



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

GENERAL INFORMATION

Development name: _____

Inside City limits? Yes No

Property address(es): _____

Site P.I.N.(s): _____

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
Construction of mixed use & apartment (Multi-Unit Living, Retail Sales) with two modules. The building consists amenities and ground floor parking deck.

Current Property Owner(s):

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (If different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: _____ Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4): <small>Single-unit living; vehicle repair; Eating establishment; Retail shop</small>	Proposed # of stories for each: 3 (North Module); 5 (South Module)
Proposed use (UDO 6.1.4): Multi-Unit Living and Retail Sales	Proposed # of basement levels (UDO 1.5.7.A.6) 1 (North Module)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

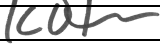
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

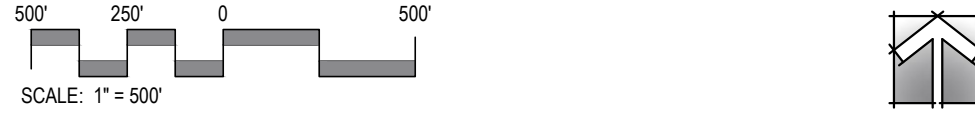
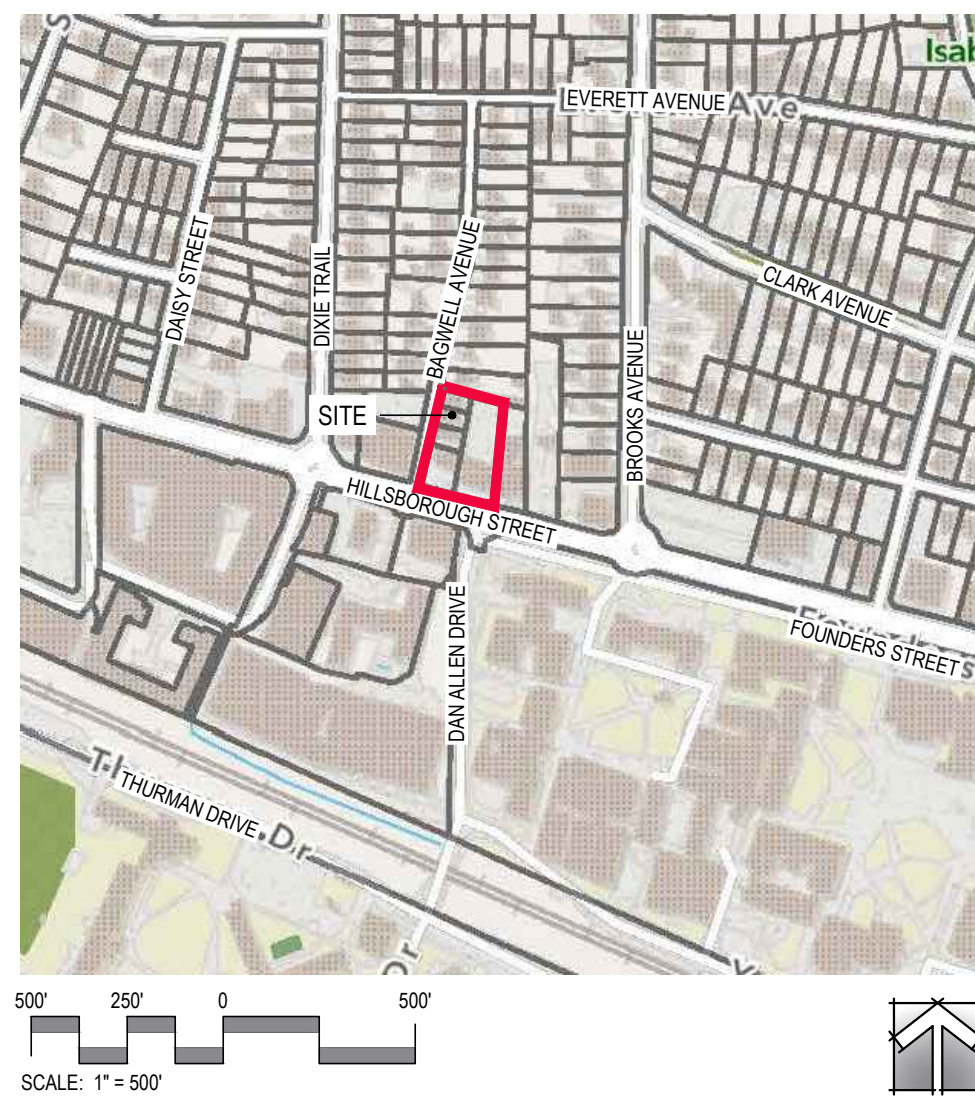
Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	



LEGEND:

	EX. FIRE HYDRANT
	EX. UTILITY POLE
	EX. BIKE RACK FOR 2
	PROP. BIKE RACK FOR 2
	EX. BENCH
	EX. TREE GRATE TO BE REPLACED
	PROP. TREE GRATE
	PROJECT BOUNDARY
	PROP. RIGHT OF WAY
	EX. ADJACENT PROPERTY LINE
	EX. RIGHT OF WAY LINE
	ROAD/DRIVEWAY CENTERLINE
	PROP. OVERHEAD UTILITY
	PARKING SETBACK
	PROP. PROTECTIVE YARD
	PROP. BUILDING ABOVE
	PROP. SIDEWALK EASEMENT
	PROP. SLOPE EASEMENT
	BUILD-TO-LINE
	PROP. OUTDOOR AMENITY AREA
	PROP. SIGHT TRIANGLE ESMT

REFERENCE: Z-68-20
SCOPE-0134-2022
ASR-0113-2022

ASR-XXXX-2024

Administrative Site Review

UDO 33rd Supplement Published August, 2024
1st Submittal: October 03, 2024

2810 Hillsborough

2810 Hillsborough Street
Raleigh, North Carolina 27607

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Block Perimeter

- THE SITE IS 1.02 AC
- THE MINIMUM SITE AREA FOR RX-3 AND CX-5 ARE 5 AC AND 3 AC RESPECTIVELY
- THE SITE IS EXEMPT FROM BLOCK PERIMETER

Cross Access

- PER 8.3.D.5.A, THE PARCEL (PIN 0794625654) TO THE NORTH OF THE SITE IS ZONED R-6. CROSS ACCESS NOT REQUIRED
- PER 8.3.D.5.C, THE PARCEL (PIN 0794626430) TO THE EAST IS THE SUPPLY CHAIN RESOURCE COOPERATIVE FOR NCSU AND CROSS ACCESS IS NOT REQUIRED

Driveway Spacing

- PER CONDITION #14 OF Z-068-2020
- THE DRIVEWAY ACCESS IS ON HILLSBOROUGH ST
- SUCH DRIVEWAY CAN BE LOCATED LESS THAN 300 LF FROM OTHER DRIVEWAYS
- PER THE RSDM, THE REQUIRED MINIMUM SPACING FROM BAGWELL IS 50'

Project Team

<p>DEVELOPER Cardinal Group 4100 E Mississippi Avenue, #1200 Denver, Colorado 80246 303.407.4500 Tommy.sinnott@cardinalgroup.com</p>	<p>LANDSCAPE ARCHITECT JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fax) kent@jdavisarchitects.com</p>	<p>ENGINEER Langan NC, Inc. 101 North Tryon Street, Suite 112 Charlotte, North Carolina 28246 800.952.0426 jrhine@langan.com</p>	<p>ARCHITECT ESG Architecture and Design 350 North 5th Street, Suite 400 Raleigh, North Carolina 27607 919.851.4422 919.851.8968 (fax) dan.gregory@BNKinc.com</p>	<p>SURVEYOR Bass, Nixon and Kennedy, Inc. 6310 Chapel Hill Road, Suite 250 Raleigh, North Carolina 27607 919.851.4422 919.851.8968 (fax) dan.gregory@BNKinc.com</p>
<p>OWNER - 6 BAGWELL AVE West Broad Hospitality LLC Cityplat LLC 107 Fayetteville Street, Suite 400 Raleigh, North Carolina 27601 303.407.4500 Tommy.sinnott@cardinalgroup.com</p>	<p>OWNER - 8 & 10 BAGWELL AVE Bagwell Holdings LLC PO Box 6356 Raleigh, North Carolina 27628-6356 303.407.4500 Tommy.sinnott@cardinalgroup.com</p>	<p>OWNER - 2808 HILLSBOROUGH ST Charles V Moseley 1138 Ivy Lane Raleigh, North Carolina 27609-4761 303.407.4500 Tommy.sinnott@cardinalgroup.com</p>	<p>OWNER - 2812 HILLSBOROUGH ST Hillsborough Pointe LLC Cityplat LLC 107 Fayetteville Street, Suite 400 Raleigh, North Carolina 27601 303.407.4500 Tommy.sinnott@cardinalgroup.com</p>	

Site Data

Site Data (UDO 33rd Supplement Published August, 2024)	
Project: 2810 Hillsborough	
Date: October 3, 2024	
1 Zoning	RX-3-UL-CU (SPROD) & CX-5-SH-CU (SPROD)
2 Tract area	Survey SF Survey AC IMaps Deed AC 0794624551 (6 Bagwell) RX-3-UL-CU 4,526 SF 0.104 AC 0.100 AC 0794624575 (8 Bagwell) RX-3-UL-CU 4,218 SF 0.097 AC 0.100 AC 0794624589 (10 Bagwell) RX-3-UL-CU 3,722 SF 0.085 AC 0.080 AC 0794625441 (2808 Hillsborough) CX-5-SH-CU 24,587 SF 0.564 AC 0.550 AC 0794624441 (2812 Hillsborough) CX-5-SH-CU 9,719 SF 0.223 AC 0.220 AC Gross Acreage 46,772 SF 1.074 AC 1.050 AC Less Hillsborough St. Right of Way Dedication -93 SF -0.002 AC -0.002 AC Less Bagwell Ave. Right of Way Dedication -2,012 SF -0.046 AC -0.046 AC Net Acreage 44,667 SF 1.025 AC 1.002 AC Gross AC zoned RX-3-UL-CU 0.17 AC Gross AC zoned CX-5-SH-CU 0.98 AC
3 Proposed use	Multi-unit living; Retail Sales
4 Gross square footage (excluding garage parking)	157,881 SF
5 Outdoor amenity area (UDO section 3.2.6.A.3)	Area required - 10% of net acreage Parcel net area 44,667 SF 1.025 AC 10% required 4,467 SF 0.103 AC Total required 4,467 SF 0.103 AC Provided 4,493 SF 0.103 AC OAA #1 4,493 SF 0.103 AC Total area provided 4,493 SF 0.103 AC
6 Building height	Allowed height (RX-3-UL-CU) 50 FT 3 Story Allowed height (CX-5-SH-CU) (Z-68-20) 68 FT 5 Story Proposed height 68 FT 5 Story See elevations for building heights
7 Neighborhood transition (UDO section 3.6)	Required Zone A Provided 10' Zone A Type 1
8 Build-to (dimensions shown in blue on LS1.1 Site Plan)	C1 Primary street build-to (min 0' / max 15') (SH frontage) Hillsborough Street Right of Way Length 187.6 LF Sidewalk Easement Length -8.0 LF Net Length 179.6 LF Required 80% x 179.6 = 143.7 LF Provided 94.0% x 179.6 = 168.9 LF C3 Secondary street build-to (min 0' / max 20') (UL frontage) Bagwell Avenue Right of Way Length 45.4 LF Protective Yard -10.0 LF Net Length 35.4 LF Required 25% x 35.4 = 8.9 LF Provided 97.7% x 35.4 = 34.6 LF C3 Secondary street build-to (min 0' / max 15') (SH frontage) Bagwell Avenue Right of Way Length 212.0 LF Sidewalk Easement Length -9.5 LF Net Length 202.5 LF Required 40% x 202.5 = 81.0 LF Provided 99.6% x 202.5 = 201.7 LF
9 Maximum parking (UDO section 7.1.2.C)	Multi-unit living 1 BR 79 x 1.5 = 119 SP Multi-unit living 2 BR 23 x 2.25 = 52 SP Multi-unit living 3 BR 13 x 3.0 = 39 SP Multi-unit living 4 BR 26 x 4.0 = 104 SP Maximum Allowed 313 SP Parking provided Standard space 52 SP Compact Car space (max 30% allowed) Provided = 3.51% HC space (Van 3) 3 SP Total spaces provided 57 SP EV Charging Station 57 SP EV Charging Station Provided 2 SP EV Charging Station Ready (15% required) 55 x 15% = 8 SP
10 Required bicycle parking (UDO section 7.1.2.C & Z-68-22)	Required bicycle parking (UDO section 7.1.2.C) Multi-unit living Short term Required (1 space per 20 units) 141 / 20 = 7 SP Short term Required by Z-68-22 12 SP Short term Required 19 SP Existing Short term bike parking 2 SP Proposed Short term bike parking 18 SP Long term bike parking provided (in garage) 20 SP Long term Required (1 space per 7 bedrooms) 268 / 7 = 38 SP Long term bike parking provided (in garage) 38 SP Short term provided 20 SP Long term bike parking provided (in garage) 38 SP Total provided 58 SP

Application

Administrative Site Review Application
Planning and Development Customer Service Center - One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-986-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____
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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #:
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #: SCOPE-0134-2022
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #:
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #:
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: Z-68-2020
<input type="checkbox"/> Open lot		Design Alternate #:

GENERAL INFORMATION

Development name: 2810 Hillsborough

Inside City limits? Yes No

Property address(es): 6, 8, and 10 Bagwell Ave, 2808 and 2812 Hillsborough St

Site P.I.N(s): 0794624551, 0794624575, 0794624589, 0794625441, and 0794624441

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
Construction of mixed use & apartment (Multi-Unit Living, Retail Sales) with two modules. The building consists amenities and ground floor parking deck.

Current Property Owner(s): Attached and listed on cover sheet below application

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: Cardinal Group Address: 4100 E Mississippi Ave, #1200 Denver, CO 80246

Phone #: 303.407.4500 Email: Tommy.sinnott@cardinalgroup.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Tommy Sinnott

Company: Cardinal Group Title: Vice President Development

Address: 4100 E Mississippi Ave, #1200 Denver, CO 80246

Phone #: 303.407.4500 Email: Tommy.sinnott@cardinalgroup.com

Applicant Name: Ken Thompson

Company: JDavis Architects Address: 510 S Wilmington Street, Raleigh, NC 27601

Phone #: 919.835.1500 Email: kent@jdavisarchitects.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): CX-5-SH-CU/0.90 AC; RX-3-UL-CU/0.17 AC	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 1.07 AC	Existing gross floor area to be demolished: 10,444 SF
# of parking spaces proposed: 57	New gross floor area: 157,881 SF
Max # parking permitted (7.1.2.C): 313	Total gross (to remain and new): 157,881 SF
Overlay District (if applicable): SRPROD	Proposed # of buildings: 2 Modules
Existing use (UDO 6.1.4): Single-unit living, vehicle repair, Eating establishment, Retail shop	Proposed # of stories for each: 3 (North Module); 5 (South Module)
Proposed use (UDO 6.1.4): Multi-Unit Living and Retail Sales	Proposed # of basement levels (UDO 1.5.7.A.6) 1 (North Module)

STORMWATER INFORMATION

Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sf) 39720 Proposed total (sf) 41,493	Existing (sf) 48,610 Proposed total (sf) 54,151

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 141 Total # of hotel bedrooms: 0

of bedroom units: 1br 79 2br 23 3br 13 4br or more 26

of lots: 1

Is your project a cottage court? Yes No

Is a frequent transit development? Yes No

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

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The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: _____ Date: 10.03.2024
Printed Name: Ken J Thompson

Signature: _____ Date: _____
Printed Name: _____

JDAVIS
510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

ADMINISTRATIVE SITE REVIEW

Cardinal Group Company
2810 Hillsborough
Raleigh, North Carolina 27607

ASR-00XX-2022 (Admin. Site Review)
REFERENCE: Z-68-20

PROJECT:	ESG-24129	DATE:	
ISSUE:	Administrative Site Review		10.03.2024
REVISIONS:			
DRAWN BY:	SB, ML		
CHECKED BY:	KT		
CONTENT:	COVER		

0.0

RESPONSE TO ZONING CONDITION Z-68-20

Ordinance No. (2022) 356 ZC 837
Adopted: 4/5/2022

Page 1
Effective: 4/10/2022

Z-68-20 – 2808 and 2812 Hillsborough Street; 6, 8, and 10 Bagwell Avenue, including five parcels totaling 1.05 acres at the northeast corner of the intersection, consisting of Wake County PINs 0794-62-4441, 0794-62-5441, 0794-62-4551, 0794-62-4575, and 0794-62-4589, rezoned to Commercial Mixed Use-Five Stories-Shopfront-Conditional Use and Residential Mixed Use-Three Stories-Urban Limited-Conditional Use, both with Special Residential Parking Overlay District (CX-5-SH-CU and RX-3-UL-CU, both w/SRPOD).

Conditions dated: March 4, 2022

- For those parcels being rezoned CX-, the following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited, or special uses in the CX- District shall be prohibited: (i) Adult establishment; (ii) Detention center, jail, prison; (iii) Light Manufacturing; (iv) Vehicle repair (minor); (v) Vehicle repair (major); (vi) vehicle fuel sales; (vii) car wash; and (viii) self-service storage.
Response: None of the above uses are proposed, the site will be multi-unit living
- For those parcels being rezoned RX-, the following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited, or special uses in the RX- District shall be prohibited: (i) Medical; (ii) Office; (iii) Personal service; (iv) restaurant/bar; and (v) retail sales.
Response: None of the above uses are proposed, the site will be multi-unit living
- For those parcels being rezoned CX-, retail sales and restaurant/bar uses on the ground floor along Bagwell Avenue shall only be located for the first one hundred twelve feet (112') of frontage, starting from the Hillsborough Street right-of-way line.
Response: None of the above uses are proposed on Bagwell
- The property zoned CX- shall provide for an amenity area along Hillsborough Street at the ground level for public art, landscaping, and/or outdoor seating. To accommodate the amenity area, the building face shall be located no closer than 22' to the existing back-of-curb along Hillsborough Street. The amenity area shall be for use by the occupants, invitees and guests of the development; shall be ADA accessible; shall be located at grade; shall not be parked or driven upon, except for emergency access and permitted temporary events; and may be covered but shall not be enclosed. The amenity area shall be installed prior to issuance of a certificate of occupancy for a new building on the property zoned CX.
Response: a 22' sidewalk is proposed along Hillsborough Street, 12' will be in the public right of way and 10' will be provided in a sidewalk easement. The amenity area will be available for use by those listed above, will be ADA accessible and not parked or driven upon.
- One public art installation shall be located on the property and visible from the Hillsborough Street public right of way. If the required installation consists of a mural, it shall be no smaller than 120 square feet in area, and, if a three-dimensional installation, no less than 10 feet in height, not including any base or pedestal supporting such installation. If more than one public art installation is provided on the subject site, the applicant shall designate which art installation is the one required by this condition.
Response: See site plan, an area has been provided, applicant is still determining whether a mural or three-dimensional object will be provided

Ordinance No. (2022) 356 ZC 837
Adopted: 4/5/2022

Page 2
Effective: 4/10/2022

- If 6, 8 and 10 Bagwell Avenue and 2812 Hillsborough Street, are redeveloped, the following conditions shall apply:
 - Prior to the removal of the buildings located on the property, the applicant, and its successors and assigns (the "Applicant") shall document the existing structures through photographs and detailed exterior elevation drawings. The documentation must be approved by City of Raleigh Historic Preservation unit prior to providing a copy to the Department of Planning and Development, Raleigh Historic Development Commission, and the State Historic Preservation Office.
Response: The applicant will begin this process during the ASR review
The Applicant will allow any non-profit entity, individual or for-profit entity to relocate any of the existing houses on the property at no cost to the Applicant and without payment to the Applicant so long as the party relocating any of the houses is solely responsible for the relocation, including without limitation, securing all permits and approvals required by law. Applicant will provide general public notice in the News & Observer of the offer for relocation or salvage, and will further provide written notice via certified mail of the offer for relocation or salvage to the following entities: Capital Area Preservation, Preservation North Carolina, City of Raleigh Historic Preservation unit, and the State Historic Preservation Office. All notices shall occur at least one hundred eighty (180) days prior to the scheduled demolition of the structures. Prior to demolition of any of the houses that have not been relocated within thirty (30) days prior to demolition, the Applicant will allow the City of Raleigh Museum or any local organization (such as Habitat for Humanity) at least fifteen (15) days to remove items of historic significance and building materials for reuse. This condition only applies to the houses at 6, 8 and 10 Bagwell Avenue.
Response: The applicant will begin this process during the ASR review
- Permitted building siding materials shall include any combination of brick, stone, concrete, masonry, cementitious siding, wood, hard coat stucco, metal, terracotta and/or glass. No more than 50% of the total façade shall consist of metal, terracotta and/or glass.
Response: Please see elevations for material notes and percentages
- Subject to an encroachment agreement with the City, a micro-mobility parking facility shall be provided within the Hillsborough Street and/or Bagwell Avenue a Right-of-Way. The facility shall include a minimum of 12 short-term bicycle parking spaces in excess of UDO-required bicycle parking spaces. The short-term bicycle parking spaces shall meet the applicable requirements of UDO Sec. 7.1.8, except that such spaces need not be associated with any building. The facility further shall include an e-scooter corral zone, with a maximum dimension of four (4) feet wide by six (6) feet long, unless otherwise agreed to by the developer. The facility shall be designated by paint, bollards or other materials approved by the City. The micro-mobility parking facility shall be installed prior to issuance of a certificate of occupancy for a new building on the property zoned CX-.
Response: Design to be coordinated with staff during ASR review
- At least two changes in depth, each of at least two feet in depth, shall be incorporated along the ground-level of the building façade facing Hillsborough Street.
Response: The minimum number of ground floor setback have been provided, see site plan

Ordinance No. (2022) 356 ZC 837
Adopted: 4/5/2022

Page 3
Effective: 4/10/2022

- Canopies and/or awnings of at least 6-foot in depth, located at least 10 ft above the elevation of the sidewalk in front of the building, shall be included on the building facade facing Hillsborough Street. At least 75% of the length of the building facade facing Hillsborough Street shall have a canopy and/or awning meeting the standards of this condition.
Response: Canopies have been provided, see building elevations
- Unless a more stringent regulation applies, the maximum building height within the portion of the property zoned CX-5-SH-CU shall be 68 feet, as measured from average grade along Hillsborough Street.
Response: Proposed building height is less than the allowed 68', see architectural plans
- No bedroom shall be rented separately from the other rooms within the same dwelling unit.
Response: Noted.
- At least one (1) dog waste station shall be provided on the property.
Response: Waste station has been provided in the SE corner of the site on Hillsborough St.
- This condition shall apply if 2808 Hillsborough Street (OB 7054, PG 794) and 2812 Hillsborough Street (New lot 1, BM 2018, PG 1396) are redeveloped as part of the same site plan. Subject to the approval of NCDOT (if such approval is required), there shall be at least one driveway access point on Hillsborough Street providing ingress and egress to the property, and such driveway can be located less than 300 feet from other driveways along Hillsborough Street. This condition expressly modifies the driveway spacing standard in UDO section 8.3.5.C.3., as permitted by UDO section 10.2.4.D.2.c.
Response: This proposal does provide a driveway on Hillsborough Street.

PROJECT NOTES

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY TRANSPORTATION AND PUBLIC UTILITIES DEPARTMENTS PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY BASS, NIXON & KENNEDY, INC. IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN SEPTEMBER 2022, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST 2022.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE COMPLY WITH CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
- SWINGING DOORS AND GATE SHALL HAVE MANEUVERING CLEARANCE COMPLYING WITH CURRENT ANSI STANDARD.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL HVAC EQUIPMENTS OF THIS PROJECT E TO BE LOCATED ON THE ROOF OF BUILDINGS AND SCREENED WITH PARAPETS AS NEEDED. SEE ARCHITECT PLAN(S).

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCF 503.1.1).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCF. SECTION 507.3.

SOLID WASTE INSPECTION STATEMENTS

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- THIS PROJECT HAS A DUMPSTERS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.
- DUMPSTERS ARE STORED IN THE BUILDING SERVICE AREA AND WILL BE ROLLED OUT AT THE TIME OF SERVICE. DUMPSTERS WILL BE REMOVED FROM POINT OF COLLECTION AFTER SERVICED.

TREE CONSERVATION NOTE

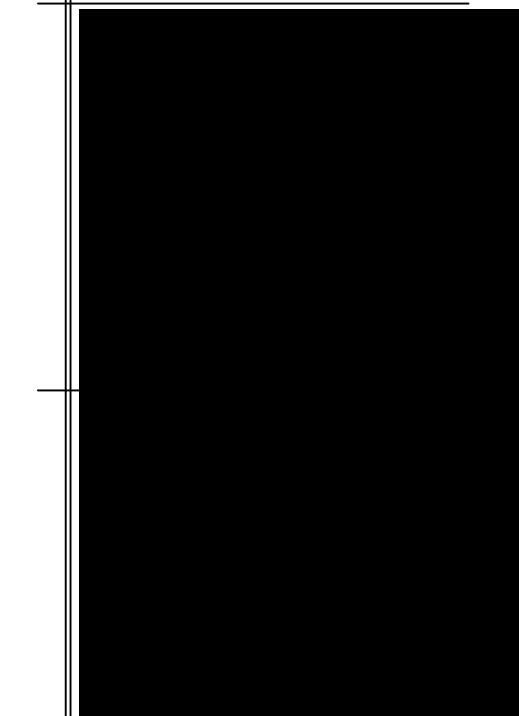
THIS PROJECT SITE IS LESS THAN 2 ACRES. TREE CONSERVATION IS NOT REQUIRED PER UDO SEC. 9.1.2.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ADMINISTRATIVE SITE REVIEW

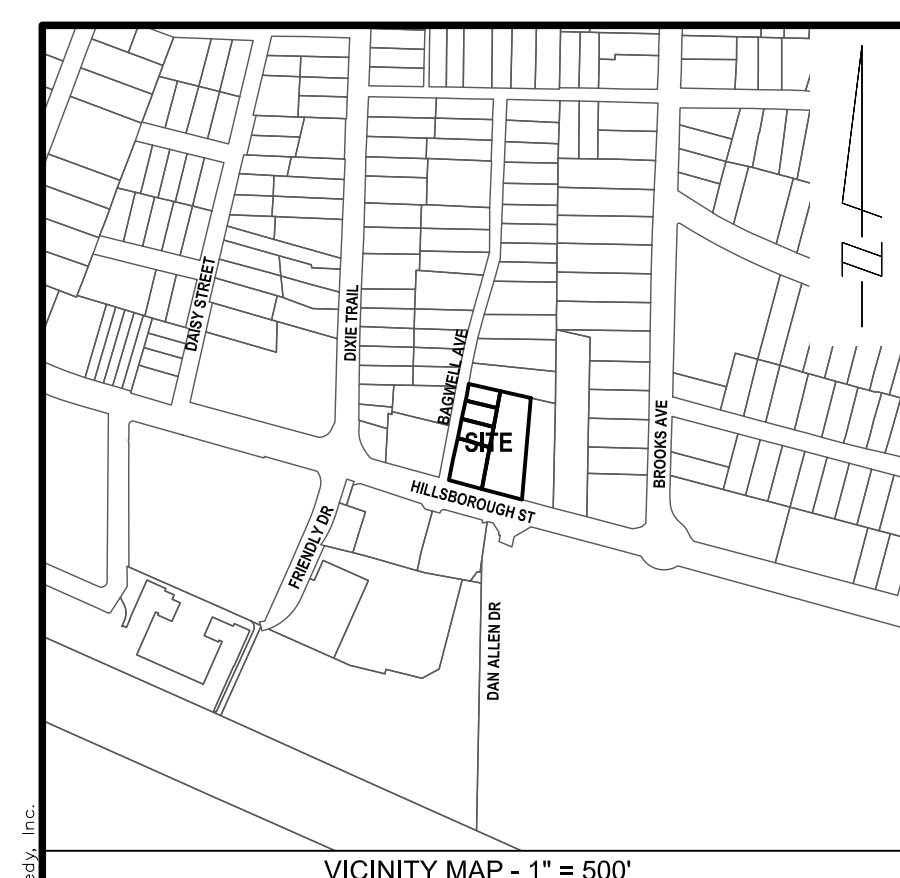
Cardinal Group Company
2810 Hillsborough
Raleigh, North Carolina 27607



PROJECT:	ESG-24129	DATE
ISSUE:	Administrative Site Review	10.03.2024
REVISIONS:		
DRAWN BY:	KT, SB	
CHECKED BY:	KT	
CONTENT:	ZONING CONDITIONS (Z-68-20)	
	RESPONSES AND PROJECT NOTES	

ASR-0XXX-2024
ZONING CONDITIONS
(Z-68-20) RESPONSES
& PROJECT NOTES

Table with columns: DATE, TIME, DRAWN BY, CHECKED BY, REVISIONS. Includes a vertical scale bar on the left side.



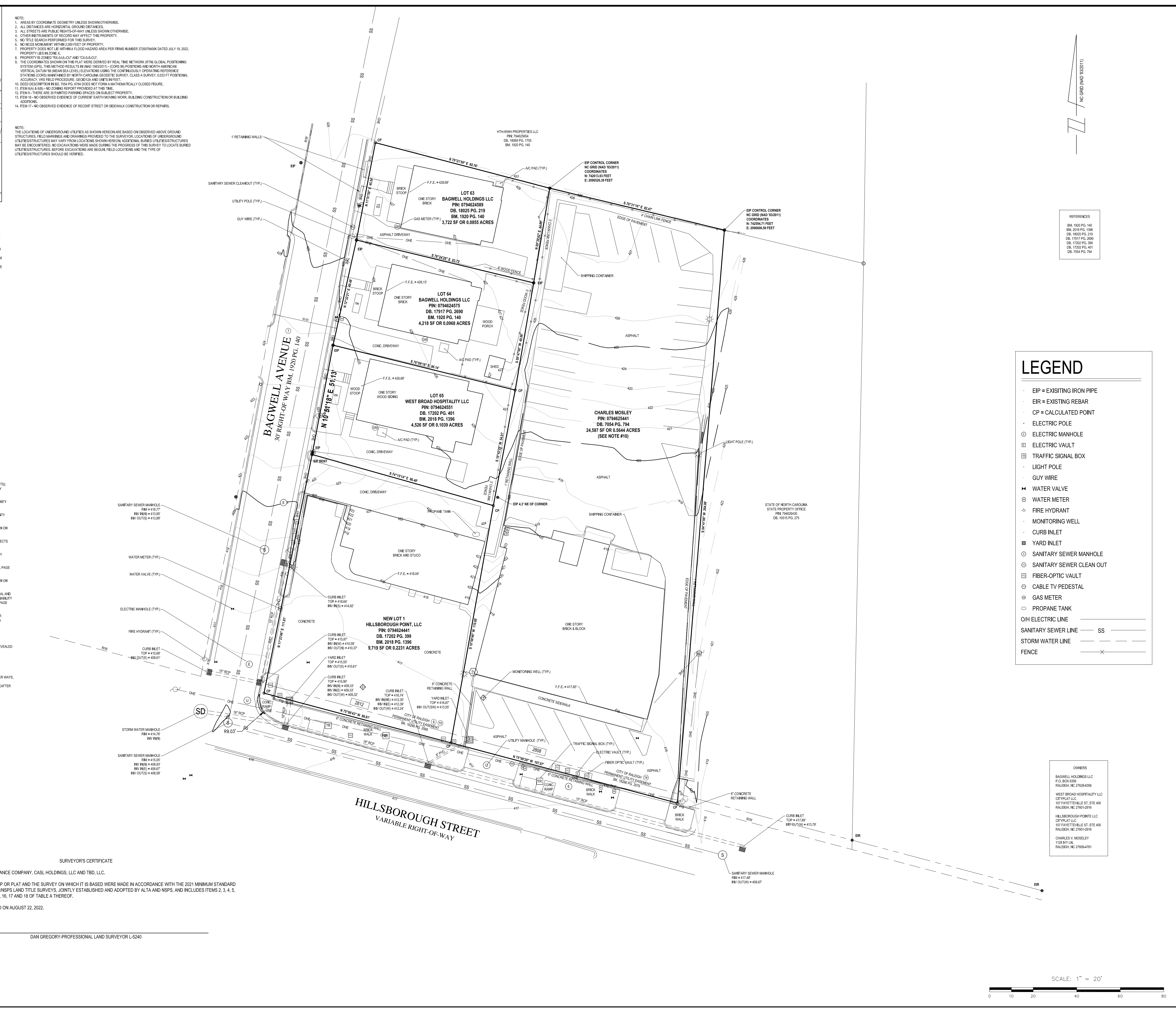
- NOTE: 1. AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE. 2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES. 3. ALL STREETS ARE PUBLIC RIGHTS-OF-WAY UNLESS SHOWN OTHERWISE. 4. OTHER INSTRUMENTS OF RECORD MAY AFFECT THIS PROPERTY. 5. NO TITLE SEARCH PERFORMED FOR THIS SURVEY. 6. NO RECORD SEARCH PERFORMED FOR THIS SURVEY. 7. PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM NUMBER 372077400K DATED JULY 19, 2022. PROPERTY IS IN ZONE X. 8. PROPERTY IS ZONED 'R3A-S-U-C1' AND 'OAS-S-U-C1'. 9. THE COORDINATES SHOWN ON THIS PLAN WERE DERIVED BY REAL TIME NETWORK (RTN) GLOBAL POSITIONING SYSTEM (GPS) THE METHOD RESULTS IN (NAD 1983 2011) - COGS 96 POSITIONS AND NORTH AMERICAN VERTICAL DATUM (NA 83 SEA LEVEL) ELEVATIONS USING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) MOUNTED BY NORTH CAROLINA GEOLOGICAL SURVEY CLASS A SURVEY. 1,033 FT POSITIONAL ACCURACY, THIS FIELD PROCEDURE, GEODATA AND LIMITS IN FEET. 10. DEED DESCRIPTION IN REG. 7054 PG. 1794 DOES NOT FORM A MATHEMATICALLY CLOSED POLY. 11. ITEM 6(A) & 6(B) - NO ZONING REPORT PROVIDED AT THIS TIME. 12. ITEM 6 - THERE ARE NO ZONING SPACES OR SUBJECT PROPERTY. 13. ITEM 14 - NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS. 14. ITEM 17 - NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

NOTE: THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND STRUCTURES, FIELD MARKINGS AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATION WORK WAS MADE DURING THE COURSE OF THIS SURVEY TO LOCATE BURIED UTILITIES STRUCTURES. BEFORE EXCAVATING ARE BEGAN, FIELD LOCATIONS AND TYPES OF UTILITIES STRUCTURES SHOULD BE VERIFIED.

PROPERTY DESCRIPTION PER RECORD: TRACT 1: BEGINNING AT AN EXISTING IRON PIPE SET IN THE EASTERN RIGHT OF WAY LINE OF BAGWELL AVENUE, SAID POINT BEING LOCATED 270 FEET IN A NORTHERLY DIRECTION FROM THE INTERSECTION OF THE EASTERN RIGHT OF WAY LINE OF BAGWELL AVENUE WITH THE NORTHERN RIGHT OF WAY LINE OF HILLSBOROUGH STREET; SAID POINT FURTHER BEING THE SOUTHWESTERN CORNER OF THE LOT DESCRIBED IN REG. 1920 PG. 140; THE EASTERN RIGHT OF WAY LINE OF BAGWELL AVENUE NORTH 16° 42' EAST 30.00 FEET TO A POINT; PLANS THENCE LEAVING THE EASTERN RIGHT OF WAY LINE OF BAGWELL AVENUE SOUTH 71° 02' EAST 37.57 FEET (CORRECT MEASURED DISTANCE) TO A POINT; PLANS THENCE SOUTH 19° 09' WEST 40.64 FEET (CORRECT MEASURED DISTANCE) TO A POINT; PLANS THENCE NORTH 71° 02' WEST 16.10 FEET TO THE POINT AND PLACE OF BEGINNING; AND BEING LOT NUMBER 63 OF THE HILLSBOROUGH SUBDIVISION, 2, AS SHOWN ON MAP RECORDED IN BOOK OF MAPS 1920, PAGE 140, WAKE COUNTY REGISTRY, NORTH CAROLINA, AND FURTHER BEING ALL OF THAT PROPERTY AS SHOWN ON THAT CERTAIN SURVEY ENTITLED 'PROPERTY OF LOU A. DOSSON AND WIFE, LOCHRANE R. DOSSON, BAGWELL AVENUE, RALEIGH, N.C.' DATED 02/08/2018 AND PREPARED BY WILLIAM COCKER, SURVEYOR, RALEIGH, NORTH CAROLINA.

- TRACT 2: BEGINNING AT A POINT IN THE EASTERN RIGHT OF WAY OF BAGWELL AVENUE, SAID POINT BEING LOCATED 270 FEET IN A NORTHERLY DIRECTION FROM THE NORTH LINE OF HILLSBOROUGH STREET; PLANS THENCE SOUTH 71° 02' WEST 16.10 FEET TO A POINT; PLANS THENCE SOUTH 19° 09' WEST 40.64 FEET (CORRECT MEASURED DISTANCE) TO A POINT; PLANS THENCE NORTH 71° 02' WEST 16.10 FEET TO THE POINT AND PLACE OF BEGINNING; AND BEING LOT NUMBER 64 OF THE HILLSBOROUGH SUBDIVISION, 2, AS SHOWN ON MAP RECORDED IN BOOK OF MAPS 1920, PAGE 140, WAKE COUNTY REGISTRY, NORTH CAROLINA, AND FURTHER BEING ALL OF THAT PROPERTY AS SHOWN ON THAT CERTAIN SURVEY ENTITLED 'PROPERTY OF LOU A. DOSSON AND WIFE, LOCHRANE R. DOSSON, BAGWELL AVENUE, RALEIGH, N.C.' DATED 02/08/2018 AND PREPARED BY WILLIAM COCKER, SURVEYOR, RALEIGH, NORTH CAROLINA.
- TRACT 3: BEING NEW LOT 1 IN ACCORDANCE WITH THE RECOMBINATION PLAN PROPERTIES OF KATHLEEN C. HAMMON DATED JUNE 20, 2018 MADE BY NEWCOMB LAND SURVEYORS, PLLC RECORDED ON JULY 19, 2018 IN BOOK OF MAPS 2018, PAGE 1396, WAKE COUNTY REGISTRY, CONTAINING APPROXIMATELY 0.224 ACRES.
- TRACT 4: BEING LOT 65 BAGWELL IN ACCORDANCE WITH THE RECOMBINATION PLAN PROPERTIES OF KATHLEEN C. HAMMON DATED JUNE 20, 2018 MADE BY NEWCOMB LAND SURVEYORS, PLLC RECORDED ON JULY 19, 2018 IN BOOK OF MAPS 2018, PAGE 1396, WAKE COUNTY REGISTRY, CONTAINING APPROXIMATELY 0.109 ACRES.
- TRACT 5: ALL THAT CERTAIN LOT OR PARCEL OF LAND SITUATED IN THE CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEING ALL THAT CERTAIN REAL PROPERTY LOCATED AT 2808 AND 2810 HILLSBOROUGH STREET, AND HAVING PARCEL IDENTIFIER NO. 064930 AND TAX LOT NO. 009-00142006.

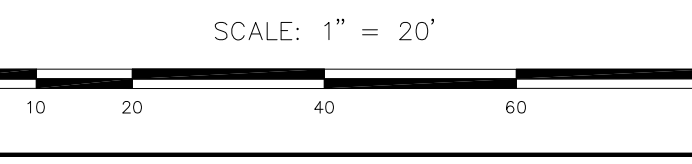
- 1. EASEMENTS AND ANY OTHER FACTS AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 1920, PAGE 140 (BOTH TRACTS); RECORDED PRIOR TO EXAMINATION PERIOD BUT REFERENCED IN LEGAL DESCRIPTIONS OF RECORD, WAKE COUNTY REGISTRY, (TRACTS 1, 2, 3 AND 4) (SHOWN ON SURVEY).
- 2. EASEMENTS AND ANY OTHER FACTS AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2018, PAGE 1396, WAKE COUNTY REGISTRY, (TRACTS 3 AND 4) (SHOWN ON SURVEY).
- 3. EASEMENTS AND ANY OTHER FACTS AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 1951, PAGE 123, WAKE COUNTY REGISTRY, (TRACTS 3 AND 4) (AFFECTS PROPERTY, NOT PLOTTABLE).
- 4. EASEMENT TO CITY OF RALEIGH RECORDED IN BOOK 1606, PAGE 2686, WAKE COUNTY REGISTRY, (TRACT 3) (SHOWN ON SURVEY).
- 5. NOTICE OF RESIDUAL PETROLEUM RECORDED IN BOOK 1804, PAGE 2620, WAKE COUNTY REGISTRY, (TRACT 3) (AFFECTS PROPERTY, NOT PLOTTABLE).
- 6. EASEMENT TO SOUTHERN BELL TELEPHONE AND TELEGRAPH CO. RECORDED IN BOOK 502, PAGE 442, WAKE COUNTY REGISTRY, (TRACT 3) (AFFECTS PROPERTY, NOT PLOTTABLE).
- 7. EASEMENT TO SOUTHERN BELL TELEPHONE AND TELEGRAPH COMPANY, (INCORPORATED) RECORDED IN BOOK 882, PAGE 57, WAKE COUNTY REGISTRY, (TRACT 3) (DOES NOT AFFECT PROPERTY).
- 8. EASEMENT TO CITY OF RALEIGH RECORDED IN BOOK 1606, PAGE 2076, WAKE COUNTY REGISTRY, (TRACT 3) (SHOWN ON SURVEY).
- 9. TERMS AND PROVISIONS OF THAT CERTAIN UNRECORDED LEASE EXECUTED BY CHARLES V. MOSELEY, AN INDIVIDUAL AND RESIDENT OF THE STATE OF NORTH CAROLINA TO 2810 HILLSBOROUGH STREET, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY DATED DECEMBER 31, 2020 AS EVIDENCED BY A MEMORANDUM OF WHICH IS RECORDED IN BOOK 1627, PAGE 80, WAKE COUNTY REGISTRY, (TRACT 5) (A MATTER OF SURVEY).
- 10. TERMS, CONDITIONS AND PROVISIONS OF LEASE EXECUTED BY T. B. MOSELEY, AS LESSOR AND GENERAL OUTDOOR ADVERTISING CO., INC., AS LESSEE RECORDED IN BOOK 1304, PAGE 543, WAKE COUNTY REGISTRY, (TRACT 5) (NOT A MATTER OF SURVEY).
- 11. RIGHTS OF PARTIES IN POSSESSION.
- 12. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DEFICIENCIES, CONCERNING IN ANY OF AREA, RIGHTS, EASEMENTS, ETC., SETBACKS, SETBACKS, RIGHTS OF PARTIES IN POSSESSION, INTERESTS OR CLAIMS WHICH WOULD BE REVEALED BY A CURRENT AND ACCURATE SURVEY AND INSPECTION OF THE LAND.
- 13. HERETIM RIGHTS ARE NOT INCURRED.
- 14. ANY INACCURACY IN THE AREA, SQUARE FOOTAGE OR ACREAGE OF THE LAND TO BE INCURRED HEREUNDER.
- 15. TITLE TO AND EASEMENTS IN ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS OR OTHER WAYS.
- 16. ANY LEIN OR RIGHT TO A LEIN FOR SERVICES, LABOR OR MATERIAL, OR RENTAL EQUIPMENT HERETOFORE OR HEREAFTER FURNISHED IMPOSED BY LAW AND NOT SHOWN ON THE PUBLIC RECORDS.
- 17. RIGHTS OF OTHERS IN AND TO THE USE OF EASEMENTS APPURTENANT AFFECTING THE LAND, IF ANY.



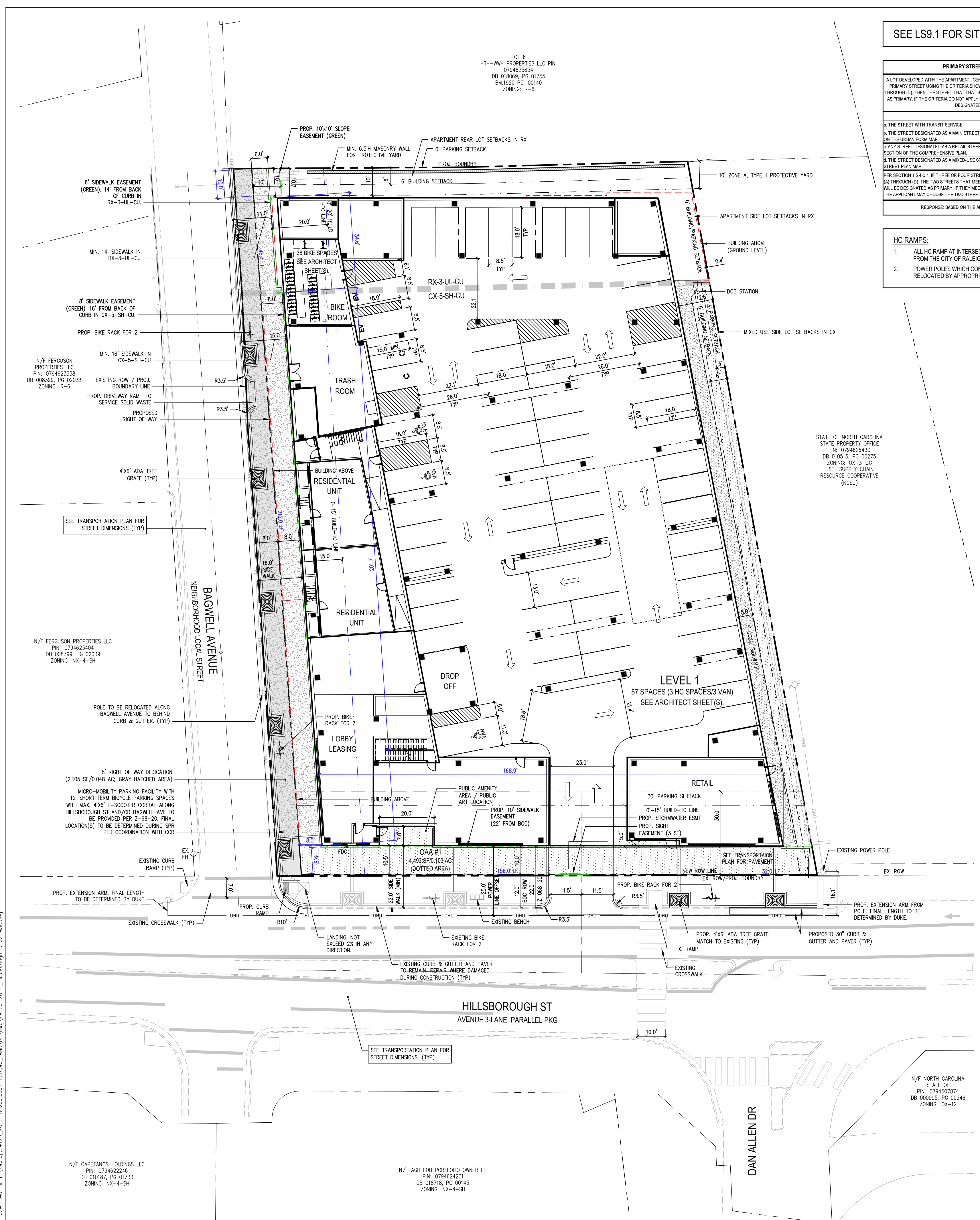
LEGEND: Symbols for existing iron pipe, existing rebar, calculated point, electric pole, electric manhole, electric vault, traffic signal box, light pole, guy wire, water valve, water meter, fire hydrant, monitoring well, curb inlet, yard inlet, sanitary sewer manhole, sanitary sewer clean out, fiber-optic vault, cable tv pedestal, gas meter, propane tank, electric line, electric sewer line, storm water line, fence.

OWNERS: BAGWELL HOLDINGS LLC, WEST BROAD HOSPITALITY LLC, HILLSBOROUGH POINTS LLC, CHARLES V. MOSELEY.

SURVEYOR'S CERTIFICATE: TO: FIRST AMERICAN TITLE INSURANCE COMPANY, CASL HOLDINGS, LLC AND TBD, LLC. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON AUGUST 22, 2022. DATE OF PLAT OR MAP: DAN GREGORY-PROFESSIONAL LAND SURVEYOR L-5240



Vertical sidebar containing: BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS; JOB NO. 22136; DATE 9-9-2022; DRAWN BY JDW; CHECKED BY DG; SCALE: 1" = 20'; SHEET 1 OF 1.



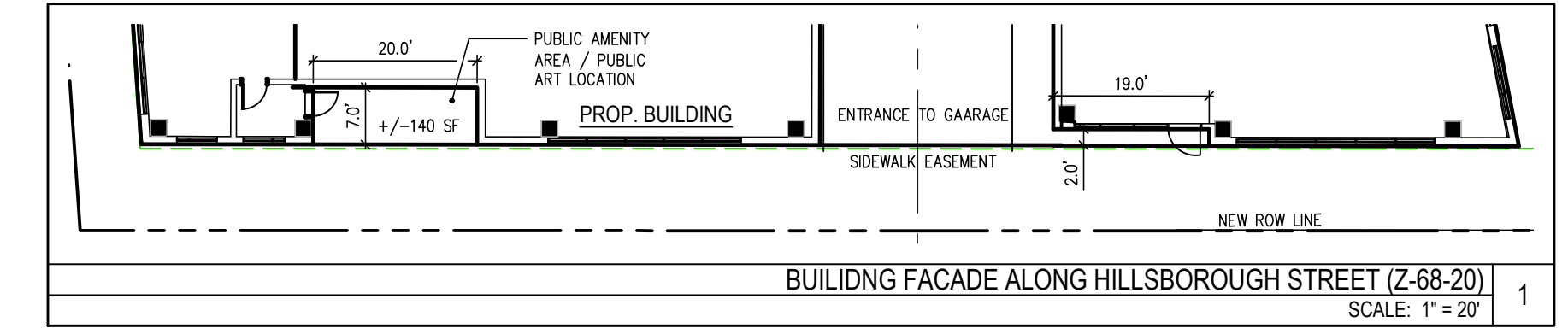
SEE LS.9.1 FOR SITE DETAILS.

PRIMARY STREET DETERMINATION (SEC. 15.4.C.1)	
A LOT DEVELOPED WITH THE APARTMENT GENERAL MIXED USE OR CIVIC BUILDING TYPES SHALL DESIGNATE ITS PRIMARY STREET USING THE CRITERIA SHOWN (A) THROUGH (D) BELOW. IF NO STREET MEETS CRITERIA (A) THROUGH (D), THEN THE STREET THAT THAT SATISFIES MORE OF CRITERIA (E) THROUGH (G) WILL BE DESIGNATED AS PRIMARY. IF THE CRITERIA DO NOT APPLY OR DO NOT PRODUCE A CLEAR RESULT, THEN ANY STREET MAY BE DESIGNATED AS PRIMARY BY THE APPLICANT.	
HILLSBOROUGH	BAGWELL
IF THE STREET DESIGNATED AS A MAIN STREET OR URBAN THROUGHFARE ON THE URBAN/FORM MAP.	YES NO
IF ANY STREET DESIGNATED AS A RETAIL STREET IN THE DOWN-TOWN SECTION OF THE COMPREHENSIVE PLAN.	YES NO
IF THE STREET DESIGNATED AS A MIXED-USE STREET ON THE RALEIGH STREET PLAN MAP.	YES NO
PER SECTION 15.4.C.1 IF THREE OR FOUR STREETS MEET ANY OF CRITERIA (A) THROUGH (D), THE TWO STREETS THAT MEET MORE OF (A) THROUGH (D) WILL BE DESIGNATED AS PRIMARY. IF THEY MEET THE SAME NUMBER, THEN THE APPLICANT MAY CHOOSE THE TWO STREETS.	PRIMARY
RESPONSE: BASED ON THE ABOVE, HILLSBOROUGH STREET IS PRIMARY STREET.	

- HC RAMPS:**
- ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
 - POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

Site Data (UDO 33rd Supplement Published August, 2024)			
Project: 2810 Hillsborough			
Date: October 3, 2024			
1 Zoning		RX-3-UL-CU (SPROD) & CX-5-SH-CU (SPROD)	Z-68-20
2 Tract area			
		Survey SF	Survey AC
0794624551 (8 Bagwell)	RX-3-UL-CU	4,326 SF	0.108 AC
0794624575 (8 Bagwell)	RX-3-UL-CU	4,218 SF	0.097 AC
0794624589 (10 Bagwell)	RX-3-UL-CU	3,722 SF	0.085 AC
0794624541 (2808 Hillsborough)	CX-5-SH-CU	24,587 SF	0.564 AC
0794624441 (2812 Hillsborough)	CX-5-SH-CU	9,719 SF	0.223 AC
Gross Acreage		46,772 SF	1.074 AC
Less Hillsborough St. Right of Way Dedication		-93 SF	-0.002 AC
Less Bagwell Ave. Right of Way Dedication		-2,012 SF	-0.046 AC
Gross AC zoned RX-3-UL-CU		44,667 SF	1.028 AC
Gross AC zoned CX-5-SH-CU			0.90 AC
3 Proposed use			
Building type		Multi-unit living, Retail Sales	
1 BR		Mixed Use, Apartment	
2 BR			79 DU
3 BR			23 DU
4 BR			13 DU
Total			115 DU
4 Gross square footage (excluding garage parking)			
Proposed FAR		157,887 / 1.03 =	353.5%
Building lot coverage (includes garage)		36,069 / 1.03 =	80.8%
Proposed density		141 / 1.03 =	137.5 DU/AC
5 Outdoor amenity area (UDO section 3.2.6.A.3)			
Area required - 10% of net acreage			
Parcel net area		44,667 SF	1.025 AC
10% required		4,467 SF	0.103 AC
Provided		4,493 SF	0.103 AC
OAA #1		4,493 SF	0.103 AC
Total area provided		4,493 SF	0.103 AC
6 Building height			
Allowed height (RX-3-UL-CU)		50 FT	3 Story
Allowed height (CX-5-SH-CU) (Z-68-20)		68 FT	5 Story
Proposed height		See elevations for building heights	
7 Neighborhood transition (UDO section 3.5)			
Required		Zone A	
Provided		10' Zone A Type 1	
8 Build-to (dimensions shown in blue on LS.1.1 Site Plan)			
C1 Primary street build-to (min 0' max 15') (SH frontage) Hillsborough Street			
Right of Way Length		187.6 LF	
Sidewalk Easement Length		45.0 LF	
Net Length		179.6 LF	
Required		80% x 179.6 =	143.7 LF
Provided		94.0%	168.9 LF
C2 Secondary street build-to (min 0' max 20') (UL frontage) Bagwell Avenue			
Right of Way Length		45.4 LF	
Protective Yard		-10.0 LF	
Net Length		35.4 LF	
Required		25% x 35.4 =	8.9 LF
Provided		97.7%	34.6 LF
C3 Secondary street build-to (min 0' max 15') (SH frontage) Bagwell Avenue			
Right of Way Length		212.0 LF	
Sidewalk Easement Length		49.5 LF	
Net Length		202.5 LF	
Required		40% x 202.5 =	81.0 LF
Provided		99.6%	201.7 LF
9 Maximum parking (UDO section 7.1.2.C)			
Multi-unit living 1 BR			
		79 x 1.5 =	119 SP
Multi-unit living 2 BR			
		23 x 2.25 =	52 SP
Multi-unit living 3 BR			
		13 x 3.0 =	39 SP
Multi-unit living 4 BR			
		26 x 4.0 =	104 SP
Maximum Allowed			
			313 SP
Parking provided			
Standard space		62 SP	
Compact Car space (max 30% allowed)		Provided = 3.51%	2 SP
HC space		(Van 3)	3 SP
Total spaces provided			67 SP
EV Charging Station			
EV Charging Station Provided		2 SP	
EV Charging Station Ready (15% required)		55 x 15% =	8 SP
10 Required bicycle parking (UDO section 7.1.2.C & Z-68-22)			
Multi-unit living			
Short term Required (1 space per 20 units)		141 / 20 =	7 SP
Short term Required by Z-68-22			12 SP
Short term Required			19 SP
Existing Short term bike parking			
Proposed Short term bike parking			2 SP
Long term Required (1 space per 7 bedrooms)		268 / 7 =	38 SP
Long term bike parking provided (in garage)			38 SP
Short term provided			
			20 SP
Long term bike parking provided (in garage)			
			38 SP
Total provided			58 SP

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2408.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY TRANSPORTATION AND PUBLIC UTILITIES DEPARTMENTS PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY BASS, NIXON & KENNEDY, INC IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN SEPTEMBER 2022, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST 2022.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
 - TRASH AND CARDBOARD DUMPS(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
 - GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT #11 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE COMPLY WITH CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
 - SWINGING DOORS AND GATE SHALL HAVE MANEUVERING CLEARANCE COMPLYING WITH CURRENT ANSI STANDARD.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL HVAC EQUIPMENTS OF THIS PROJECT E TO BE LOCATED ON THE ROOF OF BUILDINGS AND SCREENED WITH PARAPETS AS NEEDED. SEE ARCHITECT PLANS.
- ACCESSIBILITY NOTES:**
- ALL INTERSECTIONS OF ACCESSIBLE ROUTE SHALL HAVE MINIMUM 5X5' LANDING.
 - MINIMUM LANDING AT ACCESS ASLE FOR HC PARKING SPACE SHALL BE 4' x 4'.
 - ALL LANDINGS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
 - ALL ACCESSIBLE ROUTE SHALL NOT EXCEED 2% CROSS PITCH. MAXIMUM RAMP RUN TO BE 8.3%. RAMP MUST HAVE BETWEEN 34" AND 38" HEIGHT HANDRAILS ON BOTH SIDES IF THE SLOPE IS GREATER THAN 5%. AND MINIMUM 5X5' LANDING SHALL BE PROVIDED EVERY 30' MAXIMUM RUN. MINIMUM 5X5' LANDING IS REQUIRED AT THE TOP & BOTTOM OF THE RAMP. MINIMUM 5X5' TURN PLATFORM LANDING IS REQUIRED.
 - ALL CROSS WALK SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
 - ACCESSIBLE ENTRANCES SHALL PROVIDE WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
 - ACCESSIBLE ENTRANCES WILL BE PROVIDED WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
 - REFER TO GRADING PLAN FOR ACCESSIBLE ROUTE.



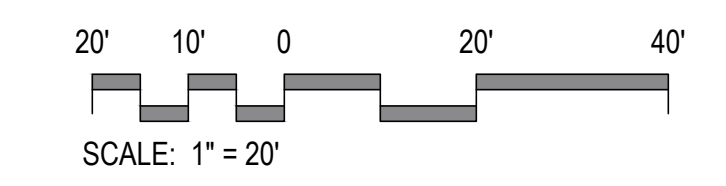
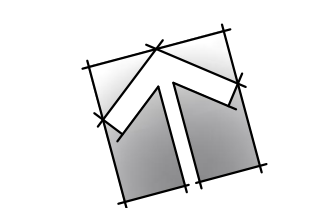
LEGEND:

	EX. FIRE HYDRANT
	EX. UTILITY POLE
	EX. BIKE RACK FOR 2
	EX. BENCH
	EX. TREE GRATE TO BE REPLACED
	PROP. TREE GRATE
	PROJECT BOUNDARY
	PROP. RIGHT OF WAY
	EX. ADJACENT PROPERTY LINE
	EX. RIGHT OF WAY LINE
	ROAD/DRIVEWAY CENTERLINE
	PROP. OVERHEAD UTILITY
	PARKING SETBACK
	PROP. PROTECTIVE YARD
	PROP. BUILDING ABOVE
	PROP. SIDEWALK EASEMENT
	PROP. SLOPE EASEMENT
	BUILD-TO LINE
	PROP. OUTDOOR AMENITY AREA
	PROP. SIGHT TRIANGLE ESMT

REFERENCE: Z-68-20; SCOPE-0134-2022

ASR-0XXX-2024

SITE PLAN



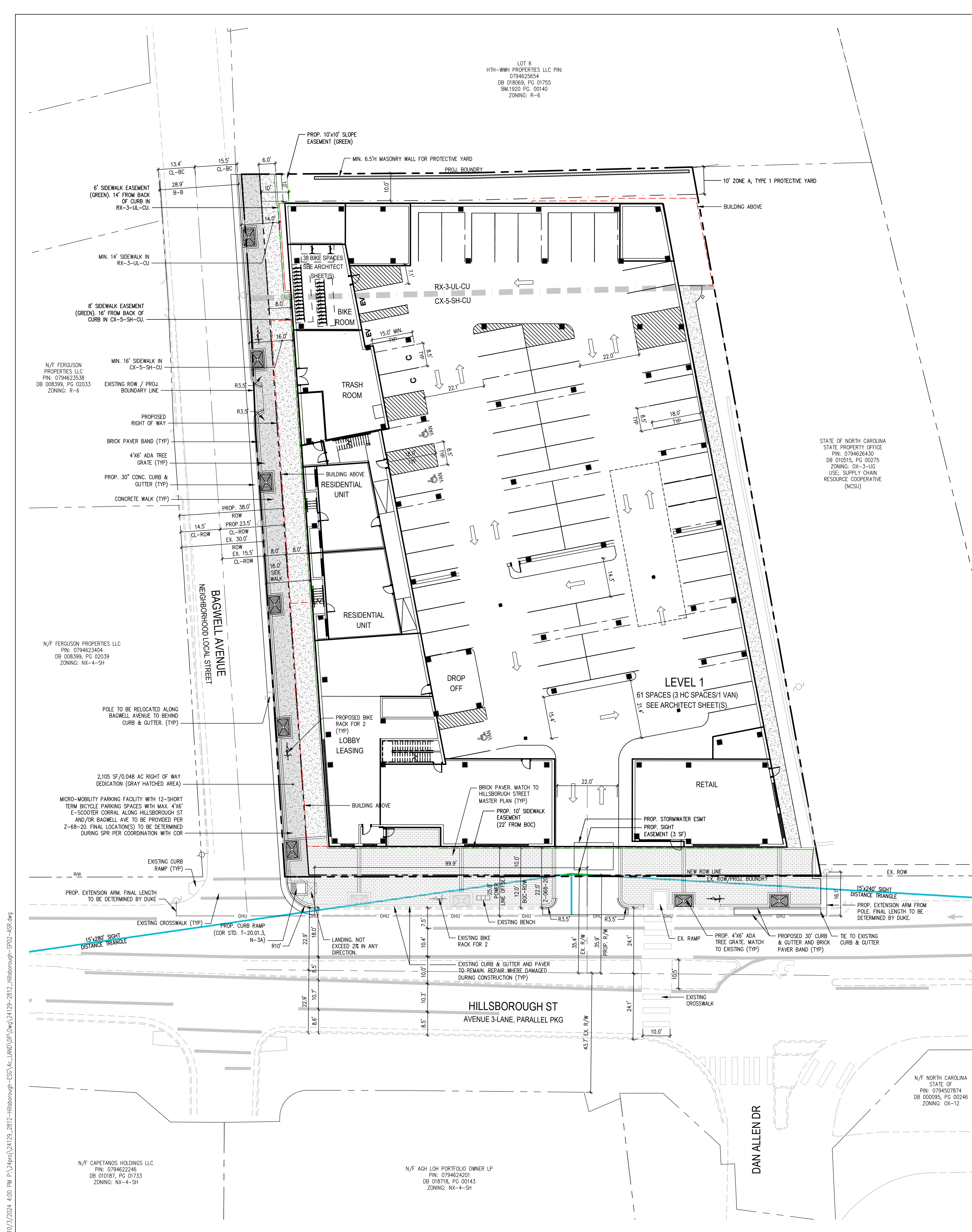
ADMINISTRATIVE SITE REVIEW

Cardinal Group Company
2810 Hillsborough
 Raleigh, North Carolina 27607

JDAVIS
 510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500
 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121
 ASR-0XXX-2024 (Admin. Site Review)
 REFERENCE: Z-68-20; SCOPE-0134-2022

PROJECT:	ESG-24129	DATE:	
ISSUE:	Administrative Site Review	DATE:	10.03.2024
REVISIONS:			
DRAWN BY:	KT, SB		
CHECKED BY:	KT		
CONTENT:	SITE PLAN		

LS1.1



CROSS ACCESS NOTES

- PER R.3.D.5.A. THE PARCEL (PIN 0794625654) TO THE NORTH OF THE SITE IS ZONED R-6. CROSS ACCESS NOT REQUIRED
- PER R.3.D.5.C. THE PARCEL (PIN 0794626430) TO THE EAST IS THE SUPPLY CHAIN RESOURCE COOPERATIVE FOR NCSU AND CROSS ACCESS IS NOT REQUIRED

TRANSPORTATION PLAN NOTES

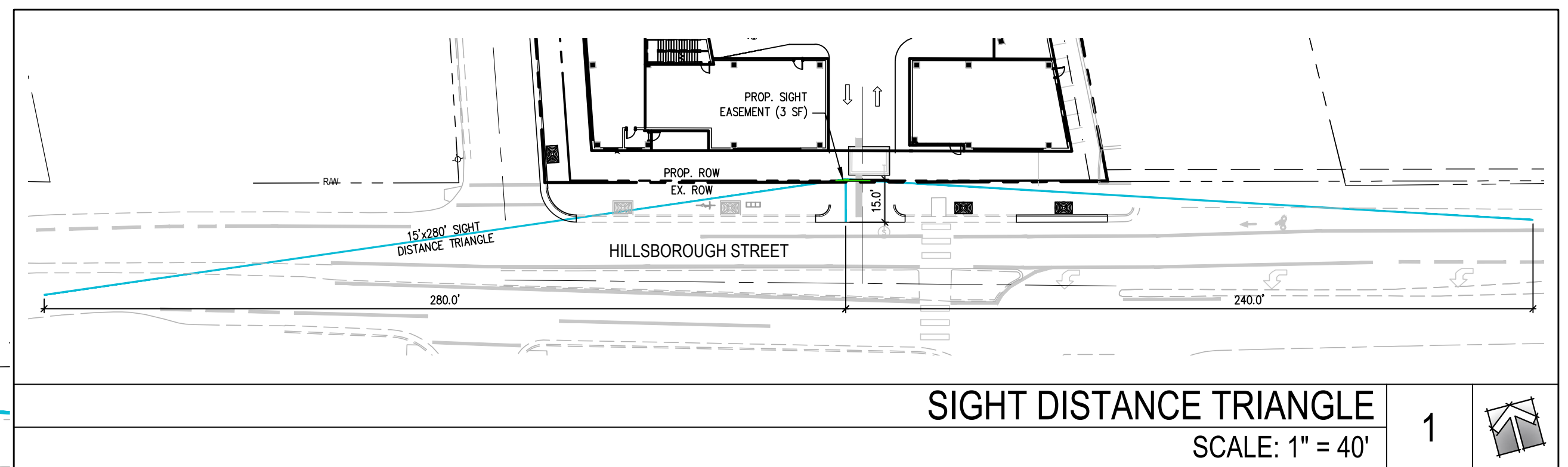
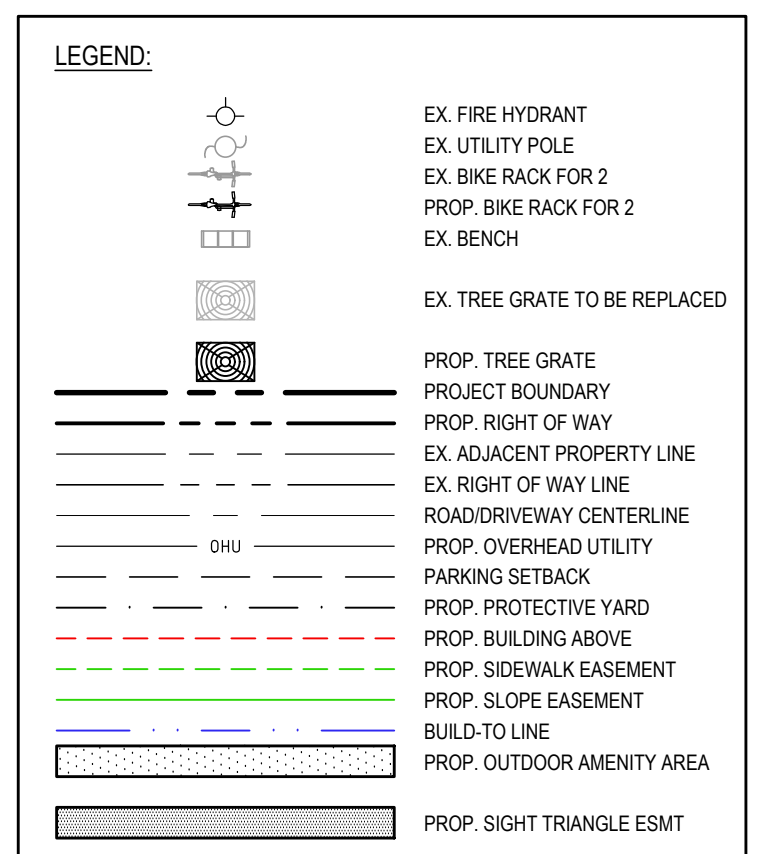
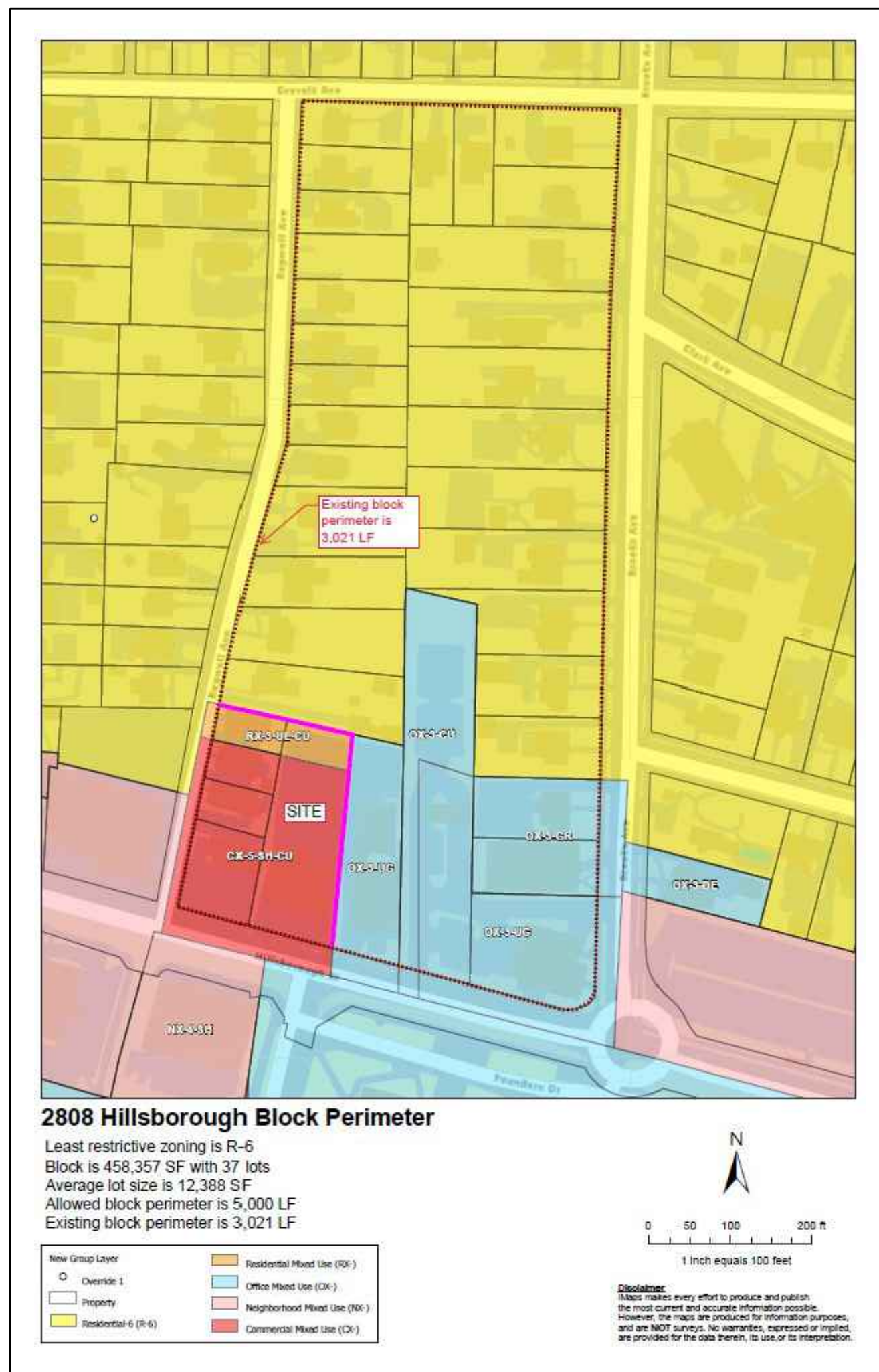
- THIS SITE IS LOCATED WITHIN HILLSBOROUGH STREET REVITALIZATION PLAN. BRICK PAVEMENT WITH CONCRETE WALK FOR BAGWELL AVENUE AND BRICK PAVEMENT WITH BRICK PAVEMENT WALK FOR HILLSBOROUGH STREET ARE PROPOSED.
- PROPOSED SIDEWALK ALONG HILLSBOROUGH STREET TO BE MINIMUM 22 FEET PER Z-688-20.
- 10 FEET SIDEWALK EASEMENT (22 FEET FROM EXISTING BACK OF CURB) IS PROPOSED ALONG HILLSBOROUGH STREET.
- PROPOSED SIDEWALK ALONG BAGWELL AVENUE IN RX-3-UL-CU TO BE MINIMUM 14 FEET.
- 6 FEET SIDEWALK EASEMENT (14 FEET FROM PROPOSED BACK OF CURB) IS PROPOSED ALONG BAGWELL AVENUE IN RX-3-UL-CU.
- PROPOSED SIDEWALK ALONG BAGWELL AVENUE IN CX-5-SH-CU TO BE MINIMUM 16 FEET.
- 10 FEET SIDEWALK EASEMENT (16 FEET FROM PROPOSED BACK OF CURB) IS PROPOSED ALONG BAGWELL AVENUE IN CX-5-SH-CU.

ACCESSIBILITY NOTES:

- ALL INTERSECTIONS OF ACCESSIBLE ROUTE SHALL HAVE MINIMUM 5'X5' LANDING.
- MINIMUM LANDING AT ACCESSIBLE ASLE FOR HC PARKING SPACE SHALL BE 4' X 4'.
- ALL LANDINGS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- HANDICAP PARKING SPACE(S) AND HC ACCESS ASLE(S) SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTE SHALL NOT EXCEED 2% CROSS PITCH. MAXIMUM RAMP RUN TO BE 8.3'. RAMP MUST HAVE BETWEEN 34" AND 38" HEIGHT HANDRAILS ON BOTH SIDES IF THE SLOPE IS GREATER THAN 5%. AND MINIMUM 5'X5' LANDING SHALL BE PROVIDED EVERY 30' MAXIMUM RUN. MINIMUM 5'X5' LANDING IS REQUIRED AT THE TOP & BOTTOM OF THE RAMP. MINIMUM 5'X5' TURN PLATFORM/LANDING IS REQUIRED.
- ALL CROSS WALK SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
- ACCESSIBLE ENTRANCES SHALL PROVIDE WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
- ACCESSIBLE ENTRANCES WILL BE PROVIDED WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
- REFER TO GRADING PLAN FOR ACCESSIBLE ROUTE.

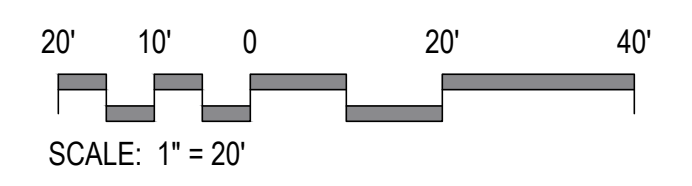
HC RAMPS:

- ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
- POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.



ASR-0XXX-2024

TRANSPORTATION PLAN



ADMINISTRATIVE SITE REVIEW

PROJECT:	ESG-24129	DATE:	
ISSUE:	Administrative Site Review	DATE:	10.03.2024
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	TRANSPORTATION PLAN		

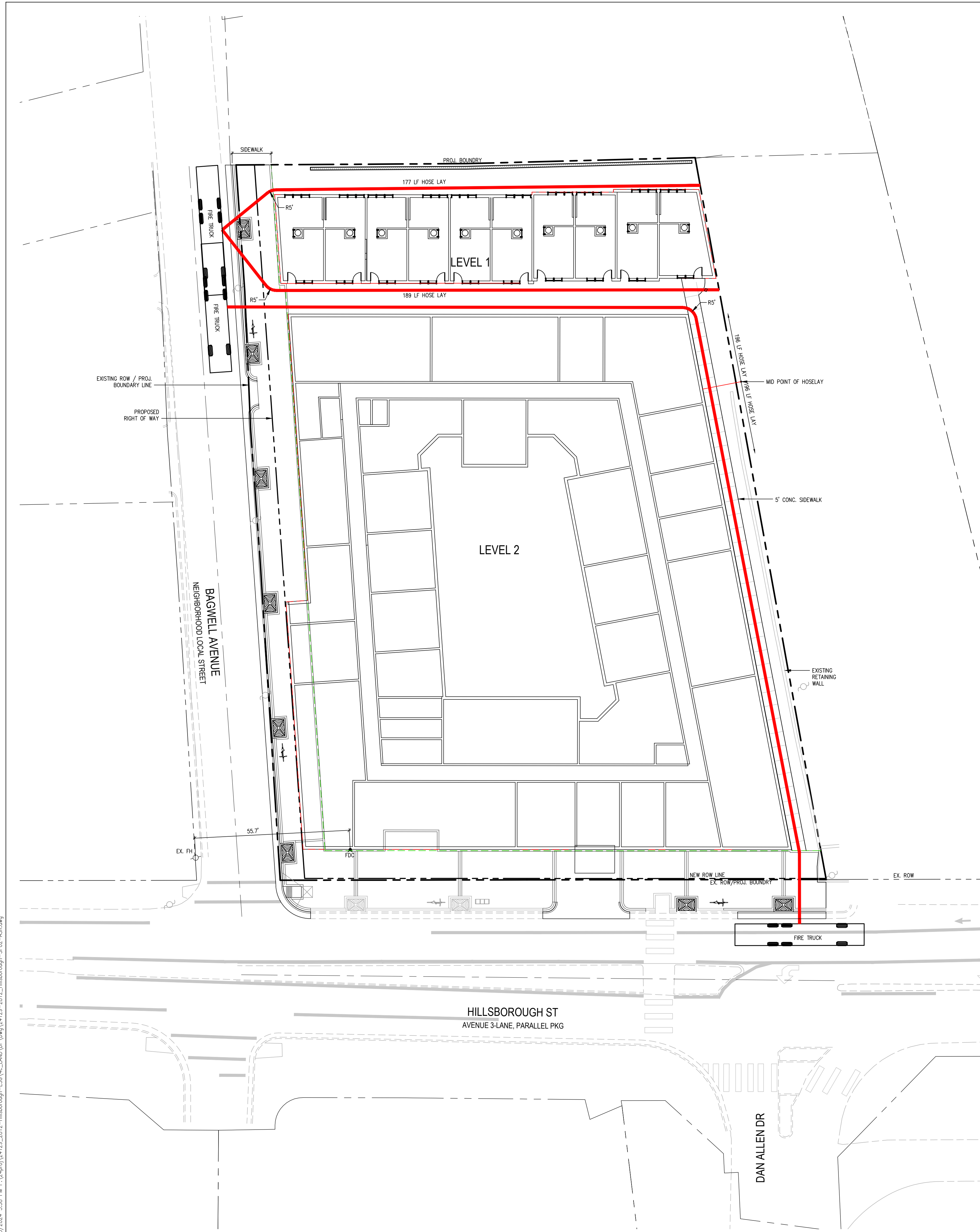
LS2.1

Cardinal Group Company
2810 Hillsborough
 Raleigh, North Carolina 27607

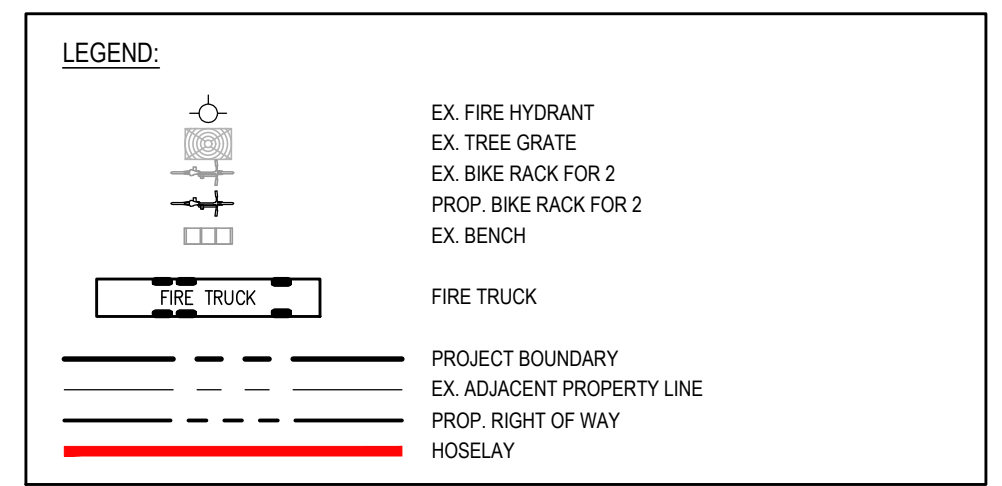
JDAVIS
 510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500
 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121
 ASR-0XXX-2024 (Admin. Site Review)
 REFERENCE: Z-688-20; SCOPE-0134-2022

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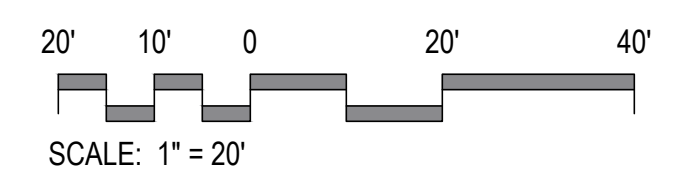


- FIRE ACCESS NOTES**
1. NFPA13R IS PROPOSED FOR THIS PROJECT.
 2. THE FIRE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA13R) OF ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NFPA 503 1.1).
 3. FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF THE FIRE APPARATUS ACCESS ROAD (NFPA 507 5.1).



ASR-0XXX-2024

FIRE ACCESS PLAN



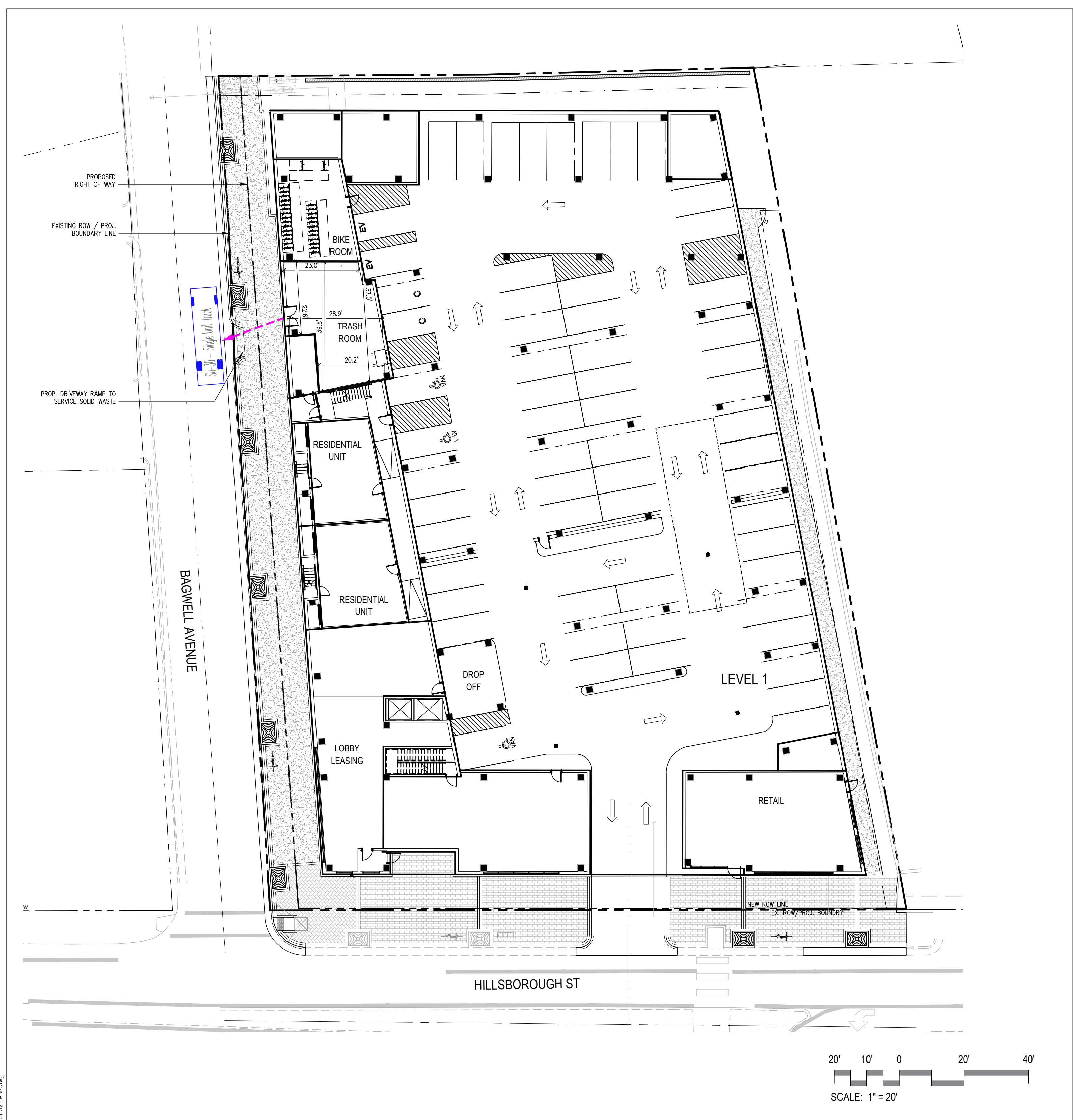
ADMINISTRATIVE SITE REVIEW

PROJECT:	ESG-24129	DATE	
ISSUE:	Administrative Site Review	10.03.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	FIRE ACCESS PLAN		

LS3.1

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2810 Hillsborough
 Raleigh, North Carolina 27607

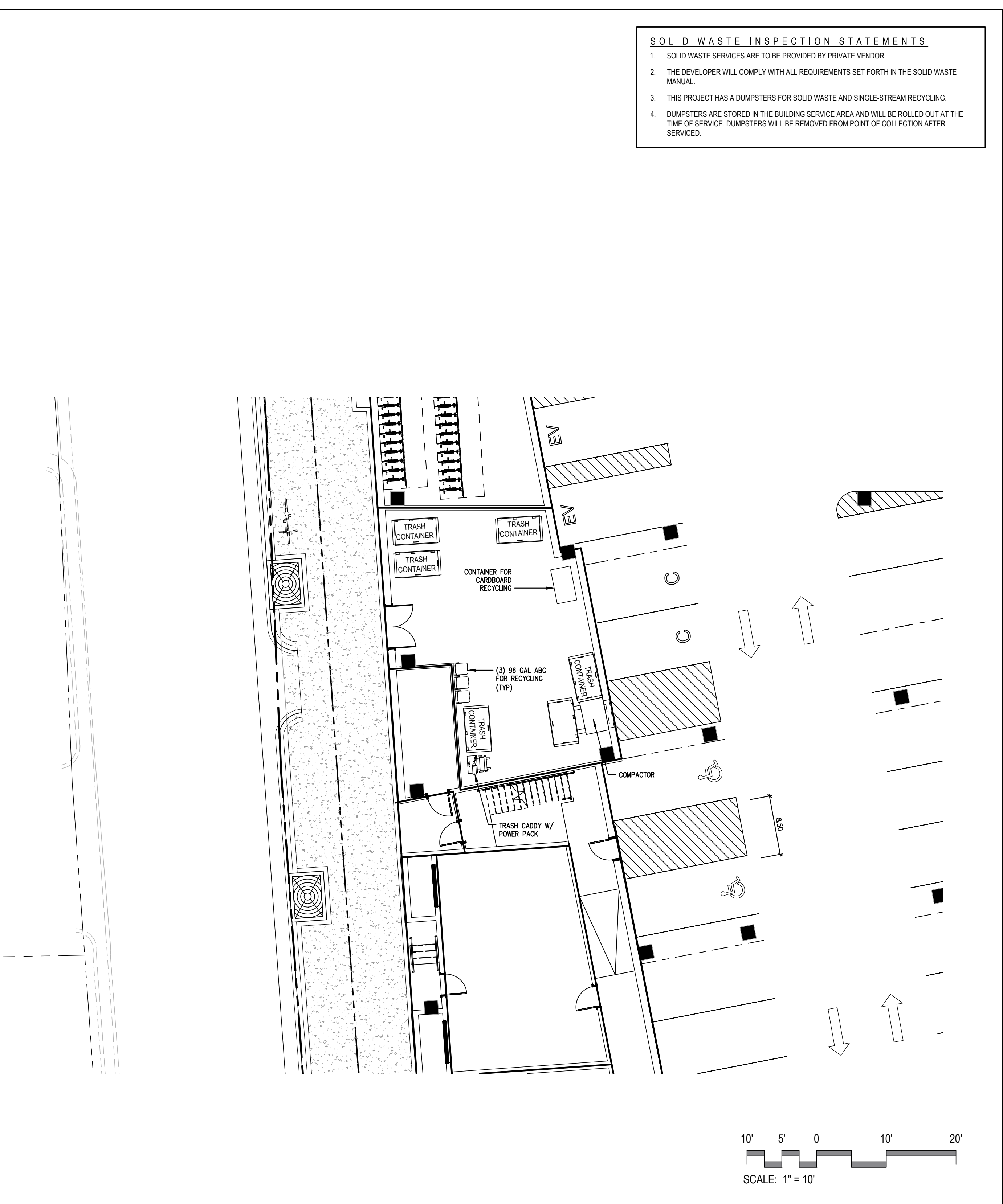
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SOLID WASTE/RECYCLING CONTAINER ROLL OUT ROUTE
 SCALE: 1" = 20' 2

SOLID WASTE INSPECTION STATEMENTS

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- THIS PROJECT HAS A DUMPSTERS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.
- DUMPSTERS ARE STORED IN THE BUILDING SERVICE AREA AND WILL BE ROLLED OUT AT THE TIME OF SERVICE. DUMPSTERS WILL BE REMOVED FROM POINT OF COLLECTION AFTER SERVICED.



TRASH ROOM
 SCALE: 1" = 10' 1

ASR-0XXX-2024

WASTE COLLECTION ACCESS PLAN



SCALE: 1" = 20'

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2810 Hillsborough
 Raleigh, North Carolina 27607

JDAVIS
 510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121
ASR-0XXX-2024 (Admin. Site Review)
 REFERENCE: Z-68-20; SCOPE-0134-2022

PROJECT:	ESG-24129	DATE:	
ISSUE:	Administrative Site Review	10.03.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	WASTE COLLECTION ACCESS PLAN		

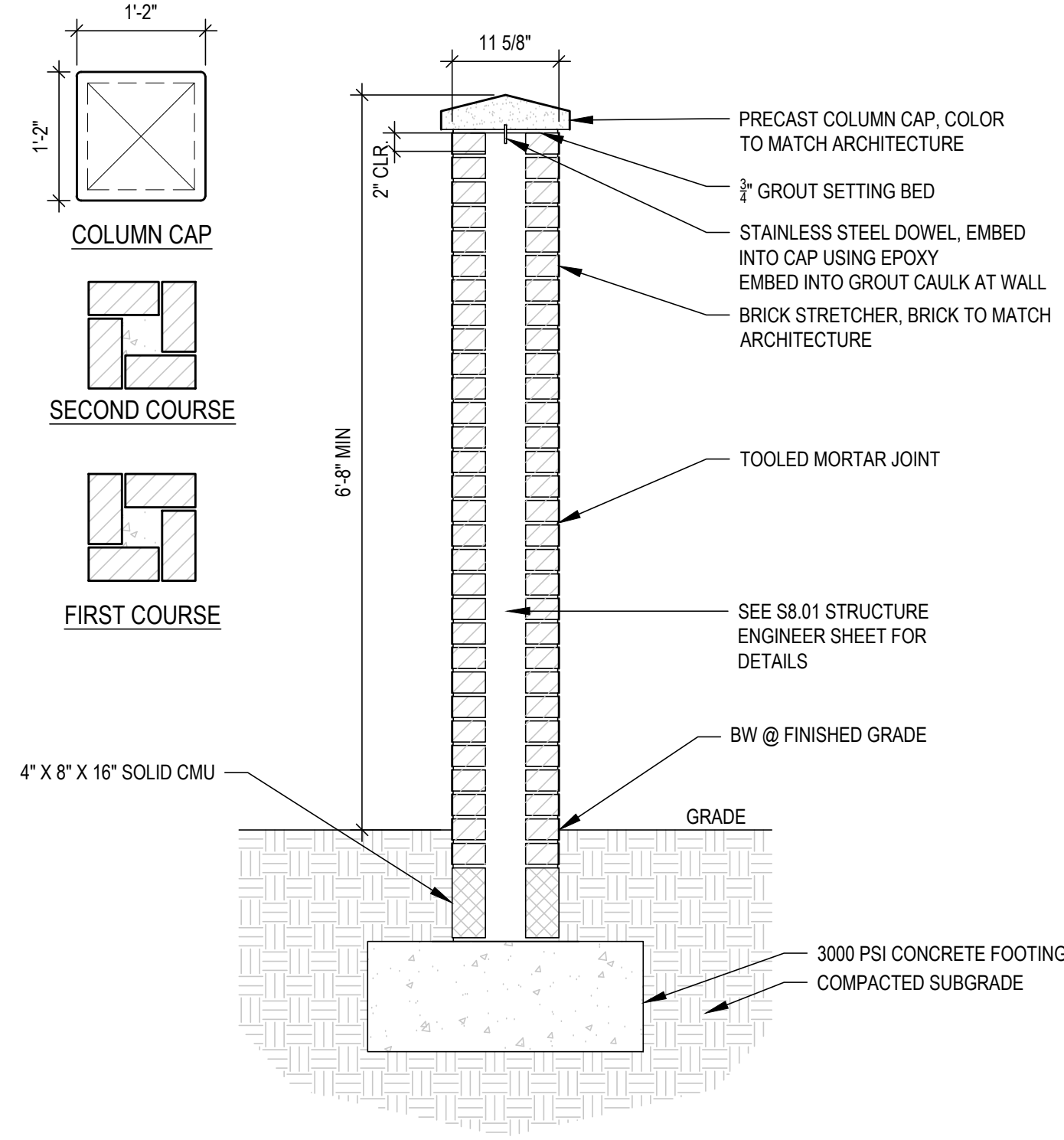
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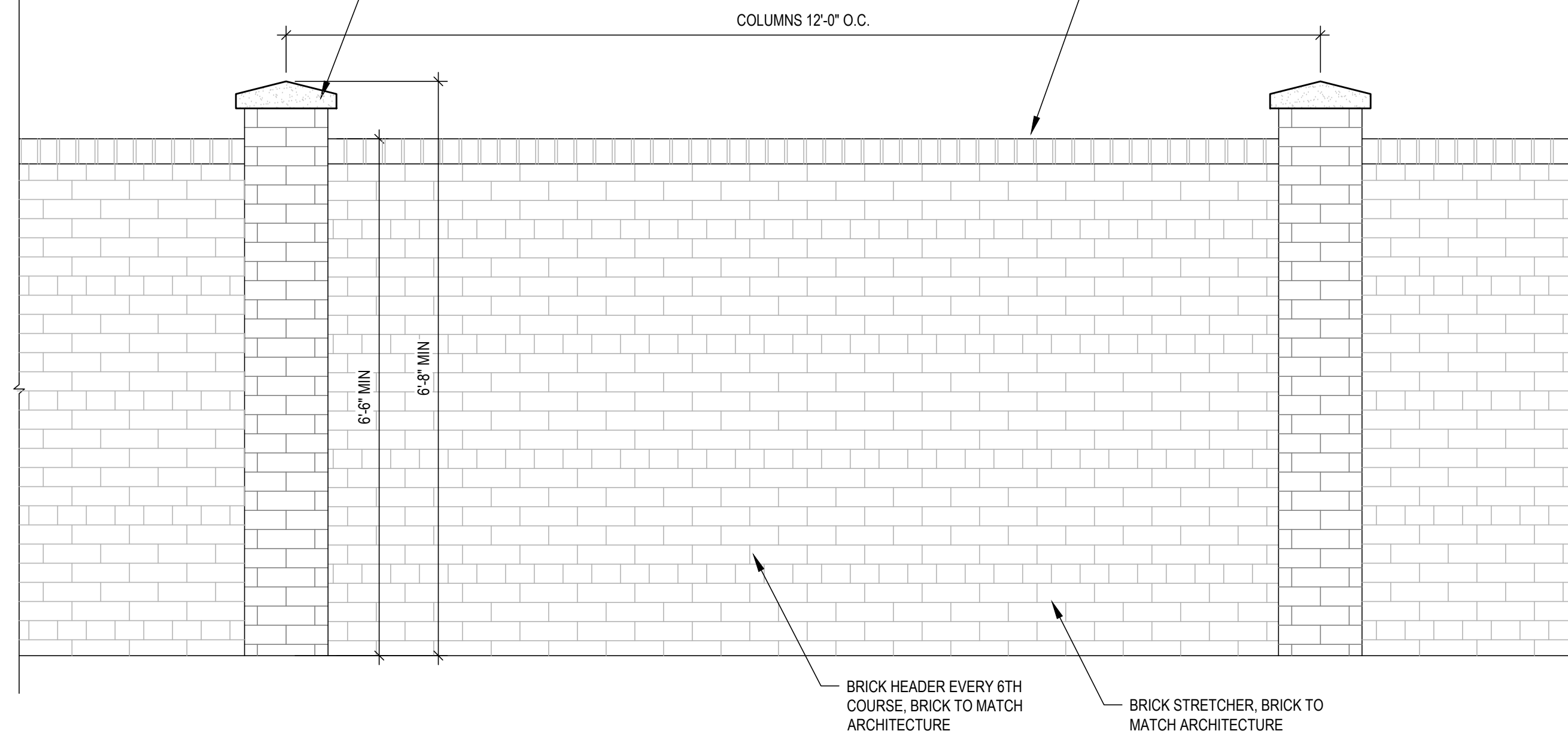
NOTES:

- DAMP PROOFING TO BE APPLIED TO ALL EXPOSED SIDES & TOP OF CMU BEFORE INSTALLING VENEER

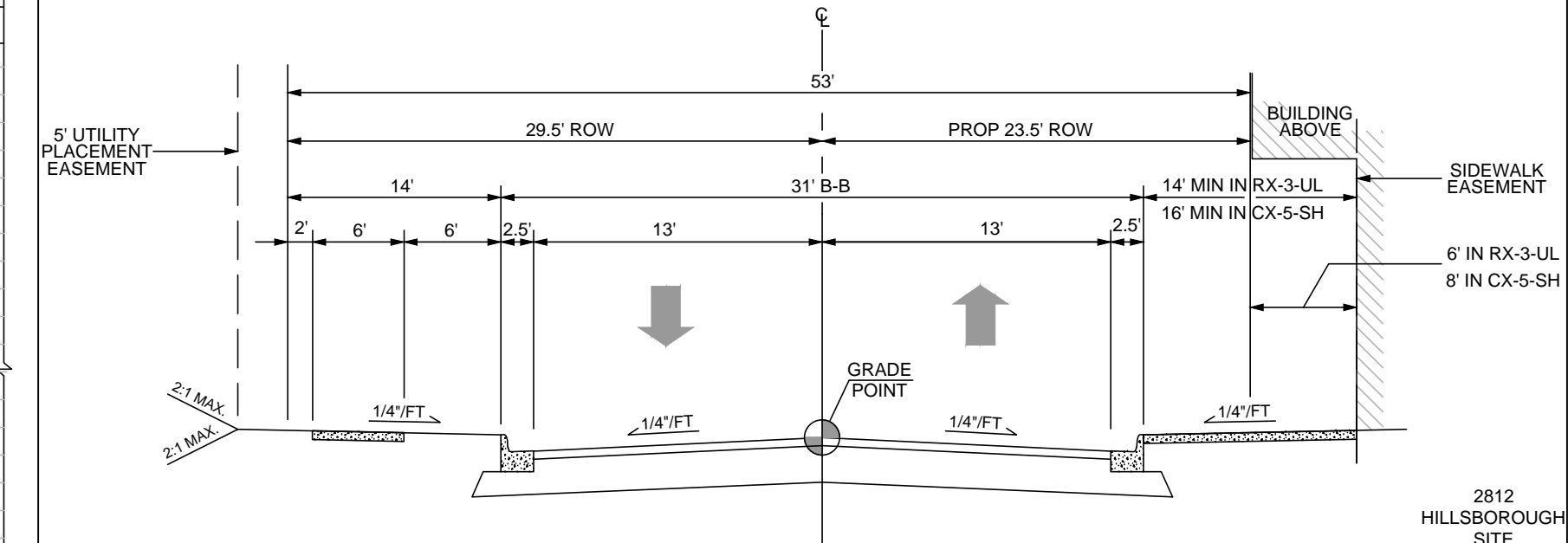


NOTES:

- DAMP PROOFING TO BE APPLIED TO ALL EXPOSED SIDES & TOP OF CMU BEFORE INSTALLING VENEER



NOTE:
WALL/COLUMN DESIGN TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO INSTALLATION.



GENERAL	
WALKWAY TYPE	SIDEWALK
PLANTING TYPE	TREE GRATE
TREE SPACING	40' O.C. AVG
PARKING TYPE	PARALLEL ON 2 SIDES

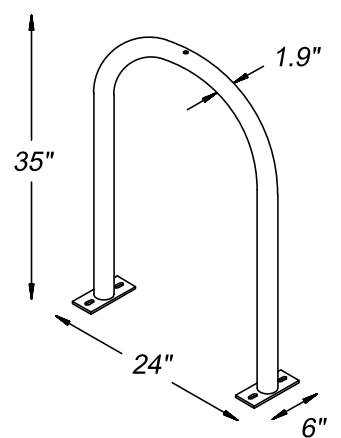
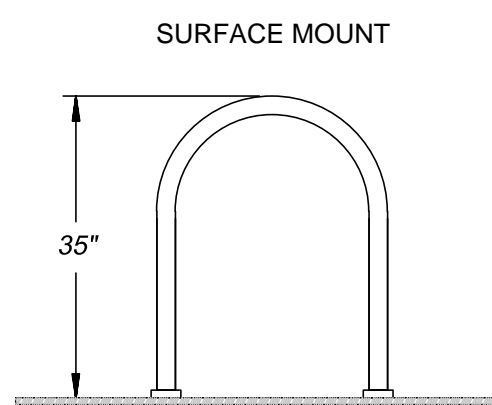
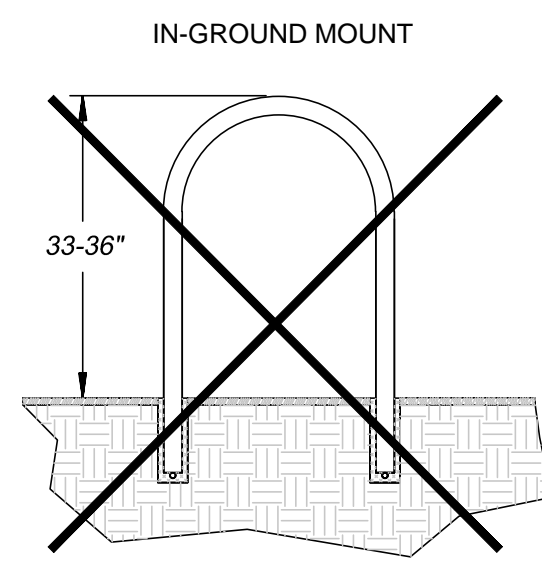
PAVEMENT DESIGN	
	3\"/>

BRICK WALL IN PROTECTIVE YARD

SCALE: 3/4"=1'-0"

BAGWELL STREET - NEIGHBORHOOD LOCAL STREET

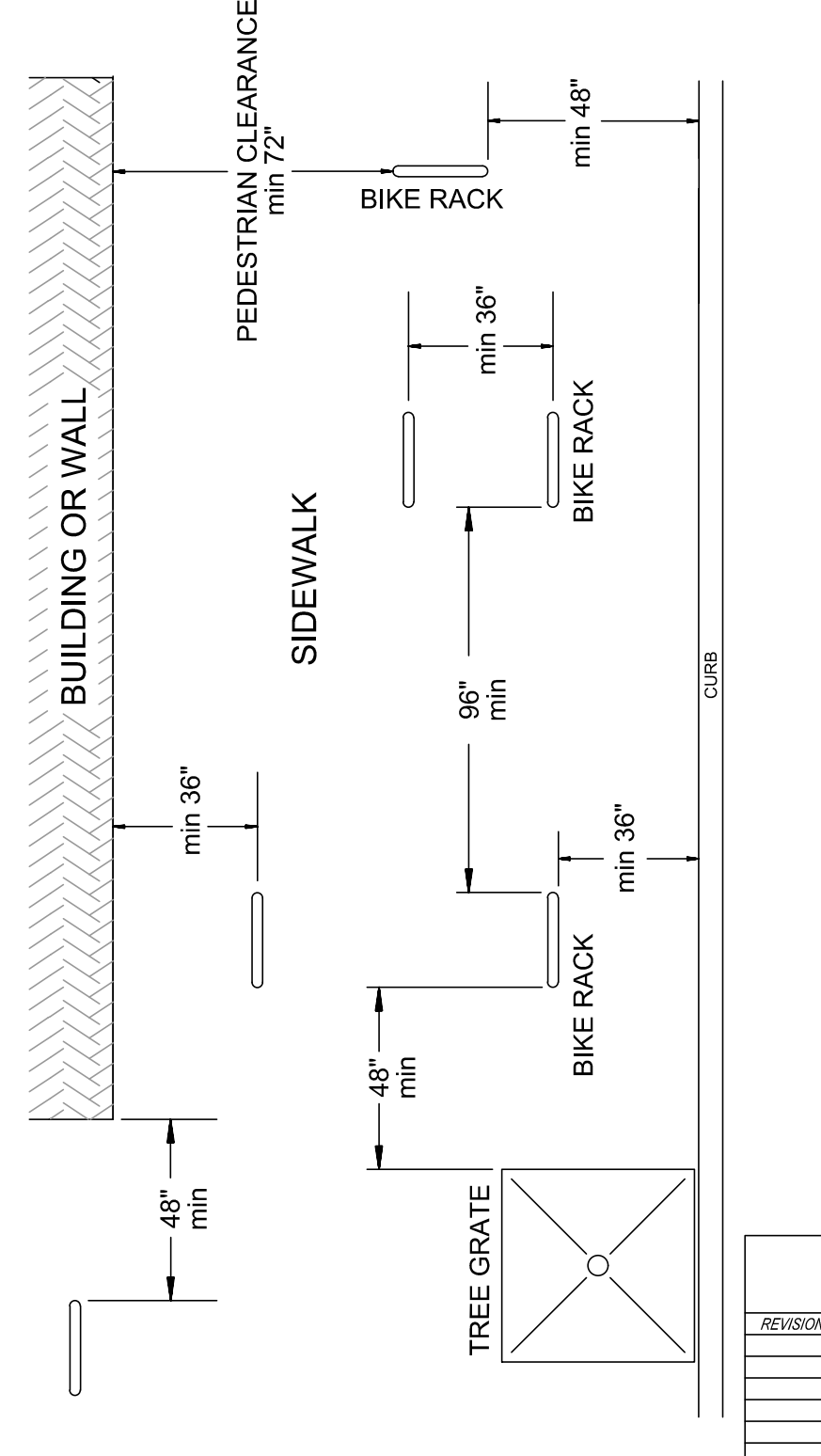
SCALE: NTS



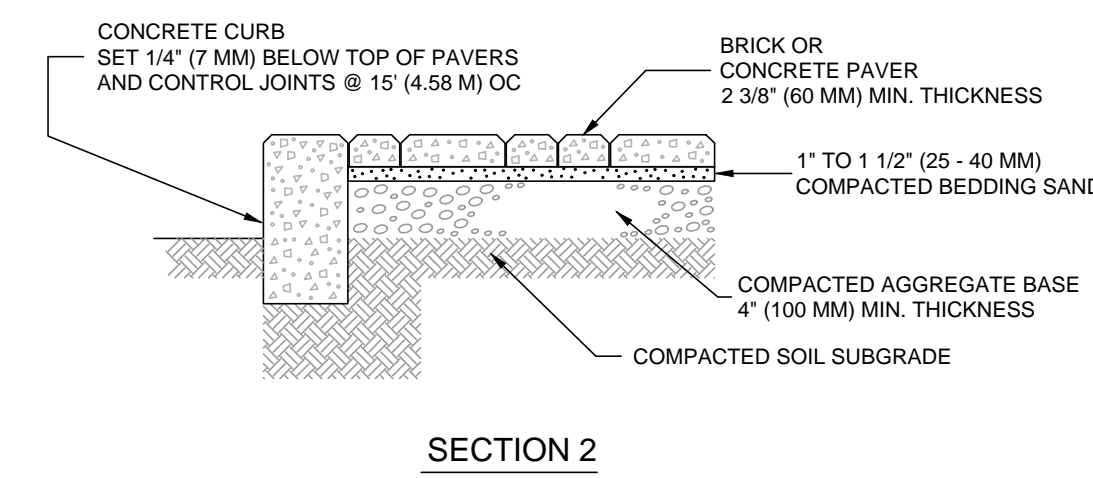
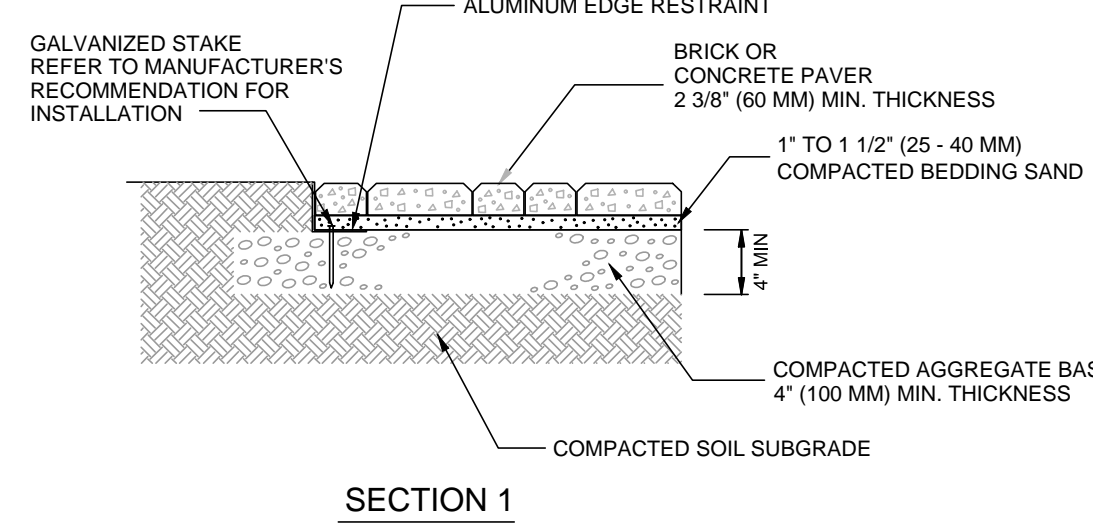
BIKE RACK INSTALLATION:
SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8\"/>

~~IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE COURSE (MINIMUM NO LESS THAN 8\"/>~~

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	BY
BIKE RACK DETAILS		
B-20.03		

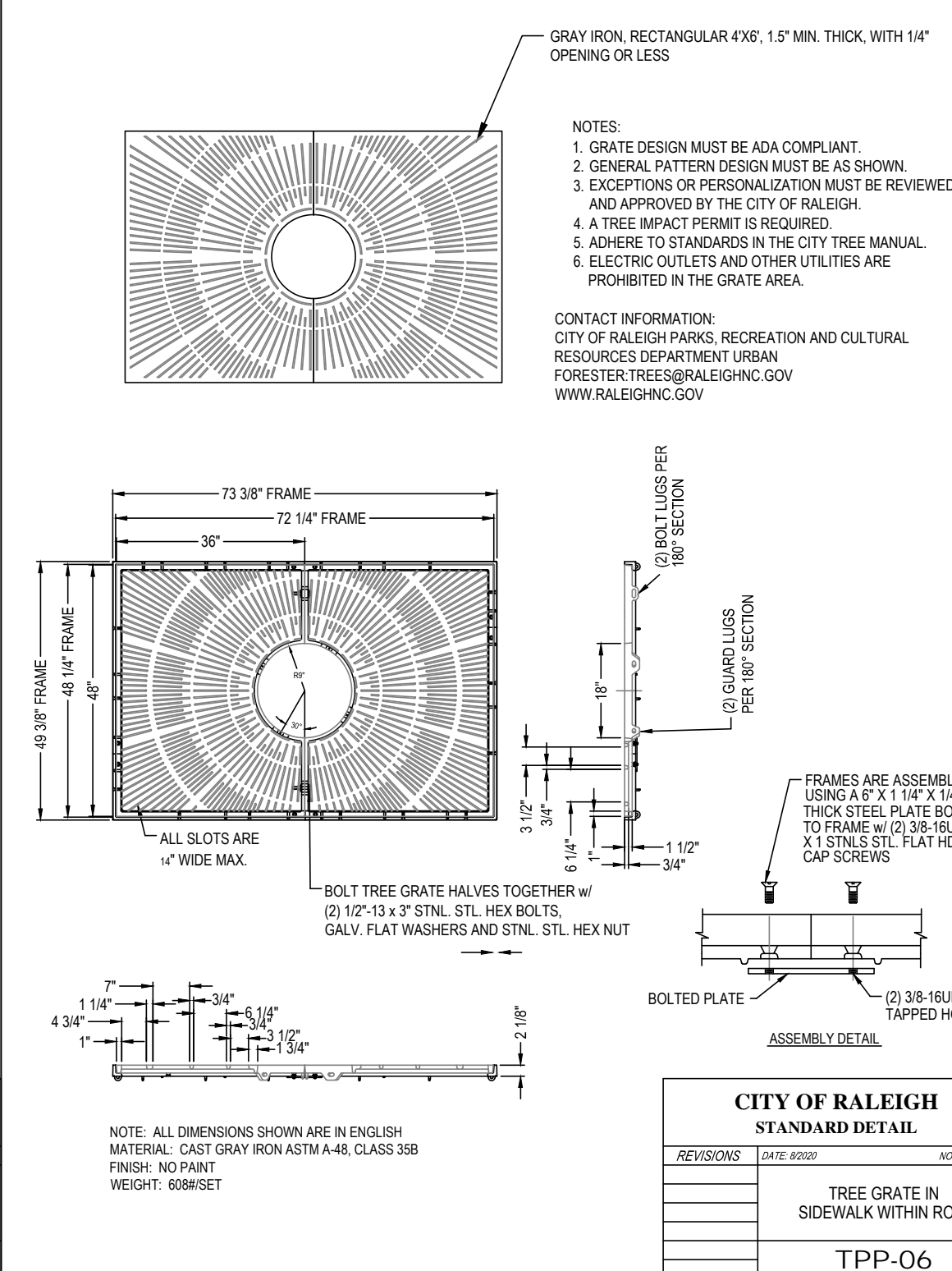


CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	BY
BIKE RACK PLACEMENT		
B-20.01		



- NOTES:**
- BRICK OR CONCRETE PAVERS ALLOWED ONLY UNDER SPECIAL CONDITIONS.
 - THICKNESS OF BASE MAY VARY WITH SUBGRADE/TRAFFIC CONDITIONS.
 - SCATTER SAND OR SCREENINGS OVER COMPLETE WORK AND SWEEP INTO CRACKS.
 - CONCRETE PAVERS SHOULD CONFORM TO REQUIREMENTS OF ASTM C-1319. BRICK PAVERS SHOULD CONFORM TO REQUIREMENTS OF ASTM C902-95.
 - SEE CITY OF RALEIGH CODE SECTION 10-7001 (D) FOR CONDITIONS UNDER WHICH CONCRETE / BRICK PAVERS ARE ALLOWED.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	BY
CONCRETE/BRICK PAVER SIDEWALK DETAIL		
T-30.03		



CITY OF RALEIGH STANDARD DETAILS

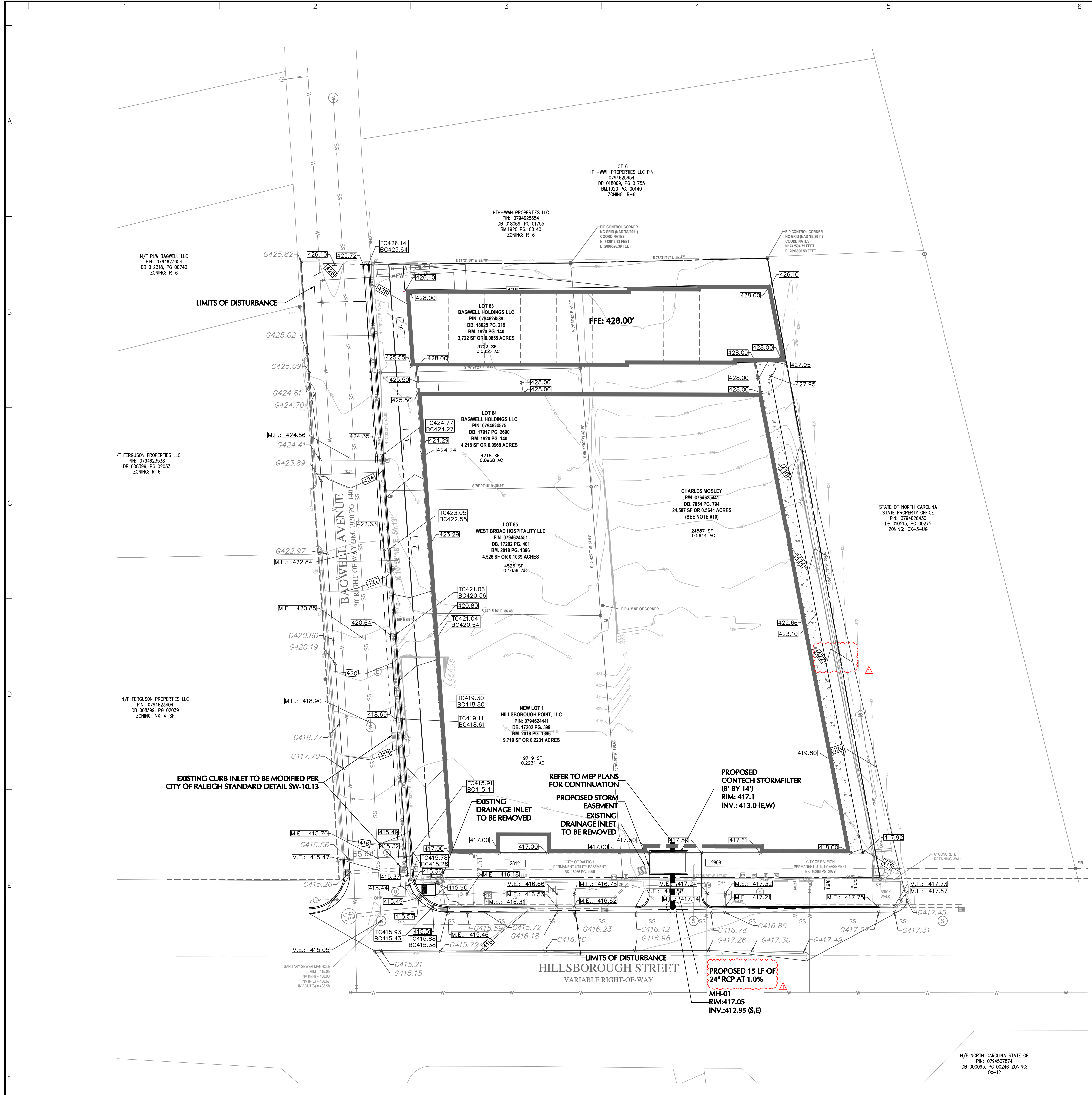
SCALE: NTS

ADMINISTRATIVE SITE REVIEW

PROJECT:	ESG-24129	DATE:	10.03.2024
ISSUE:	Administrative Site Review		
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	SITE DETAILS		

LS9.1

Cardinal Group Company
2810 Hillsborough
Raleigh, North Carolina 27607

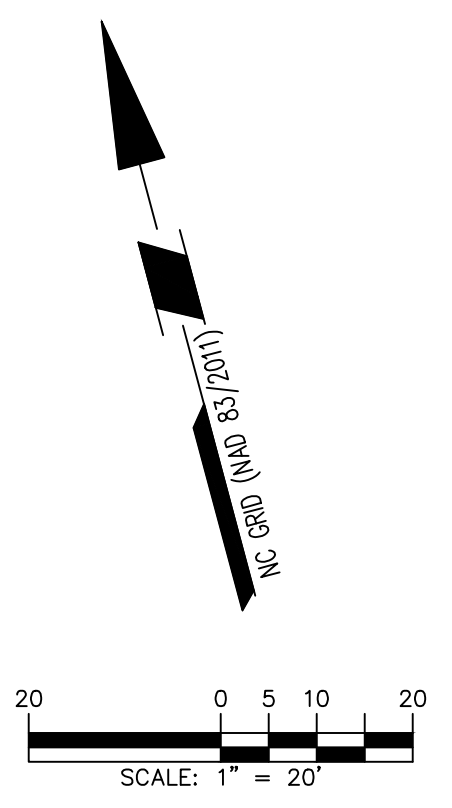


Predevelopment Areas	
Land Use	Area (AC.)
Pervious Area	0.25
Impervious Area	0.82
Right of Way (Impervious)	0.25
Total	1.32

Post Development Areas	
Land Use	Area (AC.)
Pervious Area	0.18
Impervious Area	0.89
Right of Way (Impervious)	0.25
Total	1.32

BUILDING ELEVATIONS (MODULE HEIGHT METHOD)					
BUILDING	PRIMARY STREET	BUILDING SIDE	IMPROVED GRADE		
			LOW	HIGH	AVG
MODULE (SOUTH)	HILLSBOROUGH STREET	NORTH	425.50	428.00	426.75
	HILLSBOROUGH STREET	SOUTH	417.00	418.00	417.50
			AVERAGE IMPROVED GRADE		
			421.97		

BUILDING ELEVATIONS (MODULE HEIGHT METHOD)					
BUILDING	PRIMARY STREET	BUILDING SIDE	IMPROVED GRADE		
			LOW	HIGH	AVG
MODULE (NORTH)	HILLSBOROUGH STREET	NORTH	426.10	426.10	426.10
	HILLSBOROUGH STREET	SOUTH	425.55	428.00	426.78
			AVERAGE IMPROVED GRADE		
			426.44		



LEGEND

	PROPOSED STORM LINE
	PROPOSED MANHOLE
	PROPOSED SPOT ELEVATION
	EXISTING MANHOLE
	EXISTING CATCH BASIN
	EXISTING STORM LINE

NOTES:
 1. ALL PRIVATE STORM DRAINAGE EASEMENTS & STORMWATER MEASURES WILL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION

Date	Description	No.
10/02/2024	REVISED PER CITY OF RALEIGH COMMENTS	1.

Revisions

Signature: JONATHAN RHINE
 Date: PROFESSIONAL ENGINEER NC Lic. No. 053928

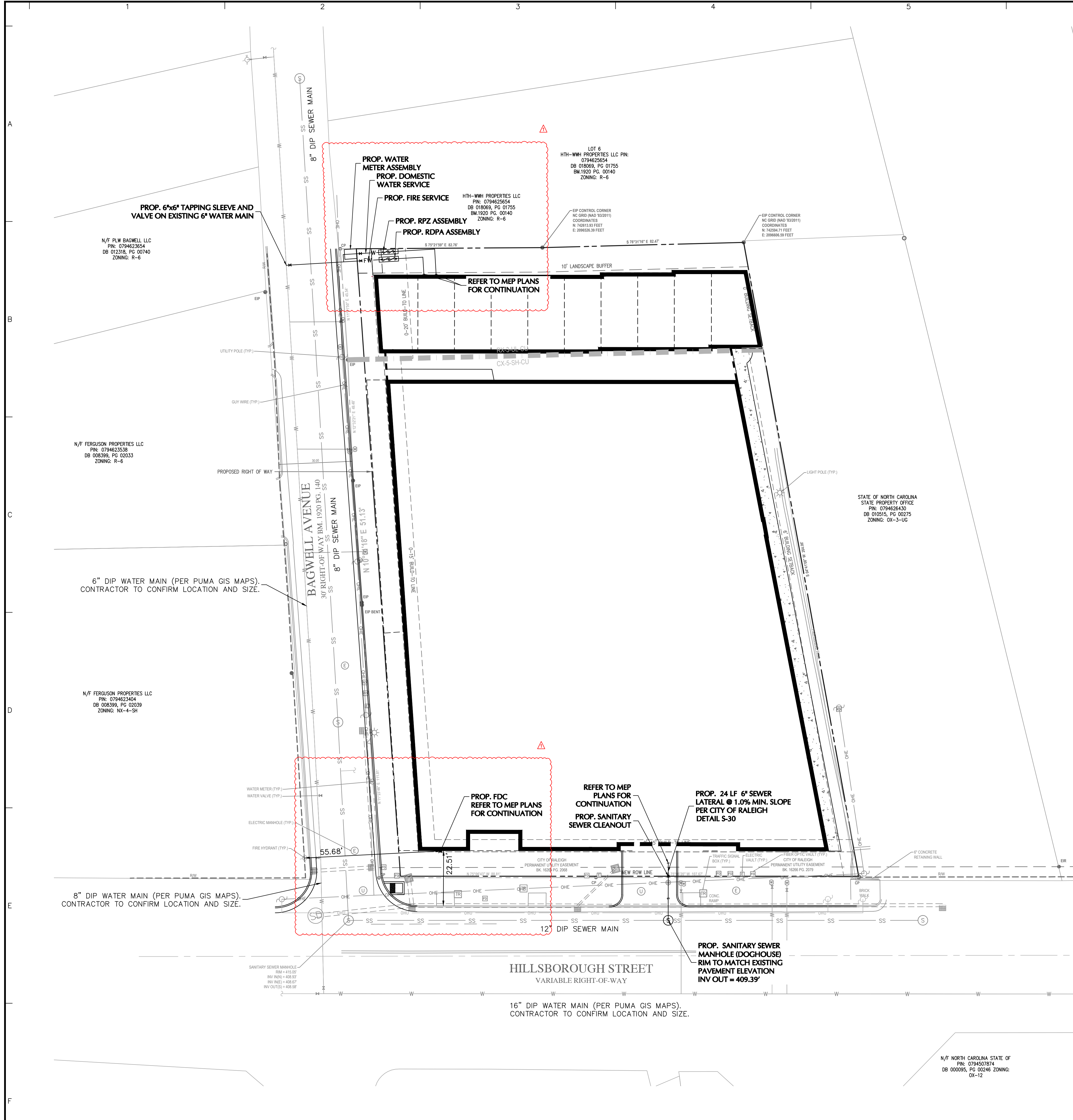
LANGAN
 Langan Engineering, Environmental, Surveying,
 Landscape Architecture, and Geology, D.P.C.
 227 W. Trade Street, Suite 320
 Charlotte, NC 28202
 T: 980.270.3900 F: 980.270.3901 www.langan.com
 NORTH CAROLINA STATE BOARD FIRM PE LIC. NO. C-5001

Project: **2810 HILLSBOROUGH STREET**
 RALEIGH NORTH CAROLINA

WAKE COUNTY NORTH CAROLINA
 Drawing Title

GRADING & DRAINAGE PLAN

Project No. 281022501	Drawing No. C-400
Date 10/02/2024	
Drawn By NCM	
Checked By JR	



- ### CITY OF RALEIGH STANDARD UTILITY NOTES:
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 1/2" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

SCALE: 1" = 20'

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection**. **Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

Public Water Distribution / Extension System	Private Water Distribution / Extension System
The City of Raleigh consents to the connection and extension of its City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.	The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer distribution system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # _____ Authorization to Construct _____ Date _____	City of Raleigh Public Utilities Department Permit # _____ Authorization to Construct _____ Date _____
Public Sewer Collection / Extension System	Private Sewer Collection / Extension System
The City of Raleigh consents to the connection and extension of its City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.	The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # _____ Authorization to Construct _____ Date _____	City of Raleigh Public Utilities Department Permit # _____ Authorization to Construct _____ Date _____
Public Reuse Distribution / Extension System	
The City of Raleigh consents to the connection and extension of its City's public reuse system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.	
City of Raleigh Public Utilities Department Permit # _____ Authorization to Construct _____ Date _____	

Date	Revised Per City of Raleigh Comments	No.
10/02/2024		1.

Signature _____ Date _____
 JONATHAN RHINE
 PROFESSIONAL ENGINEER NC Lic. No. 053928

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Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.

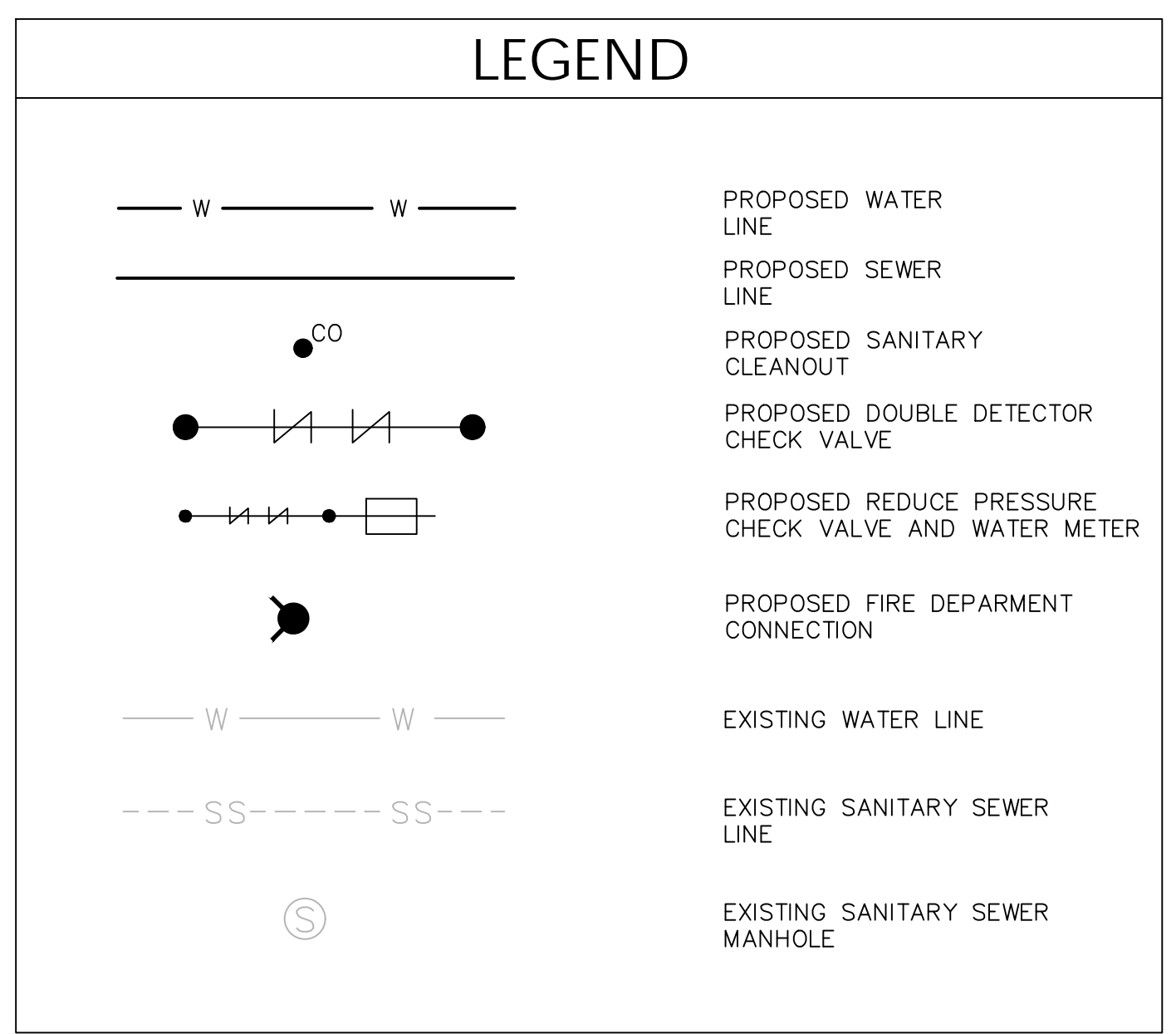
227 W. Trade Street, Suite 320
Charlotte, NC 28202

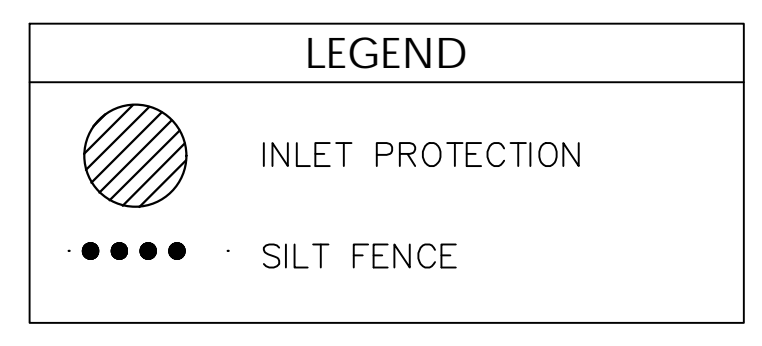
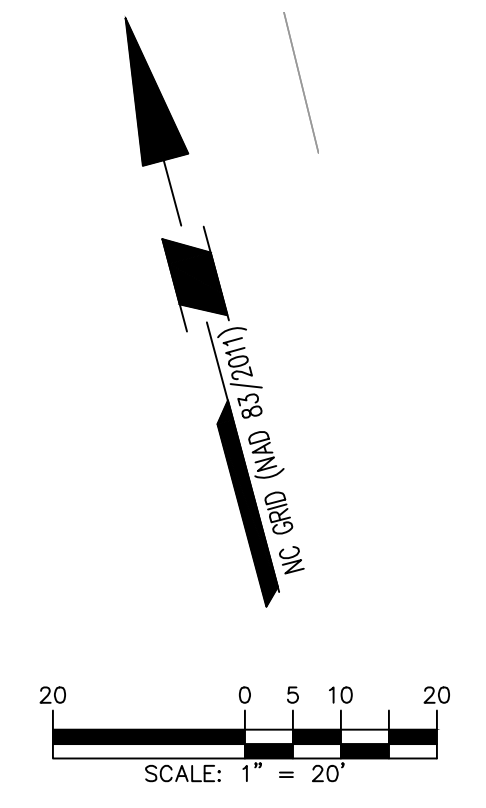
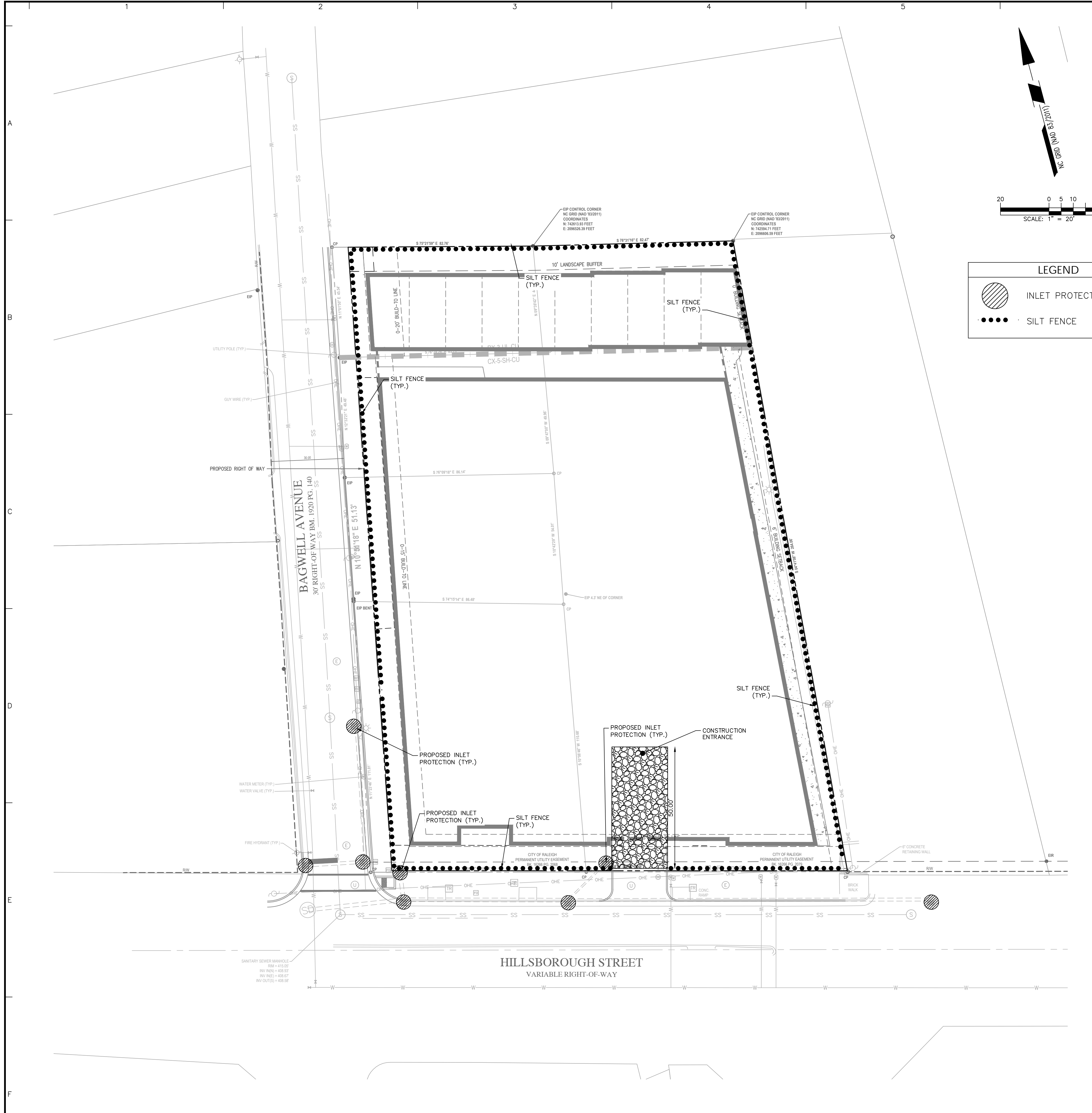
T: 980.270.3900 F: 980.270.3901 www.langan.com
 NORTH CAROLINA STATE BOARD FIRM PE LIC. NO. C-5001

Project
2810 HILLSBOROUGH STREET
 RALEIGH
 WAKE COUNTY NORTH CAROLINA
 Drawing Title

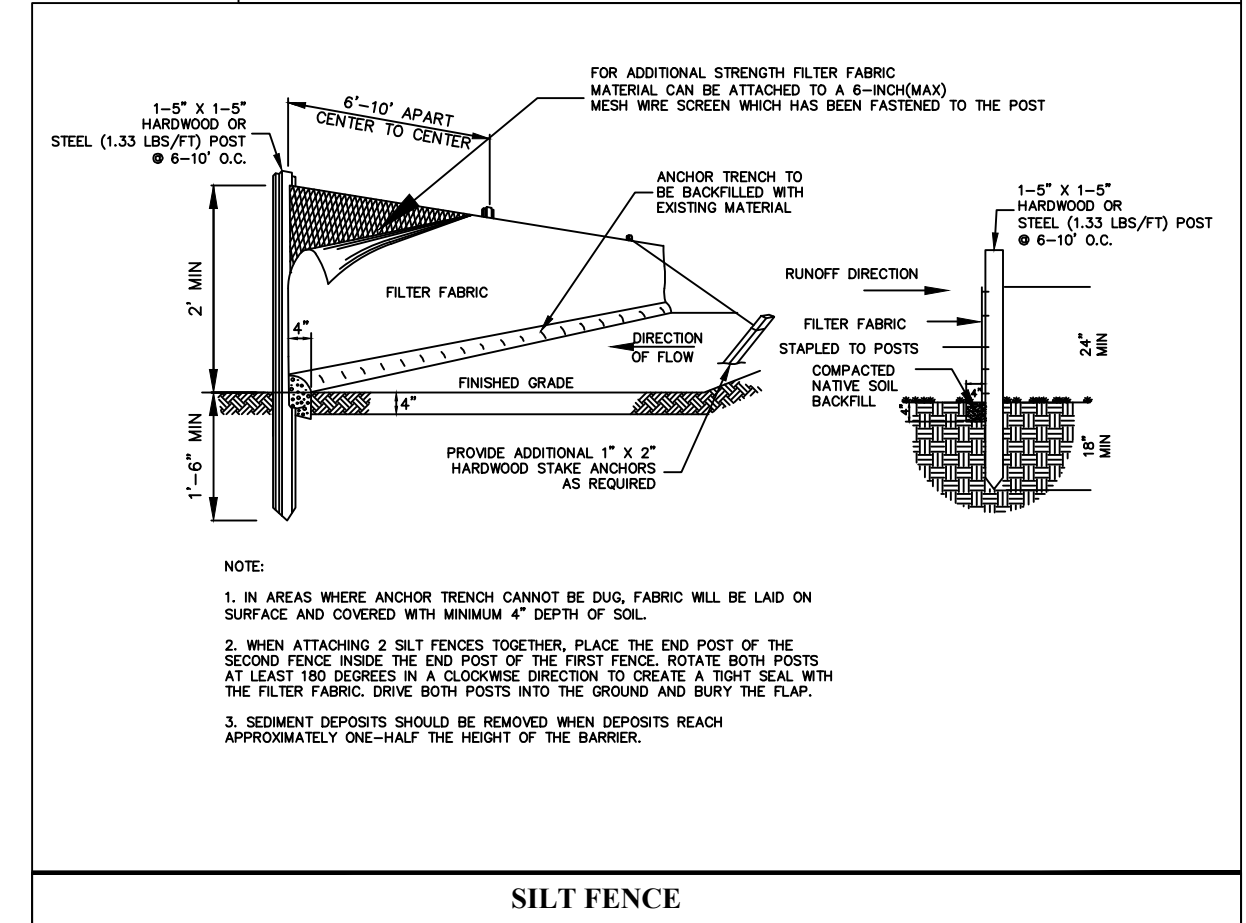
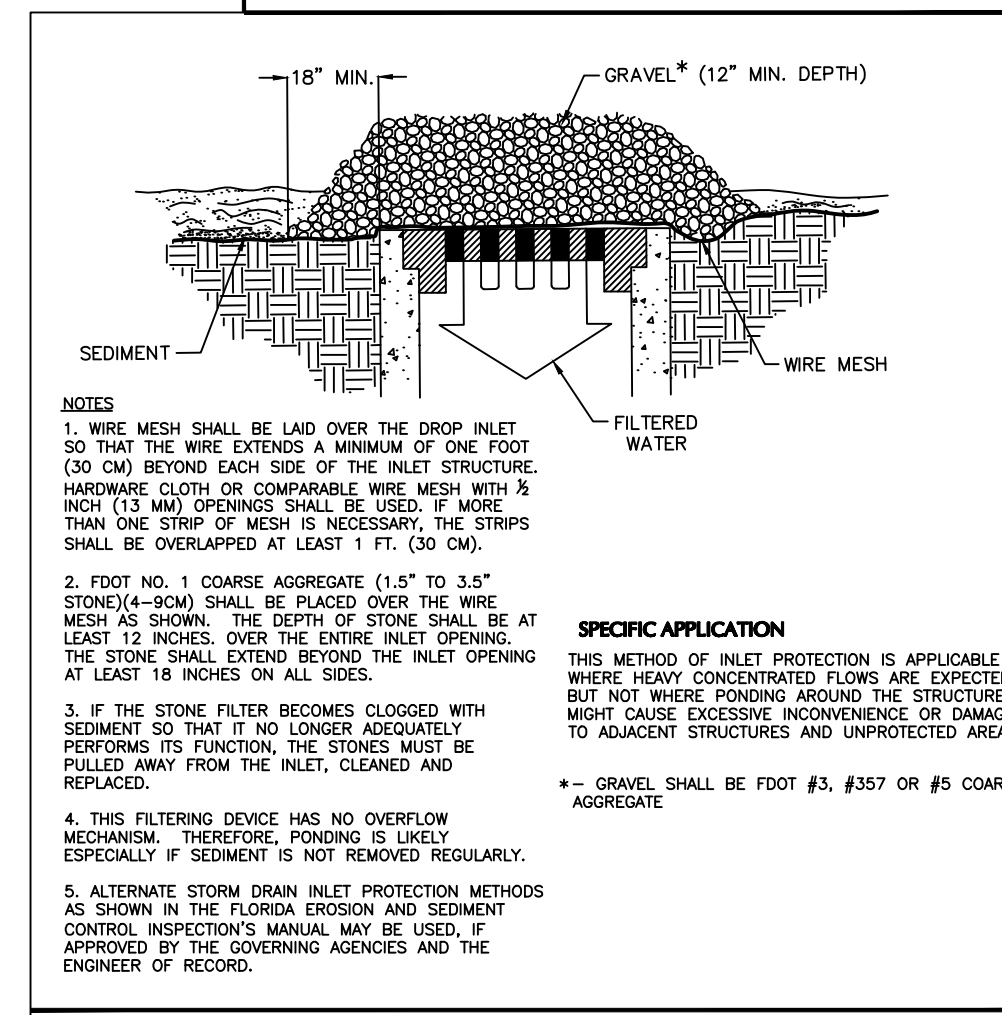
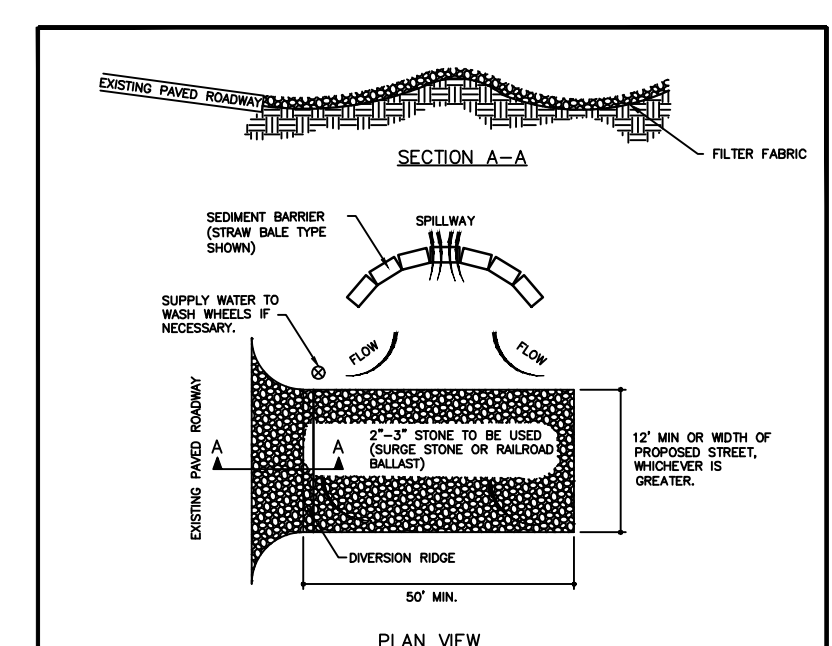
UTILITY PLAN

Project No. 281022501	Drawing No. C-500
Date 10/02/2024	
Drawn By NCM	
Checked By JR	





- EROSION AND SEDIMENT CONTROL NOTES:
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE, IN ACCORDANCE WITH FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL MANUAL AROUND THE PERIMETER OF ALL EARTH DISTURBANCES. SILT FENCES SHALL REMAIN IN PLACE UNTIL PERMANENT STABILIZATION OF DISTURBED AREAS IS COMPLETED.
 - THE CONTRACTOR SHALL SEED AND MULCH OR SOO SWALES, PONDS, AND/OR GREEN AREAS IMMEDIATELY AFTER CONSTRUCTION OF THESE AREAS ARE COMPLETED.
 - THE CONTRACTOR SHALL PROVIDE SILTATION REDUCTION DEVICES FOR THE DISCHARGE FROM ANY DEWATERING PROCESS SO THAT DIRECT DISCHARGE DOES NOT OCCUR.
 - THE CONTRACTOR SHALL CHECK ALL EROSION AND SILTATION CONTROL DEVICES WEEKLY AND/OR WITHIN 24 HOURS OF STORM EVENT THAT PRECIPITATES 1/2 INCH OR GREATER AND REPAIR OR REPLACE THEM AS REQUIRED. SILT FENCES SHALL REMAIN IN PLACE UNTIL PERMANENT STABILIZATION OF DISTURBED AREAS IS COMPLETED.
 - THE REQUIREMENTS LISTED ON THIS DOCUMENT SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND THE CONTRACTOR SHALL USE WHATEVER METHODS DEEMED NECESSARY TO PREVENT EROSION AND SILTATION AS MAY BE REQUIRED FROM THE PROJECT, AND APPROVED BY THE AUTHORITIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL CONTROL ALL DUST ORIGINATING ON THIS PROJECT BY WATERING OR OTHER METHODS AS APPROVED BY THE OWNER AND ENGINEER OF RECORD.
 - ALL PRACTICABLE AND NECESSARY EFFORT, INCLUDING BUT NOT LIMITED TO THE USE OF STAKED HAY BALES OR STAKED SILT SCREEN BARRIERS, SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT MATERIALS TO SURFACE WATER CONVEYANCE DITCHES, INLETS, SURFACE DRAINS, WETLANDS AND LAKE AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION EFFORTS THAT MAY BE REQUIRED TO MITIGATE EROSION OR SEDIMENTATION EFFECTS OCCURRING DURING THE WORK.
 - TEMPORARY SILTATION CONTROL BARRIERS (E.G. SILT FENCE) SHALL BE INSTALLED WHERE EARTH DISTURBANCES ARE WITHIN 100 FEET OF SURFACE WATER CONVEYANCE SYSTEMS AND WETLANDS.
 - IT IS RECOMMENDED THAT THE CONTRACTOR MARK OUT THE LANDWARD SIDE OF WETLAND / BUFFERS TO PREVENT UNINTENTIONAL WETLAND BUFFER IMPACTS DURING CONSTRUCTION.
 - PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES AND DEVICES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT LEAVING THE PROPERTY. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKDAY.
 - ALL EROSION CONTROL DEVICES SHALL FOLLOW STANDARDS AND DETAILS IN THE CURRENT FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL MANUAL.
 - ON SLOPES OR DITCHES WHICH ARE TOO STEEP FOR THE USE OF GRASSING, SUITABLE EROSION PROTECTION SHALL BE PROVIDED BY DITCH OR SLOPE PAVEMENT, ADEQUATE FOR PERMANENT PROTECTION. IN NO CASE WILL ANY AREA WHICH IS SUBJECT TO DETRIMENTAL EROSION BE ACCEPTABLE UNLESS SUCH PROTECTION IS PROVIDED.
 - CONTRACTOR SHALL IMPLEMENT THE CONSTRUCTION ENTRANCE POLLUTION PREVENTION FEATURES WHEREVER AN ENTRANCE TO THE SITE IS UTILIZED FOR CONSTRUCTION.
 - PROPOSED PERIMETER BERM WILL BE MINIMUM 12" ABOVE THE ELEVATIONS OF THE PROPERTY LIMITS OF THE SITE.



Date	Revised Per City of Raleigh Comments	No.
10/02/2024	REVISED PER CITY OF RALEIGH COMMENTS	1.

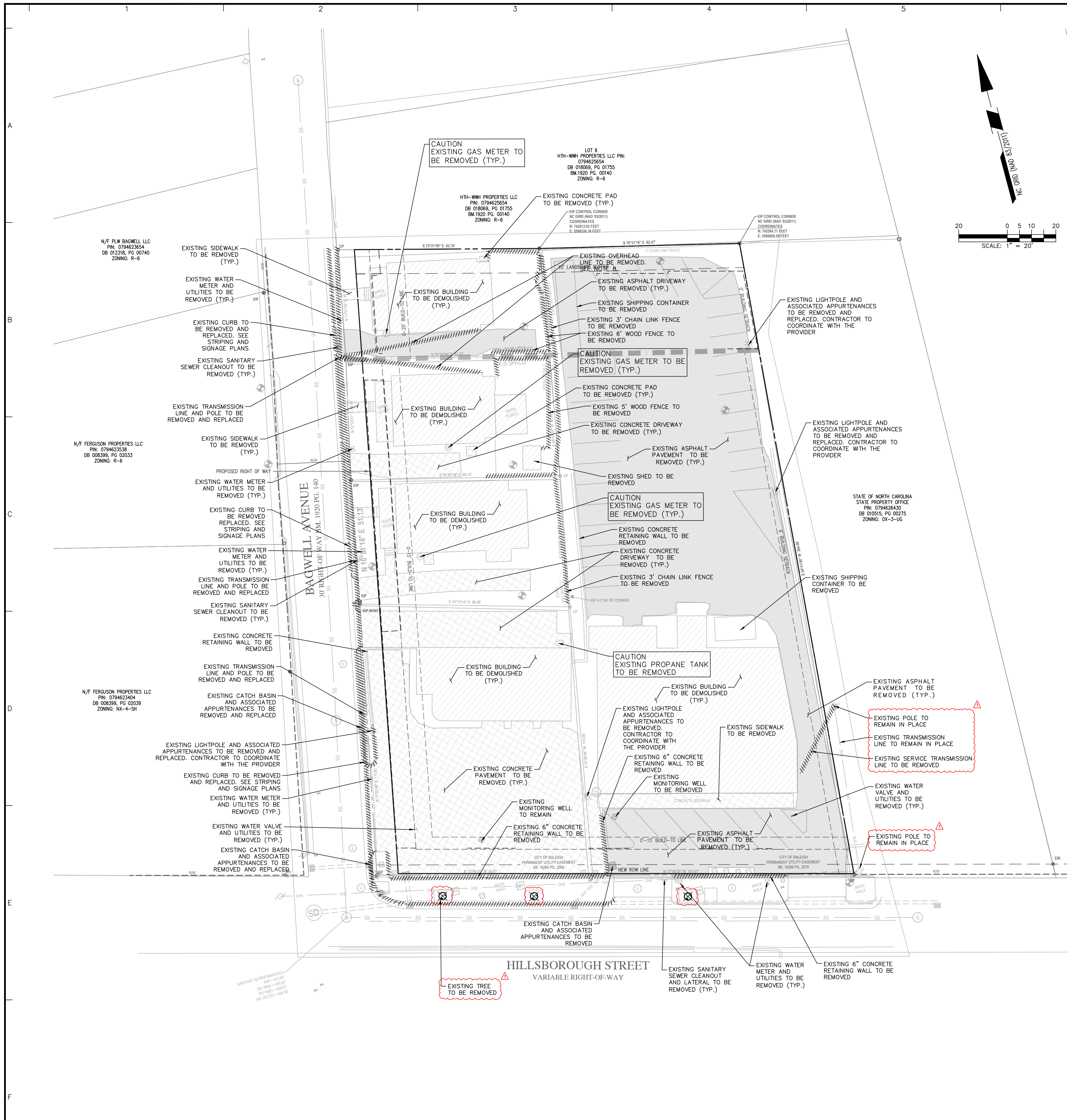
Revisions

Signature: JONATHON RHINE
 Date: PROFESSIONAL ENGINEER NC Lic. No. 053928

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 227 W. Trade Street, Suite 320
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Project: **2810 HILLSBOROUGH STREET**
 RALEIGH, NORTH CAROLINA
 WAKE COUNTY
 Drawing Title: **SOIL EROSION & SEDIMENT CONTROL PLAN**

Project No.	Drawing No.
281022501	C-700
Date	
10/02/2024	
Drawn By	
FA	
Checked By	
JR	



DEMOLITION NOTES:

- THESE PLANS ADDRESS THE REMOVAL AND DEMOLITION OF THE EXISTING UTILITIES SERVING THE EXISTING BUILDINGS AS WELL AS EXISTING SIDEWALK, CURB AND GUTTER, AND DRAINAGE FEATURES.
- VEHICULAR AND PEDESTRIAN ACCESS ALONG PUBLIC RIGHT-OF-WAYS SHALL BE COORDINATED WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION TO ENSURE THAT ALL VEHICLES AND PEDESTRIANS CAN SAFELY UTILIZE THE PUBLIC RIGHT-OF-WAY ABUTTING THE PROJECT SITE DURING DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE PROPERTY DURING DEMOLITION ACTIVITIES. ANY PUBLIC OR PRIVATE PROPERTY DAMAGED SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN THE VICINITY OF THE PROJECT WHETHER SHOWN ON THE PLANS OR NOT BEFORE INITIATING ANY ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES IN THE VICINITY OF THE PROJECT THROUGHOUT THE CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL CARRYOUT ALL DEMOLITION ACTIVITIES ASSOCIATED WITH THIS PROJECT WITHOUT INTERRUPTING UTILITY SERVICE TO OTHERS.
- CONTRACTOR SHALL COORDINATE WITH DUKE ENERGY AND ENSURE THAT ALL EXISTING ELECTRICAL SERVICE LINES THAT SERVE THE EXISTING BUILDING ARE DE-ENERGIZED BEFORE INITIATING DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL IDENTIFY THE LOCATION OF ALL EXISTING GAS MAINS IN THE VICINITY OF THE PROJECT BEFORE INITIATING DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL CONTACT THE GAS UTILITY AND COORDINATE THE REMOVAL OF THE EXISTING GAS METER BEFORE INITIATING DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL CONTACT THE COMMUNICATIONS UTILITY AND COORDINATE THE CUTTING AND CAPPING OF ALL EXISTING COMMUNICATION LINES SERVING THE EXISTING BUILDING.
- CONTRACTOR SHALL CONTACT THE CITY OF RALEIGH AND COORDINATE THE REMOVAL OF THE EXISTING WATER SERVICE METERS BEFORE INITIATING DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL RETURN WATER SERVICE METERS TO THE CITY OF RALEIGH UTILITIES DEPARTMENT.
- CONTRACTOR SHALL CONTACT THE CITY OF RALEIGH AND COORDINATE CUTTING AND CAPPING OF EXISTING POTABLE WATER SERVICE MAINS AND SANITARY SEWER PIPES.
- ALL EXISTING DRAINAGE STRUCTURES AND DRAINAGE WELL POLLUTION CONTROL BOXES SHALL BE PUMPED CLEAN AND CONTENTS DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS BEFORE REMOVAL.
- ALL EXISTING CONDUITS WITHIN THE PROJECT'S PROPERTY IDENTIFIED TO BE REMOVED SHALL NOT BE ABANDONED IN PLACE.
- CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT FOR THE REMOVAL OF EXISTING TREES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING TREE REMOVAL PERMITS FROM ALL APPLICABLE AGENCIES.
- EXISTING STORM WATER DRAINAGE STRUCTURES WITHIN PUBLIC RIGHT-OF-WAY TO REMAIN.
- EXISTING SANITARY SEWER MANHOLES WITHIN PUBLIC RIGHT-OF-WAY TO REMAIN.
- EXISTING STORM WATER DRAINAGE PIPES AND STRUCTURES WITHIN THE PROJECT PROPERTY SHALL BE REMOVED.
- EXISTING WATER/SEWER STUBS TO BE ABANDONED PER CITY STANDARDS.

LEGEND	
DEMOLITION LINE	//////
CONCRETE PAVEMENT TO BE REMOVED	[Cross-hatched pattern]
ASPHALT PAVEMENT TO BE REMOVED	[Solid grey pattern]
BUILDING TO BE DEMOLISHED	[Diagonal line pattern]

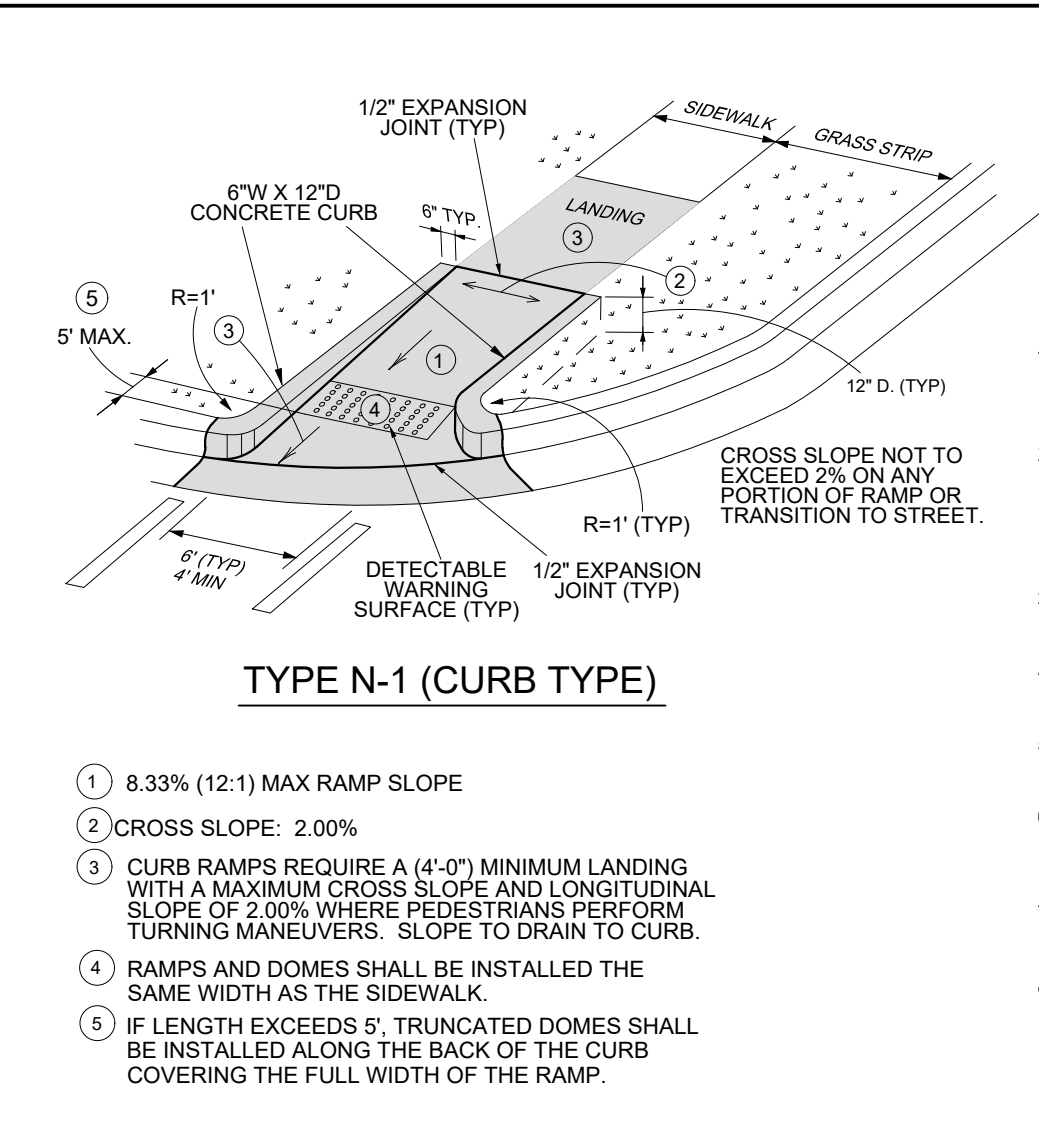
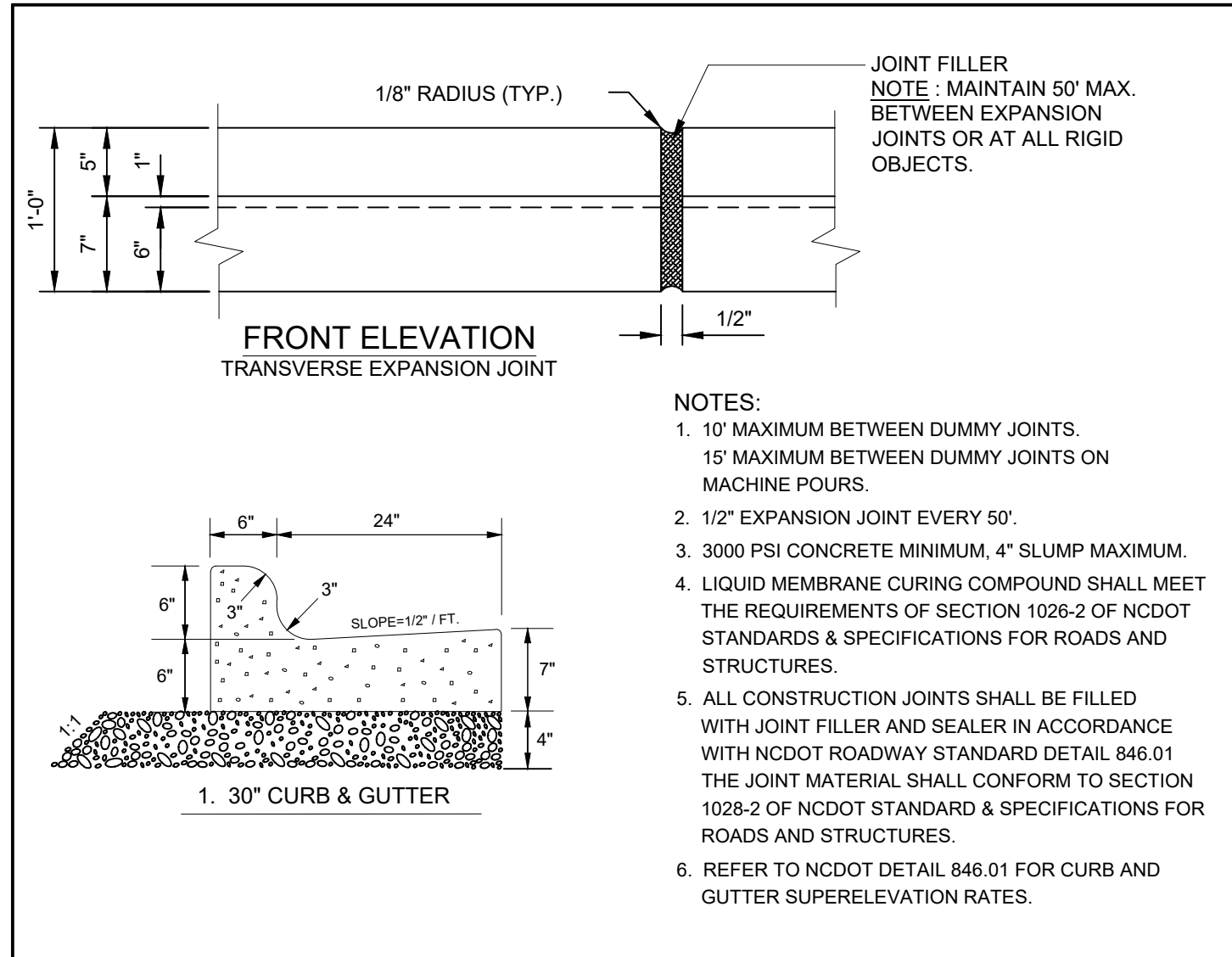
Date	Description	No.
10/02/2024	REVISED PER CITY OF RALEIGH COMMENTS	1.

Signature: JONATHON RHINE
 Date: PROFESSIONAL ENGINEER NC Lic. No. 053928

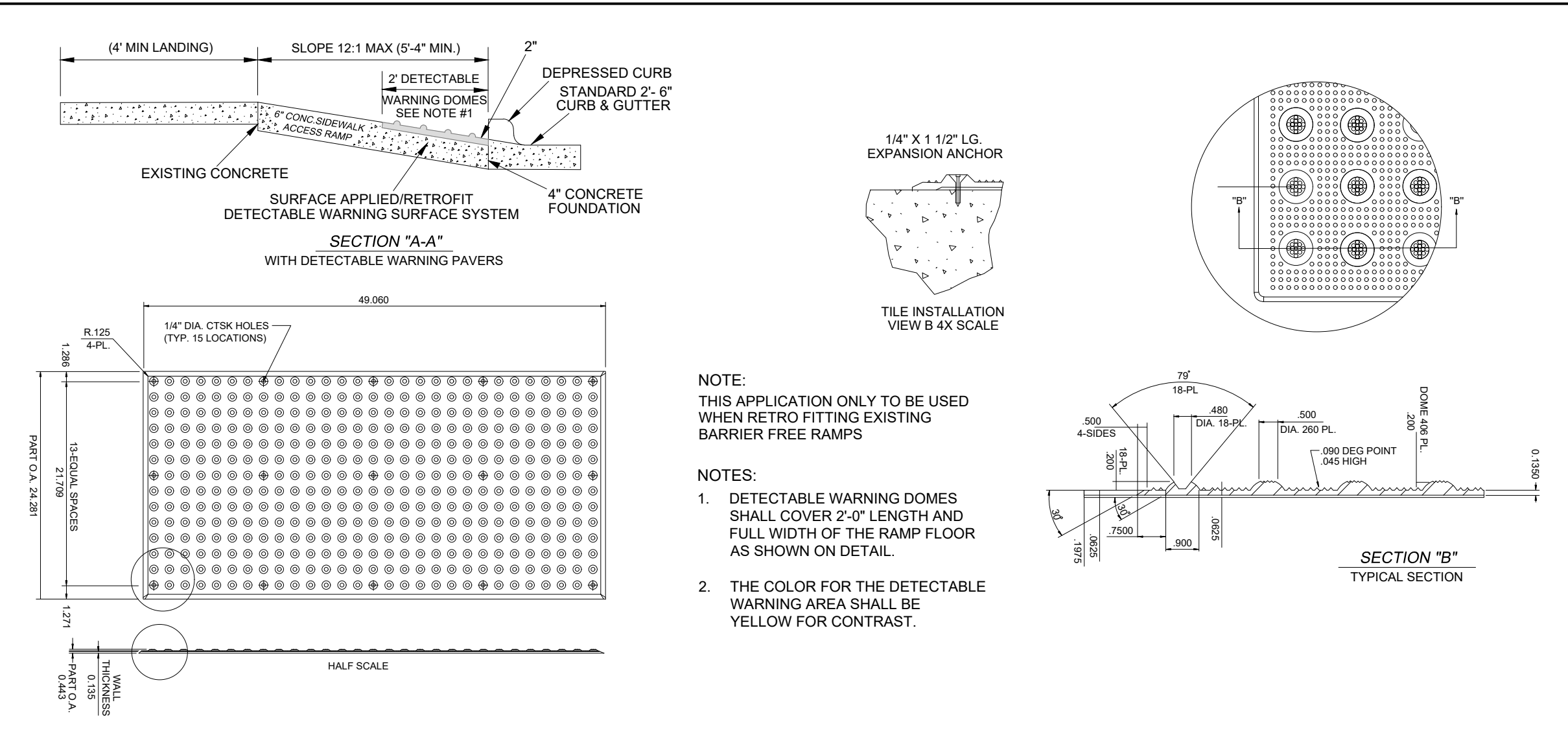
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Project: **2810 HILLSBOROUGH STREET**
 RALEIGH, NORTH CAROLINA
DEMOLITION PLAN

Project No.	281022501	Drawing No. C-900
Date	10/02/2024	
Drawn By	FA	
Checked By	JR	



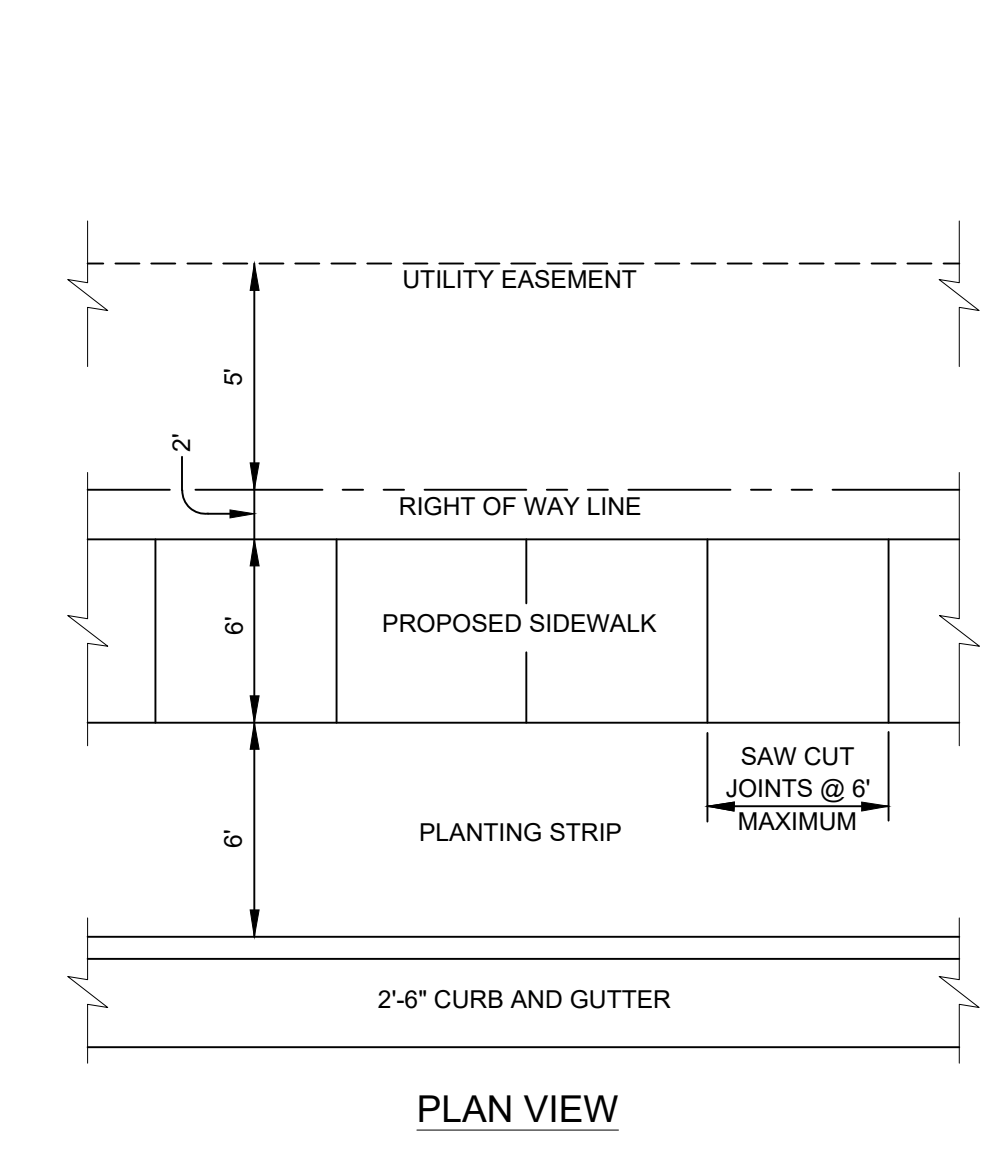
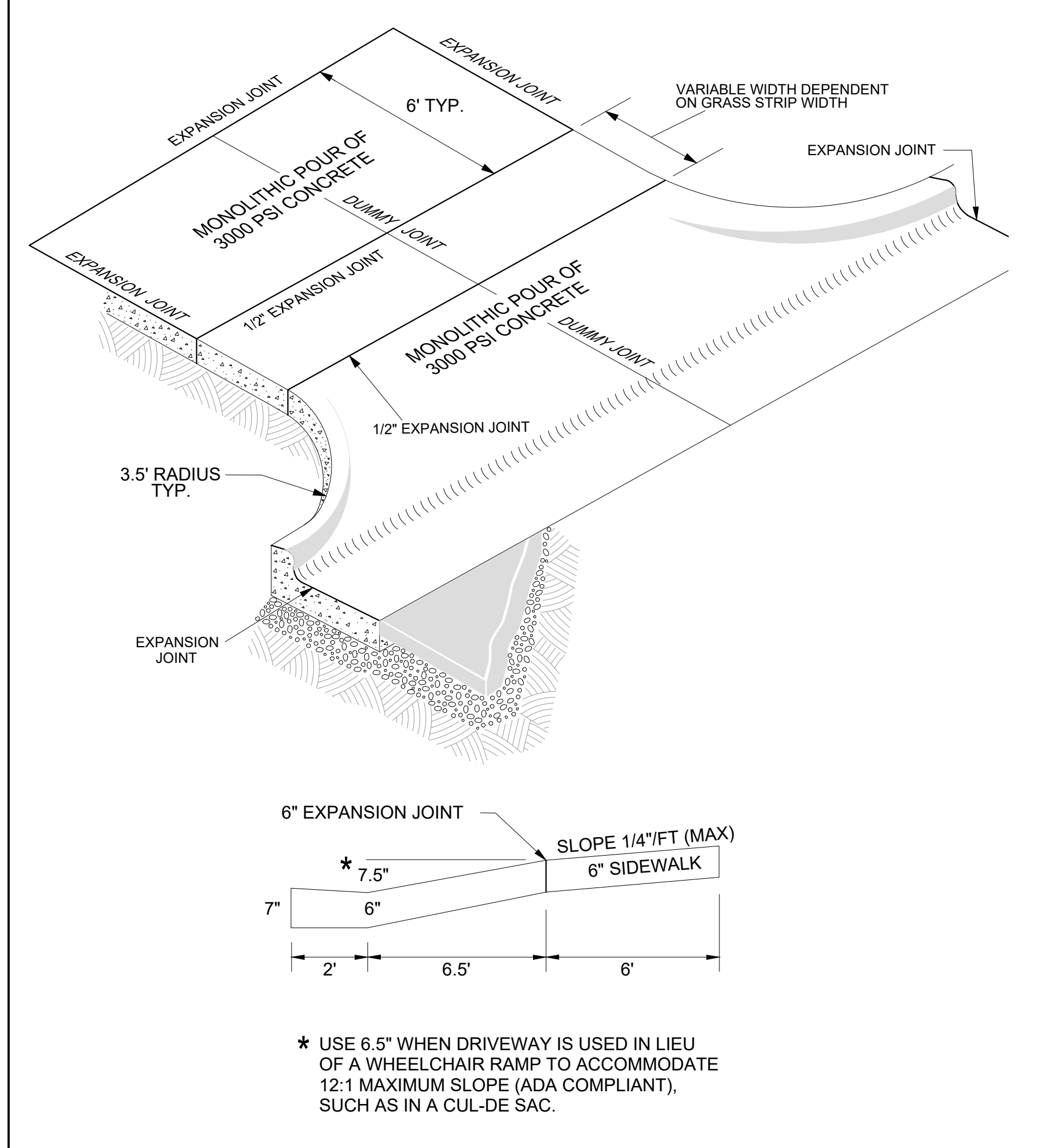
- CURB RAMP NOTES**
- CITY OF RALEIGH STANDARD CURB RAMP HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
 - CURB RAMP SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMP SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
 - DOUBLE WHEELCHAIR RAMP ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
 - THE WALKING SURFACE SHALL BE SLIP RESISTANT, THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
 - NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 - IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 4' ALL RAMP SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
 - USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
 - A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE. CURB RAMP SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.



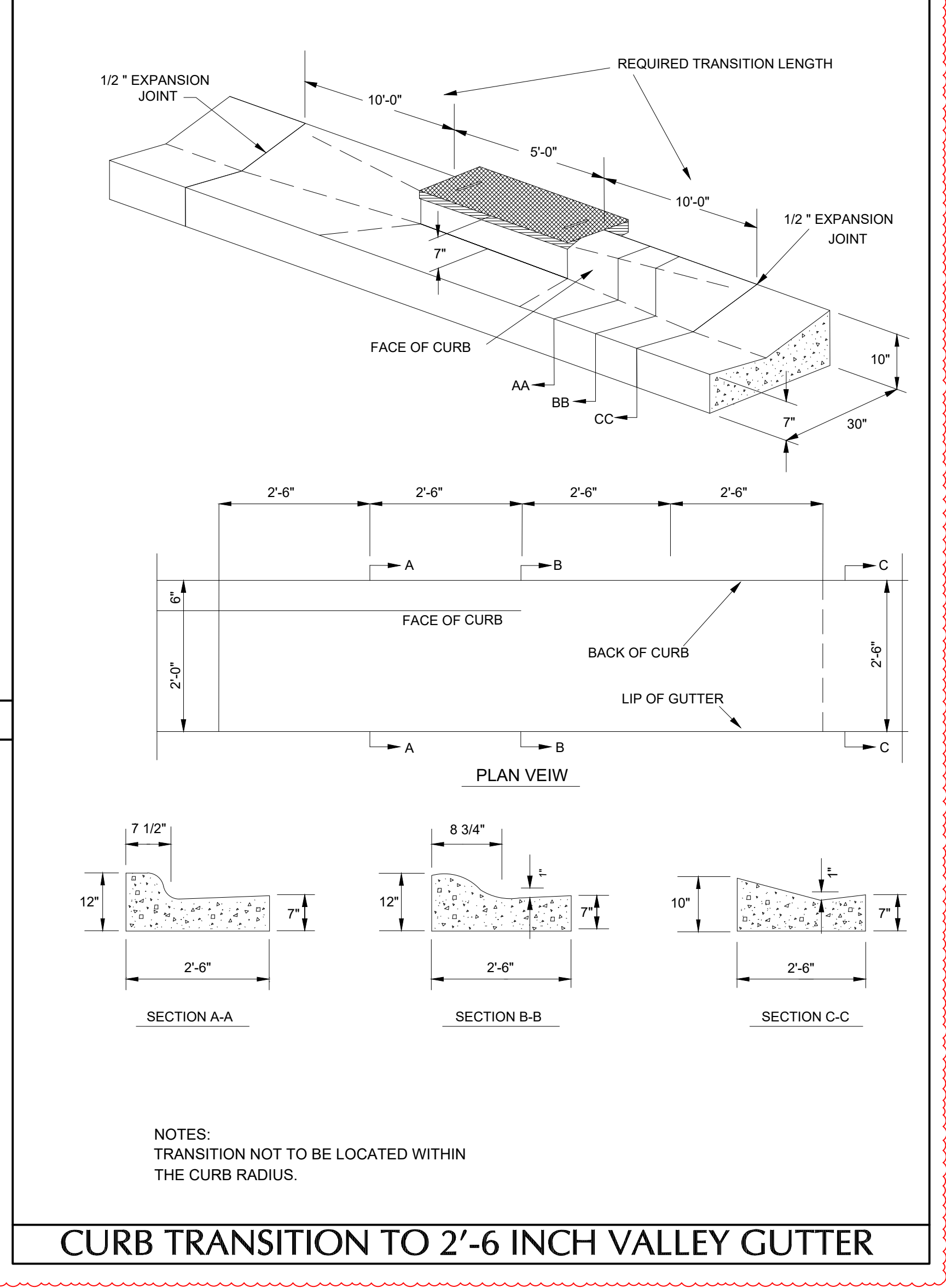
CURB AND GUTTER

CURB RAMP

DETECTABLE WARNING SURFACE



CONCRETE SIDEWALK



Date	Description	No.
10/02/2024	REVISED PER CITY OF RALEIGH COMMENTS	1.

Revisions

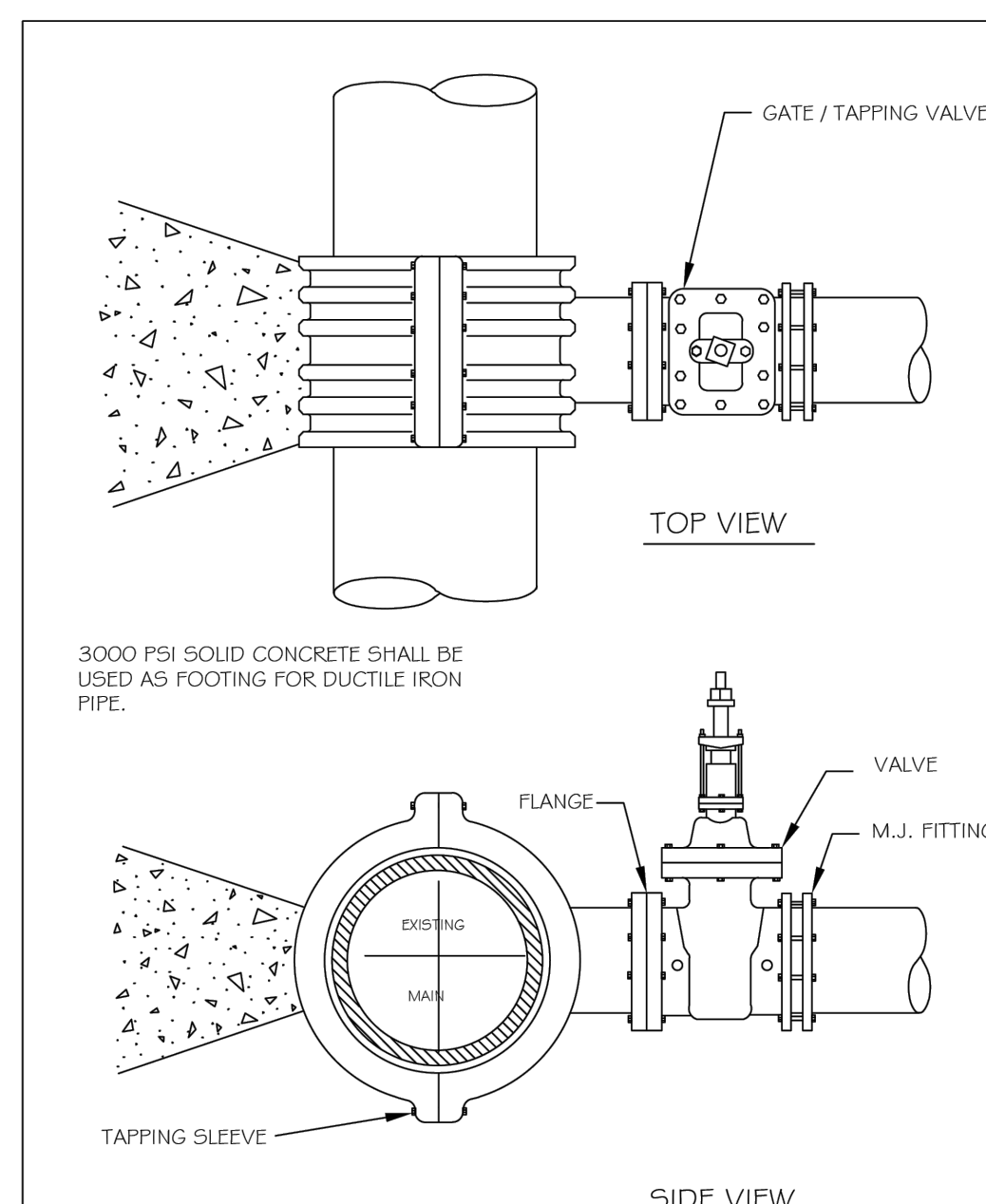
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Project: **2810 HILLSBOROUGH STREET**
RALEIGH
WAKE COUNTY NORTH CAROLINA
Drawing Title

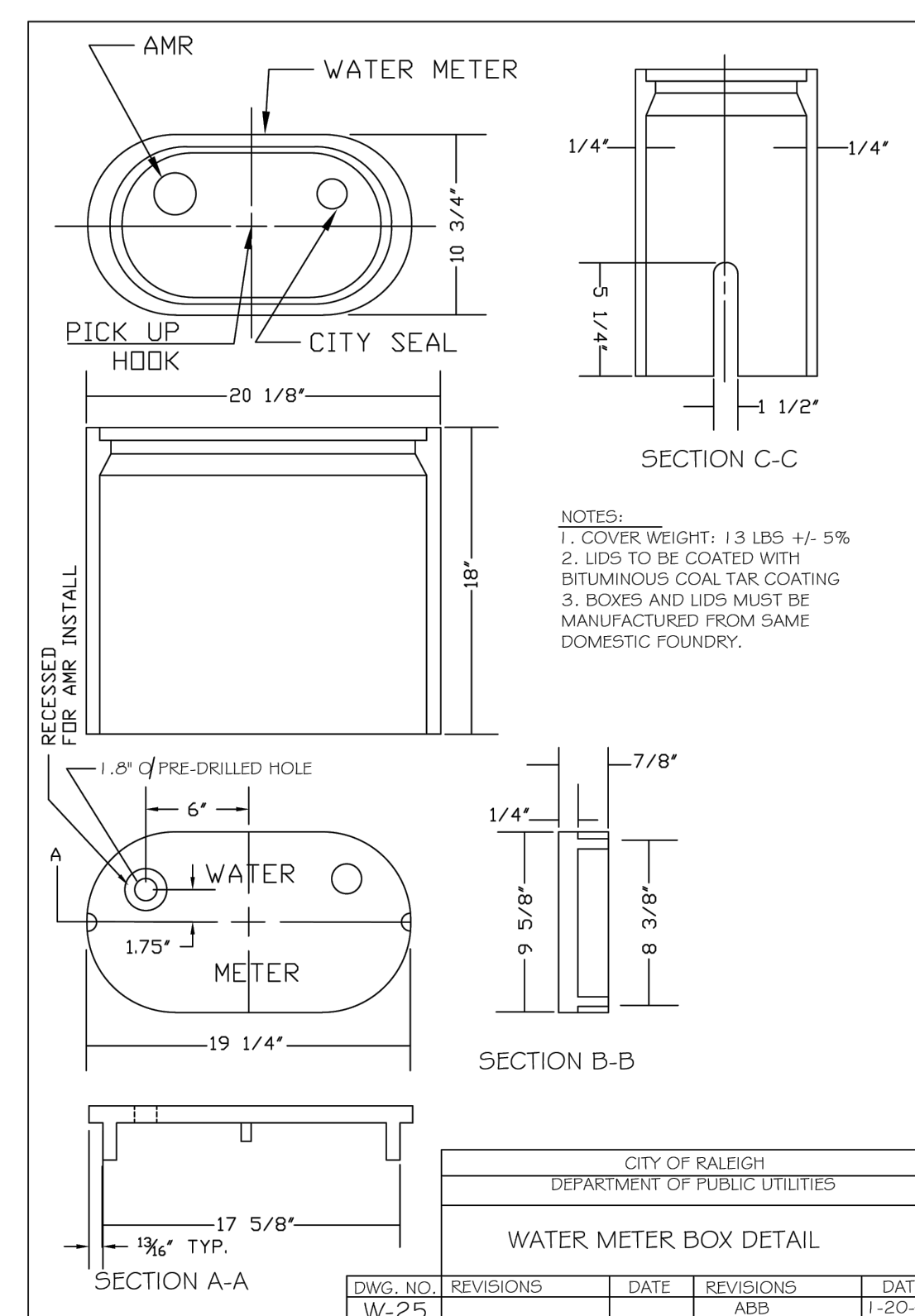
SITE DETAILS

Project No. 281022501	Drawing No. C-1000
Date 10/02/2024	
Drawn By FA	
Checked By JR	



NOTES:
 1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
 2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

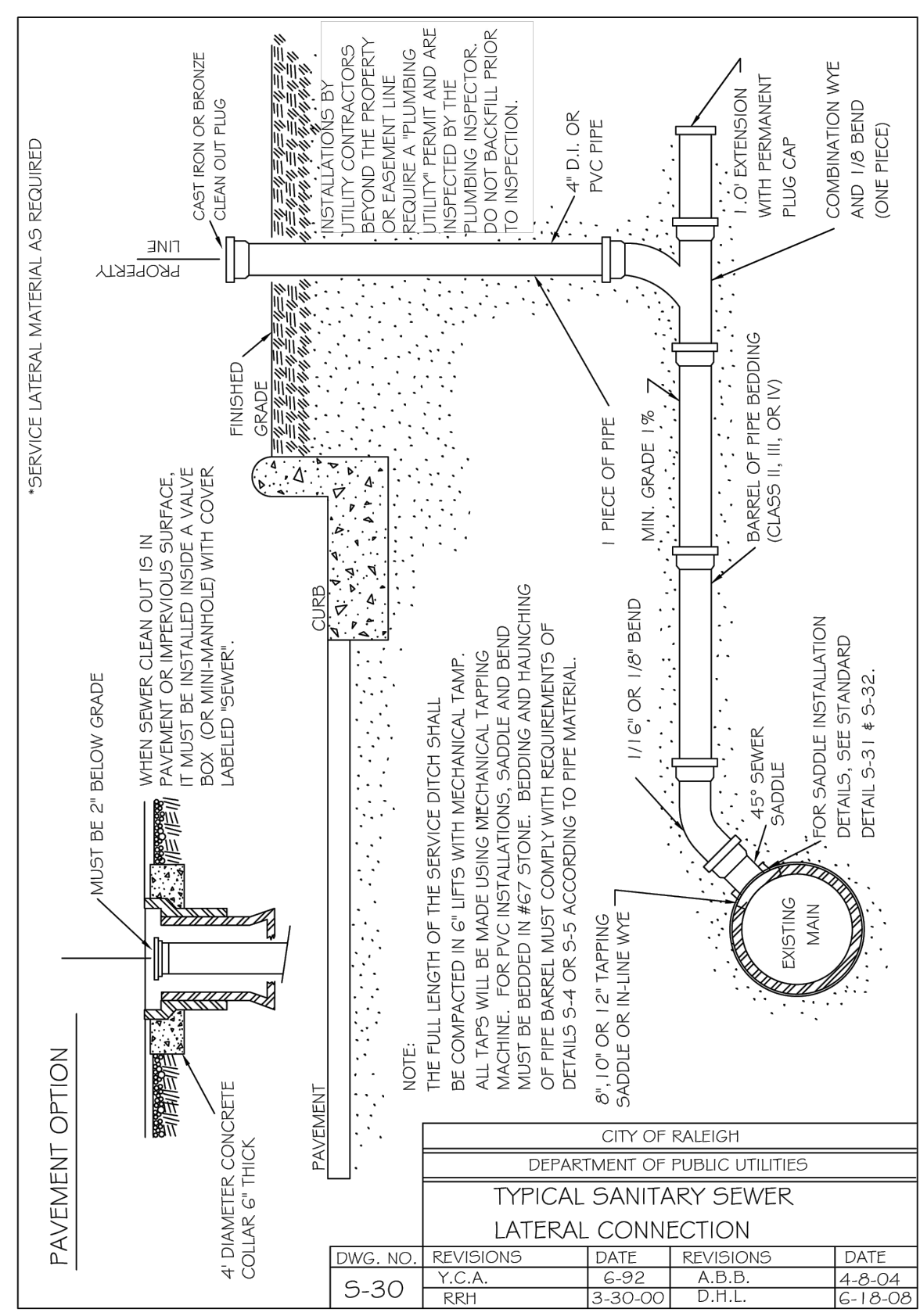
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	D.W.C.	9-7-99	J.P.S.	11-1-10



CITY OF RALEIGH
 DEPARTMENT OF PUBLIC UTILITIES

WATER METER BOX DETAIL

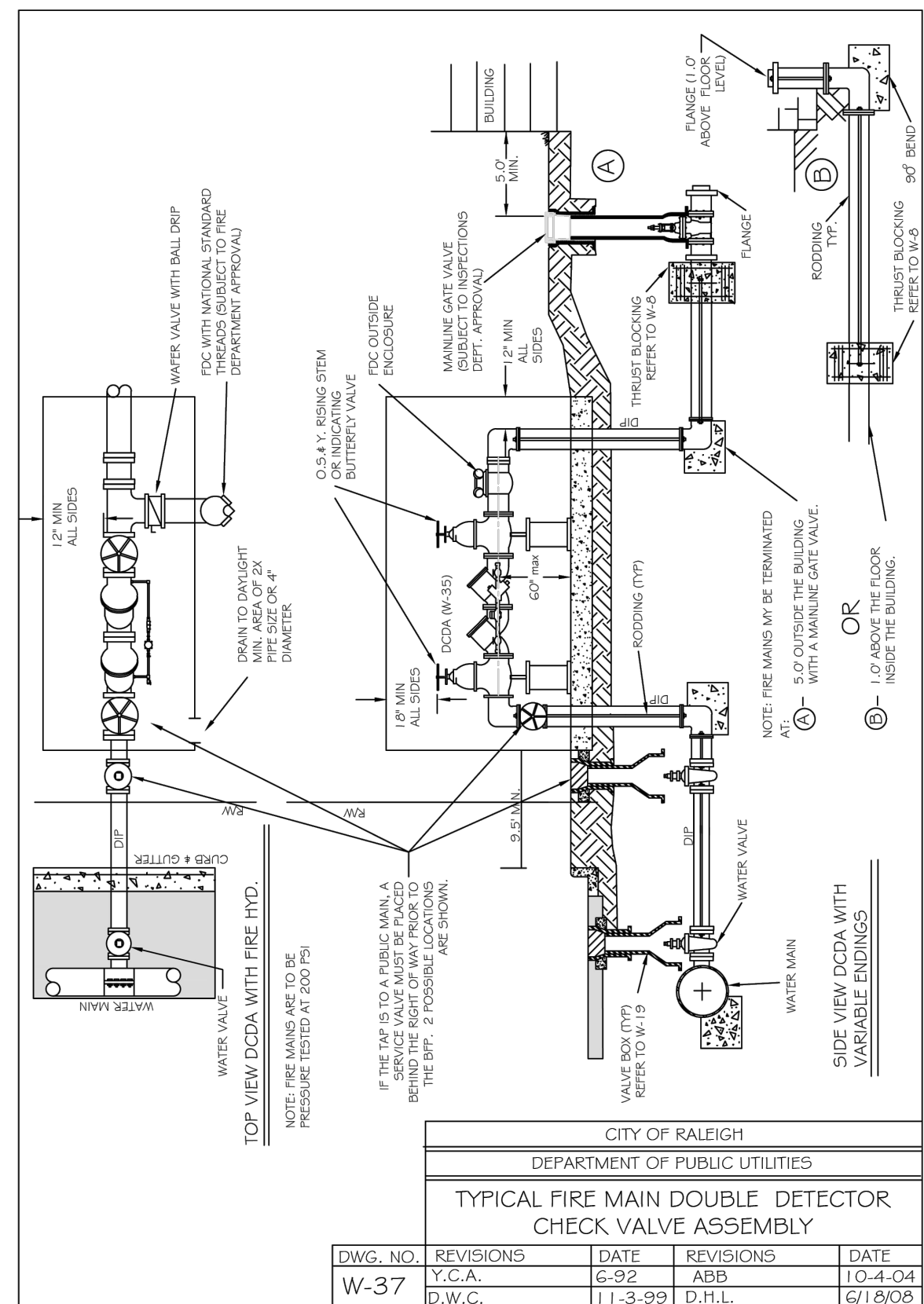
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W-25	R.K.V.	8-20-13	J.P.S.	11-4-10



CITY OF RALEIGH
 DEPARTMENT OF PUBLIC UTILITIES

TYPICAL SANITARY SEWER LATERAL CONNECTION

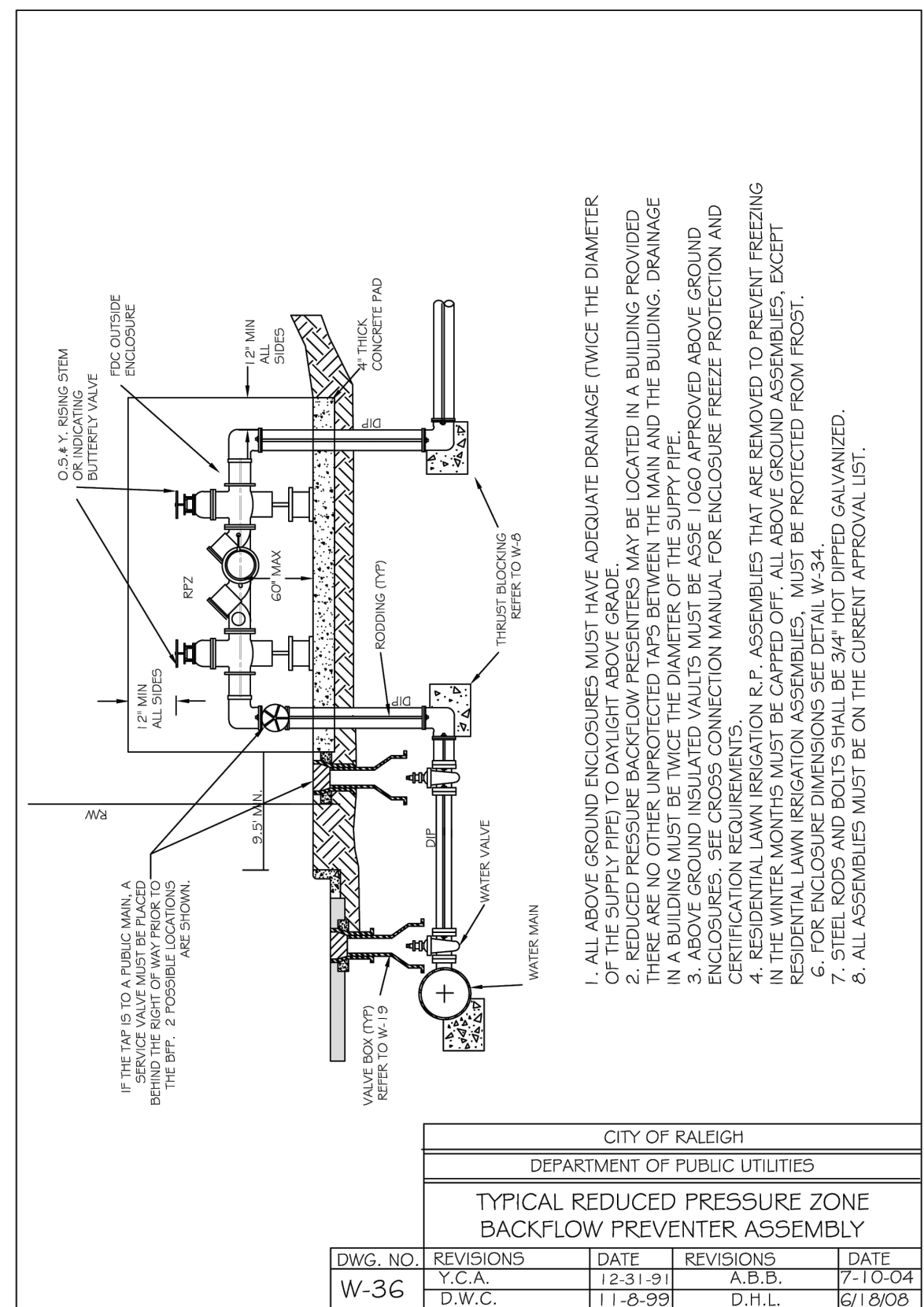
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	Y.C.A.	6-92	A.B.B.	4-8-04
	RRH	3-30-00	D.H.L.	6-18-08



CITY OF RALEIGH
 DEPARTMENT OF PUBLIC UTILITIES

TYPICAL FIRE MAIN DOUBLE DETECTOR CHECK VALVE ASSEMBLY

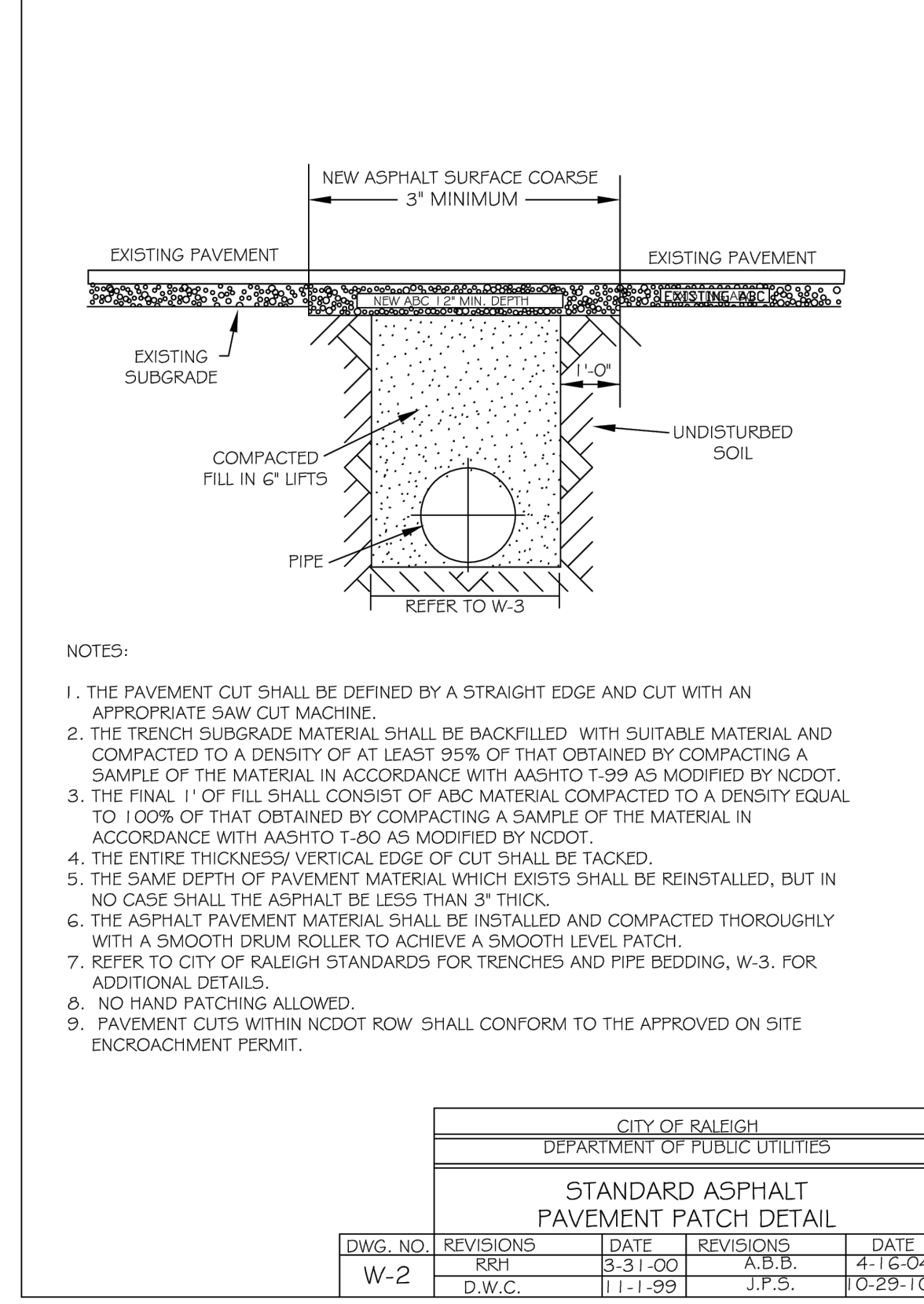
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W-37	Y.C.A.	6-92	XBB	10-4-04
	D.W.C.	11-3-99	D.H.L.	6/18/08



CITY OF RALEIGH
 DEPARTMENT OF PUBLIC UTILITIES

TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY

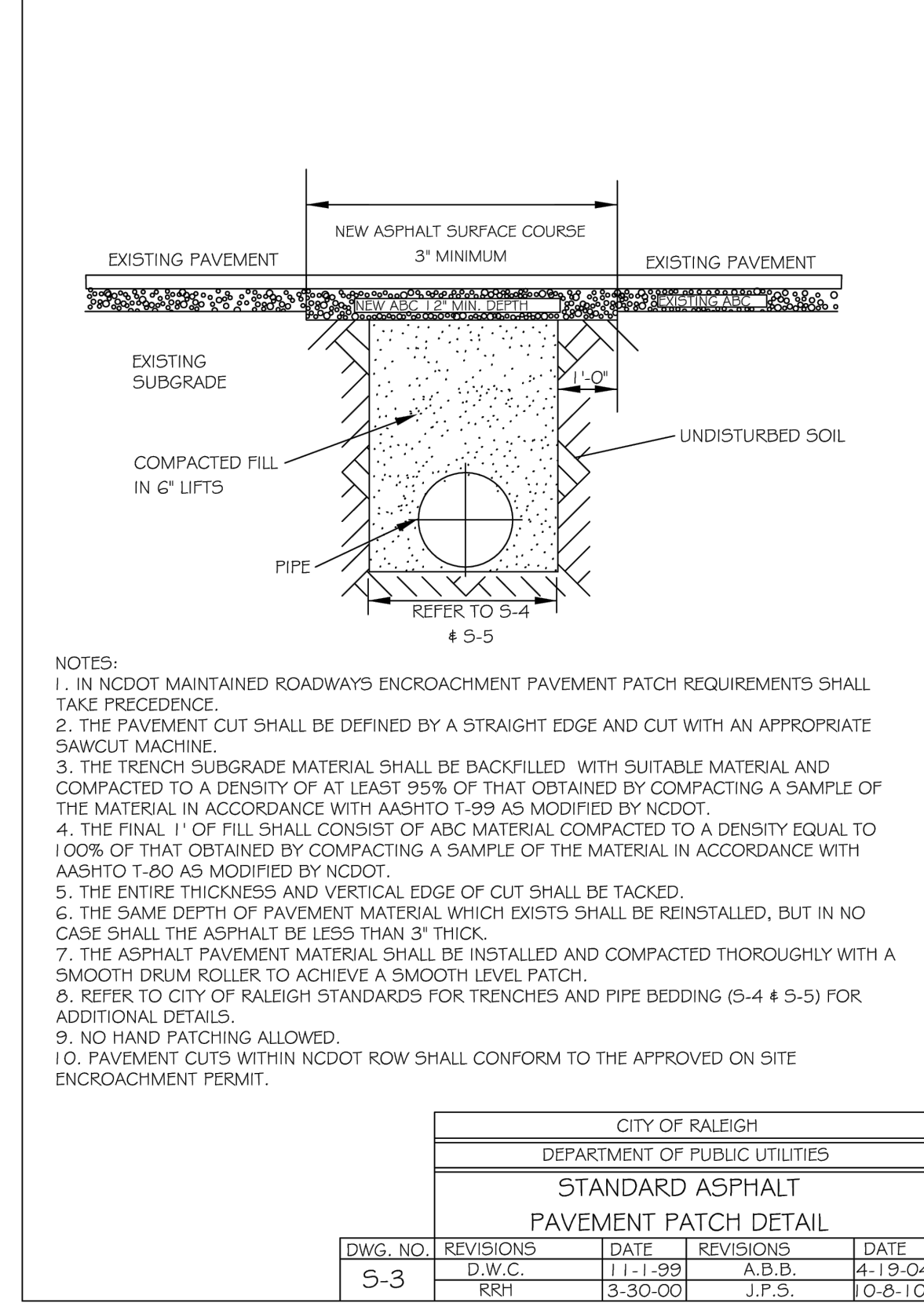
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	D.W.C.	11-8-99	D.H.L.	6/18/08



CITY OF RALEIGH
 DEPARTMENT OF PUBLIC UTILITIES

STANDARD ASPHALT PAVEMENT PATCH DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-2	RRH	3-31-00	A.B.B.	4-16-04
	D.W.C.	11-1-99	J.P.S.	0-29-10

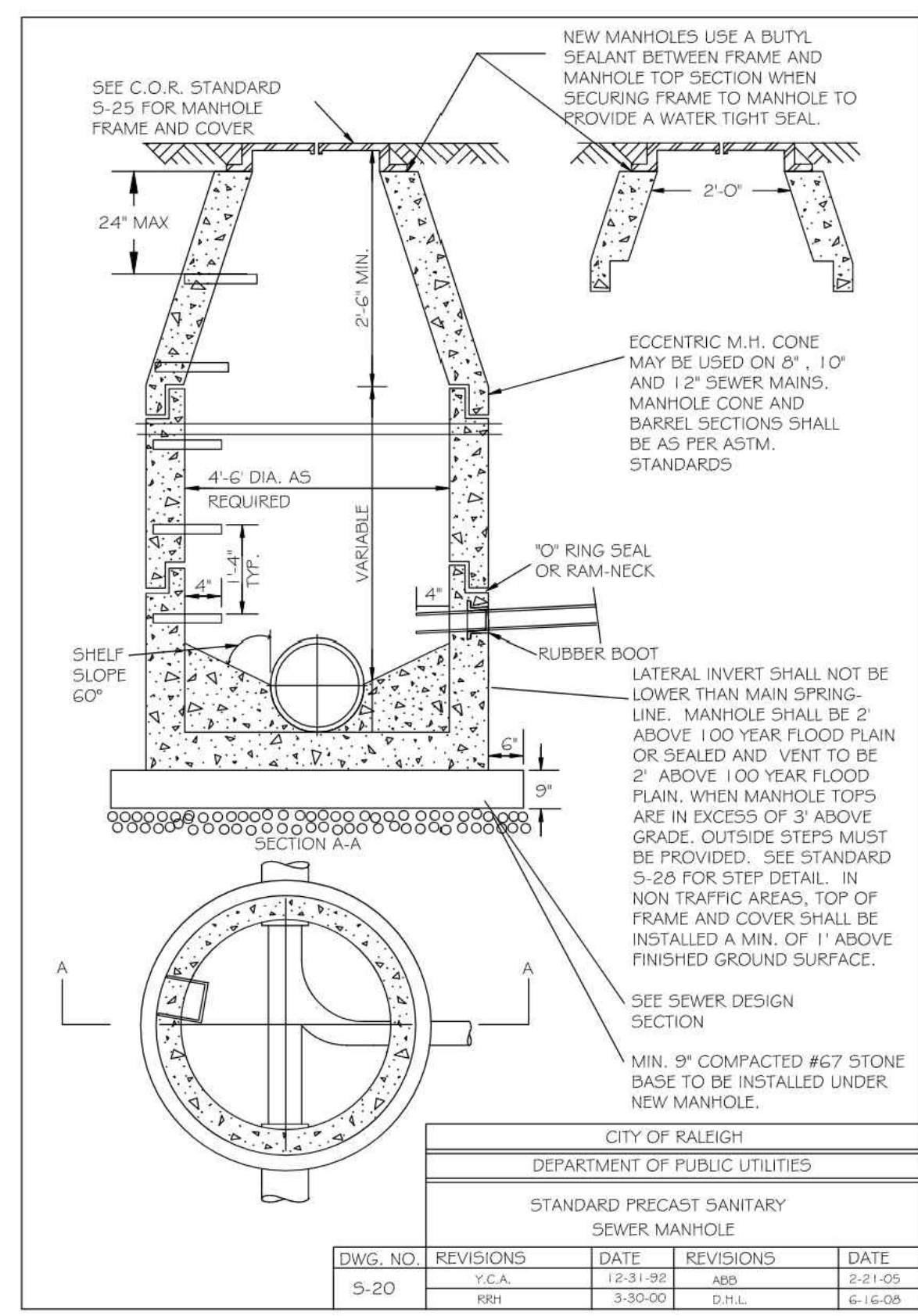


CITY OF RALEIGH
 DEPARTMENT OF PUBLIC UTILITIES

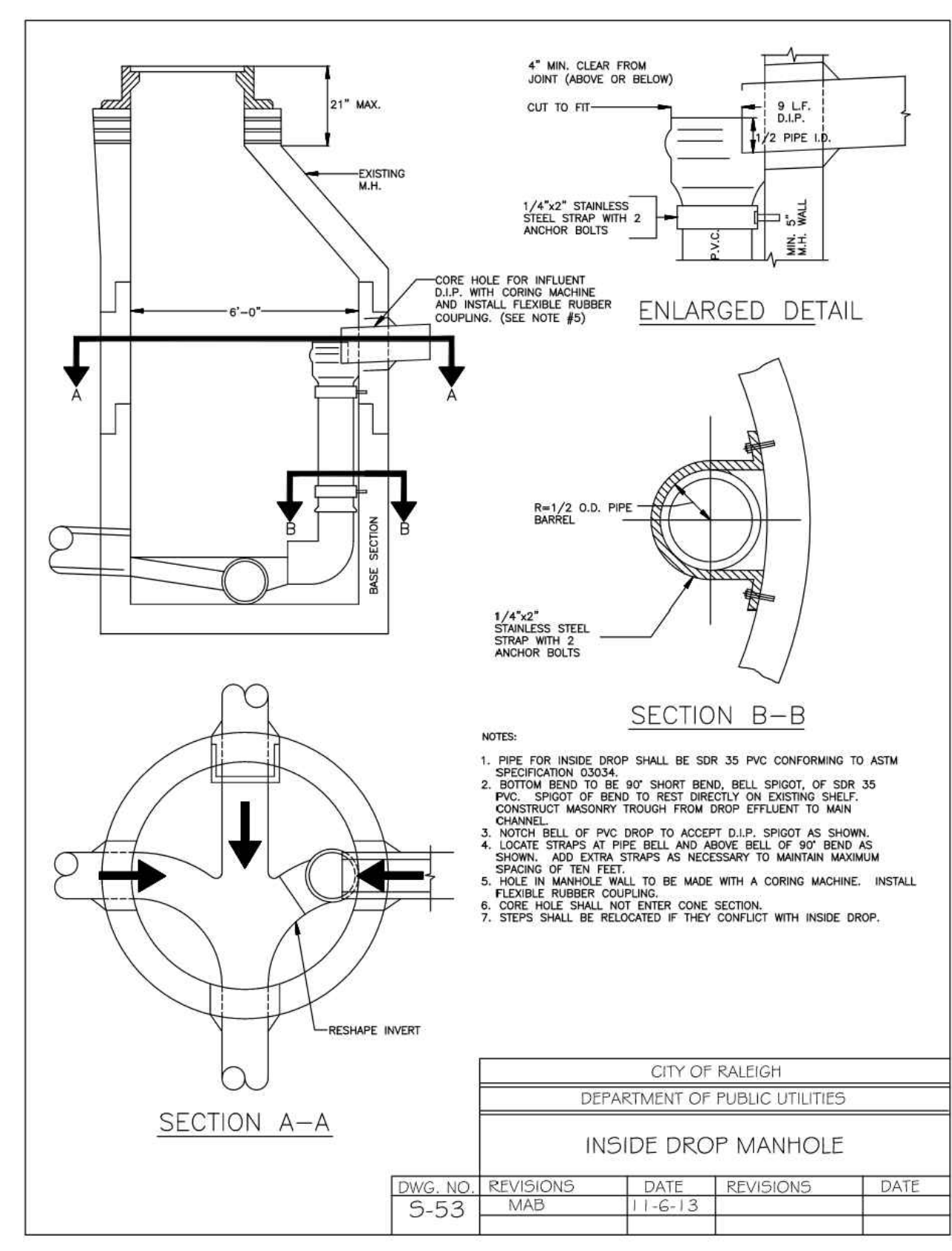
STANDARD ASPHALT PAVEMENT PATCH DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	D.W.C.	11-1-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S.	0-8-10

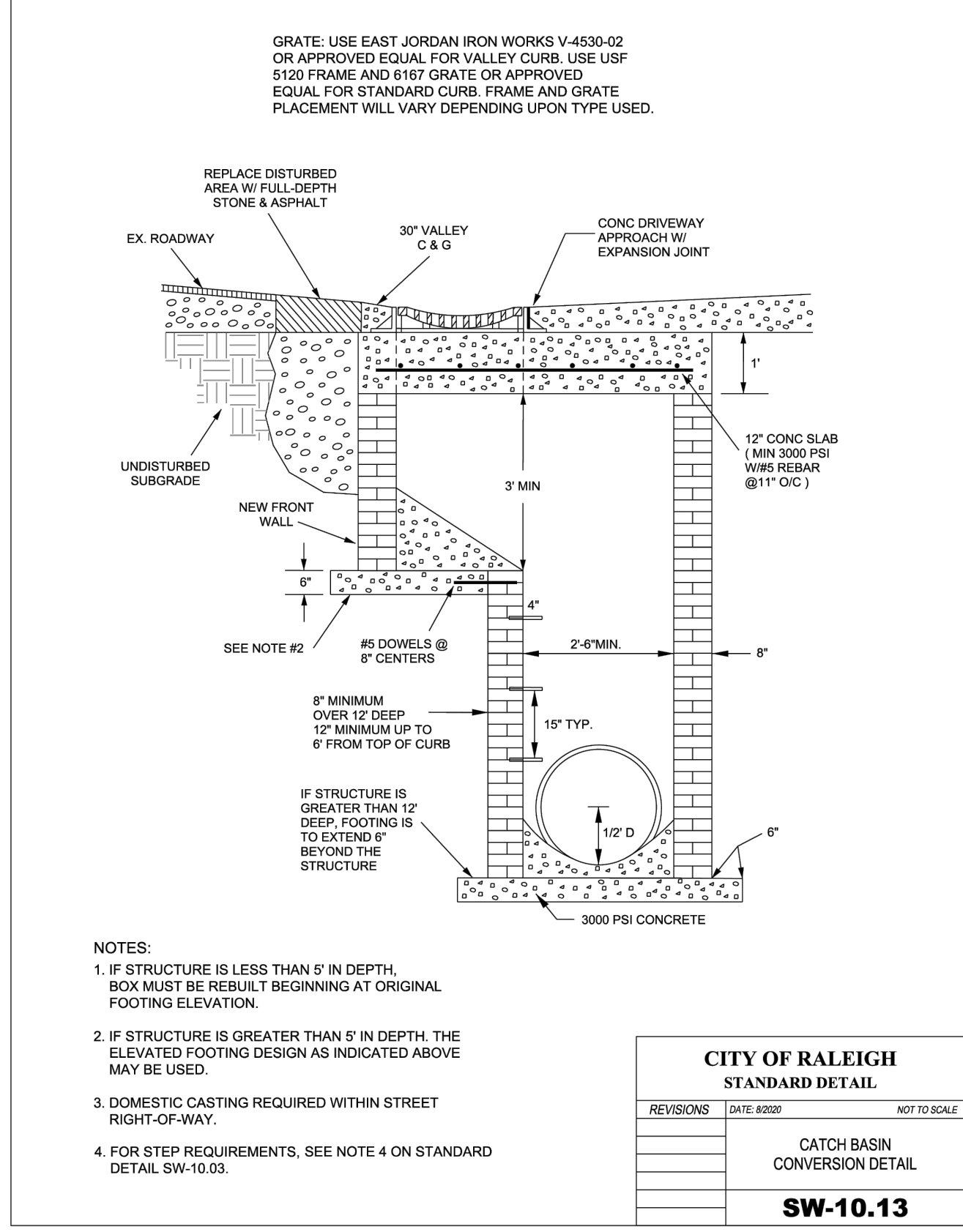
10/02/2024	REVISED PER CITY OF RALEIGH COMMENTS	1.
Date	Description	No.
Revisions		
Signature: JONATHAN RHINE, PROFESSIONAL ENGINEER NC Lic. No. 053928		
LANGAN		
Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C.		
227 W. Trade Street, Suite 320, Charlotte, NC 28202		
T: 980.270.3900	F: 980.270.3901	www.langan.com
NORTH CAROLINA STATE BOARD FIRM PE LIC. NO. C-5001		
Project		
2810 HILLSBOROUGH STREET		
RALEIGH NORTH CAROLINA		
Drawing Title		
UTILITY DETAILS		
Project No.	Drawing No.	
281022501	C-1001	
Date	10/02/2024	
Drawn By	FA	
Checked By	JR	



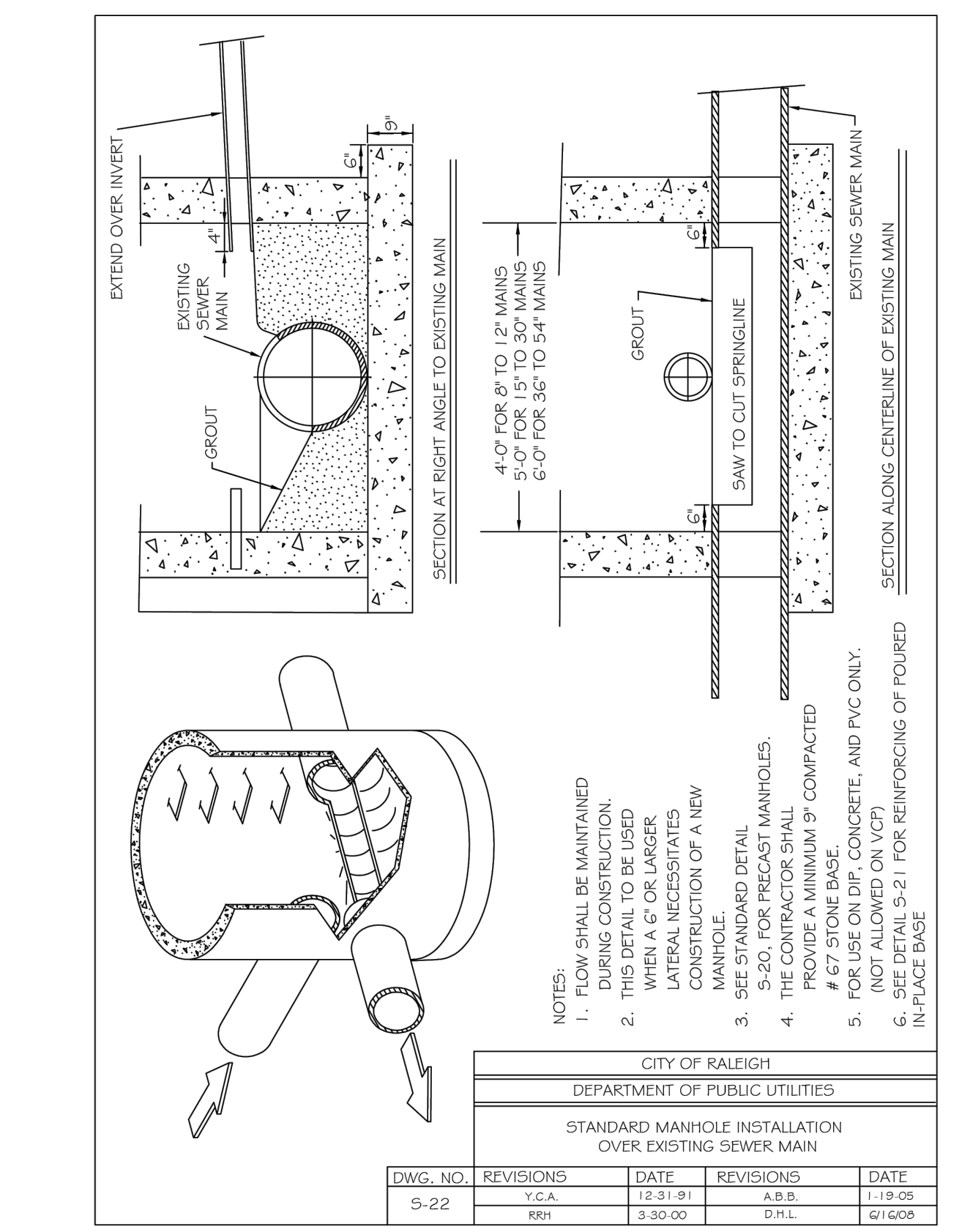
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20				
	Y.C.A.	12-31-92	A.B.B.	2-21-05
	R.H.H.	3-30-00	D.H.L.	6-16-08



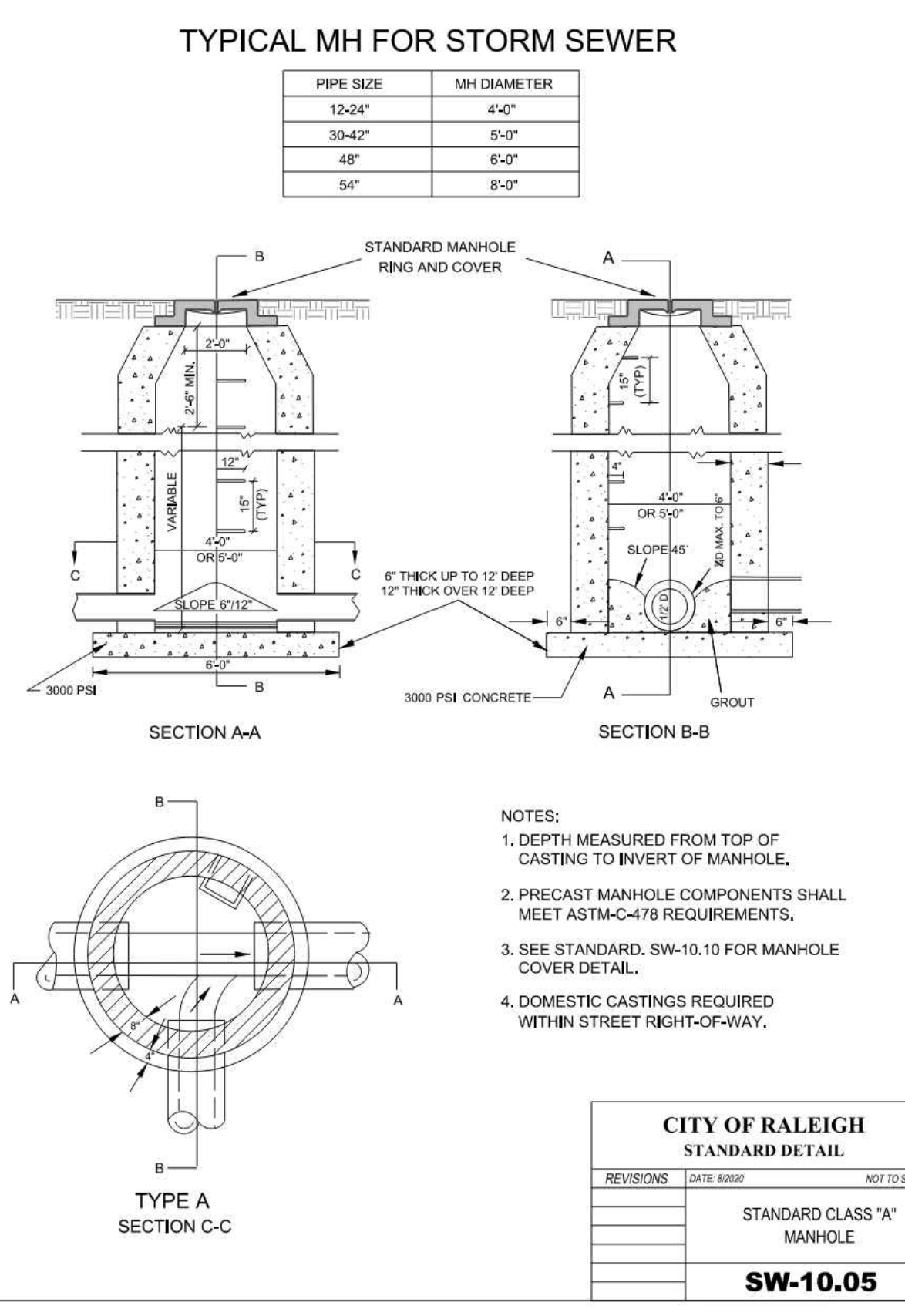
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-53				
	M.A.D.	11-6-13		



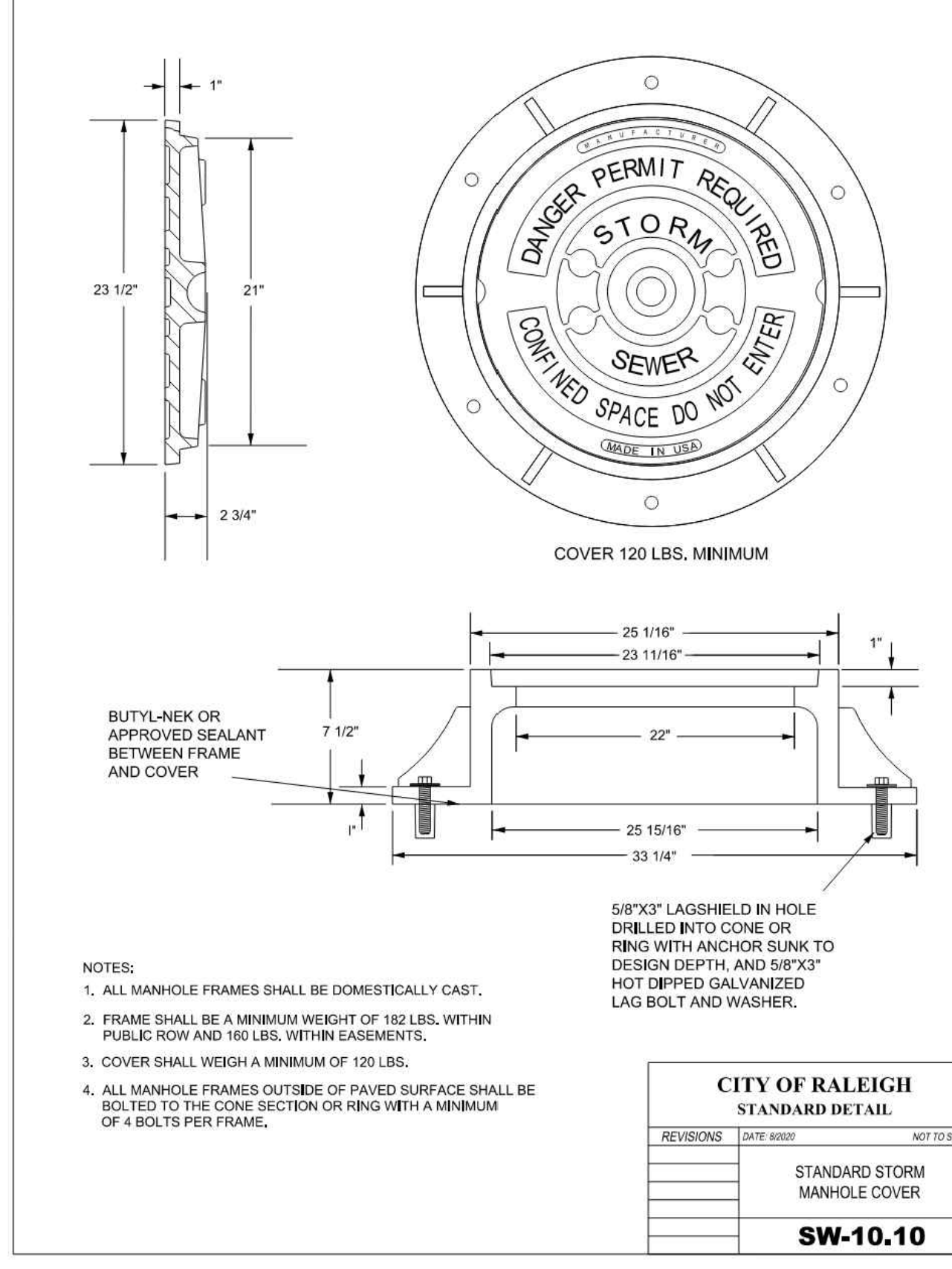
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	Y.C.A.	12-31-91	A.B.B.	11-19-05
	R.H.H.	3-30-00	D.H.L.	12-16-08



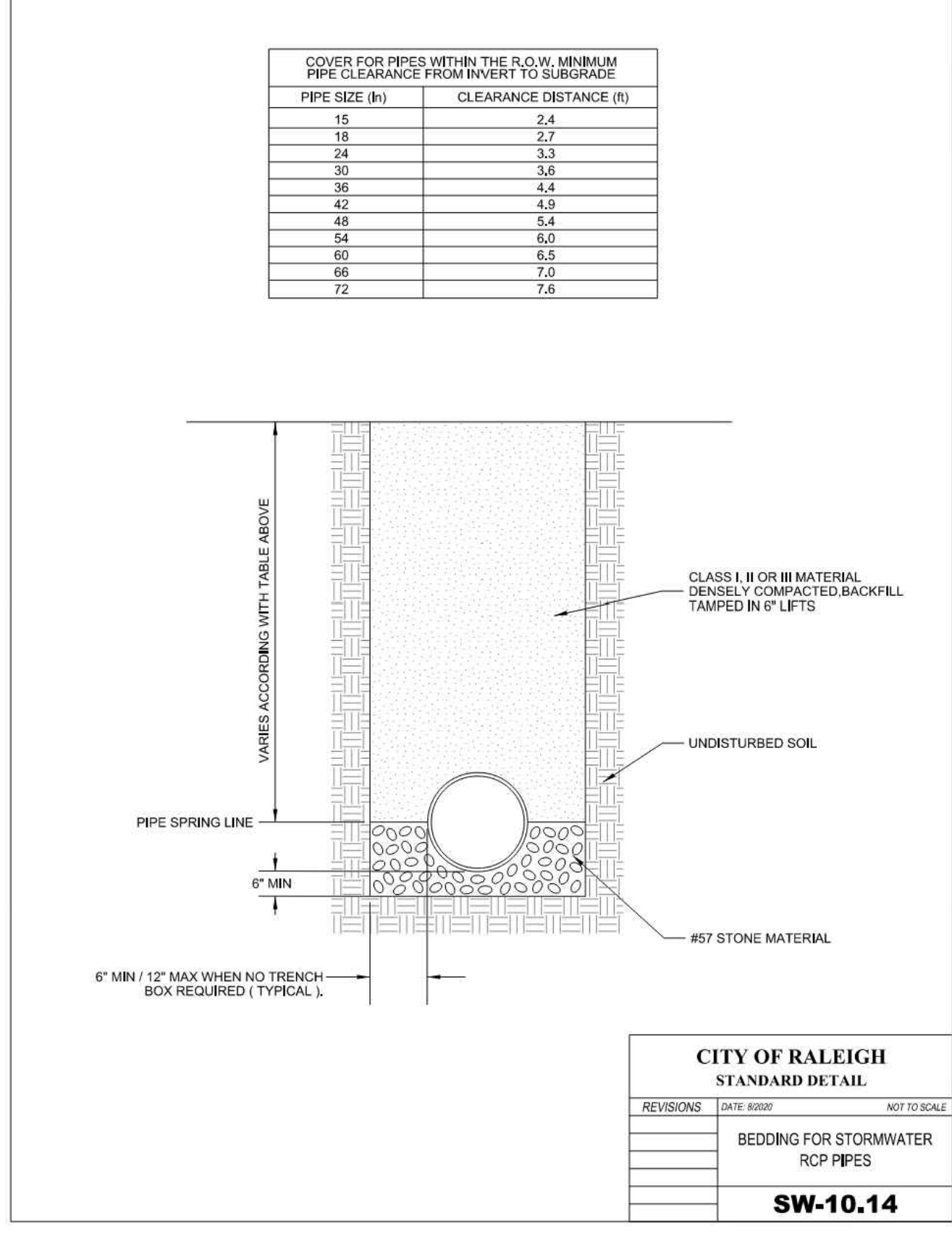
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S-22				
	Y.C.A.	12-31-91	A.B.B.	11-19-05
	R.H.H.	3-30-00	D.H.L.	12-16-08



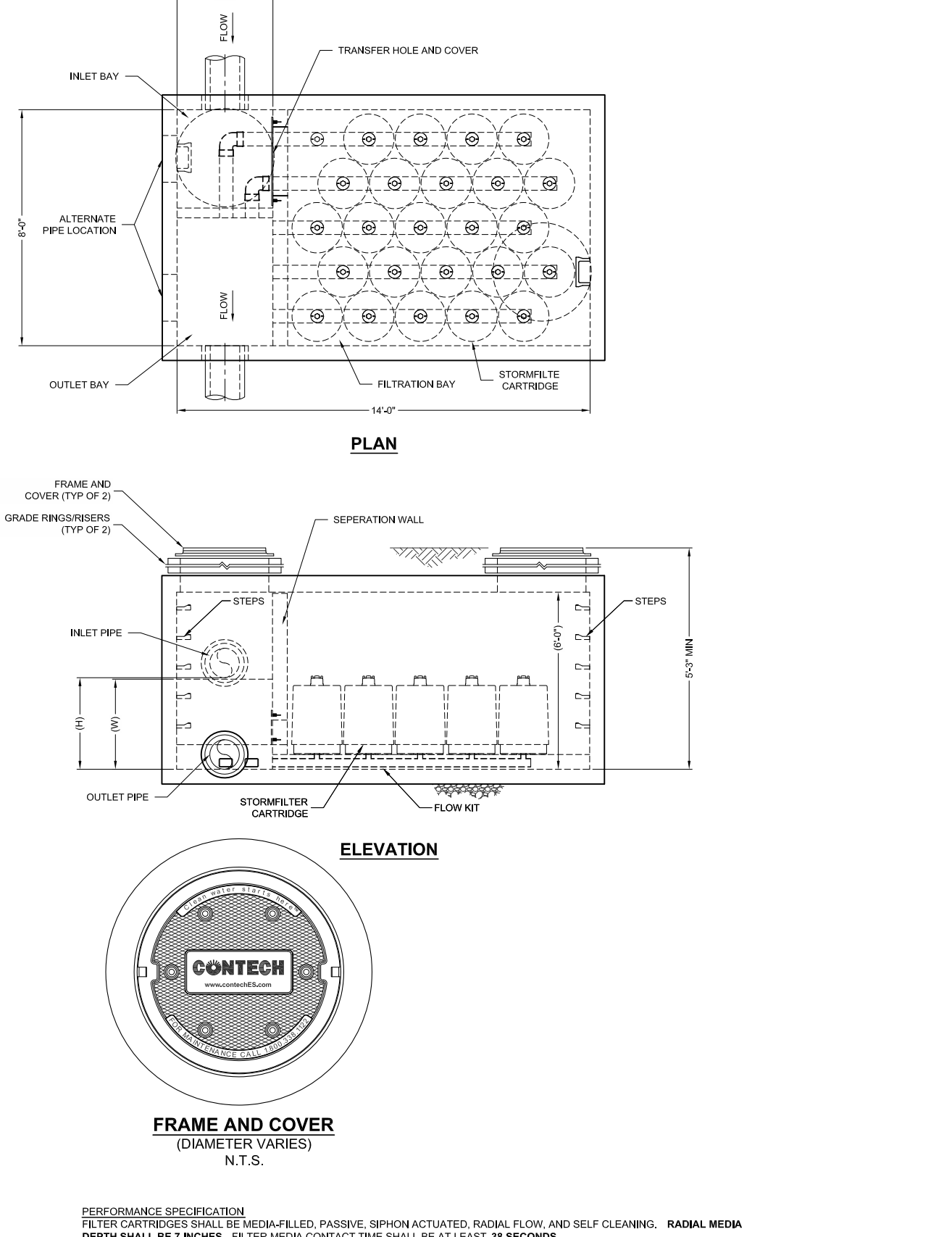
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S-20				
	Y.C.A.	12-31-92	A.B.B.	2-21-05
	R.H.H.	3-30-00	D.H.L.	6-16-08



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-53				
	M.A.D.	11-6-13		



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-10.14				



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-22				
	Y.C.A.	12-31-91	A.B.B.	11-19-05
	R.H.H.	3-30-00	D.H.L.	12-16-08

Date	Revised Per City of Raleigh Comments	No.
10/02/2024		1.

Revisions		
Date	Description	No.

Signature: JONATHAN RHINE
Date: 10/02/2024
Professional Engineer NC Lic. No. 053928

LANGAN
Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C.
227 W. Trade Street, Suite 320
Charlotte, NC 28202
T: 980.270.3900 F: 980.270.3901 www.langan.com
NORTH CAROLINA STATE BOARD FIRM PE LIC. NO. C-5001

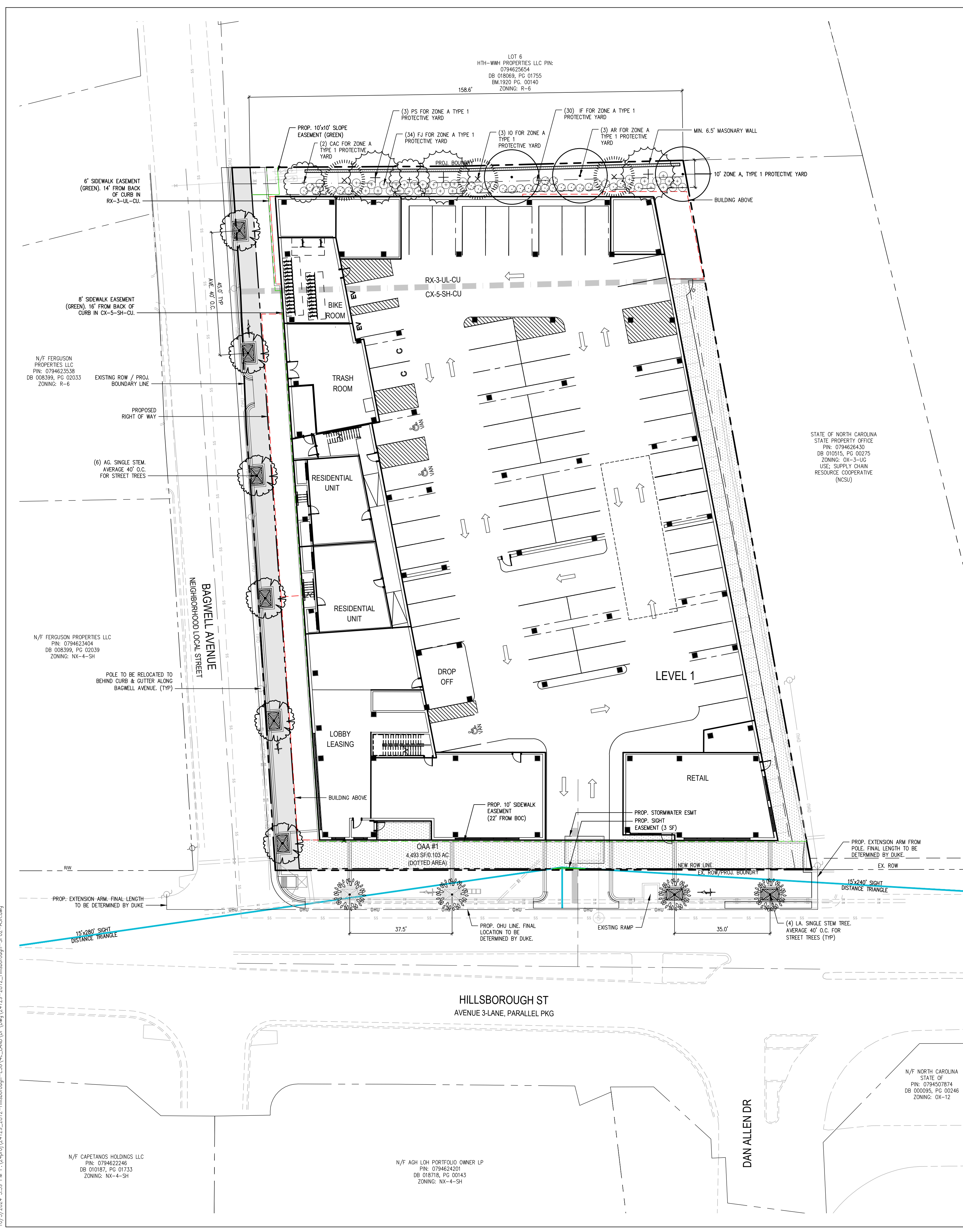
2810 HILLSBOROUGH STREET

RALEIGH NORTH CAROLINA

WAKE COUNTY NORTH CAROLINA
Drawing Title

UTILITY AND STORM DETAILS

Project No.	Drawing No.
281022501	C-1002
Date	10/02/2024
Drawn By	LC
Checked By	JR



SEE LP9.1 AND LP9.2 FOR LANDSCAPE DETAILS AND NOTES.

City of Raleigh UDO Landscape & Screening Requirements			
Project: 2810 Hillsborough			
Date: 10.03.2024 (Rev. XX.XX.XXXX)			
UDO 2022-10-No23			
Bagwell Avenue Street Trees			
Length of Right of Way (Under OHU Line)			
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average, round down)	257	/ 40	= 257 LF
Understory Trees Provided (1.5" cal. 6' ht. @ 40' o.c. average)	6		EA
Hillsborough Street Street Trees (Existing Trees to be removed)			
Length of Right of Way (Under OHU Line)			
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average, round down)	188	/ 40	= 188 LF
Understory Trees Provided (1.5" cal. 6' ht. @ 40' o.c. average)	4		EA
10FT ZONE A Protective Yard			
Yard Type: Type 1: 10' wide			
Length of Yard			
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average, round down)	159	x 0.04	= 6 EA
Proposed Deciduous Trees			3 EA
Proposed Evergreen Trees			3 EA
Total Shade Trees Provided			6 EA
Understory Trees Required (1.5" cal. 6' ht. @ 3/100 LF)	159	x 0.03	= 5 EA
Proposed Deciduous Trees			2 EA
Proposed Evergreen Trees			3 EA
Total Understory Trees Provided			5 EA
Evergreen Trees Required (50% of Total Required Trees)	11	x 50%	= 6 EA
Evergreen Trees Provided	3	+ 3	= 6 EA
Evergreen Trees Provided in %			54.5 %
Shrubs Required (18" ht. @ 40/100 LF)	159	x 0.40	= 64 EA
Shrubs Provided (18" ht. @ 40/100 LF)			64 EA

PLANT LIST - THIS SHEET ONLY - All Tree to be Single Stem									
QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT AT INSTALLATION	HEIGHT AT MATURITY	WIDTH AT MATURITY	REMARKS	
T R E E S									
6	AG	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" MIN	6' MIN	20'	20'	Street Tree	
3	AR	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple	3" MIN	10' MIN	50'	40'	Protective Yard	
2	CAC	Carpinus caroliniana	American Hornbeam	1.5" MIN	6' MIN	25'	25'	Protective Yard	
3	IO	Ilex opaca 'Greenleaf'	Greenleaf American Holly	1.5" MIN	6' MIN	30'	15'	Protective Yard	
4	LA	Lagerstroemia 'Osage'	Osage Crape Myrtle	1.5" MIN	6' MIN	15'	12'	Street Tree	
3	PS	Pinus strobus	Eastern White Pine	3" MIN	10' MIN	50'	30'	Protective Yard	
S H R U B S									
34	FJ	Fatsia japonica	Japanese Fatsia		24" MIN	6'	4'	Protective Yard	
30	IF	Illicium floridanum	Florida Anise		24" MIN	6'	6'	Protective Yard	

PLANT LEGEND
TREES: ALL TREE TO BE SINGLE STEM.

- AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'; AUTUMN BRILLIANCE SERVICEBERRY
STREET TREE - UNDER POWER LINE
- ACER RUBRUM 'AUTUMN FLAME'; AUTUMN FLAME RED MAPLE
PROTECTIVE YARD
- CARPINUS CAROLINIANA, AMERICAN HORNBEAM
PROTECTIVE YARD
- ILEX OPACA 'GREENLEAF'; GREENLEAF AMERICAN HOLLY
PROTECTIVE YARD
- LAGERSTROEMIA 'OSAGE'; OSAGE CRAPE MYRTLE
STREET TREE - UNDER POWER LINE
- PINUS STROBUS, EASTERN WHITE PINE
PROTECTIVE YARD

SHRUBS:

- FATISIA JAPONICA, JAPANESE FATISIA
PROTECTIVE YARD
- ILICLIUM FLORIDANUM, FLORIDA ANISE
PROTECTIVE YARD

LEGEND:

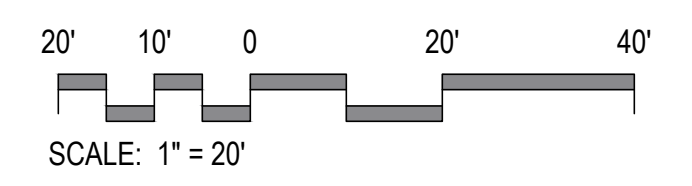
- EX. FIRE HYDRANT
- EX. UTILITY POLE
- EX. BIKE RACK FOR 2
- PROP. BIKE RACK FOR 2
- EX. BENCH
- EX. TREE GRATE TO BE REPLACED
- PROP. TREE GRATE
- PROJECT BOUNDARY
- PROP. RIGHT OF WAY
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY LINE
- ROAD/DRIVEWAY CENTERLINE
- PROP. OVERHEAD UTILITY
- PARKING SETBACK
- PROP. PROTECTIVE YARD
- PROP. BUILDING ABOVE
- PROP. SIDEWALK EASEMENT
- PROP. SLOPE EASEMENT
- BUILD-TO-LINE
- PROP. OUTDOOR AMENITY AREA
- PROP. SIGHT TRIANGLE ESMT

ADMINISTRATIVE SITE REVIEW

Cardinal Group Company
2810 Hillsborough
Raleigh, North Carolina 27607

PROJECT:	ESG-24129	DATE:	
ISSUE:	Administrative Site Review	10.03.2024	
REVISIONS:			
DRAWN BY:	ML, SB		
CHECKED BY:	KT		
CONTENT:	CODE COMPLIANCE		
	LANDSCAPE PLAN		

ASR-0XXX-2024
CODE COMPLIANCE
LANDSCAPE PLAN



LP1.1

10/2/2024 3:59 PM P:\24129\2810-Hillsborough-ESG-4c-LAND\DWG\24129-2810-Hillsborough-5202-ASR.dwg

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JDAVIS
510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121
ASR-0XXX-2024 (Admin. Site Review)
REFERENCE: Z-68-20; SCOPE-0134-2024

9/20/2024 2:17 AM P:\2469\24129_2812-Hillsborough-0101-ASR.dwg

	TITLE SCALE: NTS	8
<p>LANDSCAPE NOTES:</p> <ol style="list-style-type: none"> CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH. ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH. ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS. ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURE'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBS EXIST. HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL. ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS. ALL STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYP-03 AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL. MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS. MIN. 10' DISTANCE SHALL BE PROVIDED BETWEEN FIRE HYDRANT/FIRE DEPARTMENT CONNECTION AND TREE TRUNKS. TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES. TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER. TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES. CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES. A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). 		
LANDSCAPE NOTES SCALE: NTS	4	

	TITLE SCALE: NTS	7
BED EDGING SCALE: NTS	3	

	TITLE SCALE: NTS	6
<p>SHRUB PLANTING NOTES</p> <ol style="list-style-type: none"> IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL. SET SHRUB 2 INCHES HIGHER THAN ABOVE ADJACENT GRADE. SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL. PROVIDE 2 INCH DEEP SAUCER AROUND SHRUB. KEEP MULCH AWAY FROM ROOT CROWN. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD. 		
B & B SHRUB INSTALLATION SCALE: NTS	2	

	TITLE SCALE: NTS	5
<p>TREE INSTALLATION (NOT FOR STREET TREES)</p> <p>SCALE: NTS</p> <p>MASS PLANTING NOTES</p> <ol style="list-style-type: none"> PRUNE CROWDED, BROKEN, OR STRAY BRANCHES. CUT FLUSH, LEAVING CAMBIUM EDGE CLEAN. CROWN PLANTING BED A MIN. OF 3 INCHES ABOVE ADJACENT GRADE EXCEPT IN COURTYARD SITUATIONS WHERE BEDS SHALL BE SLOPED TO NEAREST DRAIN BASIN. KEEP MULCH AWAY FROM ROOT CROWN. 		
CONTAINER PLANT INSTALLATION SCALE: NTS	1	

	TITLE SCALE: NTS	8
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	TITLE SCALE: NTS	7
--	----------------------------	----------

	TITLE SCALE: NTS	6
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	TITLE SCALE: NTS	5
<p>TREE PLANTING NOTES</p> <ol style="list-style-type: none"> MATCH PLANTING PROCEDURE FOR EVERGREEN TREES. DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS. IF TREES ARE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4" TO 6" OVER THE ENTIRE BED AREA. FOR CONTAINER-GROWN TREES, EXTRACT THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD. IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL. IN MEDIAN ISLANDS, SET PLANT MATERIAL AS CLOSE TO FINISHED GRADE AS POSSIBLE. SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL. KEEP MULCH AWAY FROM ROOT CROWN. 		

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510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

ASR-0XXX-2024 (Admin. Site Review)
REFERENCE: Z-68-20; SCOPE-0134-2022

ADMINISTRATIVE SITE REVIEW

Cardinal Group Company
2810 Hillsborough
Raleigh, North Carolina 27607

PROJECT:	ESG-24129	DATE:	
ISSUE:	Administrative Site Review	10.03.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	LANDSCAPE DETAILS		

LP9.2

**NOT FOR
CONSTRUCTION**



1 LEVEL 1
EP1.1 1/16" = 1'-0"

ASR SUBMITTAL

ORIGINAL ISSUE: 10/2/2024

REVISIONS	No.	Description	Date

2024-1263
PROJECT NUMBER

ESG DRAWN BY	ESG CHECKED BY
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KEY PLAN

2810 Hillsborough

FIRST LEVEL FLOOR PLAN

EP1.1

**NOT FOR
CONSTRUCTION**



ASR SUBMITTAL

ORIGINAL ISSUE: 10/2/2024

REVISIONS		
No.	Description	Date

2024-1263
PROJECT NUMBER

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KEY PLAN

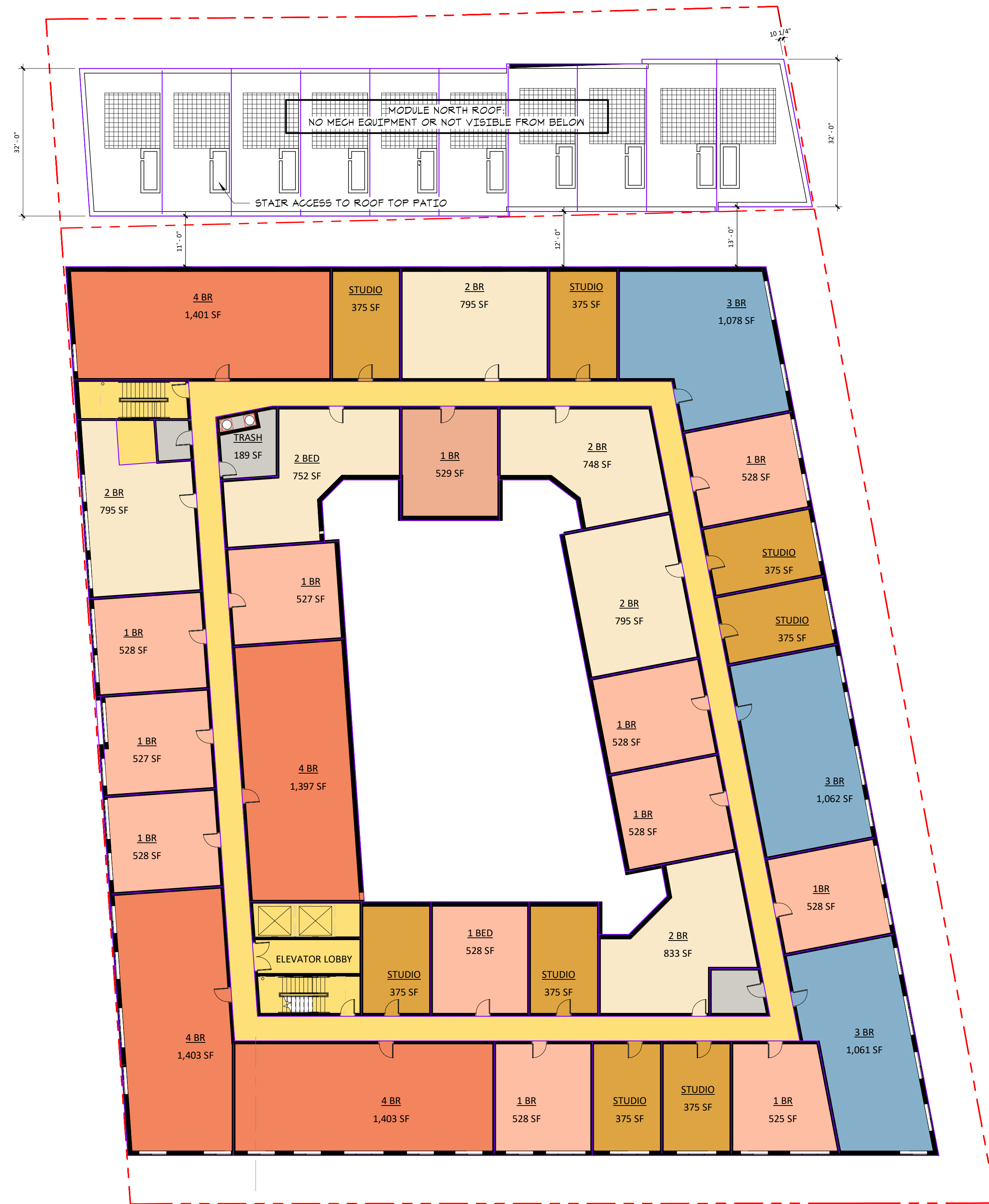
2810 Hillsborough

SECOND LEVEL FLOOR
PLAN

EP1.2

1 LEVEL 2
EP1.2 1/16" = 1'-0"

**NOT FOR
CONSTRUCTION**



1 LEVEL 4
EP1.4 1/16" = 1'-0"

ASR SUBMITTAL

ORIGINAL ISSUE: 10/3/2024

REVISIONS
No. Description Date

2024-1263
PROJECT NUMBER

ESG ESG
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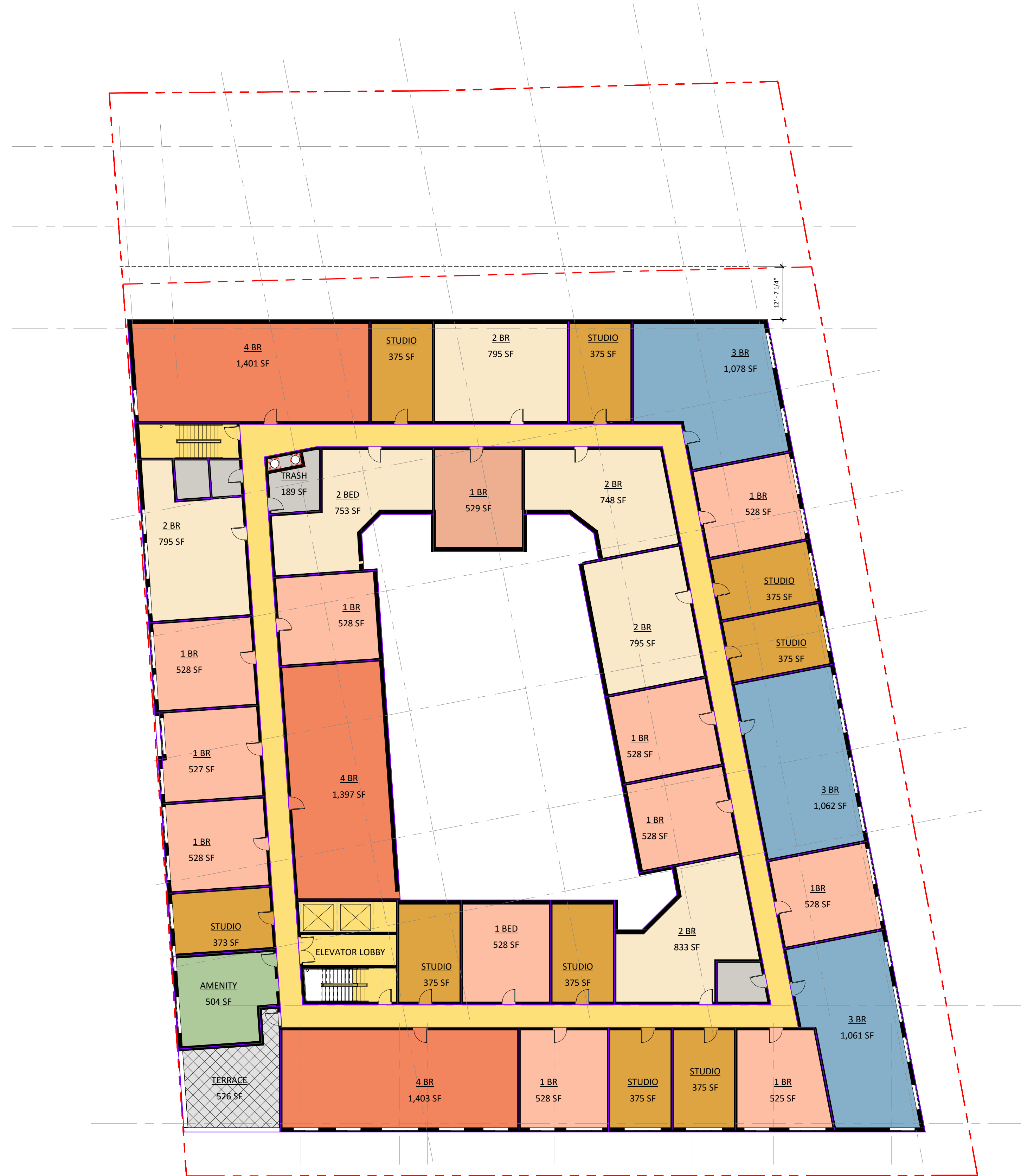
KEY PLAN

2810 Hillsborough

FOURTH LEVEL FLOOR
PLAN

EP1.4

**NOT FOR
CONSTRUCTION**



1 LEVEL 5
EP1.5 1/16" = 1'-0"

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ORIGINAL ISSUE: 10/2/2024

REVISIONS		
No.	Description	Date

2024-1263

PROJECT NUMBER

ESG	ESG
DRAWN BY	CHECKED BY

KEY PLAN

2810 Hillsborough

FIFTH LEVEL FLOOR PLAN

EP1.5

Bagwell - 2812 Hillsborough

Floor	Ground Level (West)	Upper levels (West)	Ground Level (South)	Upper levels (South)
Total GSF	1965 SF	8026 SF	1393 SF	7294 SF
Glazing	1175 SF	1761 SF	1035 SF	1663 SF
Glazing %	60%	22%	74%	23%

BUILDING ELEVATIONS (MODULE HEIGHT METHOD)					
BUILDING	PRIMARY STREET	BUILDING SIDE	IMPROVED GRADE		AVERAGE
			LOW	HIGH	
MODULE (SOUTH)	HILLSBOROUGH STREET	SOUTH	417.0	418.0	417.75
MODULE (NORTH)	HILLSBOROUGH STREET	SOUTH	425.55	428.0	426.75



4 WEST ELEVATION - BAGWELL STREET
EP3.1 1/16" = 1'-0"



3 SOUTH ELEVATION - HILLSBOROUGH STREET
EP3.1 1/16" = 1'-0"



2 EAST ELEVATION
EP3.1 1/16" = 1'-0"



1 NORTH ELEVATION
EP3.1 1/16" = 1'-0"



5 SOUTH ELEVATION - TOWNHOMES
EP3.1 1/16" = 1'-0"



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Minneapolis, MN 55401
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No.	Description	Date

2024-1263
PROJECT NUMBER

ESG DRAWN BY
ESG CHECKED BY

KEY PLAN

2810 Hillsborough

EXTERIOR ELEVATIONS

EP3.1