



Administrative Approval Action

Case File / Name: ASR-0078-2021
DSL - GARNER TOWNS

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 1.71 acre assemblage of five existing lots is located between Garner Road and Sawyer Road and South McMakin Street. The associated addresses are 1313, 1315, 1317 Garner Road, 1408 and 1412 Sawyer Road.
- REQUEST:** The applicant is requesting to develop this property for 102,779 square foot of multi-unit living space which will accommodate 28- 3 bedroom units. The development will be located on one lot in a Residential-10 zoning district and include 8 buildings of 3-stories height.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 30, 2022 by AMERICAN CONTRACT SERVICES INC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Demonstrate compliance with UDO Section 7.2.5.D regarding screening for mechanical equipment
2. Building Elevations - Demonstrate compliance with UDO Section 2.2.7.D (Height) and UDO Section 2.2.7.E (Side Wall Length).

Engineering

3. The proposed sidewalk shown going towards connection with McMakin would need to be in the right of way with a transition in the sidewalk to keep it in the right of way from the proposed site to the more narrow section of right of way approaching the intersection of Sawyer Road and McMakin.

Stormwater

4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

3. Infrastructure Construction Plans (spr submittal) must be approved by the City of Raleigh Public Utilities Department for the private sewer extension.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

1. A recombination map recombining all the existing parcels into a single lot shall be recorded prior to issuance of a building permit.
2. A demolition permit shall be obtained for the existing houses on site and the permit number(s) shall be shown on the recombination map to be recorded.
3. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Garner Road and 4 street trees along Sawyer Road.
10. A public infrastructure surety for 9 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

GARNER TOWNS

1313, 1315, 1317 GARNER ROAD, 1408 & 1412 SAWYER ROAD

CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW SUBMITTAL
ASR-0078-2021

SUBMITTED ON: 06.30.2022

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 400 • Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case TC-16-118 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Certificate of Appropriateness #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Open lot
	<input type="checkbox"/> Board of Adjustment #:
	<input type="checkbox"/> Convey Case #:
	<input type="checkbox"/> Administrative Alternate #:

GENERAL INFORMATION

Development name: GARNER TOWNS

Inside City limit? Yes No

Property address(es): 1313, 1315, 1317 GARNER ROAD, 1408 & 1412 SAWYER ROAD

Site P.L.N.(s): 1703-93-4013, 1703-92-4926, 1703-92-4928, 1703-93-4013, 1703-92-4925

Please describe the scope of work, including any additions, expansions, and change of use. PROPOSED MULTI-UNIT LIVING DEVELOPMENT

Current Property Owner/Developer Contact Name: RGD DESIGN BUILD - COBURN MURRAY - DEVELOPER

NOTE: please attach purchase agreement when submitting this form.

Company RECEIVING DEVELOPMENT GROUP, LLC Title: COBURN MURRAY - OWNER

Address: 618 CUMBERLAND STREET, RALEIGH, NC 27612

Phone #: 919-473-6461 Email: COBURNMURRAY@YAHOO.COM

Applicant Name: LUKE PERKINS, PE

Company: SWIFT PARTNERS, PLLC Address: 417 FAYETTEVILLE STREET, STE 200, RALEIGH, NC 27601

Phone #: 919-735-1962 Email: LUKE.PERKINS@SWIFT-PARTNERS.COM

Digitally signed by
Daniel.Stegall@raleighnc.gov
DN:
E=Daniel.Stegall@raleighnc.gov,
CN=Daniel.Stegall@raleighnc.gov
Reason: I am approving this document
Date: 2022.07.26 12:36:58-0400

Daniel.Stegall@raleighnc.gov

Sheet Number	Sheet Title
CS20	COVER SHEET
CS20	GENERAL NOTES
CS20	ENTRANCE CONDITIONS AND DEMOLITION PLAN
CS20	SITE PLAN
CS20	MINUTE AREA PLAN
CS20	DRAINAGE AND DRAINAGE PLAN
CS20	SOIL DETAILS
CS20	SUBGRADE DETAILS
CS20	UTILITY PLAN
CS20	SITE DETAILS
L100	PLANNING PERMITS
A1	SUBLENG A ELEVATION
A2	SUBLENG A ELEVATION
A3	SUBLENG B ELEVATION
A4	SUBLENG B ELEVATION
A5	SUBLENG C ELEVATION
A6	SUBLENG C ELEVATION
A7	SUBLENG D ELEVATION
A8	SUBLENG D ELEVATION
A9	SUBLENG E ELEVATION
A10	SUBLENG E ELEVATION
A11	SUBLENG F ELEVATION
A12	SUBLENG F ELEVATION
A13	SUBLENG G ELEVATION
A14	SUBLENG G ELEVATION
A15	SUBLENG H ELEVATION
A16	SUBLENG H ELEVATION
A17	SUBLENG I ELEVATION
A18	SUBLENG I ELEVATION
A19	SUBLENG J ELEVATION
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A21	SUBLENG K ELEVATION
A22	SUBLENG K ELEVATION
A23	SUBLENG L ELEVATION
A24	SUBLENG L ELEVATION
A25	SUBLENG M ELEVATION
A26	SUBLENG M ELEVATION
A27	SUBLENG N ELEVATION
A28	SUBLENG N ELEVATION
A29	SUBLENG O ELEVATION
A30	SUBLENG O ELEVATION
A31	SUBLENG P ELEVATION
A32	SUBLENG P ELEVATION



VICINITY MAP

SITE DATA

PROJECT NAME:	GARNER TOWNS
819 ADDRESS:	1313, 1315, 1317 GARNER ROAD, 1408 & 1412 SAWYER ROAD
COUNTY:	Wake
PARCEL PERM:	1703-93-4013, 1703-92-4926, 1703-92-4928, 1703-93-4013, 1703-92-4925
PARCEL OWNER:	GARNER & SAWYER LLC
PARCEL AREA:	121 AC 17,985 SF
TOTAL SEE GROSS ACRES:	12.1 AC 16,985 SF
RIGHT-OF-WAY DEDICATION:	0.696 AC 4,120 SF
NET ADJACENT:	1616 AC 10,945 SF
CURRENT ZONING:	R-10
PROPOSED ZONING:	R-10
EXISTING LAND USE:	RESIDENTIAL
PROPOSED LAND USE:	MULTIFAMILY
FLOOD PLAN DATA:	N/A
RETIRED:	N/A
DEVELOPMENT TYPE:	APARTMENT
MAX BUILDING HEIGHT:	45 FT 3 STORIES
PROPOSED BUILDING HEIGHT:	180
NUMBER OF BUILDING STORIES PROPOSED:	3 STORIES
TOTAL BUILDING GROSS FLOOR AREA:	102,719 SF
PROPOSED NUMBER OF UNITS:	8
MINIMUM LOT AREA:	6,817 AC 1,200 SF
MINIMUM LOT WIDTH:	11
PROPOSED NUMBER OF UNITS:	28 (8 BEDROOM)
LOT AREA PER UNIT REQUIRED:	0.26 AC 2,500 SF
LOT AREA PER UNIT PROVIDED:	0.36 AC 2,616 SF
TREE CONSERVATION AREA:	876 SQUARE FEET TCA REQUIREMENTS PER LOCAL SECTION 9.2.2 - PARCELS LESS THAN 1 ACRES
TOTAL UNITS OF DISTURBANCE:	1,279 AC 17,805 SF
EXISTING IMPERVIOUS AREA:	1,438 AC 18,031 SF
PROPOSED IMPERVIOUS AREA:	1,620 AC 19,394 SF
PERMITS AREA REQUIRED:	0.16 AC 1,785 SF ADA 101% 3,022 SF 6.28 AC
PERMITS AREA PROVIDED:	0.16 AC 1,785 SF ADA 101% 3,022 SF 6.28 AC
PARKING SETBACKS:	REQUIRE GARAGE RAMP SEE NOTE BELOW SAWYER RD 10'
FRONT YARD SETBACK (MIN):	PROPOSED 10'
FRONT SIDE LOT LINE (MIN):	REQUIRED 10' PROVIDED 10'
FRONT REAR LOT LINE (MIN):	REQUIRED 20' PROVIDED 54'
REAR YARD SETBACK (MIN):	REQUIRED 20' PROVIDED 4'
REAR SIDE LOT LINE (MIN):	REQUIRED 10'
REAR REAR LOT LINE (MIN):	REQUIRED 10'
REAR SIDE LOT LINE (MIN):	REQUIRED 4'
PARKING DATA:	REQUIRED PARKING: 56 SPACES @ 2 SPACES PER UNIT
PROPOSED PARKING:	56 SPACES (16 SPACES ON ONE GARAGE, ONE DRIVEWAY, 40 SHORT TERM BIKING PARKING REQUIRED)
SHORT TERM BIKING PARKING REQUIRED:	BIKING 1, 7, 11 ONE GARAGE, ONE SURFACE
LONG TERM BIKING PARKING PROVIDED:	5 SPACES @ 1 BRACKET UNITS - (MIN)
LONG TERM BIKING PARKING REQUIRED:	4 SPACES
LONG TERM ONE PARKING PROVIDED:	NONE
LONG TERM ONE PARKING REQUIRED:	NONE

RIGHT-OF-WAY OBSTRUCTION NOTES:

1. PRIOR TO ANY WORK THAT REQUIRES RIGHT-OF-WAY CLOSURE OR REDUCTION OF ANY STREET, LAKE, OR BEACH, THE CONTRACTOR MUST APPLY FOR A PERMIT FROM THE PUBLIC WORKS DEPARTMENT. PLEASE CHECK ANY QUESTIONS WITH THE PUBLIC WORKS DEPARTMENT.
2. THE STREET, LAKE, BEACH, OR OTHER PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL HOIST STREETS WITHIN RALEIGH'S JURISDICTION.
3. A PERMIT REQUIRED WITH A TRAFFIC PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT CENTER.
4. PRIOR TO THE START OF WORK, THE CLIENT SHALL HOLD A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING PERSONNEL AND THE TRAFFIC CONTROL PERSONNEL OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
5. ALL TOPSOIL PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS INCLUDING BUT NOT LIMITED TO:
 - 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES;
 - 5.2. PUBLIC HIGHWAY ACCESSIBILITY GUIDELINES (PROVISED);
 - 5.3. AASHTO RECOMMENDED AND OPTIONAL TRAFFIC CONTROL DEVICES;
 - 5.4. RALEIGH TREE DESIGN MANUAL, (REVISION);
6. ALL PUBLIC SIGNALS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ACCESSIBILITY AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONTRACTS, PERMITS AND INSURANCE, RULES, AND ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL, LAWS, AND ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HOLDING PERMITS AND OBTAINING NECESSARY PERMITS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER REPRESENTATIVE OF ANY OBSCURANCES OR CONFLICTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND PAYING FOR ALL NECESSARY OFFICE SERVICES INCLUDING INSPECTION LOGGING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF SCHEDULE TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE, NO LESS THAN 10 BUSINESS DAYS PRIOR TO THE START OF WORK). THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND OBTAINING NECESSARY PERMITS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER REPRESENTATIVE OF ANY OBSCURANCES OR CONFLICTS.
4. ALL SUBMITTALS MUST BE REVIEWED BY THE CONSTRUCTION DOCUMENTS AREA AND HAVE THEIR APPROXIMATE RECORD DRAWINGS PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER REPRESENTATIVE OF ANY OBSCURANCES OR CONFLICTS.
5. EXISTING SURVEY DATA IS PROVIDED OR DERIVED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE IDENTIFIED ON THE PLANS TO OBTAIN CONSENT AND TO THE SATISFACTION OF THE OWNER REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PERMITS PRIOR TO COMMENCEMENT OF ANY WORK. ALL MATERIALS, METHODS, AND MODIFICATIONS OF METHODS, MATERIALS OR METHODS SHALL BE PROVIDED TO THE OWNER REPRESENTATIVE AT REGULAR INTERVALS OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD PURPOSES.
8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR DUE TO FIELD CONDITIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND OBTAINING NECESSARY PERMITS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER REPRESENTATIVE OF ANY OBSCURANCES OR CONFLICTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PROTECTION AND CARE OF THE UTILITY LINES AND ASSOCIATED PROPERTY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PERMITTES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
11. THE ENGINEER AND/OR OWNER OR PERMITTING MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (8,000 GPM) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

SOLID WASTE:

SOILS MUST BE STORED IN WADE TIGHT BINS OR CANS. GARBAGE AND DEBRIS MUST BE STORED IN GARBAGE AND ROLLED OUT TO CURB AND ON PROPERTY FRONTAGE OF PUBLIC STREET.



FIRM LICENSE: P-2187

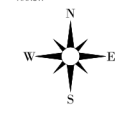
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VICINITY



SCALE

ARROW



RE: ASR-0078-2021 Garner Road Towns Compliance Letter

Staley, Marion <Marion.Staley@raleighnc.gov>

Fri 11/5/2021 11:55 AM

To: Josh Cramer <josh@cramersconsulting.com>; SWS Code Compliance <SWSCodeCompliance@raleighnc.gov>

Cc: Staley, Marion <Marion.Staley@raleighnc.gov>; Staley, Luke <luke@swiftpartners.com>

Thank you. This plan meets the requirements of the Solid Waste Collection Design Manual. It is approved to move forward in the Planning Process.

Kind Regards,

Marion

Marion O. Staley
Code Compliance Supervisor
Code Compliance Division
City of Raleigh - Solid Waste Services
919-996-6940 - Office
919-219-5437 - Cell



SWIFT PARTNERS PLLC
417 FAYETTEVILLE ST, STE 200
RALEIGH NC 27601
LUKE PERKINS
919-735-1962
LUKE.PERKINS@SWIFT-PARTNERS.COM

DATE: 06/30/2022
DRAWN BY: LMP
CHECKED BY: LMP
PROJECT: GARNER TOWNS
COVER SHEET
SHEET NO.
C0.00



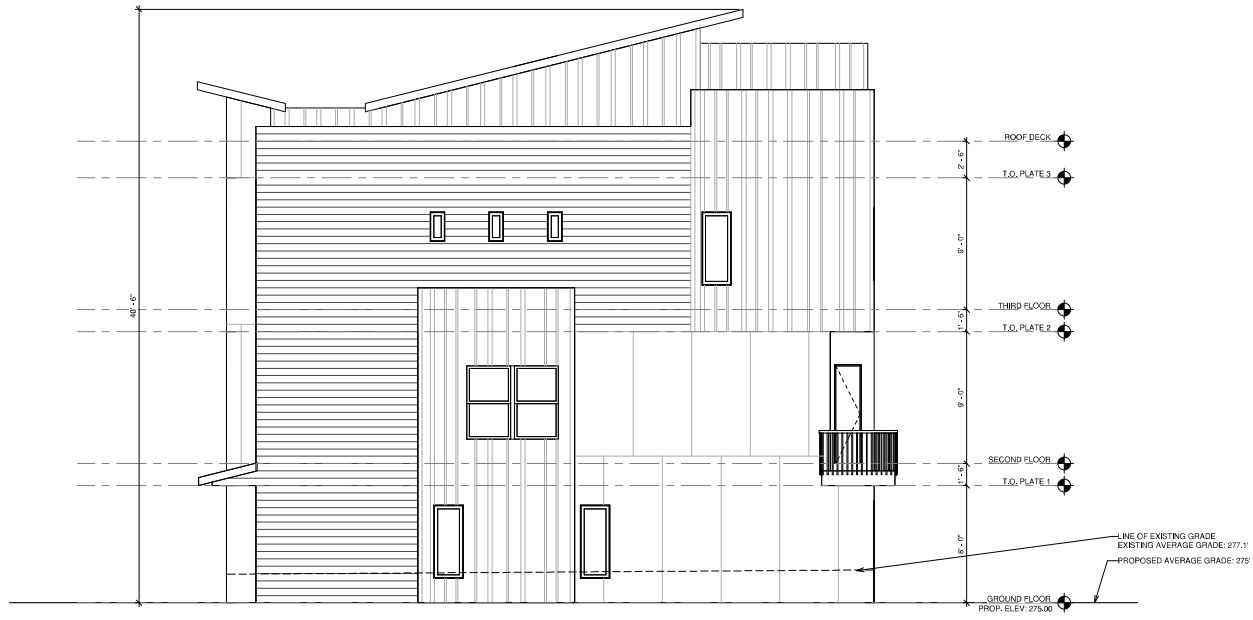
BUILDING A - WEST ELEVATION
GARNER ROAD



BUILDING A - NORTH ELEVATION



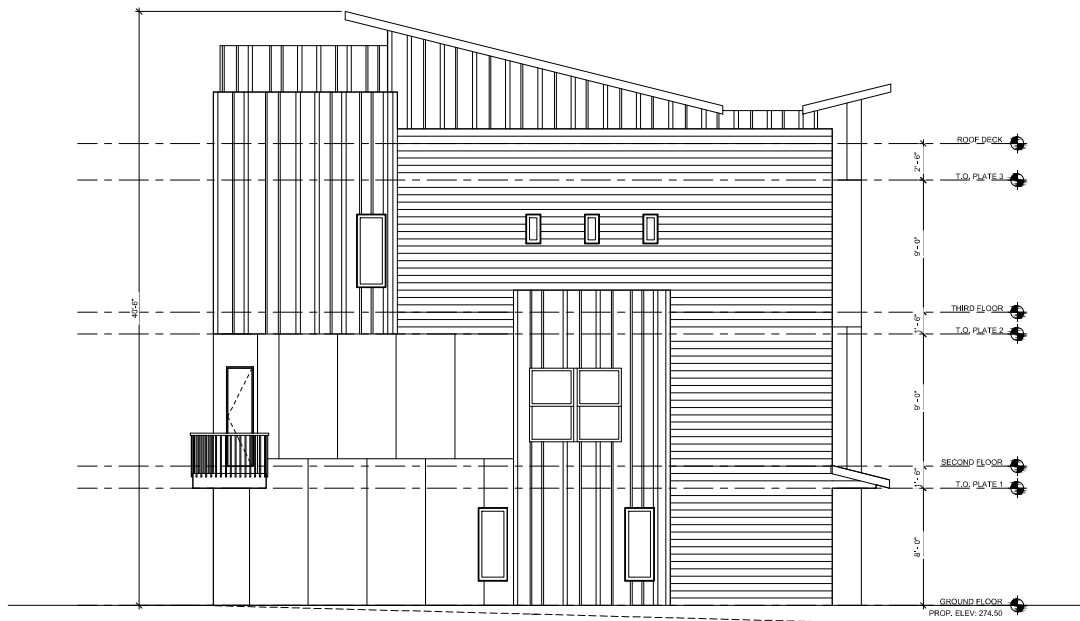
BUILDING A - EAST ELEVATION



BUILDING A - SOUTH ELEVATION



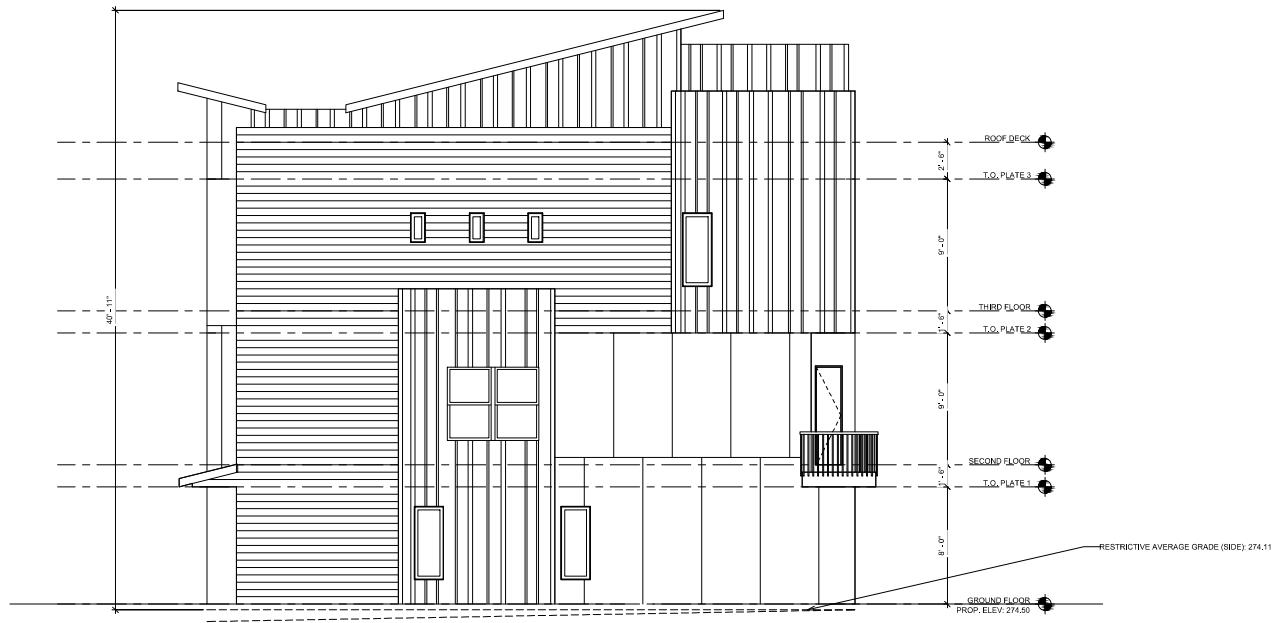
BUILDING B - WEST ELEVATION
GARNER ROAD



BUILDING B - NORTH ELEVATION



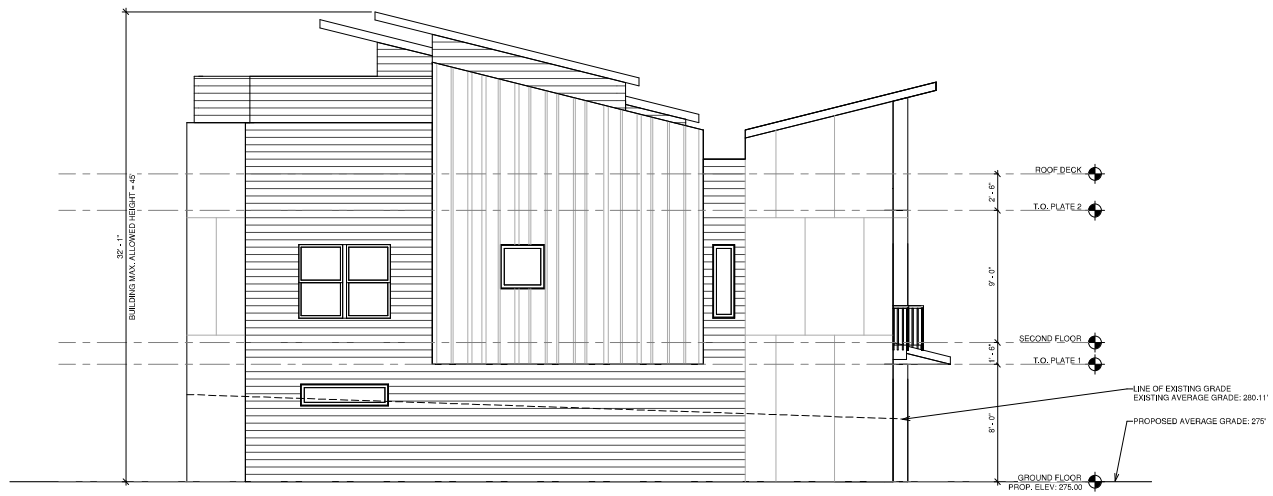
BUILDING B - EAST ELEVATION



BUILDING B - SOUTH ELEVATION



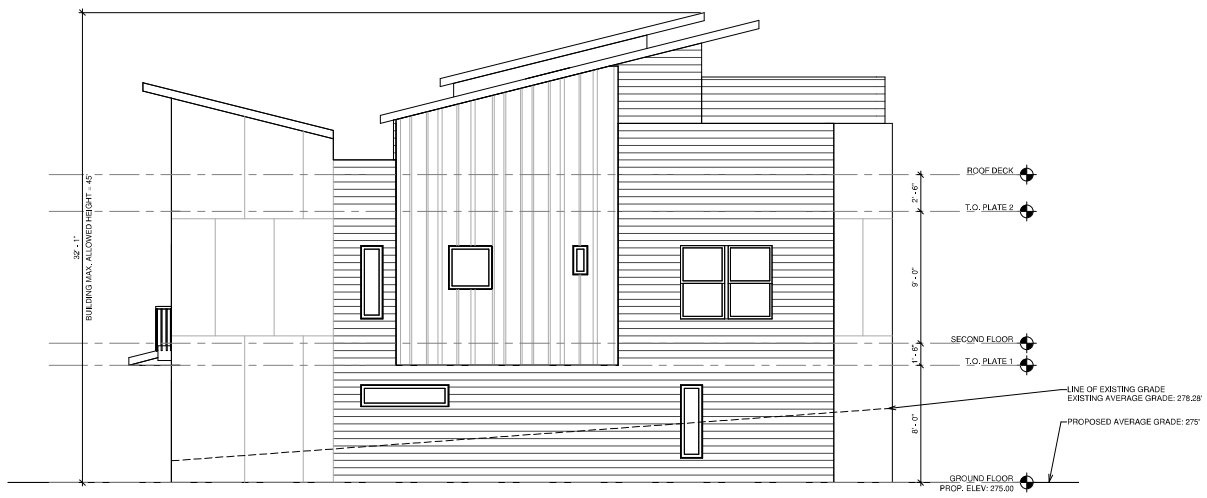
BUILDING C - SOUTH ELEVATION



BUILDING C - WEST ELEVATION



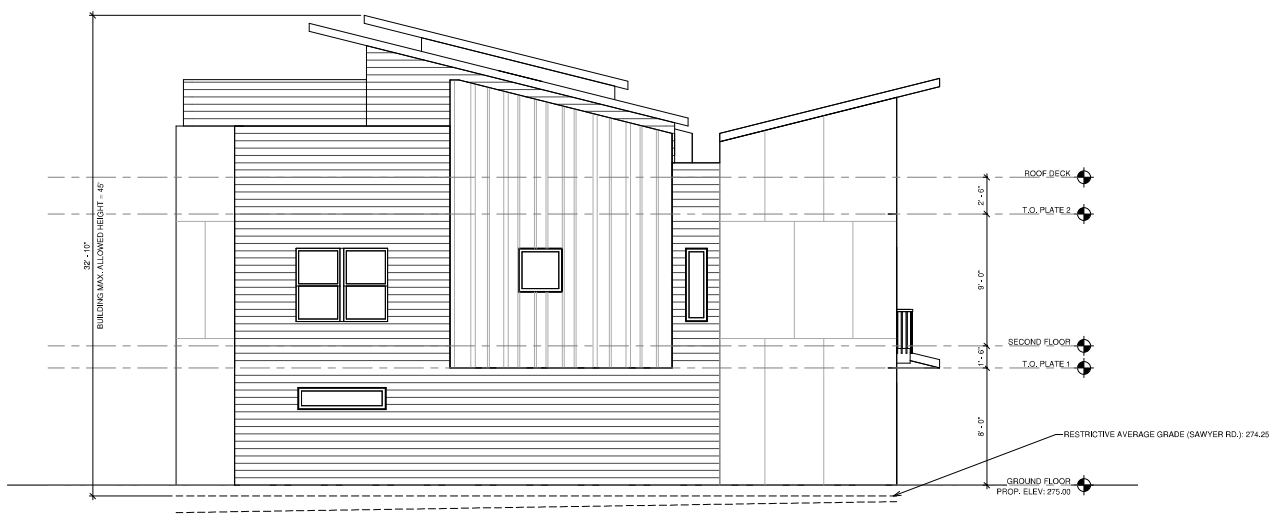
BUILDING C - NORTH ELEVATION



BUILDING C - EAST ELEVATION



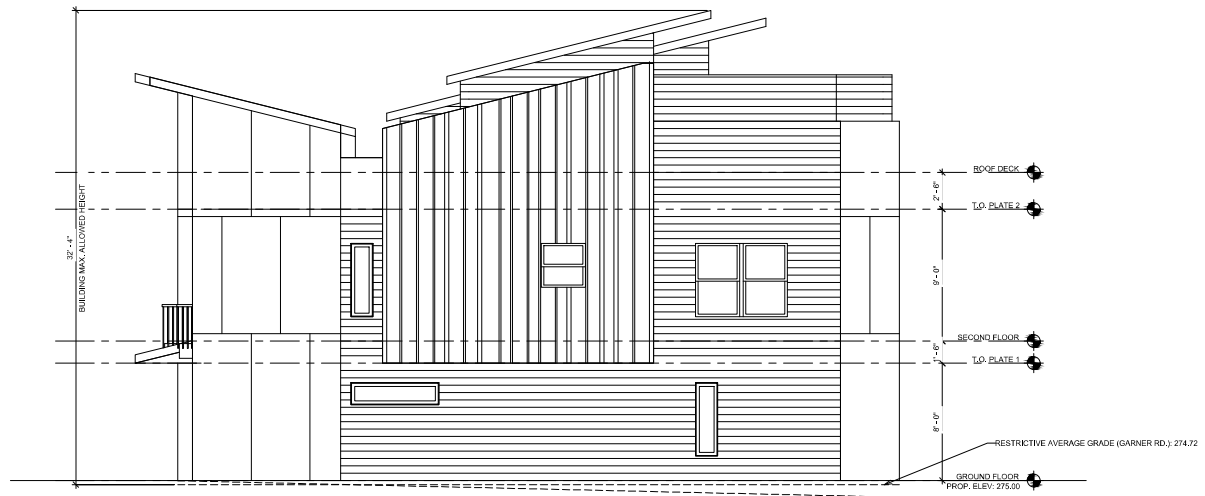
BUILDING D - NORTH ELEVATION



BUILDING D - EAST ELEVATION



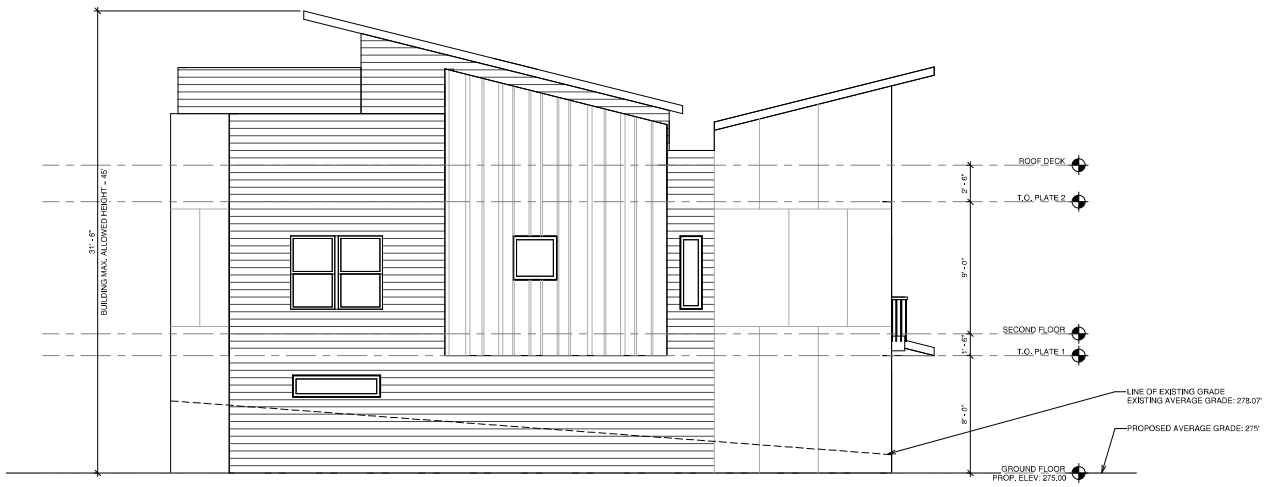
BUILDING D - SOUTH ELEVATION



BUILDING D - WEST ELEVATION



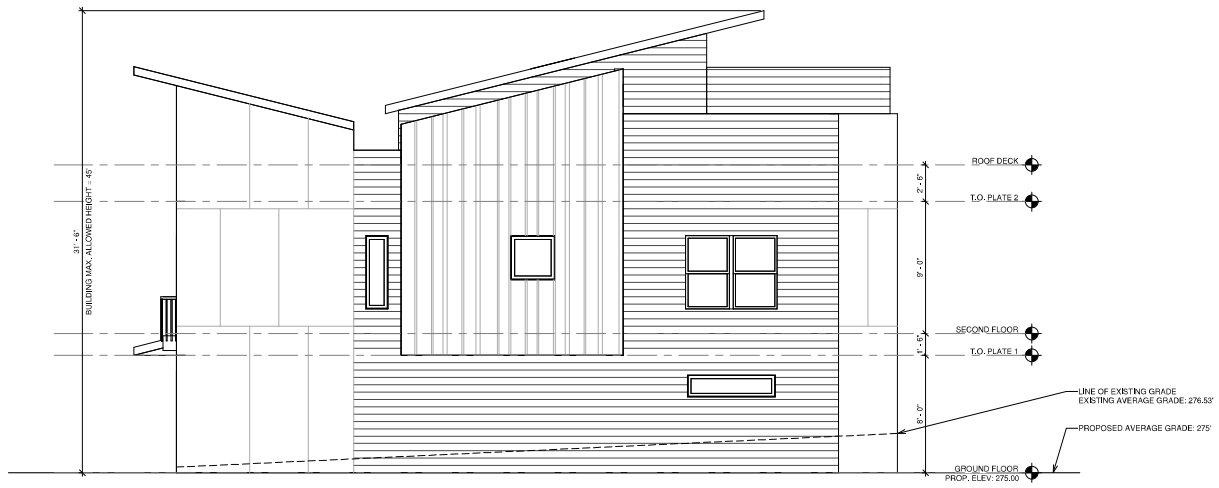
BUILDING E - SOUTH ELEVATION



BUILDING E - WEST ELEVATION



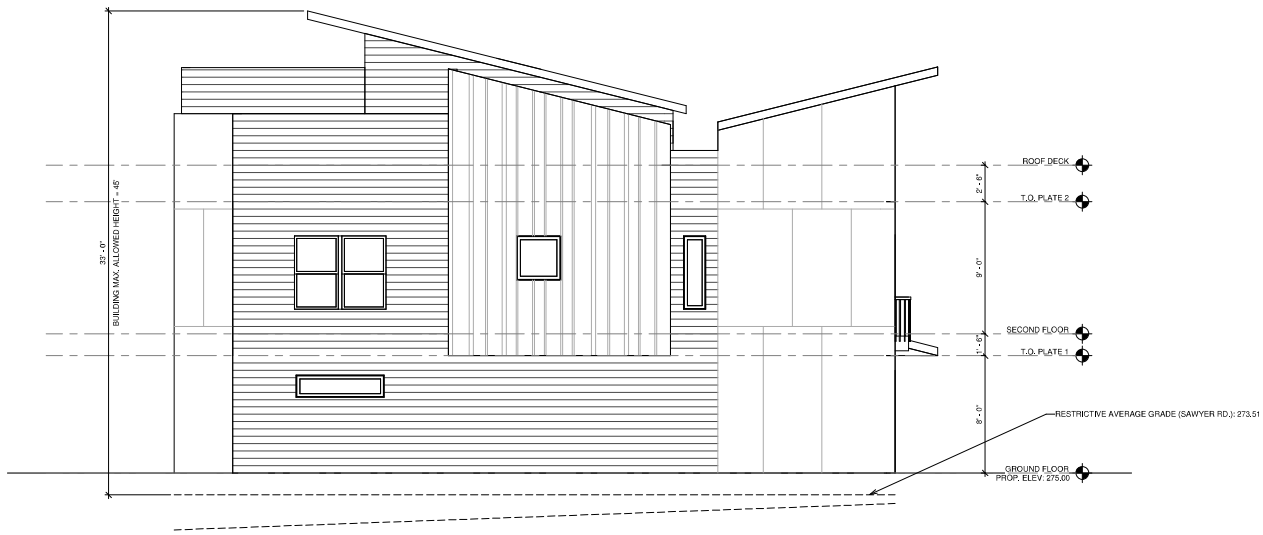
BUILDING E - NORTH ELEVATION



BUILDING E - EAST ELEVATION



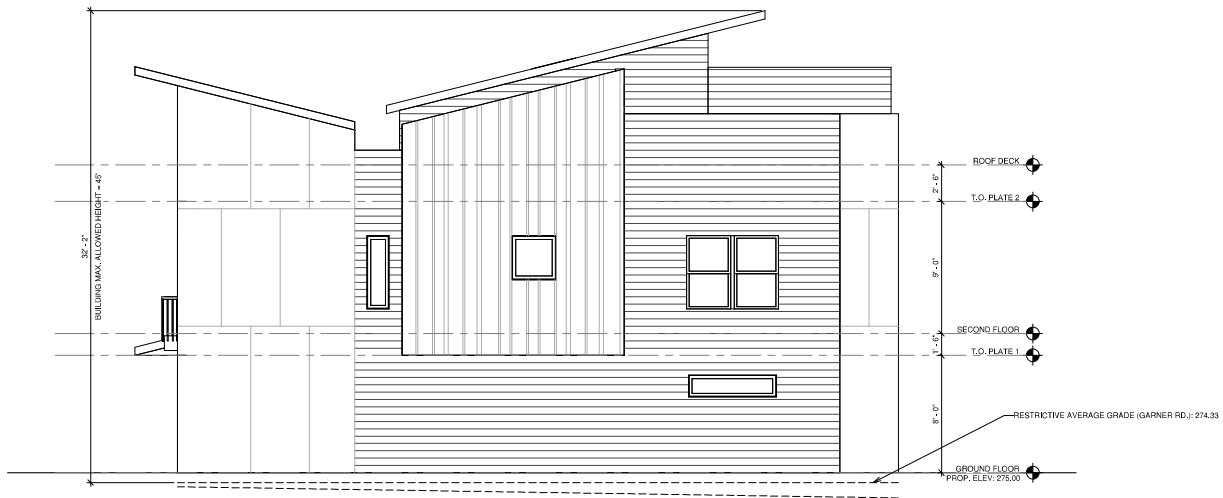
BUILDING F - NORTH ELEVATION



BUILDING F - EAST ELEVATION



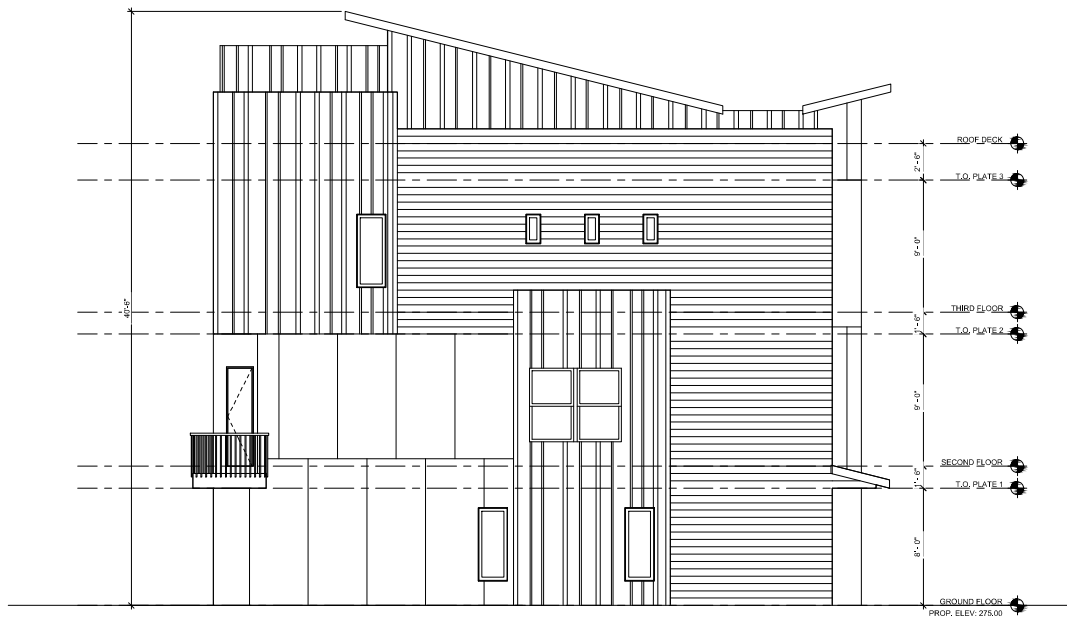
BUILDING F - SOUTH ELEVATION



BUILDING F - WEST ELEVATION



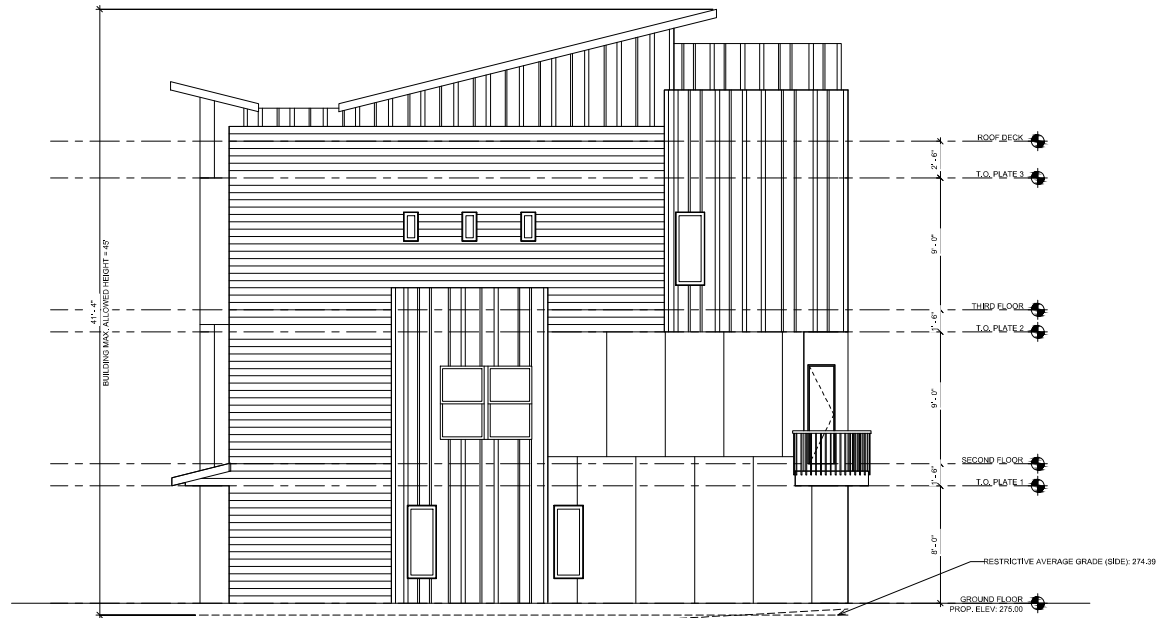
BUILDING G - EAST ELEVATION
SAWYER ROAD



BUILDING G - SOUTH ELEVATION



BUILDING G - WEST ELEVATION



BUILDING G - NORTH ELEVATION



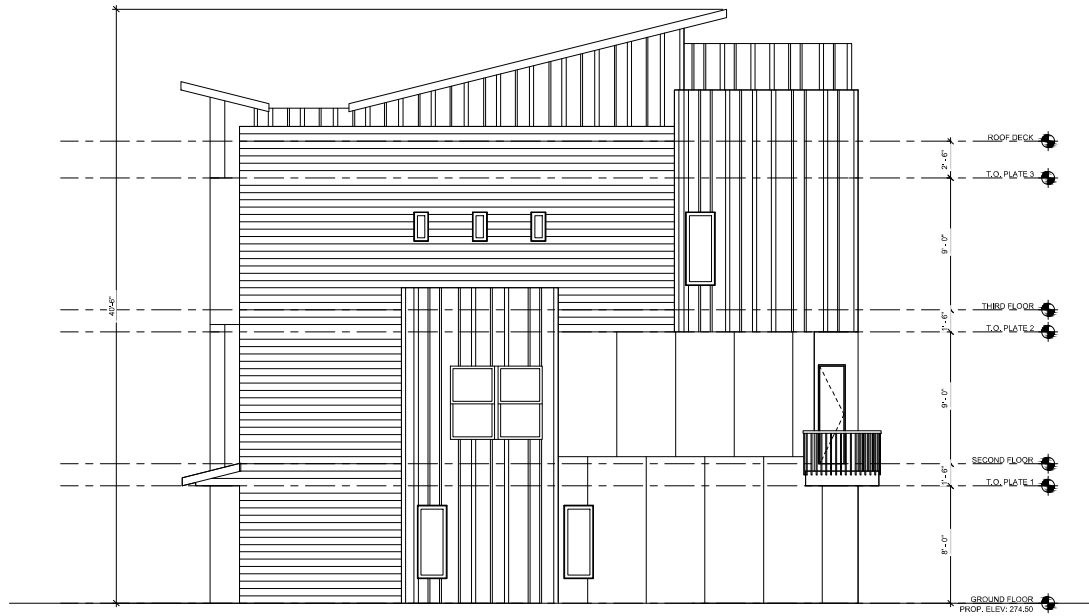
BUILDING H - EAST ELEVATION
SAWYER ROAD



BUILDING H - SOUTH ELEVATION



BUILDING H - WEST ELEVATION



BUILDING H - NORTH ELEVATION