

Case File / Name: ASR-0078-2021 DSLC - GARNER TOWNS

LOCATION:This 1.71 acre assemblage of five existing lots is located between Garner Road and
Sawyer Road and South McMakin Street. The associated addresses are 1313,
1315, 1317 Garner Road, 1408 and 1412 Sawyer Road.REQUEST:The applicant is requesting to develop this property for 102,779 square foot of
multi-unit living space which will accommodate 28- 3 bedroom units. The
development will be located on one lot in a Residential-10 zoning district and
include 8 buildings of 3-stories height.DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 30, 2022 by AMERICAN CONTRACT SERVICES INC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- 1. Demonstrate compliance with UDO Section 7.2.5.D regarding screening for mechanical equipmen
- 2. Building Elevations Demonstrate compliance with UDO Section 2.2.7.D (Height) and UDO Section 2.2.7.E (Side Wall Length).

Engineering

3. The proposed sidewalk shown going towards connection with McMakin would need to be in the right of way with a transition in the sidewalk to keep it in the right of way from the proposed site to the more narrow section of right of way approaching the intersection of Sawyer Road and McMakin.

Stormwater

- 4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑ Utility Placement Deed of Easement Required

Right of Way Deed of Easement
 Required

☑ <u>**RECORDED MAP(S)**</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

- 1. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

3. Infrastructure Construction Plans (spr submittal) must be approved by the City of Raleigh Public Utilities Department for the private sewer extension.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



Case File / Name: ASR-0078-2021 DSLC - GARNER TOWNS

The following items must be approved prior to the issuance of building permits:

General

- 1. A recombination map recombining all the existing parcels into a single lot shall be recorded prior to issuance of a building permit.
- 2. A demolition permit shall be obtained for the existing houses on site and the permit number(s) shall be shown on the recombination map to be recorded.
- 3. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

- 6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- 8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

- A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Garner Road and 4 street trees along Sawyer Road.
- 10. A public infrastructure surety for 9 street trees shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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The following are required prior to issuance of building occupancy permit:

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. All street lights and street signs required as part of the development approval are installed.
- 3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
- 4. Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater

5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: November 24, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

07/28/2022 Signed: Date:

Development Services DiffDesignee

Staff Coordinator: Kasey Evans

GARNER TOWNS

1313, 1315, 1317 GARNER ROAD, 1408 & 1412 SAWYER ROAD

CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW SUBMITTAL ASR-0078-2021

Raleigh

SUBMITTED ON: 06.30.2022

Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting. Office Use Only: Case #: _____ Planner (print):

tion 10.2.8. as amended a Site Plan Tier is needed		
Portal. (Note: There is a		

Site Plan Tier:	Tier Two Site Plan	Tier Three S	ite Plan 🖌
	Building Type		Site Transaction History
	Detached Attached Apartment Townhouse	General Mixed use Open lot Civic	Subdivision case #: Soopinglikketch plan case #: Confficate of Appropriateness #: Board of Adjustment #: Zoning Case #: Administrative Alternate #:

nits? Yes 🖌 No 🗌

Property address(es): 1313, 1315, 1317 GARNER ROAD, 1408 & 1412 SAWYER ROAD Site P.I.N (s): 1703-93-4013, 1703-92-4926, 1703-92-4829, 1703-93-6013, 1703-92-6925 Please describe the scope of work. Include any additions, expansions, and change of use PROPOSED MULTI-UNIT LIVING DEVELOPMENT

Current Property Owner/Developer Cont NOTE: please attach purchase agreen		DESIGN BUILD - COBURN MURRAY - DEVELOPER nitting this form.
Company: REDEEMING DEVELOPMENT	GROUP, LLC	Title: COBURN MURRAY - OWNER
Address: 618 CUMBERLAND STREET, R	ALEIGH, NC 276	112
Phone #: 919-473-6461	Email: COE	URNMURRAY@YAHOO.COM
Applicant Name: LUKE PERKINS, PE		
Company: SWIFT PARTNERS, PLLC	Address:4	17 FAYETTEVILLE STREET, STE 200, RALEIGH, NC 27601
Phone #: 828-735-1862	Email: LUKE.PERKINS@SWIFT-PARTNERS.COM	

Page 1 of 2

Digitally signed by Daniel Stegall@raleighnc.gov Daniel.Stegal@raleighnc.gov E=Daniel.Stegal@raleighnc.gov CN=Daniel.Stegal@raleighnc.gov Reason: I am approving this document Date: 2022.07.26 12:36:58-04'00'

	Sheet List Table	
Sheet Number	Sheet Title	
00.00	COVER SHEET	
O0.20	GENERAL NOTES	
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN	
C3.00	SITE PLAN	
C3.10	AMENITY AREA PLAN	
C5.00	GRADING AND DRAINAGE PLAN	
C5.10	SCM DETAILS	
C5.20	SUBGRADE DETAILS	
C8.00	UTLITY PLAN	
C9.00	SITE DETAILS	
L1400	PLANTING PLAN	
A1	BUILDING A ELEVATION	
A2	BUILDING A ELEVATION	
A3	BUILDING A ELEVATION	
A4	BUILDING A ELEVATION	
A5	SUILDING & ELEVATION	
/6	BUILDING B ELEVATION	
A7	BUILDING B ELEVATION	
A8	DUILDING B ELEVATION	
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RIGHT-OF-WAY OBSTRUCTION NOTES:

- PRICE TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR BIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES, PLEASE DREET ANY QUESTIONS TO MONTORWAYSERVICES PLALEDING LOW. 2. THE STREET, UANE, SDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NODOT STREETS WITHIN RALEIGHS JURISDICTION.
- A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT OF WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE INKINEERING INSPECTIONS COORDINATOR TO REVEW THE SPECIFIC COMPONENTS OF THE APPROVED PULL AND ENSURE ALL PERMITS ARE ISSUED.
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- 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION

GENERAL NOTES

- ALL MATERING AND VEHICLE OF CONSTRUCTION ANALLISE IN COMPLANCE WITH THE OFFICE OF STATE CONSTRUCTORS DEPARTMENT OF NORMACI, UNALLISEM AND ALL OFFICE AND ALL OFFICE OF STATE CUDE, INS. ALL UTLIFY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURIDICTIONAL STANDARDS AND SPECIFICATIONS.
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- ALL SUB-BUFFACE UTUTIES DENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMAT LCOLTON BASED ON BUANTY INFORMATION GATHERED FROM HELD INSPECTION AREDVANDOR ANY OTHER APPLICADE LCOLTON BASED ON BUANTY INFORMATION GATHERED FROM HELD INSPECTION AREDVANDOR ANY OTHER PROFESSION TO ANY ODDERSYNDES DO CONTUNE LTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNERS REPRESENTATIV AT THE CONTRACTOR'S EXPRESE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REDUKEMENTS WHICH MUST BE NET UNDER THIS CONTRACT.
- THE OWTRACTOR SHULL MAINTAIN VARIALIT DRIVINGE TO BECORD THE ACTUAL LOCATEN OF ALL PERING PROPE TO DRIVENIATY. VIOLE DA IMANGE CANADES, IND VARIADENCE DI LARDANCE CANADES. DRIVING SHALL DE PROVIED TO THE OWERTS REPRESENTATIVE AT REDULAR INTERVALS, OR AS REGUESTED THROUGHOUT THE PROLECT FOR DRICORD CEPTING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTACTOR, DETAILS OF SUCH DEPARTURES NON EXAMINES TO SHALL BE SUBMITTED TO THE OWNERS REPRESENTATIVE OR REVIEW. NO SUBARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE MITHOUT THE EXPRESS WAITTEN PERMISSION OF THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTETY ENER REQUI COMPLETE MY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDANTION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK
- THE CONTRUCTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WAST MATERIALS AND RUBBH CAUSED BY THE CONTRACTOR. ALL DEBIIS SHALL BE REMOVED FROM THE PROJECT STITL ON A DRAF 19495.
- 11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- RCADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (IN:000 LIB) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

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RKING DATA: REQUIRED PARKING:

PROPOSED PARKING:

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SITE ADDRESS: COUNTY:

PARCEL PIN #:

PARCEL OWNER PARCEL AREA TOTAL SITE GROSS ACREAGE TOTAL SHE GROUSS ACREAGE RIGHT-OF-WAY DEDICATION: NIT A CREAGE: CURRENT ZONING: PROPOSED ZONING EXISTING LAND USE: GARNER TOWN 1313, 1315, 1317 GARNER ROAD, 1408 & 1412 SAWY WAKE 1703-03-4013, 1703-02-4926, 1703-02-4699, 1703-03-6013, 1703-02-6025 GARNER & SAWYER LLC 1.71 AC / 74,965 8F 1.71 AC / 74,965 8F 0.095 AC / 4,120 SI 1,615 AC / 70,445 SF R-10 SINGLE FAMILY MULTEUNIT LIVING N/A N/A APARTMENT 4515STORIES TBD 18D 3 STORIES 102,779 SF 1 0-17 AC / 7,500 S 67 80 (3) RECROCAN 80 (3) RECROCAN 80 (4) RECROCAN 80 (4) RECROCAN 80 (4) RECRACAN 80 (4) RECRACAN 80 (4) RECRACAN 81 130 AC / 43,944 SF 0.16 AC / 7,045 SF; ADA (50%); 3,522 SF / 0,08 AC 0.16 AC / 7,075 SF; ADA (50%); 3,852 SF / 0,08 AC

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SITE IS SUBJECT TO RESIDENTIAL INFILL RULES, UDO SECTION 2.2.7. SETBACK TO DETERMINED BY COMPARATIVE SAMPLE OF 4 CLOSEST PRINCIPAL BUILDINGS, SE CARVER ROAD CALCULATIONS THIS SHEET. SAWYER ROAD DOES NOT OUALIFY DUE TO INSUFFICIENT SAMPLE AND THUS, DEFAULTS TO UNDERLYING ZONING REQUIREMENTS.

EXEMPTIONS

- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH TH CITY OF RALEIGH'S UNIFIED DEVELOPMENT CODE SECTION 9.1.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.
 - RE: ASR-0078-2021 Garner Road Towns Compliance Letter
- Staley, Marion <Marion.Staley@raleighnc.gov>
- Fri UN20211155AA for Sub/Cumpler coshell-complexons/BMS Code Compliance DL </BSCodeComplance@unleighnc.gov-Cc: StragL Doublel </Bmsl2Baylelinetering-procession (Sang Vaseg Sub-straßmätighnc.gov-Tank-you, This plan meets the requirements of the Solid Waste Collection Design Manual. It is approved to move forward in the Planning Process.

Kind Regards, Marion

Marion O. Staley Code Compliance Supervisor Code Compliance Division City of Raleigh – Solid Waste Services 919-996-6940 - Office 919-219-5437 - Cell





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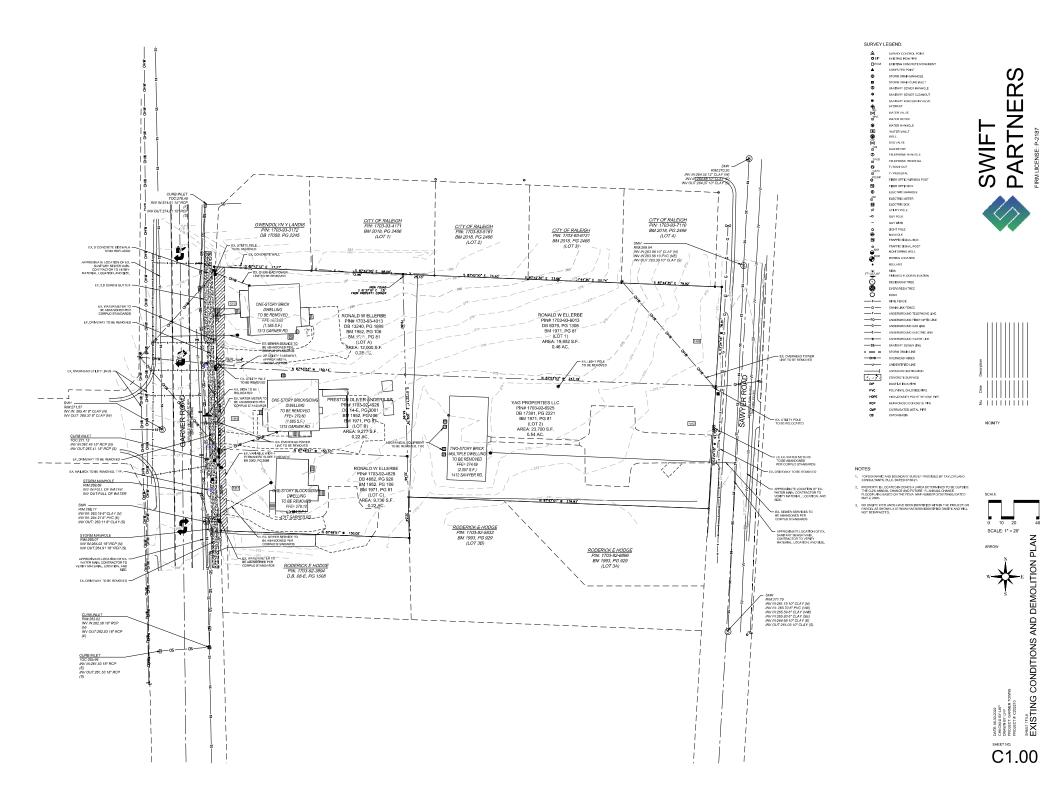
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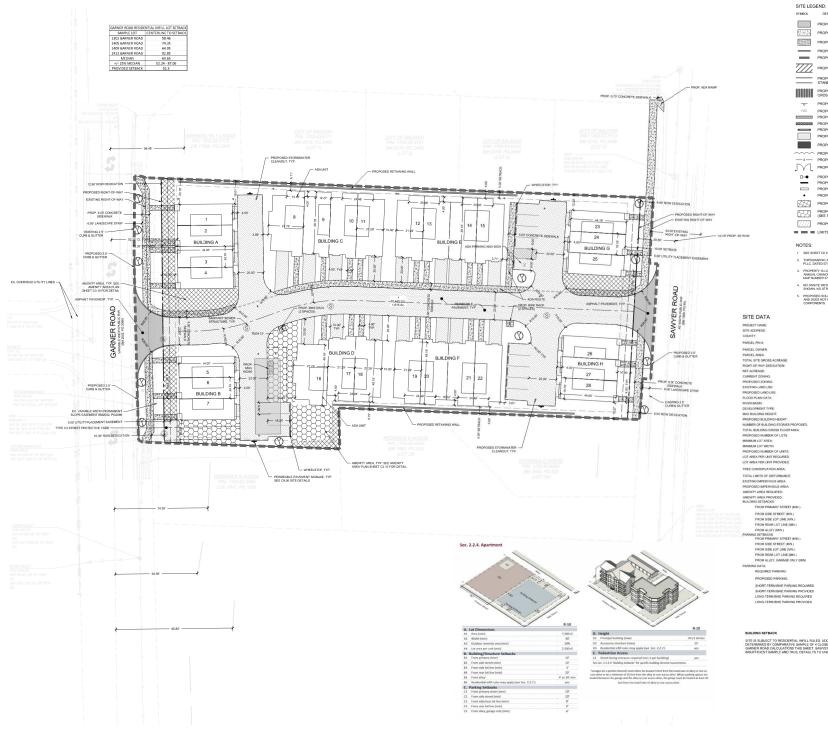


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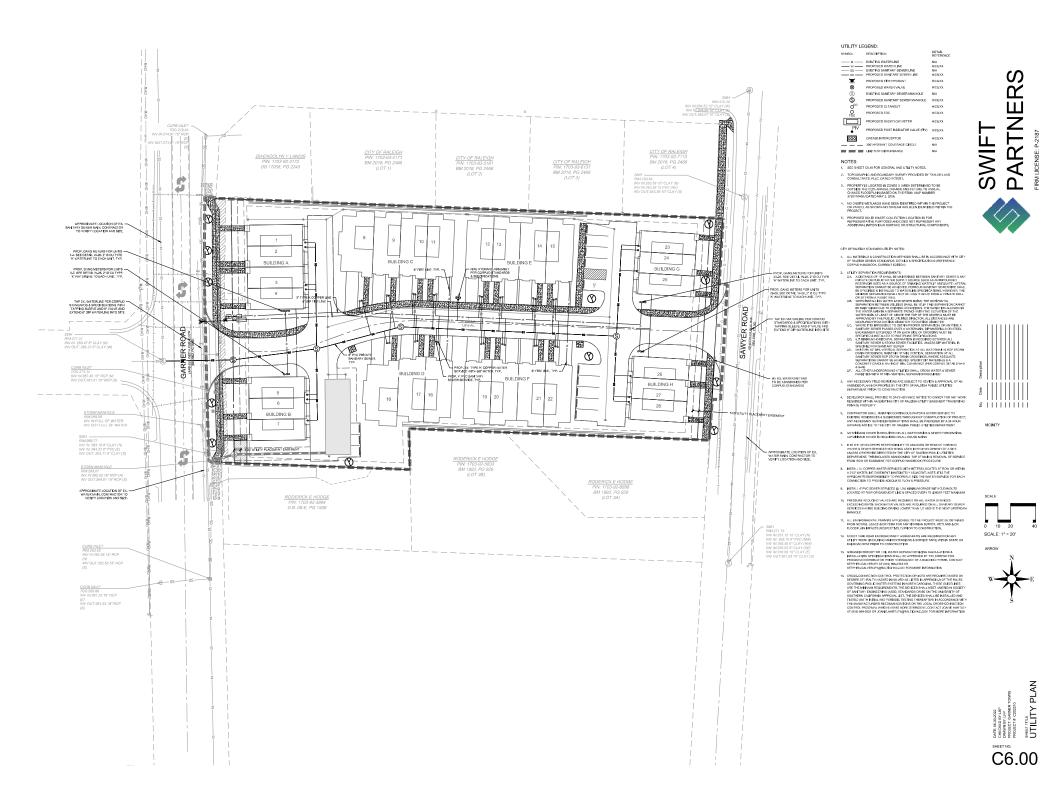
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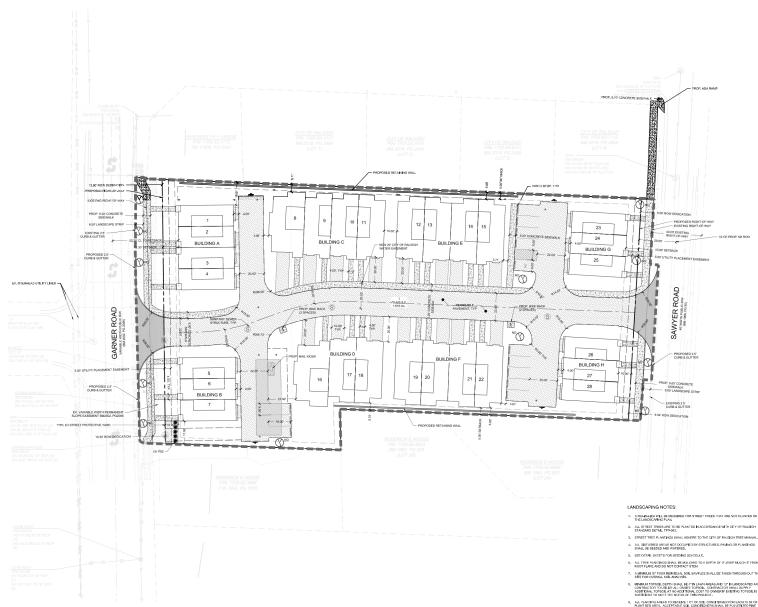
SCALE

10 20 SCALE: 1" = 20'

2 | | | | | | | | |

- 1. SEE SHEET CO.10 FOR GENERAL AND SITE NOTES.
- TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY TAYLOR LAND CONSULTANT PLLC, DATED 07/30/21.
- PROPERTY IS LOCATED IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEM MAP NUABER 3720THX001 DATED MAY 2, 2006.
- NO ONSITE WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN, NO STREAM HAS BEEN IDENTIFIED WITHIN THE PROJECT.
- PROPOSED SOLID WASTE COLLECTION LOCATION IS FOR REPRESENTATIVE PURPOSES AND DOES NOT REPRESENT ANY ADDITIONAL IMPERVICUS SURFACE (R STRUCTURAL COMPONENTS
- GARNER TOWNS 1513, 1315, 1317 GARNER ROAD, 1408 & 1412 SAWYER ROAD WAKE 1703-93-4013, 1703-92-4926, 1703-92-4829, 1703-93-6013, 1703-92-6925 GARNER & SAWYER LLC 1.71 AC / 74,565 SF 1.71 AC / 74,565 SF 0.095 AC / 4,120 SF 1.615 AC / 70,445 SF R-10 R-10 SINGLE FAMILY MULTI-UNIT LIMING NIA NIA APARTMENT 45'/3 STORIES TBD 3 STORIES 102,779 SF 1 0.17 AC / 7,500 SF C 117 AU / 200 BP 60 70 20 (0 AC / 2200 BP C 00 AC / 2200 BP 10 AC / 2200 BP 10 AC / 2200 BP 10 AC / 77 AD SP 40 AC / 17 AD SP 10 AC / 42 ASH SP 10 AC / 42 REQUIRED CARNER RD: SEE NOTE BELOW, SAWYER RD: 10, PROVIDED: 10' REQUIRED: 10, PROVIDED: NA REQUIRED: 5, PROVIDED: NA REQUIRED: 4, OR 20, PROVIDED: NA REQUIRED: 4 OR 20, PROVIDED: 4' REQUIRED: 10' REQUIRED: 10' REQUIRED: 0' REQUIRED: 3' REQUIRED: 4' 56 SPACES (2 SPACES PER UNIT) 56 SPACES (BUILDINGS 34: ONE GARAGE, ONE DRIVEW) BUILDINGS 1, 2, 7, 8: ONE GARAGE, ONE SURFACE) 4 SPACES (1 SPACE/20 UNITS, 4 MIN.) 4 SPACES NONE NONE
- STE IS SUBJECT TO RESIDENTIAL INFILL RULES, UDO SECTION 2.2.7. SETBACK TO BE DETERMINED BY COMPARATIVE SAMPLE OF 4 CLOSEST PRINCIPAL BUILDINGS. SEE GARINER ROAD CALCULATIONS THIS SHEET. SAVYER ROAD DOES NOT QUALITY DUE TO INSUFFICIENT SAMPLE I AND THIS. DEFAULT ST TO INDER IN YOUR COMING RECOMPLETERMINTS.
- SITE PLAN DATE: 06:30.2022 CHECKED BY:LAP DRAWN BY:LFP PROJECT: GARNER TO PROJECT #: C202210 SHEET NO. C3.00





KEY QUANTITY

NO 12

P\$2

BOTANICAL NAME

SHADE TREES

QUERCUS NUTTALLI

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COMMON NAME

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NOTES: 1. SEE SHEET OL 10 FOR GENERAL AND SITE NOTES.

SITE LEGEND: SYMBOL

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DESCRIPTION PROPOSED BUILDING PROPOSED CONCRETE SIDEWALK

PROPOSED PERMEABLE PAVERS

PROPOSED CURB & GUTTER PROPOSED STOP BAR

- TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY TAYLOR LAND CONSULTANTS, PLLC, DATED 07/30121.
- PROPERTY IS LOCATED IN ZONES X (AREA DETERVINED TO BE OUTSIDE THE 0.2% ANNUAL CHARGE AND FUTURE 1% ANNUAL CHANCE FLOODPLAIN) BASED ON THE FEM MAP NUMBER 3720170AX01 DATED MAY 2, 2006.
- NO ONSITE WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN, NO STREAM HAS BEEN IDENTIFIED WITHIN THE PROJECT.
- PROPOSED SOLID WASTE COLLECTION LOCATION IS FOR REPRESENTATIVE PURPOSE AND DOES NOT REPRESENT ANY ADDITIONAL IMPERVICUS SURFACE OR STRUCTURAL COMPONENTS.

LANDSCAPING REQUIREMENTS:

- CURRENT ROUGH ANTHONE 2-LAVEL, OWNERD STREETSCAPE REQUERTERST: TREE CREATERSCAPE REQUERTERST: TREE AND THE CONTRACT AND ANTICAL ANTICAL ANTICAL ANTICAL THE CONTRACT AND ANTICAL ANTICAL ANTICAL ANTICAL THE CONTRACT AND ANTICAL ANTICAL ANTICAL ANTICAL ANTICAL THE CONTRACT ANTICAL ANTICAL ANTICAL ANTICAL ANTICAL THE CONTRACT ANTICAL ANTICAL
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- TREE CONSERVATION AND LANDSCAPING NOTES: THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF PALEISH UNFIED DEVELOPMENT ORDINANCE SECTION 8.1.2 TREE CONSERVATION APPLICABILITY.
- 2. THE TREE MPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLAN TREES IN THE PUBLIC RIGHT-OF-WAY.

PLANTING REQUIREMENTS





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PLANTING PLAN



- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM
- A MINIMUM OF FOUR INDIVIDUAL SOL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOL, AVALYSIS.
- MININUM TOPSOL DEPTH SHALL BE (* N LAWN AREAS AND 12" IN LANDSCAPED AREAS. CONTRACTOR TO UTILIZE ALL ONSITE TOPSOL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOL AT NA ADDITIONAL COST TO OWNER IN EXISTING TOPSOL IS NOT SUPFICIENT TO MEET THE NEEDS OF THE PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOL CONDITIONERS SHALL BE PULVERIZED PINE BANK JEAT MORS OF SHEPPIDE/OWED/STED LEAVES.
- 10. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION. 11. CONTRACTOR TO VERIFY GUARTITIES OF PLANTINGS AS SHOWN, PLANTINGS INDICATED ON PLANE SHALL PREVAIL OVER QUARTITIES INDICATED IN PLANT LIST IF DISCIEPANCIES ANGE.
- 12. ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- 13. THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD FROM HOLE BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- 15. ALL TREES, WHEN PLANTED, SHALL HAVE THE SAVE RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- 16. LANDSCAPING SHOWN MEETS REQUIREMENTS. 17. ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL LANDSCARING SHALL BE GLARINITEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE, ANY PLANTINGS NEEDING REPLACEMENT WILL BE GUARANTEED FROM THE TIME OF REPLACEMENT IF AFTER INNL ACCEPTANCE.

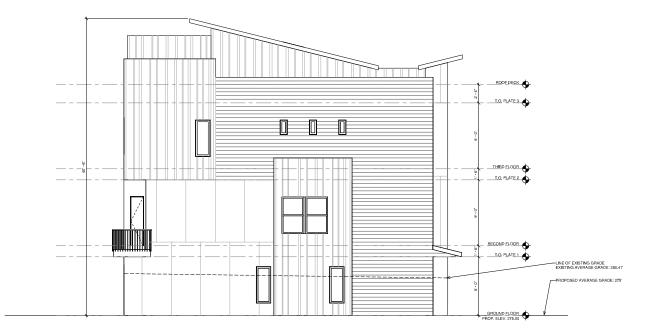
- PREPARATION:
 - - - - SHEET NO. L1.00







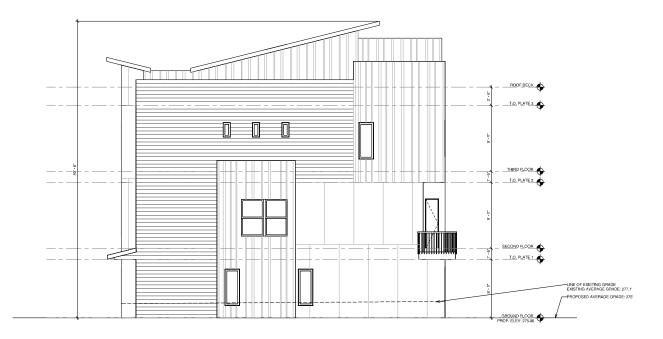
BUILDING A - WEST ELEVATION



BUILDING A - NORTH ELEVATION



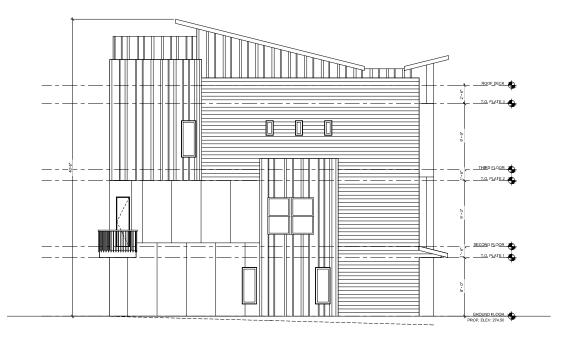
BUILDING A - EAST ELEVATION



BUILDING A - SOUTH ELEVATION



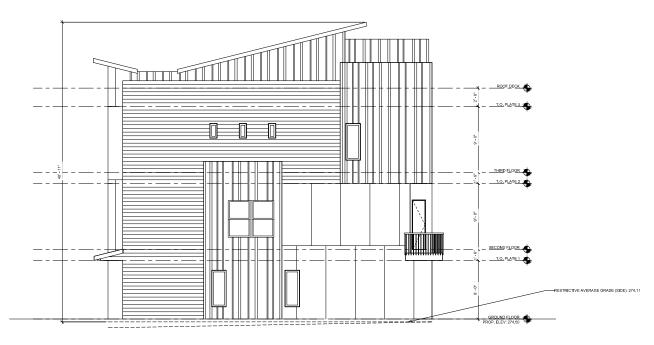
BUILDING B - WEST ELEVATION



BUILDING B - NORTH ELEVATION



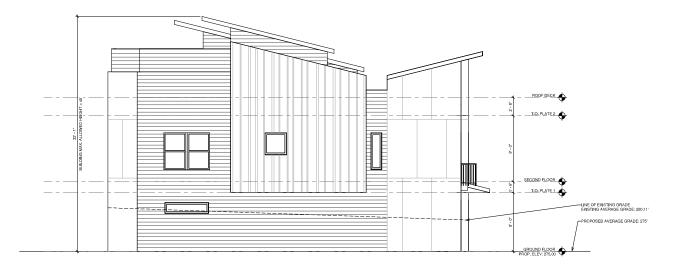
BUILDING B - EAST ELEVATION



BUILDING B - SOUTH ELEVATION



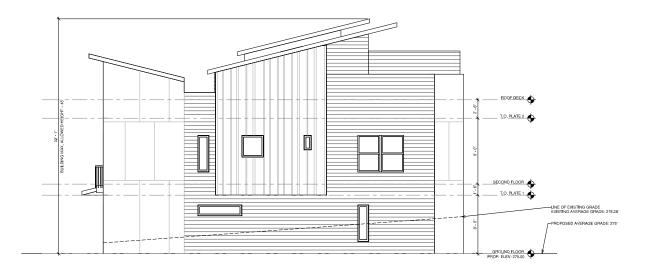
BUILDING C - SOUTH ELEVATION



BUILDING C - WEST ELEVATION



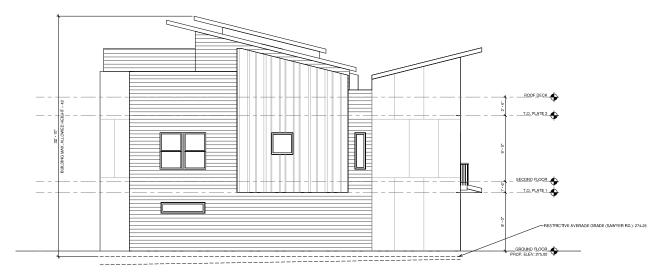
BUILDING C - NORTH ELEVATION



BUILDING C - EAST ELEVATION



BUILDING D - NORTH ELEVATION

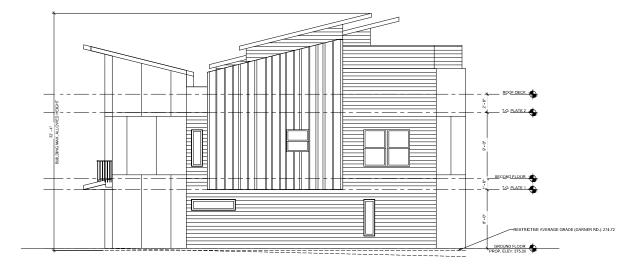


BUILDING D - EAST ELEVATION



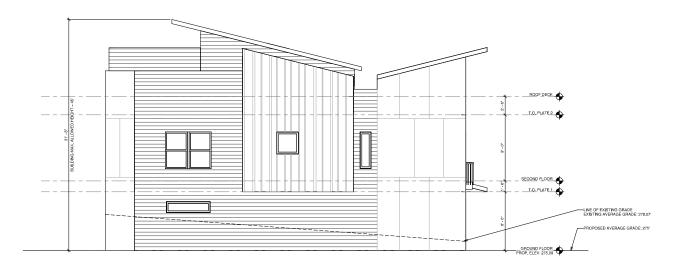
BUILDING D - SOUTH ELEVATION







BUILDING E - SOUTH ELEVATION



BUILDING E - WEST ELEVATION



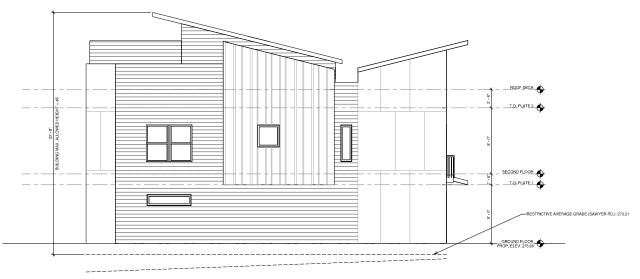
BUILDING E - NORTH ELEVATION



BUILDING E - EAST ELEVATION



BUILDING F - NORTH ELEVATION



BUILDING F - EAST ELEVATION



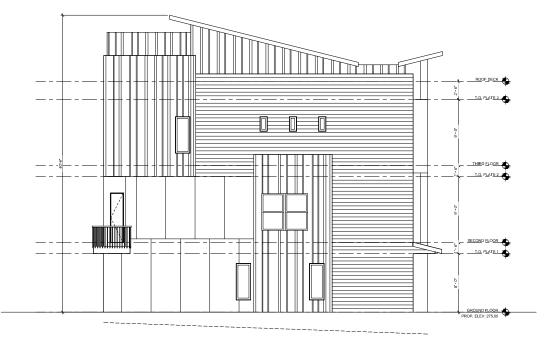
BUILDING F - SOUTH ELEVATION



BUILDING F - WEST ELEVATION



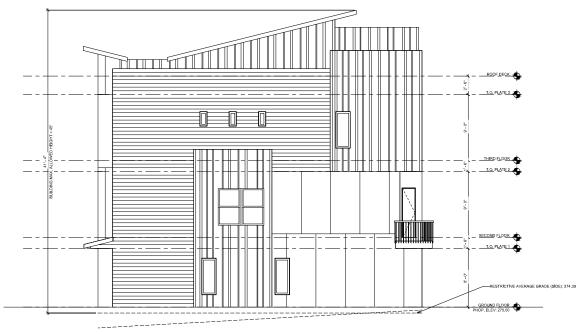
BUILDING G - EAST ELEVATION



BUILDING G - SOUTH ELEVATION



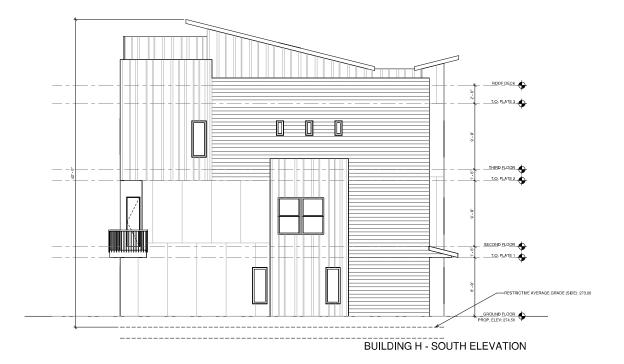
BUILDING G - WEST ELEVATION



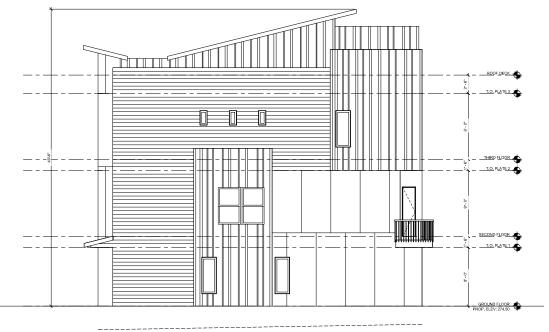
BUILDING G - NORTH ELEVATION



BUILDING H - EAST ELEVATION







BUILDING H - NORTH ELEVATION