



Administrative Approval Action

Case File / Name: ASR-0077-2022
DSLCLC - MCN EXPANSION

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 2.18. acre site zoned IX-3 and within a SHOD-2 overlay is located at the southeast corner of the intersection of Cynrow Blvd and Roundrock Drive at 1730 Roundrock Drive.
- REQUEST:** Proposed two-story 14,958 square foot expansion of an existing light industrial facility.
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SUR-0052-2023: DSENG - Surety/Infrastructure
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 31, 2023 by Engineered Construction Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2). The stormwater control plan at the time of ASR approval will need additional information before SPR approval to demonstrate compliance with UDO 9.2.

Urban Forestry

4. A tree impact permit must be obtained for the installation and inspection of tree protection fence to protect 2 existing trees to remain in the future right-of-way along Cynrow Boulevard prior to a demolition or grading permit, whichever comes first.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A cross access agreement among the lots identified as PINs 1727143147 and 1727131954 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Stormwater

5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

5. A public infrastructure surety for 12 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
6. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 3 street trees along Cynrow Boulevard and 9 street trees along Roundrock Drive, for a total of 12 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.



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Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 3, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ *Daniel L. Stegall* _____ Date: 05/03/2023
Development Services Dir/Designee

Staff Coordinator: Michael Walters

Administrative Site Review Application

Permitting and Development Control Service Center - One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-999-2022



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 102.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 102.8, as amended by last change case TC 14-10 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). Note: There is a fee for this verification service.

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

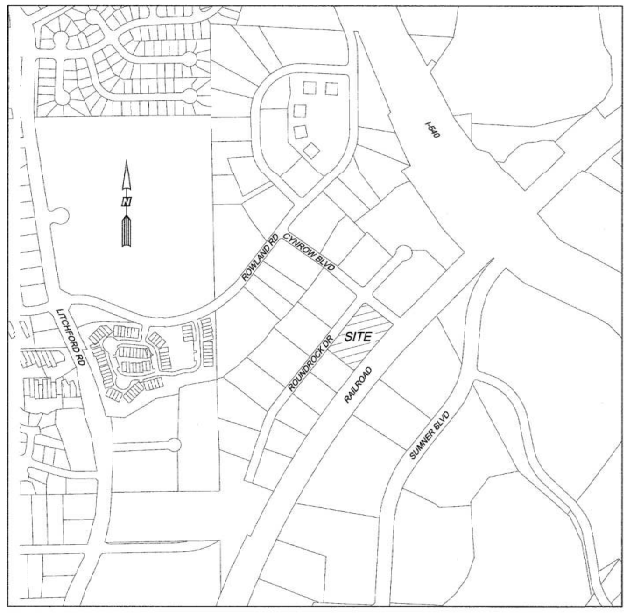
Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General Subdivision case # N/A
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use Scoping/initial plan case # N/A
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot Certificate of Appropriateness # N/A
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic Board of Adjustment # N/A
	<input type="checkbox"/> Zoning Case # N/A
	<input type="checkbox"/> Administrative Alternate # N/A

GENERAL INFORMATION

Development name: MCN Expansion
 Inside City limits? Yes No
 Property address(es): **1730 ROUNDROCK DR**
 Site P.I.N.(s): 1727143147
 Please describe the scope of work, include any additions, expansions, and change of use.
 14,958 SF expansion of existing light industrial facility.

Current Property Owner/Developer Contact Name: Scott Dawson, Jr.
 NOTE: please attach purchase agreement when submitting this form.
 Company: Engineered Construction Company Title: Vice President
 Address: 900 Paverstone Drive, Suite 200, Raleigh, NC 27613
 Phone #: (919) 954-0990 Email: sdawsonj@engrconstr.com
 Applicant Name: William C. Piver, PE
 Company: William C. Piver, PE Address: 2709 Scottsdale Lane, Raleigh, NC 27613
 Phone #: (919) 880-4217 Email: bill_piver@yahoo.com

MCN EXPANSION 1730 ROUNDROCK DRIVE RALEIGH, NC ASR-0077-2022



VICINITY MAP
SCALE: 1" = 500'

SITE PLAN

THIS SITE PLAN CALLS FOR AN EXPANSION OF AN EXISTING LIGHT INDUSTRIAL BUILDING ON A LOT LOCATED AT 1730 ROUNDROCK DRIVE.

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND HCDOT STANDARDS AND SPECIFICATIONS.

TREE CONSERVATION AREAS PREVIOUSLY APPROVED WITH SUBDIVISION S-45-2008. AREAS ARE RECORDED IN BM 2011 PG 78.

NO BOARD APPROVALS, VARIANCES, DESIGN ADJUSTMENTS, TEXT CHANGES OR ADMINISTRATIVE ALTERNATIVES ARE INVOLVED IN THIS APPROVAL.

OWNER:
 MCN HOLDINGS LLC
 1730 ROUND ROCK DR
 RALEIGH NC 27615-5740
 MICHAEL YARUR
 PHONE: 984-202-5312
 michael@innovativefabrication.com

DEVELOPER:
 ENGINEERED CONSTRUCTION COMPANY
 900 PAVERSTONE DRIVE, SUITE 200
 RALEIGH, NC 27615
 PHONE: 919-954-9090
 sdawsonj@engrconstr.com

ENGINEER:
 WILLIAM C. PIVER, PE
 2709 SCOTTSDALE LANE
 RALEIGH, NORTH CAROLINA 27613
 PHONE: (919) 880-4217
 bill_piver@yahoo.com

SURVEYOR:
 RWK, PA
 101 WEST MAIN STREET #202
 GARNER, NC 27529
 PHONE: (919) 779-4854
 cpritzky@nc.rr.com

LANDSCAPE ARCHITECT:
 COALY DESIGN
 300/200 PARHAM STREET
 SUITE G
 RALEIGH, NC 27601
 PHONE: (919) 539-0012
 kimberly@coalydesign.com

- SHEETS:**
- C-1 COVER SHEET
 - C-2 EXISTING CONDITIONS
 - C-2.1 DEMOLITION PLAN
 - C-3 SITE PLAN
 - C-4 GRADING & STORMWATER
 - C-5 BIO-RETENTION DETAILS
 - LA-1 LANDSCAPE PLAN
 - C-6 UTILITY PLAN
 - A1 FLOOR PLAN
 - A1.1 FLOOR PLAN
 - A2 ELEVATIONS

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): DC-2	Existing gross floor area (not to be demolished): 11,979 SF
Gross site acreage: 2.16	Existing gross floor area to be demolished: 0
# of parking spaces required: No Maximum	New gross floor area: 14,958 SF
# of parking spaces proposed: 27	Total sf gross (to remain and new): 26,837 SF
Overly District (if applicable): SHOD 2	Proposed # of buildings: 1
Existing use (UDO 3.1.4): Metal Fabrication	Proposed # of stories for each 2
Proposed use (UDO 3.1.4): Metal Fabrication	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.98 Square Feet: 39,875	Proposed Impervious Surface: Acres: 1.26 Square Feet: 54,995
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Flood study: FEMA Map Panel #: Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

William C. Piver, PE will serve as the agent regarding this application, and will receive and respond to administrative comments, seasonal plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 90 days of inactivity.

Signature: *William C. Piver* Date: July 28, 2022
 Printed Name: William C. Piver, PE

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	01-09-23
2	REVISED PER CITY COMMENTS	02-24-23
3	REVISED PER CITY COMMENTS	03-31-23

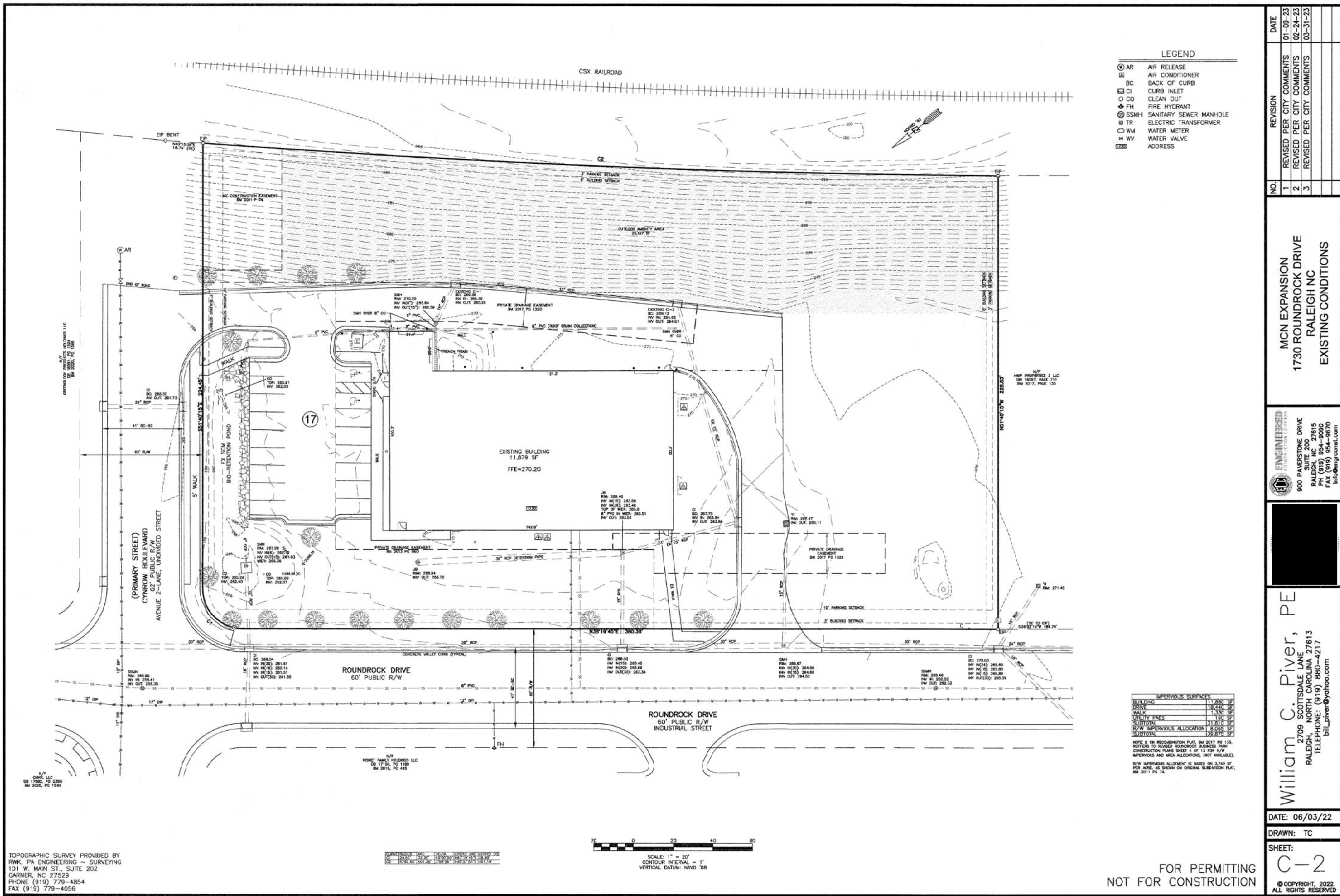
MCN EXPANSION
 1730 ROUNDROCK DRIVE
 RALEIGH NC
 COVER SHEET



William C. Piver, PE
 2709 SCOTTSDALE LANE #202
 RALEIGH, NC 27615
 PHONE: (919) 880-4217
 bill_piver@yahoo.com

DATE: 06/03/22
 DRAWN: TC
 SHEET:
C-1

FOR PERMITTING
NOT FOR CONSTRUCTION



- LEGEND
- ⊙ AR AIR RELEASE
 - ⊙ AC AIR CONDITIONER
 - ⊙ BC BACK OF CURB
 - ⊙ CI CURB INLET
 - ⊙ CD CLEAN OUT
 - ⊙ FH FIRE HYDRANT
 - ⊙ SS/MH SANITARY SEWER MANHOLE
 - ⊙ ET ELECTRIC TRANSFORMER
 - ⊙ WM WATER METER
 - ⊙ WV WATER VALVE
 - ⊙ ADDRESS

IMPERVIOUS SURFACES	
BUILDING	1.000 SF
DRIVE	1.000 SF
WALK	1.000 SF
UTILITY TRENCH	1.000 SF
ROADWAY	1.000 SF
2\"/>	

NOTE: 6\"/>

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	07-09-23
2	REVISED PER CITY COMMENTS	02-24-23
3	REVISED PER CITY COMMENTS	02-21-23

MCN EXPANSION
1730 ROUNDROCK DRIVE
RALEIGH NC
EXISTING CONDITIONS

900 PAVESTONE DRIVE
RALEIGH, NC 27615
PH: (919) 904-9090
FAX: (919) 904-9090
info@piper.com

William C. Piver, PE
2709 SCOTTSDALE LANE
RALEIGH, NORTH CAROLINA 27613
TEL: (919) 904-9090
bill_piver@piper.com

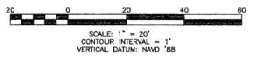
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DRAWN: TC
SHEET: C-2

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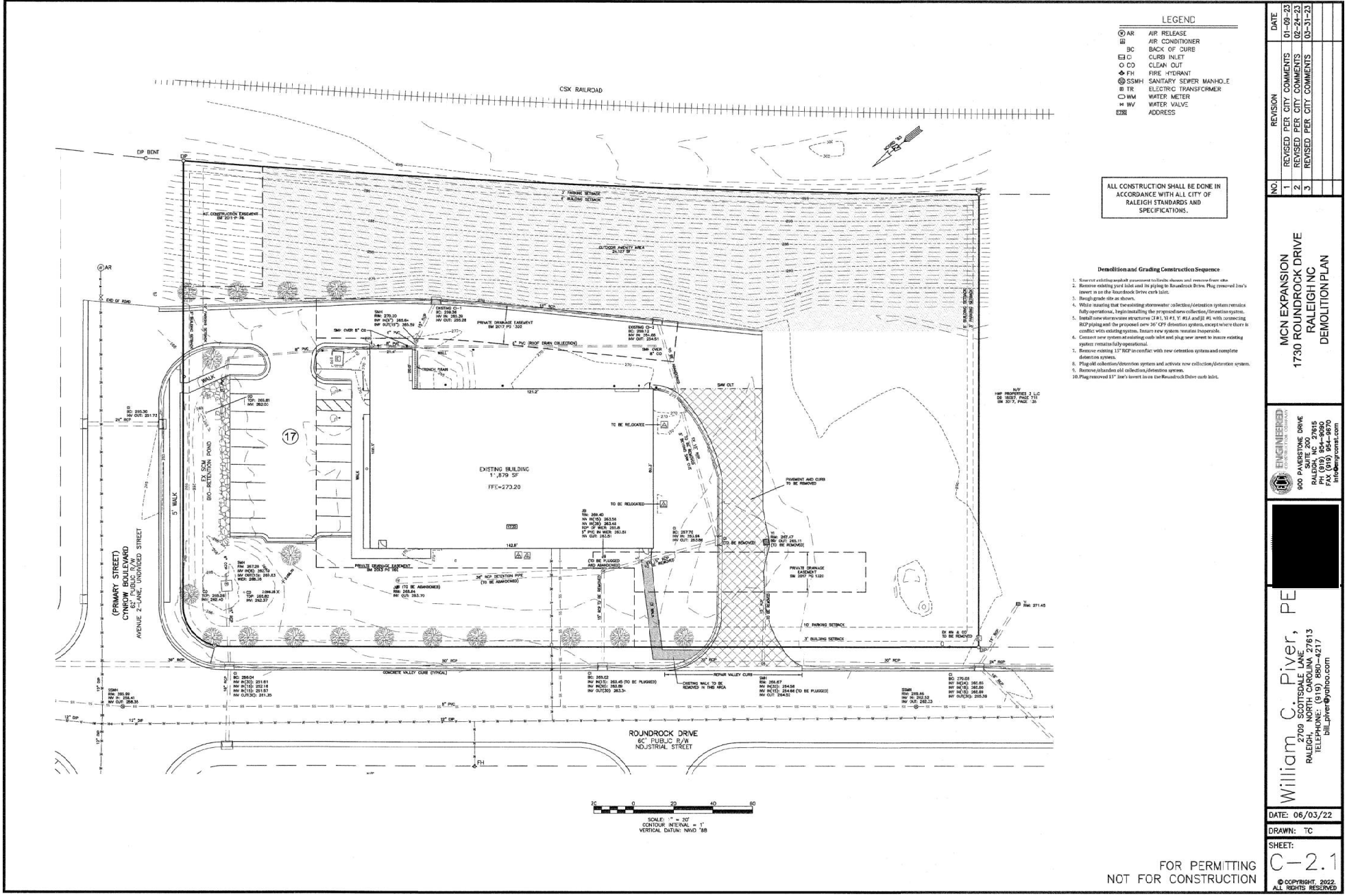
TOPOGRAPHIC SURVEY PROVIDED BY
RWK PA ENGINEERING - SURVEYING
131 W. MAIN ST., SUITE 202
GARMER, NC 27522
PHONE (919) 779-4854
FAX (919) 779-4056

CONCRETE VALLEY CURB TYPICAL



A/E
DWG. L/C
10/15/2012 10:23:56
10/15/2012 10:23:56

HWK PAVEMENTS, LLC
17755 NC 1189
RALEIGH, NC 27615



LEGEND

- ⊙ AR AIR RELEASE
- ⊙ BC BACK OF CURB
- ⊙ CC CURB INLET
- ⊙ CO CLEAN OUT
- ⊙ FH FIRE HYDRANT
- ⊙ SSWH SANITARY SEWER MANHOLE
- ⊙ TR ELECTRIC TRANSFORMER
- ⊙ WM WATER METER
- ⊙ WV WATER VALVE
- ⊙ ADDRESS

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

- Demolition and Grading Construction Sequence**
1. Remove existing walkway pavement to locate storm and sewer lines.
 2. Remove existing yard area and its piping to Roundrock Drive. Plug removed line's invert in on the Roundrock Drive curb line.
 3. Rebuild grade per as shown.
 4. While awaiting the existing stormwater collection/detention system remains fully operational, begin installing the proposed new collection/detention system.
 5. Install new stormwater structures (2 #1, 1 #1.5 #1.5 and 1 #1) with connecting RCP piping and the proposed new 36" CPT detention system, except where there is conflict with existing system. Secure new system remains inoperative.
 6. Connect new system at existing curb inlet and plug sewer invert to insure existing system remains fully operational.
 7. Remove existing 18" RCP in contact with new detention system and complete detention system.
 8. Plug old collection/detention system and activate new collection/detention system.
 9. Remove abandoned old collection/detention system.
 10. Plug removed 18" line's invert in on the Roundrock Drive curb line.

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	01-09-23
2	REVISED PER CITY COMMENTS	02-24-23
3	REVISED PER CITY COMMENTS	03-31-23

**MCN EXPANSION
1730 ROUNDROCK DRIVE
RALEIGH NC
DEMOLITION PLAN**

**ENGINEERED
DESIGNATION COMPANY**
900 PAPERSTONE DRIVE
RALEIGH, NC 27615
PH (919) 854-9900
TELE FAX (919) 854-9900
info@engr.com

William C. Piver, PE
2709 SCOTTSDALE LANE
RALEIGH, NORTH CAROLINA 27613
TELEPHONE (919) 854-9900
BILL.PIVER@enrnc.com

DATE: 06/03/22

DRAWN: TC

SHEET:

C-2.1

FOR PERMITTING
NOT FOR CONSTRUCTION

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LEGEND

- AR AIR RELEASE
- BC BACK OF CURB
- CI CURB INLET
- CO CLEAN OUT
- ◆ FH FIRE HYDRANT
- ⊕ SSMH SANITARY SEWER MANHOLE
- ⊕ TR ELECTRIC TRANSFORMER
- WM WATER METER
- W WV WATER VALVE
- 1232 ADDRESS

SITE DATA

OWNER:
MCM HOLDINGS LLC
1730 ROUNDROCK DRIVE
RALEIGH NC 27610-5740
MICHAEL YALOW
PHONE: 919-203-0310
mcmh@mcwholm.com

173740341
IM 2017 PG 1330
DCA

EXISTING LAND USE: LIGHT INDUSTRIAL
PROPOSED BLDG USE: LIGHT INDUSTRIAL

AREA:
EXISTING LOT 224 83,326 SF 2.189 AC
PROPOSED LOT 224 11,879 SF 0.269 AC
TOTAL 95,205 SF 2.189 AC
GROSS AREA: 95,205 SF 2.189 AC
NET AREA: 91,410 SF 2.089 AC

BUILDING SETBACKS:
FRONT: 5 OR 6
SIDE: 5 OR 6
REAR: 5 OR 3

PARKING SETBACK:
FRONT: 10
SIDE: 5 OR 3
REAR: 5 OR 3

10% OUTDOOR AMENITIES REQUIRED: 9,211 SF
OUTDOOR AMENITIES AREA PROVIDED: 24,121 SF
PARKING REQUIREMENTS:
VEHICLE PARKING: NO MAXIMUM
PARKING OR USE MUST BE SHORT TERM BICYCLE PARKING: NONE
LONG TERM BICYCLE PARKING: NONE

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3	REVISED PER CITY COMMENTS	03-31-23

MCM EXPANSION
1730 ROUNDROCK DRIVE
RALEIGH NC
SITE PLAN

900 WASHINGTON DRIVE
SUITE 200
RALEIGH, NC 27615
PHONE: (919) 854-9070
FAX: (919) 854-9070
info@engrconat.com

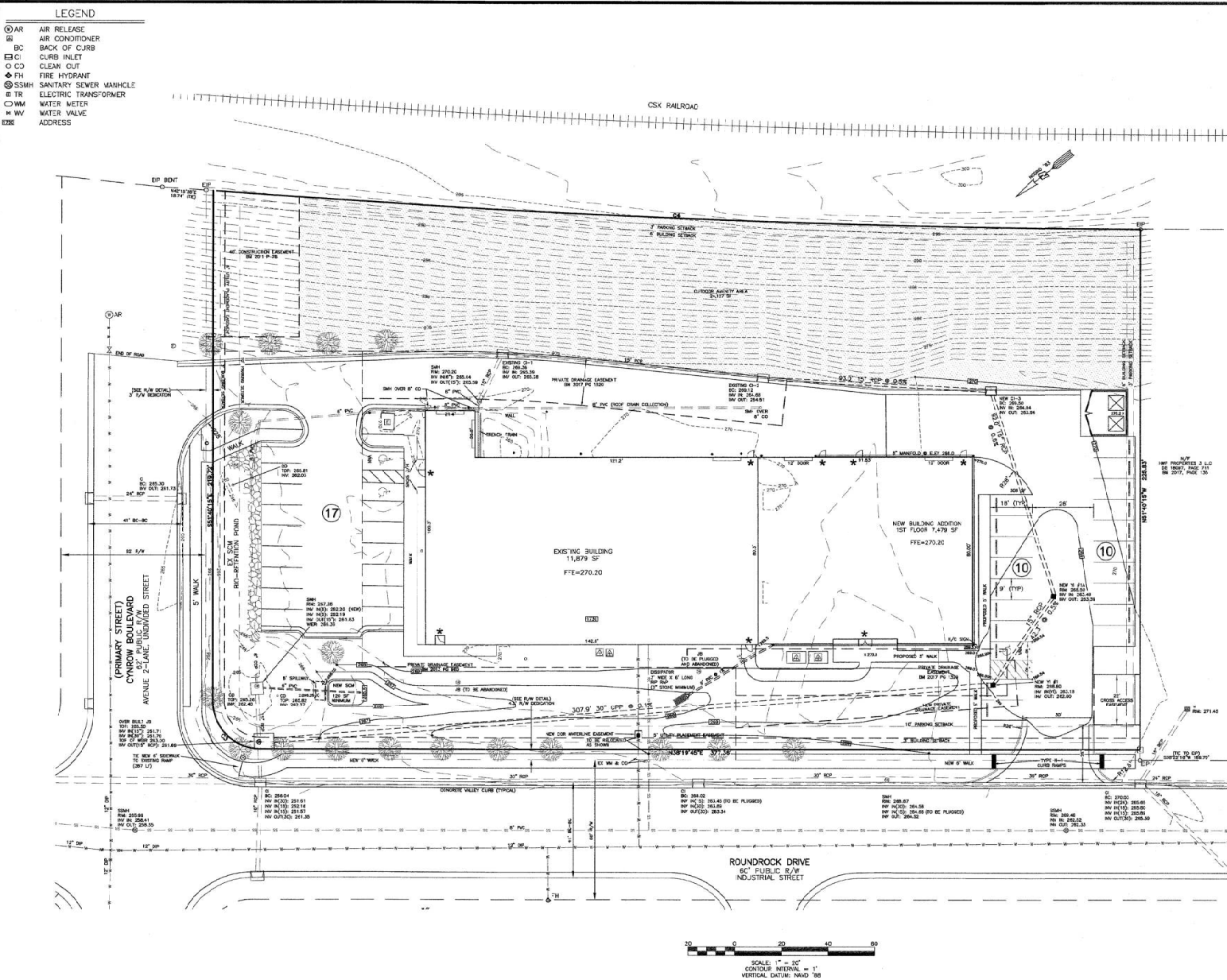
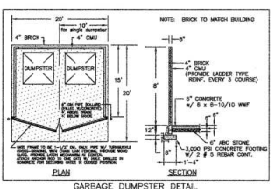
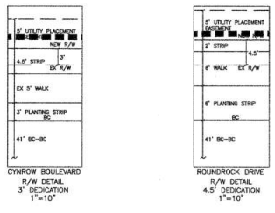
- NOTES:
- NO NEW WATER OR SEWER TAPS PROPOSED
 - LOCATE AND REMOVE SANITARY SEWER CLEANOUT AND WATER SERVICE AS CALLED FOR ON DEMOLITION PLAN (SHEET C-2.1)
 - BUILDING ACCESS
 - NO EXTERIOR LIGHTING PROPOSED

IMPERVIOUS SURFACES

TYPE	AREA
EXISTING BUILDING	11,879.00 SF
NEW BUILDING	7,479.00 SF
DRIVEWAY	2,200.00 SF
WALK	2,200.00 SF
PARKING BASE	42,500.00 SF
SELEBITA	48,750.00 SF
TOTAL	76,028.00 SF

NOTE: IN RECONSTRUCTION PLAN IN 2017 PG 303, REFERENCED TO REVISED BUILDING PERMITS PLAN. CONSTRUCTION SHALL BE SET AT 1" = 10' FOR IMPERVIOUS AND AREA ALLOCATIONS. (NOT AWARD).

NEW IMPERVIOUS ALLOCATION IS BASED ON 3.1% OF 500,000 SQ. FT. SHOWN IN ORIGINAL SUBDIVISION PLAN, IM 2017 PG 74.



William C. Piver, PE
2709 SCOTTSDALE LANE, #7613
RALEIGH, NC 27615
TELEPHONE: (919) 850-4217
bill.piver@yahoo.com

DATE: 06/03/22

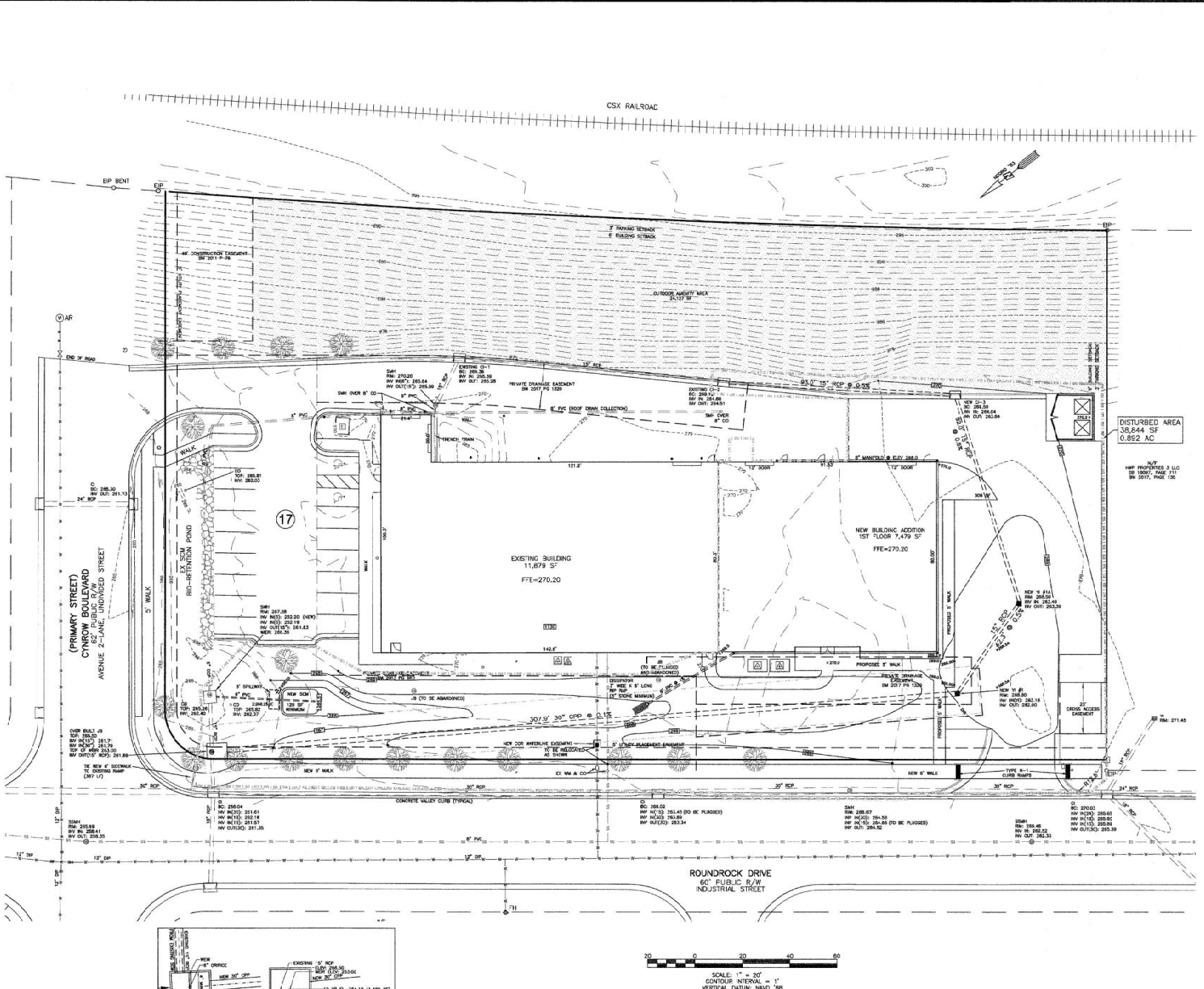
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SHEET:

C-3

FOR PERMITTING
NOT FOR CONSTRUCTION

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LEGEND

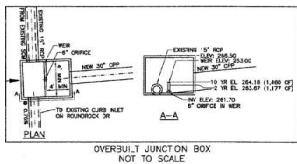
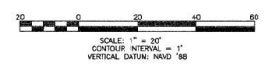
AR	AIR RELEASE
AC	AIR CONDITIONER
BC	BACK OF CURB
CI	CURB INLET
CO	CLEAN CUT
FH	FIRE HYDRANT
SSMH	SANITARY SEWER MANHOLE
TR	ELECTRIC TRANSFORMER
WM	WATER METER
WV	WATER VALVE
1338	ADDRESS

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

- Disturbance and Grading Construction Sequence**
1. Survey existing adjacent pavement to be shown and remove from site.
 2. Remove existing yard inlet and as piping to Roundrock Drive curb line. Plug reserved line's invert on the Roundrock Drive curb line.
 3. Roughgrade site as shown.
 4. While ensuring that the existing stormwater collection/detention system remains fully operational, begin installing the proposed new collection/detention system.
 5. Install new stormwater structures (C1 #1, F1 #1, H1 #1 and B1 #1) with connecting RCP piping and the proposed new 36" CIP collection system, except where there is conflict with existing system, issue new system remains inoperable.
 6. Connect new system at existing curb inlet and plug new invert to insure existing system remains fully operational.
 7. Remove existing 18" RCP in conflict with new detention system and complete detention system.
 8. Plug old collection/detention system and activate new collection/detention system.
 9. Remove/abandon old collection/detention system.
 10. Plug removed 18" RCP inverts on the Roundrock Drive curb line.

AVERAGE GRADE TABLE

LOWEST	HIGHEST	AVERAGE
269.5	269.5	269.5



NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	07-09-23
2	REVISED PER CITY COMMENTS	02-24-23
3	REVISED PER CITY COMMENTS	03-31-23

MCN EXPANSION
1730 ROUNDROCK DRIVE
RALEIGH NC
GRADING & STORMWATER

900 WYMANSWAY DRIVE
RALEIGH, NC 27603
TELEPHONE: (919) 854-9870
info@mcngreat.com

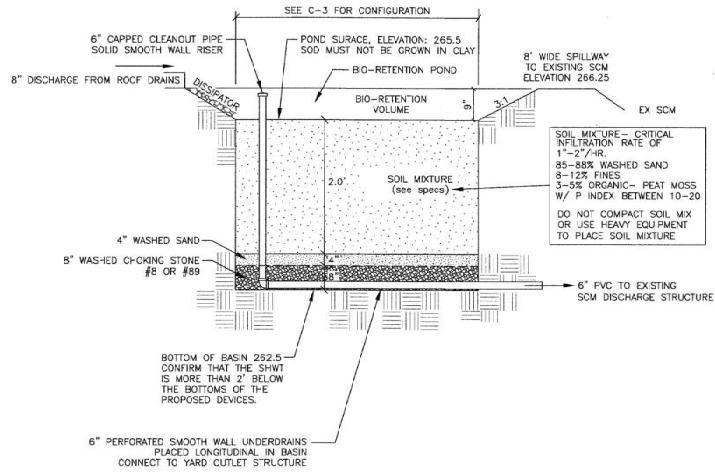
William C. Piver, PE
SCOTTI SDALE LANE 27613
RALEIGH, NC
TELEPHONE: (919) 880-4217
bill.piver@yahoo.com

DATE: 06/03/22
DRAWN: TC
SHEET:

C-4
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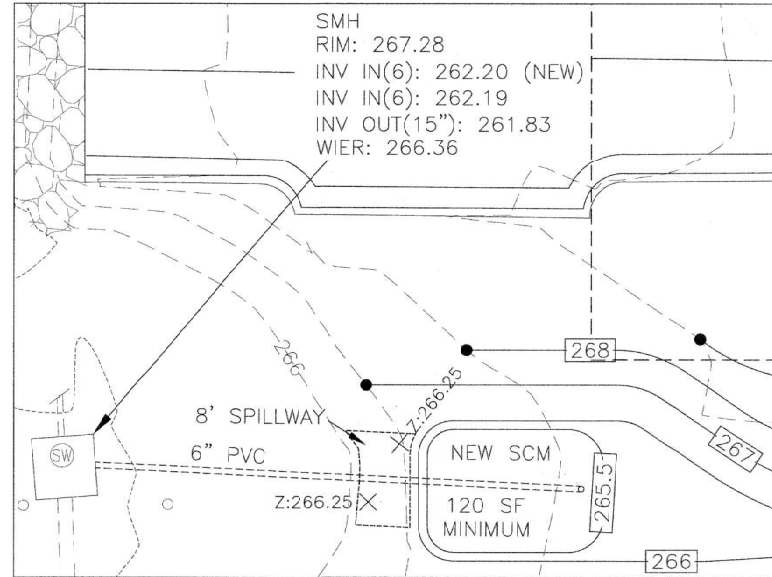
NEW SCM 90 CF / 0.75 FT DEEP = 120 SF MINIMUM SURFACE AREA
 PEAK FLOW Q2 = 0.00 CFS ELEVATION: 265.53 VOLUME: 789 CF
 PEAK FLOW Q10 = 0.00 CFS ELEVATION: 265.52 VOLUME: 865 CF
 DISSIPATOR: 3' WIDE X 6' LONG R/P RAP (3" STONE MINIMUM)



TYPICAL SECTION THRU GRASSED BIO-RETENTION BASIN
 WITH INTERNAL WATER STORAGE
 SCHEMATIC NTS

SCM CONSTRUCTION SEQUENCE

1. EXCAVATE FOR SCM AND INSTALL UNDERDRAIN. CONNECT UNDERDRAIN TO EXISTING SCV DISCHARGE STRUCTURE.
2. INSTALL BIO-RETENTION BASIN.
3. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PREVENT CONTAMINATION OF BASIN.
4. CLEAN ANY CONTAMINATION FROM BASIN AND SOD SURFACE



NEW SCM
 SCALE: 1"=5'

NO.	REVISION	DATE

MCN EXPANSION
 1730 ROUNDROCK DRIVE
 RALEIGH NC
 BIO-RETENTION DETAILS

900 WYMANSHIRE DRIVE
 SUITE 200
 RALEIGH, NC 27615
 TELEPHONE: (919) 880-4217
 FAX: (919) 880-4870
 info@mcngreent.com

William C. Piver, PE
 SCOTTSDALE LANE 7613
 RALEIGH, NC 27615
 TELEPHONE: (919) 880-4217
 bill_piver@yahoo.com

DATE: 03-31-23

DRAWN: TC

SHEET:

C-5

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LEGEND

- AR AIR RELEASE
- AC AIR CONDITIONER
- BC BACK OF CURB
- CI CURB INLET
- CO CLEAN OUT
- PH FIRE HYDRANT
- SSMH SANITARY SEWER MAN-OLE
- TR ELECTRIC TRANSFORMER
- WM WATER METER
- WV WATER VALVE
- AD ADDRESS

SITE DATA

OWNER:
MCH HOLDINGS LLC
1730 ROUND ROCK DR
RALEIGH, NC 27615-5743
MICHAEL PIVER
PHONE: 919-222-5813
MICHAELPIVER@GMAIL.COM

6781 ADDRESS:
1730 ROUNDROCK DRIVE
RALEIGH, NC 27611-4741

FIN# 1727143147
PLAT REF: 86-2017 PG 1302
ZONING: X3

EXISTING LAND USE: LIGHT INDUSTRIAL
PROPOSED/INTD USE: LIGHT INDUSTRIAL

AREA:
EXISTING LOT 234 63,934 SF 2.156 AC
PROPOSED 62,771 SF 2.136 AC
RW REDUCTION 1,163 SF 0.032 AC
TOTAL 62,608 SF 2.104 AC

GRASS AREA: 63,934 SF 2.156 AC
NET AREA: 62,771 SF 2.136 AC

BUILDING SETBACKS:
FRONT: 3'
SIDE: 0 OR 5'
REAR: 3 OR 5'

PARKING SETBACK:
FRONT: 10'
SIDE: 3 OR 5'
REAR: 3 OR 3'

10% OUTDOOR AMENITIES REQUIRED: 9,279 SF
OUTDOOR AMENITIES AREA PROPOSED: 24,107 SF
PARKING REQUIREMENTS TABLE

VEHICLE PARKING: NO MAXIMUM
SHORT TERM BICYCLE PARKING NONE
LONG TERM BICYCLE PARKING NONE

HP PROPERTIES 3 LLC
8510 WOODHOLLOW DRIVE
RALEIGH, NC 27617, PAGE 134

NOTICE:

- 1) NO NEW WATER OR SEWER TAPS PROPOSED.
- 2) LOCATE AND REMOVE SANITARY SEWER COLLAR(S) AND WATER SERVICE AS CALLED FOR ON DEMOLITION PLAN. SHEET C-2.1
- 3) * BUILDING ACCESS
- 4) NO EXTERIOR LIGHTING PROPOSED.

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	07-24-23

**MCN EXPANSION
1730 ROUNDROCK DRIVE
RALEIGH NC
UTILITY PLAN**

WILLIAM C. PIVER, PE
900 PARKWAY DRIVE
SUITE 200
RALEIGH, NC 27615
PHONE: (919) 554-4217
FAX: (919) 554-4870
info@wcpiver.com



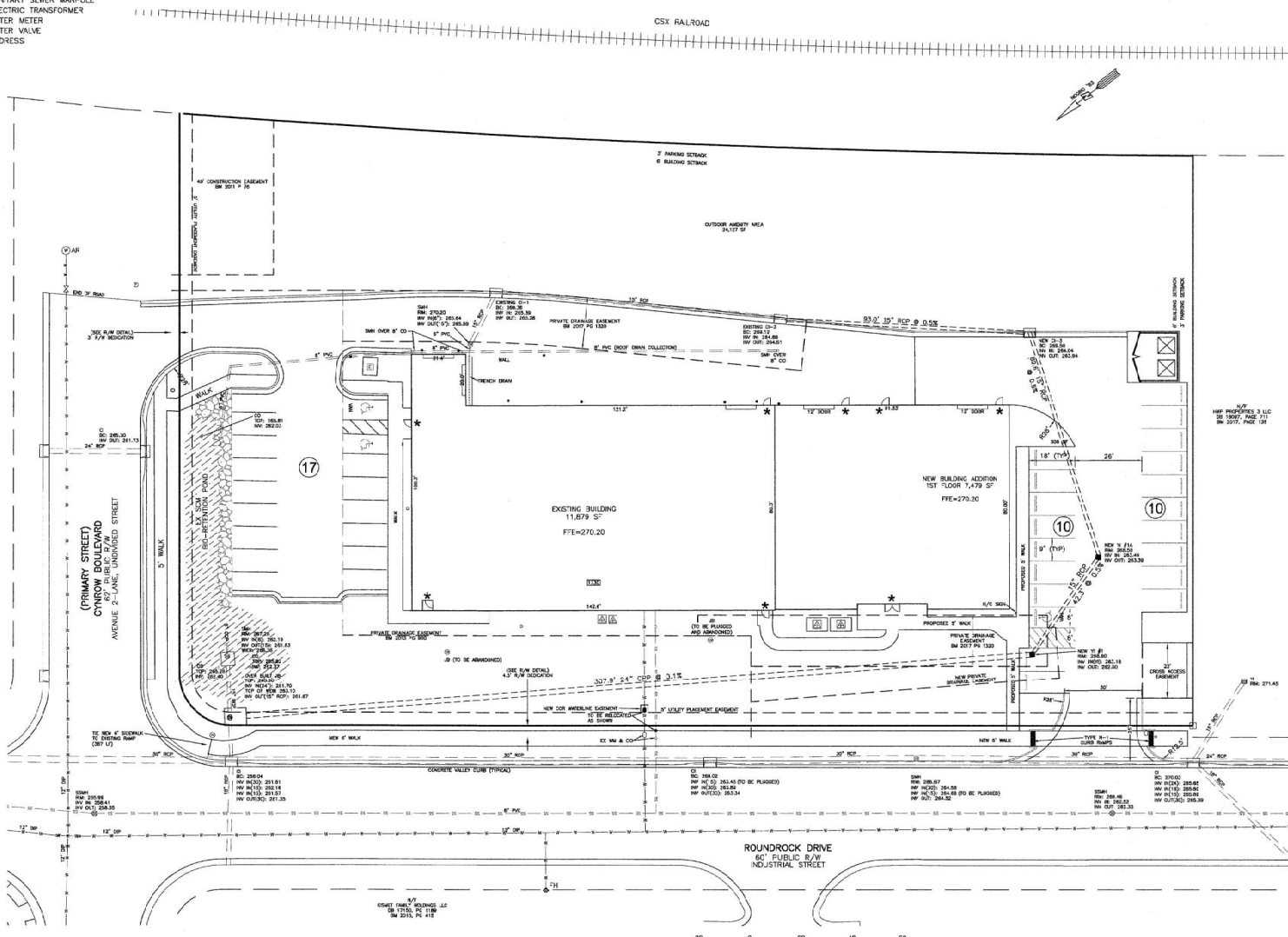
William C. Piver, PE
900 PARKWAY DRIVE
SUITE 200
RALEIGH, NC 27615
PHONE: (919) 554-4217
FAX: (919) 554-4870
bill.piver@yahoo.com

DATE: 01-09-23

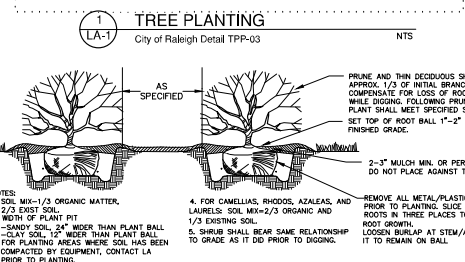
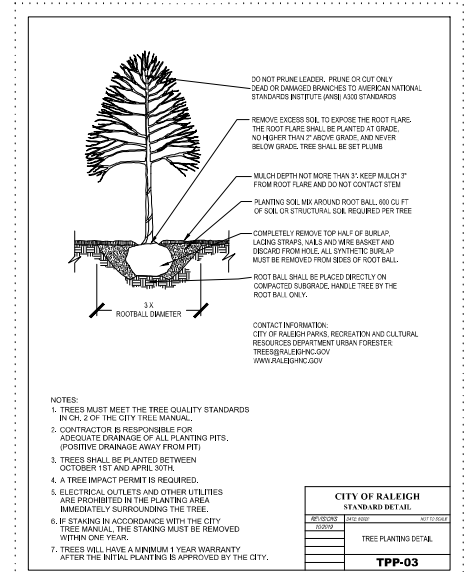
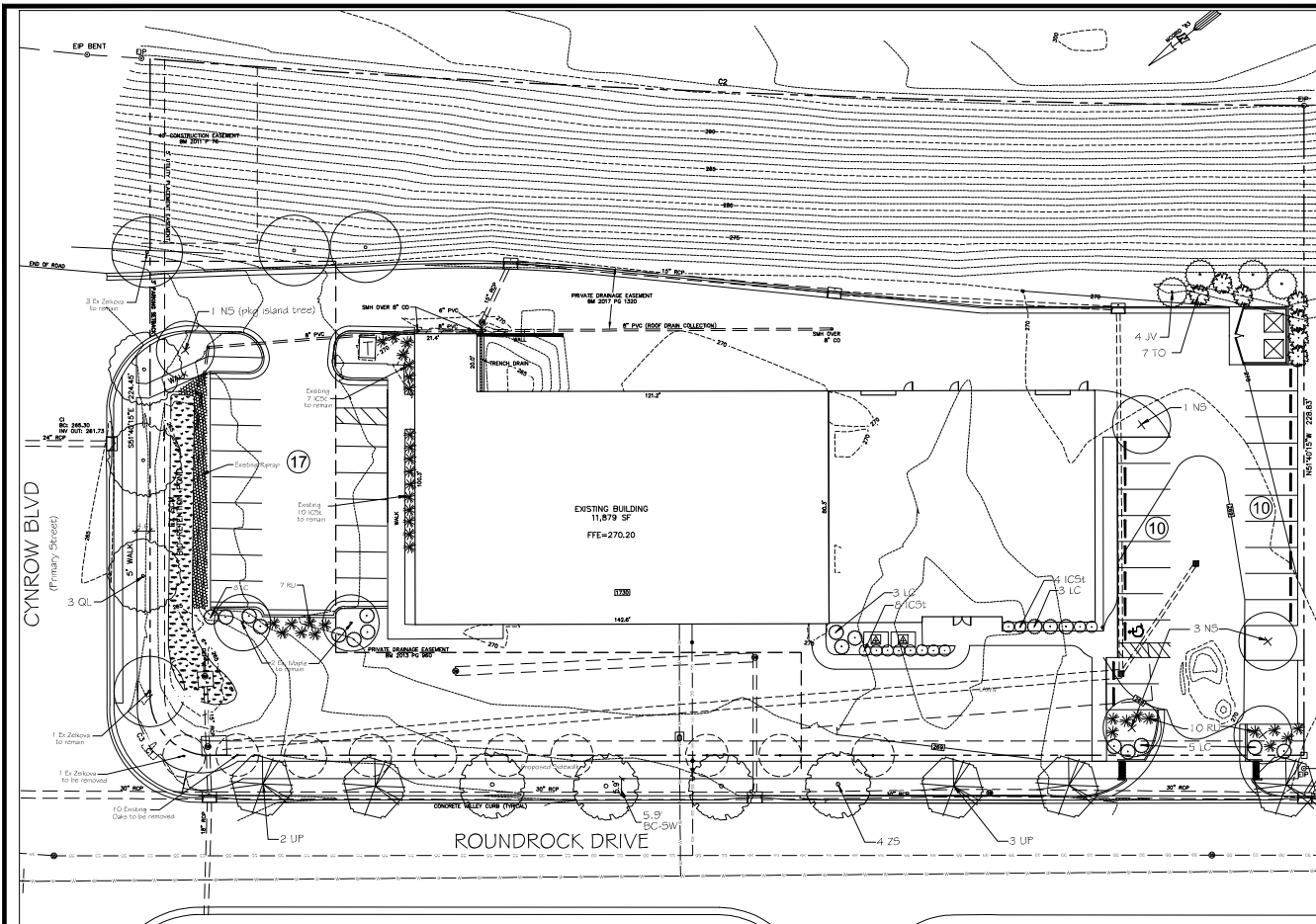
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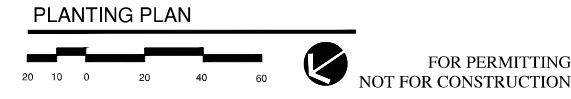


PLANT SCHEDULE

QTY.	KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	SPACING
16	RU	Rhododendron cinnabarinum 'Snow White' / Indian Hawthorn	12" HT.	CONT.	4' O.C.
19	LC	Loropetalum chinense var. 'Dawnal' / Loropetalum	18" HT.	CONT.	3' O.C.
3	QL	Quercus lyrata 'Hogsdorn' / Overcup Oak	3" CAL / 10" HT.	CONT. / 3.4 B.	40' O.C.
5	UP	Ulmus parvifolia / Chinese Elm	3" CAL / 10" HT.	5 K.B.	40' O.C.
12	IC5t	Ilex cornuta 'Soft Touch' / Holly	12" HT.	CONT.	4' O.C.
7	TO	Thuja occidentalis 'Emerald' / Eastern Arborvitae	4" HT.	CONT. / 0.4 B.	8' O.C.
4	JV	Juniperus horizontalis 'Eastern Red Cedar'	8" HT.	CONT.	10' O.C. / 26' SPACING
5	NS	Nerium oleander / Basil Gum	3" CAL / 10" HT.	B & B	As noted
4	ZS	Zelkova serotina 'Village Green' / Japanese Zelkova	3" CAL / 10" HT.	B & B	40' O.C.

PLANTING NOTES:
 1. All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
 2. Plant locations to be approved in field prior to installation.
 3. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
 4. Establish plant bed configurations. Landscape Architect to approve bed layout in field.
 5. Install plants and mulch beds with 4" of pine straw.
 6. Areas disturbed by grading to be seeded and strawed.
 7. Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications.
 8. Areas damaged from plant relocation or other activities of Landscape Contractor to be re-seeded and established at no additional cost to the owner.
 9. All plant material shown is minimum required by the City Code.

City of Raleigh Planting Requirements:
 1) VEHICLE SURFACE AREA:
 Required : Canopy tree at terminus of each parking row (except at existing transformer.) 1 tree / 2,000 sf of vehicle surface area
 Provided: 12,700 sf / 2000 = 6 trees
 Provided: C3 Streetyard to screen parking from ROW
 100 LF total / 100 = 1 x 30 shrubs = 30 shrubs total required
 30 shrubs provided (RU and LC)
 2) STREET TREES: ROUNDROCK DRIVE
 Required : 1/ medium maturing tree / 40 lf; 5.9' between existing BC and SW; existing storm drainage line
 Provided: 9 trees (Zelkova and Elm)
 (All existing Oaks to be removed as noted due to installation of sidewalk)
 STREET TREES: CYNROW BLVD
 Required : 1/ large maturing tree / 40 lf; 4.6' between sidewalk and ROW line
 Provided: 2 Existing Zelkova to remain; 3 proposed Oak trees as noted



NO.	REVISION	DATE
1	Per City Comments	11.11.23

MCN EXPANSION
1730 ROUNDROCK DRIVE
RALEIGH NC
LANDSCAPE PLAN

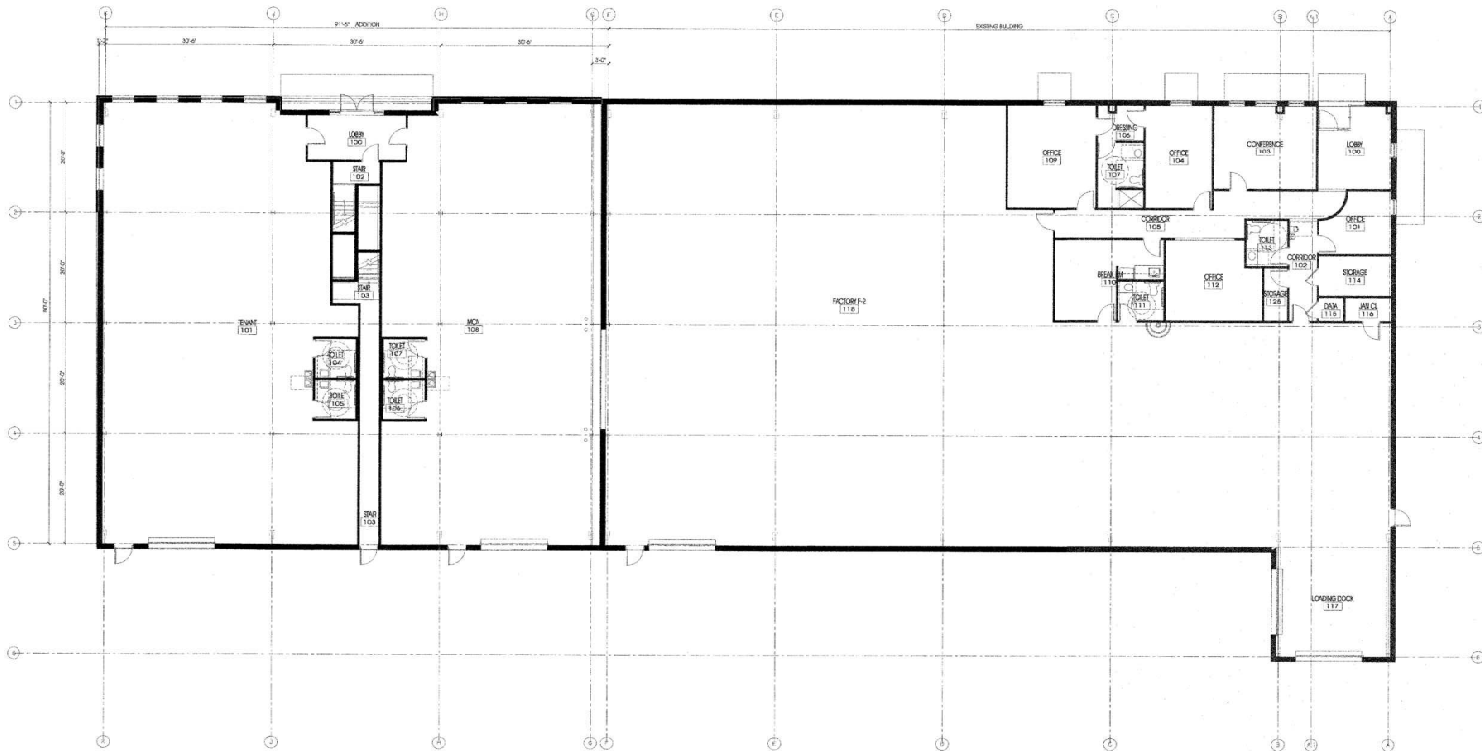
900 PAVENHURST DRIVE
RALEIGH, NC 27615
TEL: 919.979.9000
FAX: 919.979.9000
info@coalydesign.com

LANDSCAPE ARCHITECTURE
3002 DAVENPORT STREET, SUITE G
RALEIGH, NC 27615
919.979.9000

Coaly DESIGN

DATE: 7.20.22
DRAWN: KJS
SHEET:
LA-1
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ROOM SCHEDULE				
Number	ROOM NAME	LENGTH	WIDTH	AREA
100	LOBBY	17'-0"	8'-2"	140.81 SF
101	STAIR	4'-6"	8'-0"	33.84 SF
102	STAIR	21'-3"	6'-6"	102.99 SF
103	STAIR	9'-6"	10'-0"	207.84 SF
104	TOILET	7'-5"	7'-0"	52.34 SF
105	TOILET	7'-5"	7'-0"	52.34 SF
106	TOILET	7'-5"	7'-0"	52.34 SF
107	TOILET	7'-6"	7'-8"	52.34 SF
108	MCN	39'-0"	30'-0"	2700.00 SF



NOT FOR CONSTRUCTION

MCN Holding, LLC
Innovative Fabrication

1730 Roundrock Drive
Raleigh, NC 27615

OWNER: MCN Holding, LLC
1730 Roundrock Drive
Raleigh, NC
PROJECT NUMBER: 22C003
DRAWN BY: DTA
ISSUED / REVIEW:

ISSUED / CONSTRUCTION:

REVISIONS

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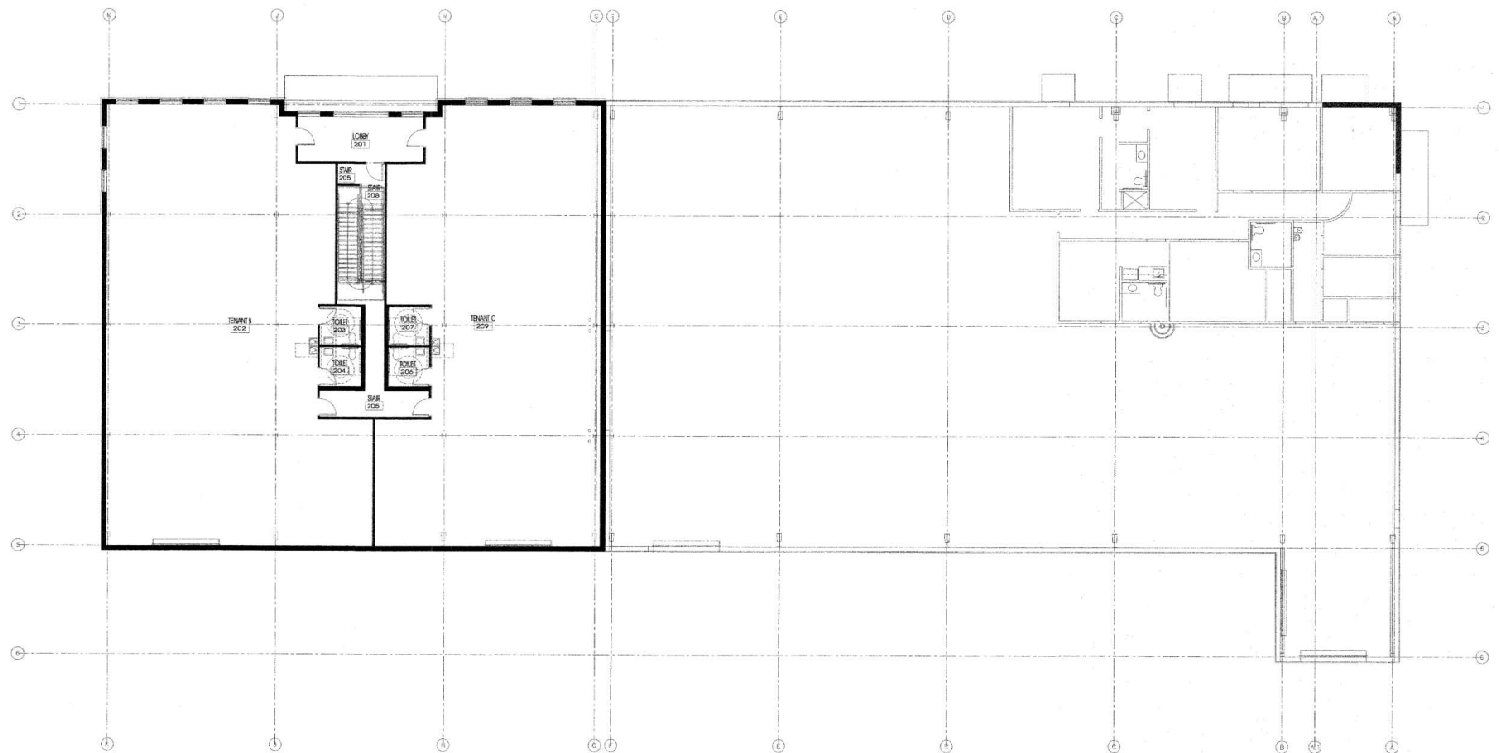
FLOOR PLAN

A1

01 FLOOR PLAN
1/2" = 1'-0"

- CF - SHEETS

ROOM SCHEDULE				
Number	ROOM NAME	LENGTH	WIDTH	AREA
201	LOBBY	25'-11"	8'-0"	211.38 SF
202	TRAMP B	49'-0"	60'-0"	3327.41 SF
203	TOILET	7'-0"	7'-0"	50.34 SF
204	TOILET	7'-0"	7'-0"	50.34 SF
205	STAIR	16'-11"	41'-11"	253.18 SF
206	TOILET	7'-0"	7'-0"	50.34 SF
207	TOILET	7'-0"	7'-0"	50.34 SF
208	STAIR	6'-0"	21'-1"	127.59 SF
209	TRAMP C	40'-10"	62'-2"	2903.09 SF
				6989.28 SF



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MCN Holding, LLC
Innovative Fabrication

1730 Roundrock Drive
Raleigh, NC 27615

OWNER: MCN Holding, LLC
1730 Roundrock Drive
Raleigh, NC
PROJECT NUMBER: 220003
DRAWN BY: DIA
ISSUED / REVIEW:

ISSUED / CONSTRUCTION:

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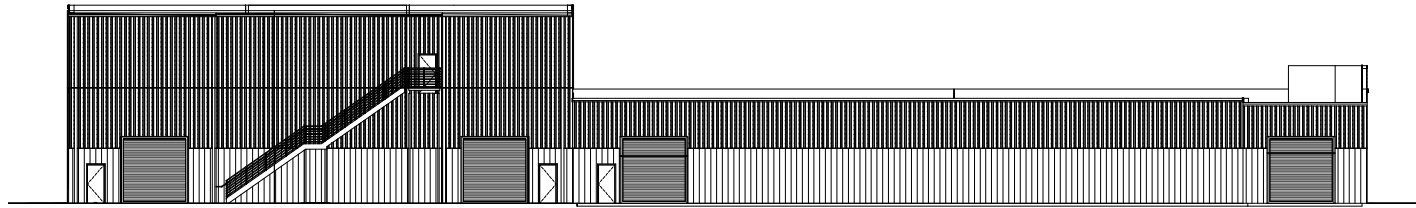
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FLOOR PLAN

A1.1

01 FLOOR PLAN
3/20/18

OF SHEETS

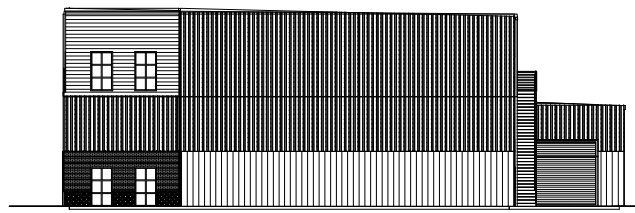


03 ELEVATION
 1/8" = 1'-0"

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 CONSTRUCTION

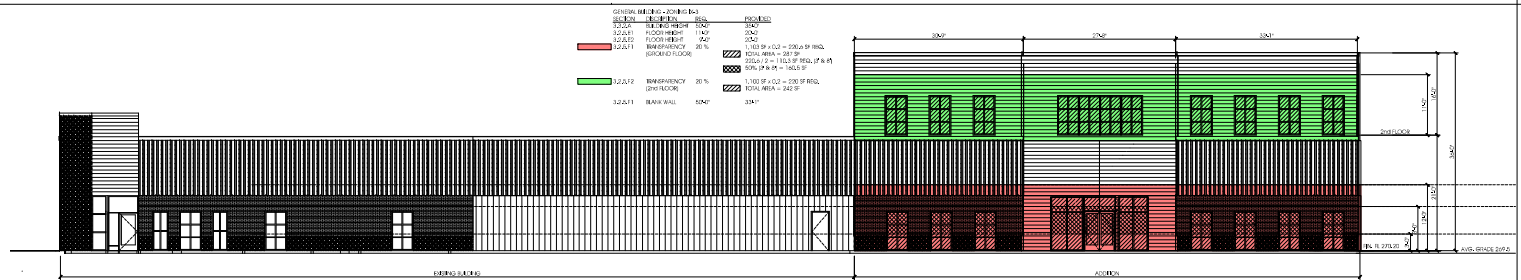
MCN Holding, LLC
 Innovative Fabrication

1730 Roundrock Drive
 Raleigh, NC 27615



02 ELEVATION
 1/8" = 1'-0"

OWNER: MCN Holding, LLC
 1730 Roundrock Drive
 Raleigh, NC
 PROJECT NUMBER: 220008
 DRAWN BY: DTA
 ISSUED / REVIEW:
 ISSUED / CONSTRUCTION:
 REVISIONS



01 ELEVATION
 1/8" = 1'-0"

ELEVATION

A2