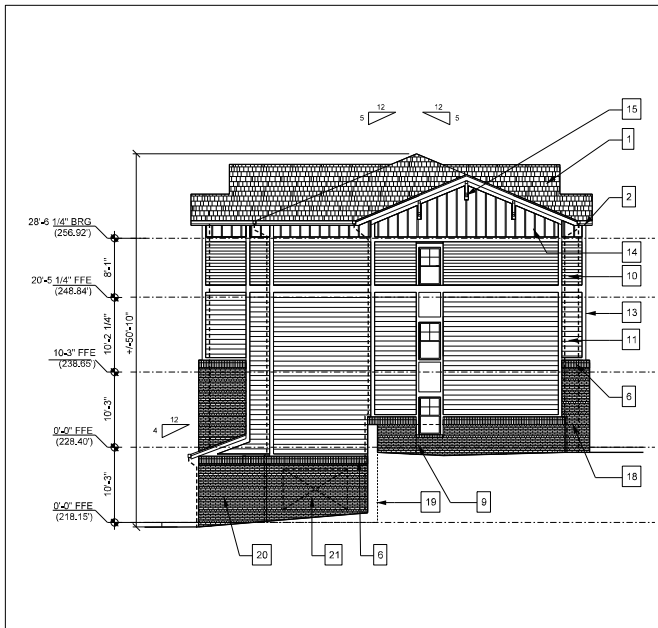
Exterior Elevations  
 Building No. 2  
 Sheet

**A3.4**

| AGP CALCULATIONS  | ELEVATION KEY NOTES              |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
|---|----------------------------------|-----------|---------|--|------------|------------|-----------|---------|---|-------|-------|--------|---|--------|--------|--------|---|--------|--------|--------|---|--------|--------|--------|---|-------|-----|--------|---|-------|-----|--------|-----------|--------|-----|---------|--|
| <table border="1"> <thead> <tr> <th colspan="4">AVERAGE GRADE PLANE CALCULATIONS</th> </tr> <tr> <th>BUILDING #</th> <th>HIGH ELEV.</th> <th>LOW ELEV.</th> <th>AVERAGE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>236.4</td> <td>233.9</td> <td>235.15</td> </tr> <tr> <td>2</td> <td>219.65</td> <td>219.65</td> <td>219.65</td> </tr> <tr> <td>3</td> <td>217.65</td> <td>217.65</td> <td>217.65</td> </tr> <tr> <td>4</td> <td>211.95</td> <td>211.95</td> <td>211.95</td> </tr> <tr> <td>5</td> <td>226.5</td> <td>226</td> <td>226.25</td> </tr> <tr> <td>6</td> <td>232.5</td> <td>232</td> <td>232.25</td> </tr> <tr> <td>CLUBHOUSE</td> <td>244.25</td> <td>234</td> <td>239.125</td> </tr> </tbody> </table> | AVERAGE GRADE PLANE CALCULATIONS |           |         |  | BUILDING # | HIGH ELEV. | LOW ELEV. | AVERAGE | 1 | 236.4 | 233.9 | 235.15 | 2 | 219.65 | 219.65 | 219.65 | 3 | 217.65 | 217.65 | 217.65 | 4 | 211.95 | 211.95 | 211.95 | 5 | 226.5 | 226 | 226.25 | 6 | 232.5 | 232 | 232.25 | CLUBHOUSE | 244.25 | 234 | 239.125 | <ol style="list-style-type: none"> <li>1 REINFORCED GLASS PANELS - REFER TO ARCHITECTURAL AND TECHNICAL SPECIFICATIONS FOR GLASS SCHEDULES AND WARRANTY</li> <li>2 PREPARED SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCUS</li> <li>3 VINYL WINDOWS - SEE SCHEDULE</li> <li>4 SCHEDULED DOOR / FRAME - SEE AIA</li> <li>5 BRICK VENER, RUNNING BOND PATTERN</li> <li>6 STACKED DECORATIVE BRICK COURSE - ACCENT BAND</li> <li>7 BRICK VENER ROW LOOK (M), SLOPED TO DRAIN</li> <li>8 BRICK SOLIDER COURSE (M), TYP. AT WINDOW AND DOOR HEADS</li> <li>9 MASONRY CONTROL JUNT (C.J.) CAS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.</li> <li>10 CEMENTITIOUS LAP SIDING, 5" EXPOSURE - COLOR 1</li> <li>11 CEMENTITIOUS LAP SIDING, 6" EXPOSURE - COLOR 2</li> <li>12 CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM</li> <li>13 CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDINGS, TYP.</li> <li>14 CEMENTITIOUS BOARD AND BATTEN SIDING</li> <li>15 DECORATIVE PVC BRACKET, TYP.</li> <li>16 PREPARED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES</li> <li>17 EXTERIOR STAIRS, TYP.</li> <li>18 SITE RETAINING WALL, SEE C&amp;E FOR EXTENT.</li> <li>19 SPRINKLER ROOM</li> </ol> |
| AVERAGE GRADE PLANE CALCULATIONS  |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| BUILDING #  | HIGH ELEV.                       | LOW ELEV. | AVERAGE |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 1   | 236.4                            | 233.9     | 235.15  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 2   | 219.65                           | 219.65    | 219.65  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 3   | 217.65                           | 217.65    | 217.65  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 4   | 211.95                           | 211.95    | 211.95  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 5   | 226.5                            | 226       | 226.25  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 6   | 232.5                            | 232       | 232.25  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| CLUBHOUSE   | 244.25                           | 234       | 239.125 |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| <b>LEGEND</b>   |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| <p>↓ DOWNSPOUT, VERIFY LOCATION FIELD PRIOR TO INSTALL</p>  |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |



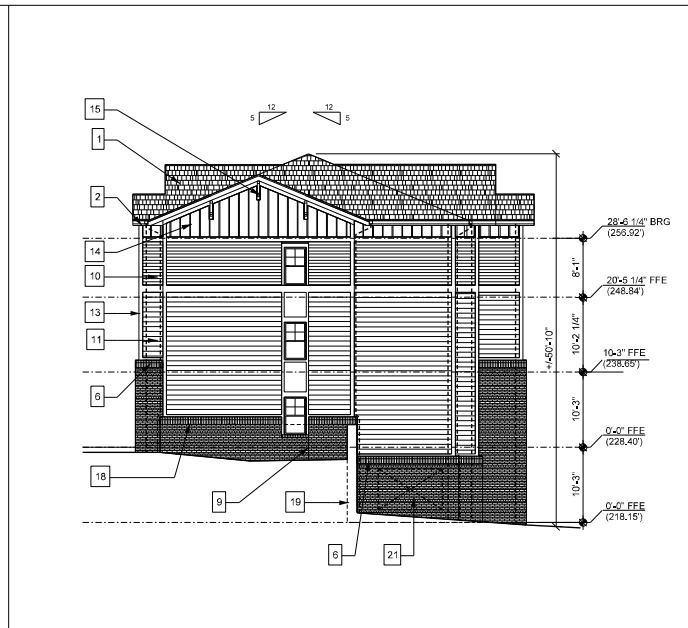
Elevation - REAR - Building No. 2  
 Scale: 1/8" = 1'-0"



Elevation - SIDE - Building No. 3

Scale: 1/4" = 1'-0"

3



Elevation - SIDE - Building No. 3

Scale: 1/4" = 1'-0"

2

| AGP CALCULATIONS                 |            |           |         | ELEVATION KEY NOTES |   |
|----------------------------------|------------|-----------|---------|---------------------|---|
| AVERAGE GRADE PLANE CALCULATIONS |            |           |         | 1                   | REF GLASS/ENFORCED ARCHITECTURAL  |
| BUILDING #                       | HIGH ELEV. | LOW ELEV. | AVERAGE | 2                   | DOWNPOUT, TYP. - REFER TO ROOF PLAN FOR LOGS                              |
| 1                                | 236.4      | 233.9     | 235.15  | 3                   | FINISH SEAMLESS METAL GUTTER OR   |
| 2                                | 219.65     | 219.65    | 219.65  | 4                   | SCHEDULED DOOR / FRAME - SEE AGU  |
| 3                                | 217.65     | 217.65    | 217.65  | 5                   | WVCL WINDOWS - SEE SCHEDULE   |
| 4                                | 211.95     | 211.95    | 211.95  | 6                   | BRICK VENEER, RUNNING BOND PATTERN  |
| 5                                | 236.5      | 226       | 236.25  | 7                   | STACKED DECORATIVE BRICK COURSE - ACCENT BAND                             |
| 6                                | 232.5      | 232       | 232.25  | 8                   | BRICK SOLIDER COURSE, KETTEL, TYP. AT WINDOW AND DOOR HEADS               |
| CURBHOUSE                        | 244.25     | 234       | 239.125 | 9                   | MASONRY CONTROL JUNT, G.C.S TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.    |
|                                  |            |           |         | 10                  | CEMENTITIOUS LAP SIDING - 1" EXPOSURE - COLOR 1                           |
|                                  |            |           |         | 11                  | CEMENTITIOUS LAP SIDING - 6" EXPOSURE - COLOR 2                           |
|                                  |            |           |         | 12                  | CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM                           |
|                                  |            |           |         | 13                  | CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP. |
|                                  |            |           |         | 14                  | CEMENTITIOUS BOARD AND BATTEN SIDING                                      |
|                                  |            |           |         | 15                  | DECORATIVE PVC BRACKET, TYP.  |
|                                  |            |           |         | 16                  | PRE-ENGINEERED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES        |
|                                  |            |           |         | 17                  | EXTERIOR STAIRS, TYP.   |
|                                  |            |           |         | 18                  | EIFS RETAINING WALL, SEE CURB FOR EXTENT.                                 |
|                                  |            |           |         | 19                  | LINE OF BUILDING BEYOND   |
|                                  |            |           |         | 20                  | SPRINKLER ROOM  |
|                                  |            |           |         | 21                  | ELECTRICAL EQUIPMENT, SEE ELECTRICAL.                                     |

LEGEND

- ↓ DOWNPOUT, TYP. SEE ROOF PLAN, VERIFY LOGS, INSTALL PRIOR TO INSTALL.

**TISE-KIESTER ARCHITECTS**

**Tka**

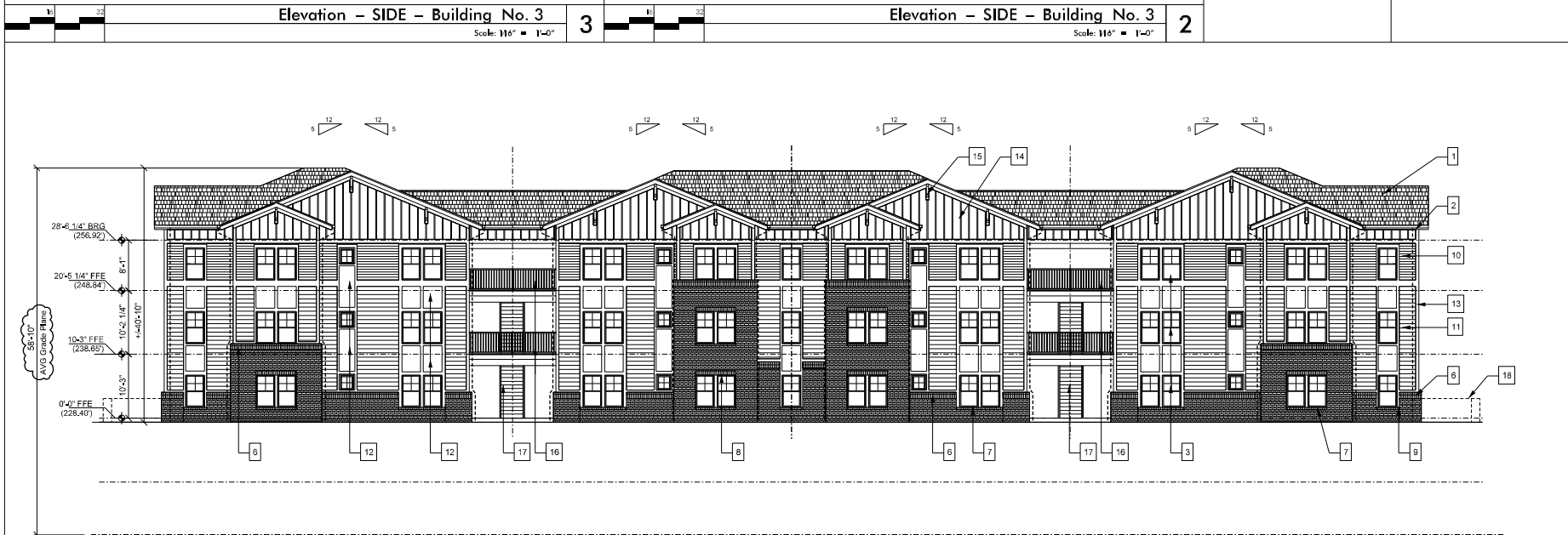
119 E Franklin St, Suite 300  
Chapel Hill, NC 27514  
Tel. 919.967.0158  
Fax 919.967.0159  
www.tisekiester.com

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**New Bern Crossings Apartments**

Raleigh, NC

- Job Number: 0000
- Date: 2023\_0127
- Revisions:



Elevation - FRONT - Building No. 3

Scale: 1/8" = 1'-0"

1

Exterior Elevations  
Building No. 3  
Sheet

**A3.5**

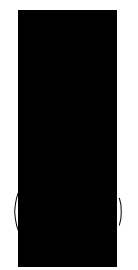
DATE: 11/14/23



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**New Bern Crossings Apartments**

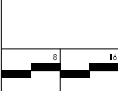
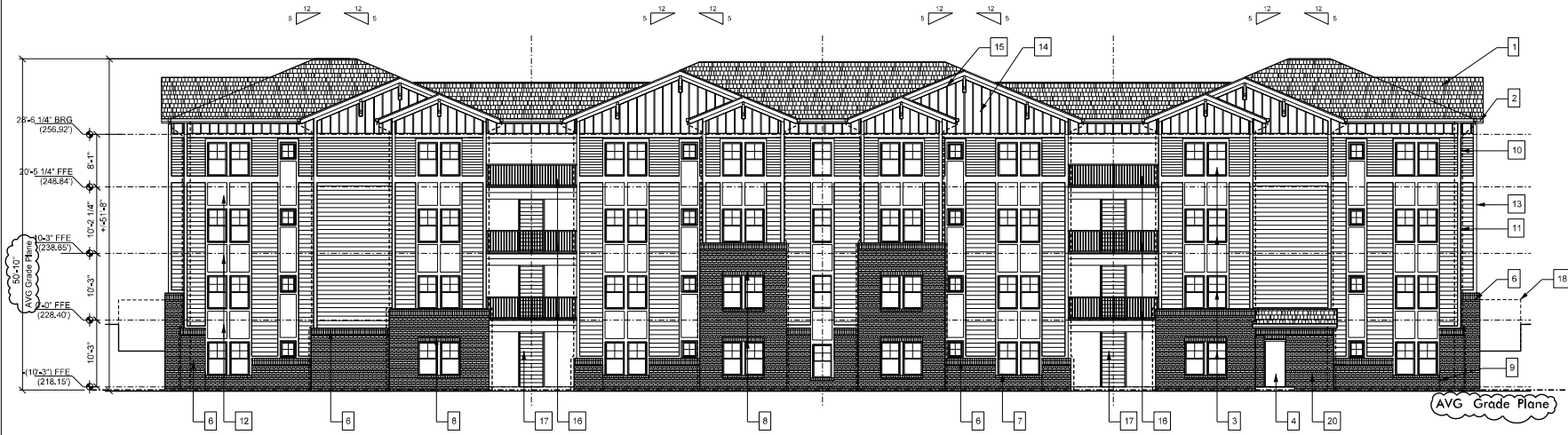
Raleigh, NC  
 Job Number: 0000  
 Date: 2022\_1209  
 Revisions:



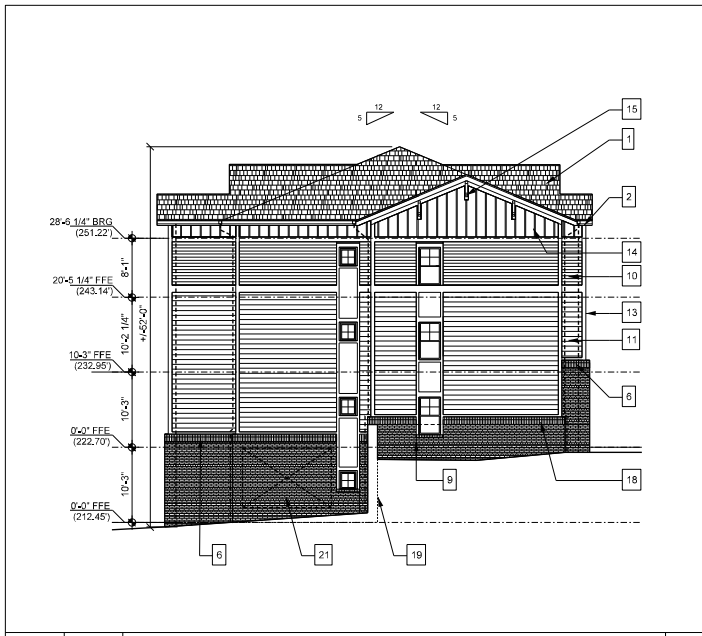
Exterior Elevations  
 Building No. 3  
 Sheet

**A3.6**

| AGP CALCULATIONS  | ELEVATION KEY NOTES              |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
|---|----------------------------------|-----------|---------|--|------------|------------|-----------|---------|---|-------|-------|--------|---|--------|--------|--------|---|--------|--------|--------|---|--------|--------|--------|---|-------|-----|--------|---|-------|-----|--------|-----------|--------|-----|---------|--|
| <table border="1"> <thead> <tr> <th colspan="4">AVERAGE GRADE PLANE CALCULATIONS</th> </tr> <tr> <th>BUILDING #</th> <th>HIGH ELEV.</th> <th>LOW ELEV.</th> <th>AVERAGE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>236.4</td> <td>233.9</td> <td>235.15</td> </tr> <tr> <td>2</td> <td>219.65</td> <td>219.65</td> <td>219.65</td> </tr> <tr> <td>3</td> <td>217.65</td> <td>217.65</td> <td>217.65</td> </tr> <tr> <td>4</td> <td>211.95</td> <td>211.95</td> <td>211.95</td> </tr> <tr> <td>5</td> <td>226.5</td> <td>226</td> <td>226.25</td> </tr> <tr> <td>6</td> <td>232.5</td> <td>232</td> <td>232.25</td> </tr> <tr> <td>CLUBHOUSE</td> <td>244.25</td> <td>234</td> <td>239.125</td> </tr> </tbody> </table> | AVERAGE GRADE PLANE CALCULATIONS |           |         |  | BUILDING # | HIGH ELEV. | LOW ELEV. | AVERAGE | 1 | 236.4 | 233.9 | 235.15 | 2 | 219.65 | 219.65 | 219.65 | 3 | 217.65 | 217.65 | 217.65 | 4 | 211.95 | 211.95 | 211.95 | 5 | 226.5 | 226 | 226.25 | 6 | 232.5 | 232 | 232.25 | CLUBHOUSE | 244.25 | 234 | 239.125 | <ol style="list-style-type: none"> <li>1 REINFORCED ARCHITECTURAL ANCHORS SHALL BE PROVIDED TO THE STRUCTURE.</li> <li>2 PREPARED SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOGS</li> <li>3 VINYL WINDOWS - SEE SCHEDULE</li> <li>4 SCHEDULE DOOR / FRAME - SEE AIA</li> <li>5 BRICK VENEER, RUNNING BOND PATTERN</li> <li>6 STACKED DECORATIVE BRICK COURSE - ACCENT BAND</li> <li>7 BRICK VENEER ROW LOOK (M.L.) SLOPED TO DRAIN</li> <li>8 BRICK SOLIDER COURSE (M.L.) TYP. AT WINDOW AND DOOR HEADS</li> <li>9 MASONRY CONTROL Joints (C.J.) TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.</li> <li>10 CEMENTITIOUS LAP SIDING, 5" EXPOSURE - COLOR 1</li> <li>11 CEMENTITIOUS LAP SIDING, 6" EXPOSURE - COLOR 2</li> <li>12 CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM</li> <li>13 CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.</li> <li>14 CEMENTITIOUS BOARD AND BATTEN SIDING</li> <li>15 DECORATIVE PVC BRACKET, TYP.</li> <li>16 PREPARED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES</li> <li>17 EXTERIOR STAIRS, TYP.</li> <li>18 SITE RETAINING WALLS SEE CIVIL FOR EXIST.</li> <li>19 LINE OF BUILDING BEYOND.</li> <li>20 SPARKLER ROOM</li> </ol> |
| AVERAGE GRADE PLANE CALCULATIONS  |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| BUILDING #  | HIGH ELEV.                       | LOW ELEV. | AVERAGE |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 1   | 236.4                            | 233.9     | 235.15  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 2   | 219.65                           | 219.65    | 219.65  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 3   | 217.65                           | 217.65    | 217.65  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 4   | 211.95                           | 211.95    | 211.95  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 5   | 226.5                            | 226       | 226.25  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| 6   | 232.5                            | 232       | 232.25  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| CLUBHOUSE   | 244.25                           | 234       | 239.125 |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| <b>LEGEND</b>   |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |
| <p>↓ DOWNSPOUT, TYP. - SEE ROOF PLAN, VERIFY LOGS, FIELD PRIOR TO INSTALL</p>   |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |  |



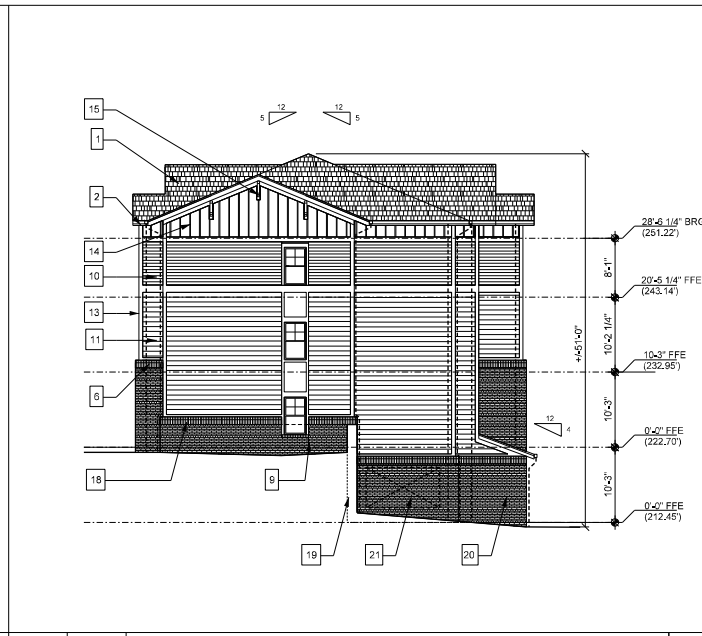
Elevation - REAR - Building No. 3  
 Scale: 1/8" = 1'-0"



Elevation - SIDE - Building No. 4

Scale: 1/16" = 1'-0"

3

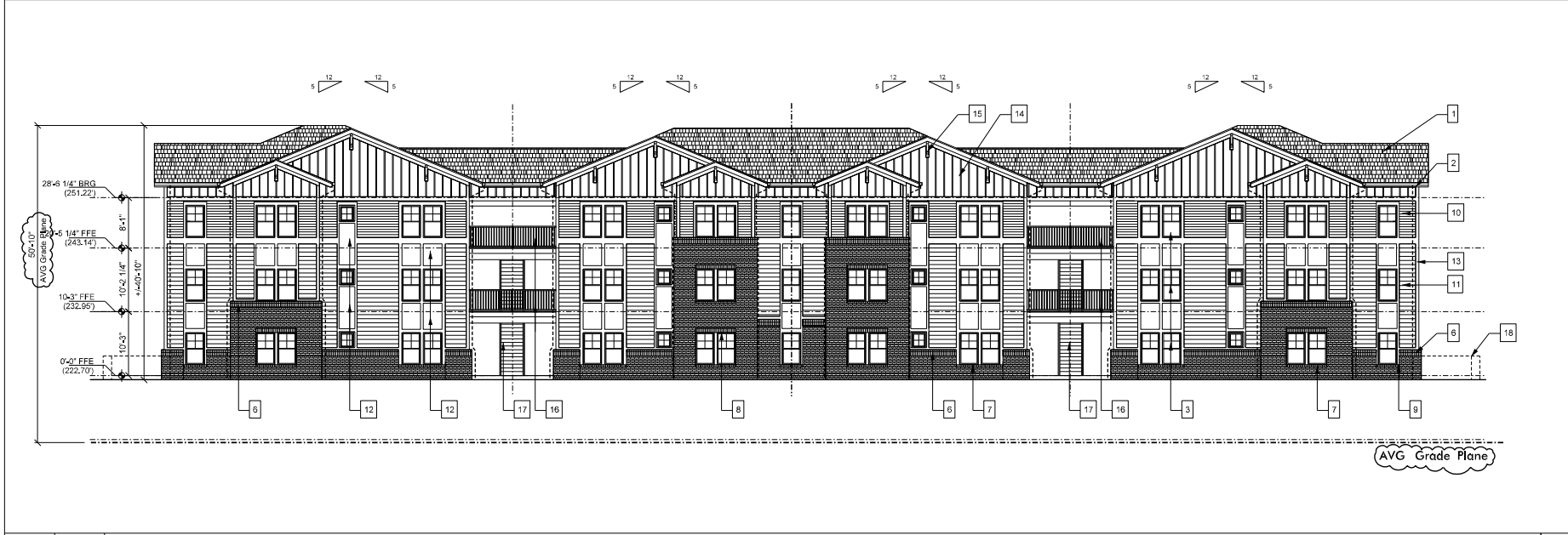
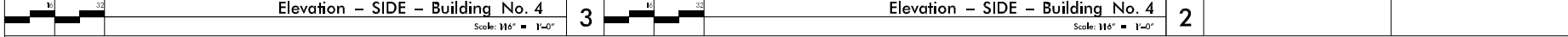


Elevation - SIDE - Building No. 4

Scale: 1/16" = 1'-0"

2

| AGP CALCULATIONS                        |        |        |         | ELEVATION KEY NOTES                         |   |
|---|--------|--------|---------|---|---|
| AVERAGE GRADE PLANE CALCULATIONS        |        |        |         | 1   | REINFORCED ARCHITECTURAL  |
| BUILDING # HIGH ELEV. LOW ELEV. AVERAGE |        |        |         | 2   | FRONT SEAMLESS METAL GUTTER OR  |
| 1                                       | 236.4  | 233.9  | 235.15  | 3   | DOWNPOUT, TYP. - REFER TO ROOF PLAN FOR LOGS                              |
| 2                                       | 219.65 | 219.65 | 219.65  | 4   | M/V/L WINDOWS - SEE SCHEDULE  |
| 3                                       | 217.65 | 217.65 | 217.65  | 5   | SCHEDULED DOOR / FRAME - SEE AIA  |
| 4                                       | 211.95 | 211.95 | 211.95  | 6   | M/V/L WINDOWS - SEE SCHEDULE  |
| 5                                       | 236.5  | 226    | 236.25  | 7   | BRICK VENEER, RUNNING BOND PATTERN  |
| 6                                       | 232.5  | 232    | 232.25  | 8   | STACKED DECORATIVE BRICK COURSE - ACCENT BAND                             |
| CURBHOUSE                               | 244.25 | 234    | 239.125 | 9   | BRICK VENEER ROW/LINE COURSE, SLOPED TO OPEN                              |
|   |        |        |         | 10  | BRICK SOLIDER COURSE/LINTEL, TYP. AT WINDOW AND DOOR HEADS                |
|   |        |        |         | 11  | MASONRY CONTROL JUNT/C.J. CAS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.  |
|   |        |        |         | 12  | CEMENTITIOUS LAP SIDING, 1" EXPOSURE - COLOR 1                            |
|   |        |        |         | 13  | CEMENTITIOUS LAP SIDING, 1" EXPOSURE - COLOR 2                            |
|   |        |        |         | 14  | CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TRIM                           |
|   |        |        |         | 15  | CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP. |
|   |        |        |         | 16  | CEMENTITIOUS BOARD AND BATTEN SIDING                                      |
|   |        |        |         | 17  | DECORATIVE PVC BRACKET, TYP.  |
|   |        |        |         | 18  | PRE-ENGINEERED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES        |
|   |        |        |         | 19  | EXTERIOR STAIRS, TYP.   |
|   |        |        |         | 20  | EIFS RETAINING WALL, SEE C.O.B. FOR EXTENT.                               |
|   |        |        |         | 21  | LINE OF BUILDING BEYOND.  |
|   |        |        |         | 22  | SPINGLER ROOM   |
|   |        |        |         | 23  | ELECTRICAL EQUIPMENT, SEE ELECTRICAL.                                     |
|   |        |        |         | LEGEND                                      |   |
|   |        |        |         | ↓ DOWNPOUT, TYP. SEE ROOF PLAN, VERIFY LOGS |   |
|   |        |        |         | ◆ FIELD PRIOR TO INSTALL                    |   |



Elevation - FRONT - Building No. 4

Scale: 1/8" = 1'-0"

1

**TISE-KIESTER ARCHITECTS**

**Tka**

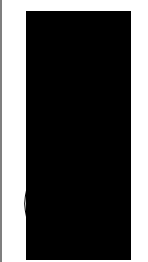
119 E Franklin St, Suite 300  
Chapel Hill, NC 27514  
Tel. 919.967.0158  
Fax 919.967.0159  
www.tisekiester.com

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**New Bern Crossings Apartments**

Raleigh, NC

Job Number: 0000  
Date: 2023\_0127  
Revisions:



Exterior Elevations  
Building No. 4  
Sheet

**A3.7**

DATE: 8/10/23

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**New Bern Crossings Apartments**

Raleigh, NC  
 Job Number: 0000  
 Date: 2023\_0127  
 Revisions:



Exterior Elevations  
 Building No. 4  
 Sheet

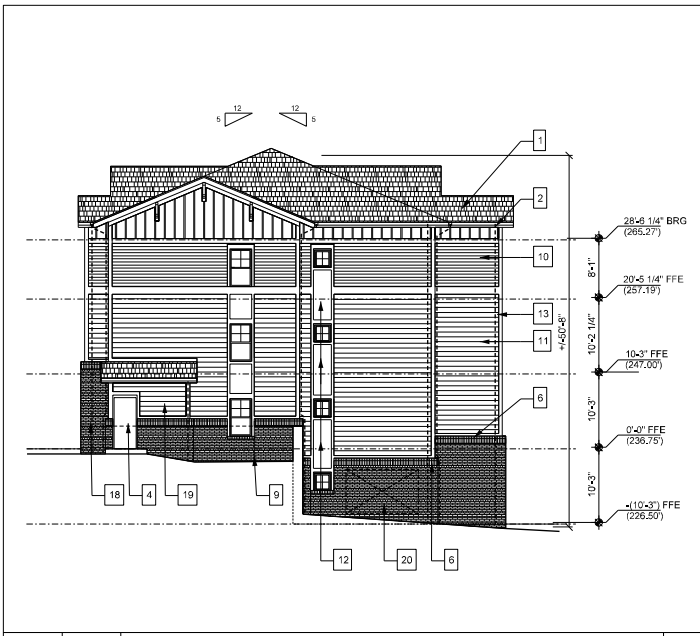
**A3.8**

| AGP CALCULATIONS  | ELEVATION KEY NOTES              |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
|---|----------------------------------|-----------|---------|--|------------|------------|-----------|---------|---|-------|-------|--------|---|--------|--------|--------|---|--------|--------|--------|---|--------|--------|--------|---|-------|-----|--------|---|-------|-----|--------|-----------|--------|-----|---------|---|
| <table border="1"> <thead> <tr> <th colspan="4">AVERAGE GRADE PLANE CALCULATIONS</th> </tr> <tr> <th>BUILDING #</th> <th>HIGH ELEV.</th> <th>LOW ELEV.</th> <th>AVERAGE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>236.4</td> <td>233.9</td> <td>235.15</td> </tr> <tr> <td>2</td> <td>219.65</td> <td>219.65</td> <td>219.65</td> </tr> <tr> <td>3</td> <td>217.65</td> <td>217.65</td> <td>217.65</td> </tr> <tr> <td>4</td> <td>211.95</td> <td>211.95</td> <td>211.95</td> </tr> <tr> <td>5</td> <td>226.5</td> <td>226</td> <td>226.25</td> </tr> <tr> <td>6</td> <td>232.5</td> <td>232</td> <td>232.25</td> </tr> <tr> <td>CLUBHOUSE</td> <td>244.25</td> <td>234</td> <td>239.125</td> </tr> </tbody> </table> | AVERAGE GRADE PLANE CALCULATIONS |           |         |  | BUILDING # | HIGH ELEV. | LOW ELEV. | AVERAGE | 1 | 236.4 | 233.9 | 235.15 | 2 | 219.65 | 219.65 | 219.65 | 3 | 217.65 | 217.65 | 217.65 | 4 | 211.95 | 211.95 | 211.95 | 5 | 226.5 | 226 | 226.25 | 6 | 232.5 | 232 | 232.25 | CLUBHOUSE | 244.25 | 234 | 239.125 | <ol style="list-style-type: none"> <li>1 REINFORCED ARCHITECTURAL WINDOW WITH 10-MINUTE FIRE RESISTANCE RATED GLASS</li> <li>2 PREPARED SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOTS</li> <li>3 VINYL WINDOWS - SEE SCHEDULE</li> <li>4 SCHEDULED DOOR / FRAME - SEE AIA</li> <li>5 BRICK VENEER, RUNNING BOND PATTERN</li> <li>6 STACKED DECORATIVE BRICK COURSE - ACCENT BAND</li> <li>7 BRICK VENEER ROW LOOK (M), SLOPED TO DRAIN</li> <li>8 BRICK SOLIDER COURSE (M), TYP. AT WINDOW AND DOOR HEADS</li> <li>9 MASONRY CONTROL JUNT (C.J.) CAS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.</li> <li>10 CEMENTITIOUS LAP SIDING, 5" EXPOSURE - COLOR 1</li> <li>11 CEMENTITIOUS LAP SIDING, 6" EXPOSURE - COLOR 2</li> <li>12 COGNATE SOLID PANEL WITH CEMENTITIOUS TRIM</li> <li>13 CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, WINDOW AND DOOR SURROUNDS, TYP.</li> <li>14 CEMENTITIOUS BOARD AND BATTEN SIDING</li> <li>15 DECORATIVE PVC BRACKET, TYP.</li> <li>16 PREPARED VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES</li> <li>17 EXTERIOR STAIRS, TYP.</li> <li>18 SITE RETAINING WALL, SEE C&amp;E FOR EXTENT.</li> <li>19 SPRINKLER ROOM</li> </ol> |
| AVERAGE GRADE PLANE CALCULATIONS  |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| BUILDING #  | HIGH ELEV.                       | LOW ELEV. | AVERAGE |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| 1   | 236.4                            | 233.9     | 235.15  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| 2   | 219.65                           | 219.65    | 219.65  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| 3   | 217.65                           | 217.65    | 217.65  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| 4   | 211.95                           | 211.95    | 211.95  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| 5   | 226.5                            | 226       | 226.25  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| 6   | 232.5                            | 232       | 232.25  |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| CLUBHOUSE   | 244.25                           | 234       | 239.125 |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| <b>LEGEND</b>   |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |
| <p>↓ DOWNSPOUT, VERIFY LOCATION FIELD PRIOR TO INSTALL</p>  |                                  |           |         |  |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |           |        |     |         |   |



Elevation - REAR - Building No. 4  
 Scale: 1/8" = 1'-0"

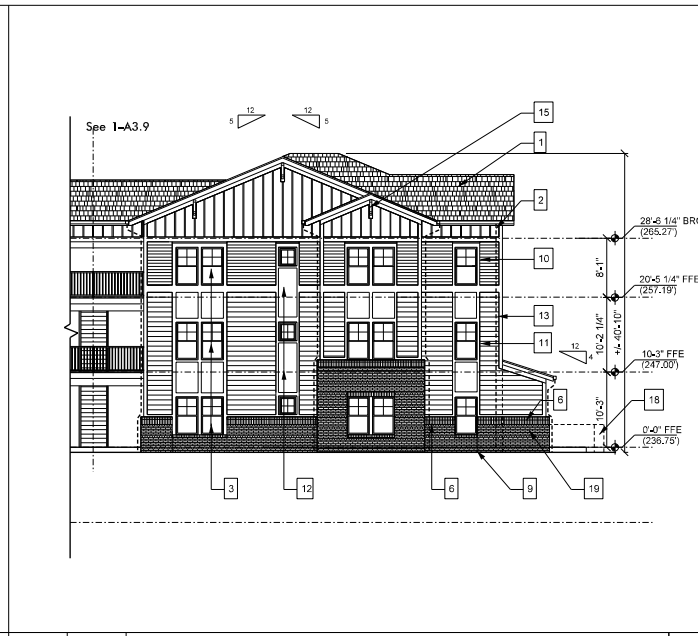
REVISED FILES



Elevation - SIDE - Building No. 5

Scale: 1/16" = 1'-0"

3



Elevation - FRONT - Building No. 5

Scale: 1/16" = 1'-0"

2

| AGP CALCULATIONS                 |            |           |         | ELEVATION KEY NOTES  |
|----------------------------------|------------|-----------|---------|--|
| AVERAGE GRADE PLANE CALCULATIONS |            |           |         | <ul style="list-style-type: none"> <li>1 FIBER GLASS REINFORCED ARCH STRUCTURAL</li> <li>2 FIBERGLASS REINFORCED PANELS, 5 YEAR WARRANTY</li> <li>10 28'-6 1/4" BRG (265.27)</li> <li>8'-1"</li> <li>20'-5 1/4" FFE (257.19)</li> <li>13 +4'-6 5/8"</li> <li>11 10'-2 1/4"</li> <li>10'-2 1/4" FFE (247.00)</li> <li>6 10'-3"</li> <li>0'-0" FFE (236.75)</li> <li>10'-3"</li> <li>-10'-3" FFE (226.50)</li> </ul> |
| BUILDING #                       | HIGH ELEV. | LOW ELEV. | AVERAGE |  |
| 1                                | 236.4      | 233.9     | 235.15  |  |
| 2                                | 219.65     | 219.65    | 219.65  |  |
| 3                                | 217.65     | 217.65    | 217.65  |  |
| 4                                | 211.95     | 211.95    | 211.95  |  |
| 5                                | 226.5      | 226       | 226.25  |  |
| 6                                | 232.5      | 232       | 232.25  |  |
| CLUBHOUSE                        | 244.25     | 234       | 239.125 |  |

LEGEND

- 1 DOWNPOUT, TYP. SEE ROOF PLAN, VERIFY LOCAL
- 2 WELD PRIOR TO INSTALL

**TISE-KIESTER ARCHITECTS**

**Tka**

119 E Franklin St, Suite 300  
Chapel Hill, NC 27514  
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Fax 919.967.0159  
www.tisekiester.com

New Bern Crossings Apartments

Raleigh, NC

Job Number: 0000  
Date: 2023\_0127  
Revisions:



Elevation - FRONT - Building No. 5

Scale: 1/8" = 1'-0"

1

Exterior Elevations  
Building No. 5  
Sheet

A3.9

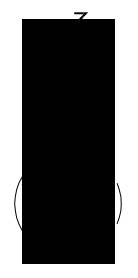
NOTES FILES

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**New Bern Crossings Apartments**

Raleigh, NC

Job Number: 0000  
 Date: 2023\_0127  
 Revisions:



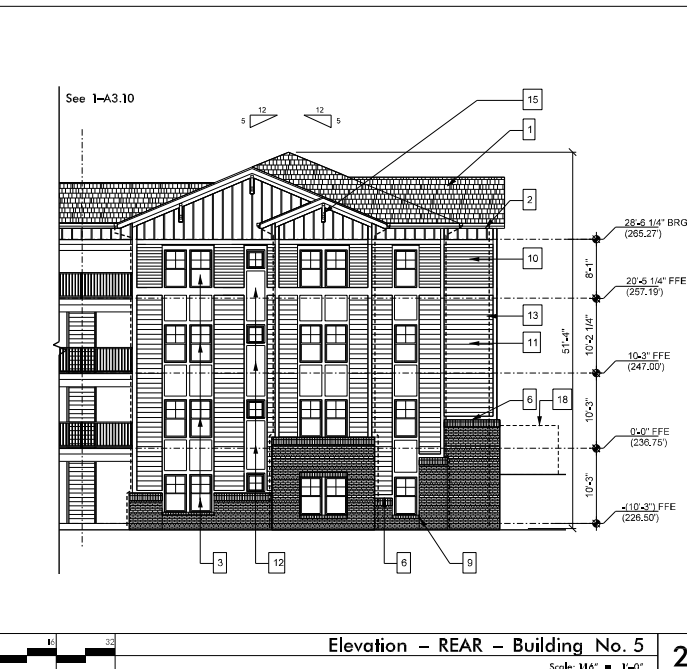
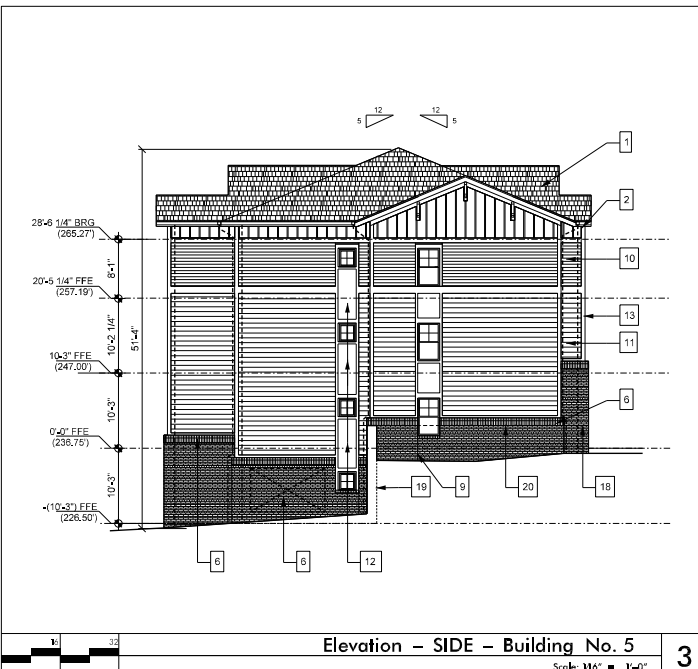
Exterior Elevations  
 Building No. 5  
 Sheet

**A3.10**

| AGP CALCULATIONS                 |            |           |         | ELEVATION KEY NOTES |   |
|----------------------------------|------------|-----------|---------|---------------------|---|
| AVERAGE GRADE PLANE CALCULATIONS |            |           |         | 1                   | 1/2" REINFORCED ARCHITECTURAL GLASS WITH 10 YEAR FINISHES, 5 YEAR WARRANTY        |
| BUILDING #                       | HIGH ELEV. | LOW ELEV. | AVERAGE | 2                   | 1/2" REINFORCED METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCATION |
| 1                                | 236.4      | 233.9     | 235.15  | 3                   | VINYL WINDOWS - SEE SCHEDULE  |
| 2                                | 219.65     | 219.65    | 219.65  | 4                   | SCHEDULED DOOR / FRAME - SEE A&I  |
| 3                                | 217.65     | 217.65    | 217.65  | 5                   | BRICK VENEER RUNNING BOND PATTERN   |
| 4                                | 211.95     | 211.95    | 211.95  | 6                   | STACKED DECORATIVE BRICK COURSE / ACCENT BAND                                     |
| 5                                | 236.5      | 226       | 226.25  | 7                   | BRICK VENEER POW-DLOCK SILL, SLOPED TO DRAIN                                      |
| 6                                | 232.5      | 232       | 232.25  | 8                   | BRICK SOLDIER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS                        |
| CURBHOUSE                        | 244.25     | 234       | 239.125 | 9                   | MASONRY CONTROL JOINTS (C/J) TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.           |
|                                  |            |           |         | 10                  | CEMENTITIOUS LAP JOINTS - 5' EXPOSURE - COLOR 1                                   |
|                                  |            |           |         | 11                  | CEMENTITIOUS LAP JOINTS - 5' EXPOSURE - COLOR 2                                   |
|                                  |            |           |         | 12                  | CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TYP.                                   |
|                                  |            |           |         | 13                  | CEMENTITIOUS TYP. AT CORNER BOARDS, WINDOW AND DOOR SUBSIDIES, TYP.               |
|                                  |            |           |         | 14                  | CEMENTITIOUS BOARD AND BATTEN JOINTING  |
|                                  |            |           |         | 15                  | DECORATIVE PVC BRACKET, TYP.  |
|                                  |            |           |         | 16                  | 1/2" REINFORCED VINYL GUARDRAIL SYSTEM 42" HIGH, TYP. (BY ENGINEER)               |
|                                  |            |           |         | 17                  | EXTERIOR STAIRS, TYP.   |
|                                  |            |           |         | 18                  | W/FE RETAINING WALL, SPECIAL FOR EXISTENT.  |
|                                  |            |           |         | 19                  | LINE OF BUILDING BEYOND.  |
|                                  |            |           |         | 20                  | SPIRINKLER ROOM   |
|                                  |            |           |         | 21                  | ELECTRICAL EQUIPMENT  |

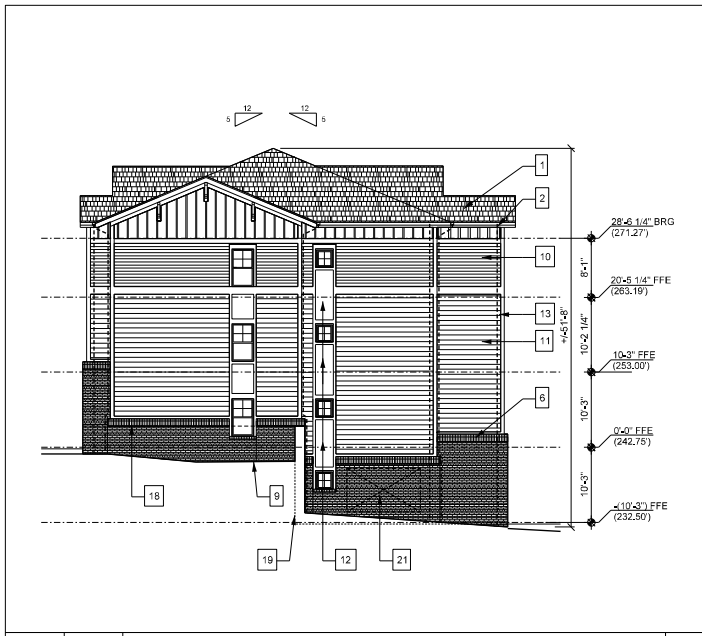
**LEGEND**

↓ DOWNSPOUT, TYP. SEE ROOF PLAN. VENEER LOCAL FIELD PRIOR TO INSTALL



DATE: FILES

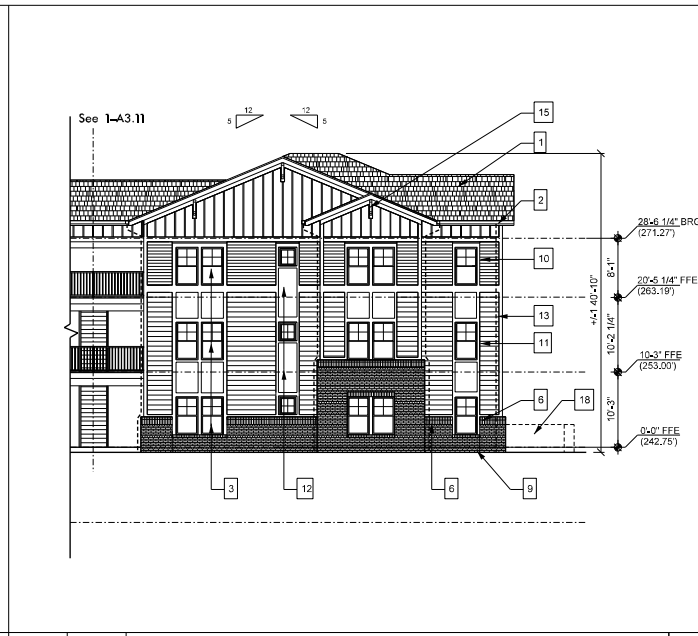




Elevation - SIDE - Building No. 6

Scale: 1/16" = 1'-0"

3



Elevation - FRONT - Building No. 6

Scale: 1/16" = 1'-0"

2

AGP CALCULATIONS

AVERAGE GRADE PLANE CALCULATIONS

| BUILDING # | HIGH ELEV. | LOW ELEV. | AVERAGE |
|------------|------------|-----------|---------|
| 1          | 236.4      | 233.9     | 235.15  |
| 2          | 219.65     | 219.65    | 219.65  |
| 3          | 217.65     | 217.65    | 217.65  |
| 4          | 211.95     | 211.95    | 211.95  |
| 5          | 226.5      | 226       | 226.25  |
| 6          | 232.5      | 232       | 232.25  |
| CLUBHOUSE  | 244.25     | 234       | 239.125 |

- ELEVATION KEY NOTES
- 1 FIBERGLASS REINFORCED ARCHITECTURAL, UNFINISHED, 1/2" THICK, OVER 1/4" FINISHES, 5 YEAR WARRANTY
  - 2 1/2" MIN SCAMESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCS
  - 3 UNV. WINDOWS - SEE SCHEDULE
  - 4 SCHEDULED DOOR/ FRAME - SEE A&I
  - 5 BRICK VENER, RUNNING BOND PATTERN
  - 6 STACKED DECORATIVE BRICK COURSE / ACCENT BAND
  - 7 BRICK VENER ROW-LOCK S&L, SLOPED TO DRAIN
  - 8 BRICK SOLIDER COURSE, UNV. TYP. AT WINDOW AND DOOR HEADS
  - 9 MASSRY CONTROL JAMB (CJ), GUS TO BE PROVIDED AT ALL INSIDE CORNERS, TYP.
  - 10 CEMENTITIOUS LAP SIDING - S' EXPOSURE - COLOR 1
  - 11 CEMENTITIOUS LAP SIDING - S' EXPOSURE - COLOR 2
  - 12 CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TYP
  - 13 CEMENTITIOUS TYP. TYP. AT CORNER BOARDS, WINDOW AND DOOR SUBSTRINGS, TYP.
  - 14 CEMENTITIOUS BOARD AND BATTEN SIDING
  - 15 DECORATIVE PVC BRACKET, TYP
  - 16 1/2" RIBBED UNV. GUARDRAIL SYSTEM 42" HIGH, TYP. AT CORNERS
  - 17 EXTERIOR STAIRS, TYP.
  - 18 WFE RETAINING WALL, OFFICAL FOR EXTERNT.
  - 19 LINE OF BUILDING BEYOND.
  - 20 SPINKLER ROOM
  - 21 ELECTRICAL EQUIPMENT, SEE ELECTRICAL

LEGEND

↓ DOWNSPOUT, TYP. SEE ROOF PLAN, VENEY LOCAL, IN FIELD PRIOR TO INSTALL.

**TISE-KIESTER ARCHITECTS**

**Tka**

119 E Franklin St, Suite 300  
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Fax 919.967.0159  
www.tisekiester.com

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**New Bern Crossings Apartments**

Raleigh, NC

- Job Number: 0000
- Date: 2023\_0127
- Revisions:



Elevation - FRONT - Building No. 6

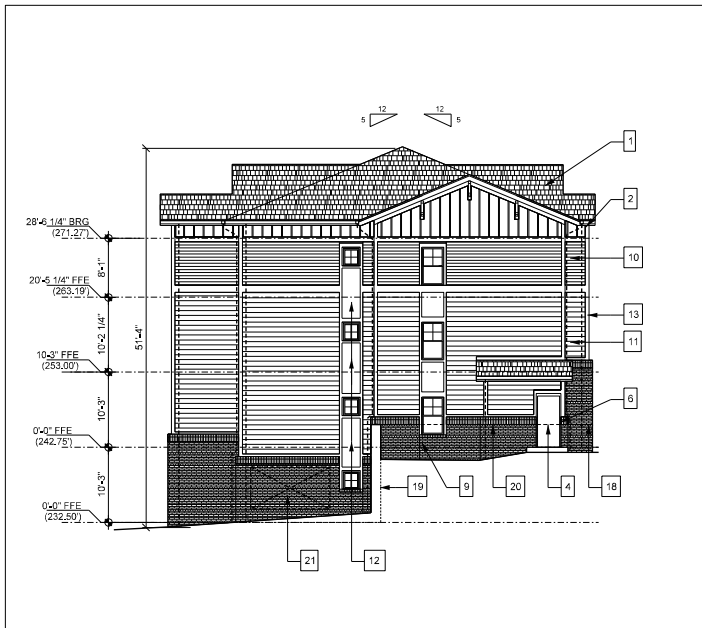
Scale: 1/8" = 1'-0"

1

Exterior Elevations  
Building No. 6  
Sheet

**A3.11**

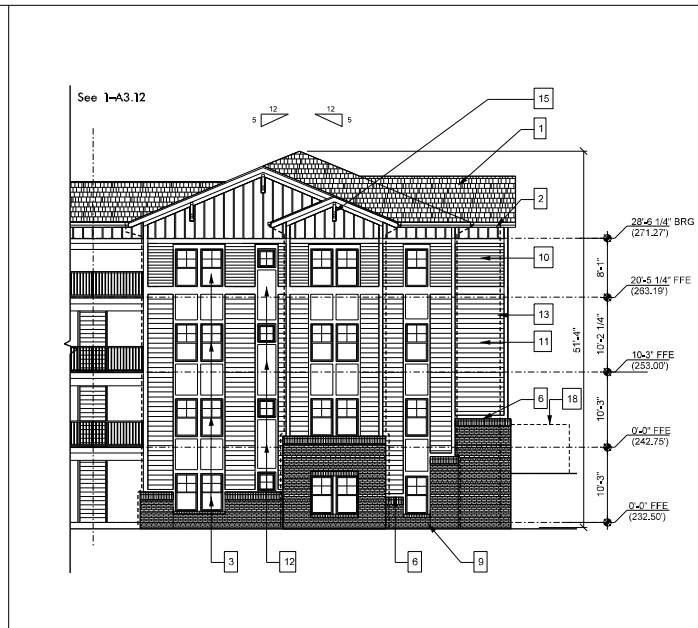
REVISED



Elevation - SIDE - Building No. 3

Scale: 1/4" = 1'-0"

3



Elevation - REAR - Building No. 6

Scale: 1/4" = 1'-0"

2

AGP CALCULATIONS

AVERAGE GRADE PLANE CALCULATIONS

| BUILDING # | HIGH ELEV. | LOW ELEV. | AVERAGE |
|------------|------------|-----------|---------|
| 1          | 236.4      | 233.9     | 235.15  |
| 2          | 219.65     | 219.65    | 219.65  |
| 3          | 217.65     | 217.65    | 217.65  |
| 4          | 211.95     | 211.95    | 211.95  |
| 5          | 236.5      | 226       | 236.25  |
| 6          | 232.5      | 232       | 232.25  |
| CLUBHOUSE  | 244.25     | 234       | 239.125 |

- ELEVATION KEY NOTES
1. REINFORCED CONCRETE ARCHITECTURAL, 20' MIN. RADIUS, 1/2" MIN. THICKNESS, 3000 PSI STRENGTH, 5 YEAR WARRANTY
  2. 1/2" MIN. SCAMLESS METAL GUTTER OR DOWNSPOUT, TYP. - REFER TO ROOF PLAN FOR LOCATION
  3. VINYL WINDOWS - SEE SCHEDULE
  4. SCHEDULED DOOR / FRAME - SEE AX1
  5. BRICK VENER, RUNNING BOND PATTERN
  6. STACKED DECORATIVE BRICK COURSE / ACCENT BAND
  7. BRICK VENER ROW-LOCK SILL, SLOPED TO DRAIN
  8. BRICK SOLIDER COURSE LINTEL, TYP. AT WINDOW AND DOOR HEADS
  9. MASONRY CONTROL JOINT (CJ), CJ'S TO BE PROVIDED AT ALL BRICK CORNERS, TYP.
  10. CEMENTITIOUS LAP JOINTS - 5' EXPOSURE - COLOR 1
  11. CEMENTITIOUS LAP JOINTS - 5' EXPOSURE - COLOR 2
  12. CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TYP.
  13. CEMENTITIOUS TYP. TYP. AT CORNER BOARDS, WINDOW AND DOOR SUBSTRINGS, TYP.
  14. CEMENTITIOUS BOARD AND BATTEN JOINTS
  15. DECORATIVE PVC BRACKET, TYP.
  16. 1/2" MIN. RADIUS VINYL GUARDRAIL SYSTEM, 42" HIGH, TYP. AT BALCONIES
  17. EXTERIOR STAIRS, TYP.
  18. WIRE RETAINING WALL, SPECIAL FOR EXTERIOR
  19. LINE OF BUILDING BEYOND
  20. SPOKELIER ROOM
  21. ELECTRICAL EQUIPMENT, SEE ELECTRICAL

LEGEND

1 DOWNSPOUT, TYP. SEE ROOF PLAN, VERIFY LOCATION AND FIELD NOTES TO INSTALL

**TISE-KIESTER ARCHITECTS**

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**New Bern Crossings Apartments**

Raleigh, NC

Job Number: 0000

Date: 2022\_1209

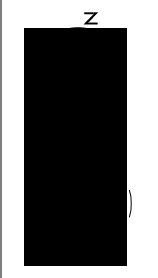
Revisions:



Elevation - REAR - Building No. 6

Scale: 1/8" = 1'-0"

1



Exterior Elevations  
Building No. 6  
Sheet

**A3.12**

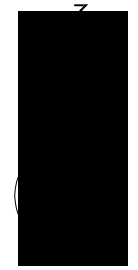
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**New Bern Crossings Apartments**

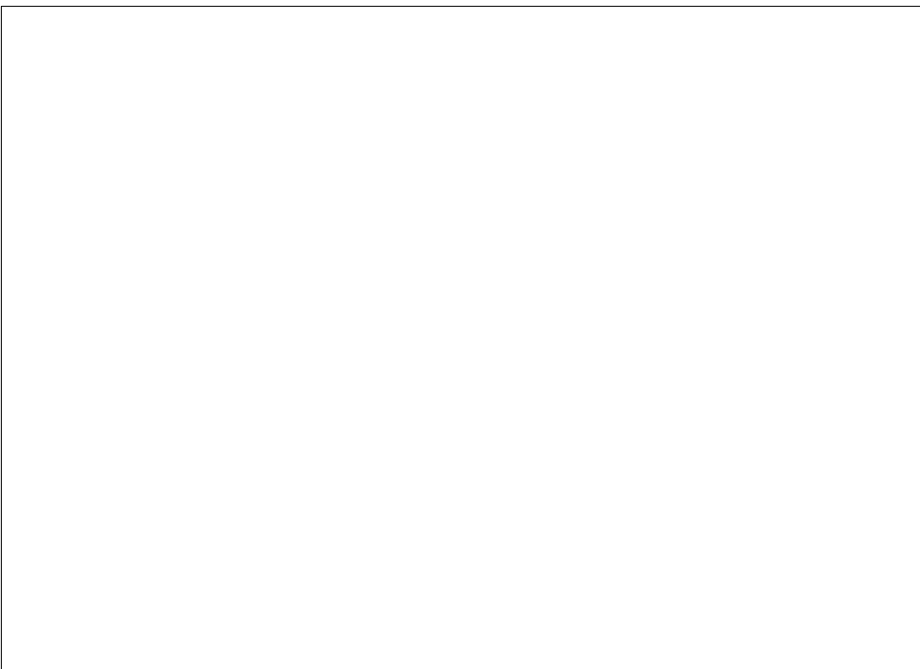
Raleigh, NC  
 Job Number: 0000  
 Date: 2023\_0127  
 Revisions:



Exterior Elevations  
 Community Building  
 Sheet

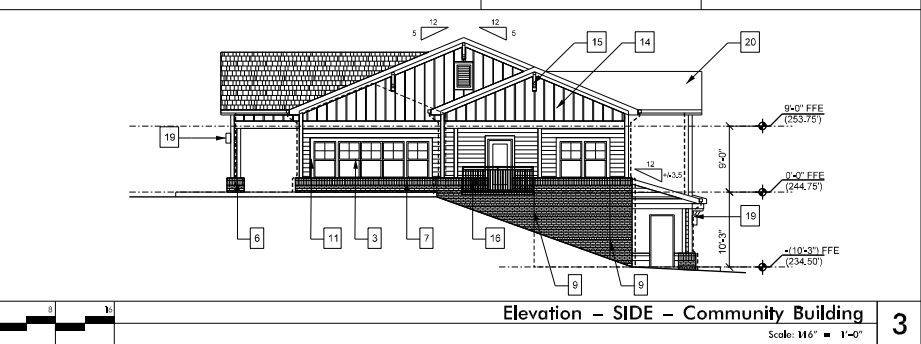
**A3.13**

| AGP CALCULATIONS   |   |           | ELEVATION KEY NOTES              |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
|--|---|-----------|----------------------------------|--|---|---|------------|------------|-----------|---------|---|-------|-------|--------|---|--------|--------|--------|---|--------|--------|--------|---|--------|--------|--------|---|-------|-----|--------|---|-------|-----|--------|----------|--------|-----|---------|--|--|
| <table border="1"> <thead> <tr> <th colspan="4">AVERAGE GRADE PLANE CALCULATIONS</th> </tr> <tr> <th>BUILDING #</th> <th>HIGH ELEV.</th> <th>LOW ELEV.</th> <th>AVERAGE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>236.4</td> <td>233.9</td> <td>235.15</td> </tr> <tr> <td>2</td> <td>219.65</td> <td>219.65</td> <td>219.65</td> </tr> <tr> <td>3</td> <td>217.65</td> <td>217.65</td> <td>217.65</td> </tr> <tr> <td>4</td> <td>211.95</td> <td>211.95</td> <td>211.95</td> </tr> <tr> <td>5</td> <td>226.5</td> <td>226</td> <td>226.25</td> </tr> <tr> <td>6</td> <td>232.5</td> <td>232</td> <td>232.25</td> </tr> <tr> <td>CURBOUSE</td> <td>244.25</td> <td>234</td> <td>239.125</td> </tr> </tbody> </table> |   |           | AVERAGE GRADE PLANE CALCULATIONS |  |   |   | BUILDING # | HIGH ELEV. | LOW ELEV. | AVERAGE | 1 | 236.4 | 233.9 | 235.15 | 2 | 219.65 | 219.65 | 219.65 | 3 | 217.65 | 217.65 | 217.65 | 4 | 211.95 | 211.95 | 211.95 | 5 | 226.5 | 226 | 226.25 | 6 | 232.5 | 232 | 232.25 | CURBOUSE | 244.25 | 234 | 239.125 | <ol style="list-style-type: none"> <li>1 FINISH GLASS REINFORCED ARCHITECTURAL INTERIOR WALL SPACED BRACKETS, 30-YEAR WARRANTY</li> <li>2 FINISH GLASSLESS METAL OUTER OR DOWNBROUT, TYP., REFER TO ROOF PLAN FOR LOC.</li> <li>3 VINYL WINDOWS - SEE SCHEDULE</li> <li>4 SCHEDULED DOOR / FRAME - SEE A.S.</li> <li>5 BRICK VENEER RUNNING BOND PATTERN</li> <li>6 BRICK VENEER HOLLOW BOND PATTERN</li> <li>7 STACKED DECORATIVE BRICK COURSE / ACCENT BAND</li> <li>8 BRICK VENEER ROWLOCK BOND, SLOPED TO DRAIN</li> <li>9 BRICK SOLIDER COURSE LEVEL TYP. AT WINDOW AND DOOR HEADS</li> <li>10 MASONRY CONTROL JOINT (C.J.) GJS TO BE PROVIDED AT ALL BRICK CORNERS, TYP.</li> <li>11 CEMENTITIOUS LAP SIDING - 5" EXPOSURE - COLOR 1</li> <li>12 CEMENTITIOUS LAP SIDING - 7" EXPOSURE - COLOR 2</li> <li>13 CEMENTITIOUS SOLID PANEL WITH CEMENTITIOUS TYP.</li> <li>14 CEMENTITIOUS TYP. AT CORNER BOARDS, WINDOW AND DOOR SUBROSES, TYP.</li> <li>15 CEMENTITIOUS BOARD AND BATTEN SIDING</li> <li>16 DECORATIVE PVC BRACKET, TYP.</li> <li>17 PRE-FINISHED VINYL GUARDRAIL SYSTEM 42" HIGH TYP. AT BALCONIES</li> <li>18 EXTERIOR STAIRS, TYP.</li> <li>19 2'-0" x 3'-0" PVC ATTIC VENT WITH INSECT SCREEN</li> <li>20 EXTERIOR ADA COMPLIANT LIGHT FIXTURE</li> <li>21 BUILDING OR EQUIPMENT BEYOND, TYP.</li> <li>22 8'-0" x 7'-0" ROLLING DOOR</li> <li>23 PRE-FINISHED RAIN CHIMNEY</li> <li>24 ELECTRICAL EQUIPMENT, SEE ELECTRICAL.</li> </ol> |  |
| AVERAGE GRADE PLANE CALCULATIONS   |   |           |                                  |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| BUILDING #   | HIGH ELEV.  | LOW ELEV. | AVERAGE                          |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| 1  | 236.4   | 233.9     | 235.15                           |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| 2  | 219.65  | 219.65    | 219.65                           |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| 3  | 217.65  | 217.65    | 217.65                           |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| 4  | 211.95  | 211.95    | 211.95                           |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| 5  | 226.5   | 226       | 226.25                           |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| 6  | 232.5   | 232       | 232.25                           |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| CURBOUSE   | 244.25  | 234       | 239.125                          |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| <table border="1"> <thead> <tr> <th colspan="2">LEGEND</th> </tr> </thead> <tbody> <tr> <td>↓</td> <td>DOWNBROUT, TYP., SEE ROOF PLAN, VINYL LOOK, BUILT PRIOR TO RETAIL</td> </tr> </tbody> </table>  |   |           | LEGEND                           |  | ↓ | DOWNBROUT, TYP., SEE ROOF PLAN, VINYL LOOK, BUILT PRIOR TO RETAIL |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| LEGEND   |   |           |                                  |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |
| ↓  | DOWNBROUT, TYP., SEE ROOF PLAN, VINYL LOOK, BUILT PRIOR TO RETAIL |           |                                  |  |   |   |            |            |           |         |   |       |       |        |   |        |        |        |   |        |        |        |   |        |        |        |   |       |     |        |   |       |     |        |          |        |     |         |  |  |



Elevation - SIDE - Community Building  
 Scale: 1/4" = 1'-0"

4



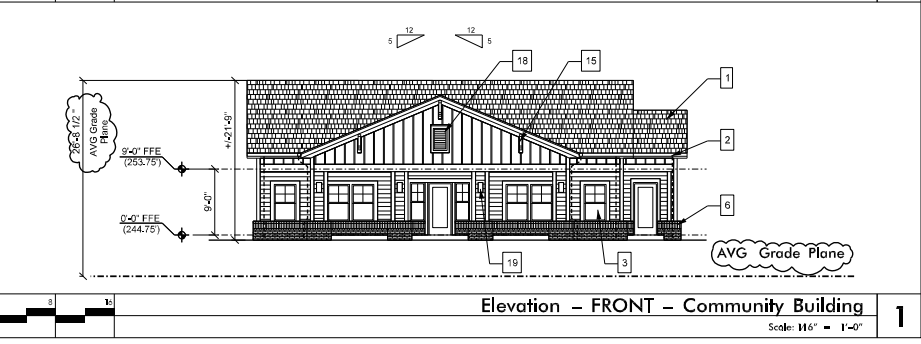
Elevation - SIDE - Community Building  
 Scale: 1/4" = 1'-0"

3



Elevation - REAR - Community Building  
 Scale: 1/4" = 1'-0"

2



Elevation - FRONT - Community Building  
 Scale: 1/4" = 1'-0"

1

REVISED FILES