

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Current Property Owner(s):		
Company:		Title:
Address:		
Phone #:		Email:
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner:	Lessee or contract purchaser	Owner's authorized agent
		Easement holder
Company:		Address:

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? Yes No
	A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

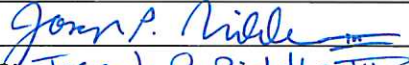
APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 10-27-2023
Printed Name: Joseph P. Riddle III	

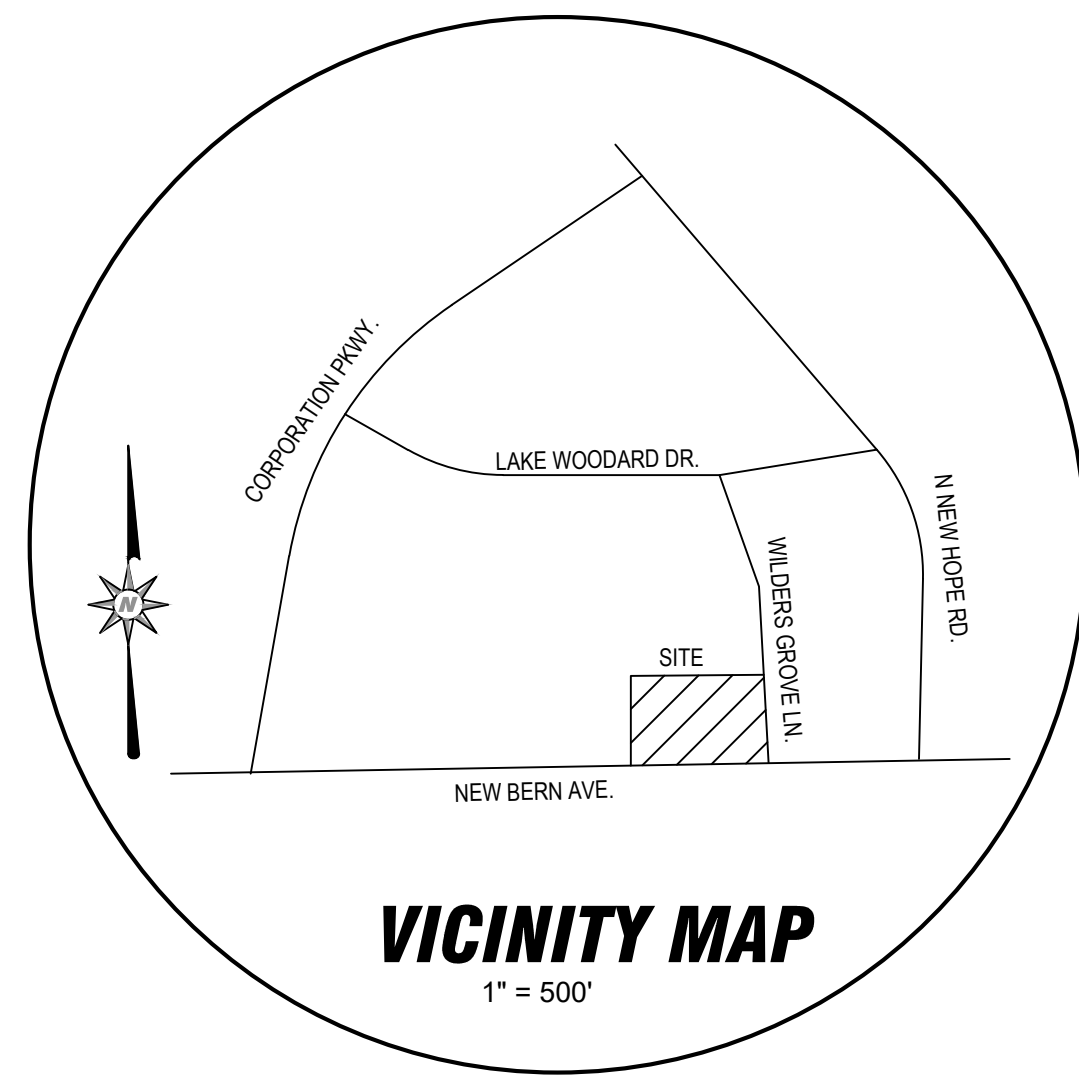
WILDERS GROVE RETAIL

CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-XXXX-XXXX

1st SUBMITTAL TO CITY OF RALEIGH: NOVEMBER 3, 2023



SITE INFORMATION:

LOCATION: 4209 (LOT 2) & 4201 (LOT 3)
NEW BERN AVENUE,
RALEIGH, NC

COUNTY: WAKE COUNTY

PARENT PIN: 1724960124 (LOT 2)
1724868153 (LOT 3)

DB/PG: 018412 / 02736

ZONING: CX-3-PL-CU

ACREAGE (ORIGINAL): 1.13 AC (LOT 2)
1.00 AC (LOT 3)

ACREAGE (PROPOSED): 0.61 AC (LOT 1) - 1401 WILDERS GROVE LANE
1.52 AC (LOT 2) - 1403 WILDERS GROVE LANE
2.13 AC (TOTAL)

BUILDING DATA: (TOTAL OF 2 BUILDINGS)

LOT 1: 1 BUILDING LOT 2: 1 BUILDING

BUILDING SIZE: 1430 SF 1920 SF (RESTAURANT)
(VEHICLE REPAIR (MINOR) 8900 SF (GENERAL RETAIL)

TOTAL BUILDING SIZE: 12,250 SF

BUILDING HEIGHT: 26.25' (1 STORY) (MAX ALLOWED IS 90')

PARKING MAXIMUMS:

LOT 1: VEHICLE REPAIR (MINOR) - NO MAX
SHOPPING CENTER: 1 SPACE / 200 SF
1430 SF = 7 PARKING SPACES

LOT 2: RESTAURANT & RETAIL - MAX
RESTAURANT SPECIFICATION: 1 SPACE / 100 SF GFA
1920 SF = 19 PARKING SPACES
1 SPACE / 200 SF
RETAIL SPECIFICATION: 8900 SF = 45 PARKING SPACES

PARKING MAX: = 71 PARKING SPACES

SHORT-TERM BICYCLE:

RETAIL: 4 MIN.
OFFICE: 4 MIN.
VEHICLE SERVICE: 4 MIN.
RESTAURANT: 4 MIN.

PROVIDED PARKING: 57 STANDARD
4 HC SPACES

TOTAL OVERALL PROVIDED SPACES: = 61 PARKS W/ 20 BICYCLE (10 RACKS)

SETBACKS:

BUILDING:
PRIMARY STREET: 5' MIN.
SIDE STREET: 5' MIN.
SIDE LOT LINE: 0' OR 6' MIN.
REAR LOT LINE: 0' OR 6' MIN.

PARKING:
PRIMARY STREET: 10' MIN.
SIDE STREET: 10' MIN.
SIDE LOT LINE: 0' OR 3' MIN.
REAR LOT LINE: 0' OR 3' MIN.

IMPERVIOUS AREAS:

EXISTING:
PAVEMENT: 51,154 SQ FT (1.17 AC)
BUILDING: 9,755 SQ FT (0.22 AC)
TOTAL EXISTING IMPERVIOUS: 60,909 SQ FT (1.39 AC - 65.3%)

PROPOSED:
PAVEMENT: 47,515 SQ FT (1.09 AC)
SIDEWALK: 5,342 SQ FT (0.12 AC)
BUILDING: 12,250 SQ FT (0.28 AC)
TOTAL IMPERVIOUS: 65,107 SQ FT (1.49 AC - 70%)

DRAWING INDEX

- C-00 COVER SHEET
- C-01 COVER SHEET NOTES
- C-02 EXISTING CONDITIONS
- C-03 DEMOLITION PLAN
- C-04 SITE PLAN
- C-05 UTILITY PLAN
- C-06 GRADING & DRAINAGE PLAN
- C-07 LIGHTING PLAN
- D-01 SITE DETAILS
- SW-01 PRE-DEVELOPMENT DA MAP
- SW-02 POST-DEVELOPMENT DA MAP
- L-01 LANDSCAPE PLAN
- L-02 LANDSCAPE DETAILS
- A-3.01 BUILDING ELEVATIONS
- A-3.02 BUILDING ELEVATIONS
- A-3.03 BUILDING ELEVATIONS

GOVERNING AGENCIES:

PLANNING/ZONING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA SUITE 304
RALEIGH, NC 27601
919-996-2437

STORMWATER ENGINEERING

CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

SEDIMENTATION & EROSION CONTROL

CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:

WATER & SEWER
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3484 (o)
CONTACT: KEITH TEW
EMAIL: keith.tew@raleighnc.gov

NATURAL GAS

PSNC ENERGY - SCANA
3516 SPRING FOREST ROAD
RALEIGH, NC 27616
919-501-7865 (o)
919-501-7865 (f)
CONTACT: CRAIG SCHOLL
EMAIL: cscholl@scana.com

ELECTRIC

PROGRESS ENERGY BUSINESS
9920 FAYETTEVILLE ROAD
RALEIGH, NC 27603
919-557-2611 (o)

PHONE

AT&T NC
5715 GLENWOOD AVE.
RALEIGH, NC 27612
919-785-7856 (o)
CONTACT: WANDA HARRIS
EMAIL: wh1741@att.com (e)

CABLE

TIME WARNER CABLE
101 INNOVATION AVE.
MORRISVILLE, NC 27560
919-882-4748 (o)
CONTACT: JEFF HUNTER
EMAIL: jeffrey.hunter@twcable.com

ZONING CONDITIONS (Z-13-18):

- THE FOLLOWING PRINCIPAL USES SHALL BE PROHIBITED ON THE PROPERTY: ADULT ESTABLISHMENT. ADDITIONALLY, THE FOLLOWING LAND USES SHALL BE PROHIBITED WITHIN 500 FEET OF THE VILLAGE AT BEACON HILL SUBDIVISION: TELECOMMUNICATION TOWER - ALL TYPES; OUTDOOR RECREATION - ALL TYPES; BAR, NIGHTCLUB, TAVERN, LOUNGE; DETENTION CENTER, JAIL, PRISON. **RESPONSE: PROPOSED USE IS IN COMPLIANCE WITH THIS RESTRICTION.**
- THOSE TREES LOCATED ON THE PROPERTY WITHIN 25 FEET OF THE NEW BERN AVENUE RIGHT-OF-WAY SHALL BE MAINTAINED. REMOVAL OF TREES WITHIN THIS AREA SHALL BE PERMITTED WHEN A TREE IS UNHEALTHY, DISEASED, DEAD OR HAZARDOUS OR WHERE REMOVAL RESULTS FROM THE PROVISION OF A PEDESTRIAN CONNECTION TO NEW BERN AVENUE, A TRANSIT EASEMENT OR IMPROVEMENT, OR A PUBLIC OR PRIVATE EASEMENT REQUIRED BY A GOVERNMENTAL ENTITY. **RESPONSE: APPLICABLE TREES HERE ARE BEING PRESERVED. SEE PLANS.**
- THOSE TREES LOCATED ON THE PROPERTY WITHIN 35 FEET OF THE NEW HOPE ROAD RIGHT-OF-WAY SHALL BE MAINTAINED. REMOVAL OF TREES WITHIN THIS AREA SHALL BE PERMITTED WHEN A TREE IS UNHEALTHY, DISEASED, DEAD OR HAZARDOUS OR WHERE REMOVAL RESULTS FROM THE PROVISION OF A PEDESTRIAN CONNECTION TO NEW HOPE ROAD, A TRANSIT EASEMENT OR IMPROVEMENT, OR A PUBLIC OR PRIVATE EASEMENT REQUIRED BY A GOVERNMENTAL ENTITY. **RESPONSE: NEW HOPE ROAD IS OUTSIDE OF THE SCOPE OF THIS PROJECT AREA, HENCE THIS REQUIREMENT IS NOT APPLICABLE TO THE PROJECT.**
- IF REQUESTED BY THE TRANSIT DIVISION AT THE TIME OF SUBDIVISION OR SITE PLAN APPROVAL, THE OWNER SHALL PROVIDE THE CITY OF RALEIGH A TRANSIT EASEMENT MEASURING NO GREATER THAN 15 FEET BY 20 FEET (OR SUCH LESSER DIMENSION AS APPROVED BY THE CITY) PRIOR TO BUILDING PERMIT ISSUANCE. IF REQUESTED BY THE TRANSIT DIVISION, THE OWNER SHALL INSTALL PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY THOSE TRANSIT EASEMENT IMPROVEMENTS (SUCH AS BUS SHELTER PAD, BUS SHELTER, BENCH, LEAN BAR AND TRASH RECEPTACLE) REQUESTED BY THE TRANSIT DIVISION. THE LOCATION OF THE EASEMENT SHALL BE APPROVED BY THE TRANSIT DIVISION AND THE WRITTEN DEED OF EASEMENT SHALL BE APPROVED BY THE CITY ATTORNEY. **RESPONSE: SEE PLANS FOR COORDINATED LOCATION AND SIZE OF TRANSIT EASEMENT.**

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY A PRIVATE GARBAGE COLLECTION SERVICE.

Civil Engineer:

The Curry Engineering Group, PLLC
NC License # P-0799
PO Box 2018
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
Contact: Don Curry, PE
don@curryeng.com

Surveyor:

Larry King & Associates, RLS, PA
1333 Morganton Road #201
Fayetteville, NC 28305
Phone: 910-483-4300
Contact: Jeffrey Nobles, PE
Email: jnobles@lkanda.com

Owner/Developer:

Riddle Commercial Properties
4200 Morganton Rd, Suite 150
Fayetteville, NC 28314
Phone: 910-864-3135
Contact: Joe Riddle
Email: riddlecommercial@aol.com

Architect:

Christopher Patrick
4517 Knightsbridge Way
Raleigh, NC 27604
919.665.1490 (o)
Contact: Christopher Patrick
cpatrick@nc.rr.com

SITE NOTES:

- SITE WILL BE EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER UDO 8.3.2.2 b (TC-6-19)
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- PER TC-SA-18 AND SEC. 1.5.4.C, THE PRIMARY STREET DESIGNATION SHALL BE NEW BERN AVE.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

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Office Use Only: Case # _____ Planner (print): _____

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan
Building and Development Type (Check all that apply)	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option
Site Transaction History	Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Design Alternate #:	

GENERAL INFORMATION

Development name: Wilders Grove Retail
Inside City limits? Yes No
Property address(es): 4201 & 4209 New Bern Avenue, Raleigh, NC
Site P.I.N.(s): 1724-96-8153, 1724-96-0124
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

New retail development with 2 separate buildings on 2 separate parcels with cross-access.

Current Property Owner(s): WG Lane, LLC - Joe Riddle

Company: WG Lane, LLC Title: Owner

Address: PO Box 53729, Fayetteville, NC 28305

Phone #: 910-864-3135 Email: riddlecommercial@aol.com

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: WG Lane, LLC Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526

Page 1 of 3

REVISION 1.23.23

raleighnc.gov

Phone #: 919-552-0849 Email: don@curryeng.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact: Joe Riddle
Company: WG Lane, LLC Title: Owner
Address: PO Box 53729, Fayetteville, NC 28305
Phone #: 910-864-3135 Email: riddlecommercial@aol.com
Applicant Name: Don Curry
Company: Curry Engineering Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526
Phone #: 910-864-3135 Email: don@curryeng.com

DEVELOPMENT TYPE + SITE DATE TABLE

SITE DATA		BUILDING DATA	
Zoning district(s) (please provide the acreage of each): CX-2-PL-CU 0 sf	Existing gross floor area (not to be demolished): 0 sf	Existing gross floor area to be demolished: 0 sf	
Gross site acreage: 2.13 ac			
# of parking spaces proposed: 61		New gross floor area: 12,250 sf	
Max # parking permitted (7.1.2.C): 62		Total sf gross (to remain and new): 12,250 sf	
Overlay District (if applicable): n/a		Proposed # of buildings: 2	
Existing use (UDO 6.1.4): Vacant		Proposed # of stories for each: 1	
Proposed use (UDO 6.1.4): Restaurant/Retail		Proposed # of basement levels (UDO 1.5.7.A.6) 0	

STORMWATER INFORMATION

Imperious Area on Parcel(s):
Existing (sf) 60,909 Proposed total (sf) 85,107
Imperious Area for Compliance (includes ROW):
Existing (sf) Proposed total (sf)

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: _____ Total # of hotel bedrooms: _____
of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more: _____
of lots: _____ Is your project a cottage court? Yes No
A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

Page 2 of 3

REVISION 1.23.23

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Signature: Don Curry Date: 10-27-2023

Printed Name: Joseph P. Riddle III

BEFORE YOU DIG
CALL TOLL FREE
1 800 632 4949

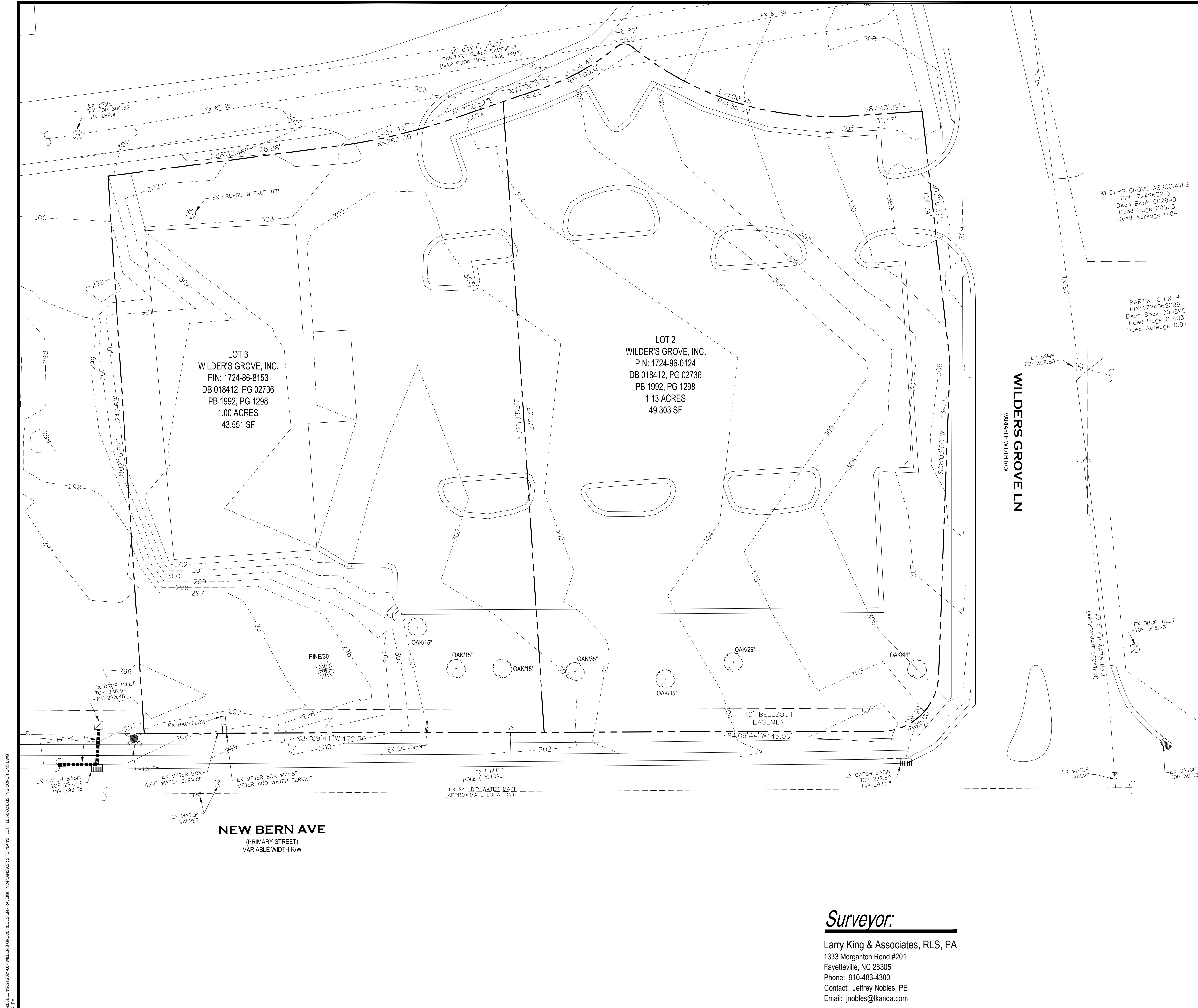


NOT FOR CONSTRUCTION

WILDER'S GROVE RETAIL - RALEIGH, NC
COVER SHEET

205 S. Fuquay Avenue
Fuquay-Varina, NC 27526
T (919) 552-0849
F (919) 552-2943

Curry
ENGINEERING
C-00

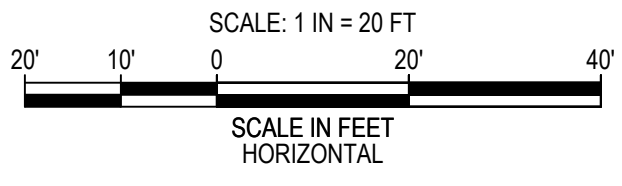
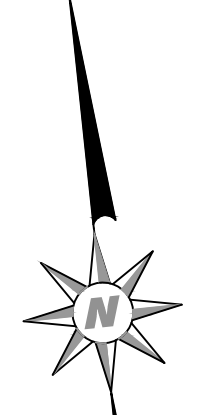


- GENERAL NOTES:**
1. THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
 2. THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS PLAN HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PARENT PROPERTY BOUNDARY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN AUGUST 2019 BY NEWCOMB LAND SURVEYORS.
 3. NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
 4. AREAS COMPUTED BY THE COORDINATE METHOD.
 5. THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
 6. ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
 7. THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE PER FEMA MAP. FEMA COMMUNITY MAP # 37201724001 DATED MAY 02, 2006.
 8. VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83
 9. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
 10. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- LEGEND**
- BO BOLLARD
 - CD CABLE PED.
 - CO CLEAN OUT
 - CI CURB INLET
 - EM ELECTRIC MANHOLE
 - ET ELECTRIC TRANSFORMER
 - EH UTILITY HANDHOLE
 - EP EXISTING IRON PIPE
 - ES EXISTING IRON STAKE
 - EPK EXISTING PARKER KALON NAIL
 - PS IRON PIPE SET
 - PKS PARKER KALON NAIL SET
 - FH FIRE HYDRANT
 - GW GUY WIRE
 - ICW INDEX CONTOUR
 - INT INTERMEDIATE CONTOUR
 - LP LIGHT POLE
 - ROW RIGHT-OF-WAY
 - SG SIGN
 - TP TELEPHONE PED.
 - TREE TREE
 - FO FIBER OPTIC LINE
 - TEL TELEPHONE LINE
 - W WATER LINE
 - UP UTILITY POLE
 - WMH WATER MANHOLE
 - WM WATER METER
 - WV WATER VALVE
 - WVLT WATER VAULT
 - DI DROP INLET
 - SDM STORM DRAIN MANHOLE
 - CON CONCRETE
 - TMH TELEPHONE MANHOLE
 - TBM TEMPORARY BENCHMARK
 - HP HANDICAP PARKING
 - ICV IRRIGATION CONTROL VALVE
 - TPH TELEPHONE PHONE VAULT

WILDERS GROVE ASSOCIATES
 PIN: 1724963213
 Deed Book 002990
 Deed Page 00623
 Deed Acreage 0.84

PARTIN, GLEN H
 PIN: 1724962098
 Deed Book 009895
 Deed Page 01403
 Deed Acreage 0.97



PROFESSIONAL ENGINEER SEAL NOT AFFIXED TO SHEET AS ENGINEER DOES NOT CERTIFY INFORMATION PROVIDED BY OTHERS

NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

Surveyor:
 Larry King & Associates, RLS, PA
 1333 Morganton Road #201
 Fayetteville, NC 28305
 Phone: 910-483-4300
 Contact: Jeffrey Nobles, PE
 Email: jnobles@kanda.com

REVISIONS	DATE	FILE NO.

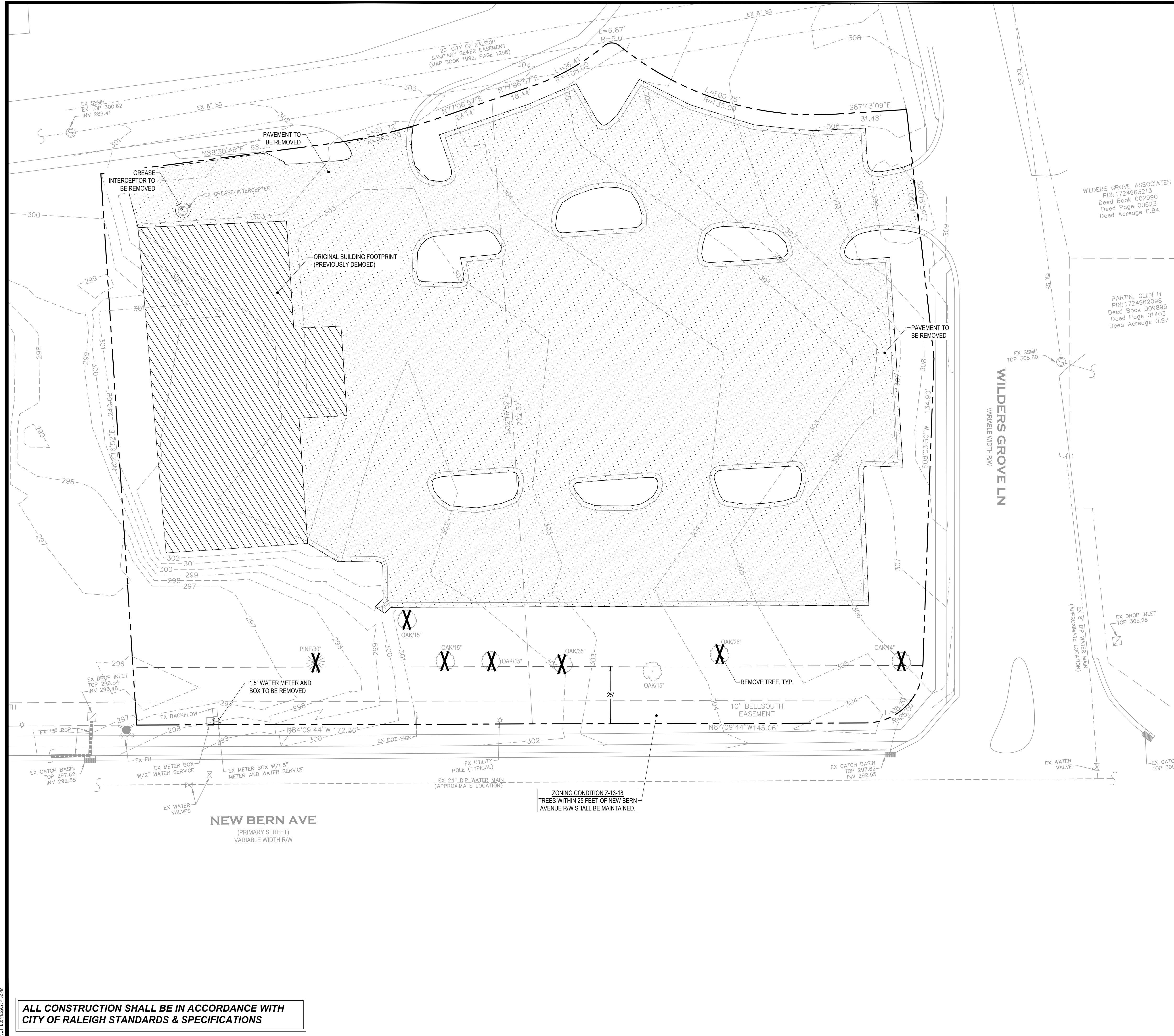
WILDER'S GROVE RETAIL - RALEIGH, NC
EXISTING CONDITIONS

208 S. Fidelity Avenue
 Fayetteville, NC 27708
 T (910) 582-2849
 F (910) 582-2843



C-02

P:\PROJECTS\2019\2019-08-28\2019-08-28-01-01-WILDERS GROVE RETAIL - RALEIGH, NC\PLANSHEET\EXISTING CONDITIONS.DWG
 PLOTTED: 11/20/2019 4:11 PM

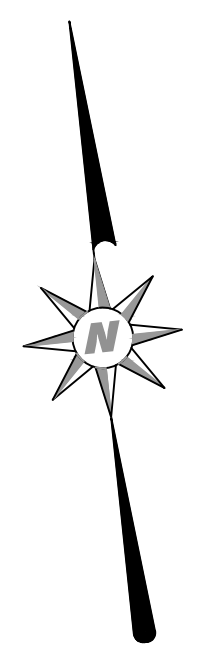


- DEMOLITION NOTES:**
1. ANY ITEM THAT MAY BE ENCOUNTERED DURING BUILDING DEMOLITION THAT MAY BE OF INTEREST OR VALUE TO THE OWNER SHALL REMAIN THE OWNER'S PROPERTY. COORDINATE PROCEDURE FOR REMOVAL AND SALVAGE WITH OWNER.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING PRE-DEMOLITION PHOTOGRAPHS AND/OR VIDEOTAPE SHOWING EXISTING CONDITIONS OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS PRIOR TO ANY DEMOLITION WORK.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH GOVERNING EPA REGULATIONS AND HAULING AND DISPOSAL REGULATIONS OF LOCAL JURISDICTION, INCLUDING OBTAINING ALL REQUIRED PERMITS.
 4. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER IN THE EVENT THAT UN-ANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AND REGULATIONS REGARDING THE HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS.
 5. CONTRACTOR RESPONSIBLE FOR LOCATING, IDENTIFYING, DISCONNECTING, AND SEALING OR CAPPING UTILITIES SERVING BUILDINGS AND STRUCTURES TO BE DEMOLISHED.
 6. UNLESS OTHERWISE NOTED ON DRAWINGS, DEMOLITION SHALL INCLUDE REMOVAL OF EXISTING OBJECTS OR IMPROVEMENTS (WITH THE EXCEPTION OF TREES) THAT WOULD INTERFERE WITH PROGRESS OR COMPLETION OF PROPOSED WORK.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL DURING DEMOLITION.
 8. CONTRACTOR SHALL NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
 9. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTION TO ENSURE THAT UTILITY SERVICES OF ADJOINING PROPERTIES ARE NOT DISTURBED DURING SITE DEMOLITION.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL OFFSITE IMPROVEMENTS DURING DEMOLITION AND COORDINATING RELOCATION OF ANY UTILITY SERVICES DISRUPTED BY DEMOLITION ACTIVITIES.
 11. PAVEMENT REMOVAL INCLUDES THE REMOVAL OF ANY ASSOCIATED BASE COURSE AND CURBING.
 12. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES BEFORE COMMENCING DEMOLITION ACTIVITIES.
 13. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER SHOULD ANY DISCREPANCIES OR CONFLICTS ARISE.
 14. REMOVE ALL EXISTING STRUCTURES INCLUDING FOUNDATIONS.
 15. REMOVE ALL ITEMS SHOWN ON EXISTING CONDITIONS PLAN AS NEEDED FOR INSTALLATION OF NEW WORK.
 16. NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
 17. CONTRACTOR SHALL CONTACT NEW CONNECTIONS PRIOR TO ANY DEMOLITION TO INSURE EXISTING WATER AND SANITARY SEWER DISCONNECTS ARE HANDLED ACCORDING TO INSLOW COUNTY GUIDELINES.
 18. SEE SITE/UTILITY PLAN & GRADING/DRAINAGE PLAN FOR PROPOSED MODIFICATIONS TO UTILITIES & DRAINAGE STRUCTURES.
 19. THE PROPER PROCEDURE FOR COMPACTED SOIL REMEDIATION IS AS FOLLOWS (REQUIRED IN FORMER PVMT/BLDG AREAS TO RECEIVE LANDSCAPING):
 - A. REMOVE ALL IMPERVIOUS SURFACES FROM THE SUBJECT AREA.
 - B. TILL THE AREA TO A DEPTH OF 12" BELOW THE TOP OF COMPACTED SUBGRADE.
 - C. SUITABLE RATES AND TYPES OF SOIL AMENDMENTS SHOULD BE DETERMINED THROUGH SOIL TESTS. LIMESTONE AND FERTILIZER SHOULD BE APPLIED UNIFORMLY DURING SEEDBED PREPARATION AND MIXED WELL WITH THE TOP 4 TO 6 INCHES OF SOIL.

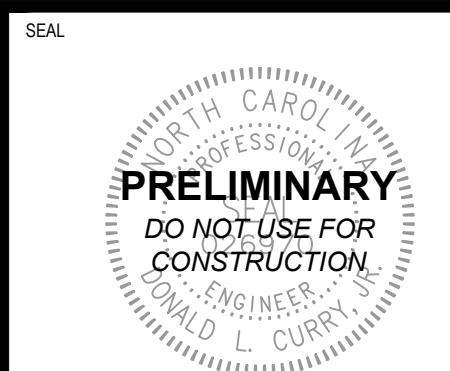
WILDERS GROVE ASSOCIATES
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 Deed Book 002990
 Deed Page 00823
 Deed Acreage 0.84

PARTIN, GLEN H
 PIN: 1724962098
 Deed Book 003895
 Deed Page 01403
 Deed Acreage 0.97

- DEMOLITION LEGEND:**
- INDICATES UTILITY STRUCTURE TO BE REMOVED
 - INDICATES TREE TO BE REMOVED
 - INDICATES PAVEMENT OR CURB TO BE REMOVED
 - INDICATES STRUCTURE OR BUILDING TO BE REMOVED



SCALE: 1 IN = 20 FT
 SCALE IN FEET
 HORIZONTAL



NOT FOR CONSTRUCTION

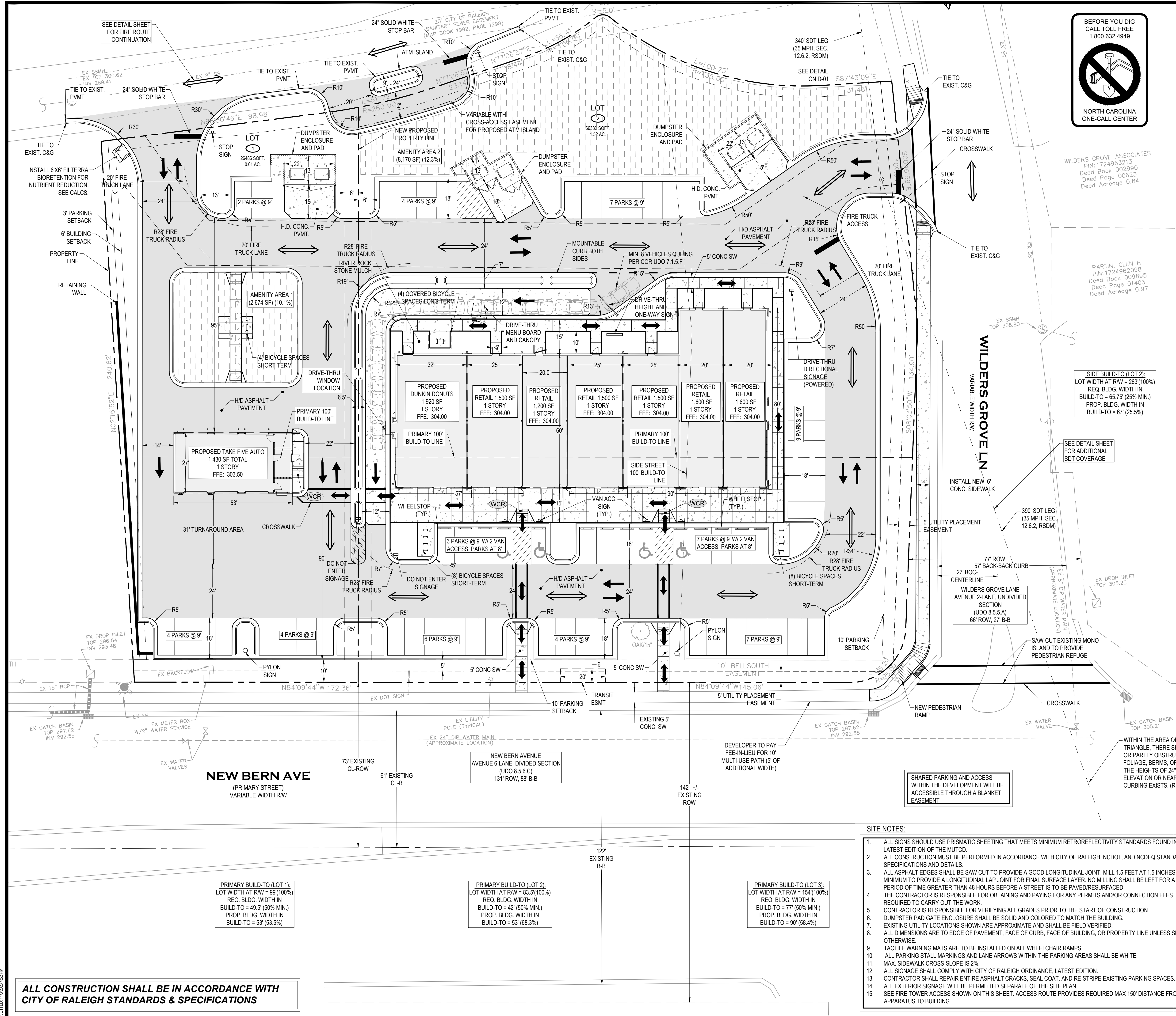
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

REVISIONS	DATE	DESCRIPTION

WILDER'S GROVE RETAIL - RALEIGH, NC
DEMOLITION PLAN

T (919) 562-4949
 F (919) 562-2943
 208 S. Fidelity Avenue
 Fuquay-Varina, NC 27098





SITE INFORMATION:

LOCATION: 4209 (LOT 2) & 4201 (LOT 3)
NEW BERN AVENUE, RALEIGH, NC

COUNTY: WAKE COUNTY
PARENT PIN: 172496124 (LOT 2)
1724868153 (LOT 3)
DB/PG: 018412 / 02736

ZONING: CX-3-PL-CU
ACREAGE (ORIGINAL): 1.13 AC (LOT 2)
1.00 AC (LOT 3)

ACREAGE (PROPOSED): 0.61 AC (LOT 1) - 1401 WILDERS GROVE LANE
1.52 AC (LOT 2) - 1403 WILDERS GROVE LANE
2.13 AC (TOTAL)

BUILDING DATA: (TOTAL OF 2 BUILDINGS)

LOT 1: 1 BUILDING	LOT 2: 1 BUILDING
BUILDING SIZE: 1430 SF (VEHICLE REPAIR (MINOR))	1920 SF (RESTAURANT) 8900 SF (GENERAL RETAIL)
TOTAL BUILDING SIZE: 12,250 SF	
BUILDING HEIGHT: 26.25' (1 STORY) (MAX ALLOWED IS 90')	

PARKING MAXIMUMS:

LOT 1: VEHICLE REPAIR (MINOR) - NO MAX SHOPPING CENTER: 1 SPACE / 200 SF
1430 SF = 7 PARKING SPACES

LOT 2: RESTAURANT & RETAIL - MAX RESTAURANT SPECIFICATION: 1 SPACE / 100 SF GFA
1920 SF = 19 PARKING SPACES
8900 SF = 45 PARKING SPACES

RETAIL SPECIFICATION: 1 SPACE / 200 SF
8900 SF = 45 PARKING SPACES

PARKING MAX: = 71 PARKING SPACES

SHORT-TERM BICYCLE:

RETAIL:	4 MIN.
OFFICE:	4 MIN.
VEHICLE SERVICE:	4 MIN.
RESTAURANT:	4 MIN.

PROVIDED PARKING: 57 STANDARD
4 H/C SPACES

TOTAL OVERALL PROVIDED SPACES: = 61 PARKS W/ 20 BICYCLE (10 RACKS)

SETBACKS:

BUILDING:

PRIMARY STREET:	5' MIN.
SIDE STREET:	5' MIN.
SIDE LOT LINE:	0' OR 6' MIN.
REAR LOT LINE:	0' OR 6' MIN.

PARKING:

PRIMARY STREET:	10' MIN.
SIDE STREET:	10' MIN.
SIDE LOT LINE:	0' OR 3' MIN.
REAR LOT LINE:	0' OR 3' MIN.

IMPERVIOUS AREAS:

EXISTING:

PAVEMENT:	51,154 SQ FT (1.17 AC)
BUILDING:	9,755 SQ FT (0.22 AC)
TOTAL EXISTING IMPERVIOUS:	60,909 SQ FT (1.39 AC - 65.3%)

PROPOSED:

PAVEMENT:	47,515 SQ FT (1.09 AC)
SIDEWALK:	5,342 SQ FT (0.12 AC)
BUILDING:	12,250 SQ FT (0.28 AC)
TOTAL IMPERVIOUS:	65,107 SQ FT (1.49 AC - 70%)

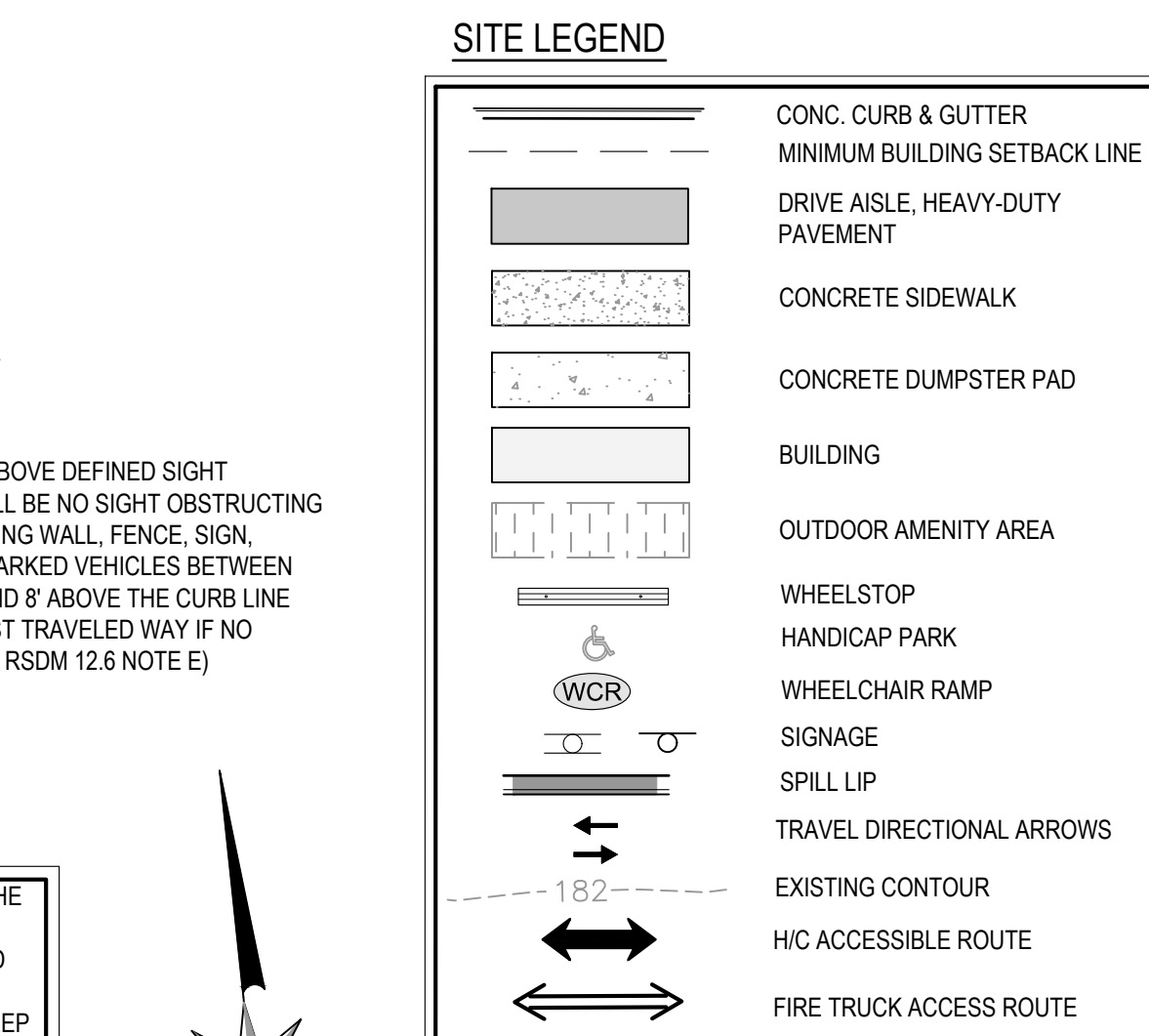
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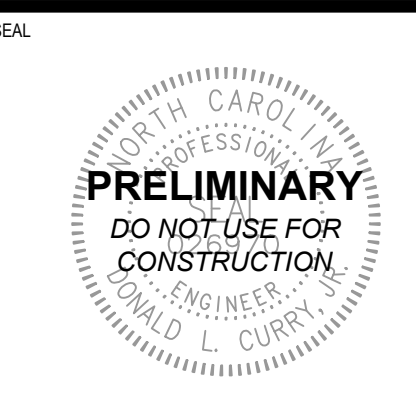
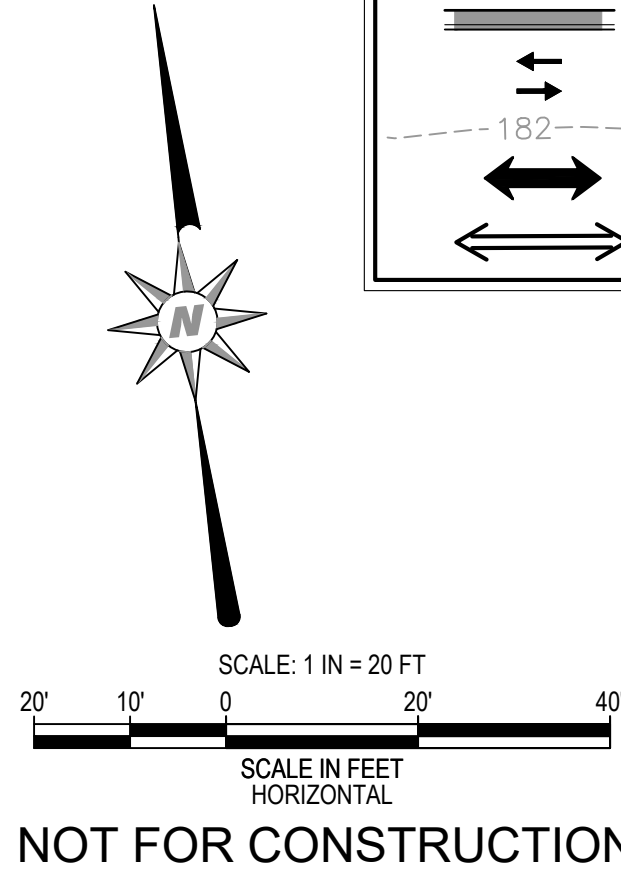
SIDE BUILD-TO (LOT 2):
LOT WIDTH AT RW = 263'(100%)
REQ. BLDG. WIDTH IN
BUILD-TO = 65.75' (25% MIN.)
PROP. BLDG. WIDTH IN
BUILD-TO = 67' (25.5%)

SEE DETAIL SHEET
FOR ADDITIONAL
SDT COVERAGE

WILDERS GROVE LANE
AVENUE 2-LANE, UNDIVIDED
SECTION
(UDO 8.5.5.A)
66' ROW, 27' B-B



- ### SITE NOTES:
- ALL SIGNS SHOULD USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
 - ALL CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH, NCDOT, AND NCDCE STANDARD SPECIFICATIONS AND DETAILS.
 - ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET AT 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED/RESURFACED.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
 - DUMPSTER PAD GATE ENCLOSURE SHALL BE SOLID AND COLORED TO MATCH THE BUILDING.
 - EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED.
 - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB, FACE OF BUILDING, OR PROPERTY LINE UNLESS SHOWN OTHERWISE.
 - TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - MAX. SIDEWALK CROSS-SLOPE IS 2%.
 - ALL SIGNAGE SHALL COMPLY WITH CITY OF RALEIGH ORDINANCE, LATEST EDITION.
 - CONTRACTOR SHALL REPAIR ENTIRE ASPHALT CRACKS, SEAL COAT, AND RE-STRIPE EXISTING PARKING SPACES.
 - ALL EXTERIOR SIGNAGE WILL BE PERMITTED SEPARATE OF THE SITE PLAN.
 - SEE FIRE TOWER ACCESS SHOWN ON THIS SHEET. ACCESS ROUTE PROVIDES REQUIRED MAX 150' DISTANCE FROM APPARATUS TO BUILDING.

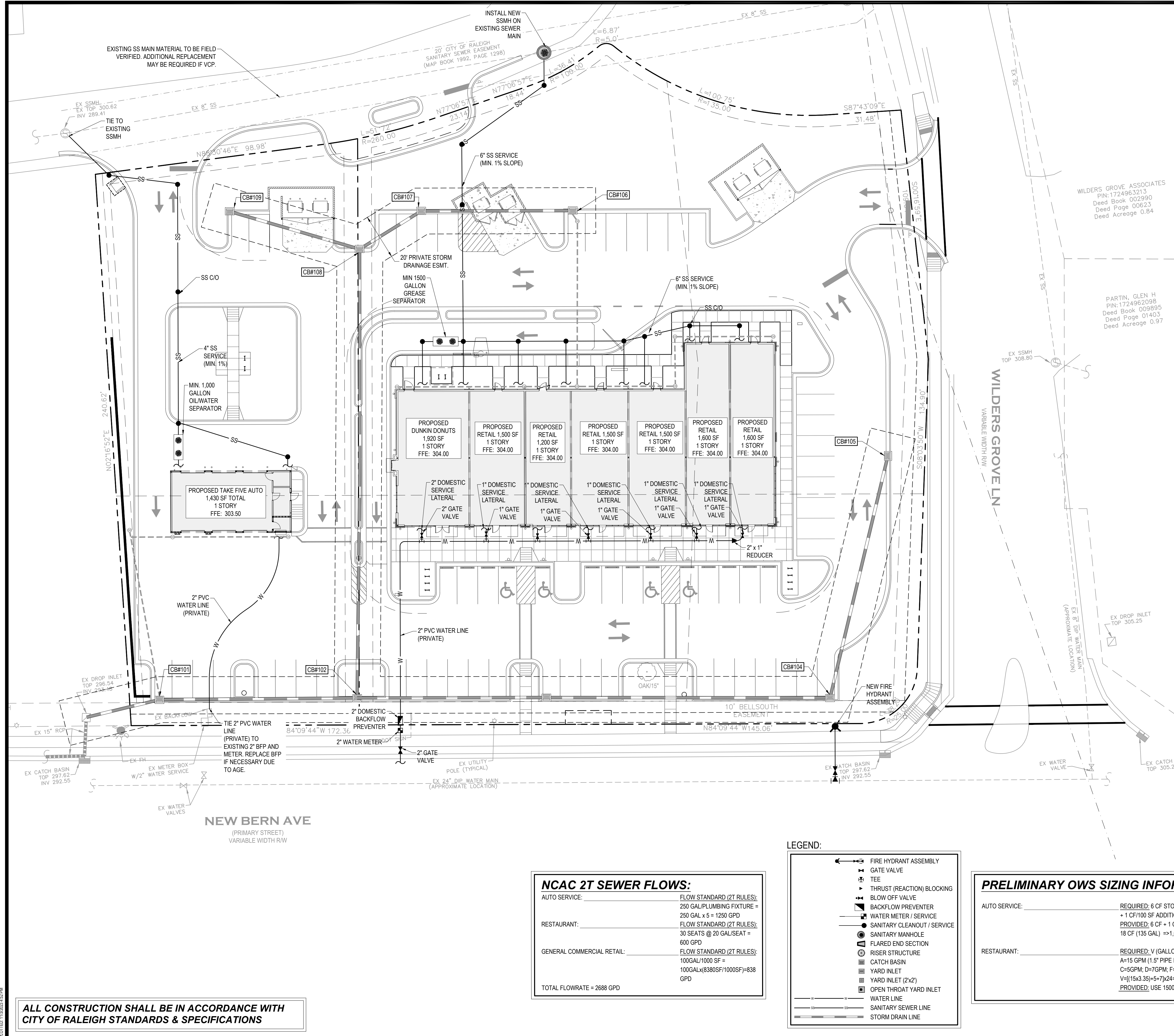


ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

PRIMARY BUILD-TO (LOT 1):
LOT WIDTH AT RW = 99'(100%)
REQ. BLDG. WIDTH IN
BUILD-TO = 49.5' (50% MIN.)
PROP. BLDG. WIDTH IN
BUILD-TO = 53' (53.5%)

PRIMARY BUILD-TO (LOT 2):
LOT WIDTH AT RW = 83.5'(100%)
REQ. BLDG. WIDTH IN
BUILD-TO = 42' (50% MIN.)
PROP. BLDG. WIDTH IN
BUILD-TO = 53' (68.3%)

PRIMARY BUILD-TO (LOT 3):
LOT WIDTH AT RW = 154'(100%)
REQ. BLDG. WIDTH IN
BUILD-TO = 77' (50% MIN.)
PROP. BLDG. WIDTH IN
BUILD-TO = 90' (58.4%)

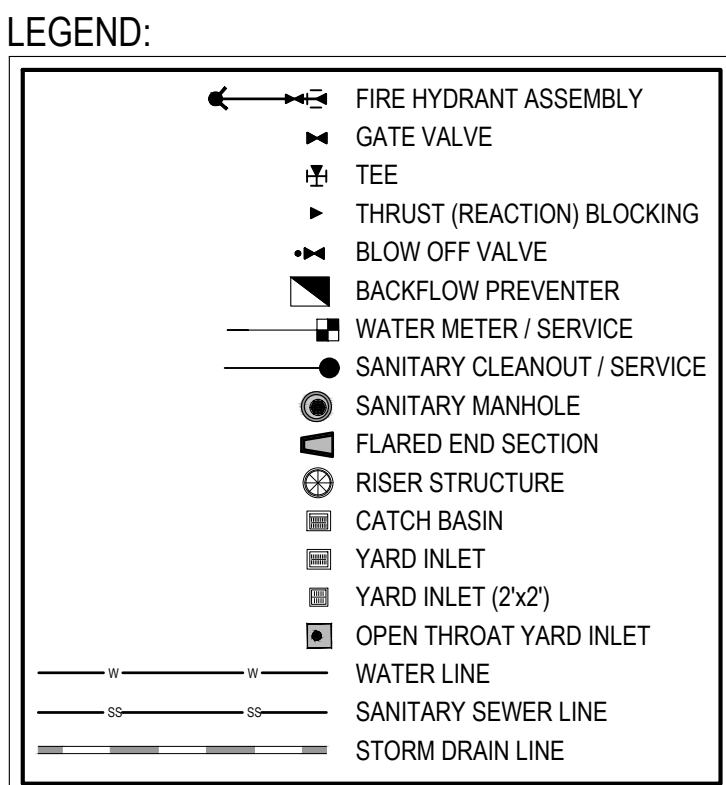


- CITY OF RALEIGH PUBLIC UTILITIES NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
 - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. *NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE*
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

- GENERAL NOTES:**
- ALL UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - ALL WATER MAINS, SANITARY SEWER & RECLAIMED WATER MAINS SHALL BE PUBLIC UTILITIES.
 - CONTRACTOR SHALL CONTACT CITY OF RALEIGH PRIOR TO MAKING CONNECTION TO ANY CITY OWNED INFRASTRUCTURE.
 - CONTRACTOR CANNOT TAP WATER MAINS WITHOUT AN APPROVED WATER EXTENSION PERMIT ISSUED BY THE CITY OF RALEIGH.
 - THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FDC POINTS, OR OTHER WATER-USING APPLIANCES CONNECTED TO THE SUPPLY LINE BETWEEN THE WATER METER AND ITS CITY-REQUIRED BACKFLOW PREVENTERS. THE FOLLOWING BACKFLOW PREVENTION MODEL NUMBERS SHALL BE PROVIDED IN DOORS AS NOTED:
 - 2" DOMESTIC BACKFLOW=WILKINS MODEL 975XL
 - ALL NON-METALLIC PIPING MUST BE INSTALLED WITH A TRACER WIRE AND WARNING TAPE OR ELECTRIC MARKER SYSTEM BALLS PER CITY OF RALEIGH STANDARDS.
 - PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
 - ELECTRICAL TRANSFORMERS WILL NOT BE PERMITTED TO BE LOCATED WITHIN REQUIRED BUFFERS OR STREETSCAPES.

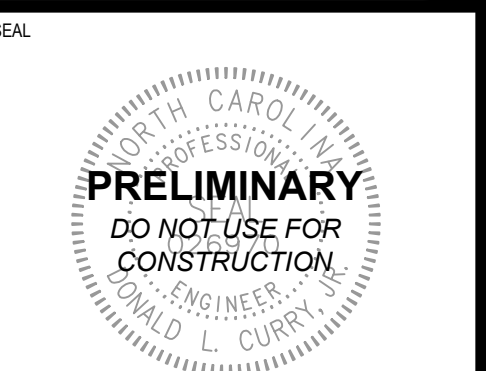
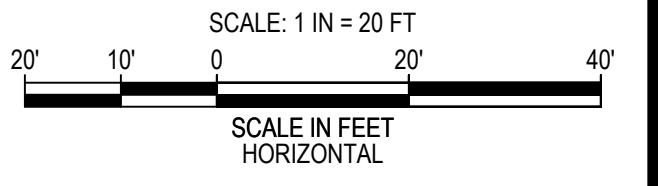
NCAC 2T SEWER FLOWS:

AUTO SERVICE:	FLOW STANDARD (2T RULES): 250 GAL/PLUMBING FIXTURE = 250 GAL x 5 = 1250 GPD
RESTAURANT:	FLOW STANDARD (2T RULES): 30 SEATS @ 20 GAL/SEAT = 600 GPD
GENERAL COMMERCIAL RETAIL:	FLOW STANDARD (2T RULES): 100GAL/1000 SF = 100GALx(8380SF/1000SF)=838 GPD
TOTAL FLOWRATE = 2688 GPD	



PRELIMINARY OWS SIZING INFORMATION:

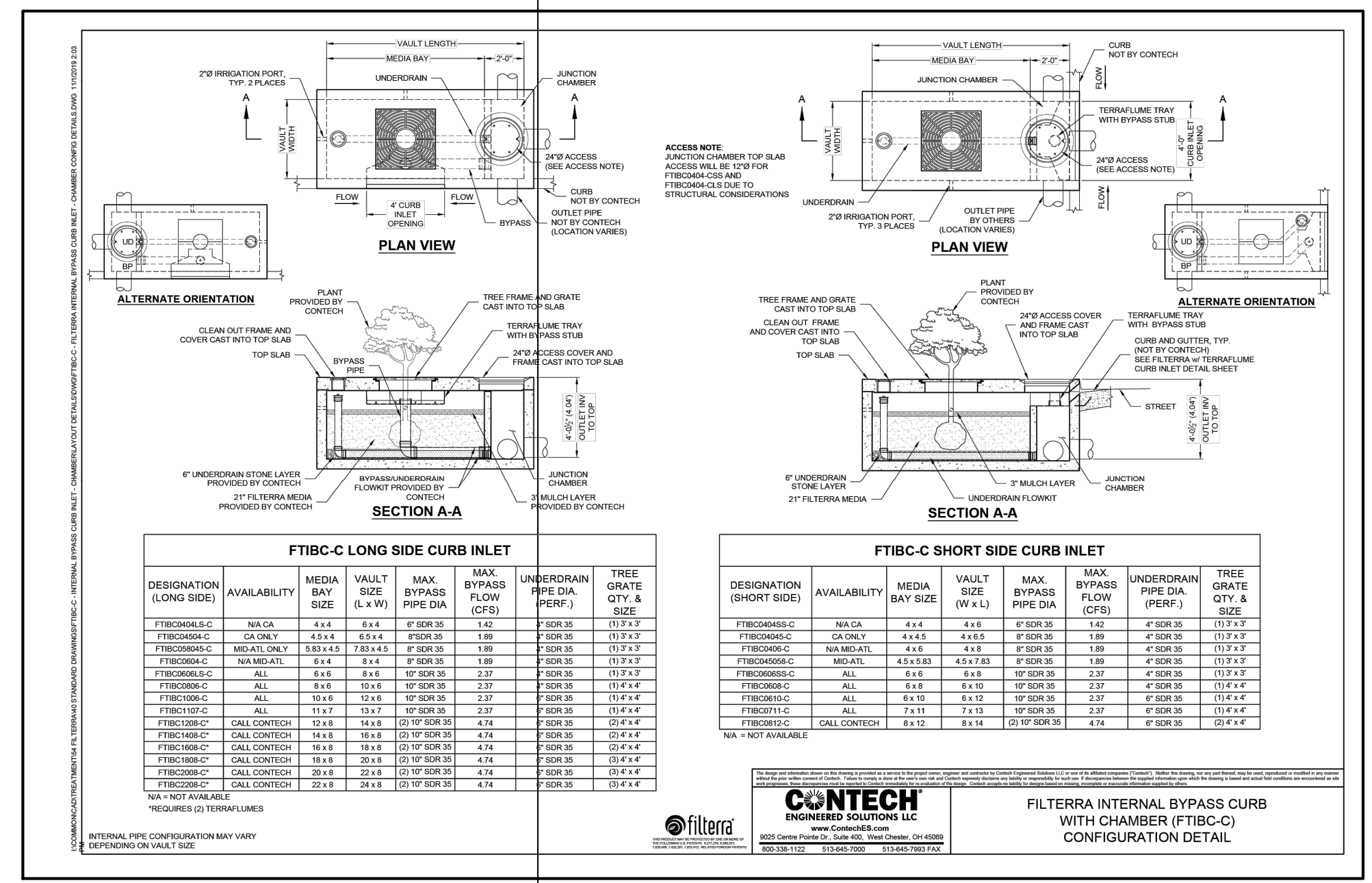
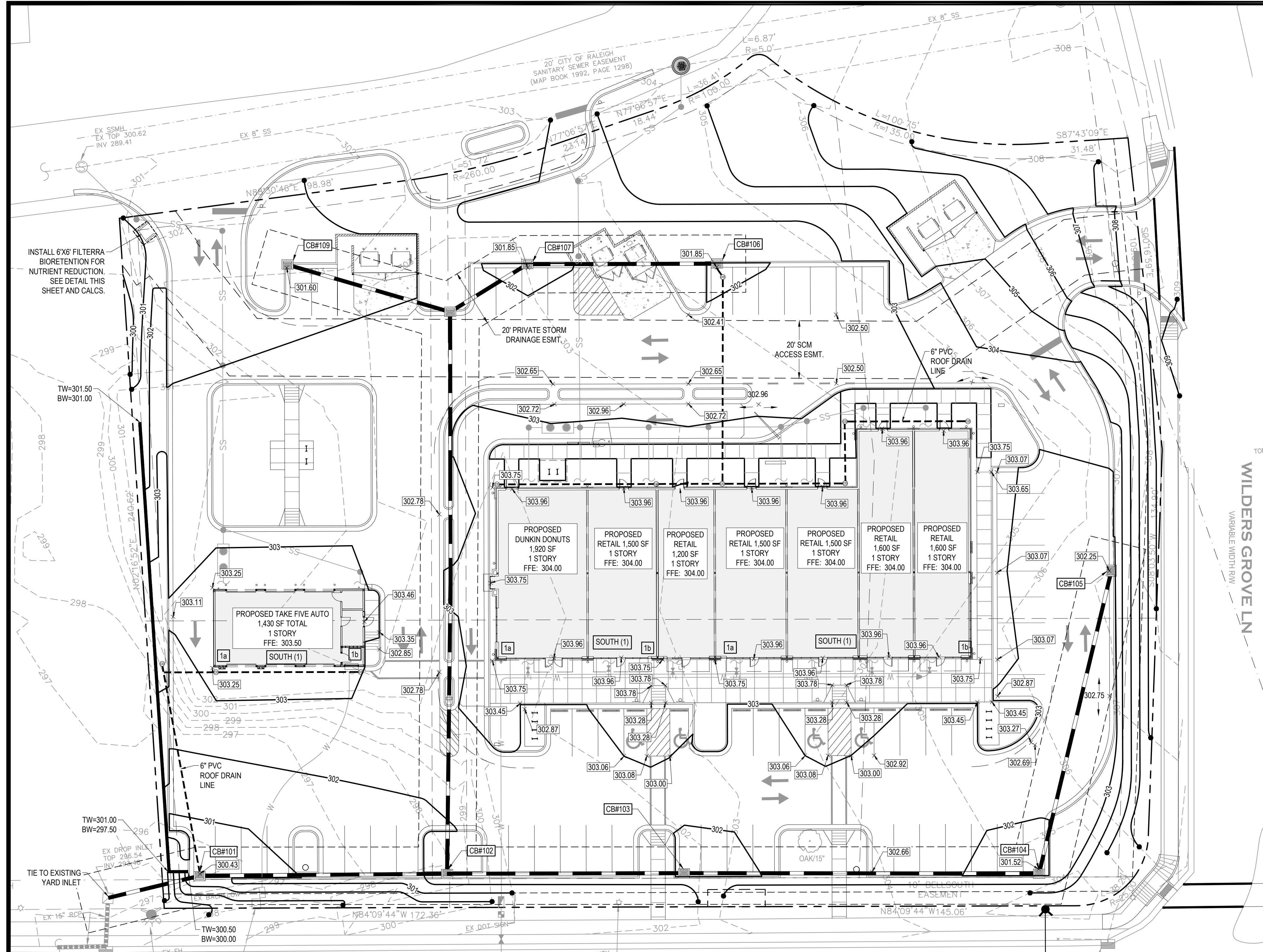
AUTO SERVICE:	REQUIRED: 6 CF STORAGE FOR FIRST 100 SF + 1 CF/100 SF ADDITIONAL PROVIDED: 6 CF + 1 CF (1200 SF/100 SF) = 18 CF (135 GAL) => 1,000 GAL MINIMUM
RESTAURANT:	REQUIRED: V (GALLONS)=[(A+B)+C+D]x F A=15 GPM (1.5" PIPE DIA); TOTAL B=3.35; C=5GPM; D=7GPM; F=24MIN V=[(15x3.35)+5+7]x24=1494 GALLONS PROVIDED: USE 1500 GALLON



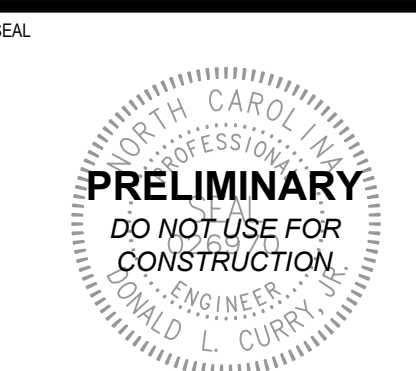
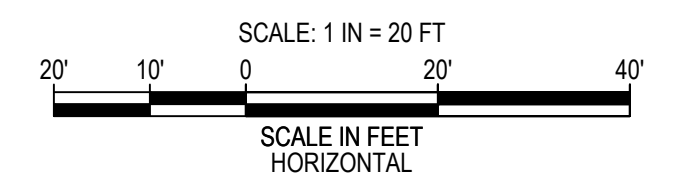
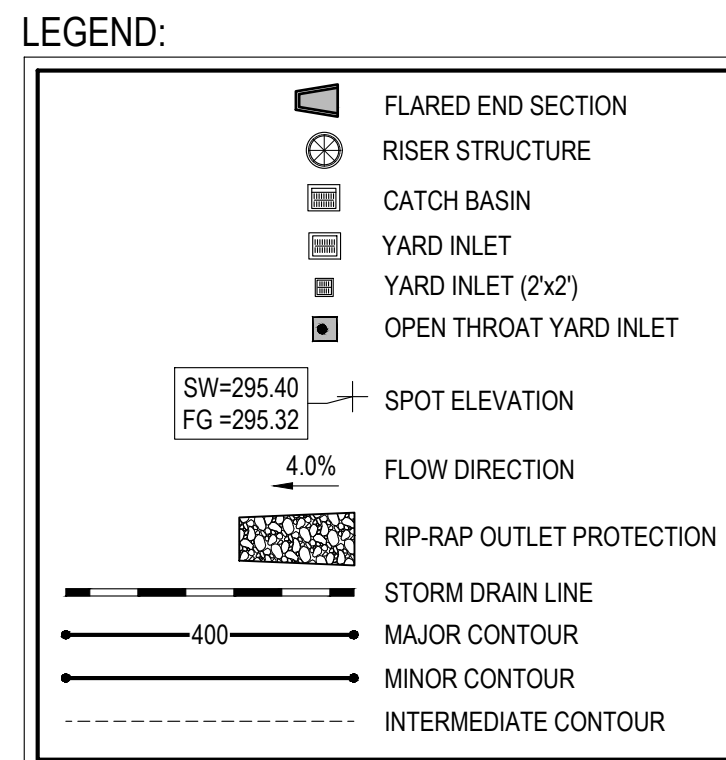
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

NOT FOR CONSTRUCTION

WILDER'S GROVE RETAIL - RALEIGH, NC
 UTILITY PLAN
 CURRY ENGINEERING
 C-05
 REVISIONS
 HORZ SCALE: 1"=20'
 VERT SCALE: 1"=20'
 DATE: 10.27.2023
 FILE NO: 2207-007
 CING. SHEET SIZE: 24x36



- GENERAL NOTES:**
- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
 - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN AND VEGETATED PERIMETER BUFFER AREAS AS WELL AS TREE CONSERVATION AREAS.
 - 20' STORM EASEMENTS SHALL BE CENTERED ON ALL STORM SEWER PIPE LOCATED OUTSIDE OF STREET RIGHT OF WAYS.
 - UTILITY PIPE SIZES & LOCATIONS ARE PRELIMINARY AND SHALL BE FINALIZED DURING CONSTRUCTION DRAWING REVIEW & APPROVAL.
 - ALL STORM DRAINAGE WITHIN THE RIGHT OF WAY SHALL BE PUBLIC. ALL STORM DRAINAGE OUTSIDE THE RIGHT OF WAY SHALL BE PRIVATE.
 - STORM DRAINAGE PIPING SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. STORM DRAINAGE WITH LESS THAN 2' OF COVER MEASURED FROM SUBGRADE SHALL BE CLASS IV RCP.
 - ANY STORM DRAINAGE PIPING THAT IS TO BE LAID FLAT SHALL BE O-RING GASKETTED PIPE CONFORMING TO ASTM C-443.
 - PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING STORM DRAINAGE TO AVOID CONFLICTS.
 - RIM ELEVATION FOR YARD INLETS (YI) REFERS TO THE CENTER OF THE TOP OF GRATE. RIM ELEVATION OF MANHOLES (SDMH) REFERS TO THE CENTER OF THE TOP OF MANHOLE COVER. TOP ELEVATION OF CATCH BASINS (CB) REFERS TO THE CENTER OF THE TOP OF CASTING ELEVATION.
 - PROPOSED CONTOURS ILLUSTRATE THE FINISHED SURFACE ELEVATION FOR PAVEMENT, FINISHED SUBGRADE ELEVATION IN OPEN AREAS AND TOP OF RIP-RAP UNLESS OTHERWISE NOTED.
 - CUT/FILL SLOPES SHALL BE GRADED AT A MAXIMUM OF 3H:1V UNLESS OTHERWISE INDICATED.
 - NO GRADING EQUIPMENT SHALL BE PERMITTED ON-SITE UNTIL A GRADING PERMIT HAS BEEN ISSUED BY THE CITY OF RALEIGH.
 - ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 140N OR APPROVED EQUAL).
 - WHERE PROPOSED EDGE OF PAVEMENT CONNECTS TO EXISTING, CONTRACTOR SHALL MATCH EXISTING ELEVATION AND CREATE A SMOOTH TRANSITION.
 - CONTRACTOR SHALL RAISE ALL STRUCTURES TO FINISHED GRADE ELEVATIONS.
 - ALL STORM DRAINAGE LINES OUTSIDE OF PUBLIC RIGHT OF WAY REQUIRE 20' PRIVATE DRAINAGE EASEMENTS CENTERED ON PIPE.
 - ANY REQUIRED DISTURBANCE ON ADJACENT PROPERTIES REQUIRE APPROVAL FROM ADJACENT PROPERTY OWNER PRIOR TO ISSUANCE OF GRADING PERMIT. APPROVAL FROM PROPERTY OWNER CAN BE IN FORM OF A TEMPORARY CONSTRUCTION EASEMENT GRANTED OR LETTER OF CONSENT TO DISTURBANCE.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

**WILDER'S GROVE RETAIL - RALEIGH, NC
GRADING & DRAINAGE PLAN**

T (919) 552-2949
F (919) 552-2943
208 S. Fidelity Avenue
Fayetteville, NC 27706



C-06

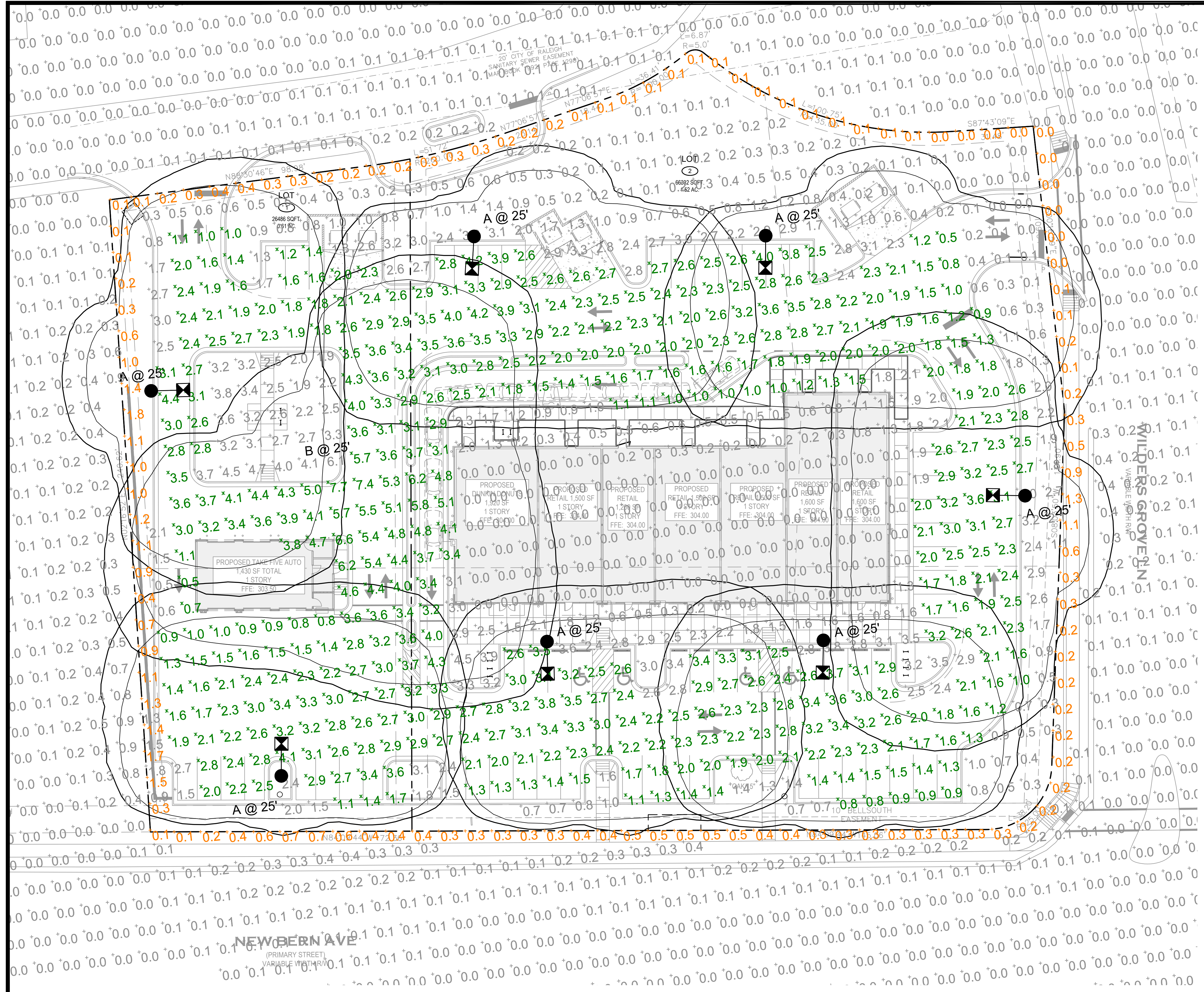
REVISIONS
DATE: 10.27.2023
FILE NO: 2023-007
HORZ SCALE: 1"=20'
VERT SCALE: 1"=4'
CNS. SHEET SIZE: 24" x 36"

REVISIONS
DATE: 10/27/2023
FILE NO: 2023-1007
HORIZ SCALE: 1"=20'
CONS. SHEET SIZE: 24" x 36"

WILDER'S GROVE RETAIL - RALEIGH, NC
LIGHTING PLAN

208 S. Fidelity Avenue
Fayetteville, NC 27808
T (919) 552-2499
F (919) 552-2493

Curry
ENGINEERING
C-07

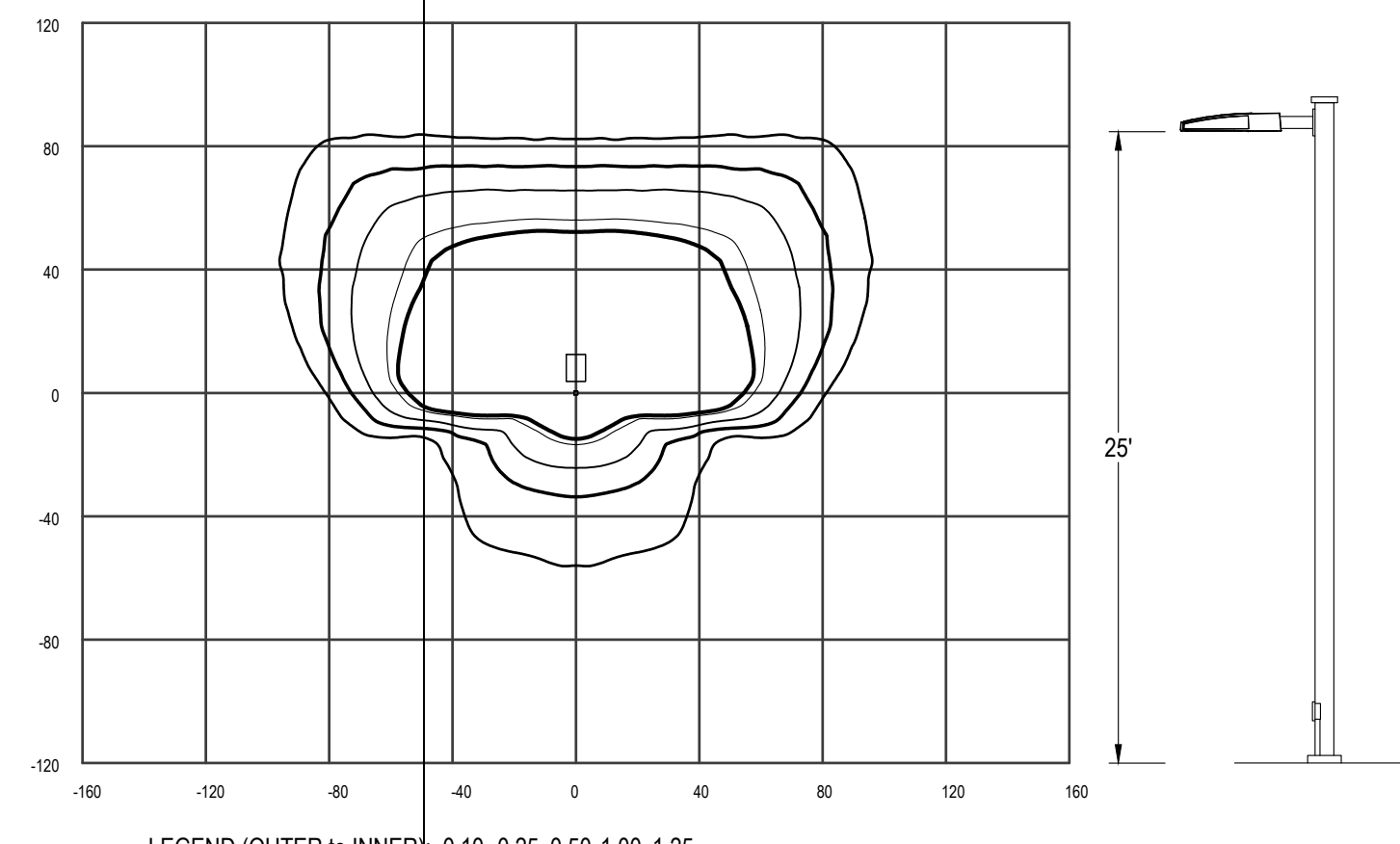


ISOFOOTCANDLE CURVES

FIXTURE: LED 220w Shoebox
MOUNTING HEIGHT: 25 FT
LIGHT SOURCE: LED'S, 4000K, 70 CRI
LUMENS: 24391
PATTERN: TYPE IV, B3-U0-G4 (zero light at or above 90 degrees)

ASSY# LFIX-SBX-LED-205-BLK-IV-MULTI-V-P (BLACK)
POLE ASSY# LP-POLE-AB-STL-25FT-BLK-SQ-P (BLACK)
BRACKET ASSY# LBKT-SIDE-12IN-BLK-UNV-STL-P (BLACK)

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER TO INNER): 0.10, 0.25, 0.50, 1.00, 1.25

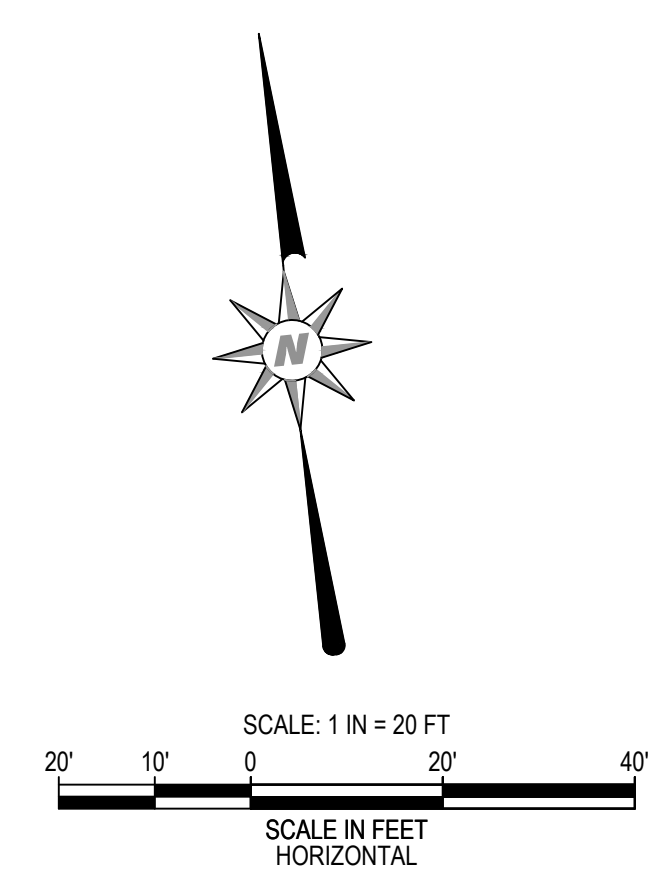
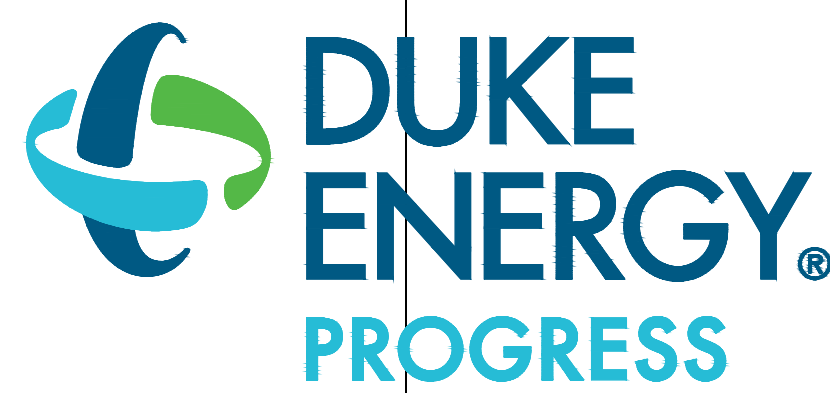
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✱	2.6 fc	7.7 fc	0.5 fc	15.4:1	5:2:1
Property Line	+	0.4 fc	1.8 fc	0.0 fc	N/A	N/A

Schedule						
Symbol	Label	Quantity	Description	Number	Lumens Per Lamp	Light Loss Factor
✱	A	7	LED 220w Shoebox - Type IV - 4000K	64	381	0.85
+	B	1	LED 220w Shoebox - Type IV - 4000K	64	381	0.85

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

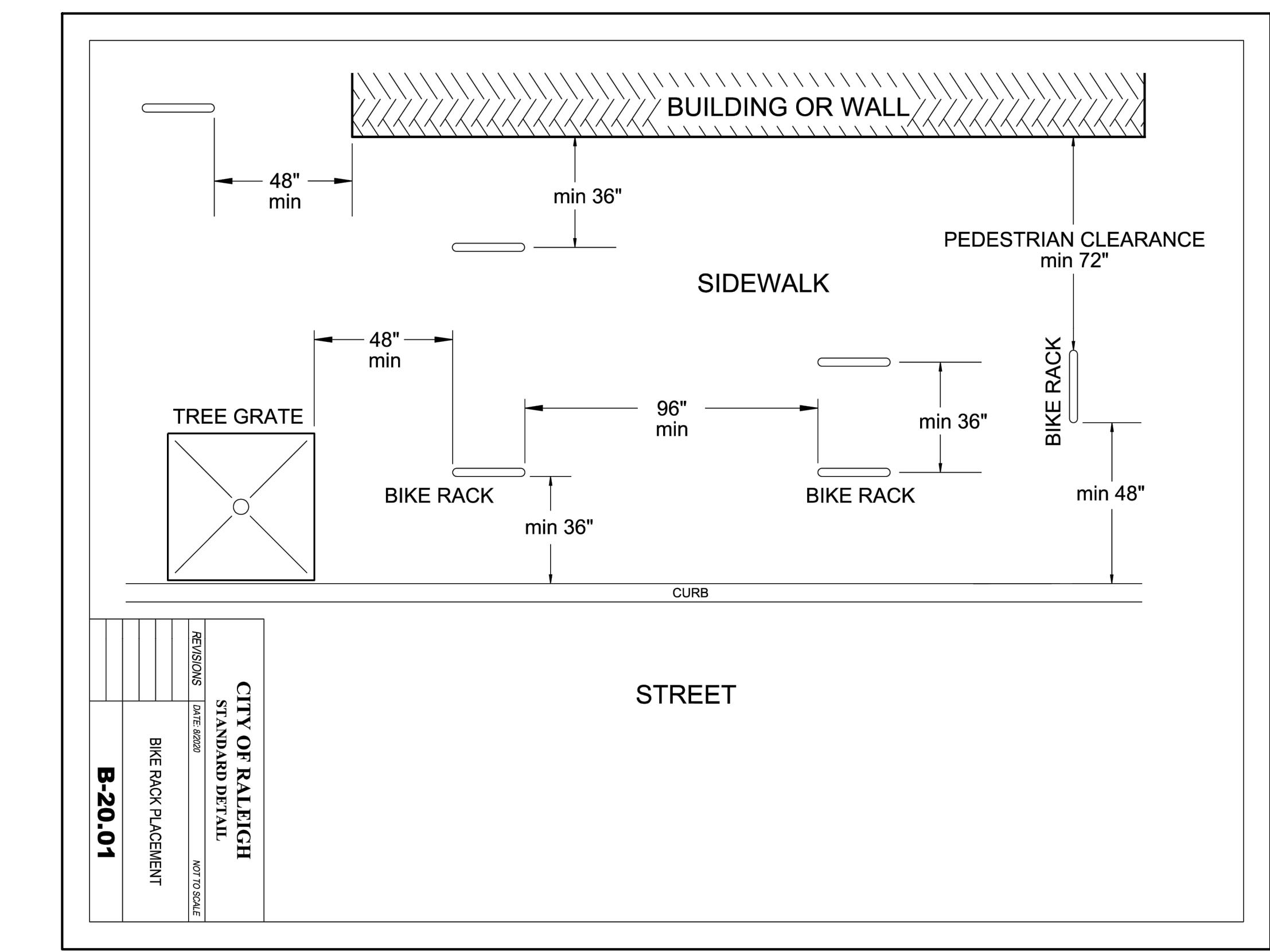
PROPRIETARY & CONFIDENTIAL
This document together with the concepts and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy Progress, and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy Progress. Duke Energy Progress disclaims any liability or responsibility for any unauthorized use of or reliance on this document.

LIGHTING DESIGN TOLERANCE
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

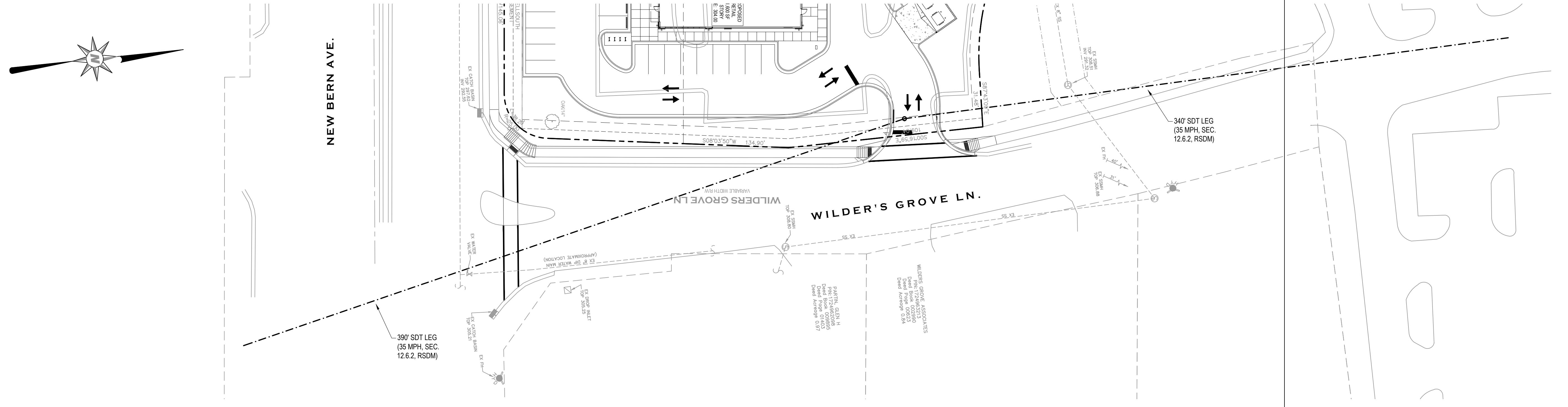
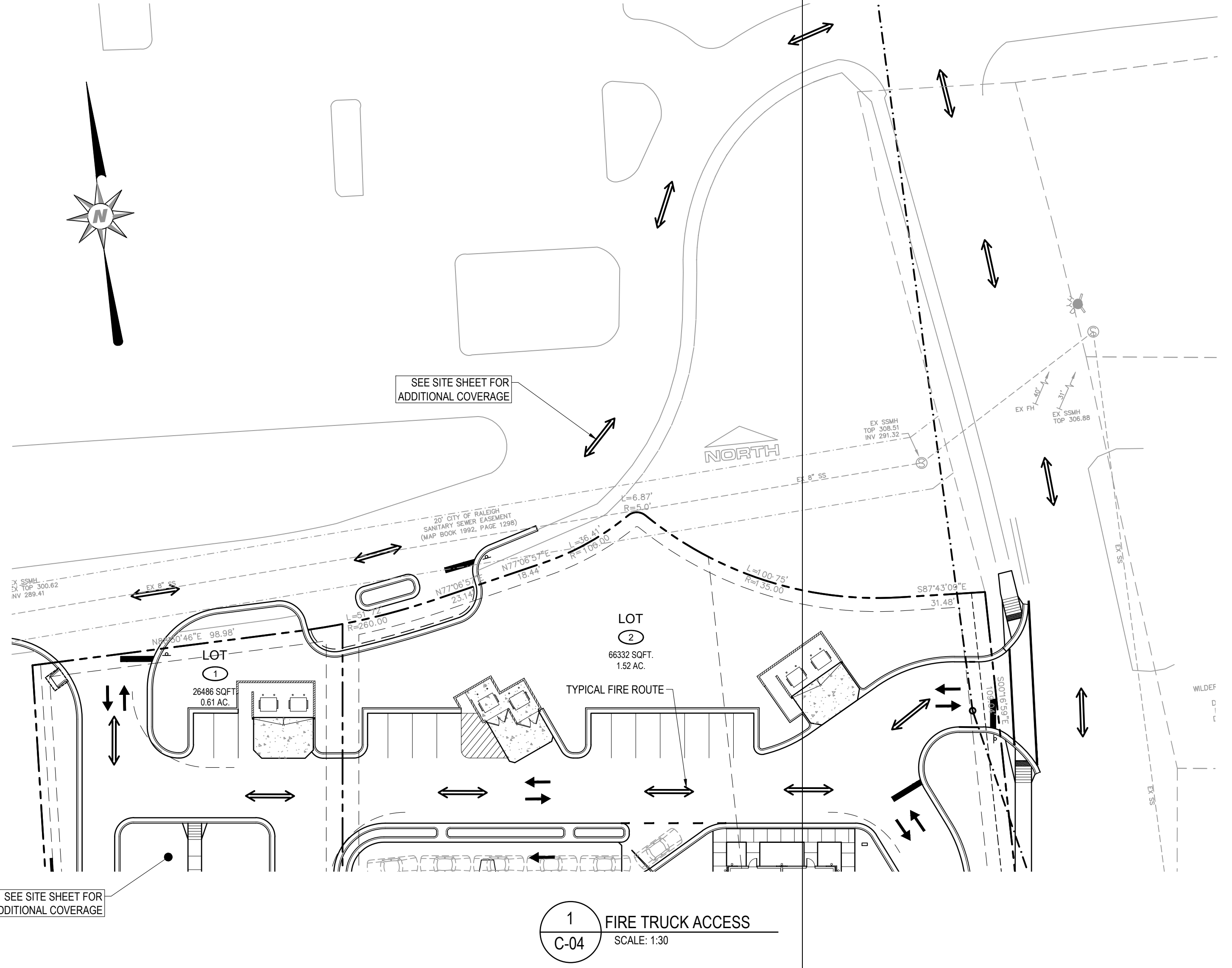


NOT FOR CONSTRUCTION

WORKSHEET NO. 261361-01, 261361-02, 261361-03, 261361-04, 261361-05, 261361-06, 261361-07, 261361-08, 261361-09, 261361-10, 261361-11, 261361-12, 261361-13, 261361-14, 261361-15, 261361-16, 261361-17, 261361-18, 261361-19, 261361-20, 261361-21, 261361-22, 261361-23, 261361-24, 261361-25, 261361-26, 261361-27, 261361-28, 261361-29, 261361-30, 261361-31, 261361-32, 261361-33, 261361-34, 261361-35, 261361-36, 261361-37, 261361-38, 261361-39, 261361-40, 261361-41, 261361-42, 261361-43, 261361-44, 261361-45, 261361-46, 261361-47, 261361-48, 261361-49, 261361-50, 261361-51, 261361-52, 261361-53, 261361-54, 261361-55, 261361-56, 261361-57, 261361-58, 261361-59, 261361-60, 261361-61, 261361-62, 261361-63, 261361-64, 261361-65, 261361-66, 261361-67, 261361-68, 261361-69, 261361-70, 261361-71, 261361-72, 261361-73, 261361-74, 261361-75, 261361-76, 261361-77, 261361-78, 261361-79, 261361-80, 261361-81, 261361-82, 261361-83, 261361-84, 261361-85, 261361-86, 261361-87, 261361-88, 261361-89, 261361-90, 261361-91, 261361-92, 261361-93, 261361-94, 261361-95, 261361-96, 261361-97, 261361-98, 261361-99, 261361-100



REVISIONS
DATE 6/28/18
CITY OF RALEIGH
STANDARD DETAIL
BIKE RACK PLACEMENT
B-20.01
NORTH SCALE



SIGHT DISTANCE NOTE:
WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXIST.



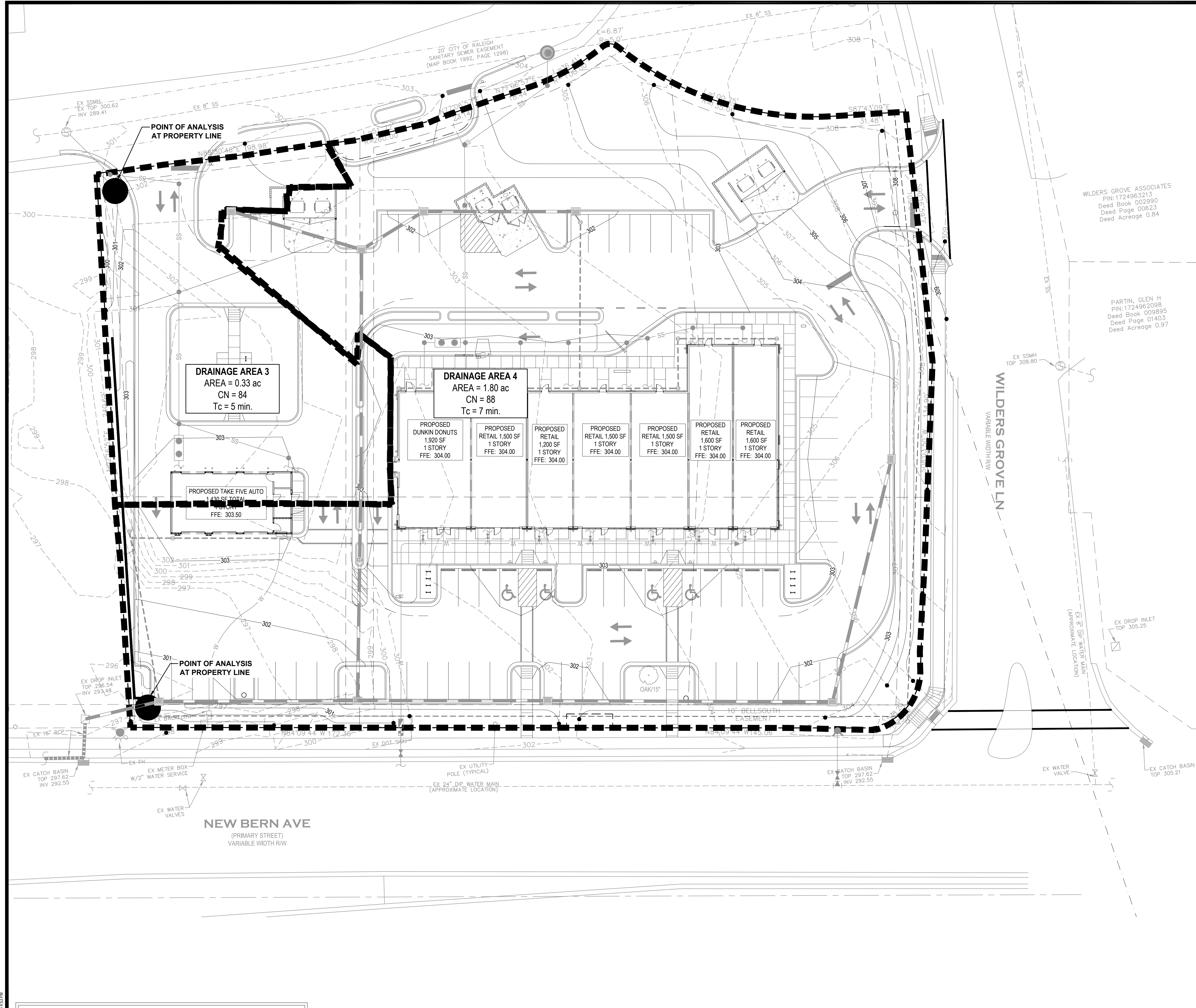
NOT FOR CONSTRUCTION

REVISIONS

NO.	DESCRIPTION	DATE

DATE: _____ FILE NO.: _____
HORZ. SCALE: 1"=20' VERT. SCALE: 1"=4' CNG. SHEET SIZE: 24" x 36"

T (919) 562-2849
F (919) 562-2843
208 S. Fidelity Avenue
Fayetteville, NC 27808

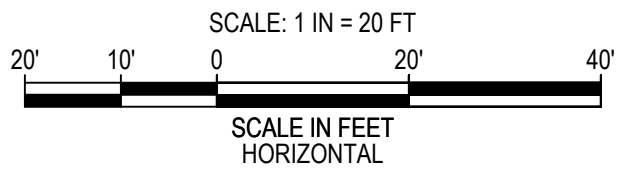


- GENERAL NOTES:**
1. PLANIMETRICS & TOPOGRAPHY SHOWN PER ACTUAL FIELD SURVEY.
 2. SOILS ARE OF HYDROLOGIC GROUP "B" SOILS. SOILS INFORMATION SHOWN PER WEB SOIL SURVEY. SEE CALCULATIONS.
 3. DRAINAGE AREA ONLY INCLUDES ON-SITE DRAINAGE AND OFF-SITE DRAINAGE THAT IS DRAINS THROUGH PROJECT IN THE PRE & POST DEVELOPMENT.
 4. PER CITY OF RALEIGH UDO 9.2.2.E.2 THE PROPOSED CONDITION DOES NOT RESULT IN RUNOFF RATES THAT EXCEED 10%. THEREFORE STORMWATER MANAGEMENT IS NOT REQUIRED. SEE TABLE BELOW.

POA#1 & 3 (HYD #1.3)					
Storm Event	Pre-Development Peak Flow (cfs)	Post-Development Peak Flow (cfs)	Net Change (cfs)	Net Change (%)	
2 yr	1.29	1.13	-0.16	-12%	
10 yr	2.13	1.91	-0.22	-10%	
25 yr	2.62	2.38	-0.24	-9%	

POA#2 & 4 (HYD #2.4)					
Storm Event	Pre-Development Peak Flow (cfs)	Post-Development Peak Flow (cfs)	Net Change (cfs)	Net Change (%)	
2 yr	6.35	6.48	0.13	2%	
10 yr	10.56	10.38	-0.18	-2%	
25 yr	13.07	12.69	-0.38	-3%	

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



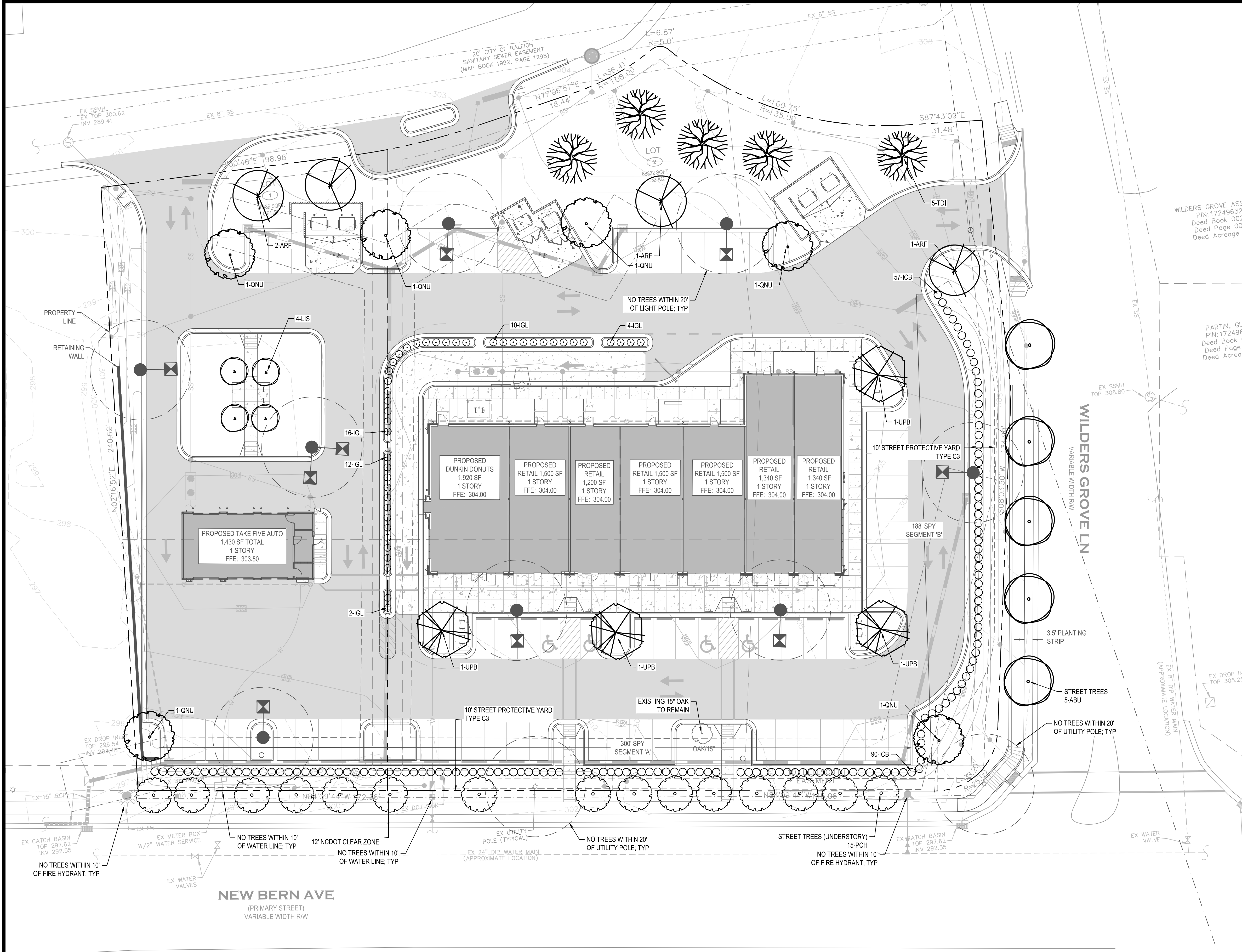
NOT FOR CONSTRUCTION

REVISIONS	
DATE: 10.27.2023	FILE NO: 2207-007
HORIZ SCALE: 1"=20'	CONS. SHEET SIZE: 24" x 36"

**WILDER'S GROVE RETAIL - RALEIGH, NC
POST-DEVELOPMENT DA MAP**

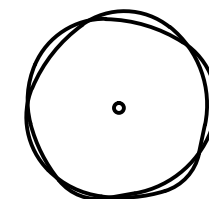
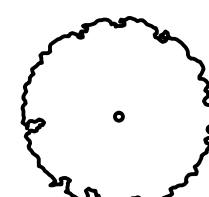
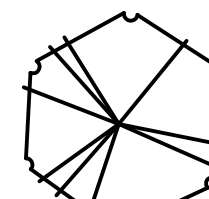
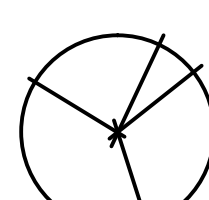
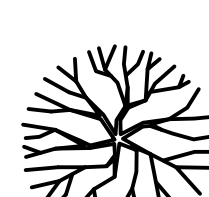
T (919) 552-4949
F (919) 552-2943
208 S. Fidelity Avenue
Fayetteville, NC 27808







PLANT LEGEND:



SHADE TREES

-  ABU - ACER BUERGERANUM
-  QNU - QUERCUS NUTTALLII
-  UPB - ULMUS PARVIFOLIA 'BOSQUE'
-  ARF - ACER RUBRUM 'FRANKSRED'
-  TDI - TAXODIUM DISTICHUM

UNDERSTORY TREES

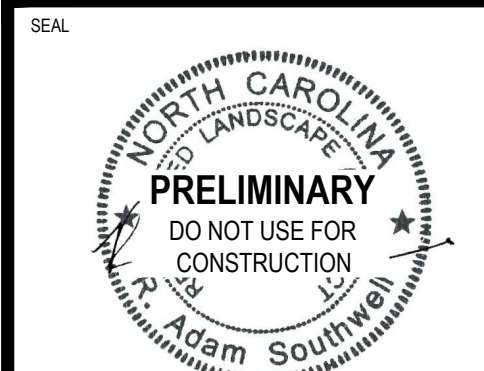
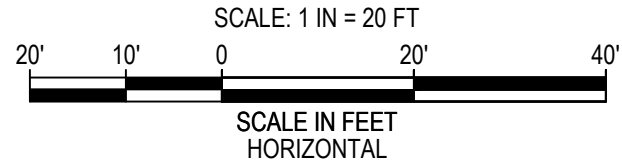
-  PCH - PISTACIA CHINENSIS
-  LIS - LAGERSTROEMIA 'SIOUX'

SHRUBS

-  ICB - ILEX CORNUTA 'BURFORDII NANA'
-  IGL - ILEX GLABRA

CITY OF RALEIGH LANDSCAPE NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS.
2. NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR OR ALTERATION OF ANY BUILDING, STRUCTURE OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
3. THE DEVELOPMENT SERVICES DIRECTOR CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
4. A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE DEVELOPMENT SERVICES DIRECTOR DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE.
5. STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH TYP-03 CITY DETAIL BETWEEN OCTOBER 1 AND APRIL 30. A LANDSCAPE AGREEMENT IS NEEDED IF CO IS REQUIRED OUTSIDE OF THE PLANTING WINDOW. CONTACT URBAN FORESTRY INSPECTOR WITH QUESTIONS.
6. TREE AND SHRUB PLANTINGS SHOULD NOT INTERFERE WITH THE SAFE VEHICULAR AND PEDESTRIAN CIRCULATION ON THE SITE.
7. LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLES OR THE APPROACH TO ANY STREET INTERSECTION.
8. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
9. TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE.
10. NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
11. THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
12. ALL PLANTING AREAS MUST BE STABILIZED FROM SOIL EROSION IMMEDIATELY UPON PLANTING AND MUST BE MAINTAINED FOR THE DURATION OF THE USE.
13. ALL REQUIRED LANDSCAPING SHALL BE ALLOWED TO REACH ITS REQUIRED SIZE AND SHALL BE MAINTAINED AT THAT REQUIRED SIZE.
14. STREET TREES ARE TO BE PROTECTED AND MAINTAINED PER REQUIREMENTS OUTLINED IN CHAPTER 2 OF THE CITY TREE MANUAL.



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

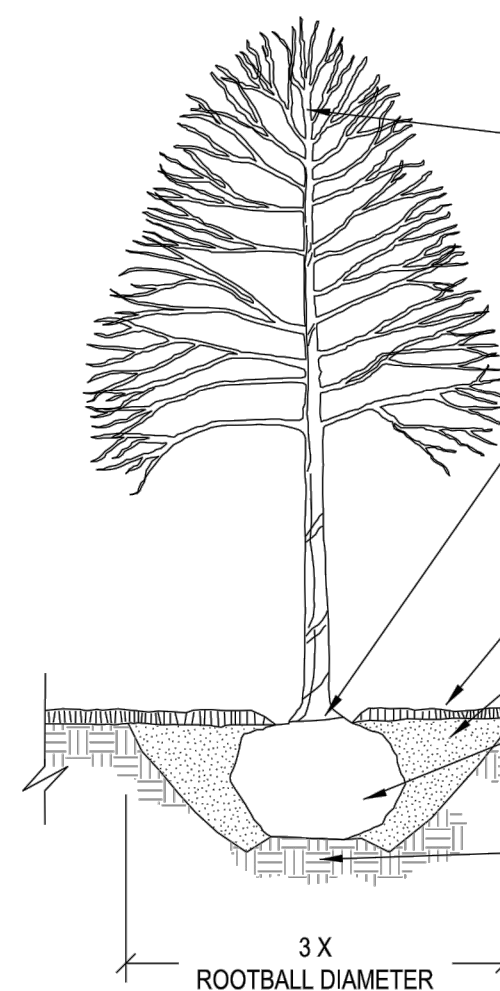
WILDER'S GROVE RETAIL - RALEIGH, NC
LANDSCAPE PLAN

T 919 852-0949
F 919 852-2043
260 S. Fidelity Avenue
Fayetteville, NC 27508



L-01

DATE PLOTTED: 10/20/2023 10:58:15 AM PROJECT: 20230101 WILDER'S GROVE RETAIL LANDSCAPE PLAN



CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER.
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 02/20	NOT TO SCALE
10/2019		
TREE PLANTING DETAIL		
TPP-03		

PLANT SCHEDULE										
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER (MINIMUM)	HEIGHT (MINIMUM)	CONTAINER (MINIMUM)	TYPE	USE	NOTES
SHADE TREES										
ABU	5	Acer buergeranum	Trident Maple	B&B	3"	10'		D	ST	MATCHED / MATURE 40Hx35W
ARF	4	Acer rubrum 'Franksred'	Red Sunset® Red Maple	B&B	3"	10'		D	VUA	MATCHED / MATURE 50Hx40W
QNU	6	Quercus nuttallii	Nuttall Oak	B&B	3"	10'		D	VUA	MATCHED / MATURE 60Hx40W
TDI	5	Taxodium distichum	Bald Cypress	B&B	3"	10'		D	VUA	MATCHED / MATURE 70Hx30W
UPB	4	Ulmus parvifolia 'Bosque'	Chinese Elm	B&B	3"	10'		D	VUA	MATCHED / MATURE 50Hx40W
EXISTING	1	Quercus spp.	Oak		15"	~40'		D	VUA	MATURE 50Hx40W
UNDERSTORY TREES										
LIS	4	Lagerstroemia indica x fauriei 'Sioux'	Sioux Crape Myrtle	B&B	1.5"	6'		D	AMENITY	MATCHED / 3/5 STEM / MATURE 18Hx15W
PCH	15	Pistacia chinensis	Chinese Pistache	B&B	1.5"	6'		D	ST	MATCHED / MATURE 30Hx25W
SHRUBS										
ICB	147	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	CONT.		18"	3 GAL	E	SPY	MATCHED / MATURE 5Hx5W
IGL	44	Ilex glabra	Imkberry Holly	CONT.		36"	7 GAL	E	SCREEN	MATCHED / MATURE 5Hx5W
TYPE / USE LEGEND										
PLANT TYPE: E = EVERGREEN / D = DECIDUOUS										
PLANT USE: ST = STREET TREE / VUA = VEHICULAR USE AREA / SPY = STREET PROTECTIVE YARD / SCREEN = DRIVE-THRU SCREENING / AMENITY = AMENITY AREA										

LANDSCAPE CALCULATIONS:

UDO 7.1.7 VEHICLE PARKING LOT LANDSCAPE

REQUIREMENT: PARKING AREAS WITH FRONTAGE ON ANY PORTION OF A STREET RIGHT-OF-WAY MUST BE SCREENED BY A TYPE C3 STREET PROTECTIVE YARD (SPY)
30 EVERGREEN SHRUBS PER 100 LF

SPY SEGMENT 'A': 300 LF
REQUIRED: 90 EVERGREEN SHRUBS
PROVIDED: 90 EVERGREEN SHRUBS

SPY SEGMENT 'B':

REQUIRED: 188 LF
PROVIDED: 57 EVERGREEN SHRUBS
57 EVERGREEN SHRUBS

REQUIREMENT:

1 SHADE TREE PER ISLAND & NO LESS THAN 1 SHADE TREE PER 2,000 SF OF PARKING AREA

PARKING AREA:

REQUIRED: 40,681 SF
PROVIDED: 20 SHADE TREES
20 SHADE TREES (19 PROPOSED + 1 EXISTING)

UDO 8.4.1 NEW & EXISTING STREETS

WILDERS GROVE LANE (COR)

REQUIRED: 206 LF
SHADE TREES @ 40' O.C. TO BE LOCATED WITHIN THE PLANTING STRIP

REQUIRED:

5 SHADE TREES
PROVIDED: 5 SHADE TREES

NEW BERN AVENUE (NCDOT)

REQUIRED: 317 LF
12' NCDOT CLEAR ZONE SETBACK FROM EDGE OF TRAVEL LANE
UNDERSTORY TREES @ 20' O.C. DUE TO EXISTING OVERHEAD UTILITIES

REQUIRED:

15 UNDERSTORY TREES
PROVIDED: 15 UNDERSTORY TREES



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

October 11, 2021

Adam Southwell
Southwell Design, PLLC
PO Box 37178
Raleigh, North Carolina 27627

Subject: Planting Permit for Wilder's Grove Retail

To whom it may concern:

Please be advised that the planting plans have been conditionally approved for Wilder's Grove Retail at 4209 New Bern Avenue, located in Wake County, North Carolina.

This letter is issuing the Planting Permit per North Carolina Department of Transportation policy.

The following standard provisions are made part of this agreement:

- The permittee shall maintain a clear sight distance for vehicles utilizing driveway connections.
- The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
- Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
- Plants to be first class quality of their species.
- A copy of this permit must be on the worksite at all times while the work is being performed.
- All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel way.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
ROADSIDE ENVIRONMENTAL UNIT
1513 MAIL SERVICE CENTER
RALEIGH, NC 27609-1513

Telephone: (919) 816-9290
Fax: (919) 233-6891
Website: www.ncdot.gov

Location:
200 ROSCOE TRAIL
RALEIGH, NC 27607

7. The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Devices (MUTCD). No work shall be performed in the Right of Way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for encroachment operations.

8. NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation.

9. Two-way traffic shall be maintained at all times.

10. No lane of traffic shall be closed or restricted between the hours of 6:00 AM - 9:00 AM and 4:00 PM - 7:00 PM Monday - Friday. Any violation of these hours will result in termination of the encroachment agreement.

11. NCDOT reserves the right to further limit, restrict, or suspend operations within the Right of Way if, in the opinion of NCDOT, safety or traffic conditions warrant such action.

12. The Traffic Services Supervisor shall be notified at (919) 477-2914 in Durham prior to beginning work on the Right of Way if there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work zone. Costs to relocate, replace, or repair NCDOT signs, signals, or associated equipment shall be the responsibility of the Encroacher.

13. The applicant will be required to notify the Roadside Environmental Technician, **Mark Conner at (919) 816-9290** prior to beginning and after completion of work.

14. It shall be the responsibility of the Encroacher to determine the location of other utilities within the encroachment area. The Encroacher shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.

15. At the end of each working day, equipment shall be parked a minimum of 30 feet from the edge of any travel lane and be barricaded in order not to have any equipment obstruction within the clear recovery zone.

16. The applicant is responsible for identifying project impacts to waters of the United States (wetlands, intermittent streams, perennial streams and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into waters of the United States requires authorization from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain pertinent permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. Additional information can be obtained by contacting the USACE or NCDWQ.

17. The applicant is responsible for complying with the Neuse and Tar-Pamlico Riparian Buffer Rule as regulated by the NCDWQ. The Rule regulates activity within a 50-foot buffer along perennial streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ.

18. The applicant is responsible for avoiding impacts to federally protected species during project construction. Bald eagle, Michaux's sumac, smooth coneflower, dwarf wedge-mussel, harperella, red-cockaded woodpecker and tar spiny-mussel are federally protected species that have been identified within NCDOT right-of-way in Durham, Person, Granville, Wake, Franklin, Vance, and Warren counties. Additional information can be obtained by contacting the North Carolina Natural Heritage Program or the United States Fish and Wildlife Services.

19. In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee (municipality/civic group/individual) upon notification by the Division of Highways, entirely at the expense of the permittee.

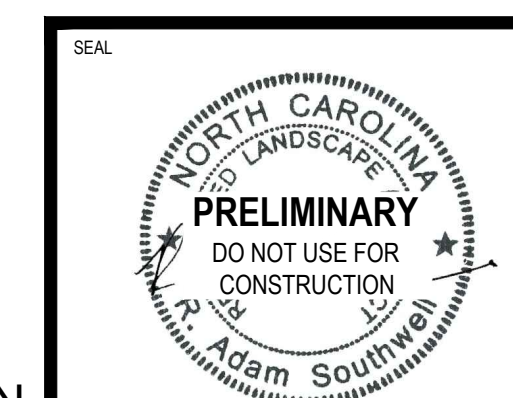
If you should need further assistance, please contact Corey Sudderth by phone at 919-816-9290 ext. 235 or by email at csudderth@ncdot.gov.

Sincerely,

Brandon H. Jones, PE
Division Engineer

BHJ/clj

Cc: Corey Sudderth, Roadside Environmental Engineer
File



NOT FOR CONSTRUCTION

Curry
ENGINEERING

L-02

WILDER'S GROVE RETAIL - RALEIGH, NC
LANDSCAPE DETAILS

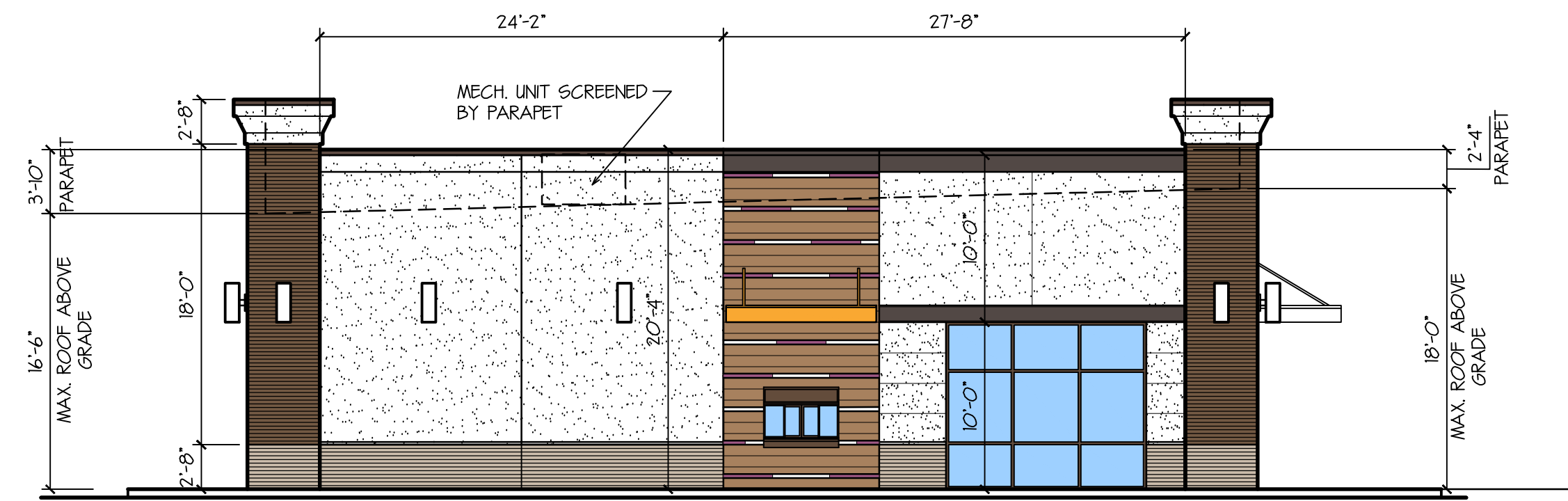
200 S. Fidelity Avenue
Fayetteville, NC 27808
T (910) 852-0909
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REVISIONS

HORIZ. SCALE: 1" = 10' / 2023
DATE: 10/17/2023
FILE NO.: 2021-007
ORIG. SHEET SIZE: 24 x 36

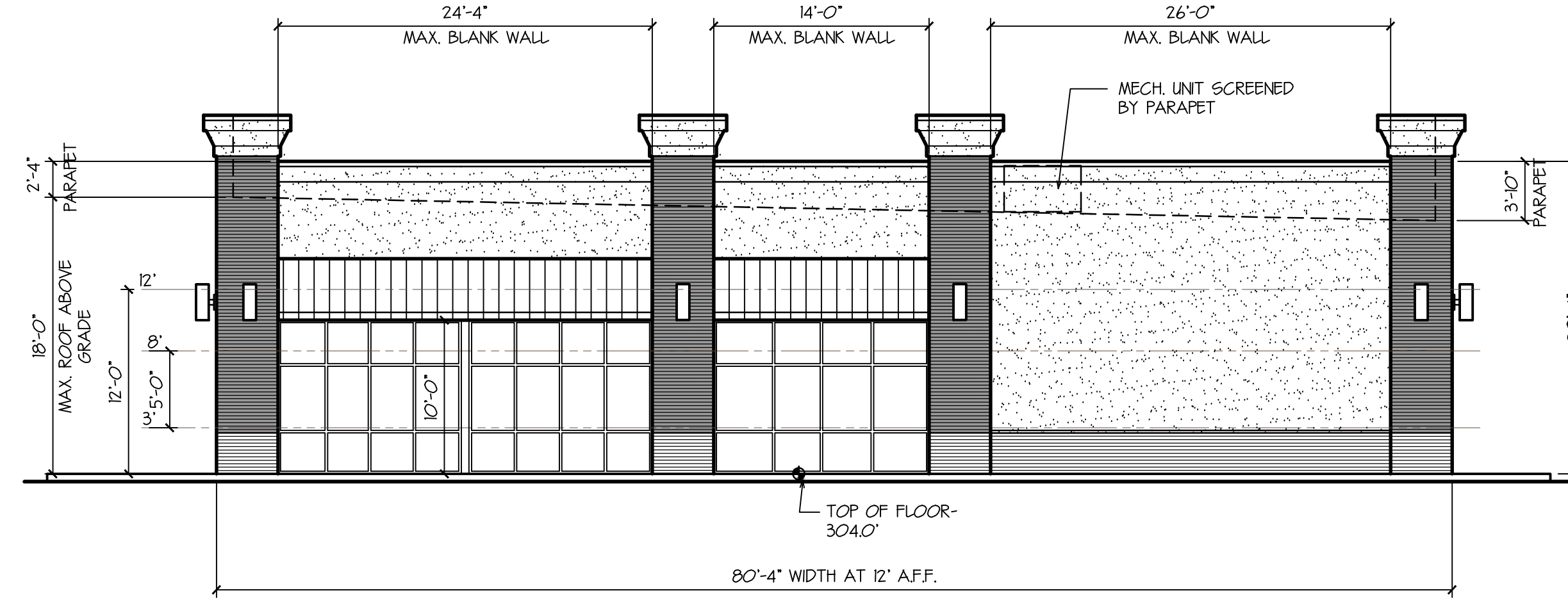
NOTE
 ALL HVAC EQUIPMENT IS ROOF MOUNTED. ALL ROOF MOUNTED EQUIPMENT IS SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY AND ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS.

ALL SIGNAGE TO BE PERMITTED SEPARATELY



B1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

U.D.O. REQUIREMENTS-
 HEIGHT - 90' ALLOWED -- 18'-4" MAX. ROOF HEIGHT ABOVE AVERAGE GRADE
 TRANSPARENCY - MIN. 33% REQUIRED -- 33% PROVIDED
 BLANK WALL - 30' MAX -- 26'-0" PROVIDED

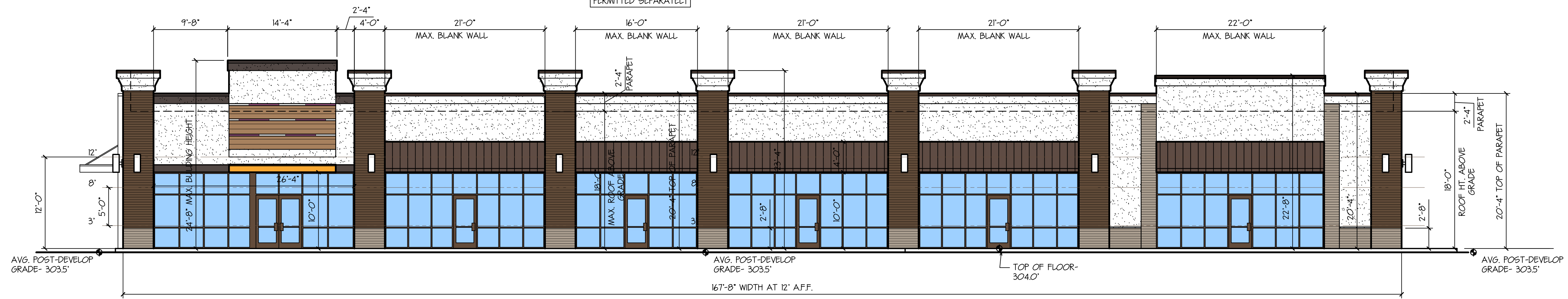


B3 EAST ELEVATION - WILDERS GROVE LANE
 SCALE: 1/8" = 1'-0"

TRANSPARENCY - WILDERS GROVE LANE ELEVATION
 PER SEC. 32.5, GENERAL BUILDING-
 80'-4" LENGTH x 12'-0" HEIGHT = 964 S.F. x 33 = 318 S.F. REQUIRED
 PROVIDED OVERALL TRANSPARENCY -- 389.3 S.F. PROVIDED (39.7% OF WALL BELOW 12')
 PROVIDED TRANSPARENCY BETWEEN 3' & 8' -- 196.6 S.F. PROVIDED (50% OF OVERALL TRANSPARENCY)
 NO BLANK WALL GREATER THAN 30' (26'-0" PROVIDED)

BUILDING LOT 3 U.D.O. REQUIREMENTS-
 HEIGHT - 90' ALLOWED -- 18'-4" MAX. ROOF HEIGHT ABOVE AVERAGE GRADE
 TRANSPARENCY - MIN. 33% REQUIRED -- 64% PROVIDED
 BLANK WALL - 30' MAX -- 28'-8" PROVIDED

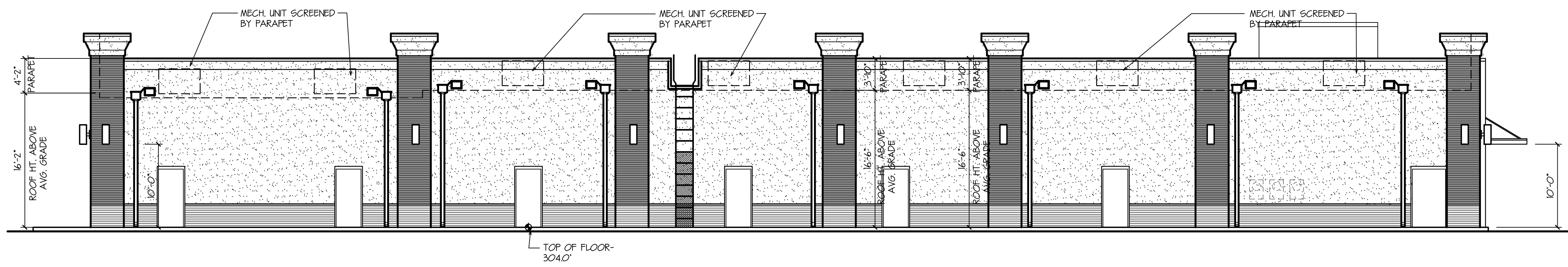
ALL SIGNAGE TO BE PERMITTED SEPARATELY



C1 SOUTH ELEVATION - NEW BERN AVENUE
 SCALE: 1/8" = 1'-0"

TRANSPARENCY - NEW BERN AVENUE ELEVATION
 PER SEC. 32.5, GENERAL BUILDING-
 167'-8" LENGTH x 12'-0" HEIGHT = 2,012 S.F. x 33 = 664 S.F. TRANSPARENCY REQUIRED
 PROVIDED OVERALL TRANSPARENCY -- 1273.4 S.F. PROVIDED (63% OF WALL BELOW 12')
 PROVIDED TRANSPARENCY BETWEEN 3' & 8' -- 636.7 S.F. PROVIDED (50% OF OVERALL TRANSPARENCY)
 NO BLANK WALL GREATER THAN 30' (22' PROVIDED)

NOTE
 ALL HVAC EQUIPMENT IS ROOF MOUNTED. ALL ROOF MOUNTED EQUIPMENT IS SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY AND ADJACENT PUBLIC RIGHT-OF-WAY BY PARAPET WALLS.



D1 NORTH ELEVATION - NOT STREET FACING
 SCALE: 1/8" = 1'-0"

Seals

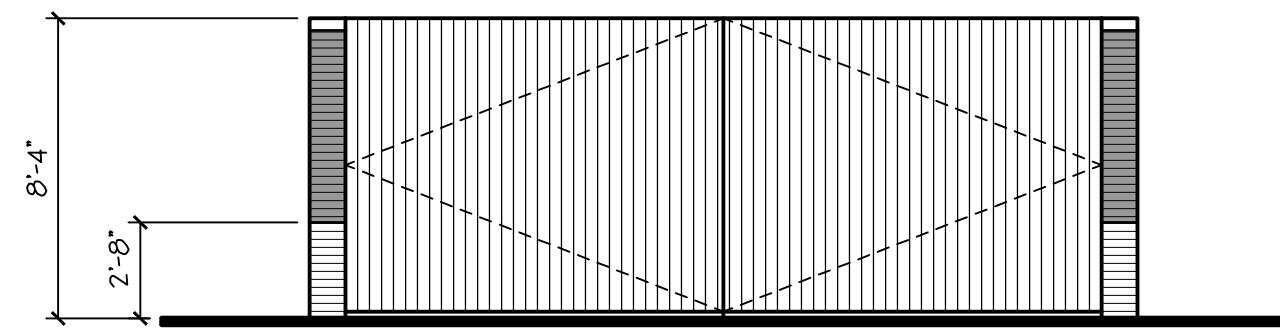
No.	Revision	Date

21021A-301.dwg
 File Name: Drawn By:
 Date:
 CDP

Riddle Commercial Properties/
NEW SHOPS AT WILDER'S GROVE,
 NEW BERN AVE.
 Raleigh, North Carolina

Sheet Title
BUILDING ELEVATIONS

Project No.
 21021
 Revision:
 Drawing No.
 A A-3.01



C2 DUMPSTER ENCLOSURE ELEVATION
A-3.02 SCALE: 3/16" = 1'-0"

Christopher Patrick
Architect
4517 KNIGHTSBRIDGE WAY, RALEIGH NC, 27604
(919) 665-1490

NEW SHOPS AT
WILDER'S GROVE
FOR RIDDLE COMMERCIAL PROPERTIES
NEW BERN AVENUE
RALEIGH, NORTH CAROLINA

Seals



No.	Revision	Date

No.	Issued	Date

21021-A-3.02.dwg CDP
File Name: Drawn By

Riddle Commercial Properties/
NEW SHOPS AT
WILDER'S GROVE,
NEW BERN AVE.
Raleigh, North Carolina

Sheet Title
BUILDING ELEVATIONS

Project No.
21021

Revision	Drawing No.
E	A-3.02



1 NORTH ELEVATION
Scale: 1/4"=1'-0"



2 EAST ELEVATION
Scale: 1/4"=1'-0"



3 SOUTH ELEVATION - FACING NEW BERN AVE
Scale: 1/4"=1'-0"




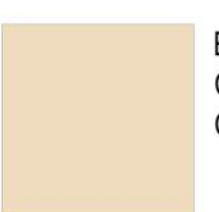
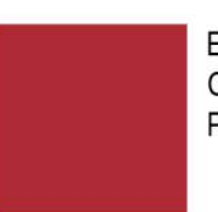


4 WEST ELEVATION
Scale: 1/4"=1'-0"

NOTE: U.D.O. REQUIREMENTS
HEIGHT - 3 STORY MAX - 1 STORY PROVIDED
TRANSPARENCY - MIN. 33% REQUIRED BETWEEN 0'-12'
TRANSPARENCY - MIN. 50% REQUIRED BETWEEN 3'-8'

NOTE: TRANSPARENCY - NEW BERN AVE ELEVATION
HEIGHT - 3 STORY MAX - 1 STORY PROVIDED
TRANSPARENCY - MIN. 33% REQUIRED BETWEEN 0'-12' - 43% PROVIDED
TRANSPARENCY - MIN. 50% REQUIRED BETWEEN 3'-8' - 64% PROVIDED

MATERIAL LEGEND

	PREFINISHED ROOF DRAIN, SCUPPER, DOWNSPOUT, ENTRY DOOR, COLOR TO MATCH SW 6076 TURKSIH COFFEE		E.I.F.S. WAINSCOT - COLOR TO MATCH SW 6097 STURDY BROWN		E.I.F.S. - PRIMARY. COLOR TO MATCH SW 7693 STONEBRIAR		E.I.F.S. ACCENT BAND AND BRACKETS. COLOR TO MATCH SW 7678 COTTAGE CREAM		E.I.F.S. SECONDARY COLOR, METAL COPING. COLOR TO MATCH SW 6871 POSITIVE RED
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TAKE 5 - WILDERS GROVE, NC

PROPOSED ELEVATIONS - RJa Project #2235 - 05/17/2022

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A-3.03