



Administrative Approval Action

Case File / Name: ASR-0078-2022
DSLCL - TOQUE AUTOMOTIVE

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located south of Evergreen Forest Way and east of Wadford Drive and is addressed 8800 Wadford Drive.

REQUEST: This ASR shows the development of an 11,880 square foot general building and associated parking and infrastructure on approximately 1.5 acres zoned CX-3-CU for a vehicle service use.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 9, 2023 by ROBBIE BELL.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Transit Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Transportation

4. A transit deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

Engineering

1. A fee-in-lieu for sidewalk width along Wadford Rd & Thorton Rd shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

6. A public infrastructure surety for 9 street trees along Wadford Drive (NCDOT) and 3 street trees along Thornton Road (NCDOT) shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along Wadford Drive and 6 street trees along Thornton Road.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater



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3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: February 15, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

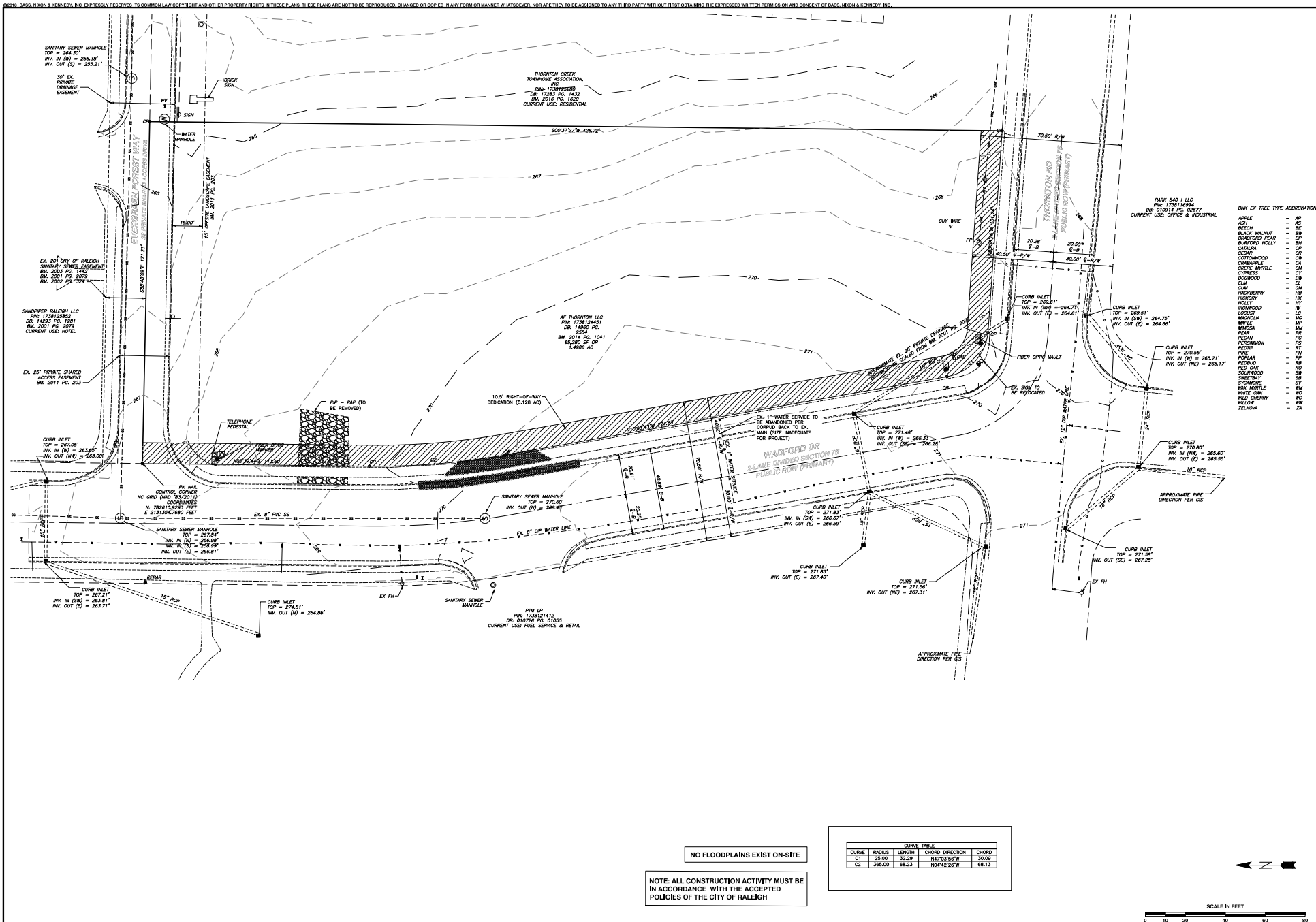
4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 02/15/2023
Development Services Dir/Designee


Staff Coordinator: Rachel Smith



NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH

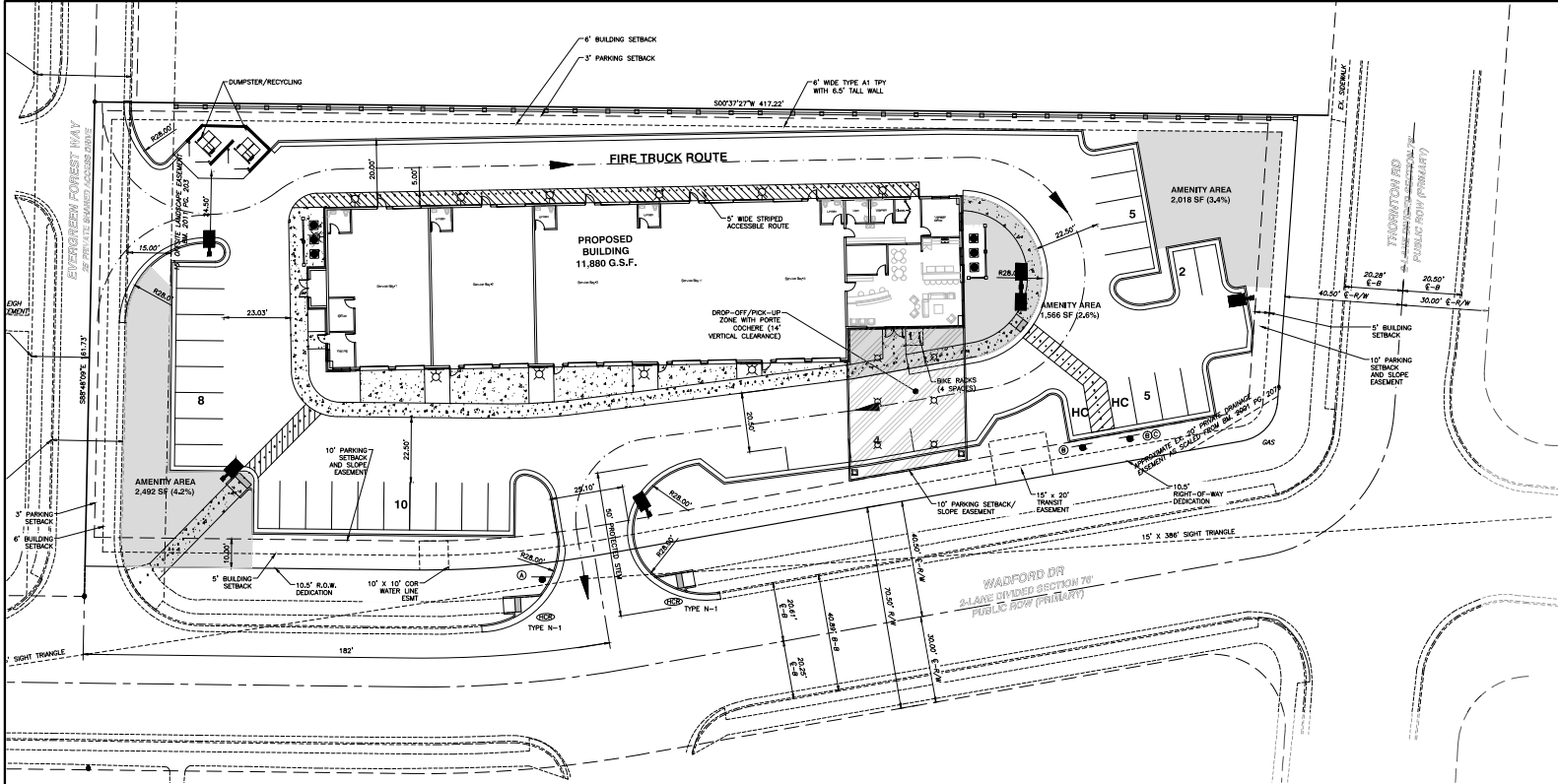
CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C1	25.00	32.29	N47°03'56"W	30.09
C2	365.00	68.23	N04°42'26"W	68.13

SCALE IN FEET



0 10 20 40 60 80

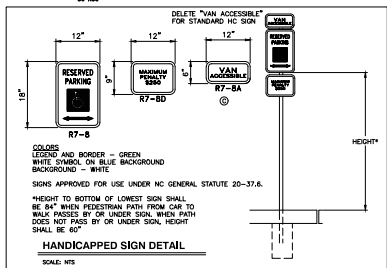
BASS, NIXON & KENNEDY, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF BASS, NIXON & KENNEDY, INC.



TRAFFIC CONTROL NOTES

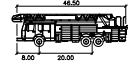
- ALL SITE SIGNAGE SHALL BE ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NC DOT STANDARDS.
- ALL SIGNS SHALL BE MOUNTED WITH 7'-11" MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON SUB CHANNELLED STEEL U-CORNER POST SET IN 3FT DEEP x 12IN DIA. CONCRETE FOOTING.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NC DOT STANDARDS AND THE PROJECT SPECIFICATIONS.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACE WHICH MAY BE THERMOPLASTIC OR ALKO-RESIN TYPE PAINT.

SIGN LEGEND



SITE DATA

PROJECT NAME:	TORQUE AUTOMOTIVE
FIN:	1738-12-4451
OWNER:	THORNTON POINTE, LLC
ZONING:	CX-3-CU
CURRENT USE:	VACANT
PROPOSED USE:	VEHICLE SERVICE
BUILDING SQUARE FOOTAGE:	11,880 SF
PARKING REQUIRED:	NO MAXIMUM
VEHICLE REPAIR: NO MAXIMUM	
TOTAL PARKING REQUIRED:	NO MAXIMUM
TOTAL PARKING PROVIDED:	34 SPACES (INCLUDING 2 HC SPACES)
BUILDING SETBACKS:	
PRIMARY STREET	5'
SEE LOT LINE	0' OR 6'
SIDE STREET	5'
REAR LOT LINE	0' OR 6'
PARKING SETBACKS:	
PRIMARY STREET	10'
SEE LOT LINE	0' OR 3'
SIDE STREET	10'
REAR LOT LINE	0' OR 3'
SITE AREA:	
TOTAL EXISTING AREA (GROSS):	65,280 SF (1.50 AC)
PROPOSED RIGHT-OF-WAY DEDICATION:	5,883 SF (0.133 AC)
TOTAL IMPROVED AREA (NET):	59,397 SF (1.37 AC)
AMENITY AREA: (10% REQUIRED)	5,939 SF
REQUIRED AMENITY AREA:	(10.2%) 6,076 SF
PROVIDED OPEN SPACE:	
IMPERVIOUS AREAS:	
EX. IMPERVIOUS:	6,264 SF
EX. IMPERVIOUS REMOVED:	1,182 SF
EX. IMPERVIOUS REMAINING:	5,082 SF
PROP. IMPERVIOUS (ON SITE):	43,064 SF
PROP. IMPERVIOUS OFF SITE:	818 SF
TOTAL IMPERVIOUS (ON SITE, REMAINING & OFF SITE):	46,884 SF
TOTAL DRAINAGE AREA INCLUDING STREETS:	76,100 SF



Width	46.00
Height	18.00
Turn Radius	18.00
Load to Jack Time	1.60
Swinging Range	44.11

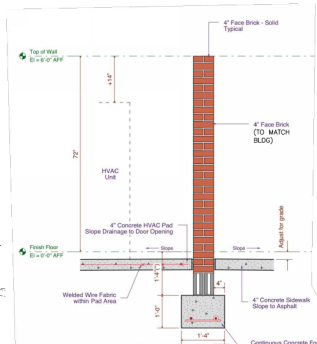
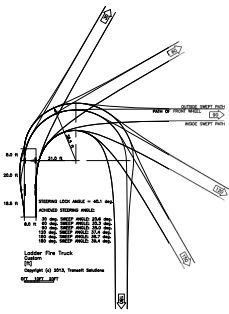
SIGHT DISTANCE CALCULATIONS

WADFORD DR. (EAST BOUND ONTO STREET R) V = 35 MPH
RIGHT TURN (LOOKING LEFT): 1.47 (35/6.5) = 330'
LEFT TURN (LOOKING RIGHT): 1.47 (35/7.5) = 396'

PRELIMINARY PAVEMENT DESIGN

DRIVES: 6" ABC - 2.37 IN. CONC.
PARKING: 6" ABC - 2" 59.5C
CONC. DRAINAGE PADS: 6" 3000 PSI CONC. W/4" X 4" WIRE MESH OVER 6" COMPACTED BASE.
CONC. PAD IN FRONT OF DAMPSTER GATE: 6" COMPACTED ABC AND/OR 3" 59.5C OR 6" 3000 PSI CONC. WITH 4" X 4" WIRE MESH

NOTE: ABOVE PAVEMENT DESIGNS ARE COR MINIMUM. SOIL CONDITIONS SHOULD BE CHECKED AND PAVEMENT DESIGN VERIFIED BY TESTING COMPANY.



HVAC SCREENING WALL

LEGEND

- HANDICAPPED ACCESSIBLE ROUTE
- FIRE TRUCK ROUTE

GENERAL NOTES

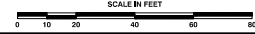
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP BY BASS, NIXON & KENNEDY, INC., DATED JANUARY 21, 2015.
- PROVIDE 24" STANDARD CONCRETE CURB AND GUTTER ON-SITE, 30" IN PUBLIC R/W.
- ALL HVAC AND OTHER MECHANICAL SYSTEMS SHALL BE SCREENED FROM OFF-SITE VIEWS.
- ALL DAMPSTER AND CARBONADO RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
- ALL EXTERIOR SITE LIGHTING SHALL BE DESIGNED TO PREVENT OFF-SITE GLARE.
- ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
- ALL WORK MUST COMPLY WITH CURRENT NORTH CAROLINA STATE BUILDING AND HANDICAPPED ACCESSIBILITY CODE.
- NO COMPACTOR IS REQUIRED FOR THIS SITE.
- MAP RECORDATION REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

NOTE:
FIL FOR WADFORD DRIVE AND
THORNTON ROAD AGREED UPON BY
TRANSPORTATION STAFF

NO WETLANDS EXIST ON-SITE

NO FLOODPLAINS EXIST ON-SITE

NOTE: ALL CONSTRUCTION ACTIVITY MUST BE
IN ACCORDANCE WITH THE ACCEPTED
POLICIES OF THE CITY OF RALEIGH



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
CERTIFICATION NUMBERS: NCBELS (C-0110), NCBELS (C-0287)

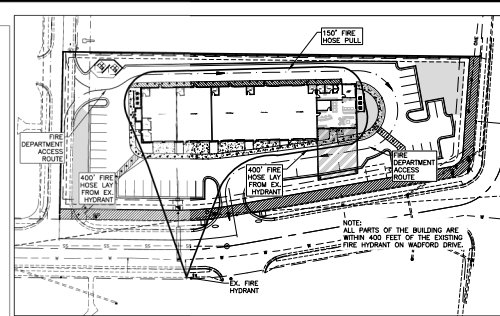
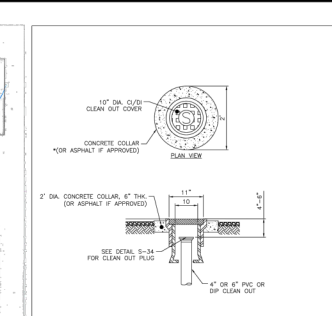
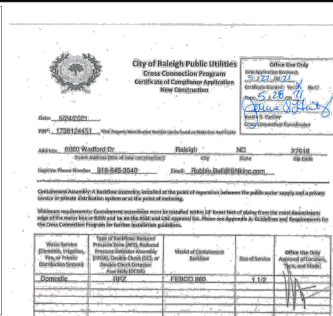
JOB NO.	DATE	IP	IP
2	01-09-23	PER CAR COMMENTS	IP
1	11-22-22	PER CAR COMMENTS	BY
NO.	DATE	DESCRIPTION	REVISED

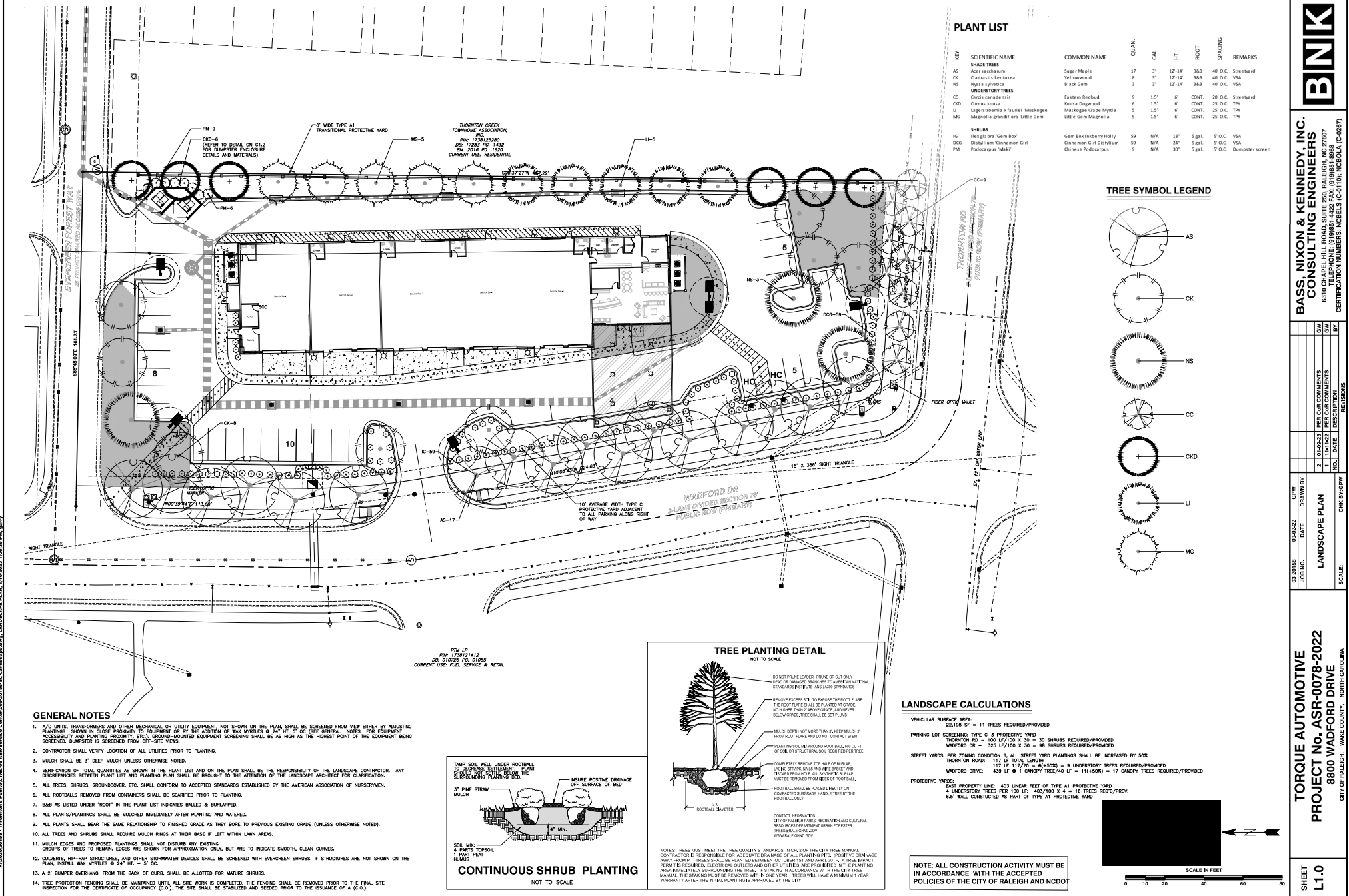
PROGRESS	IP
DATE	DRAWN BY
SITE PLAN	
SCALE: 1" = 20'	CHK BY: KIB

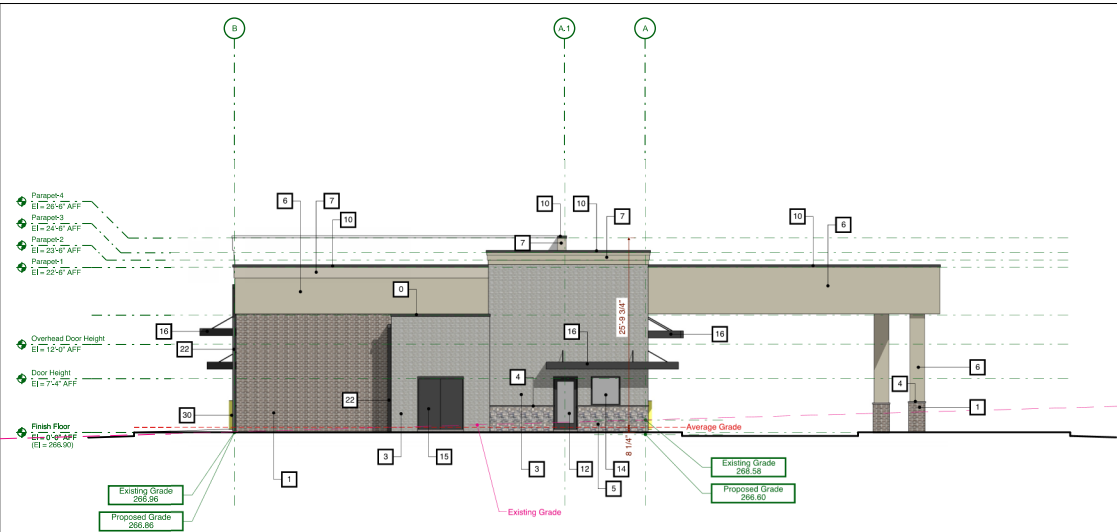
TORQUE AUTOMOTIVE
PROJECT NO. ASR-0078-2022
8800 WADFORD DRIVE
CITY OF RALEIGH, NORTH CAROLINA

SHEET
C1.1

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

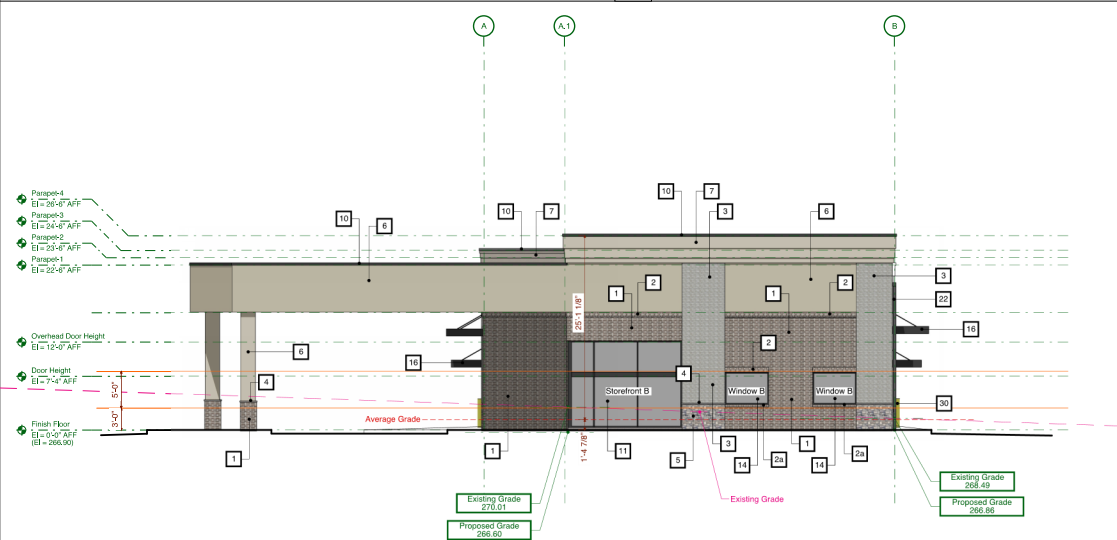
[illegible]





North Side Elevation - Evergreen Forest Way Private Shared Access Drive

1 Elevation
Scale: 1/8" = 1'-0"



South Side Elevation - Thornton Road Public Road (Primary)

2 Elevation
Scale: 1/8" = 1'-0"

Material Legend

- 1 Brick Veneer-1: Body Brick - running bond
- 2 Brick Veneer-1: Soldier
- 2a Brick Veneer-1: Rowlock
- 3 Brick Veneer-2: Body Brick - running bond
- 4 Precast Concrete Watertable
- 5 Stone Veneer-1
- 6 EIFS Fasco-1
- 7 EIFS Fasco-1
- 8 -
- 9 -
- 10 Prefinished Aluminum Cap Flashing
- 11 Prefinished Aluminum Storefront (Clear Anodized)(with Door where shown)
- 12 Prefinished Aluminum Storefront Door (Clear Anodized)
- 13 Prefinished Aluminum Storefront CHD (Clear Anodized)(Full Glass)
- 14 Prefinished Aluminum Storefront Window (Clear Anodized)
- 15 Painted HM Door and Frame
- 16 Prefinished Aluminum Canopy
- 17 -
- 18 -
- 19 -
- 20 PEBB Prefinished Metal Wall Panel
- 21 PEBB Prefinished Gutter
- 22 PEBB Prefinished Downspout
- 23 PEBB Prefinished Parapet Wall Liner Panel
- 24 -
- 30 Painted Bollard (Yellow)

Transparency Calculations (West Elevation)

Per 3.2.5 F - Ground CX - 33% Required	
Ground Level Surface Area: (within 0'-0" to 12'-0")	12'-0" (tall) x 220'-0" (wide) = 2,640 SF
Area of Required Transparency:	2,640 SF x 33% = 871.2 SF
Area of Proposed Transparency:	1,786 SF
Area of Required Transparency within 3'-0" - 8'-0" (50% of Required Transparency Area)	
1,100 SF x 50% = 550 SF	
Proposed Area of Transparency within (3'-0" - 8'-0")	771.17 SF

Transparency Calculations (South Elevation)

Per 3.2.5 F - Ground CX - 33% Required	
Ground Level Surface Area: (within 0'-0" to 12'-0")	12'-0" (tall) x 56'-0" (wide) = 672 SF
Area of Required Transparency:	672 SF x 33% = 221.76 SF
Area of Proposed Transparency:	242 SF
Area of Required Transparency within 3'-0" - 8'-0" (50% of Required Transparency Area)	
280 SF x 50% = 140 SF	
Proposed Area of Transparency within (3'-0" - 8'-0")	141.33 SF

RALEIGH North Carolina: Part 10 Unified Development Ordinance

24th Supplement

CHAPTER 1. INTRODUCTORY PROVISIONS | ARTICLE 1.5. Measurement, Exceptions & General Rules of Applicability

Transparency

Intent

The transparency requirements are intended to lend visual interest to street-facing building facades for both pedestrians and building occupants, and minimize blank wall areas. This is not applicable to residential uses.

B. General Requirements

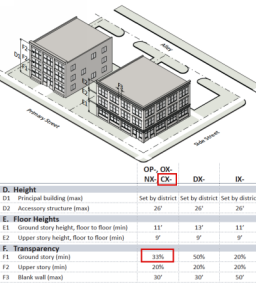
1. The minimum percentage of windows and doors that must cover a ground story facade is measured between and is feet above the surface of the finished ground floor for all above-grade portions of the facade. A minimum of 50% of the required transparency must be located between 1 and 8 feet from the surface of the finished ground floor.

2. The minimum percentage of windows and doors that must cover an upper story facade is measured from top of the finished floor to the top of the finished floor above. When there is no floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate.

3. In a mixed use building, or general building where an Urban Frontage is applied, a minimum of 50% of the street-facing, street-level window pane surface area must allow views into the ground story use for a depth of at least 8 feet. Windows shall not be made opaque by non-operable window treatments (except curtains, blinds or shades within the conditioned space).

4. Glass shall be considered transparent where it has a transparency higher than both and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

Sec. 3.2.5. General Building



See Sec. 3.3.4.0 "Building Envelope" for specific building element requirements.

