



Administrative Approval Action

Case File / Name: ASR-0078-2023
DSLCLC - NC TROOPERS ASSOCIATION MUSEUM

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 3.44 acre site zoned R-10 is located on the east side of Garner Road just north of the intersection of Garner and E Tryon Roads at 3405 Garner Road.

REQUEST: This is a 13,394 square foot Civic building housing the NC Trooper's Association Museum with accessory sleeping quarters on the upper floor.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 22, 2024 by Urban Design Partners.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

Engineering

2. A fee-in-lieu for 1' sidewalk and 5' bike lane is paid to the City of Raleigh (UDO 8.1.10).
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .36 acres of tree conservation area.



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BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater

2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along Garner Rd.
4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
5. A public infrastructure surety for 6 street trees along Garner Rd shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant



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construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 24, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ Date: 05/24/2024
Development Services Dir/Designee

Staff Coordinator:



150 Southville at 1310
Raleigh, NC 27603
919.275.5380
urban@designpartners.com

NC Form No. P-2871 NC case no. C-03844

North Carolina
Troopers Association

North Carolina Troopers
Association - Museum
Tree Conservation Area
3405 Garner Rd. Raleigh, NC 27610

UD: 23-000000-01-01-000000-000000-000000
DATE: 11/08/2023
PROJECT: 23-4RDU-022
SHEET: C-2.2

Project No: 23-4RDU-022
Date: 11.08.2023
Sheet No:
C-2.2

AREA EXCLUDED FROM TREE CONSERVATION - GREENWAY

- PRIVATE SEWER INFRASTRUCTURE - 6,851 SF
- 25' WIDE CITY OF RALEIGH GREENWAY TRAIL CONSTRUCTION - 12,930 SF
- EXISTING STREAM - 3,215 SF

TOTAL - 22,996 SF = 0.53 AC

TREE CONSERVATION CALCULATION:

NET SITE AREA: 338 AC
REQUIRED TREE CONSERVATION AREA: 0.324 AC (10%)
PROVIDED TREE CONSERVATION AREA: 0.36 AC (10.65%)

INDIVIDUAL TREE - CRITICAL ROOT ZONE CALCULATIONS:

21.7' DIAMETER
1.25 X 26.2' = 32.75 RADII
TOTAL AREA = 3,141.59 SF
TOTAL AREA = 3,388 SF
AREA QUALIFIED = 3,167 SF

11.7' DIAMETER
1.25 X 11.7' = 14.62 RADII
TOTAL AREA = 3,141.59 SF
TOTAL AREA = 512 SF
AREA QUALIFIED = 467 SF

13.2' DIAMETER
1.25 X 13.2' = 16.50 RADII
TOTAL AREA = 3,141.59 SF
TOTAL AREA = 1,234 SF
AREA QUALIFIED = 824 SF

TOTAL QUALIFIED AREA: 4,458 SF

TREE CONSERVATION PLAN DATA:

PROJECT NAME	NCTA - Museum	ACREAGE
PROPOSED ACREAGE	3.44 AC	
ROW TO BE DEDICATED (P.C.)	0.88 AC	
NET SITE ACREAGE	3.38 AC	

UID	3.1.4 PRIMARY TREE CONSERVATION AREAS (TCA)	ACREAGE	PERCENT PAGE
1	MINIMAL TREE COVER (MTC) BUFFER ZONE	0.02 AC	0.5%
2	GREENWAY TRAIL CONSTRUCTION	0.00 AC	0.0%
3	SEWER INFRASTRUCTURE	0.00 AC	0.0%
4	STREAM	0.00 AC	0.0%
5	25' WIDE CITY OF RALEIGH GREENWAY TRAIL CONSTRUCTION	0.00 AC	0.0%
6	PRIVATE SEWER INFRASTRUCTURE	0.00 AC	0.0%
7	EXISTING STREAM	0.00 AC	0.0%
8	INDIVIDUAL TREE CRITICAL ROOT ZONE	0.00 AC	0.0%
9	TOTAL OF ALL TREE CONSERVATION AREAS	0.02 AC	0.5%

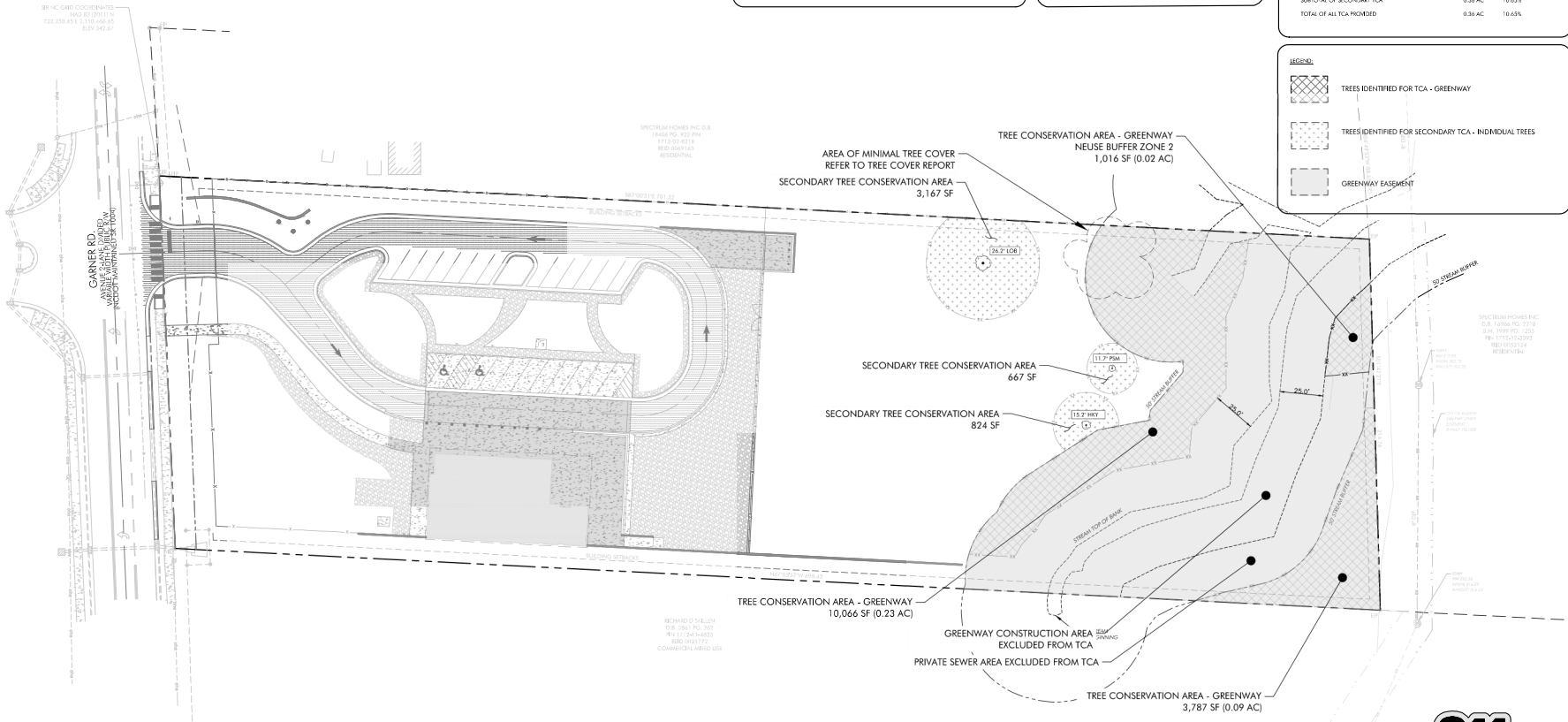
UID	3.1.4.1 GREENWAY (75% TROPICIDS)	ACREAGE	PERCENT PAGE
1	GREENWAY (75% TROPICIDS)	0.23 AC	7.0%
2	INDIVIDUAL TREE CRITICAL ROOT ZONE	0.00 AC	0.0%
3	TOTAL OF ALL TREE CONSERVATION AREAS	0.23 AC	7.0%

UID	3.1.4.2 SECONDARY TREE CONSERVATION AREAS	ACREAGE	PERCENT PAGE
1	SECONDARY TREE CONSERVATION AREAS	0.11 AC	3.2%
2	TOTAL OF ALL TREE CONSERVATION AREAS	0.34 AC	10.65%

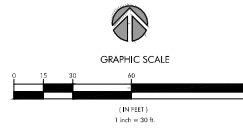
TOTAL OF ALL TCA PROVIDED: 0.36 AC (10.65%)

LEGEND:

- TREES IDENTIFIED FOR TCA - GREENWAY
- TREES IDENTIFIED FOR SECONDARY TCA - INDIVIDUAL TREES
- GREENWAY EASEMENT



- NOTES:**
- TCA WAS CREATED FOLLOWING GUIDELINES SET FORTH IN CITY OF RALEIGH LUDO ARTICLE 9.1
 - SEE TREE COVER REPORT COMPLETED BY FORESTRY SERVICES INC. INCLUDED IN THIS SUBMITTAL
 - SEE SHEET LS-2.0 FOR REQUIRED TREE PROTECTION FENCING DETAILS.
 - TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.



SE NC GRID COORDINATES
EAD 83 2011.1 N
722 200.43 E 270.84645
ELEV 242.67

SPECTRUM POWER PLOT (S.P.)
TABLE NO. 102-700
1712-00-8118
RESIDENTIAL

REVIEWED BY THROUGH
10.8.2023 NO. 287
R/S TO 341-4853
REVISIONS
COMMERCIAL/RESIDUAL USE



150 Southside at 1310
Raleigh, NC 27603
P: 919.276.5260
urban@urbandesignpartners.com

NC Firm No. P-2671 NC Case No. C-03844

03/22/2024

North Carolina
Troopers Association

North Carolina Troopers
Association - Museum
Site Plan
3405 Garner Rd, Raleigh, NC 27610

NO.	DATE	BY	REVISIONS
1	03/22/2024	TEJ	PREPARE PRELIMINARY CITY OF RALEIGH AND COUNTY OF FAYETTE PLANS FOR CITY OF RALEIGH AND COUNTY OF FAYETTE
2	03/22/2024	TEJ	REVISION PLAN FOR CITY OF RALEIGH AND COUNTY OF FAYETTE

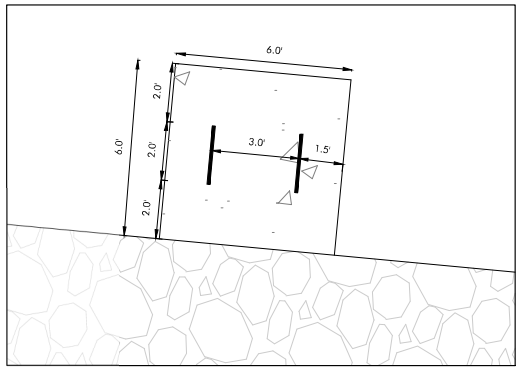
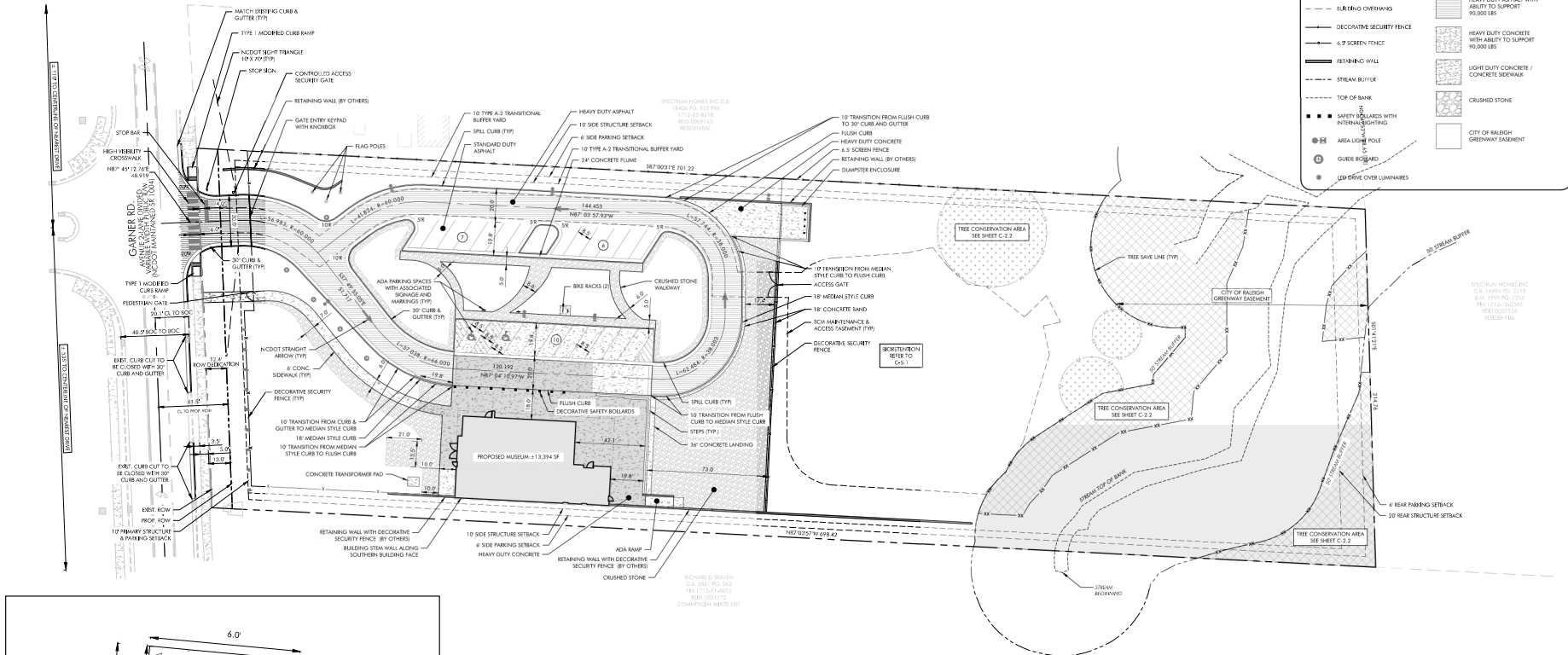
Project No: 23-RDU-022
Date: 11.08.2023
Sheet No:

C-3.0

NOTE: NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING AND INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE CROWNWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

SITE PLAN LEGEND:

- PROP. STD. 30" C&G
- PROP. SPILL CURB
- PROP. MEDIAN STYLE CURB
- PROP. 30" VALLEY GUTTER
- - - PROPERTY BOUNDARY
- - - TREE SAVE LINE
- - - SETBACK LINE
- - - EASEMENT LINE
- - - BUILDING OVERHANG
- - - DECORATIVE SECURITY FENCE
- - - 6" SCREEN FENCE
- - - STREAM BUTLER
- - - TOP OF BANK
- SAFETY BOLLARDS WITH INTERLOCKING
- AREA LIGHT POLE
- GUIDE BOARD
- LED DRIVE OVER LUMINAIRES
- PROPOSED BUILDING
- ▨ TREE CONSERVATION AREA CROWNWAY
- ▨ TREE CONSERVATION AREA INDIVIDUAL TREES
- STANDARD DUTY ASPHALT
- ▨ HEAVY DUTY ASPHALT WITH ABILITY TO SUPPORT 90,000 LBS
- ▨ HEAVY DUTY CONCRETE WITH ABILITY TO SUPPORT 90,000 LBS
- ▨ LIGHT DUTY CONCRETE / CONCRETE SIDEWALK
- ▨ CRUSHED STONE
- CITY OF RALEIGH GREENWAY EASEMENT



SITE DATA:

TAX PARCEL ID #:	171-202-194-20
SITE AREA:	3.84 AC (169,846 SF)
ROW DESIGNATION:	0.06 AC (2,614 SF)
NET SITE AREA:	3.78 AC (147,172 SF)
EXISTING ZONING:	R-10
EXISTING LAND USE:	SINGLE FAMILY RESIDENCE
PROPOSED USE:	MUSEUM (10 K)
ACCESSORY USE:	NAME (1) TWO FLOOR SLEEPING UNITS
BUILDING GFA:	113,394 SF

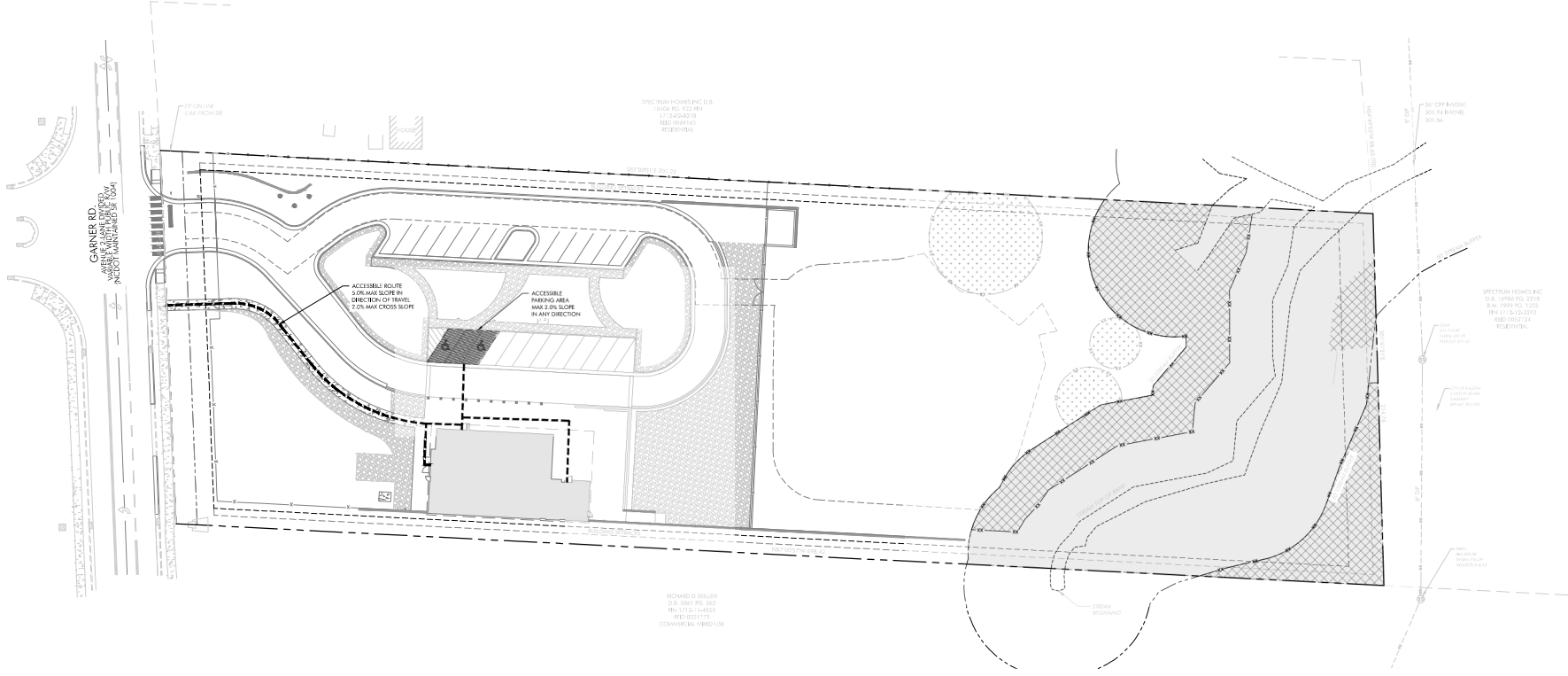
DEVELOPMENT SUMMARY:

LOT DIMENSIONS:	TRANSITIONAL BUFFER YARDS:
LOT AREA: 3.84 AC (147,172 SF)	A-2 BUFFER YARD: 10' MIN.
PRIMARY STREET SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
305' STREET SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
305' LOT LINE SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
REAR LOT LINE SETBACK: 20' MIN.	TRANSITION BUFFER YARDS:
STRUCTURE SETBACKS:	TRANSITION BUFFER YARDS:
PRIMARY STREET SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
305' STREET SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
305' LOT LINE SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
REAR LOT LINE SETBACK: 20' MIN.	TRANSITION BUFFER YARDS:
PARKING SETBACKS:	TRANSITION BUFFER YARDS:
PRIMARY STREET SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
305' STREET SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
305' LOT LINE SETBACK: 10' MIN.	TRANSITION BUFFER YARDS:
REAR LOT LINE SETBACK: 20' MIN.	TRANSITION BUFFER YARDS:



GRAPHIC SCALE

(1/4" = 1' = 30')



ACCESSIBILITY LEGEND

--- ACCESSIBLE ROUTE

▨ ACCESSIBLE PARKING AREA

5.0% MAX. SLOPE IN DIRECTION OF TRAVEL, 2.0% MAX. CROSS SLOPE ON ACCESSIBLE ROUTE

URBAN DESIGN PARTNERS

150 Fayetteville St. #1110
Raleigh, NC 27601
919.235.5280
info@urbandesignpartners.com

NC Form No. P-2871 NC case no. C-03844

North Carolina
Troopers Association

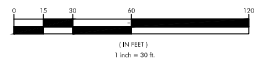
3226 GARNER RD.
RALEIGH, NC 27610

North Carolina Troopers Association - Museum Accessibility Plan

3405 Garner Rd. Raleigh, NC 27610



**BEFORE YOU DIG!
CALL 811 OR 1-800-632-4040
N.C. ONE-CALL CENTER
IT'S THE LAW**



NO.	DATE	BY	REVISIONS
1	03/10/2023	U.D.P.	PRELIMINARY PLAN FOR CITY OF RALEIGH AND COMMENTS
2	03/22/2024	U.D.P.	REVISION PLAN FOR CITY OF RALEIGH AND COMMENTS

Project No: 23-RDU-022
Date: 11.08.2023
Sheet No:

C-3.1



150 Southside at 1310
Raleigh, NC 27601
919.276.5960
info@urbandesign.com

NC Firm reg. P.2871 NC case no. C-03844

03/22/2024

North Carolina
Troopers Association

North Carolina Troopers Association - Museum Grading & Storm Drainage Plan

3405 Garner Rd, Raleigh, NC 27610

NO. 1	DATE:	REV.	DESCRIPTION
1	03/22/2024		ISSUED FOR PERMITS BY THE CITY OF RALEIGH AND COMMENTS
2	03/22/2024		REVISION PLAN BY THE CITY OF RALEIGH AND COMMENTS

Project No: 23-RDU-022
Date: 11.08.2023

Sheet No:

C-4.0

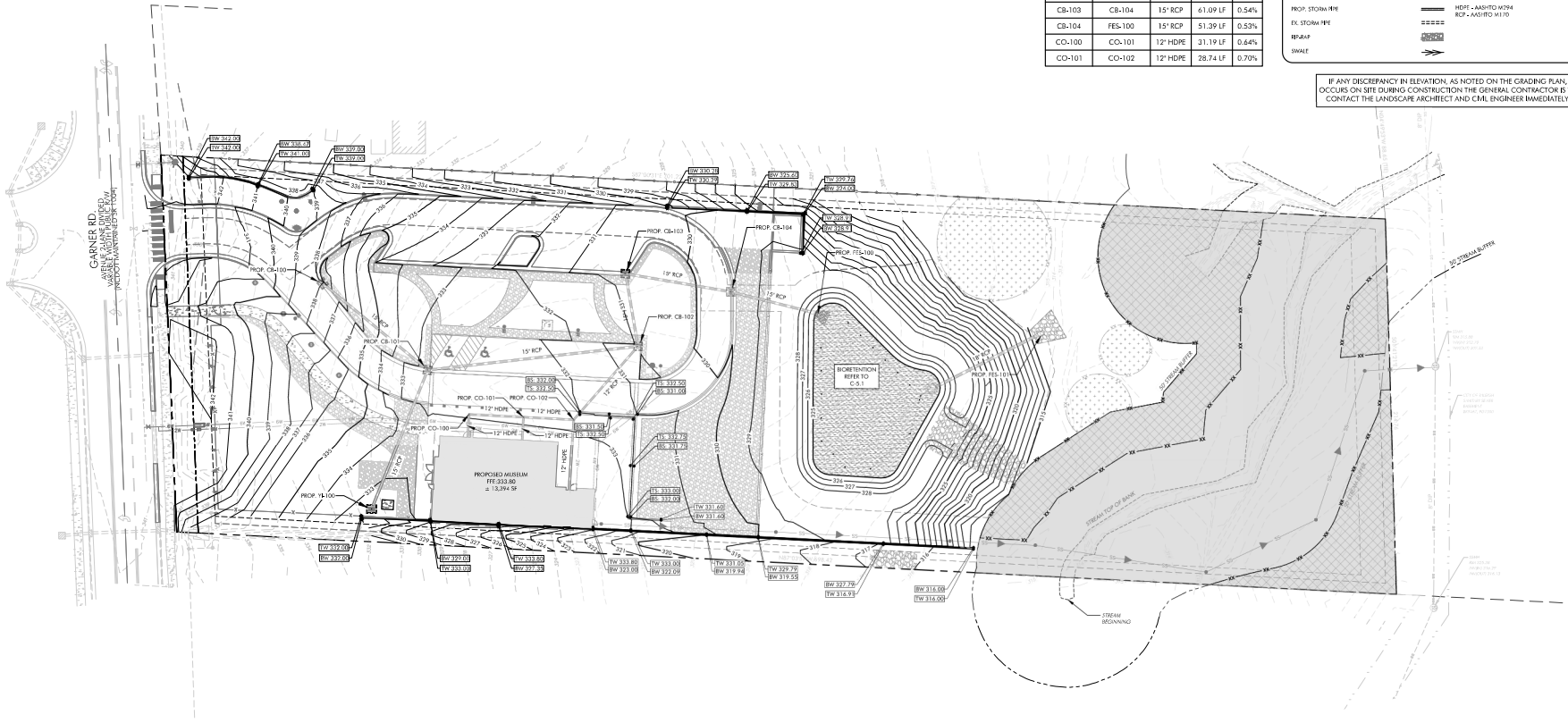
EXISTING IMPERVIOUS
4.000 TO 10.14 AC
PROPOSED IMPERVIOUS
42.160 SF (0.97 AC)

FINISHED GRADE	FG
TOP OF WALL	TW
BOTTOM OF WALL	BW
TOP OF STEP	TS
BOTTOM OF STEP	BS
PROPOSED CONTOUR MAJOR	---
PROPOSED CONTOUR MINOR	---
EXISTING CONTOUR MAJOR	---
EXISTING CONTOUR MINOR	---

PROP. STORM NETWORK PIPES				
UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
DS-102	CO-101	12" HDPE	40.28 LF	1.24%
DS-101	CO-101	12" HDPE	13.12 LF	2.29%
DS-100	CO-100	12" HDPE	13.12 LF	0.76%
CB-100	CB-101	15" RCP	77.80 LF	0.51%
CB-101	YI-100	15" RCP	85.64 LF	3.50%
CB-101	CB-102	12" RCP	121.02 LF	0.99%
CB-102	CO-102	12" HDPE	55.81 LF	4.48%
CB-102	CB-103	15" RCP	42.12 LF	0.59%
CB-103	CB-104	15" RCP	61.09 LF	0.54%
CB-104	FES-100	15" RCP	51.39 LF	0.53%
CO-100	CO-101	12" HDPE	31.19 LF	0.64%
CO-101	CO-102	12" HDPE	28.74 LF	0.70%

ITEM	SYMBOL	DETAIL #
YARD INLET	YI	
DROP INLET	DI	CCR 9A-10.03 / NCDOT 840.14, 840.16
CATCH BASIN W/ HOOD	CB	CCR 9A-10.01 / NCDOT 840.05, 840.03
DOUBLE CATCH BASIN	DCB	CCR 9A-10.02 / NCDOT 840.35
OPEN THROAT CATCH BASIN	OTCB	NCDOT 840.04
OUTLET CONTROL STRUCTURE	OCS	
JUNCTION BOX	JB	CCR 9A-10.04 / NCDOT 840.31, 840.54
FLARED END SECTION	FES	
HEADWALL	HW	NCDOT 858.80
STORM CLEANOUT	STCO	
PROP. STORM PIPE		HDPE - AASHTO M794 RCP - AASHTO M119
EX. STORM PIPE		
RE-SAP		
SWALE		

IF ANY DISCREPANCY IN ELEVATION, AS NOTED ON THE GRADING PLAN, OCCURS ON SITE DURING CONSTRUCTION THE GENERAL CONTRACTOR IS TO CONTACT THE LANDSCAPE ARCHITECT AND CIVIL ENGINEER IMMEDIATELY.

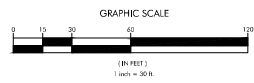


GRADING AND STORM DRAINAGE NOTES:

- ON-SITE BURIAL PITS REQUIRE A PERMIT.
- ANY GRADING DONE BEYOND THE DETAILED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
- GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
- ALL FINAL CURB AND STREET GRADES AT INTERSECTIONS SHALL BE COORDINATED WITH INSPECTOR.
- SIGHT TRIANGLES INDICATED ARE THE MINIMUM REQUIRED.
- APPROVAL OF CONSTRUCTION DOCUMENTS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION SHALL BE OBTAINED BY CONTRACTOR FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, CONTRACTOR SHALL MAINTAIN A MINIMUM OF 0.5% SLOPE ON THE CURB.
- SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBTURATED CONDITION AND SHALL REMOVE FROM THESE AREAS ALL DEBRIS, LOGS, TIMBER, TRASH, JUNK AND OTHER ACCUMULATIONS.
- ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY EXTRACT FRINGE BOUNDARY LINE OR FLOODWAY EXTRACT ENCROACHMENT BOUNDARY LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS.
- THE LOCAL ENGINEERING DEPARTMENT HAS NOT REVIEWED AND DOES NOT ASSUME RESPONSIBILITY FOR THE STRUCTURAL STABILITY OF ANY EXISTING OR PROPOSED RETAINING WALLS ON THE SITE.
- NON-STANDARD ITEMS (E.G., PAVES, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A LOCAL OR STATE ENCROACHMENT AGREEMENT PRIOR TO INSTALLATION.
- ALL SIDEWALKS, STOODS, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDINGS AT A MINIMUM OF 2%.
- CONTRACTOR SHALL CONTACT INSPECTOR 48 HOURS BEFORE CONSTRUCTION.
- STABILIZE ALL SLOPES GREATER THAN 3:1 WITH JUTE MESH.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK WHICH MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. REFER TO PAVEMENT CROSSSECTION DATA TO ESTABLISH CORRECT SUB-BASE, AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING GRADING FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR BY THE CITY OF RALEIGH.



BEFORE YOU DIG
CALL 811 OR 1-800-632-4040
N.C. ONE-CALL CENTER
IT'S THE LAW



SCM INSET TABLE - BIORETENTION

SITE INFORMATION

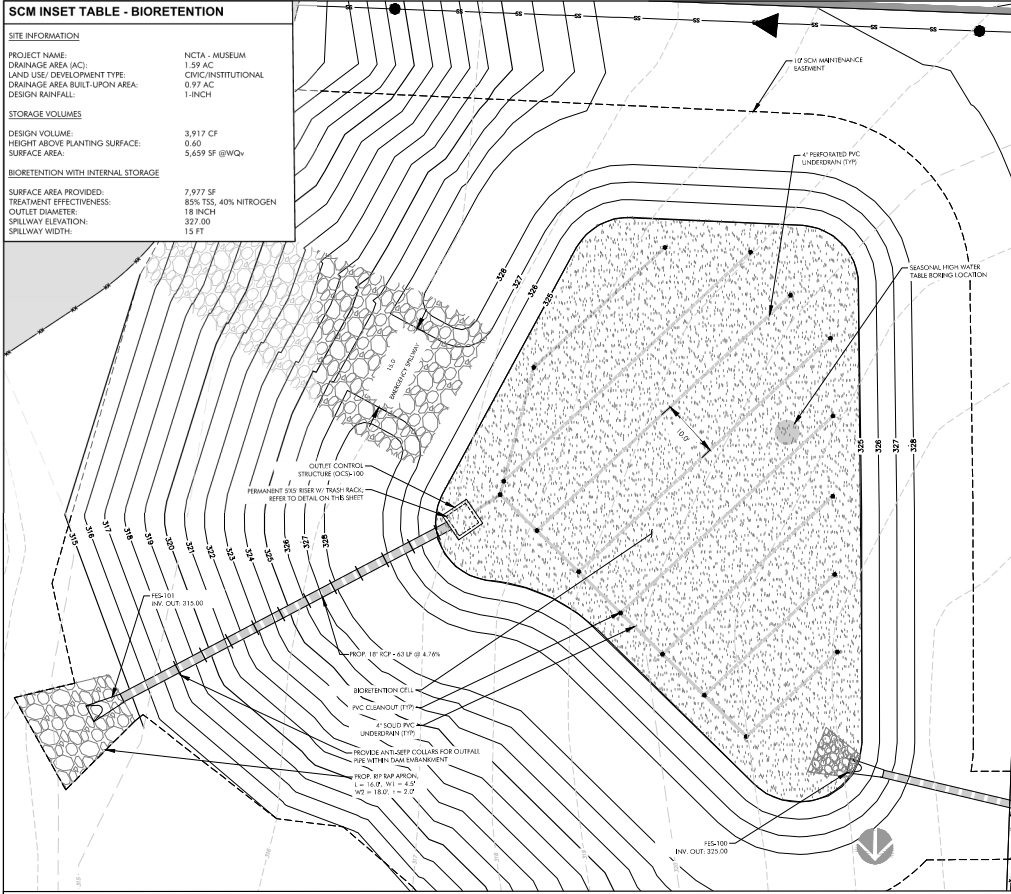
PROJECT NAME: NCTA - MUSEUM
 DRAINAGE AREA (AC): 1.59 AC
 LAND USE / DEVELOPMENT TYPE: CIVIC/INSTITUTIONAL
 DRAINAGE AREA BUILT-UPON AREA: 0.97 AC
 DESIGN RAINFALL: 1 INCH

STORAGE VOLUMES

DESIGN VOLUME: 3,917 CF
 HEIGHT ABOVE PLANTING SURFACE: 0.60
 SURFACE AREA: 5,659 SF @ IWQV

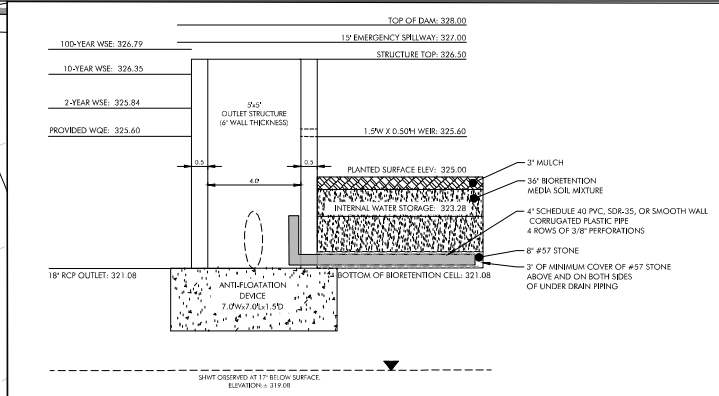
BIORETENTION WITH INTERNAL STORAGE

SURFACE AREA PROVIDED: 7,977 SF
 TREATMENT EFFECTIVENESS: 85% TSS, 40% NITROGEN
 OUTLET DIAMETER: 18 INCH
 SPILLWAY ELEVATION: 327.00
 SPILLWAY WIDTH: 15 FT

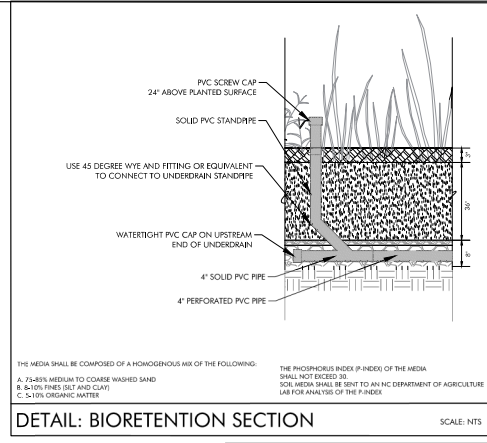


PLAN VIEW: BIORETENTION

SCALE: 1" = 10'

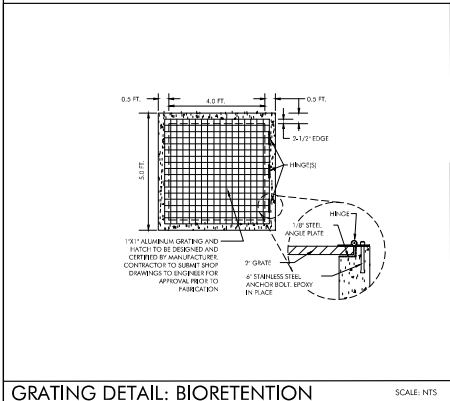


OUTLET CONTROL STRUCTURE



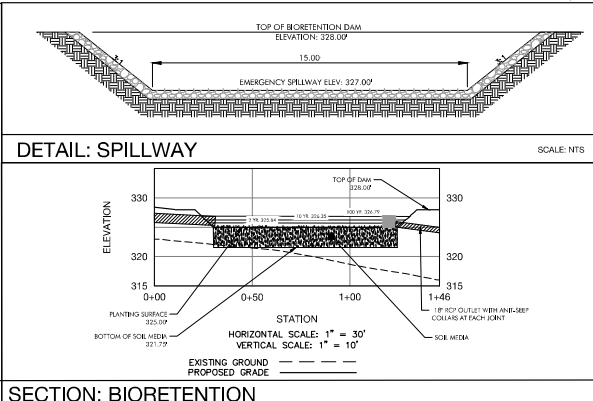
DETAIL: BIORETENTION SECTION

SCALE: NTS



GRATING DETAIL: BIORETENTION

SCALE: NTS



DETAIL: SPILLWAY

SCALE: NTS

SECTION: BIORETENTION

Seeding Schedule

For Shoulders, Side Ditches, Slopes (Max 3:1)

Date	Type	Planting Rate
Aug 15 -	Tall Fescue	300 lbs/acre
Nov 1 -	Tall Fescue & Abruzzi Ryegrass	300 lbs/acre
Mar 1 -	Tall Fescue	300 lbs/acre
Apr 15 -	Mixed Common Bermudagrass	25 lbs/acre
Jun 30 -	Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrid**	125 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrid)

For Shoulders, Side Ditches, Slopes (1:1 to 2:1)

Date	Type	Planting Rate
Mar 1 -	Setaria Leptodes (leafless) and see the following combinations:	80 lbs/acre (Setaria Leptodes)
Apr 15 -	And Tall Fescue	120 lbs/acre
Jun 30 -	Or add Weeping Love grass	10 lbs/acre
Mar 1 -	Or add Mixed Common Bermudagrass	25 lbs/acre
Jun 30 -	Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrid**	120 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrid)
Mar 1 -	Setaria Leptodes (leafless) - (leafless) AND Tall Fescue	70 lbs/acre (Setaria Leptodes); 120 lbs/acre (Tall Fescue)
Nov 1 -	AND Abruzzi Ryegrass	25 lbs/acre

GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPE ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES FLATTER THAN 3:1	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.



150 Southside at 1100
 Raleigh, NC 27603
 P: 919.276.5080
 urban@urbandesignpartners.com

North Carolina Troopers Association
 3226 GAMNER RD
 RALEIGH, NC 27610

North Carolina Troopers Association - Museum
 SCM Plan & Details
 3405 Garner Rd Raleigh, NC 27610

NO. DATE BY REVISIONS

NO.	DATE	BY	REVISIONS
1	03/10/2024	TDG	ISSUE FOR PERMITS AND COMMENTS
2	03/22/2024	TDG	REVISE PLAN PER CITY OF RALEIGH AND COMMENTS

Project No: 23-RDU-022
 Date: 11.08.2023
 Sheet No:

C-5.1



150 Southside at 1310
Raleigh, NC 27603
919.276.5080
urban@designpartners.com

NC Firm No. P-2871 NC Case No. C-03844

North Carolina
Troopers Association

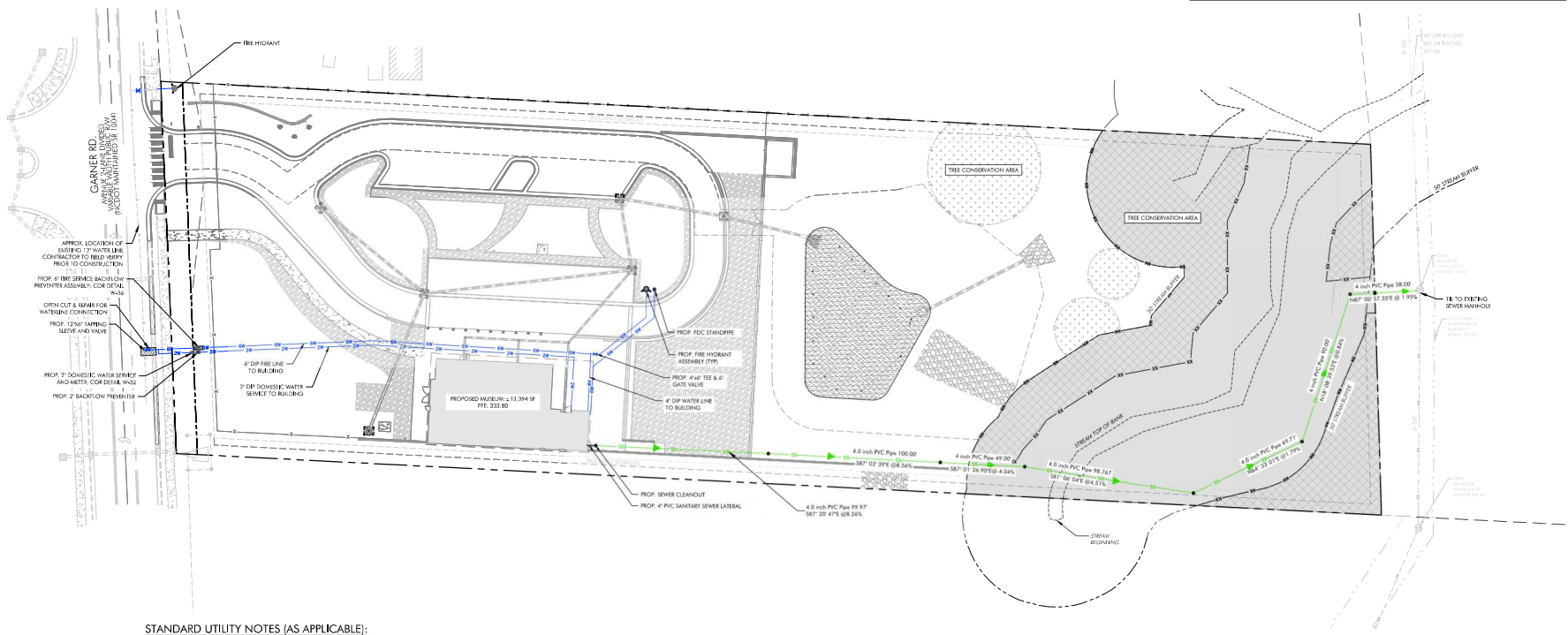
North Carolina Troopers Association - Museum

Utility Plan

3405 Garner Rd. Raleigh, NC 27610

UTILITIES SUMMARY:	
2" WATER LINE	376 LF
4" WATER LINE	408 LF
6" SANITARY SEWER MAIN	546 LF
NUMBER OF HYDRANTS	2
NUMBER OF CLEANOUTS	6

UTILITY LEGEND:					
ITEM	CONTENTS	SYMBOL	ITEM	CONTENTS	SYMBOL
2" WATER LINE			OVERHEAD ELECTRIC LINE	ONE	
4" WATER LINE			UNDERGROUND ELECTRIC LINE	USE	
6" WATER LINE			UTILITY POLE		
WATER METER			TELECOM LINE	TEL	
BACKFLOW PREVENTOR	BP		STORM DRAINAGE		
GATE VALVE	GV		EX. STORM DRAINAGE		
REDUCER			EX. OVERHEAD ELECTRIC	ONE	
BLOW OFF ASSEMBLY	BO		EX. TELEPHONE	T	
HYDRANT ASSEMBLY	HVD		EX. UNDERGROUND ELECTRIC	USE	
HRE DEP. CONNECTION	FDG		EX. UNDERGROUND TELEPHONE	TEL	
SEWER LINE	SS		EX. SEWER FORCE MAIN	FM	
SEWER FORCE MAIN	FM		EX. WATER LINE	W	
MANHOLE	MH		EX. GAS LINE	G	
SANITARY SEWER CLEAN OUT	SSCO		EX. UTILITY POLE		
GAS LINE					

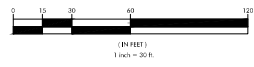


STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL UTILITIES & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE, CONCRETE HANDBOOK, CURRENT EDITION.
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 1'0" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SERVICE SOURCE UNLESS AN APPROVED RESOLUTION OBTAINS A SOURCE OF DRINKING WATER. IF AN ADJACENT LATERAL SEPARATION CANNOT BE ACHIEVED, FERRULED SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO VITRIFIED PIPE. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2" FROM A PRIVATE WELL OR APPROX. A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 1'0" IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED BY THE WATER MAINS A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN OR WATERMAIN OR OTHER ENCUMBRANCE EXCEEDS 12" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO VITRIFIED PIPE.
 - 6" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY 6" WATERMAIN & CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER CORPUS DETAILS 11 & 5-49.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EXISTENT DURING THE PROJECT.
- CONTRACTOR SHALL MAINTAIN COORDINATE WATER & SEWER SERVICES TO EXISTING RESIDENCES & BUSSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3/4" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- BE THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REGRADE EXISTING WATER & SEWER SERVICES NOT BEING SPECIALLY DEVELOPMENT OF A USE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURES.
- INSTALL 4" PVC NEW BOW WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'0" WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SERVICE MAINS @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT. LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- REQUIRE REBOUNDING WAVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 60' PER BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES EXCEEDING 150' OR LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM FISHING, GAME & WOOD TRAIL FOR ANY BROWN WATER, WETLAND & R/O FLOODPLAIN IMPACTS. (DISCREETLY) PRIOR TO CONSTRUCTION.
- NECOT / MICHIGAN ENCUMBRANCE AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN POTHOLES & SERVICE TAPS WITHIN STATE OR FEDERAL ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR BEING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS H/O PROGRAM COORDINATOR PRIOR TO BEGINNING OF ALL BUILDING FRAME. CONTACT STEPHEN CALVERT AT 919. 996-2334 OR STEPHEN CALVERT.DIG@RALEIGH.NC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL, PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS SET FORTH IN SUPPLEMENT OF THE RASGS (STANDARD RULES) WATER SERVICE IN NORTH-CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHERE APPROPRIATE. WORK STOPPAGE: CONTACT JOANNE HARTLEY AT 919.996-9923 OR JOANNE.HARTLEY@RALEIGH.NC.GOV FOR MORE INFORMATION.
- NO TYPICAL OR PERMANENT ENCUMBRANCES INCLUDING BUT NOT LIMITED TO CHURNING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



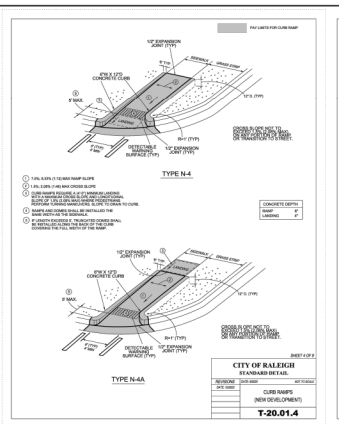
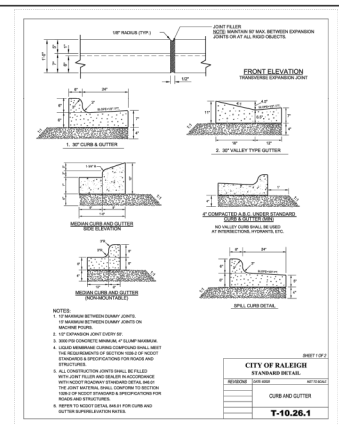
GRAPHIC SCALE



NO.	DATE	BY	REVISIONS
1	11/03/2023	TEJ	ISSUE PER CITY OF RALEIGH AS COMMENTS
2	03/02/2024	TEJ	REVISION PER CITY OF RALEIGH AS COMMENTS

Project No: 23-RDU-022
Date: 11.08.2023

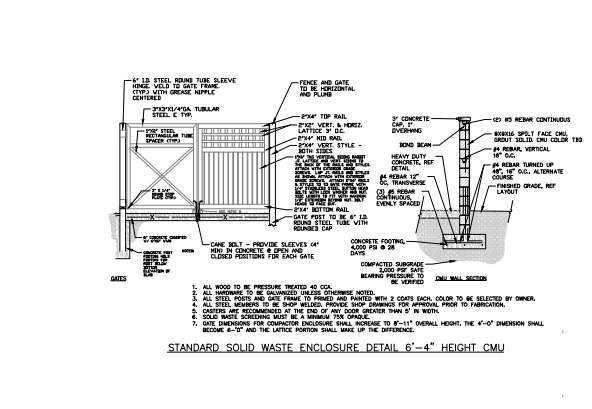
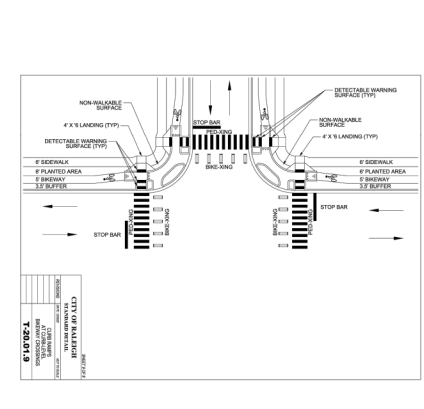
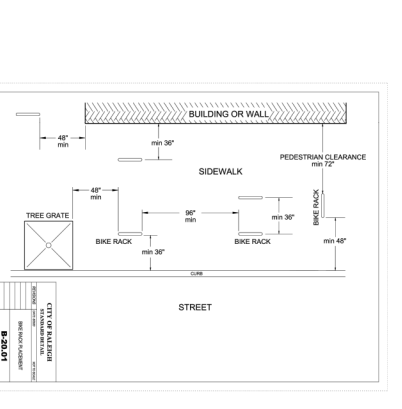
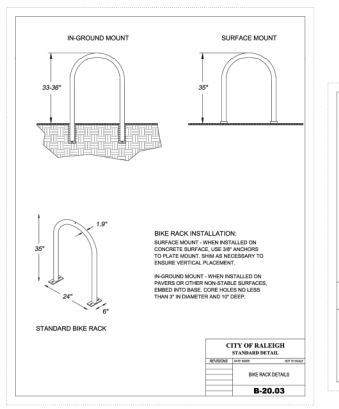
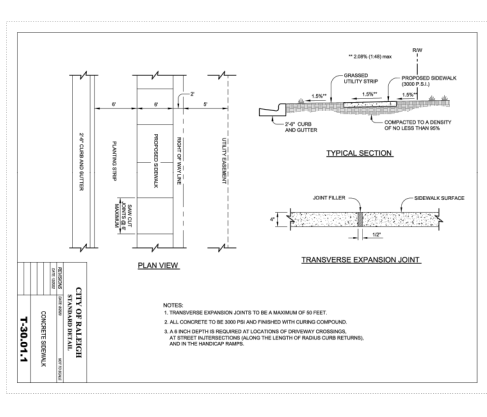
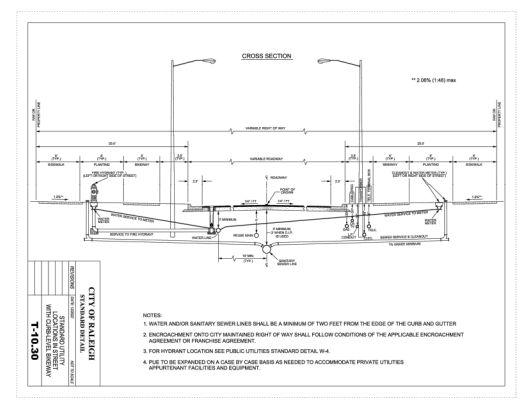
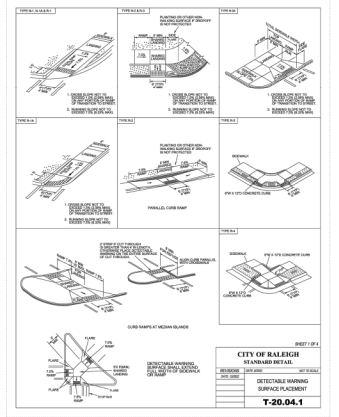
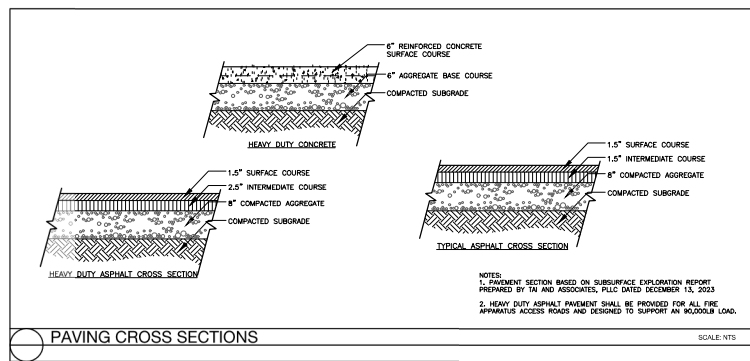
Sheet No:
C-6.0

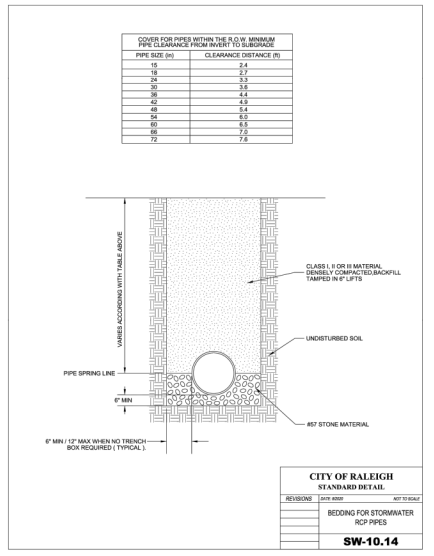
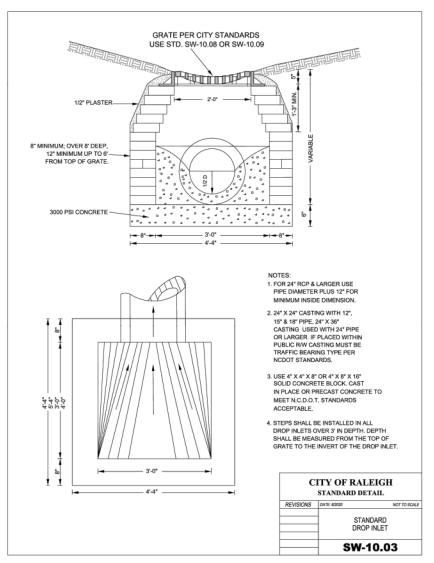
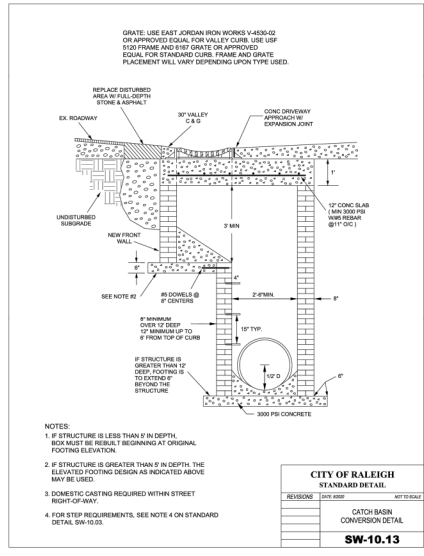
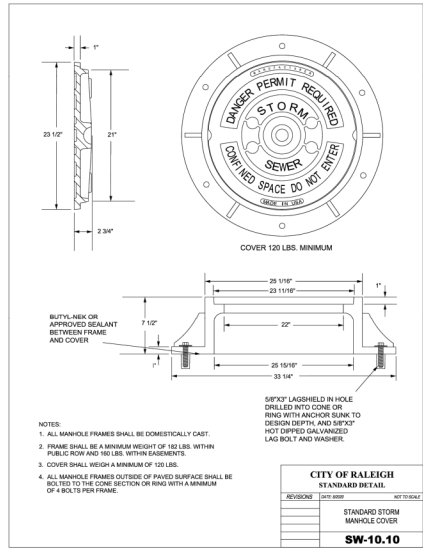
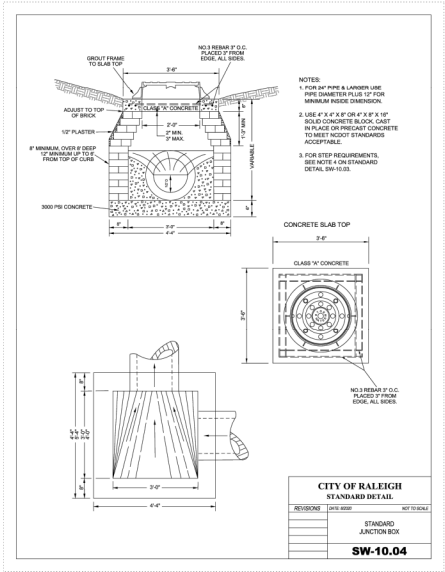
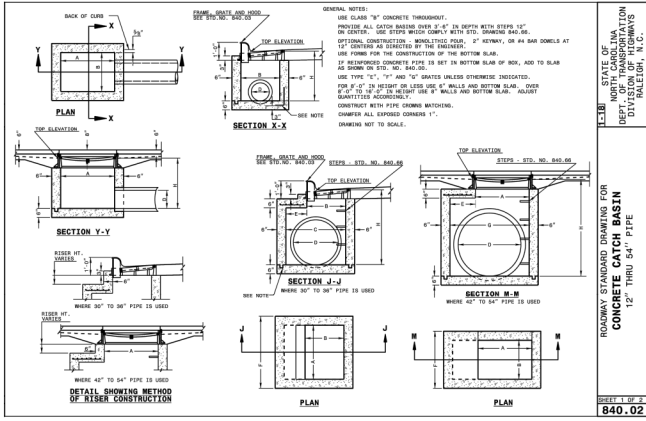


CITY OF RALEIGH
CURB RAMP NOTES
GENERAL NOTES

1. CITY OF RALEIGH STANDARD CURB RAMP HAS BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROVAD).
2. CURB RAMP SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMP SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP VALVES, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMP ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1/12 (1%) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 4'.
7. USE CLASS A (M80) PS CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSLIP SURFACE.
8. A 1/2" EXPANSION JOINT FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMP SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

CITY OF RALEIGH
STANDARD DETAIL
CONTRACT NO. 23-001.8
CURB RAMP NOTES
T-20.01.8





North Carolina
Troopers Association

3226 Garner Rd
RALEIGH, NC 27610

North Carolina Troopers Association - Museum Storm Details

3405 Garner Rd, Raleigh, NC 27610

NO.	DATE	BY	REVISIONS	APPROVED BY	SET TO BOARD
1	03/10/2023	TEB	ISSUE FOR PERMITS ON RAINWATER COLLECTION		
2	03/22/2024	TEB	REVISED PERMITS, TOIT, MEET FINAL QUALITY OF MATERIALS AND CONFORMS		

Project No: 23-RDU-022
Date: 11.08.2023
Sheet No:

C-8.1

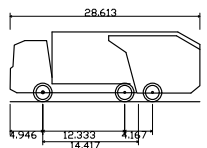
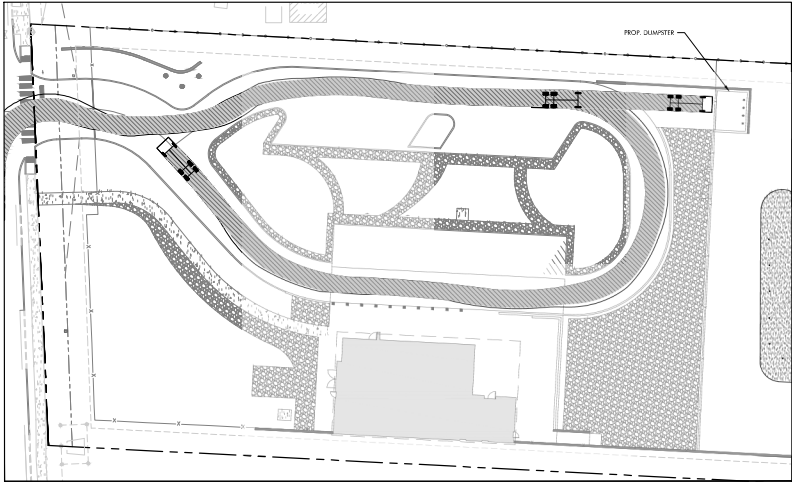


March 23, 2024
 Title: [Redacted]
 Project: [Redacted]
 Location: [Redacted]
 Drawing No: [Redacted]

This is a general plan for fire and emergency access for your new project being designed for [Redacted].
 All fire and emergency access shall be in accordance with the City of Raleigh Fire Department's fire and emergency access standards.
 All fire and emergency access shall be in accordance with the City of Raleigh Fire Department's fire and emergency access standards.
 All fire and emergency access shall be in accordance with the City of Raleigh Fire Department's fire and emergency access standards.
 All fire and emergency access shall be in accordance with the City of Raleigh Fire Department's fire and emergency access standards.

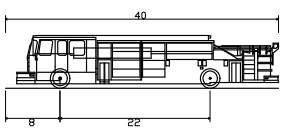
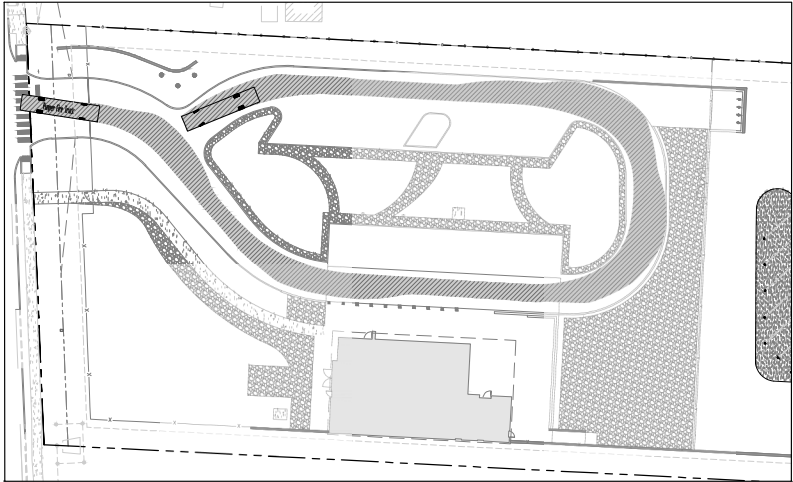
GENERAL NOTES:

- (PER CITY OF RALEIGH FIRE PROTECTION)
1. ALL PORTIONS OF BUILDING MUST BE WITHIN 150' OF THE APPARATUS ACCESS ROAD SURFACE (SEE 503.1.1 NFPA, 200' WITH A 13K SPRINKLER SYSTEM, AND 250' FOR A 13 SYSTEM).
 2. MINIMUM INSIDE TURNING RADIUS OF 20' MUST BE MAINTAINED THROUGHOUT THE SITE PLAN FOR ANY FIRE DEPARTMENT ACCESS LANES THAT WOULD BE USED BY A FIRE APPARATUS.
 3. FIRE DEPARTMENT CONNECTION (FDC) TO BE WITHIN 40' OF THE FIRE DEPARTMENT ACCESS ROAD ON THE FRONT OF THE BUILDING ALONG THE ADDRESS SIDE.
 4. FIRE HYDRANTS SHALL BE NO MORE THAN 100' FROM AN FDC FOR A SPRINKLER SYSTEM AND/OR STANDBY SYSTEM MEASURED AS THE HORSE LIES. HYDRANTS SERVING FDC SHALL BE LOCATED ON THE SAME SIDE OF THE ROAD AND SAME SIDE OF THE DRIVEWAY TO LIMIT BLOCKING RESPONDING APPARATUS ACCESS TO BUILDING.
 5. FIRE DEPARTMENT VEHICLES ACCESS LANE TO BE DESIGNED AND CONSTRUCTED TO SUPPORT THE LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS, AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITY. (NFPA 302.2.3)



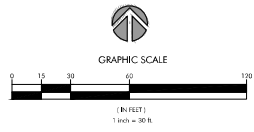
Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd	
Overall Length	28.613ft
Overall Width	8.000ft
Overall Body Height	10.481ft
Min Body Ground Clearance	1.311ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	33.500ft

DESIGN VEHICLE: GARBAGE TRUCK



Pumper Fire Truck	
Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.655ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

DESIGN VEHICLE: FIRE TRUCK



150 Southside Blvd. #110
 Raleigh, NC 27603
 P: 919.276.5080
 udesignpartners.com
 NC Form No. P-2671 at copy no. C-0204

North Carolina
 Troopers Association
 3326 GARNER RD
 RALEIGH, NC 27610

North Carolina Troopers
 Association - Museum
 Emergency Vehicle Access
 3405 Garner Rd, Raleigh, NC 27610

NO.	DATE	BY	REVISIONS
1	03/23/2024	[Redacted]	DESIGNER PREPARED FOR RAJESH AND COMPANY
2	03/22/2024	[Redacted]	DESIGNER PREPARED FOR RAJESH AND COMPANY

Project No: 23-RDU-022
 Date: 11.08.2023

Sheet No:
C-9.0

NOTES:

- IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DO NOT MATCH QUANTITIES IN PLANT SCHEDULE, GRAPHIC REPRESENTATION OF PLANTINGS WILL GOVERN.
- TREES NOT IN A LANDSCAPE BED SHALL RECEIVE A 4" DIAMETER MULCH-RING.
- QUANTITIES OF BIRNATION INCLUDE DOTTED LANDSCAPE BEDS. ALL SOIRED AREAS AND TREES NOT LOCATED IN A LANDSCAPE BED.
- CITY TREE PLANTING AND PRESERVATION NOTES ON SHEET LS-1.0.

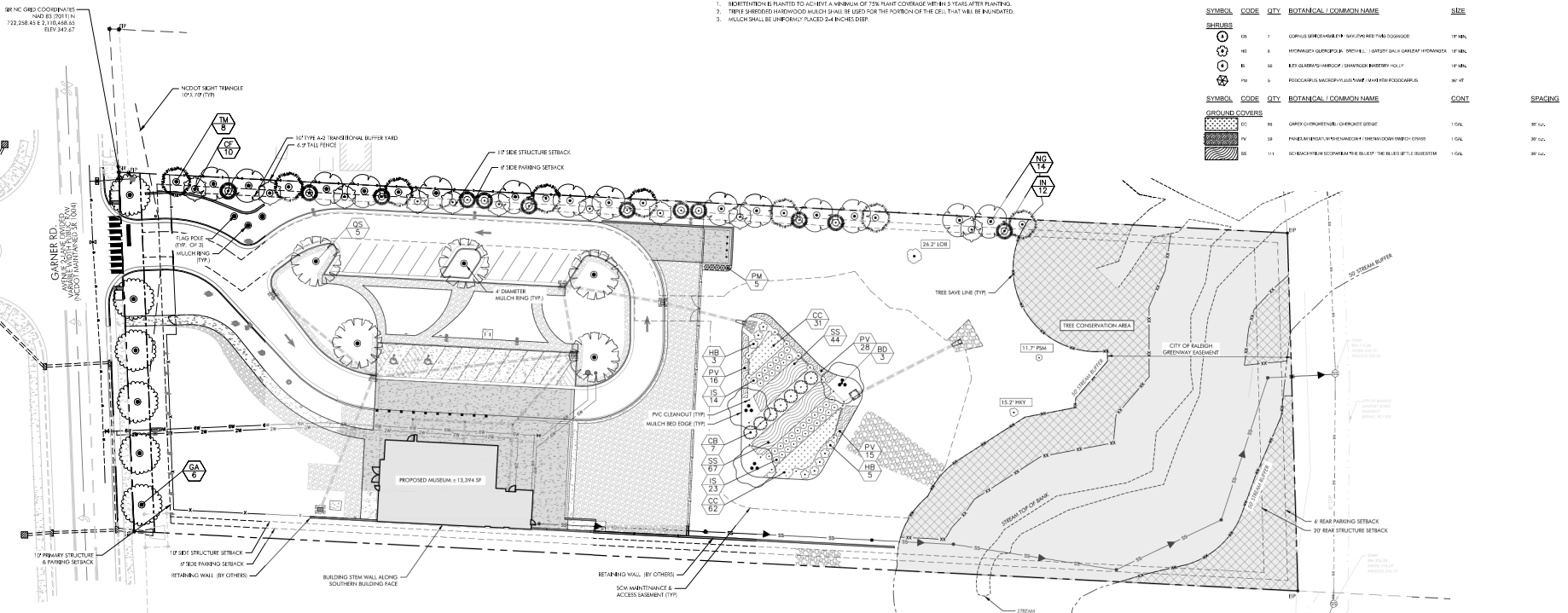


LANDSCAPE REQUIREMENTS:

- TYPE A-2 PROTECTIVE MANDATORY OF BANKS (LUDO SEC. 2.2.4)**
- HEIGHTS:**
- 17' REAR FENCE HT.
 - 6.5' REAR SHADE TREES
 - REAR UNDERSTORY TREES: 4 TREES/100 LF
 - (343 LF / 100 LF) = 33 SHADE TREES REAR
 - (343 LF / 100 LF) = 22 UNDERSTORY TREES REAR
 - PROVIDED TREES: 22 SHADE TREES
 - 22 UNDERSTORY TREES
- 1. TREES NOT IN A LANDSCAPE BED SHALL BE PLANTED IN A LANDSCAPE BED. THE LOCATION OF LANDSCAPE BEDS WILL BE DETERMINED BY THE CITY ENGINEER.**
- 2. ALL TREES SHALL BE PLANTED WITHIN THE CITY TREE ANNUAL.**
- 3. NO LARGE MATURING TREES SHALL BE PLANTED BENEATH OVERHEAD POWER LINES.**
- 4. TREES SHALL BE UNIFORMITY PLACED 64 INCHES DEEP.**
- MINIMUM TREE PLANTING (CITY TREE ANNUAL)**
- ALL STREET TREES SHALL BE PLANTED 40' ON CENTER UNLESS OTHERWISE SPECIFIED IN THE LUDO.
 - ALL TREES FOR PROXIMITY FROM CENTER OF TREE TO STRUCTURE SET-FORTH IN CITY TREE ANNUAL.
 - NO LARGE MATURING TREES SHALL BE PLANTED BENEATH OVERHEAD POWER LINES.
- 175' (84 LF / 40 LF) = 5 TREES REAR**
- 6 TREES PROVIDED**
- 100% SHADING ON REAR SIDE OF BUILDING**
- MINIMUM TREE PLANTING (CITY TREE ANNUAL)**
- SHORTER TREES PLANTED TO ACHIEVE A MINIMUM OF 75% PLANT COVERAGE WITHIN 5 YEARS AFTER PLANTING.
 - TREES SHADING REAR SIDE OF BUILDING SHALL BE USED FOR THE PORTION OF THE CELL THAT WILL BE MAINTAINED.
 - MULCH SHALL BE UNIFORMITY PLACED 64 INCHES DEEP.

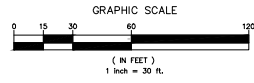
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	GAL.	SIZE
SHADE TREES						
(Symbol)	00	5	REDTAN BIRNATION (TAN) HIGHT TREES REAR	0.65	2.00L	10'-12" HT
(Symbol)	01	6	EMERALD GREEN OAK (EMERALD GREEN OAK) UNDERSTORY TREES	0.65	2.00L	14'-18" HT
(Symbol)	02	14	WINDY OAK (WINDY OAK) UNDERSTORY TREES	0.65	2.00L	14'-18" HT
(Symbol)	03	5	QUERCUS BIRNATION (BIRNATION) UNDERSTORY TREES	0.65	2.00L	14'-18" HT
(Symbol)	04	8	TAN OAK (TAN OAK) UNDERSTORY TREES	0.65	2.00L	14'-18" HT
UNDERSTORY TREES						
(Symbol)	05	10	COBRE CANO (COBRE CANO) UNDERSTORY TREES	0.65	1.25L	6'-10"
(Symbol)	06	12	REDTAN BIRNATION (TAN) HIGHT TREES REAR	0.65	2.00L	10'-12" HT
SHRUBS						
(Symbol)	07	10	COBRE CANO (COBRE CANO) UNDERSTORY TREES	1.00L	30" GAL.	
(Symbol)	08	12	REDTAN BIRNATION (TAN) HIGHT TREES REAR	1.00L	30" GAL.	
(Symbol)	09	14	WINDY OAK (WINDY OAK) UNDERSTORY TREES	1.00L	30" GAL.	
(Symbol)	10	16	EMERALD GREEN OAK (EMERALD GREEN OAK) UNDERSTORY TREES	1.00L	30" GAL.	
(Symbol)	11	18	QUERCUS BIRNATION (BIRNATION) UNDERSTORY TREES	1.00L	30" GAL.	
GROUND COVERS						
(Symbol)	12	85	GRASS (GRASS) GROUND COVER	1.00L	30" GAL.	
(Symbol)	13	50	PROXIMITY FROM CENTER OF TREE TO STRUCTURE SET-FORTH IN CITY TREE ANNUAL	1.00L	30" GAL.	
(Symbol)	14	11	SCORCHING SCORCHING BIRNATION (TAN) HIGHT TREES REAR	1.00L	30" GAL.	



North Carolina Troopers Association
 3405 Garner Rd Raleigh, NC 27610

North Carolina Troopers Association
 Landscape Plan
 3405 Garner Rd Raleigh, NC 27610



LS-1.0
 11.08.2023
 Project No: 23-RDU-022
 Date: 11.08.2023
 Sheet No: LS-1.0

TREE PLANTING & PRESERVATION REQUIREMENTS:

1. ALL SPECIES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIBER OF 3 INCHES AND BE AT LEAST 10 FEET TALL AT THE TIME OF PLANTING.
2. SINGLE-STEM URBAN FOREST TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIBER OF 1 1/2 INCHES AND BE AT LEAST 4 FEET TALL AT THE TIME OF PLANTING.
3. REQUIRED TREE SPECIES SHALL BE 2" P. CALIF. AND BE A MINIMUM OF 10" TALL IN QUANTITY OF PLANTING PER TREE SPECIES.
4. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERSHIP TO THE TOP OF THE CROWN UNLESS NATURAL TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY FROM NORMAL GROWTH PATTERNS. WEATHER-DAMAGED BRANCHES, BE MOISTURED AND HAVE HORIZONTAL BRUSH CUTS. TREES WITH BRUSH CUTS SHALL NOT BE ACCEPTED. TREES WITH CRACKING BRANCHING OR NOT BE ACCEPTED. TREES THAT HAVE BEEN DAMAGED, TOPPED OR CUT BACK TO MAINTAIN THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF BRUISES, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMING. NO BRUISES OR CUTS ON THE TRUNK SHALL BE MORE THAN 2 INCHES FROM THE CENTER LINE OF THE TRUNK WHERE THE CUT WAS MADE. ROOT BALLS SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 1" OF SOIL COVERING THE ROOT BALLS FROM VIL SHALL NOT BE ACCEPTED.
5. SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND RED OF BULBS SHALL BE IN ACCORDANCE WITH AND 2013 LATEST EDITION AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED OR AUTHORIZED BY URBAN FORESTRY.
6. ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
7. A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SETS WITH MORE THAN 10 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PLUGGANT TO THE TREE SPECIES REQUIREMENTS.
8. 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.
9. ALL TREES, AND TOP 1/3 OF VIBES BASKET AND BULBAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
10. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUBBASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 18" TOPSOIL, OR TILL AND AMEND THE TOP 10" OF EXISTING SOIL TO MEET TOPSOIL PLANTING RECOMMENDATIONS FOR TREES WITHIN THE PLANTING AREA OF 27.5 SQUARE FEET.
11. TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE CITY ASSESSOR AND/OR NCDOT.

UTILITY REQUIREMENTS:

12. IF ANY UTILITY IS BEING INSTALLED OR REPAIR APPROVED TREES OR TREE SAVED AREAS, CALL URBAN FORESTRY PERMITTEE TO RESOLVE PRIOR TO UTILITY INSTALLATION.
13. IF TREES CONFLICT WITH ANY UTILITIES OR SIGNALS, CALL URBAN FORESTRY TO RESOLVE BEFORE PLANTING.
14. ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING UNDERGROUND UTILITIES. PLANT 10' FROM ALL UNDERGROUND UTILITIES.
15. NO LIGHT POLES, UTILITIES OR TRANSFORMERS CAN BE INSTALLED IN TREE BULBS.
16. TREES MUST MAINTAIN A MINIMUM DISTANCE OF 20' FROM LIGHT POLES WITHIN THE RIGHT-OF-WAY. SHOW TREE LIGHTING ON LANDSCAPE PLAN.

THE PLAN AND SPECIFICATIONS:

17. TREE PLANTING SHALL BE INSTALLED AND FINISHED BY URBAN FORESTRY TO STARTING AN CONSTRUCTION ACTIVITY.
18. SHOW TREE PROTECTION AND TREE SAVED AREAS ON FINAL CONTRACT, GRADING AND LANDSCAPE PLAN SHEETS.
19. CONSTRUCTION TREE SAVED AREAS MUST BE RECORDED ON A FINAL PLAN.
20. TREE SAVED AREAS SHALL BE FREE OF BRUISE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVING CONTAINS BRUISE PLANT SPECIES AT THE TIME OF PROPOSAL, SUCH BRUISE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL PLAN.
21. THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CANNOT BE COUNTED TOWARD THE TREE SAVED REQUIREMENT.
22. ANY ATTRACTIONS TO TREE SAVED AREAS MUST BE ACCOMPANIED WITHOUT MECHANIZED EQUIPMENT.
23. NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVED AREAS UNLESS APPROVED BY URBAN FORESTRY.
24. CONTRACT URBAN FORESTRY SPECIALLY PRIOR TO ANY CRANE SETUP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT PROTECTED TREES OR TREE SAVED AREAS INCLUDING TREES LOCATED IN STREET RIGHT OF WAY. IMPACT MAY INCLUDE BUT NOT LIMITED TO: UNDERGROUND WITHIN TREE DRINK LINE LOCATION, SOIL COMPACTATION, TREE TRIMMING, BRACING AND DEMOLITION OF CONSTRUCTION CRANES.

TOPSOIL, PLANTING MEDIA AND FERTILIZATION REQUIREMENTS:

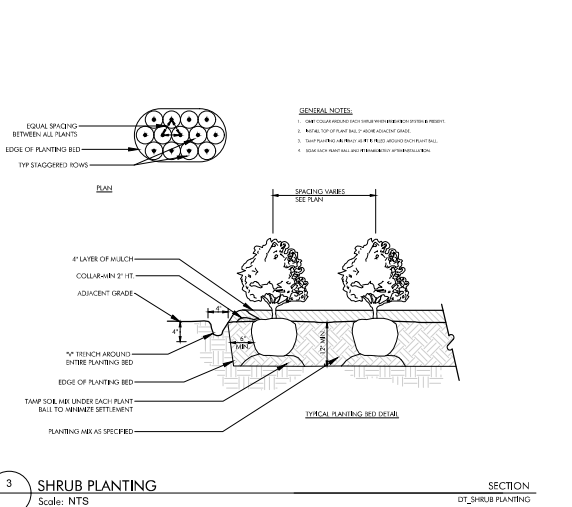
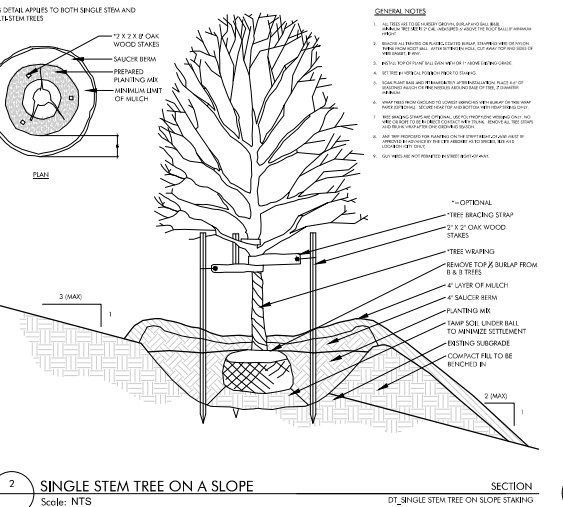
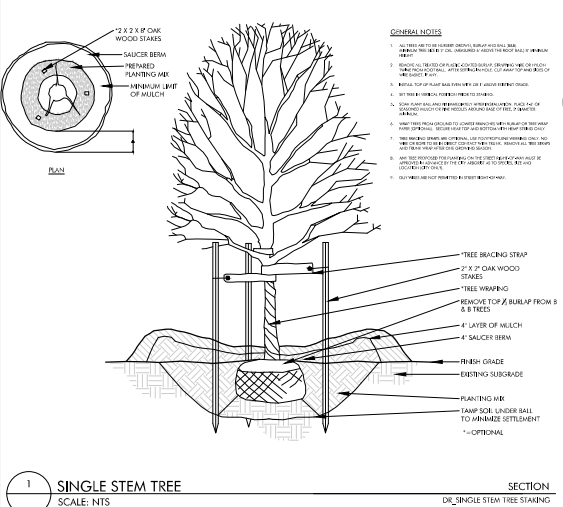
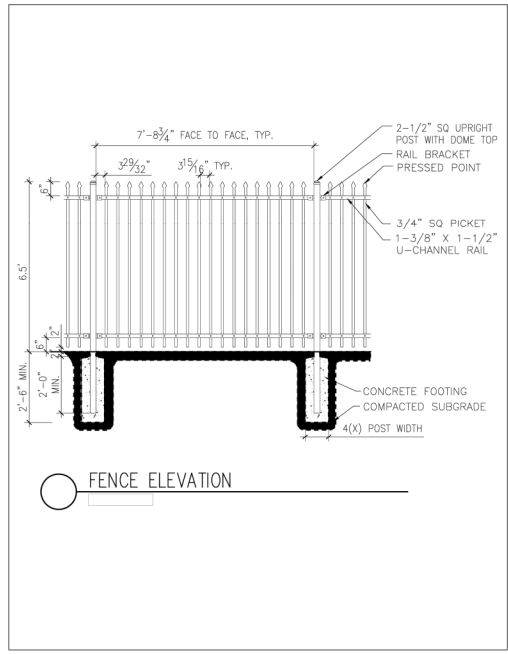
25. WHERE PLANTING OCCURS ON BROWNSPOTS OR AREAS WHERE NEW PLANTING STRIPS OR BULBS ARE REQUIRED, ALL PAVEMENT, CONSTRUCTION DEBRIS AND GRAVEL SUBBASE MUST BE REMOVED BEFORE PLANTING SOIL AND PLANTING MEDIA IS COMPACTED TO 90% OF ITS ORIGINAL DENSITY. PLANTING MEDIA SHALL BE 2" OF TOPSOIL PLANTING MEDIA OVERLAPPING SOIL TO A DEPTH OF 30" AND AMENDED TO MEET TOPSOIL STANDARDS FOR THE PLANTING AREA.
26. SOIL IN ALL PLANTING STRIPS OR BULBS, WHETHER EXISTING OR NEW OR RENOVATED STRIPS, MUST MEET THE MINIMUM TOPSOIL PLANTING MEDIA SPECIFICATIONS. SOIL AMENDMENTS OR FRESH TOPSOIL PLANTING MEDIA ARE OFTEN NEEDED FOR PLANTING AREAS AT SITES WHERE ORIGINAL TOPSOIL IS OF POOR QUALITY, HEAVILY COMPACTED OR WHERE TOPSOIL HAS BEEN COMPLETELY REMOVED DURING GRADING.
27. TOPSOIL PLANTING MEDIA SHOULD BE NATURAL, FERTILE, AGGREGULOUS, SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHOULD BE UNIFORM COMPOSITION THROUGHOUT, WITH AVOIDANCE OF SUBSOIL. IT SHOULD BE FREE OF STONES, LUMPS, WEED PLANTS AND THEIR ROOTS, STECKS AND OTHER EXTRANEOUS MATTER. TOPSOIL SHOULD NOT BE USED WHERE IT IS A PRODUCT OF MASONRY CONSTRUCTION.
28. TOPSOIL PLANTING MEDIA SHALL HAVE AN ACIDITY RANGE OF PH 5.5 TO 7.0 AND THE FOLLOWING COMPOSITION:
CLAY (BY CLAY) WELL FUMERATED: MINIMUM 12% MAXIMUM 32%
COMPOST: ORGANIC: MAXIMUM 3% MAXIMUM 15%
NITROGEN: MINIMUM 0.2% MAXIMUM 0.3%
PHOSPHORUS: MINIMUM 0.1% MAXIMUM 0.2%
POTASSIUM: MINIMUM 0.1% MAXIMUM 0.2%
*ORGANIC MATERIAL SUCH AS SAWDUST OR LEAF MOLD THAT HAS COMPLETED THE DECOMPOSITION PROCESS.
29. ALL PLANTING AREAS SHOULD BE TESTED FOR PROPER DRAINAGE. DRAINAGE SHOULD BE CORRECTED AS NECESSARY TO INSURE PROPER TREE GROWTH AND SURVIVAL. THE FOLLOWING LEVEL OF PH TESTS IS RECOMMENDED FOR PROPER GROWTH:
CALCIUM 15 - 20%
MAGNESIUM 10 - 15%
POTASSIUM 5 - 10%

GENERAL PLANTING NOTES:

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE DETERMINED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS. HE RESERVES THE RIGHT TO MAKE ANY ADJUSTMENTS TO THE DRAWINGS FOR THE CONTRACTOR TO COMPLETE WITH THE DRAWING. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF PLANT MATERIALS ACCORDING TO THE DRAWINGS AND PLANT SCHEDULE. CONTRACTOR SHALL PROVIDE SPECIFIC CULTIVATION AND MAINTENANCE INSTRUCTIONS FOR ALL PLANT MATERIALS INSTALLED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT WILL BE SELECTED AND SHALL BE ACCEPTED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
3. CONTRACTOR SHALL INDICATE (LEGENDARILY) LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DEPTH AND LOCATION OF PLANT MATERIALS ARE SUBJECT TO SITE CONDITIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANTING SHALL BE SUBJECT TO LANDSCAPE ARCHITECT'S APPROVAL AND APPROVAL OF THE CONTRACTOR AND AN ADDITIONAL COST TO THE OWNER.
4. PLANTS SHALL BE SPECIFIC QUALITY AND SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. PLANT MATERIAL SHALL BE FIRST QUALITY AND SHALL CONFORM TO THE CODE OF PRACTICES SET FORTH IN THE CURRENT EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
5. HEIGHT AND SPREAD DIMENSIONS SPECIFIED APPLIES TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCHES TO TOP. IN A RANGE OF 3 FEET OR MORE, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND NOT MORE THAN 20% OF THE PLANT'S SIZE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
6. SPREAD TREES SHALL HAVE A STRONG CENTRAL LEADER UNLESS OTHERWISE SPECIFIED.
7. LEAVES MUST BE OF MEDIUM FORCE, ALL GOOD LEAVES, MAXIMUM OF 10% CHLOROSIS ALLOWED, WITH NO EXTREME SUCCELLANCE. PLANT PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
8. ROOTS MUST BE STURDILY ESTABLISHED IN BALL THAT HAS BEEN TIGHTLY WATERED AND SECURELY TIED WITH TWINE OR WIRE, OR PINNED.
9. PLANT PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
10. REMOVE ALL THORNES MUCH AT ALL PLANTS AND PLANTING BEDS. MULCH SHALL BE SINGLE HANDED HARDWOOD MULCH (UNLESS NOTED OTHERWISE). IT SHALL BE CLEAN, FRESH AND FREE OF STECKS, BRANCHES, SOIL OR OTHER FOREIGN MATERIAL.
11. BASKET PLANTING METHOD SHALL BE ONE-PART APPROVED PLANTING SOIL MIXED WITH ONE PART NATIVE SOIL FROM THE TREE PIT OR SHOWN BED AREA. LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTING SOIL TO BE USED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
12. PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT AT NURSERY OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT WILL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS PROVIDED. CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES WITH BRUISES OR OTHER DEFECTS TO LANDSCAPE ARCHITECT OR OWNER.
13. THE LANDSCAPE CONTRACTOR SHALL TAKE SOIL SAMPLES FROM ALL PARTS OF THE SITE AND SHALL HAVE THEM TESTED BY THE LOCAL COUNTY AGENT. THE CONTRACTOR SHALL PROVIDE ONE COPY OF THE TEST RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING PLANT MATERIALS OR MAKING ANY AMENDMENTS TO THE ON SITE SOIL. ANY SOIL AMENDMENTS REQUIRED TO BE MADE BY THE SOIL TEST SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF AMENDMENTS AND OBTAIN A WRITTEN APPROVAL FOR PROPOSED AMENDMENTS.
14. FERTILIZER SHALL BE A COMPLETE FERTILIZER 30% OF PROPORTION OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF URINARY. FERTILIZER SHALL BE DELIVERED TO THE SITE IN 25 POUND BAGS. FERTILIZER CONCENTRATION SHALL BE 10% OF THE TOTAL WEIGHT OF THE FERTILIZER. FERTILIZER SHALL BE APPLIED AS FOLLOWS:
WINTER: 1/2 - 1/3 INCH OF CALIUM
SPRING: 1/2 INCH OF NITROGEN
SUMMER: 1/2 INCH OF NITROGEN
FALL: 1/2 INCH OF CALIUM

15. LANDSCAPE CONTRACTOR SHALL PERFORM RECOLONIZATION TESTS IN ALL TREE PITS. IF PITS DO NOT DRAIN WITHIN 30 MINUTES, CONTACT LANDSCAPE ARCHITECT AND DO NOT PLANT THE TREE WITHOUT OWNER INSPECTION OF DRAINAGE. LANDSCAPE ARCHITECT MAY REQUIRE ADDITIONAL SUBSISTANT DRAIN LINES FROM THE TREE PITS.
16. IF EXISTING DRAINAGE IS NOT SUFFICIENT TO DRAINAGE WATER FROM PLANTING AREAS, CONTACT ARCHITECT BEFORE INSTALLING THE PLANTS. OTHERWISE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE GUARANTEE AND LIABILITY OF THE PLANTS.
17. ALL UNDERGROUND UTILITIES SHALL BE LOCATED BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE TO UNDERGROUND OR OVERHEAD UTILITY LINES.
18. CERTAIN TYPES OF PLANTING AS MAY BE REQUIRED BY ANY NOT TRANSFORMATION OF PLANT MATERIALS SHALL ACCORDING TO EACH INVOICE FOR EACH "SHIPPING" PLANTS. CERTIFICATES SHALL BE FILED WITH LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE OF MATERIAL. INSTRUCTION BY STATE OR FEDERAL AUTHORITIES AT THE PLACE OF GROWTH DOES NOT PRECLUDE SELECTION OF THE MATERIAL BY THE LANDSCAPE ARCHITECT.
19. ALL PLANT MATERIALS AND INSTALLED LANDSCAPE SPECIES SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE PROJECT.
20. CONTRACTOR PLOTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK (E.G. MULCH, PLANTING, SOIL, MULCH AND WEED STRIKING MATERIAL, ETC.).
21. THE COMPLETION OF THE CONTRACT WILL BE ACCEPTED AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE OWNER CONTRACTOR IS SATISFIED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, OWNER, AND THE OWNER'S CONSTRUCTION REPRESENTATIVE. WITHIN TEN DAYS NOTICE BY THE CONTRACTOR OF SUBSTANTIAL COMPLETION THE LANDSCAPE ARCHITECT WILL INSPECT THE PROPERTY. IF HE WILL LETTER APPROVE THE WORK FOR THE OWNER'S ACCEPTANCE. HE WILL ISSUE A NOTICE OF WORKS TO BE COMPLETED OR CORRECTED. IF A PUNCH LIST IS ISSUED, FINAL ACCEPTANCE WILL BE DONE AS SOON AS THE CONTRACTOR COMPLETES ALL PUNCH LIST ITEMS.
22. AMENDED SOIL MEDIA REQUIREMENTS: A PLANTING MEDIA MAY BE DEVELOPED THAT WILL BE AN ACCEPTABLE PLANTING MEDIA IF AMENDING THE EXISTING SOIL OR BY REMOVING THE EXISTING SOIL AND REPLACING WITH PLANTING MEDIA. THE PLANTING MEDIA SHALL HAVE UNIFORM COMPOSITION THROUGHOUT, WITH AVOIDANCE OF SUBSOIL. IT SHALL BE FREE OF STONES, LUMPS, WEED PLANTS AND THEIR ROOTS, STECKS, AND OTHER EXTRANEOUS MATTER. IF IT SHALL CONTAIN NO MAN-MADE MATERIALS UNLESS OTHERWISE SPECIFIED. PLANTING MEDIA SHALL NOT BE USED WHERE IT IS A PRODUCT OF MASONRY CONSTRUCTION.

NOTE: CONTRACTOR TO PROVIDE TEST SAMPLES OF AMENDED SOIL WITH TESTING DATA FOR ALL BED AREAS AMENDED ON SITE. TEST SAMPLES SHALL FALL WITHIN TOLERANCES SHOWN ABOVE. PLANTING MEDIA SHALL NOT BE USED WHERE SOIL HAS BEEN AMENDED AND SOIL TEST SAMPLES HAVE BEEN REVIEWED AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT.



North Carolina Troopers Association
3226 GARNER RD
RALEIGH, NC 27610

North Carolina Troopers Association - Museum Landscape Details
3405 Garner Rd, Raleigh, NC 27610

REV. DATE. BY. REVISIONS
1. 11.03.2023. JTB. TREE PLANTING DETAILS FOR PLANTING AND COMPLETION.
2. 03.07.2024. JTB. TREE PLANTING DETAILS FOR PLANTING AND COMPLETION.

Project No: 23-RDU-022
Date: 11.08.2023
Sheet No:
LS-2.0

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ARCHITECTS

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	2HR RATED SHIRT WALL ENCLOSURE (2HR BARRIERS)
	1HR RATED EXISTING ENCLOSURE (2HR BARRIERS)
	10' HEATED TENSILE OR CORRUGATED SEPARATION (FIRE PARTITION)
	STOREFRONT (CLEAN WALL TAG - SEE SHEET A-611 AND FLOOR PLANS)
	WINDOW TAG - SEE SHEET A-611 AND FLOOR PLANS
	DOOR TAG - SEE SHEET A-601 AND FLOOR PLANS

GENERAL NOTES:

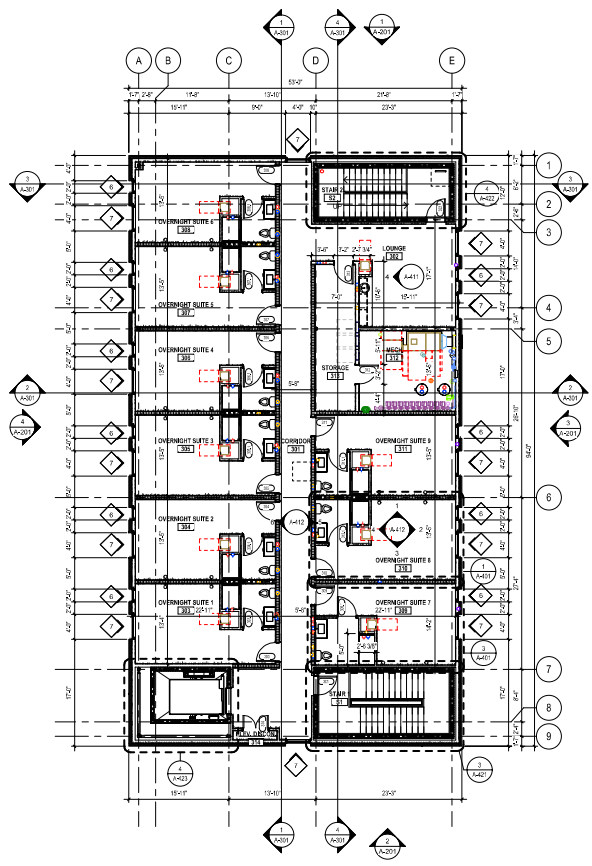
- SEE SHEET A-610 FOR UL DESIGN AND FINISHION TYPES.
- ALL INTERIOR WALLS SHALL HAVE SOLID ATTENUATION BATES EXCEPT AT UNIT CLOSETS.
- ENCLOSURES ARE TO FACE OF STUD OR CMU UNLESS OTHERWISE NOTED.
- SEE SHEET A-711 FOR FINISH INFORMATION.

ROOF PLAN LEGEND

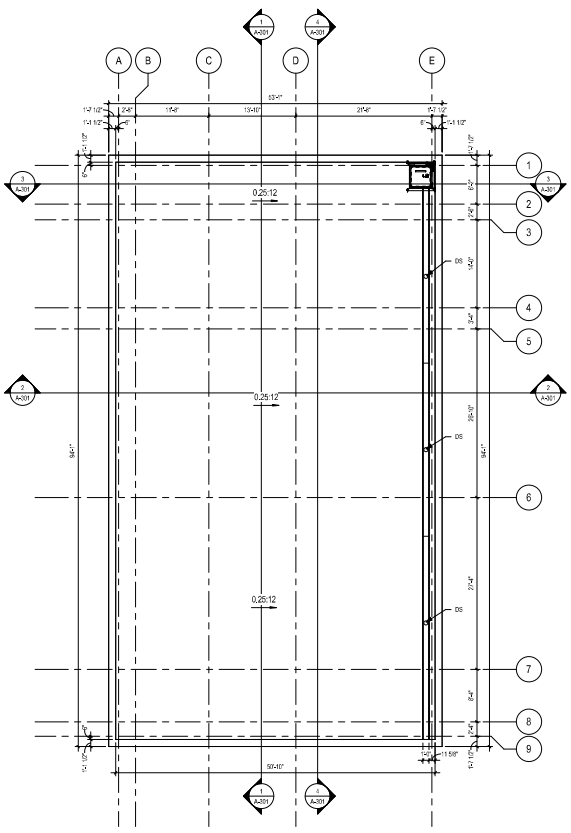
SYMBOL	DESCRIPTION
DS	DOWNSCALP
⊙	HEAVY W/ROOF PENETRATION - SEE SHEET A-601

GENERAL NOTES:

- SEE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ROOF MOUNTED EQUIPMENT AND ROOF PENETRATIONS.



1 LEVEL 03
SCALE: 1/8" = 1'-0"



2 ROOF
SCALE: 1/8" = 1'-0"



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North Carolina Troopers Museum
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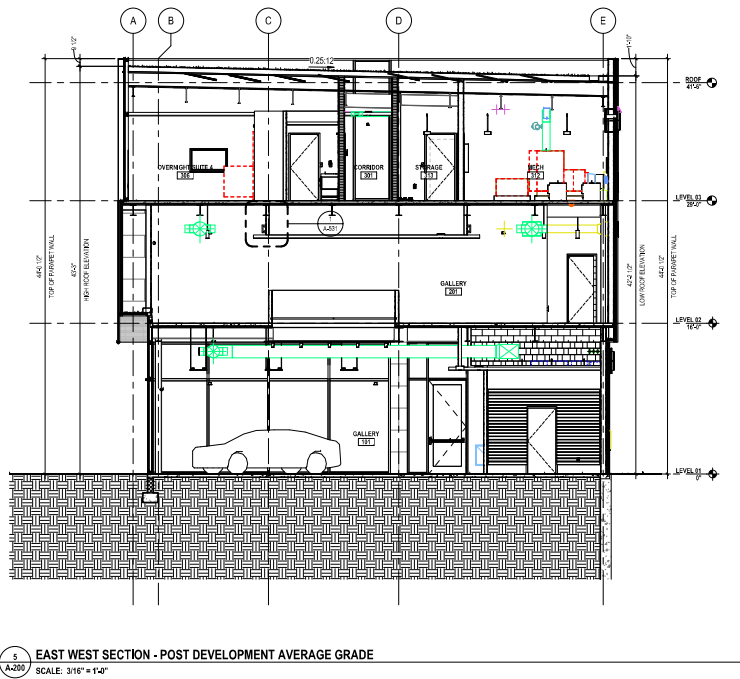
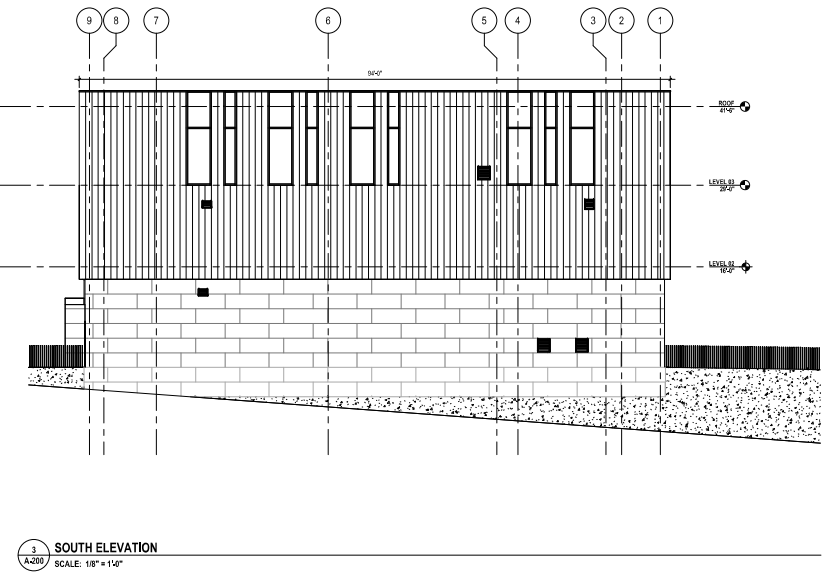
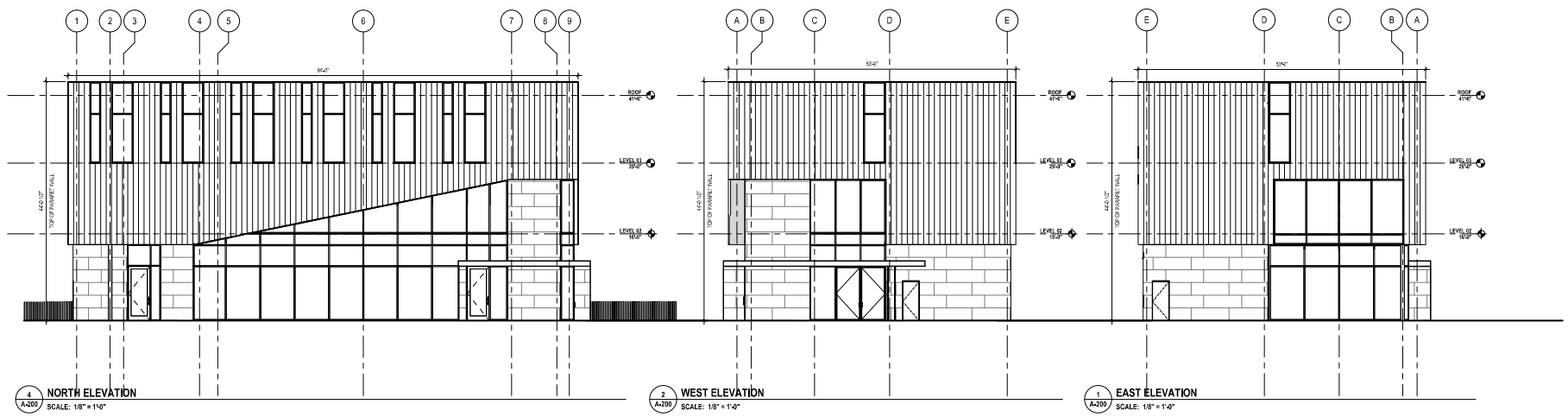
No.	Date	Description

ISSUE DATE: 02/28/2024
PROJECT #: 02212.000
DRAWN BY: KJF
CHECKED BY: BHB
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OVERALL PLAN -
LEVEL 3 AND ROOF

- GENERAL NOTES:**
1. PERMITTED BUILDING HEIGHT LIMIT FOR A ONE-BUILDING IN V-D ZONING PER UDO SECTION 15.7 AND 22.183.6C.
 2. BUILDING SHALL BE ON A FLAT BUILDING PAD WITH A FIT OF 3333 ABOVE SEA LEVEL.
 3. TRANSPARENT REQUIREMENTS PER PALMER-UDO SECTION 15.6. 2.3 AND 3.2 DO NOT APPLY TO R-V ZONING.
 4. SLURK WALL AREA REQUIREMENTS PER UDO SECTION 15.6.3 DO NOT APPLY TO R-V ZONING.

POST DEVELOPMENT AVERAGE GRADE CALCULATION:
 HIGHEST POINT OF LOW SLOPE ROOF = 43'-3" < 45'



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North Carolina Troopers Museum
 3405 Garner Road, Raleigh, NC, 27610

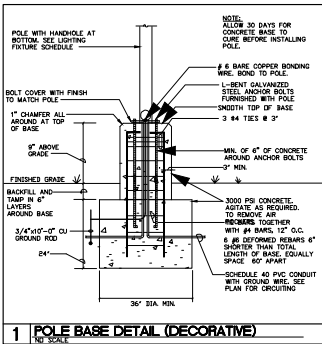


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ISSUE DATE: 02/28/2024
 PROJECT #: 02212.000
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EXTERIOR
 ELEVATIONS AND
 PDAG -
 ADMINISTRATIVE
 SITE REVIEW

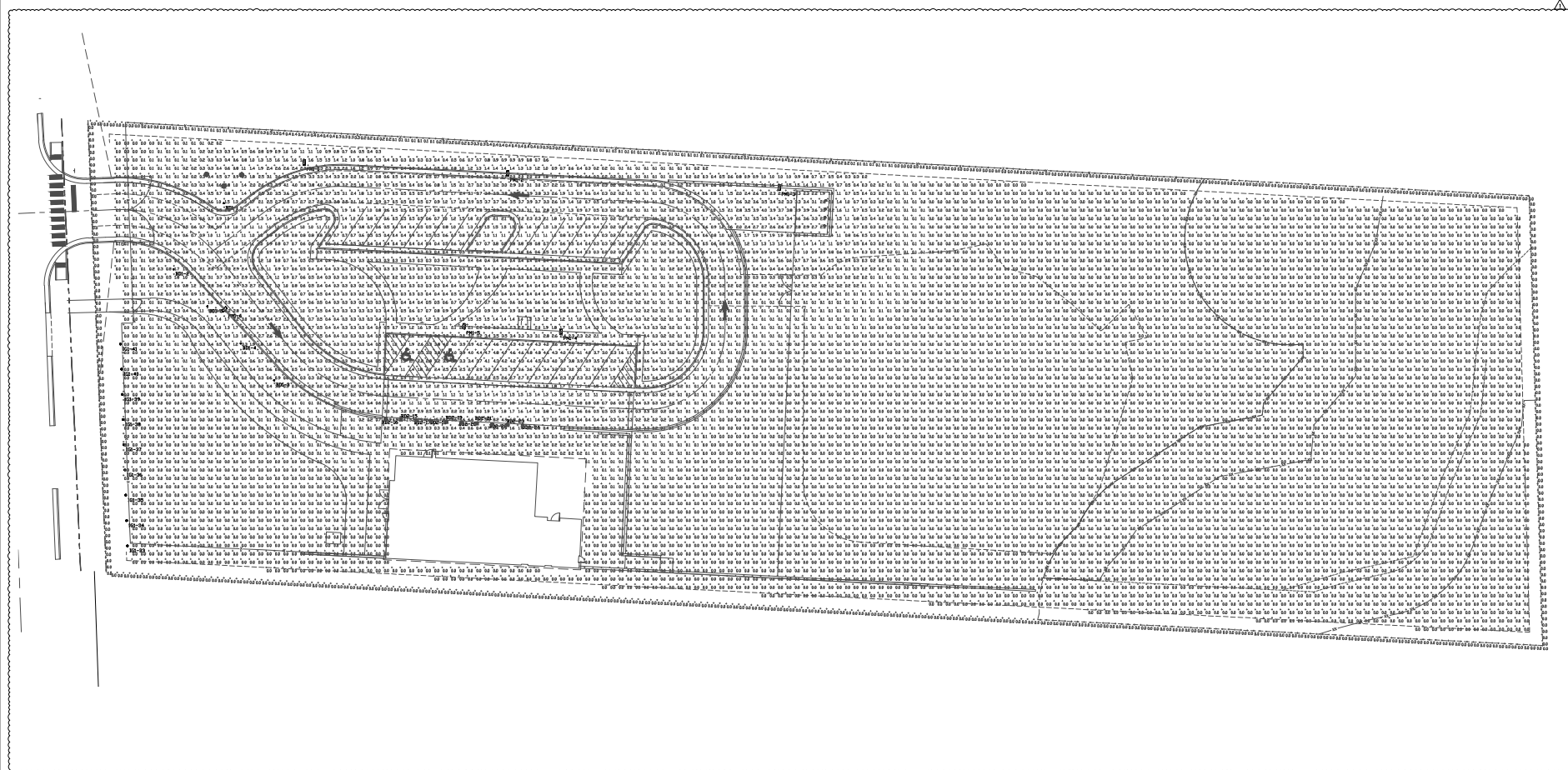
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Symbol	Level	QTY	Manufacturer	Catalog	Description	Number	LINE	LLF	Notes	Part
○	BD1	3	Landscape Forms	4E-28-02-00K	N/A	1	ENE	1	8887	Part 1
□	FM1	6	Landscape Forms	4E-02B-04F-00K	N/A	1	70B	1	95B	Part 1
□	BD2	10	Landscape Forms	54676-01	DIFFUSE LENS	1	470	1	8339	Part 1
○	IG1	9	BSG-US	77 073	2701A 5/8\"/>					

Statistics				
Description	Symbol	Avg	Max	Min
Property Line	+	0.0 Fc	0.4 Fc	0.0 Fc

GENERAL NOTES:
1. ALL ITEMS/REPAIRS SHALL BE REQUIRED ON 20'x2' POLE.



North Carolina Troopers Association
NC Troopers Museum
 3405 Garner Road, Raleigh, NC 27610

ISSUE DATE:	11/01/2023
PROJECT #:	02212/000
DRAWN BY:	MGK
CHECKED BY:	AEB
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SITE PHOTO/METRIC PLAN	

